



Integra

ARCHITECTURE INC.

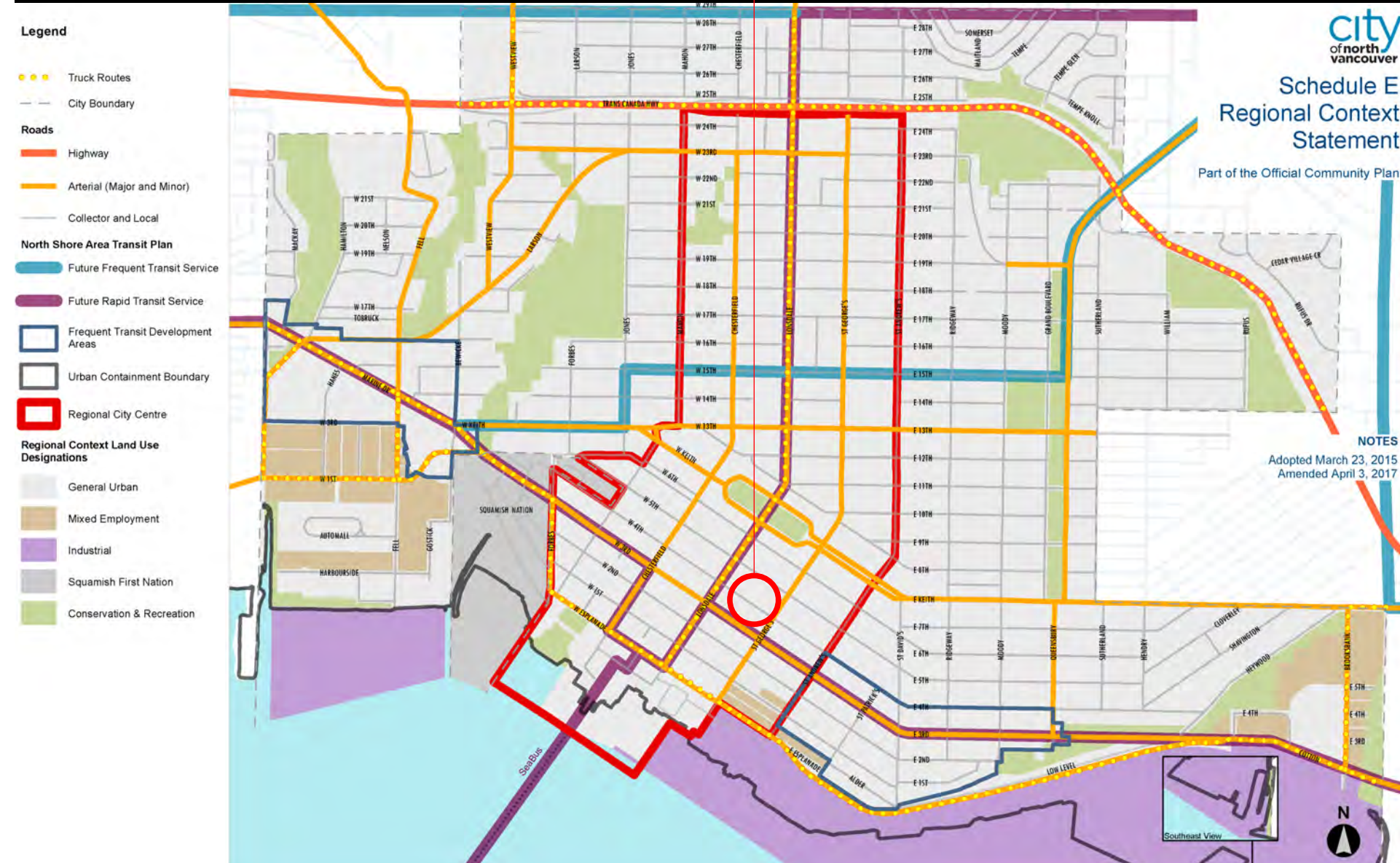
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1 - PRE APP - JULY 18/19
2 - REZ APP - NOV 29/19
3 - REZ APP - AUG 6/10

[PROJECT TEAM]

SUBJECT SITE - ZONE: RM-1



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→ A-9.060	AREA OVERLAYS ROOF DECK	1/8"	

Total → 38

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

COVER PAGE

19487 [PROJECT]

Not To Scale [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-0.000



RENTAL HOUSING DEVELOPMENT 145 - 153 EAST 4TH STREET | NORTH VANCOUVER | BC | REZONING | DP APPLICATION

Project Name: 145-153 E4th St, North Vancouver, BC
Client: Three Shores Development

Project: 19487
Date: **August 7 2020**
Issue: RZ Application

PROJECT DATA - RZ APP. 5-STOREY PURPOSE BUILT RENTAL BUILDING

EXISTING ADDRESS 145-153 E 4th St, North Vancouver, BC
PROPOSED ADDRESS TBD
LEGAL DESCRIPTION

PROJECT ARCHITECT
PROJECT OWNER
OCPLAND USE DESIGNATION Residential Level 5: Medium Density Apartment R5
EXISTING ZONING RM-1
PROPOSED ZONING CD

SITE AREA :			
Gross Site Area		17,284 sq.ft.	1,605.73 m2
Road Dedications	TBC	- sq.ft.	- m2
Net Site Area		17,284 sq.ft.	1,605.73 m2
Max FSR (Gross Site Area)	1.60 OCP Density	27,654 sq.ft.	2,569.16 m2
Max Bonus FSR	1.00 With Public Benefits		
Max FSR (Gross Site Area)	2.60 Purpose Built Rental Housing	44,938 sq.ft.	4,174.9 m2
Total Proposed Gross Floor Area		47,124 sq.ft.	4,377.9 m2
Total Proposed Exclusions		2,623 sq.ft.	243.7 m2
Proposed FSR (Gross site area)	2.57	44,500 sq.ft.	4,134.2 m2
Max. Site Coverage	50%	8,642.02 sq.ft.	802.86 m2
Lot Coverage	53%	9,181 sq.ft.	852.89 m2

UNIT SUMMARY:														
Unit Type	AD Level	1st	2nd	3rd	4th	5th	Roof / Amenity	Total	Average sqft / unit	Total Unit Area (sqft)	AD	Total Unit Area (m2)	%	Unit Mix
A1 - Studio		1	1	1	1	1	0	5	374.5	1,872.7		174.0	7.2%	29%
A2 - Studio		1	2	2	2	2	0	9	407.2	3,665.0		340.5	13.0%	
A3 - Studio		1	1	1	1	1	0	5	465.0	2,325.0		216.0	7.2%	
A4 - Studio		1						1	395.5	395.5		36.7	1.4%	
B1 - 1Bed	AD L-2	2	3	3	3	3	0	14	540.0	7,560.0		702.3	20.3%	42.0%
B2 - 1Bed		2	2	2	2	2	0	10	474.4	4,743.90		440.7	14.5%	
B3 - 1Bed	AD L-2	1	1	1	1	1	0	5	521.3	2,606.40		242.1	7.2%	
C1 - 2Bed		2	2	2	2	2	0	10	762.5	7,624.60		708.3	14.5%	1 Bed
D1 - 3Bed		2	2	2	2	2	0	10	952.7	9,526.8		885.1	14.5%	2 Bed
Total		13	14	14	14	14	0	69		40,320		3,745.8	100.0%	100%

FSR CALCULATION:									
Exclusion Summary	Min.	No Units	Stair 01	Area HRV		per Unit	Total Exclusions		Comments
Access to Outdoor Amenity-Roof Level							333.78 sq.ft.	31.01 m2	Active Design Guidelines
Access to Indoor Amenity-P1 Level							152.92 sq.ft.	14.21 m2	Active Design Guidelines
Adaptable Units Level 2 (20 sf / unit)	17	19				20.0	380.00 sq.ft.	35.30 m2	25.0% Units AD Level 2
Indoor Amenity min 2% / 15sf unit	1,035	69				19.5	1345.98 sq.ft.	125.09 m2	Min 15 SF / Unit
Ground Floor Elevator							73.33 sq.ft.	6.82 m3	
P1 Bike Amenity							337.41 sq.ft.	31.36 m4	
Stairs (Active Design) - 8% max							0.00 sq.ft.	0.00 m2	0.0% (Floor 1-5)
Total Exclusions From FSR							2,623.4 sq.ft.	243.72 m2	

Gross Floor Area	Unit Area	Common Area	Total GFA	Efficiency L1 - L6
Gross Area - P2	0.00 sq.ft.	0.00 sq.ft.	0.00 sq.ft.	- m2
Gross Area - P1	0.00 sq.ft.	337.41 sq.ft.	337.41 sq.ft.	31 m2
Gross Area - 1st Floor	7,622.94 sq.ft.	1,557.59 sq.ft.	9,180.53 sq.ft.	853 m2
Gross Area - 2nd Floor	8,176.64 sq.ft.	908.76 sq.ft.	9,085.40 sq.ft.	844 m2
Gross Area - 3rd Floor	8,176.64 sq.ft.	908.76 sq.ft.	9,085.40 sq.ft.	844 m2
Gross Area - 4th Floor	8,176.64 sq.ft.	908.76 sq.ft.	9,085.40 sq.ft.	844 m2
Gross Area - 5th Floor	8,176.64 sq.ft.	908.76 sq.ft.	9,085.40 sq.ft.	844 m2
Gross Area - Roof Level (Amenity)	0.00 sq.ft.	1,015.16 sq.ft.	1,264.36 sq.ft.	117 m2
Total Gross Area	40,330 sq.ft.	47,123.9 sq.ft.	4,378 m2	Overall: 86.2%

PARKING SPACES:			
Minimum Parking Required	69 units @	0.60 space/unit	41 spaces
Visitor Parking Required	69 units @	0.10 space/unit	7 spaces inclusive of required parking
Parking Reduction	0%		0.0 spaces
Total Parking Required			48 spaces
Total Parking Provided			52 spaces
Disabled Parking Required:			2 spaces inclusive of required parking
Level 1 - Adaptable Units		25 - 50 Level 1 AD Units	0 spaces
Level 2 / 3 - Adaptable Units	17 10	1 - 25 Level 2 AD Units	2 spaces
Disabled Parking Provided:			2 space inclusive of required parking
Max. Small Cars	35% of required spaces		18 spaces max
Provided Small Cars	35% of provided spaces		18 spaces

BICYCLE SPACES:			
Required Secure Bicycle Parking	69 units	1.5 spaces/unit	104 spaces long term
Provided Secure Bicycle Parking	69 units	1.9 spaces/unit	129 spaces long term
Max vertical parking Spaces		35% max	36 spaces long term
Required Short Term Bicycle Parking			6 spaces short term
Provided Short Term Bicycle Parking			6 spaces short term
Parkade not to exceed 1m (3.3 ft.) above average finished grade along perimeter of structure			DOES NOT COMPLY
			135 spaces total bicycle spaces provided

Note 1: Final areas, allowable parking ratios, and parking count to be confirmed
Note 2: All areas are approximate and are for zoning purposes only
Note 3: Net & gross unit areas are measured to the center of partywalls and to the exterior of sheathing of exterior walls
Note 4: Dedications and setbacks subject to City of North Vancouver approval

Proposal Summary: 145-153 E 4th St, North Vancouver, BC

Design Rational

The development sits within the Residential level 5 OCP designation. Located within close proximity to the lower Lonsdale core, the site is within a 5 min walk of Lonsdale and a 10 min walk of the Lonsdale Quay.

A challenge with the location of this site is its adjacency to a heritage residential house, and the steep grade change from E. 4th to the lane. The "Wheeler House" was built in 1914 and fronts E. 4th Street, south east of this proposed development, with register ranking B. The grade change from E. 4th to the lane is 3.89m (12' 9½"), which creates a unique and challenging site condition. The building responds to these challenges by firstly offsetting the parkade concrete structure from the property line, creating a semi public pathway that connects the street to the lane. This forms a soft landscape buffer between the heritage site and proposed development. Using the amenity space at the parkade level, we are activating the lane by creating a functional gym space and a design that breaks up the parkade and transitions the architectural language into the residential storeys above, with its accented horizontal features.

The proposed development will be a purpose-built rental, providing a range of unit types from studios to 3 bedrooms units contained within 5 residential floors plus a rooftop indoor/outdoor amenity space. The landscape is designed to maximize privacy from adjacent sites and E.4th using privacy hedges. We are limiting the footprint of the 6th floor to common amenity only in order to reduce the height impact around the existing area. All design decisions were filtered first to optimize views to the northern mountains, and views south to the city.

The design vision reflects the West Coast contemporary architecture synonymous with Integra Architecture. The use of planar and mass elements, accented natural materials, and transparency to connect indoor to outdoor spaces help ground this building in the West Coast style.

PROJECT SUMMARY:					
ZONING EXISTING	REQUIRED / PERMITTED		PROPOSED		VARIANCE
OCPLAND USE DESIGNATION - Medium Density Apartment R5	RM - 1		CD (RM-2)		
SITE AREA	17,284 sq.ft.	1,606 m2	17,284 sq.ft.	1,606 m2	NO
UNIT NUMBER	not specified	not specified	69	69	NO
OCP DENSITY (/w/ exclusions) Purpose Built Rental Housing	1.6 + 1.0 FSR	4,175 m2	2.57 FSR	4,134 m2	NO
SITE COVERAGE	50%	803 m2	53%	853 m2	YES
BUILDING HEIGHT - Stores (OCP Schedule 1)	6 Storeys (59.0 - 62.3 ft)		6 Storeys		NO
BUILDING HEIGHT - Measured from Average Grade	59.0 - 62.3 ft	18-19 m	67.5 ft	20.56 m	YES

PARKING SPACES				
Rental Housing	0.60 space/unit	48 spaces	52 spaces	NO
EV CHARGING STATIONS	All Residential Parking Spaces	47 spaces	47 spaces	NO
BICYCLE SPACES	1.50 space/unit	104 Class A	129 Class A	NO
		6 Class B	6 Class B	NO

OPEN BALCONY AREA					
Excl. Open Appendages 8% GFA	3,769.9 sq.ft.	350.23 m2	4,703.6 sq.ft.	437.0 m2	10.0%
Increased Percent Area Exclusion - Balconies as Sunshading up to 12%	5,654.9 sq.ft.				
OUTDOOR AMENITY AREA					
Garden Plots Active Design Guidelines	2.2 m2 / 4 units	414.0 sq.ft.	38.0 m2	2558.96 sq.ft.	237.7 m2
				660.3 sq.ft.	61.3 m2

PARKING DIMENSIONS						
(no column encroachments)	Width		Length		Height	
	m	ft.	m	ft.	m	ft.
Standard Cars	2.500	8.20	5.486	18.00	2.134	7.00
Small Cars	2.500	8.20	4.650	15.26	2.134	7.00
Disabled Parking	4.000	13.12	5.486	18.00	2.134	7.00
Additional width at walls	0.305	1.00				

MINIMUM AISLE						
	90 degrees		60 degrees		45 degrees	
	m	ft.	m	ft.	m	ft.
One-Way Traffic	6.700	21.98	5.280	17.32	3.860	12.66
Two-Way Traffic	6.700	21.98	6.096	20.00	6.096	20.00

GARBAGE (WEEKLY):

Multi-Family Residential	no. of units	Est. volume/unit	Total Volume	Container capacity	
Garbage	69 units	95 L	6555 L	2294 L (3 cu.yd.)	3 serviced twice/wk
NSRP Newspapers	69 units	8.5 L	587 L	360 L (95 gal)	2
NSRP Mixed Papers	69 units	15 L	1035 L	360 L (95 gal)	3
NSRP Mixed Containers	69 units	9 L	621 L	360 L (95 gal)	2
Cardboard	69 units	30 L	2070 L	1529 L (2 cu.yd.)	1
Food Scraps	69 units	14 L	966 L	240 L (64 gal)	4

Space proposed					
Multi-Family Residential	no. of units	Space/unit	Total Space		
Minimum space required	69 units	0.486 m2	33.5 m2	360.96 sq.ft.	Min11 m2
Max additional space required	69 units	0.486 m2	34 m2		
Max total space required	69 units	0.972 m2	67 m2		
Space proposed	69 units	0.972 m2	67 m2	351.5 sq.ft.	



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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

PROJECT STATISTICS

19487 [PROJECT]

Not To Scale [SCALE]

2020-08-07 [DATE]

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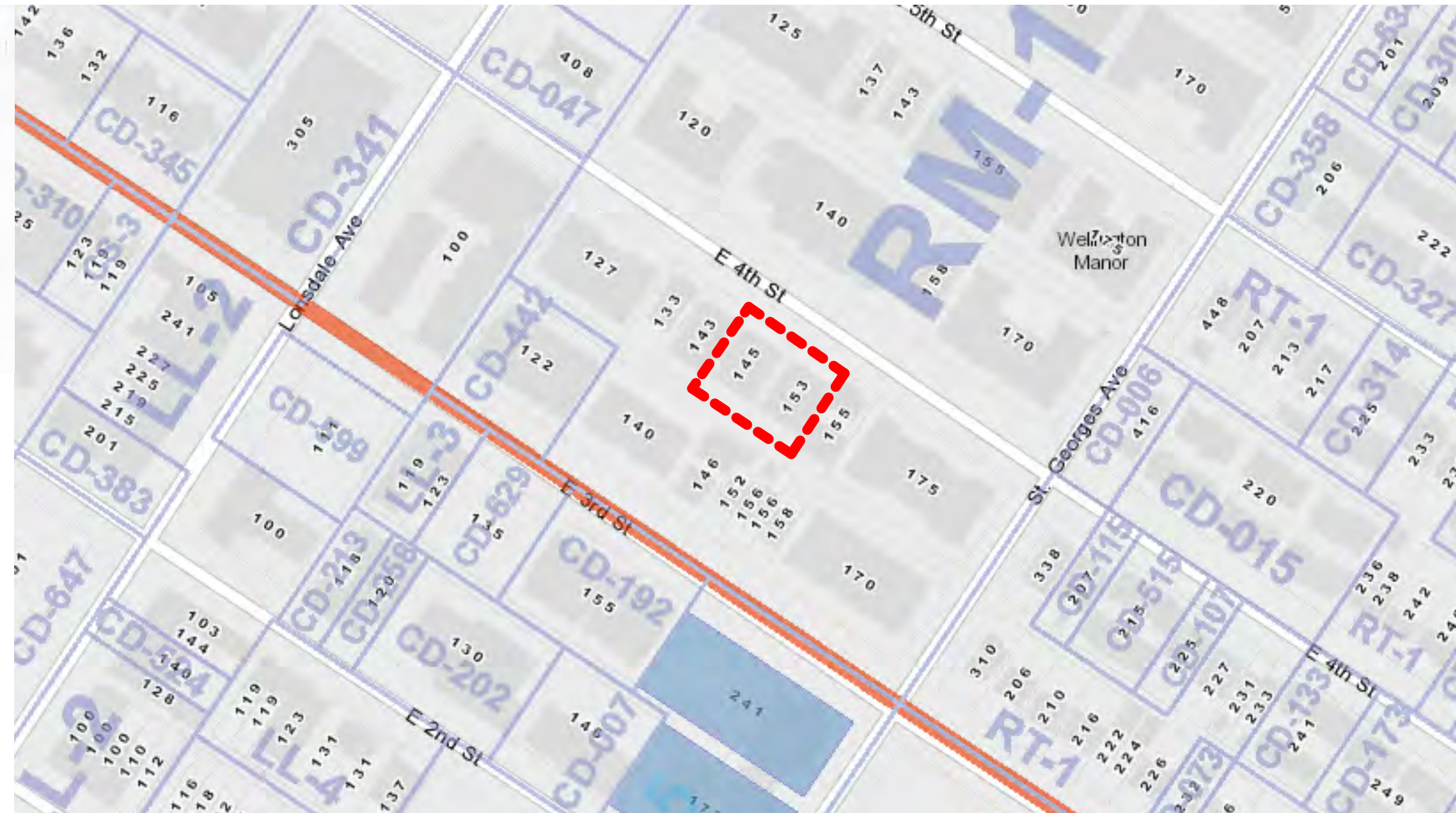
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A-0.010

Legend

Property Zoning

- Zoning Boundaries
- Setback Arc
- Zoning Special
- Setback Line
- Land Use Contracts
- Land Use Contracts



Legend

- Residential Apt Development Permit (Pending)
- Duplex Development Permit
- E3rd/Moodyville Development Permit
- Duplex Development Permit (Pending)



Legend

Property

2014 OCP Land Use

2014 OCP Maximum Height Limits (m)

- 2014 OCP Maximum Height Limits (m)
- 2014 OCP Special Study Areas
- 2014 OCP Special Study Areas
- 2014 OCP Land Use

- Residential Level 1
- Residential Level 2
- Residential Level 3
- Residential Level 4A
- Residential Level 4B
- Residential Level 5
- Residential Level 6
- Mixed Use Level 1
- Mixed Use Level 2
- Mixed Use Level 3
- Mixed Use Level 4A
- Mixed Use Level 4B
- Harbourside Waterfront (Mixed Use)
- Parks, Recreation & Open Space
- School & Institutional
- Commercial
- Mixed Employment
- Industrial

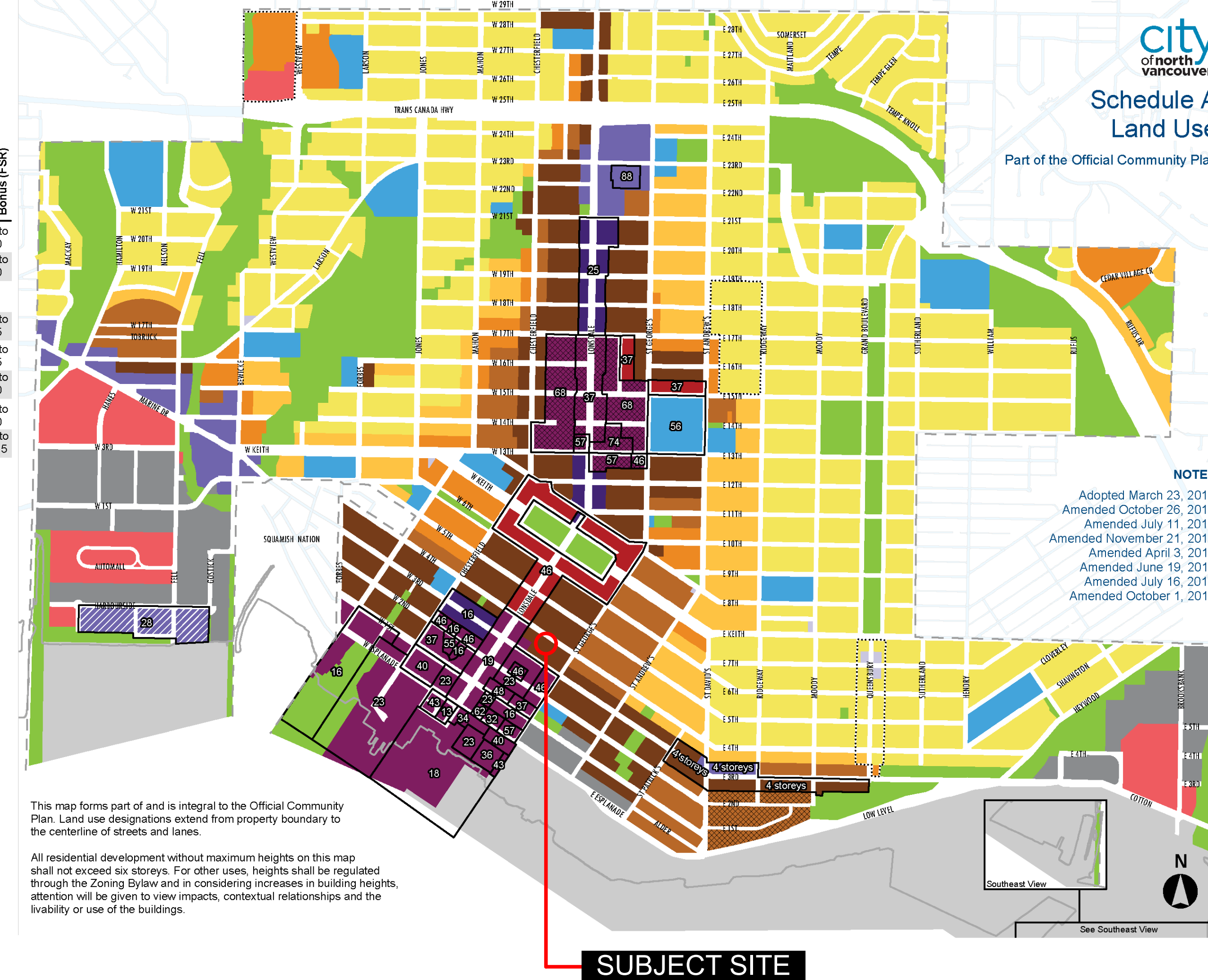


Land Use Designation
This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 1

Land Use Designation	OCF Density (FSR)	Maximum Bonus (FSR)
Residential Level 1 (Low Density)	0.5	up to 1.0
Residential Level 2 (Low Density)	0.5	up to 1.0
Residential Level 3 (Low Density)	0.75	up to 1.0
Residential Level 4A (Medium Density)	1.0	up to 1.0
Residential Level 4B (Medium Density)	1.25	up to 1.0
Residential Level 5 (Medium Density)	1.6	up to 1.0
Residential Level 6 (High Density)	2.3	up to 1.0
Mixed Use Level 1 (Low Density)	1.0	up to 0.5
Mixed Use Level 2 (Medium Density)	2.0	up to 0.5
Mixed Use Level 3 (Medium Density)	2.3	up to 0.5
Mixed Use Level 4A (High Density)	2.6	up to 1.0
Mixed Use Level 4B (High Density)	3.0	up to 1.0
Harbourside Waterfront (Mixed Use)	2.05	up to 0.15
Parks, Recreation & Open Space		
School & Institutional		
Commercial		
Mixed Employment		
Industrial		
Maximum Building Heights in Metres		
Special Study Area		
City Boundary		

Example Height Equivalencies

Metres	Approx. Storeys
12-13	4
16-19	6
23-25	8
37	12
46	15
55-56	18
68	22
74	24
86	30



city of north vancouver
Schedule A Land Use
Part of the Official Community Plan

NOTES
Adopted March 23, 2015
Amended October 26, 2015
Amended July 11, 2016
Amended November 21, 2016
Amended April 3, 2017
Amended June 19, 2017
Amended July 16, 2018
Amended October 1, 2018

This map forms part of and is integral to the Official Community Plan. Land use designations extend from property boundary to the centerline of streets and lanes.
All residential development without maximum heights on this map shall not exceed six storeys. For other uses, heights shall be regulated through the Zoning Bylaw and in considering increases in building heights, attention will be given to view impacts, contextual relationships and the livability or use of the buildings.

OCF - MID-RISE APARTMENT MEDIUM DENSITY R5:

- 1.6 FSR (MAX BONUS FSR 1.0)
- 1.0 FSR BONUS WITH PUBLIC BENEFITS:
 - 1) SECURE MARKET RENTAL HOUSING OR NON-MARKET RENTAL
 - 2) COMMUNITY AMENITY SPACE
- MAX HEIGHT 6 STOREY

APPLICABLE GUIDELINES:

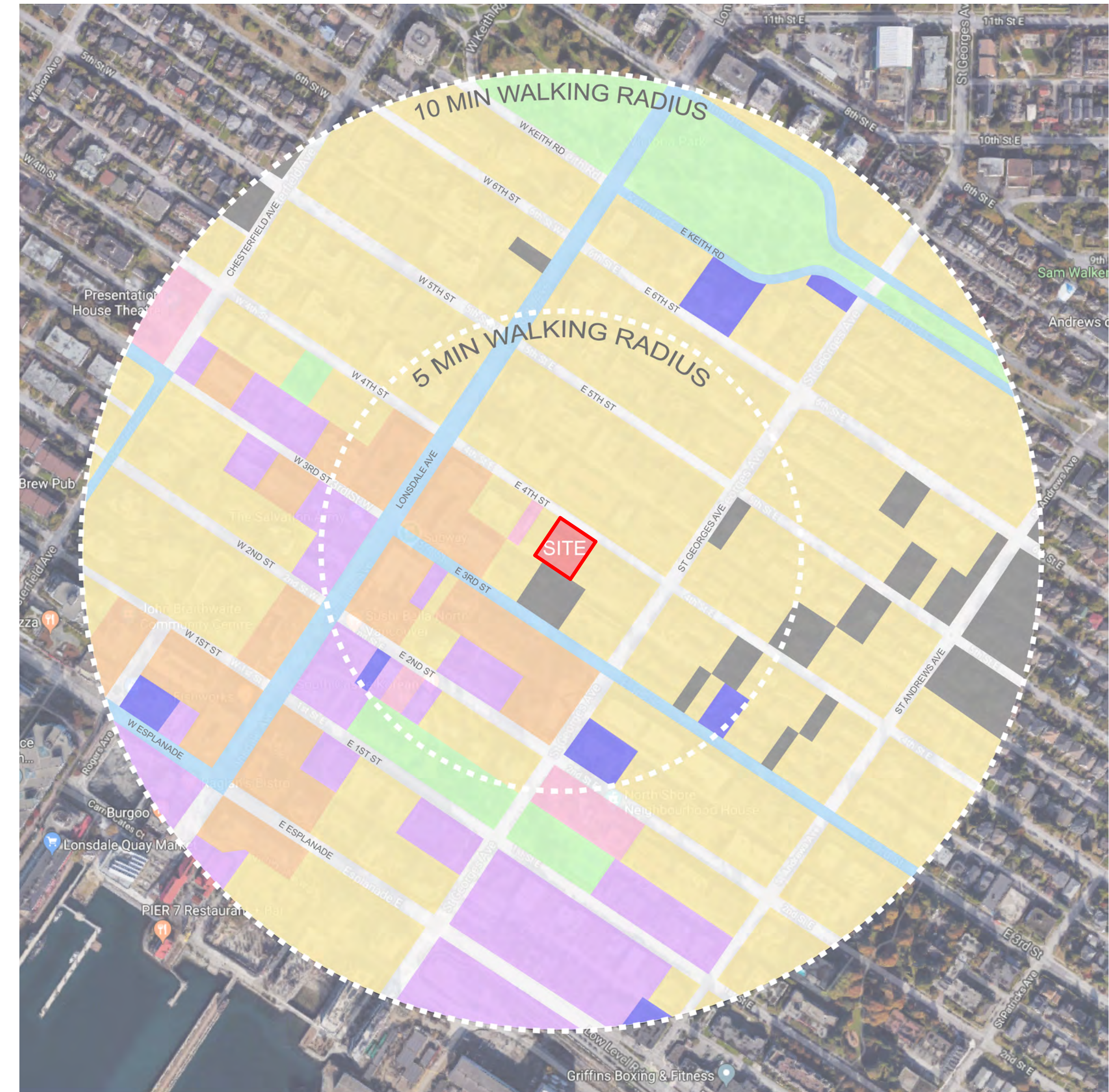
- 2018 DENSITY BONUS AND COMMUNITY BENEFITS POLICY
- ACTIVE DESIGN GUIDELINES
- ADAPTABLE DESIGN GUIDELINES
- SUSTAINABLE DESIGN GUIDELINES
- CPTED PRINCIPLES



3D Aerial View Looking South East



3D Aerial View Looking North West



- PARKS
- TRANSIT ROUTE
- REZONING APPLICATION
- COMMUNITY BUILDINGS
- COMMERCIAL
- MIXED-USE
- MULTI-FAMILY RESIDENTIAL
- SINGLE-FAMILY RESIDENTIAL



View Along E 4th St Looking West



View Along E 4th St Looking East



View of Site from Lane



View Along Lane looking East



Elevation along E 4th St



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ISSUE 03 - RZ/DP APP

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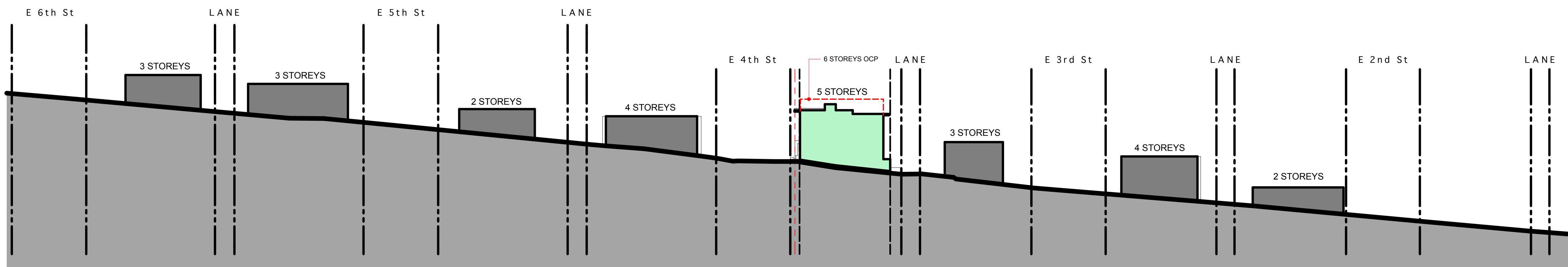
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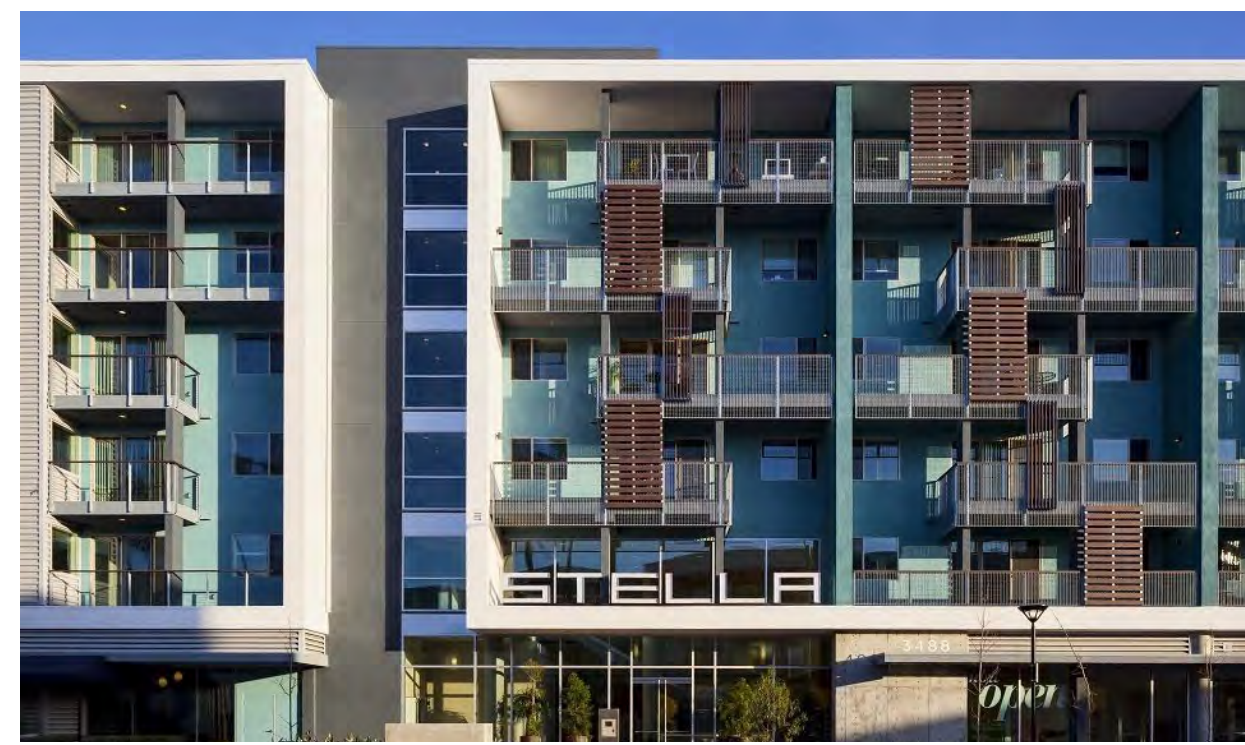
ISSUE 03 - RZ/DP APP [ISSUE]

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A-0.040



PRECEDENT IMAGES



ROOF DECKS & BALCONIES

Indoor/outdoor living
West Coast lanais
View opportunities



APARTMENT CHARACTER

West Coast contemporary
Natural brick, natural cedar feature walls & overhangs/soffits
Painted wall panels with metal reveals, glass & metal railings
Sustainable urban living
Modern, efficient, open floor layouts



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CONCEPT IMAGES

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A-0.050



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**THREE SHORES
DEVELOPMENT**

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EAST 4TH ST.

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PERSPECTIVE

[PROJECT]

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A-0.080



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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

PERSPECTIVE

19487 [PROJECT]

Not To Scale [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-0.081



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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

**THREE SHORES
DEVELOPMENT**

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

PERSPECTIVE

[PROJECT]

19487

[SCALE]

Not To Scale

[DATE]

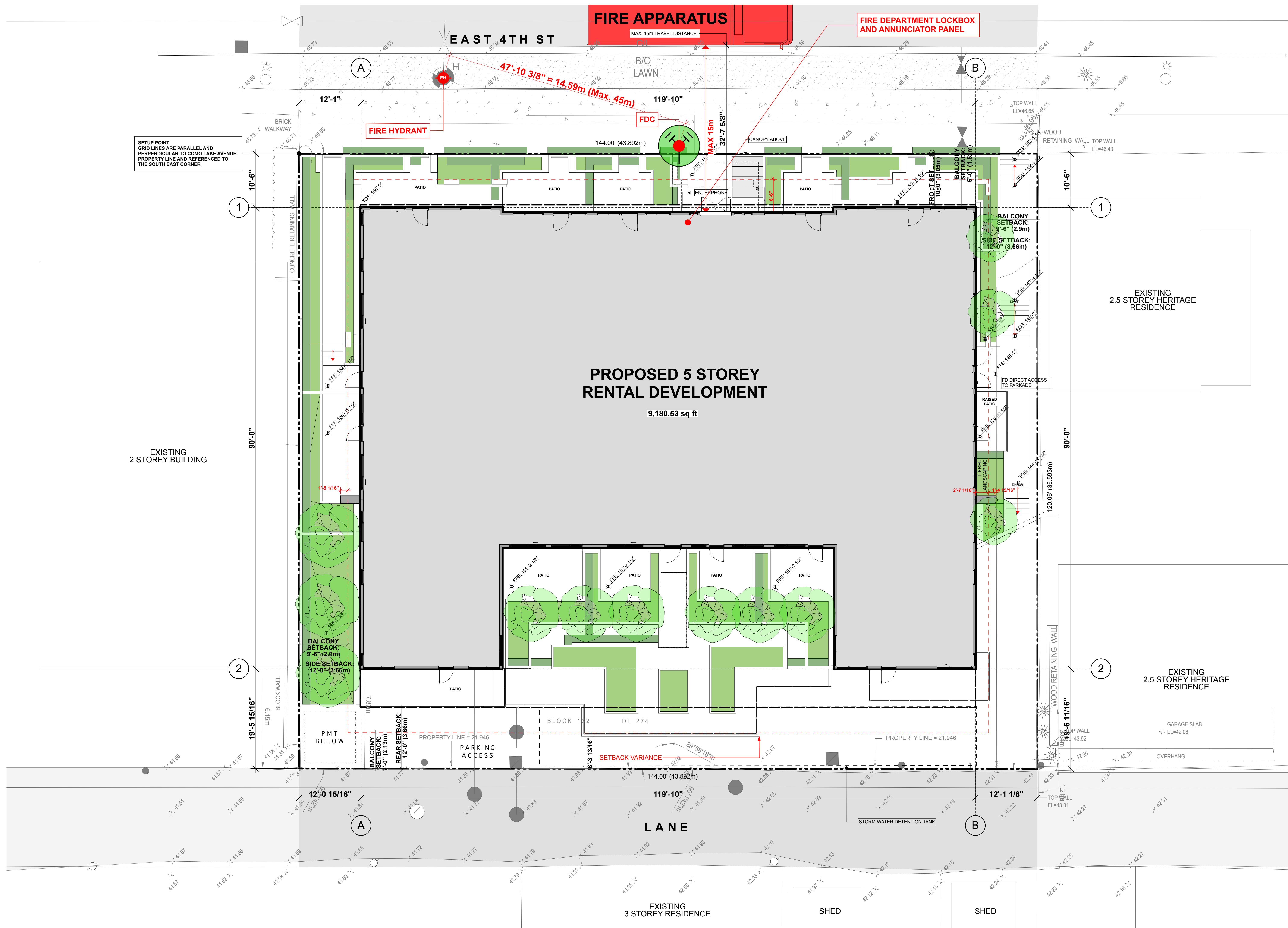
2020-08-07

[ISSUE]

ISSUE 03 - RZ/DP APP

[DRAWING]

A-0.082



SETUP POINT
GRID LINES ARE PARALLEL AND
PERPENDICULAR TO COMO LAKE AVENUE
PROPERTY LINE AND REFERENCED TO
THE SOUTH EAST CORNER

FIRE APPARATUS
MAX 15m TRAVEL DISTANCE

**FIRE DEPARTMENT LOCKBOX
AND ANNUCIATOR PANEL**

FIRE HYDRANT

FDC

**PROPOSED 5 STOREY
RENTAL DEVELOPMENT**
9,180.53 sq ft

EXISTING
2 STOREY BUILDING

EXISTING
2.5 STOREY HERITAGE
RESIDENCE

EXISTING
2.5 STOREY HERITAGE
RESIDENCE

LANE

EXISTING
3 STOREY RESIDENCE

SHED

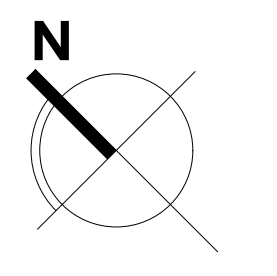
SHED



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**THREE SHORES
DEVELOPMENT**

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

SITE PLAN

19487 [PROJECT]

1/8" = 1'-0" [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-1.000

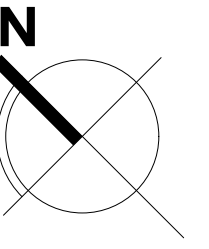


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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

PARKING P2

19487

[PROJECT]

1/8" = 1'-0"

[SCALE]

2020-08-07

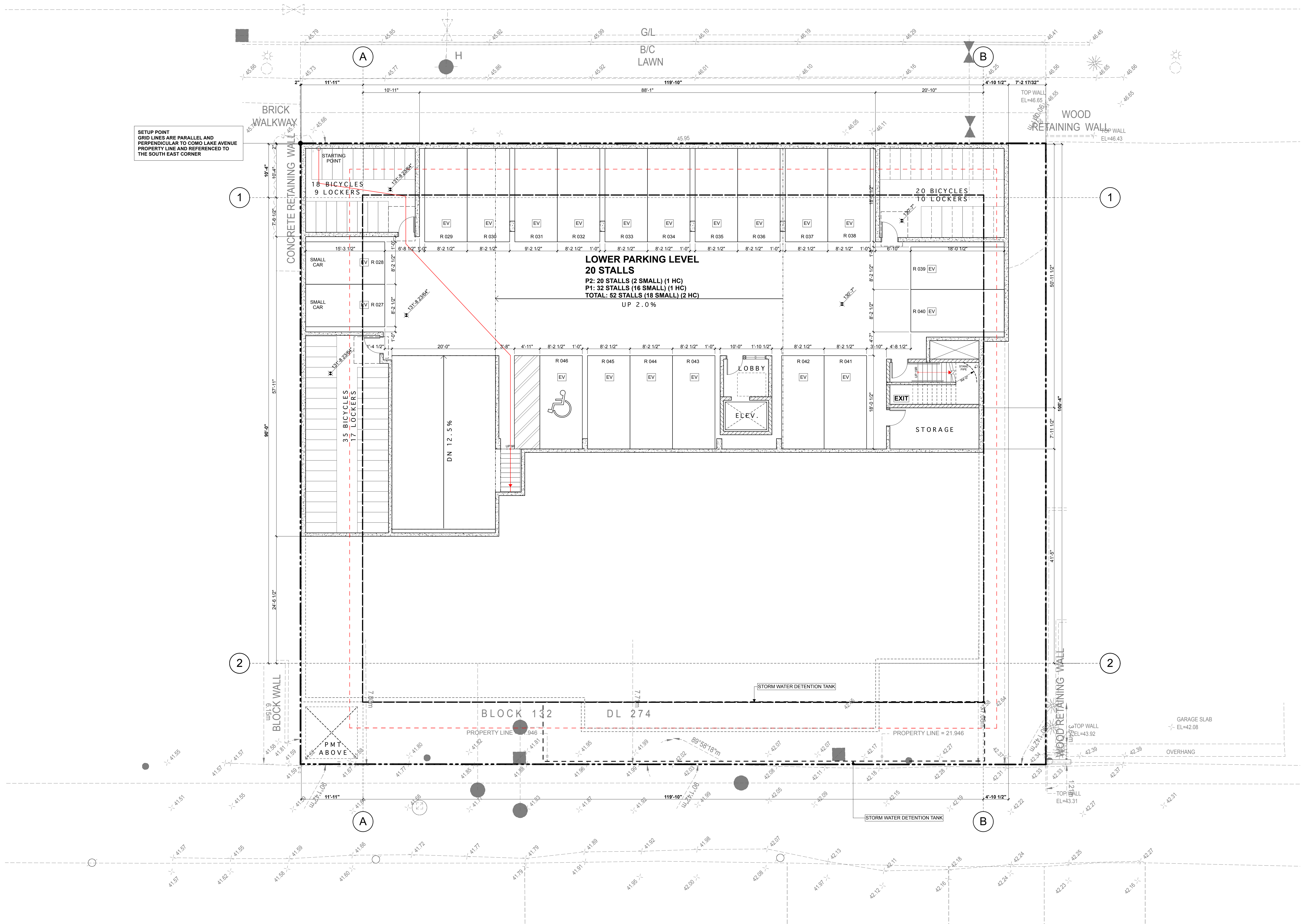
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ISSUE 03 - RZ/DP APP

[ISSUE]

[DRAWING]

A-2.001



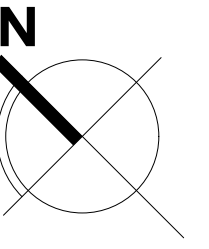


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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

1ST FLOOR

19487

[PROJECT]

1/8" = 1'-0"

[SCALE]

2020-08-07

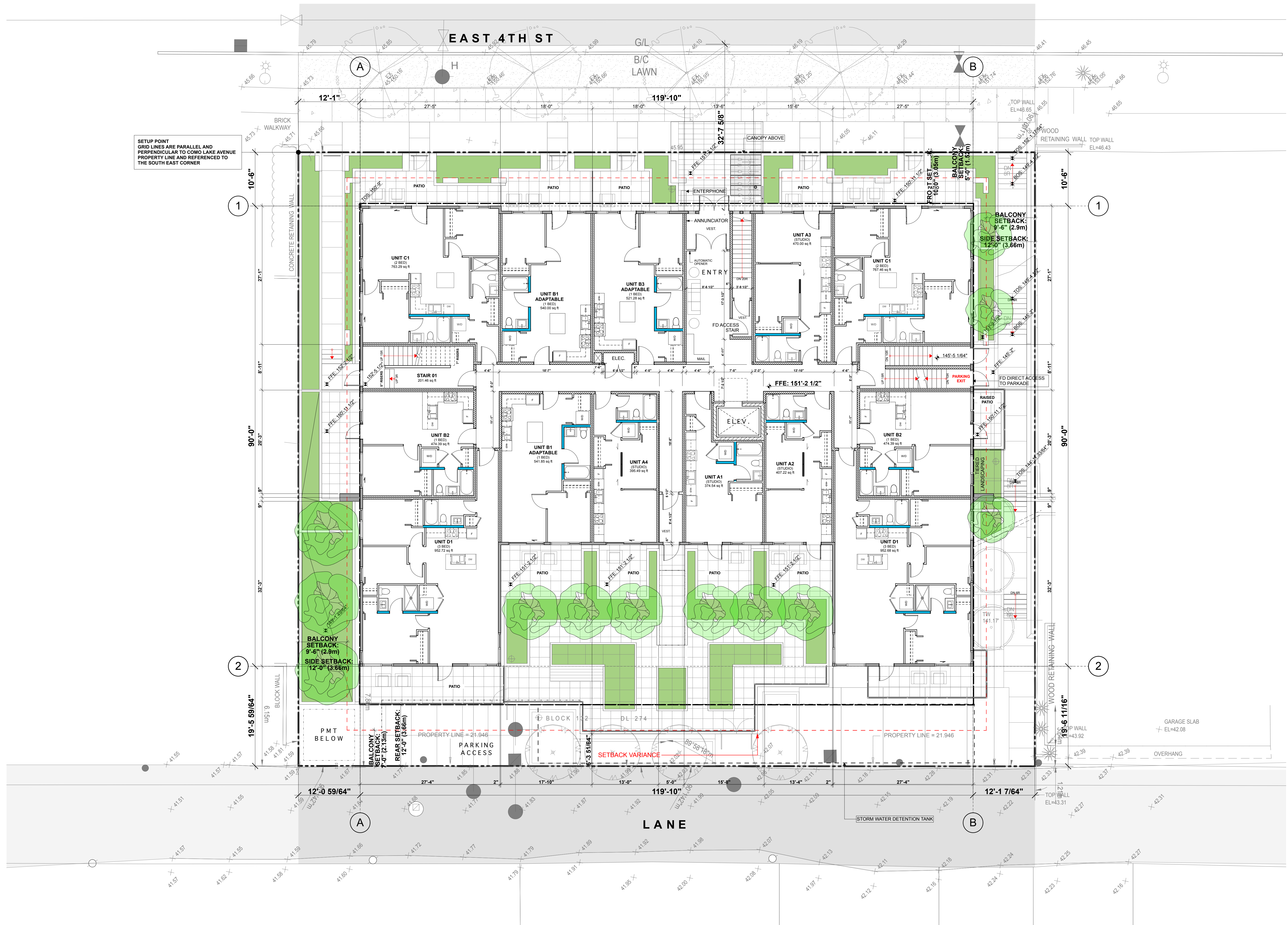
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[ISSUE]

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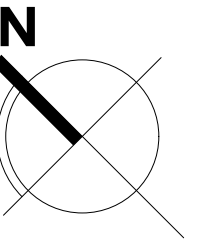


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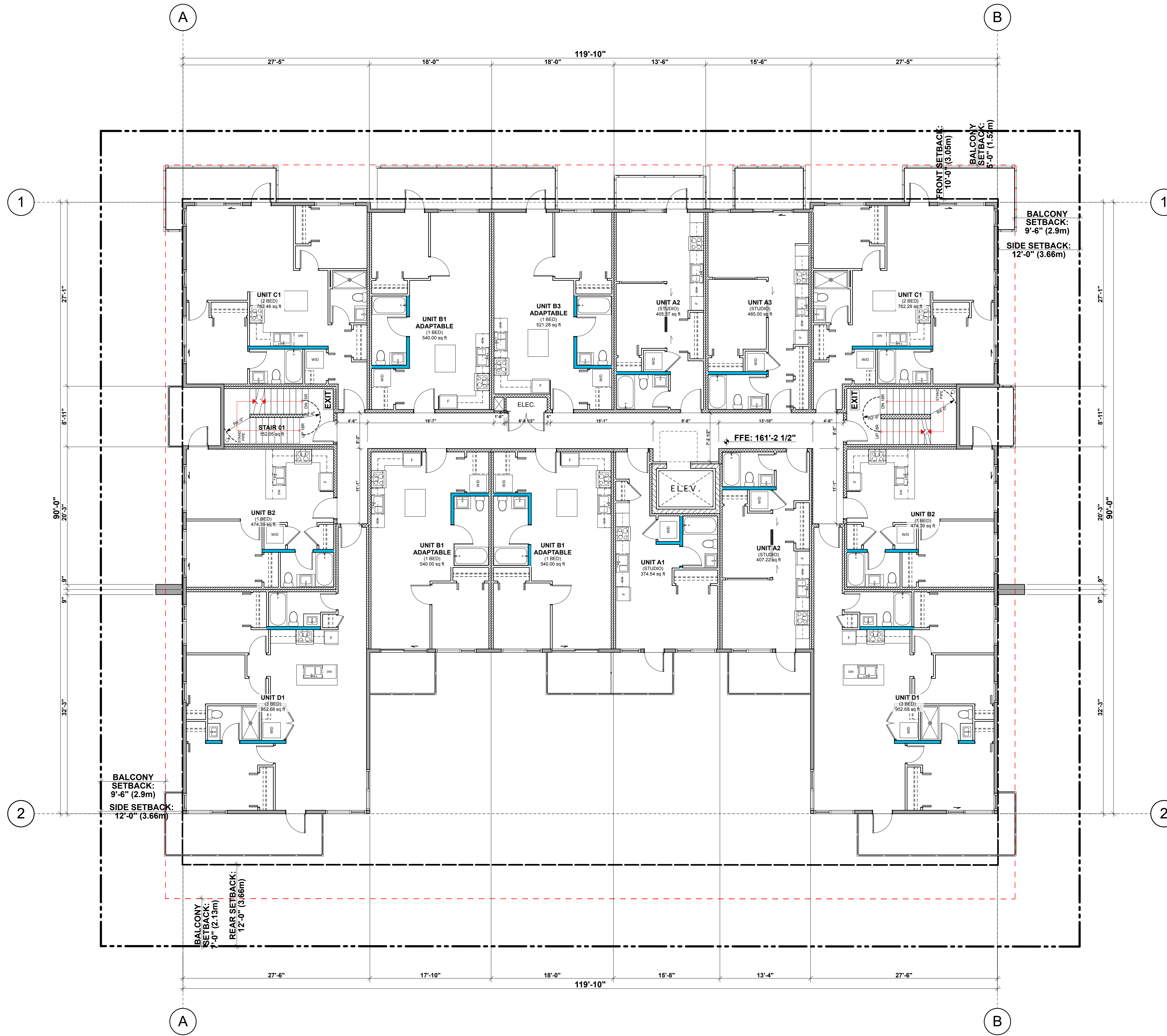
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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

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North Vancouver, BC

[TITLE]

2ND FLOOR

19487 [PROJECT]

1/8" = 1'-0" [SCALE]

2020-08-07 [DATE]

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[DRAWING]

A-2.020

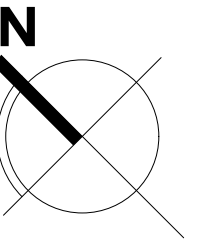


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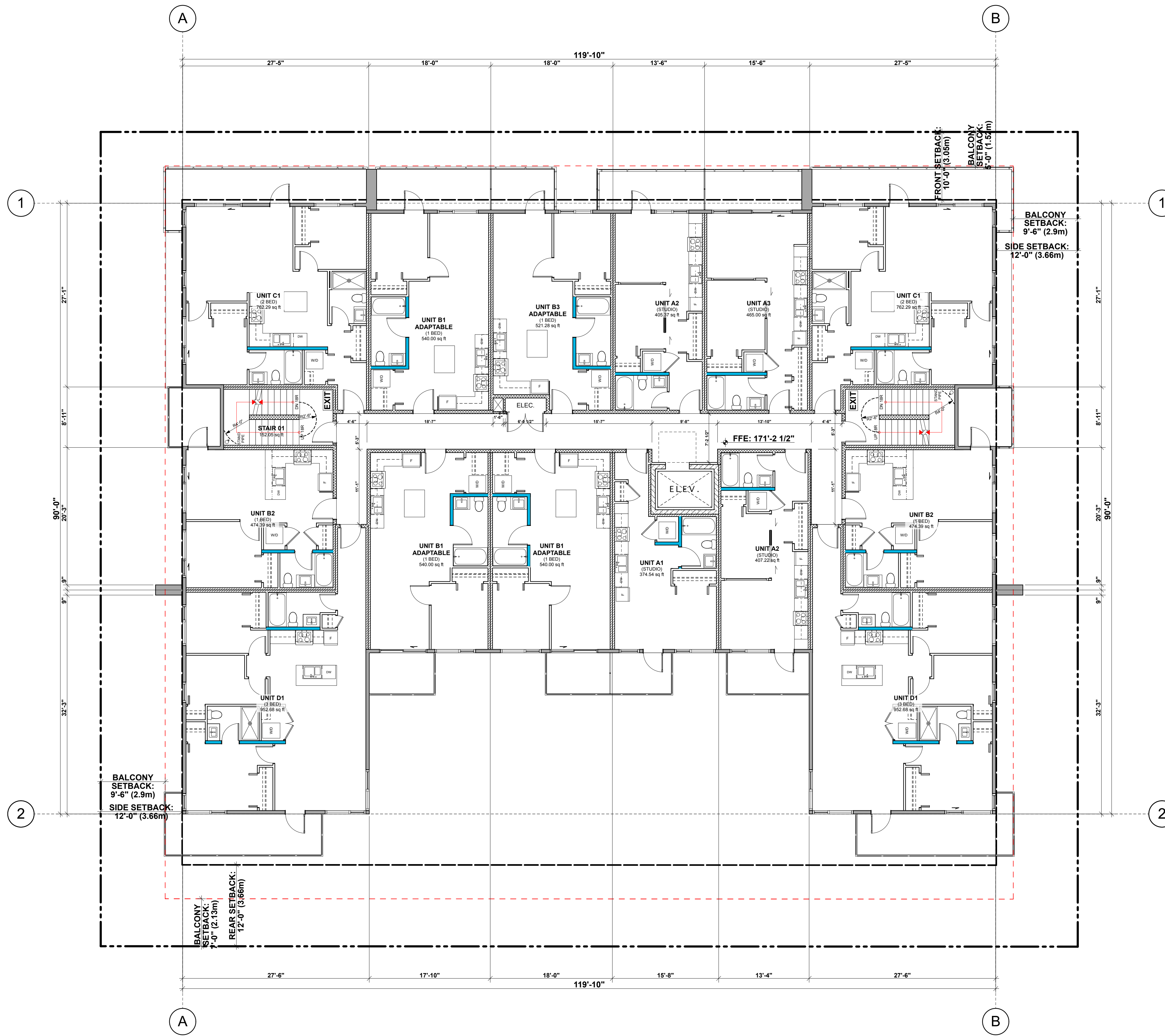
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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

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North Vancouver, BC

[TITLE]

3RD FLOOR

19487 [PROJECT]

1/8" = 1'-0" [SCALE]

2020-08-07 [DATE]

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[DRAWING]

A-2.030

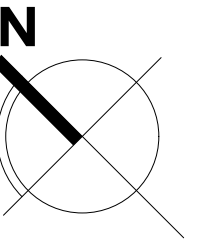


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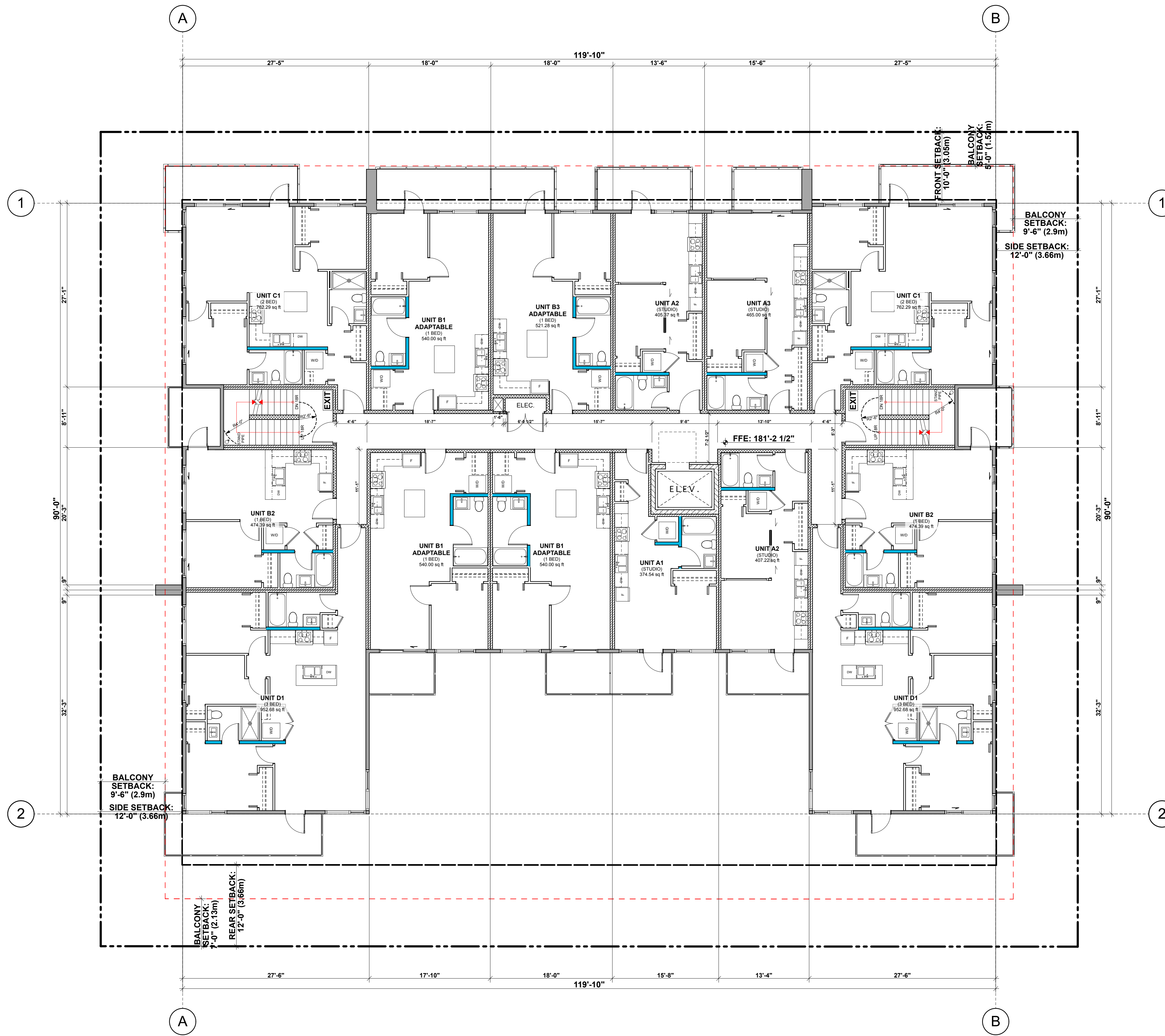
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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

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North Vancouver, BC

[TITLE]

4TH FLOOR

19487 [PROJECT]

1/8" = 1'-0" [SCALE]

2020-08-07 [DATE]

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A-2.040

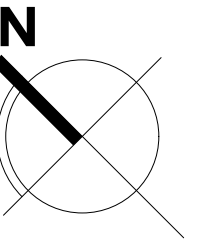


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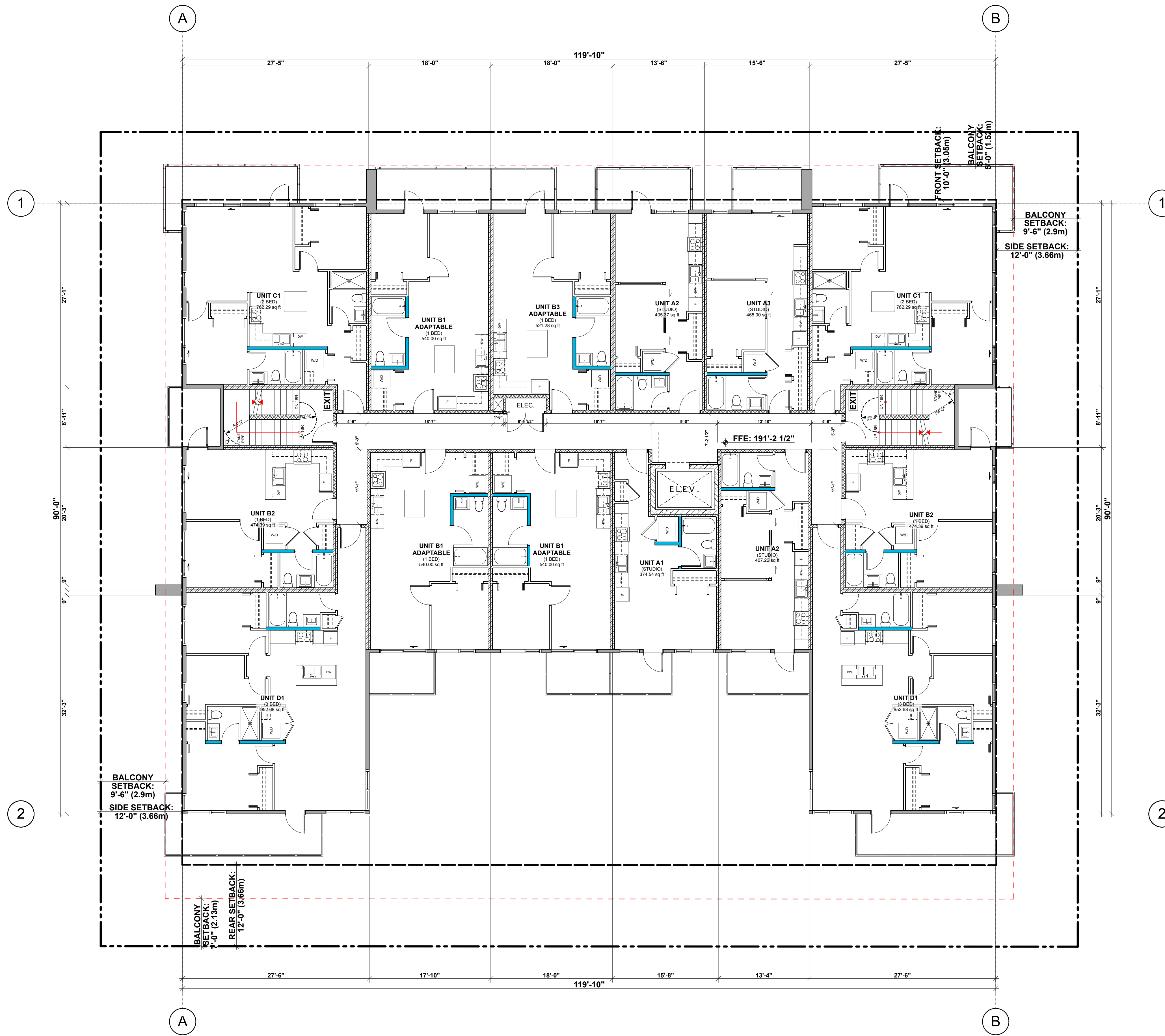
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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

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North Vancouver, BC

[TITLE]

5TH FLOOR

19487 [PROJECT]

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2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-2.050

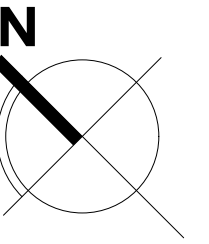


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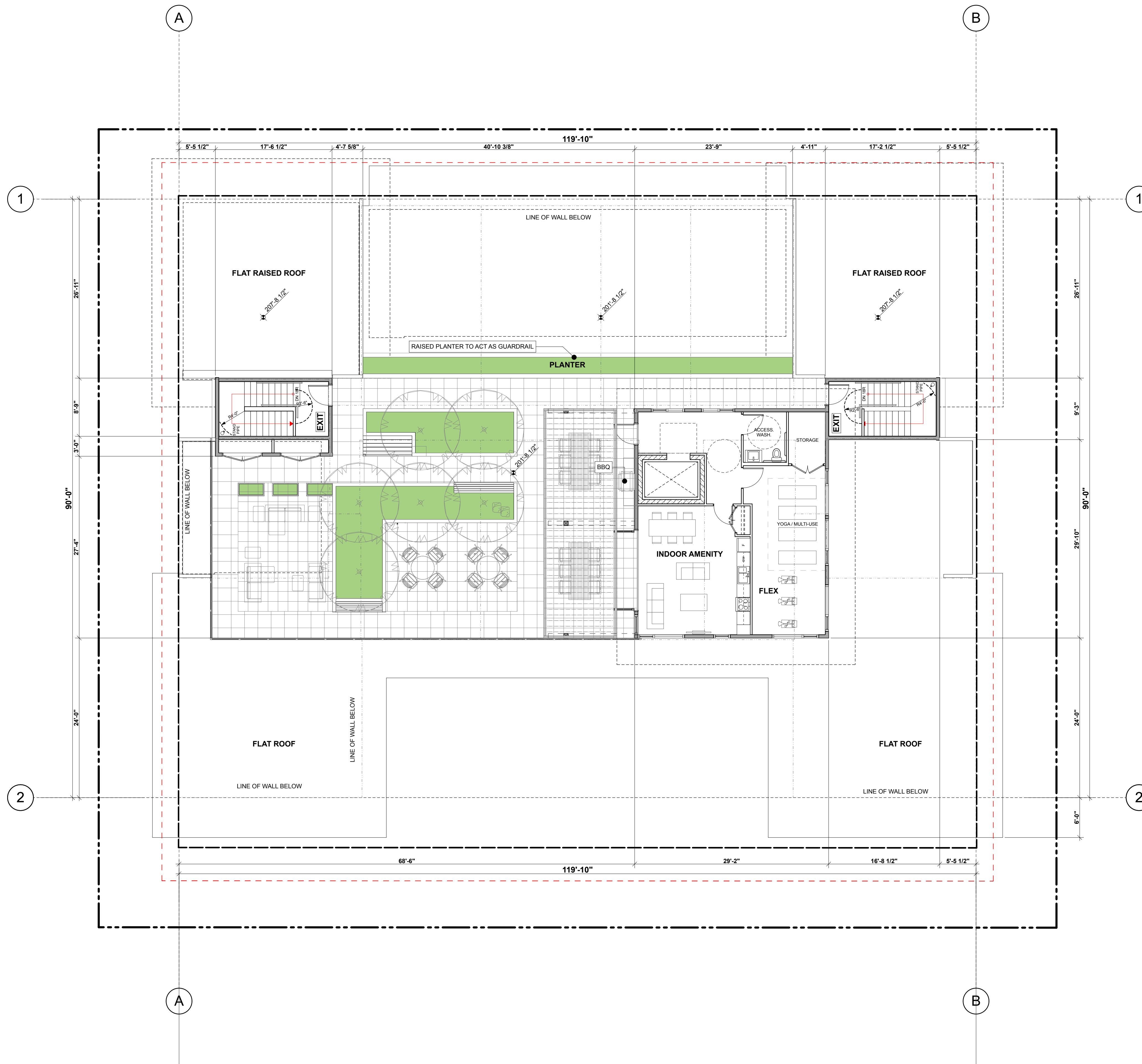
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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

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North Vancouver, BC

[TITLE]

ROOF LEVEL

19487 [PROJECT]

1/8" = 1'-0" [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-2.060

ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2005, No. 7721 - Figure 5 - 1

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BUILDING ACCESS	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair
BUILDING ACCESS	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues
BUILDING ACCESS	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks
BUILDING ACCESS		Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) * - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each unit	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) * - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each Level 3 unit
BUILDING ACCESS	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone
BUILDING ACCESS		Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided
BUILDING ACCESS	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached
BUILDING ACCESS	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)
BUILDING ACCESS	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *

* Illustrations available
** Options considered

- 1 of 3-

Design Elements
July 2005

DESIGN ELEMENTS

3 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
COMMON AREAS	Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front *	Accessible mailboxes for all AD Level 3 units, and 5' or 1520mm turning radius in front *	Accessible mailboxes for all AD Level 3 units, and 5' or 1520mm turning radius in front *
CIRCULATION	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *
CIRCULATION		Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *
SUITE CIRCULATION		Provide wiring for an automatic door opener for the suite entry door	Provide wiring for an automatic door opener for the suite entry door
SUITE CIRCULATION		Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*	Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*
DOORS		Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening*	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening
PATIOS & BALCONIES		Minimum one door 2' - 10" or 860mm clear door opening	Minimum one door 2' - 10" or 860mm clear door opening
PATIOS & BALCONIES		Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold**	Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold **
PATIOS & BALCONIES		Minimum 5' or 1520mm turning radius on patio / balcony	Minimum 5' or 1520mm turning radius on patio / balcony
WINDOWS		Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
WINDOWS		Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-6" or 750mm above the floor	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-6" or 750mm above the floor
KITCHEN		Continuous counter between sink and stove*	Continuous counter between sink and stove*
KITCHEN		Sink cabinet minimum 2'8" or 810mm wide	Sink cabinet minimum 2'8" or 810mm wide
KITCHEN		Provide sufficient space for future installation of cooktop and wall oven	Provide sufficient space for future installation of cooktop and wall oven
KITCHEN		Provide for potential 2'8" or 810mm wide undercounter workspace	Provide for potential 2'8" or 810mm wide undercounter workspace
KITCHEN		Lower edge of upper cupboards 4'6" or 1350mm above floor	Lower edge of upper cupboards 4'6" or 1350mm above floor

* Illustrations available
** Options considered

- 2 of 3-

Design Elements
July 2005

DESIGN ELEMENTS

4 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
KITCHEN			Minimum 4' or 1220mm floor space between base cabinets / walls (possible with removal of sink cabinet) *
MIN. ONE BATHROOM		Toilet located adjacent to wall (min 3' or 915mm length) *	Toilet located adjacent to wall (min 4'6" or 1370mm length) *
MIN. ONE BATHROOM		Provide turning radius within bathroom (may result from removal of vanity cabinet)*	Provide turning radius within bathroom (may result from removal of vanity cabinet)*
MIN. ONE BATHROOM		3' or 915mm clearance along full length of tub *	3' or 915mm clearance along full length of tub *
MIN. ONE BATHROOM		Tub control valve placed at outer edge of tub, with tub spout remaining in central position *	Tub control valve placed at outer edge of tub, with tub spout remaining in central position *
MIN. ONE BATHROOM		Accessible storage *	Accessible storage*
MIN. ONE BATHROOM		Provide pocket door or door swing out *	Provide pocket door or door swing out *
MIN. ONE BATHROOM		Space under sink minimum 2'8" or 810mm wide *	Space under sink minimum 2'8" or 810mm wide *
MIN. ONE BATHROOM		Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details	Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details
MIN. ONE BEDROOM		Sufficient manoeuvring room between closet and double bed *	Sufficient manoeuvring room between closet and double bed *
MIN. ONE BEDROOM		Provide 3' or 915mm access to window opening *	Provide 3' or 915mm access to window opening *
LAUNDRY FACILITIES		Provide front loading side-by-side washer / dryer in-suite or in common area	Provide front loading side-by-side washer / dryer in-suite or in common area
LAUNDRY FACILITIES		4' or 1220mm manoeuvring space in front of washer / dryer	4' or 1220mm manoeuvring space in front of washer / dryer

S:\COMMUNITY PLANNING\Adaptable Design\Handouts\Design Elements Handout.doc

* Illustrations available
** Options considered

- 3 of 3-

Design Elements
July 2005

DESIGN ELEMENTS

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BASIC	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
BASIC	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
BASIC	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
BASIC	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
BASIC	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
BASIC	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
CIRCULATION	Slip resistant flooring	Slip resistant flooring	Slip resistant flooring
CIRCULATION	Colour contrasting exit doors	Colour contrasting exit doors	Colour contrasting exit doors
BUILDING MEETING / AMENITY ROOMS		Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
UNIT ENTRIES		Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
UNIT ENTRIES		Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
UNIT ENTRIES			Two door viewers: 3'5" or 1050mm and 5' or 1520mm
UNIT FLOORING		Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
UNIT FLOORING		High density, low level loop carpet and underlay maximum 1/2" or 13mm height	High density, low level loop carpet and underlay maximum 1/2" or 13mm height
PATIOS AND BALCONIES		Outdoor light fixture provided	Outdoor light fixture provided
PATIOS AND BALCONIES		Electrical outlet provided	Electrical outlet provided

* Illustrations available

- 1 of 3

Fixtures & Finishes
July 2005

FIXTURES & FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
ELECTRICAL		Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
ELECTRICAL		Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
ELECTRICAL	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack
ELECTRICAL	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
ELECTRICAL		Rocker switches	Rocker switches
ELECTRICAL			Double bulb ceiling fixtures
ELECTRICAL			Provide wiring for automatic door opener and strike at unit entry
WINDOWS		Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
KITCHEN		Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
KITCHEN		Pull-out work boards at 2'8" or 810mm height *	Pull-out work boards at 2'8" or 810mm height *
KITCHEN		Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
KITCHEN		Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
KITCHEN			Drawer storage in key areas*
KITCHEN			Provision for removal of sink cabinet and lowering of counter height
KITCHEN			Provision in water supply and drain to allow for a 4" (100mm) drop in sink height (offset plumbing)
KITCHEN			Provision for the future installation of at least one counter receptacle in front of cabinets
KITCHEN			Where regular refrigerator installed initially, provide adequate space for side by side model
KITCHEN			Contrasting knobs on stove / cook top

* Illustrations available

- 2 of 3

Fixtures & Finishes
July 2005

FIXTURES & FINISHES

8 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
MIN. ONE BATHROOM	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *
MIN. ONE BATHROOM	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves
MIN. ONE BATHROOM		Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
MIN. ONE BATHROOM		Provision for vanity sink removal	Provision for vanity sink removal
MIN. ONE BATHROOM		Adjustable height shower head or hand-held shower head on adjustable bracket *	Adjustable height shower head or hand-held shower head on adjustable bracket *
MIN. ONE BATHROOM		One switched electrical outlet	One switched electrical outlet
LIVING ROOM		Three-way switched outlet at bed area and doorway	Three-way switched outlet at bed area and doorway
BEDROOMS		Provide light fixture in or adjacent to closet	Provide light fixture in or adjacent to closet
BEDROOMS	Telephone jack	Telephone jack	Telephone jack
IN-SUITE STORAGE		Provide light and electrical outlet	Provide light and electrical outlet

LEVEL 1 ALL UNITS
LEVEL 2 ADAPTABLE UNIT: B1 (2 BEDROOM)



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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES
DEVELOPMENT

[PROJECT]

E4th St

145-153 E 4th St
North Vancouver, BC

[TITLE]

ADAPTABLE
UNITS DESIGN
GUIDELINES

19487

[PROJECT]

AS NOTED

[SCALE]

2020-08-07

[DATE]

ISSUE 03 - DP/RZ APP

[ISSUE]

[DRAWING]

A-3.001



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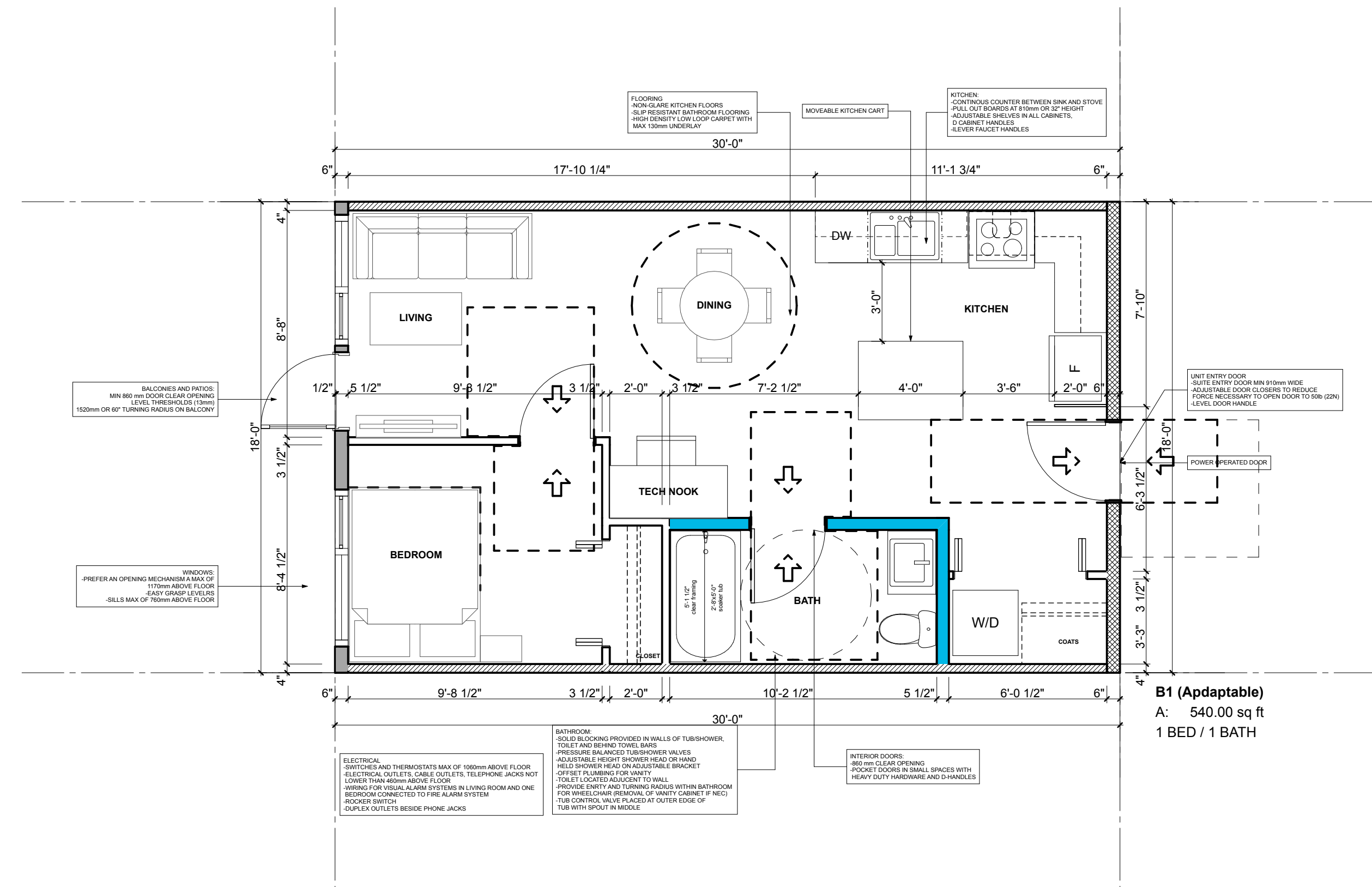
[PROJECT TEAM]

SYMBOLS AND LEGENDS:

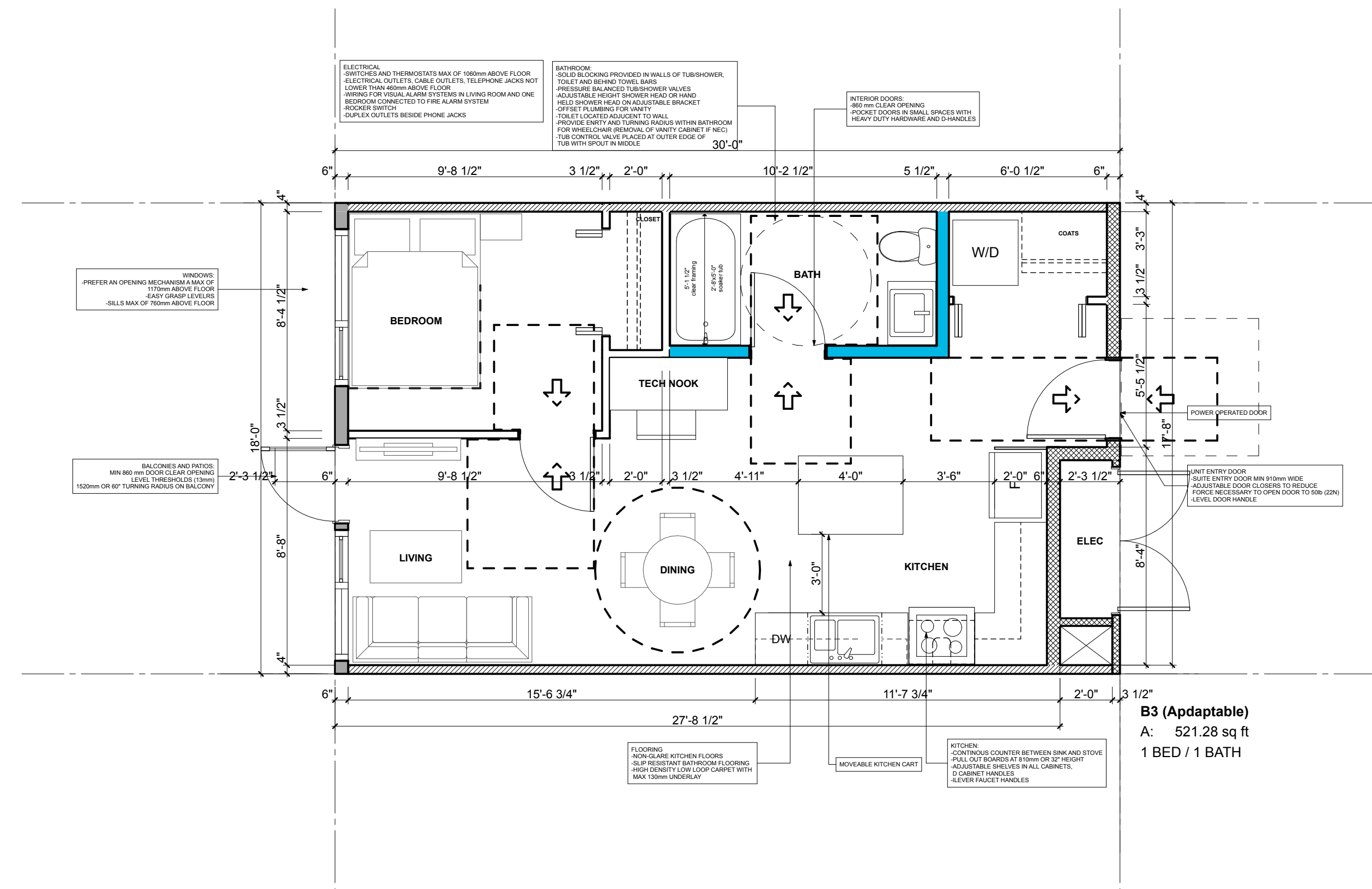
- WINDOW TYPE
- DOOR TYPE
DOOR RATING (HRS)
- INDICATES WALL TYPE / WALL RATING (HR)
- CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR LOAD BEARING 2 x 8 WALL
- INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC 2x6 WALL
- SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- CONCRETE COLUMN
- INDICATES ELECTRICAL PANEL
- INDICATES MEDIA PANEL
- INDICATES MANIFOLD PLUMBING PANEL
- SUITE NO.
- STRATA LOT NO.
- UNIT TYPE
- APPROX. NET AREA
- INDICATES DROPPED CEILING

NOTES:

1. SEE 1/8" SCALE DWGS. FOR EXTENT OF EXTERIOR WALLS @ PARTY WALL LOCATIONS
2. SEE 1/8" SCALE DWGS. FOR BALCONY RAILING CONFIGURATION
3. PROVIDE 4 EVENLY DISTRIBUTED SHELVES IN EACH LINEN CLOSET
4. MIRROR DIMENSIONS TO BE CONFIRMED ON SITE
5. AT ALL KITCHEN, BATHROOM CABINET, & BATHTUB WALLS - STUD SPACING TO BE MINIMUM OF 16" o.c.
6. PROVIDE A MIN. 1/2" CLEARANCE ON EACH SIDE OF RANGE TO KITCHEN CABINETS
7. PROVIDE 37" (WIDTH) AND 70" (HEIGHT) CLEAR BETWEEN BASEBOARD & COUNTER TOP FOR FRIGIDES - CONFIRM W/OWNER
8. BATHROOM & LAUNDRY CEILINGS (EXCEPT BELOW ROOF) TO BE DROPPED TO ACCOMMODATE PLUMBING & VENTING ABOVE (MIN 2.1 m CEILING HEIGHT)
9. KITCHEN, LIVING ROOM, BEDROOMS (WHERE INDICATED) TO BE DROPPED TO 8'-0" HEIGHT TO ACCOMMODATE PLUMBING & VENTING ABOVE. MIN HEIGHT 2.44m
10. SEE INTERIOR DESIGN DRAWINGS FOR ALL INTERIOR DETAILS, TILE PATTERNS, CABINETS, PASS THROUGH, STAIRS, FIREPLACES - ADVISE OWNER OF ANY DISCREPANCIES BETWEEN SCOPES OF WORK, DRAWINGS AND/OR INTERIOR DESIGN SPECIFICATIONS
11. ALL VENTILATION DUCTS THAT PASS THROUGH UNHEATED ATTIC SPACES ARE TO BE INSULATED - SEE MECH DWGS
12. PROVIDE MIN 32" CLEAR FINISH DIMENSION INSIDE ALL LAUNDRY CLOSETS
13. PROVIDE SEPARATE PRICE FOR OPTIONAL DOOR OVERHEIGHT DOOR AT LAUNDRY CLOSET
14. FINISHED BULKHEAD WIDTH ABOVE KITCHEN CABINETS IS NOT TO EXCEED 11" & IS NOT TO EXTEND PAST FACE OF KITCHEN CABINETS
15. EACH KITCHEN TO HAVE A MIN OF ONE BANK OF DRAWERS
16. LOCATE WASHER DRYER BOX ALONG SIDE WALL ADJACENT TO FRONT OF WASHER DRYER.
17. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR DOORS WHERE INDICATED.

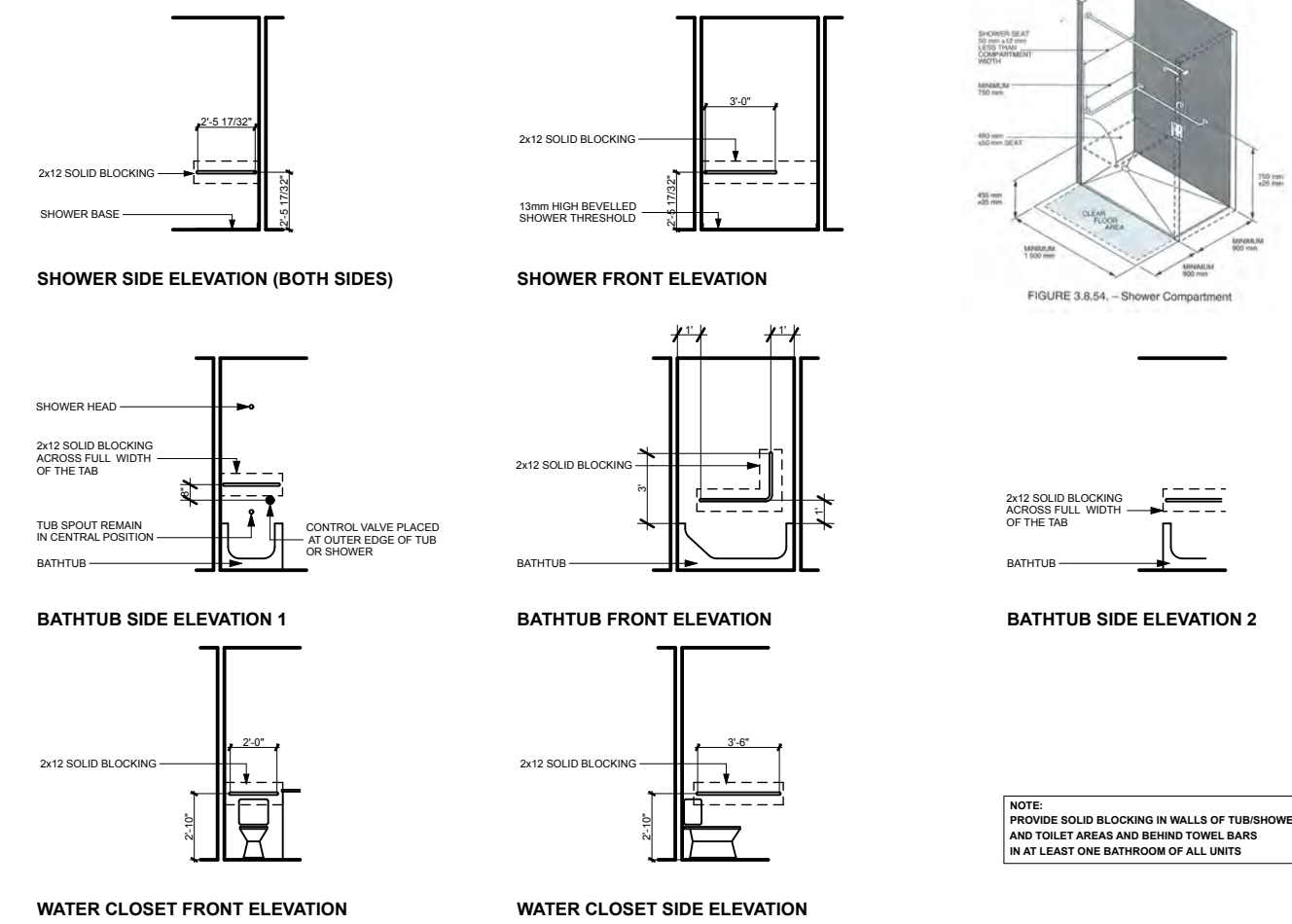


1 Unit B1 (ADAPTABLE)
SCALE: 1/4" = 1'-0"



1 Unit B3 (ADAPTABLE)
SCALE: 1/4" = 1'-0"

SOLID BLOCKING DETAILS



[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

E4th St

145-153 E 4th St
North Vancouver, BC

[TITLE]

UNIT PLANS ADAPTABLE

19487 [PROJECT]

AS NOTED [SCALE]

2020-08-07 [DATE]

ISSUE 03 - DP/RZ APP [ISSUE]

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A-3.002



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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

E 4TH ST - NE ELEVATION

19487 [PROJECT]

1/8" = 1'-0", 1:426.67 [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-4.001



Material and Colour Legend				
Colour	Manufacturer	Product (to match)	Finish (to match)	Location
1.0 CLADDING				
1.1 White	JamesHardie	HardiPlank Lap Siding - Select Cedarmill texture, 7" exposure	James Hardie - Arctic White	Exterior Walls
1.2 Light Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	James Hardie - Gray Slate	Exterior Walls
1.3 Dark Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	Dark Grey	Selected Exterior Walls
1.4 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
1.5 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Coastal Grey	Exterior Walls/Trims
1.6 Navy Blue	JamesHardie	HardiePanel Vertical Siding - Smooth	Navy Blue	Selected Front Exterior Walls
2.0 SOFFIT				
2.1 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
3.0 TRIMS /FLASHINGS				
3.1 Dark Grey	JamesHardie		James Hardie - Iron Gray	Hardie trims - Beam, Column, balcony edge
3.2 White	Benjamin Moore		Benjamin Moore - Distant Grey 2124-70	Hardie trims - Beam, Column, balcony edge
4.0 ROOFS				
4.1 Grey	TBC		TBC	SBS Membrane at flat roofs

WINDOWS				
5.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Windows
5.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Windows
5.3 Black	Starline	Aluminum Storefront Windows and Doors c/w matching Flashing and Trim	Black	Storefront Windows & Doors
6.0 DOORS				
6.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Doors
6.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Doors
6.3 Black	Starline	Aluminum Doors c/w matching Flashing and Trim	Black	Entry Doors
7.0 RAILINGS				
7.1 Black	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
7.2 White	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
8.0 STRUCTURE				
8.1 Light Grey		Architectural Exposed Concrete	Concrete	Cast-in-place and Landscape Retaining Walls
9.0 SCREENS				
9.1 Stained Cedar	TBD	Patio Screen	Light Cherry	Faux wood / Charcoal Metal Screens



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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
 North Vancouver, BC

[TITLE]

SE ELEVATION

19487 [PROJECT]

1/8" = 1'-0", 1:426.67 [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-4.002



Material and Colour Legend				
Colour	Manufacturer	Product (to match)	Finish (to match)	Location
1.0 CLADDING				
1.1 White	JamesHardie	HardiPlank Lap Siding - Select Cedarmill texture, 7" exposure	James Hardie - Arctic White	Exterior Walls
1.2 Light Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	James Hardie - Gray Slate	Exterior Walls
1.3 Dark Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	Dark Grey	Selected Exterior Walls
1.4 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
1.5 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Coastal Grey	Exterior Walls/Trims
1.6 Navy Blue	JamesHardie	HardiePanel Vertical Siding - Smooth	Navy Blue	Selected Front Exterior Walls
2.0 SOFFIT				
2.1 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
3.0 TRIMS /FLASHINGS				
3.1 Dark Grey	JamesHardie		James Hardie - Iron Gray	Hardie trims - Beam, Column, balcony edge
3.2 White	Benjamin Moore		Benjamin Moore - Distant Grey 2124-70	Hardie trims - Beam, Column, balcony edge
4.0 ROOFS				
4.1 Grey	TBC		TBC	SBS Membrane at flat roofs

WINDOWS						
5.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Windows		
5.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Windows		
5.3 Black	Starline	Aluminum Storefront Windows and Doors c/w matching Flashing and Trim	Black	Storefront Windows & Doors		
6.0 DOORS						
6.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Doors		
6.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Doors		
6.3 Black	Starline	Aluminum Doors c/w matching Flashing and Trim	Black	Entry Doors		
7.0 RAILINGS						
7.1 Black	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks		
7.2 White	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks		
8.0 STRUCTURE						
8.1 Light Grey		Architectural Exposed Concrete	Concrete	Cast-in-place and Landscape Retaining Walls		
9.0 SCREENS						
9.1 Stained Cedar	TBD	Patio Screen	Light Cherry	Faux wood / Charcoal Metal Screens		



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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

LANE - SW ELEVATION

19487 [PROJECT]

1/8" = 1'-0", 1:426.67 [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

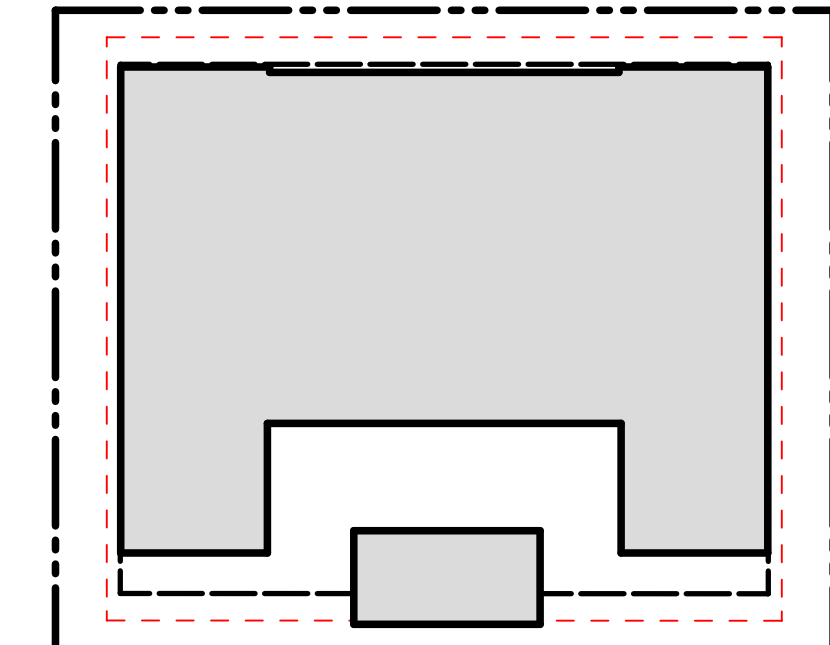
[DRAWING]

A-4.003



Material and Colour Legend				
Colour	Manufacturer	Product (to match)	Finish (to match)	Location
1.0 CLADDING				
1.1 White	JamesHardie	HardiPlank Lap Siding - Select Cedarmill texture, 7" exposure	James Hardie - Arctic White	Exterior Walls
1.2 Light Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	James Hardie - Gray Slate	Exterior Walls
1.3 Dark Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	Dark Grey	Selected Exterior Walls
1.4 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
1.5 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Coastal Grey	Exterior Walls/Trims
1.6 Navy Blue	JamesHardie	HardiePanel Vertical Siding - Smooth	Navy Blue	Selected Front Exterior Walls
2.0 SOFFIT				
2.1 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
3.0 TRIMS /FLASHINGS				
3.1 Dark Grey	JamesHardie		James Hardie - Iron Gray	Hardie trims - Beam, Column, balcony edge
3.2 White	Benjamin Moore		Benjamin Moore - Distant Grey 2124-70	Hardie trims - Beam, Column, balcony edge
4.0 ROOFS				
4.1 Grey	TBC		TBC	SBS Membrane at flat roofs

5.0 WINDOWS					
5.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Windows	
5.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Windows	
5.3 Black	Starline	Aluminum Storefront Windows and Doors c/w matching Flashing and Trim	Black	Storefront Windows & Doors	
6.0 DOORS					
6.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Doors	
6.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Doors	
6.3 Black	Starline	Aluminum Doors c/w matching Flashing and Trim	Black	Entry Doors	
7.0 RAILINGS					
7.1 Black	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks	
7.2 White	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks	
8.0 STRUCTURE					
8.1 Light Grey		Architectural Exposed Concrete	Concrete	Cast-in-place and Landscape Retaining Walls	
9.0 SCREENS					
9.1 Stained Cedar	TBD	Patio Screen	Light Cherry	Faux wood / Charcoal Metal Screens	





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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

NW ELEVATION

19487 [PROJECT]

1/8" = 1'-0", 1:426.67 [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-4.004



Material and Colour Legend				
Colour	Manufacturer	Product (to match)	Finish (to match)	Location
1.0 CLADDING				
1.1	White	JamesHardie HardiPlank Lap Siding - Select Cedarmill texture, 7" exposure	James Hardie - Arctic White	Exterior Walls
1.2	Light Grey	JamesHardie HardiePanel Vertical Siding - Smooth	James Hardie - Gray Slate	Exterior Walls
1.3	Dark Grey	JamesHardie HardiePanel Vertical Siding - Smooth	Dark Grey	Selected Exterior Walls
1.4	Stained Cedar	Woodtone Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
1.5	Stained Cedar	Woodtone Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Coastal Grey	Exterior Walls/Trims
1.6	Navy Blue	JamesHardie HardiePanel Vertical Siding - Smooth	Navy Blue	Selected Front Exterior Walls
2.0 SOFFIT				
2.1	Stained Cedar	Woodtone Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
3.0 TRIMS /FLASHINGS				
3.1	Dark Grey	JamesHardie	James Hardie - Iron Gray	Hardie trims - Beam, Column, balcony edge
3.2	White	Benjamin Moore	Benjamin Moore - Distant Grey 2124-70	Hardie trims - Beam, Column, balcony edge
4.0 ROOFS				
4.1	Grey	TBC	TBC	SBS Membrane at flat roofs

WINDOWS					
5.1	Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Windows
5.2	White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Windows
5.3	Black	Starline	Aluminum Storefront Windows and Doors c/w matching Flashing and Trim	Black	Storefront Windows & Doors
6.0 DOORS					
6.1	Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Doors
6.2	White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Doors
6.3	Black	Starline	Aluminum Doors c/w matching Flashing and Trim	Black	Entry Doors
7.0 RAILINGS					
7.1	Black	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
7.2	White	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
8.0 STRUCTURE					
8.1	Light Grey		Architectural Exposed Concrete	Concrete	Cast-in-place and Landscape Retaining Walls
9.0 SCREENS					
9.1	Stained Cedar	TBD	Patio Screen	Light Cherry	Faux wood / Charcoal Metal Screens

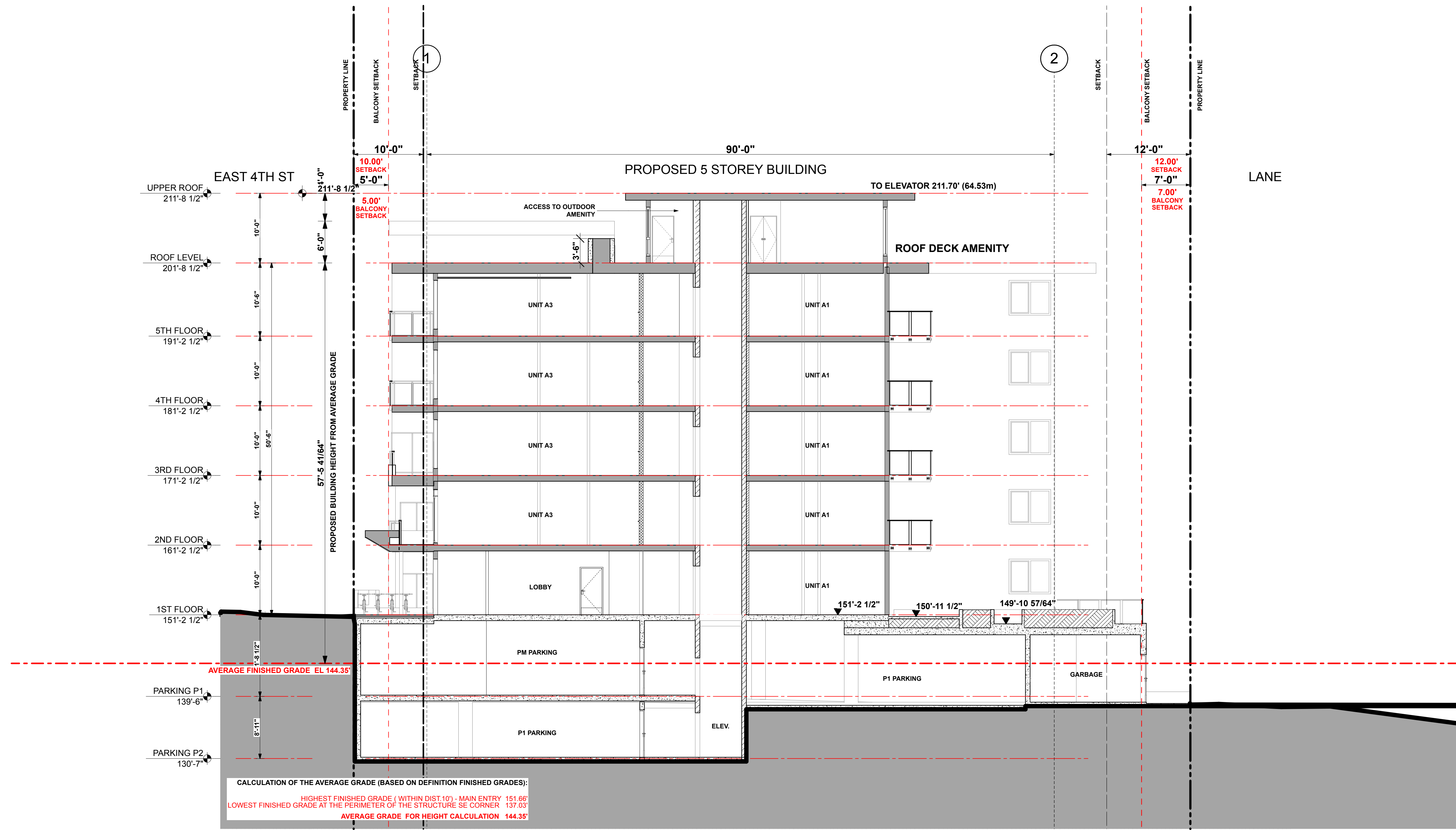


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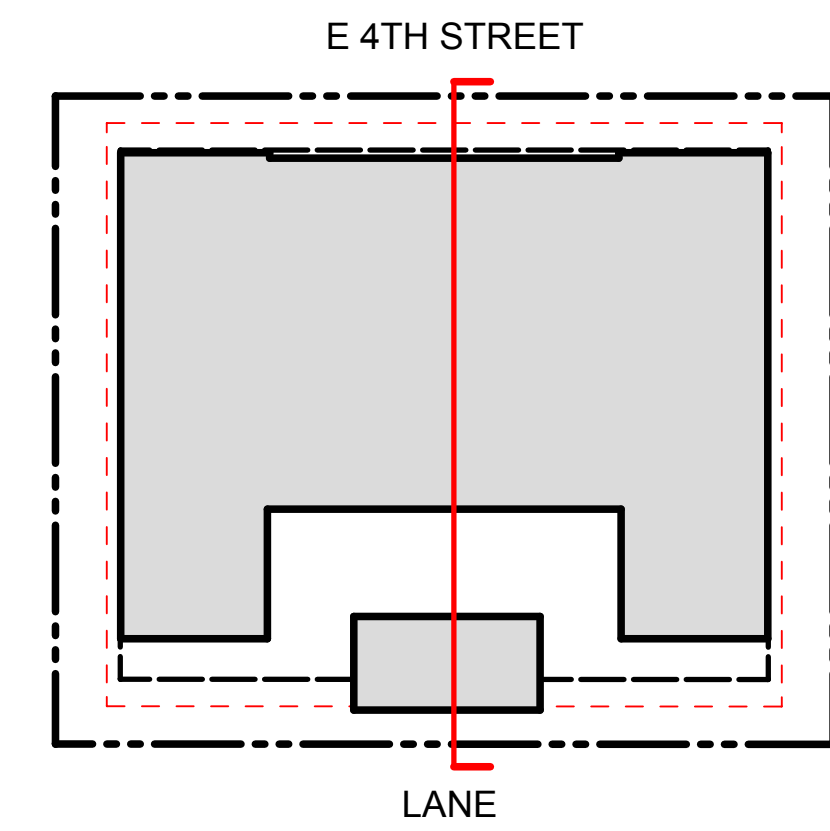


CALCULATION OF THE AVERAGE GRADE (BASED ON DEFINITION FINISHED GRADES):

HIGHEST FINISHED GRADE (WITHIN DIST. 10') - MAIN ENTRY 151.66'

LOWEST FINISHED GRADE AT THE PERIMETER OF THE STRUCTURE SE CORNER 137.03'

AVERAGE GRADE FOR HEIGHT CALCULATION 144.35'



[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

N/S SITE SECTION

19487 [PROJECT]

1/8" = 1'-0", 1:426.67 [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-5.000

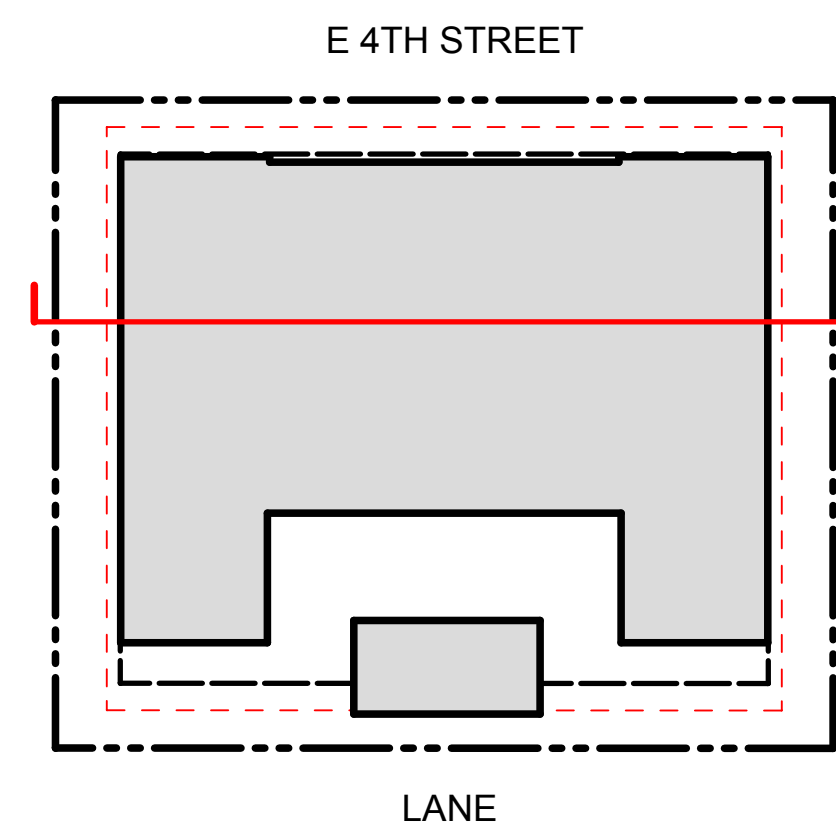
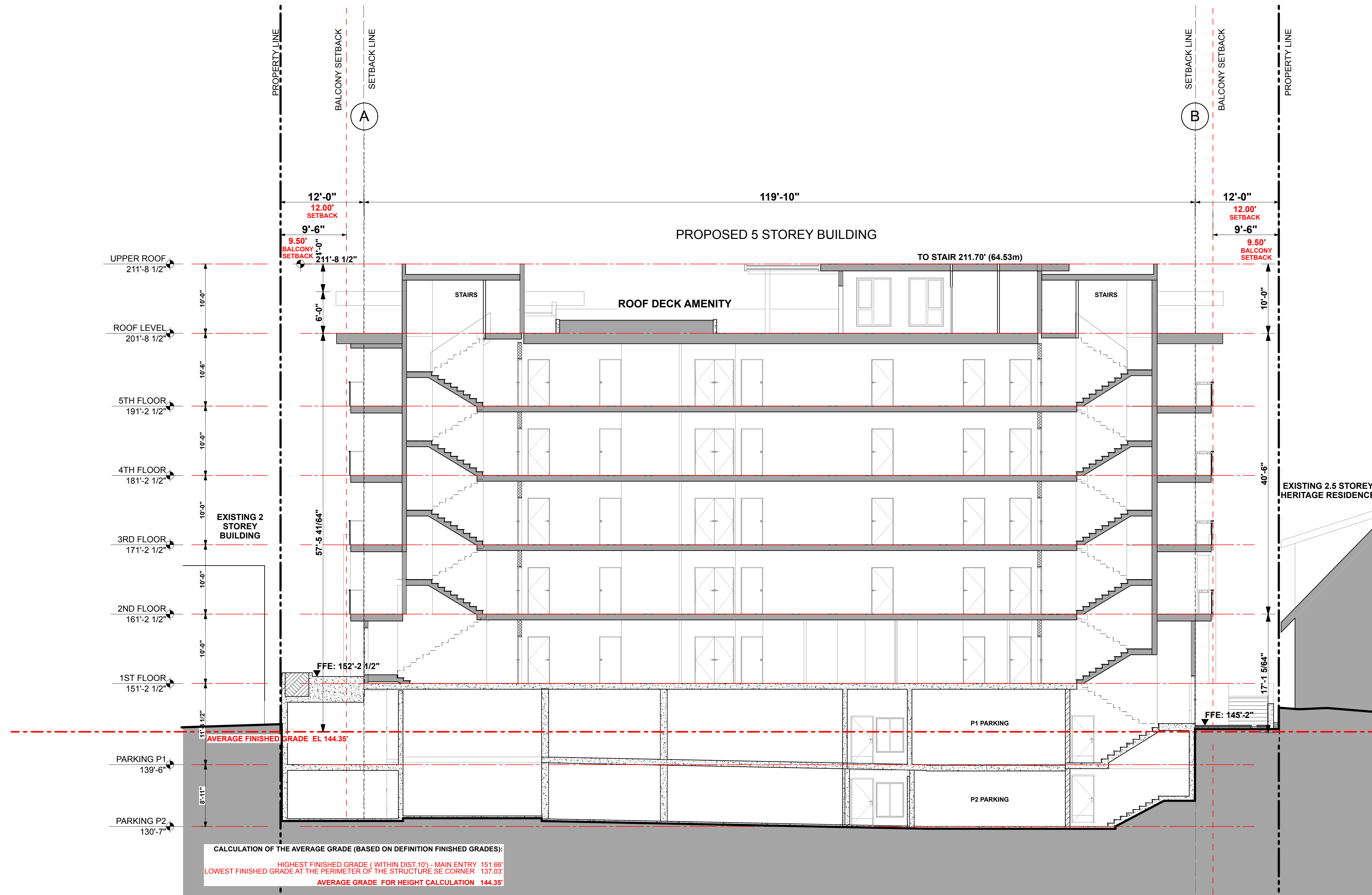


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[PROJECT TEAM]

[ARCHITECT SEAL]

[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

E/W SITE SECTION

19487 [PROJECT]

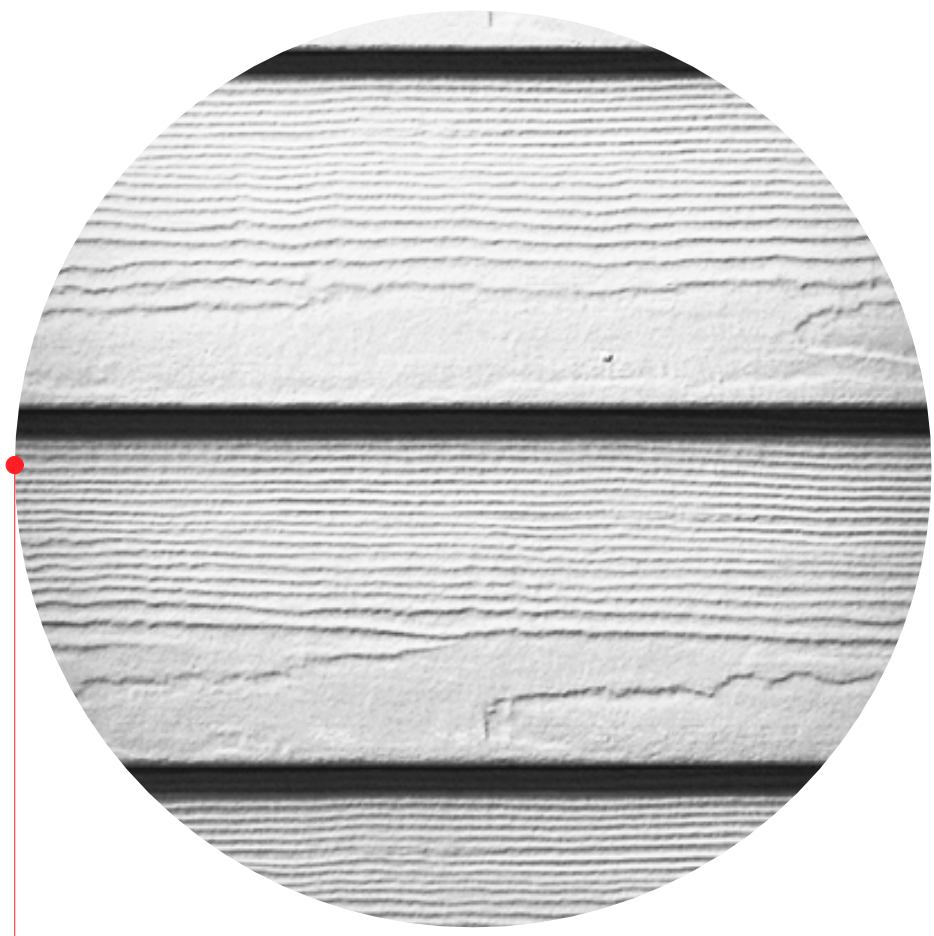
1/8" = 1'-0", 1:426.67 [SCALE]

2020-08-07 [DATE]

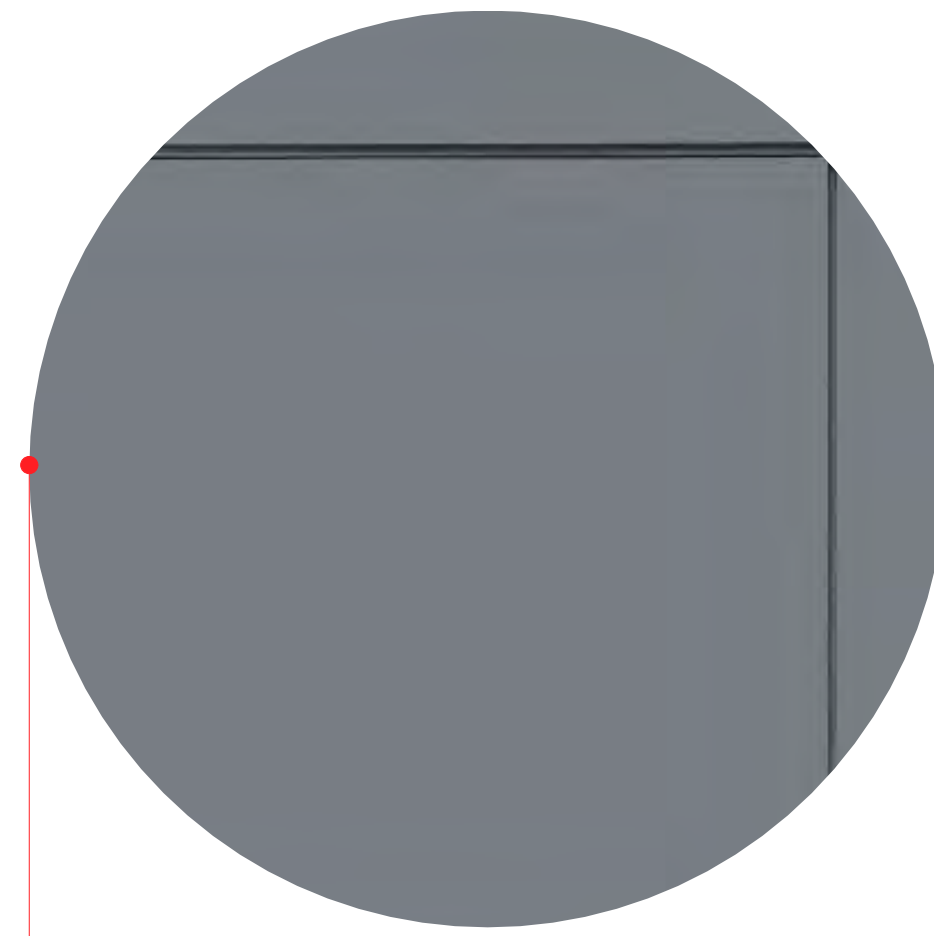
ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

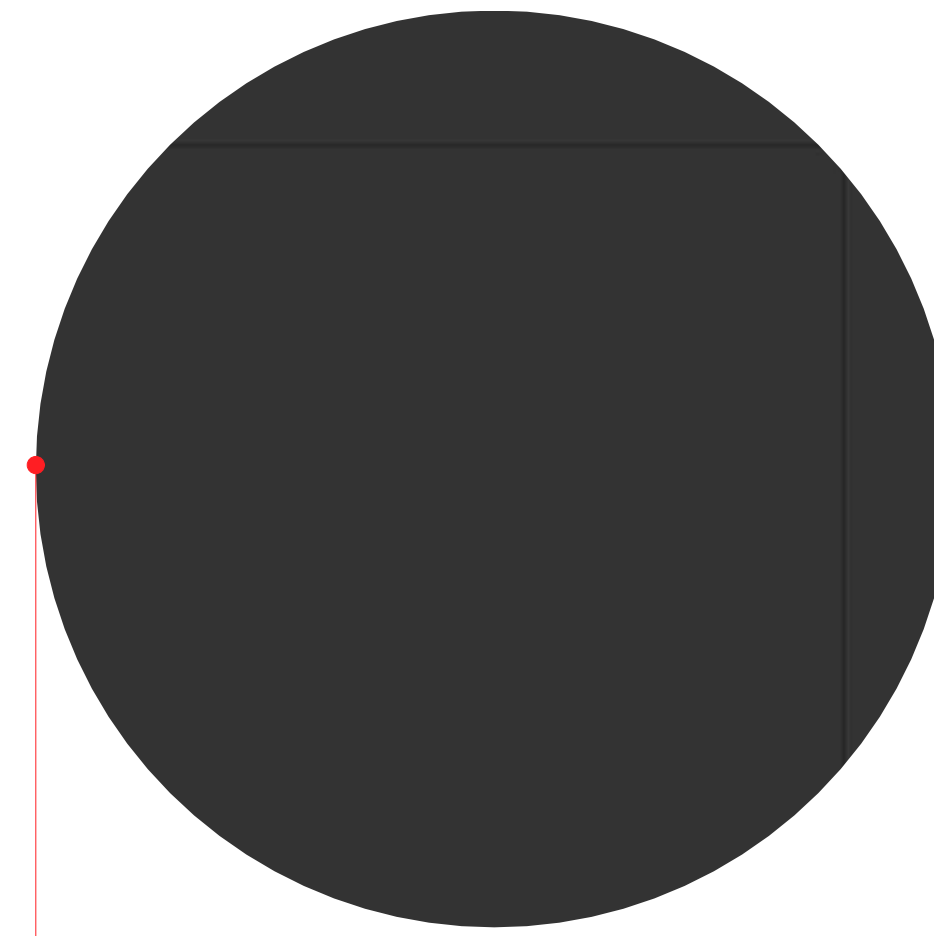
A-5.001



1.1 JAMES HARDIE COLLECTION
HardiePlank Lap Siding
Select Cedarmill texture
colour: ARCTIC WHITE



1.2 Grey Fibre Cement Panel w/
Reveal

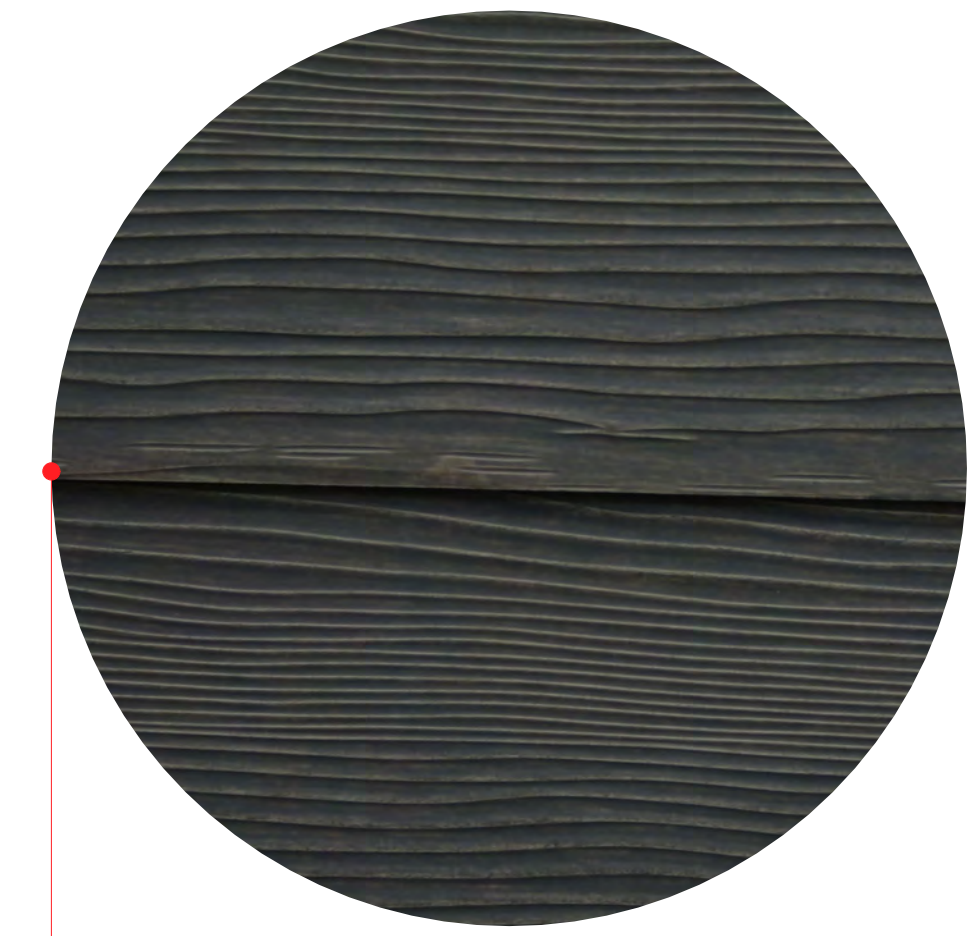


3.1 Charcoal Fibre Cement Panel



1.4 WOODTONE
Horizontal 6" Fibre Cement Cladding
colour: OLD CHERRY - Rustic Series

2.1



1.5 WOODTONE
Horizontal 6" Fibre Cement Cladding
colour: COASTAL GREY
- Rustic Series



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[PROJECT TEAM]

MATERIALS

Material and Colour Legend

Colour	Manufacturer	Product (to match)	Finish (to match)	Location
1.0 CLADDING				
1.1 White	JamesHardie	HardiPlank Lap Siding - Select Cedarmill texture, 7" exposure	James Hardie - Arctic White	Exterior Walls
1.2 Light Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	James Hardie - Gray Slate	Exterior Walls
1.3 Dark Grey	JamesHardie	HardiePanel Vertical Siding - Smooth	Dark Grey	Selected Exterior Walls
1.4 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
1.5 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Coastal Grey	Exterior Walls/Trims
1.6 Navy Blue	JamesHardie	HardiePanel Vertical Siding - Smooth	Navy Blue	Selected Front Exterior Walls
2.0 SOFFIT				
2.1 Stained Cedar	Woodtone	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - Old Cherry	Exterior Walls/Soffits
3.0 TRIMS /FLASHINGS				
3.1 Dark Grey	JamesHardie		James Hardie - Iron Gray	Hardie trims - Beam, Column, balcony edge
3.2 White	Benjamin Moore		Benjamin Moore - Distant Grey 2124-70	Hardie trims - Beam, Column, balcony edge
4.0 ROOFS				
4.1 Grey	TBC		TBC	SBS Membrane at flat roofs
5.0 WINDOWS				
5.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Windows
5.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Windows
5.3 Black	Starline	Aluminum Storefront Windows and Doors c/w matching Flashing and Trim	Black	Storefront Windows & Doors
6.0 DOORS				
6.1 Black	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	Black	Residential Doors
6.2 White	Starline	Vinyl Windows and Doors c/w matching Flashing and Trim	White	Residential Doors
6.3 Black	Starline	Aluminum Doors c/w matching Flashing and Trim	Black	Entry Doors
7.0 RAILINGS				
7.1 Black	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
7.2 White	Lindahl	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
8.0 STRUCTURE				
8.1 Light Grey		Architectural Exposed Concrete	Concrete	Cast-in-place and Landscape Retaining Walls
9.0 SCREENS				
9.1 Stained Cedar	TBD	Patio Screen	Light Cherry	Faux wood / Charcoal Metal Screens



- 3.1** ROOF OVERHANG TRIMS
PAINTED TRIMS
- 2.1** SOFFITS
WOODTONE
- 1.2** EXTERIOR WALLS
HARDIEPANEL
VERTICAL SIDING -
SMOOTH
- 5.1** WINDOWS
POWDER COAT PAINT
- BLACK
- 7.1** BALCONY RAILINGS
SUPERMEL POWDER
COATINGS
- 1.5** EXTERIOR WALLS
HARDIEPLANK LAP
SIDING
- 3.1** TRIMS
HARDIEPLANK LAP
SIDING
- 1.1** EXTERIOR WALLS
HARDIEPLANK LAP
SIDING
- 7.2** BALCONY RAILINGS
SUPERMEL POWDER
COATINGS
- 5.2** WINDOWS
POWDER COAT
PAINT - WHITE
- 1.3** EXTERIOR WALLS
HARDIEPANEL VERTICAL
SIDING - SMOOTH
- 1.6** EXTERIOR WALLS
HARDIEPANEL VERTICAL
SIDING - SMOOTH

[ARCHITECT SEAL]

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THREE SHORES
DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

MATERIALS
FINISHES

[PROJECT]

19487

[SCALE]

2020-08-07

[DATE]

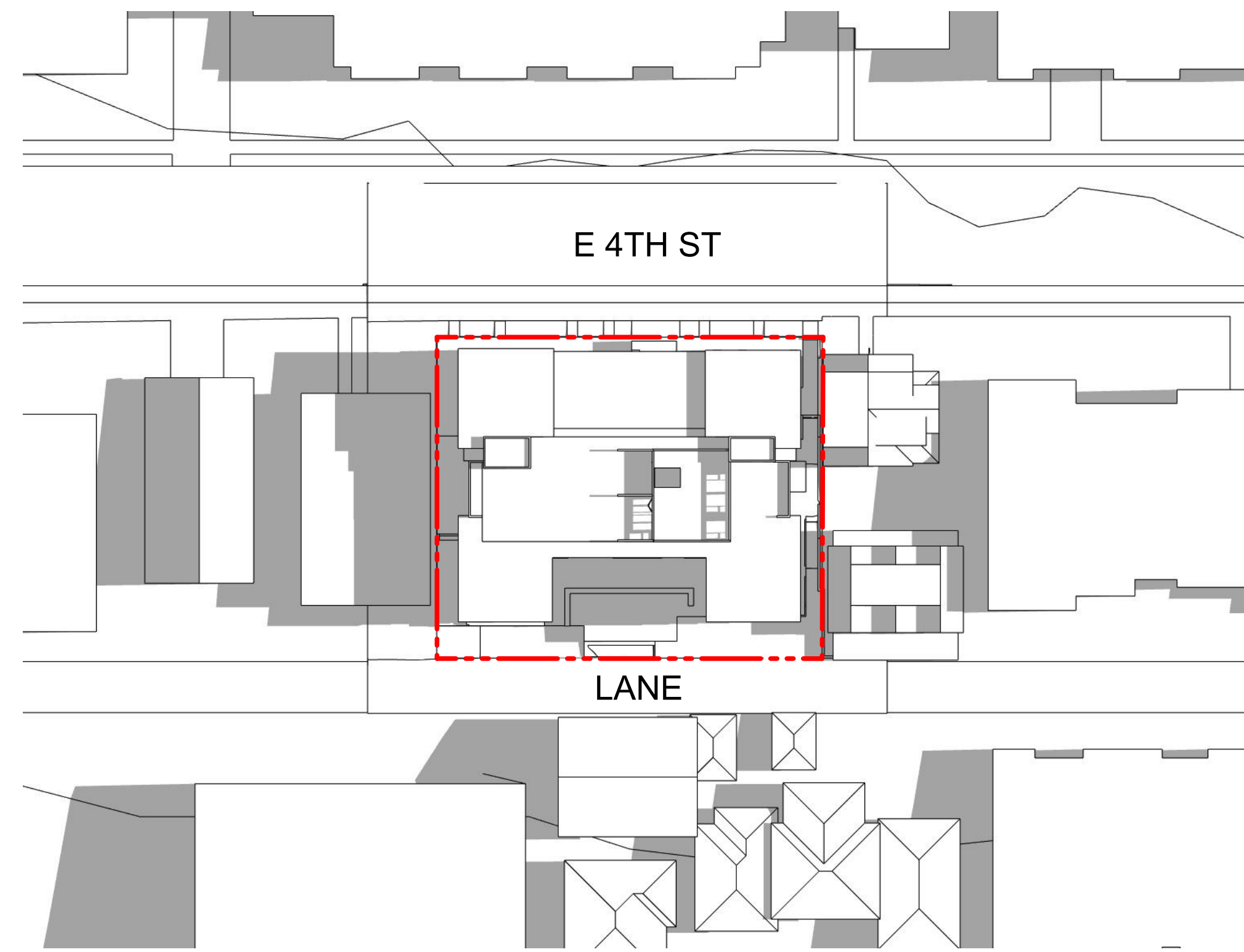
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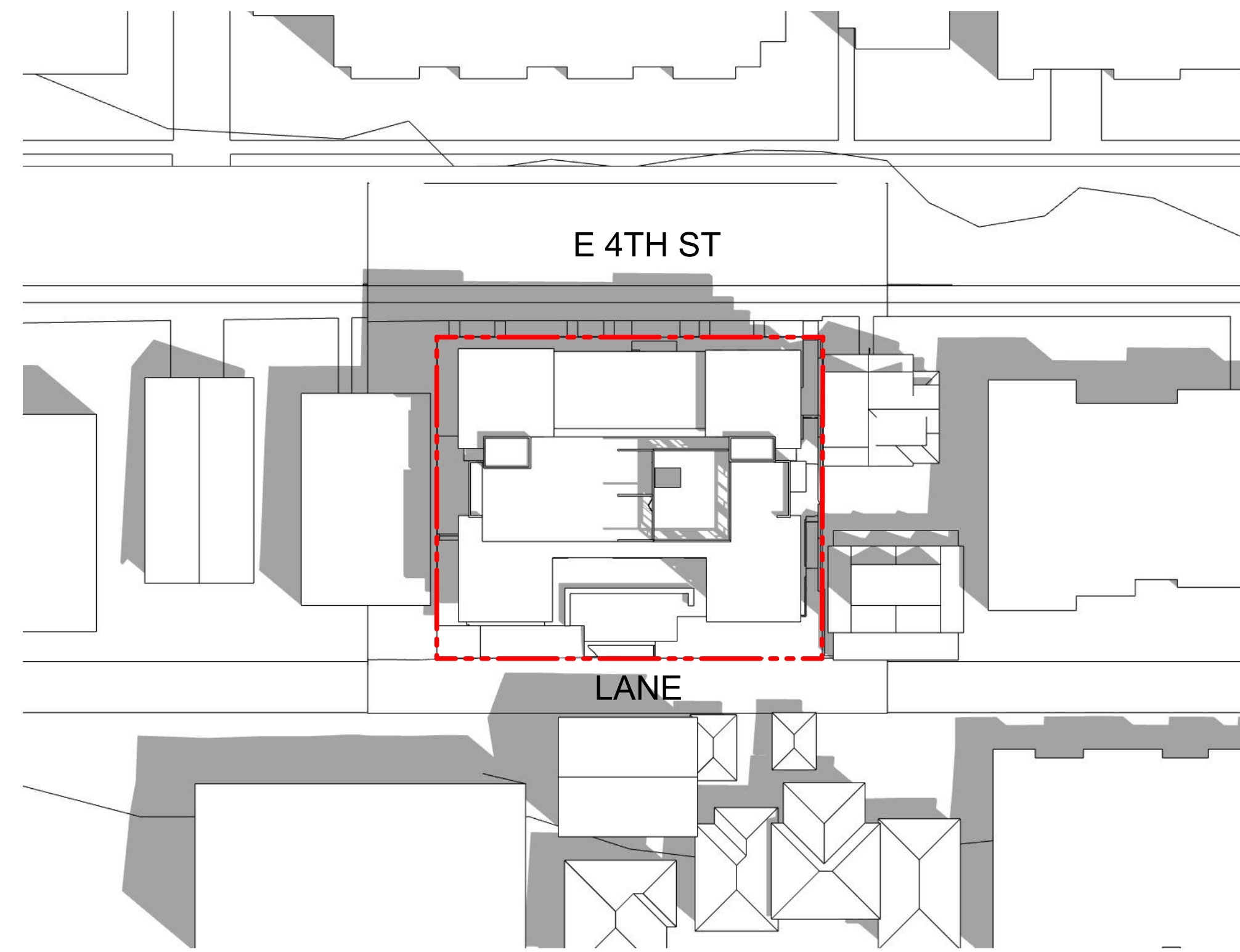
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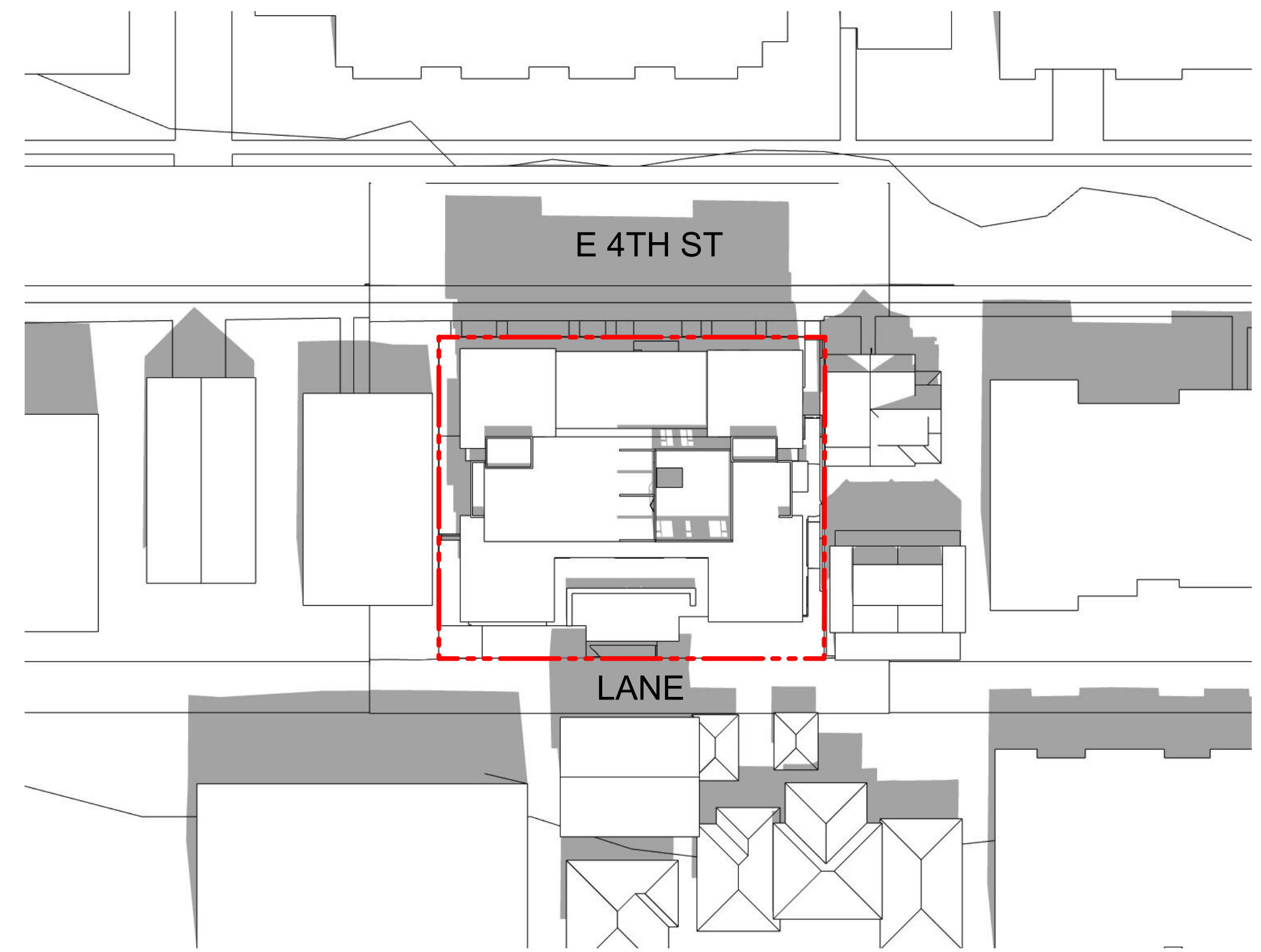
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MARCH 21



10 AM

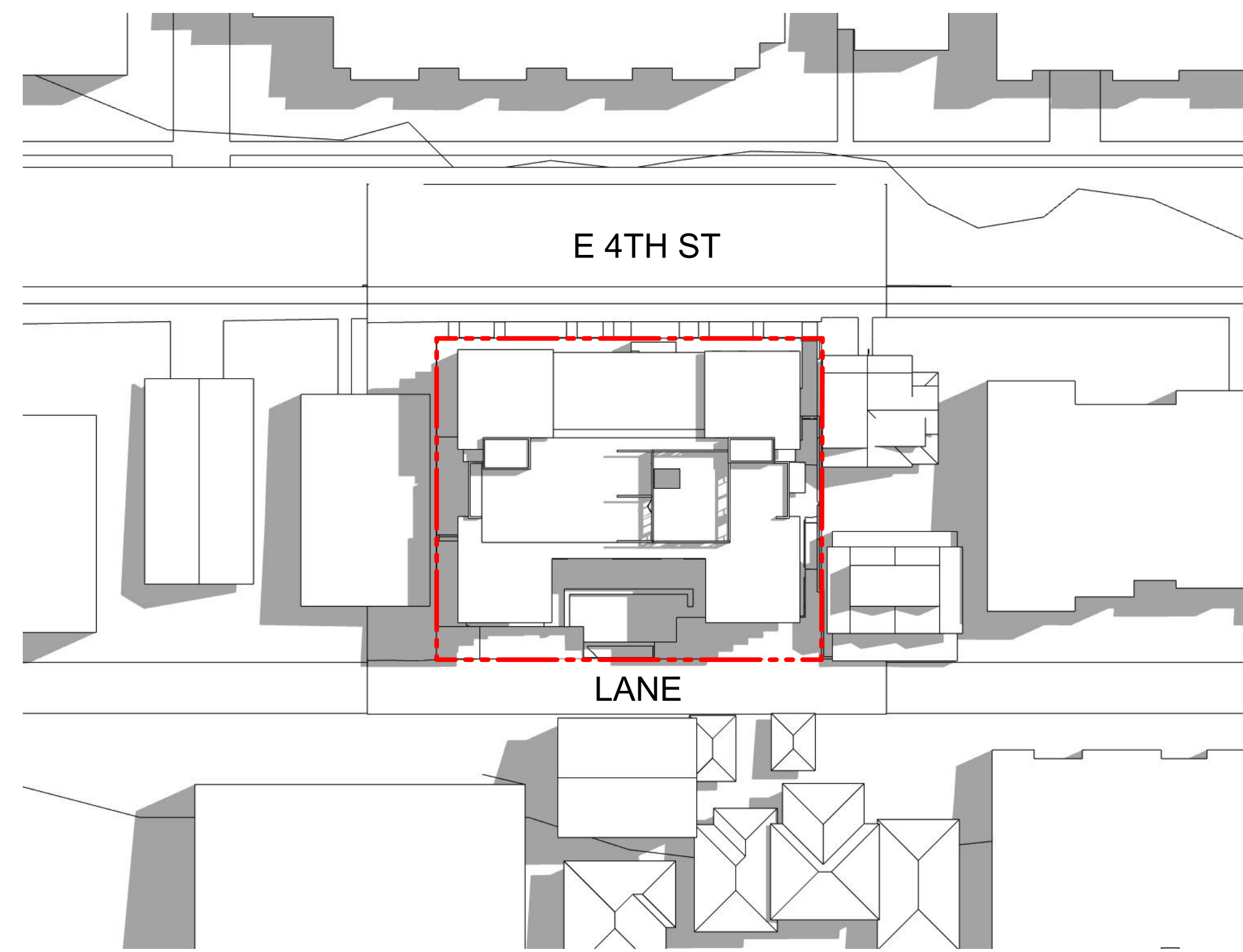


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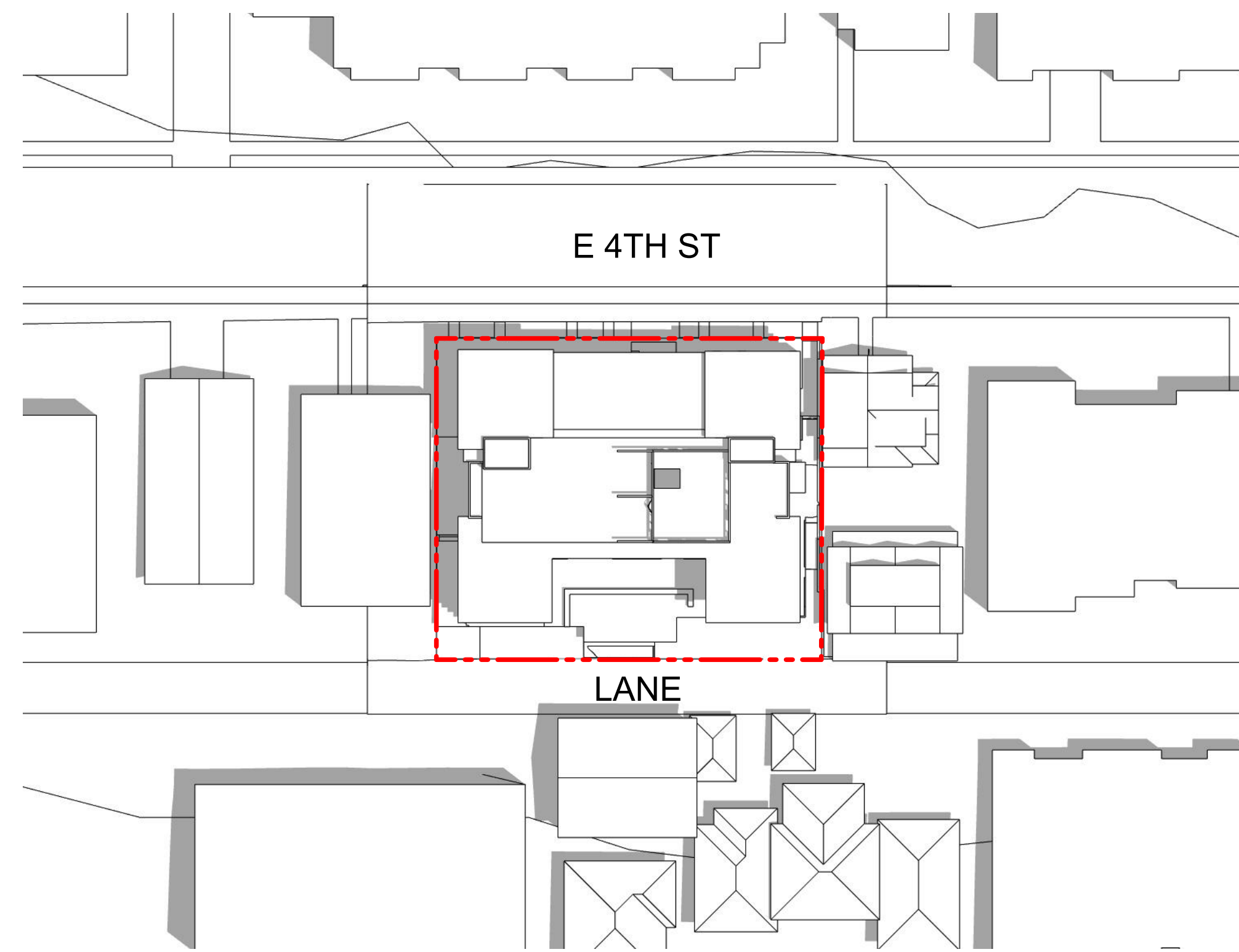


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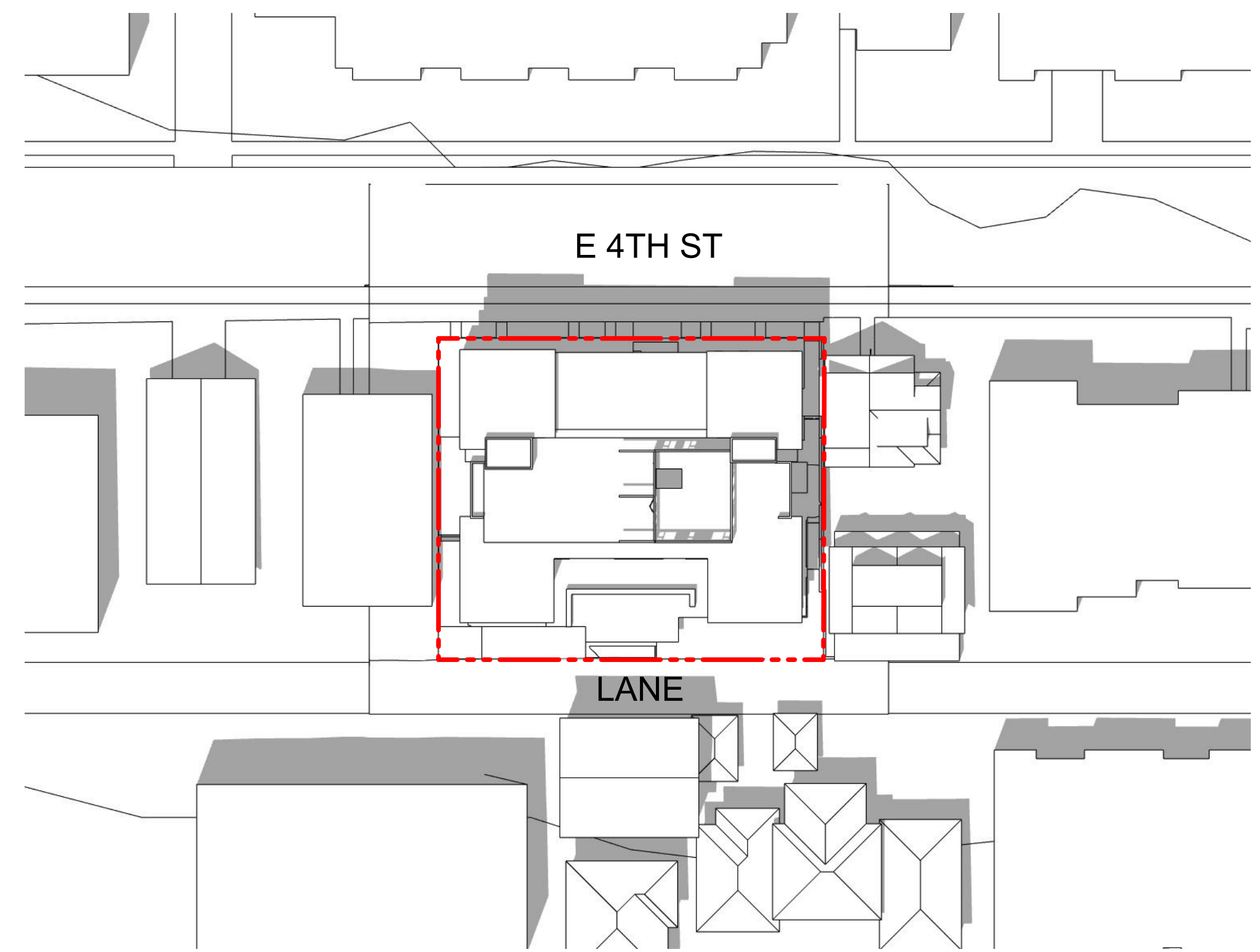
SUMMER SOLSTICE
JUNE 21



10 AM



12 PM



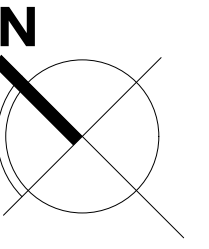
2 PM



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[ARCHITECT SEAL]

[CLIENT]

**THREE SHORES
DEVELOPMENT**

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

SHADOW STUDY

19487

[PROJECT]

1:97.04

[SCALE]

2020-08-07

[DATE]

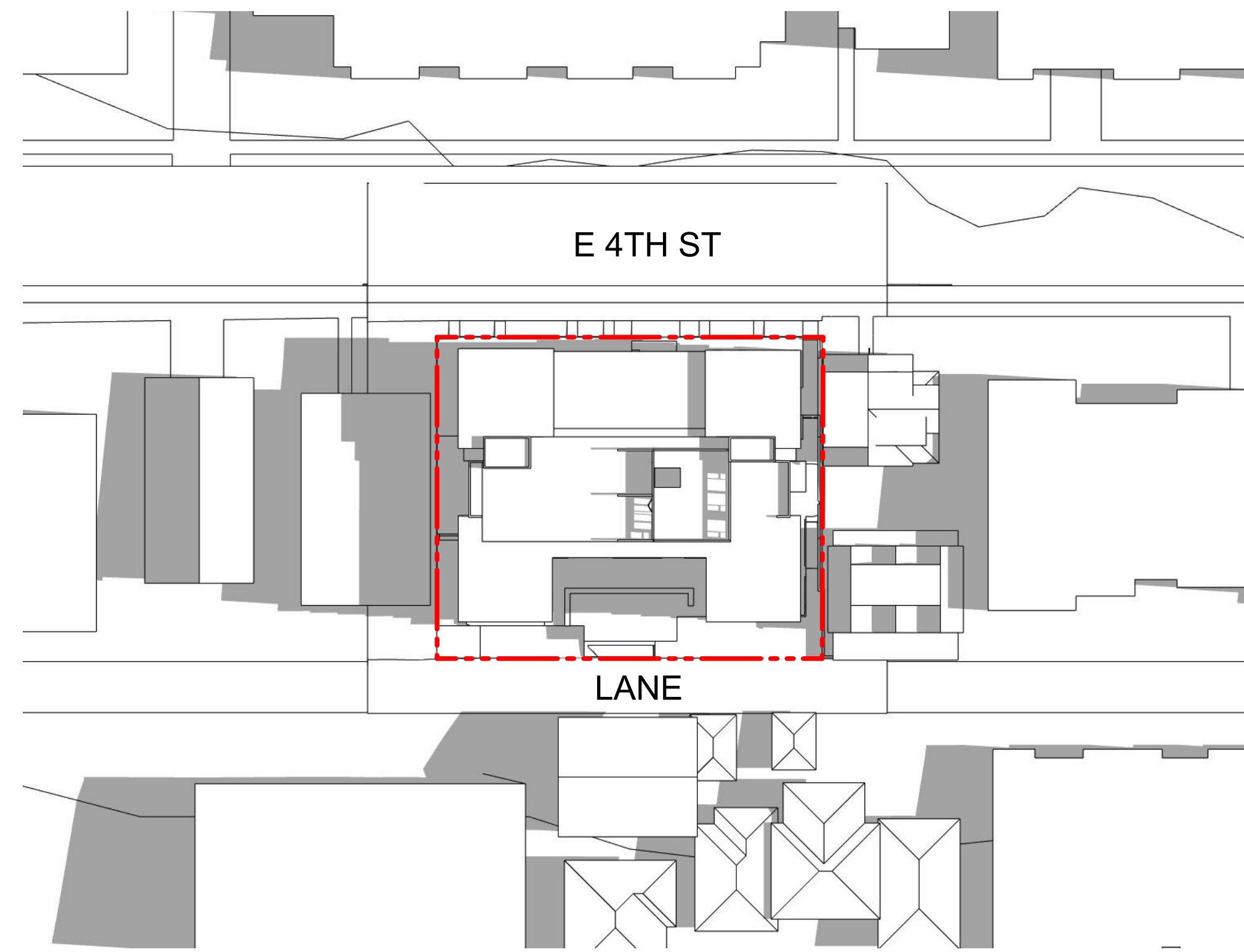
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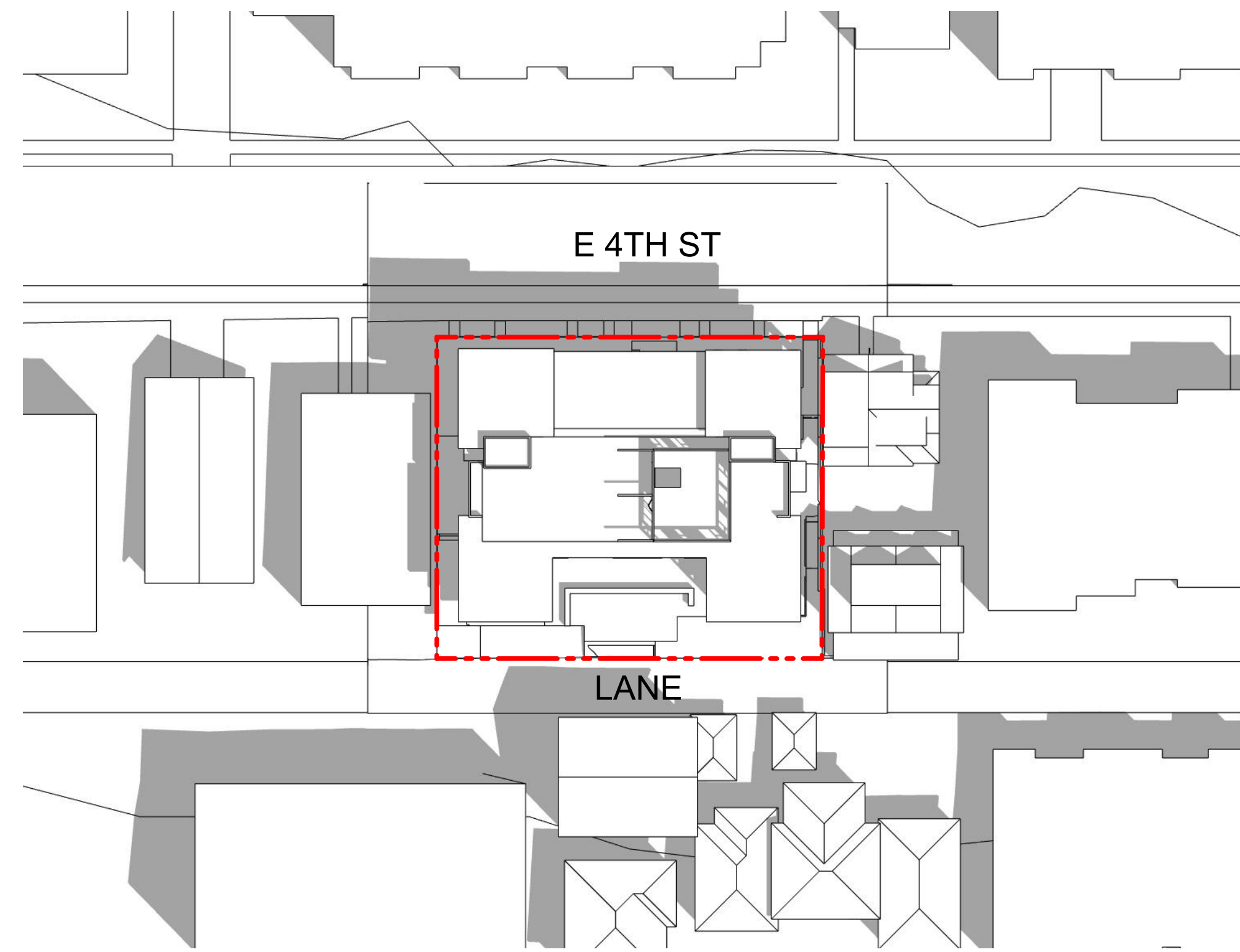
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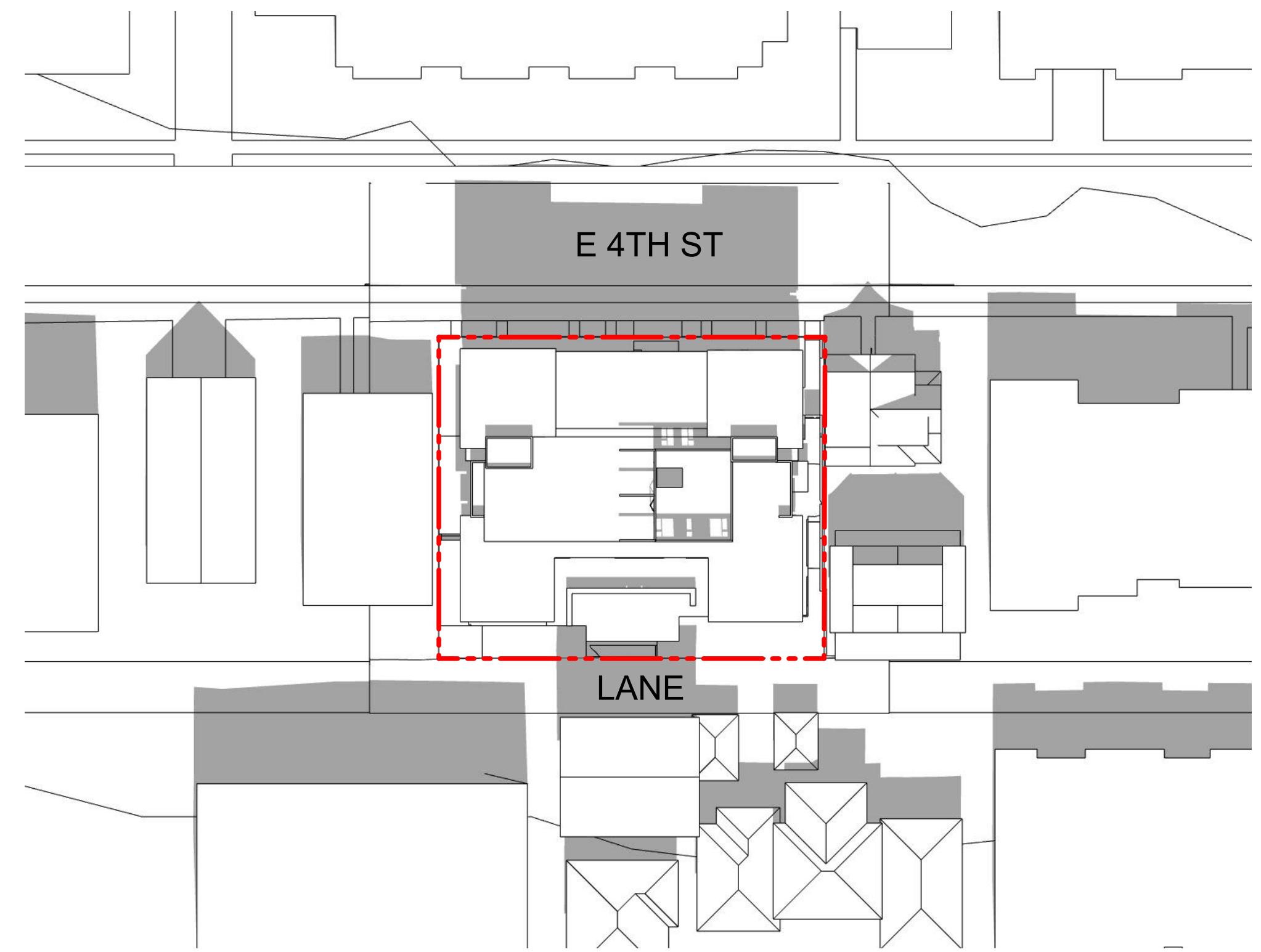
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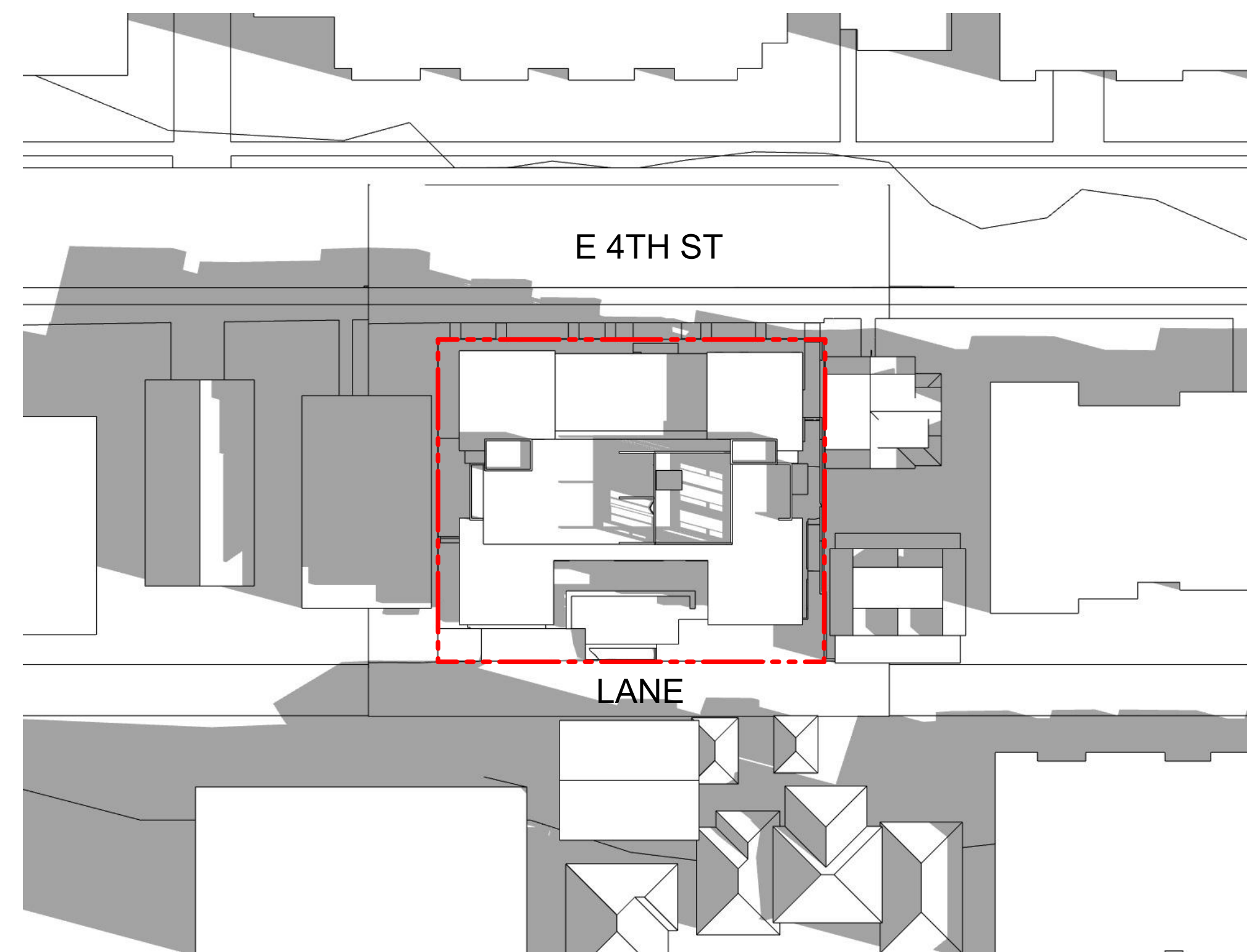


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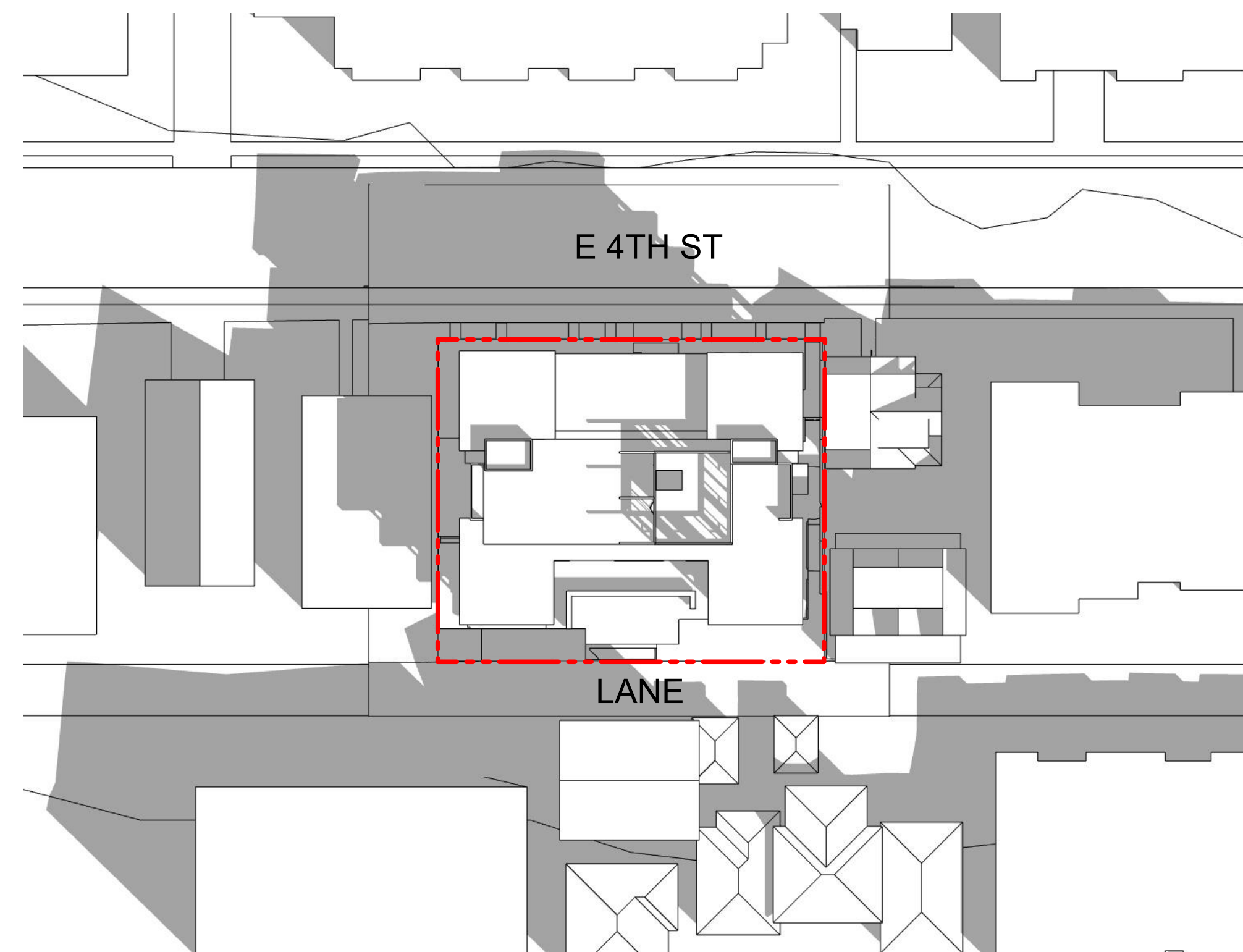


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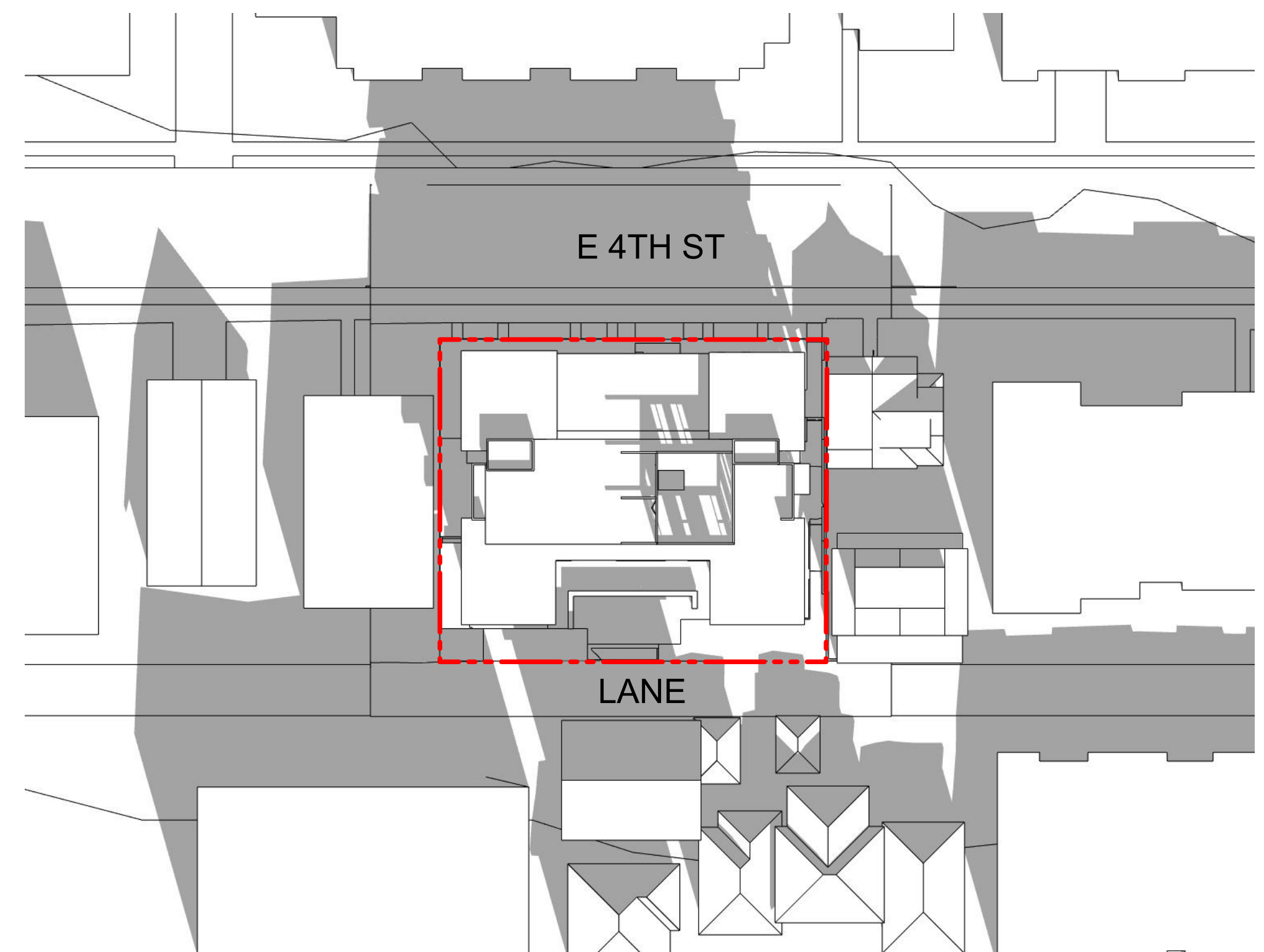
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12 PM



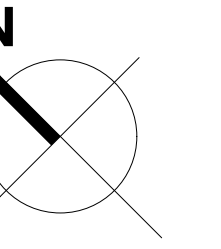
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**THREE SHORES
DEVELOPMENT**

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

SHADOW STUDY

[PROJECT]

19487

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1:97.04

[DATE]

2020-08-07

[ISSUE]

ISSUE 03 - RZ/DP APP

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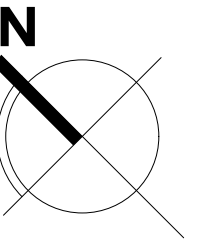


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[ARCHITECT SEAL]

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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

AREA OVERLAYS PARKING P1

19487 [PROJECT]

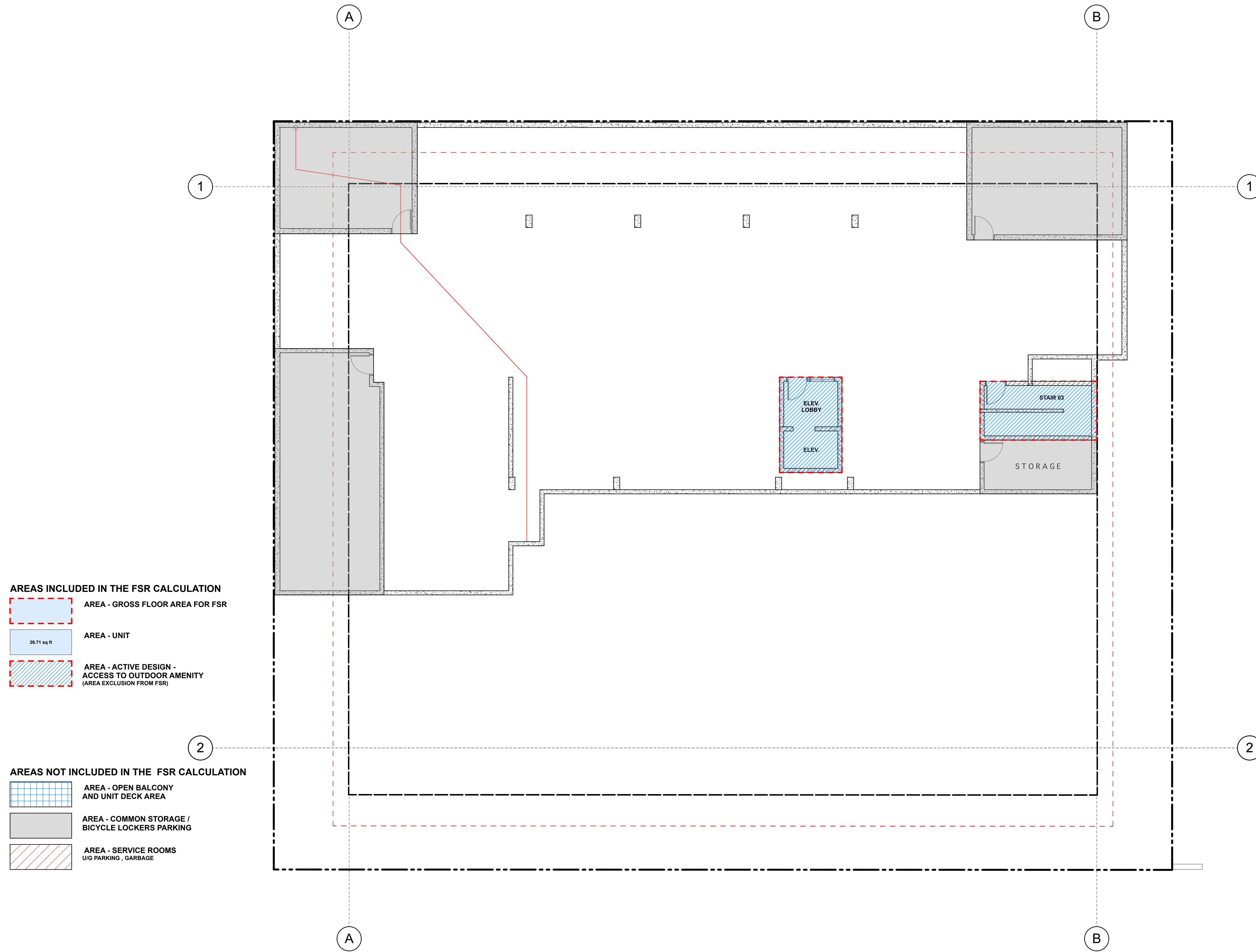
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2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

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A-9.001



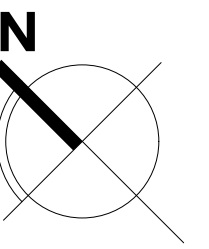


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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

**AREA OVERLAYS
PARKING PM**

19487 [PROJECT]

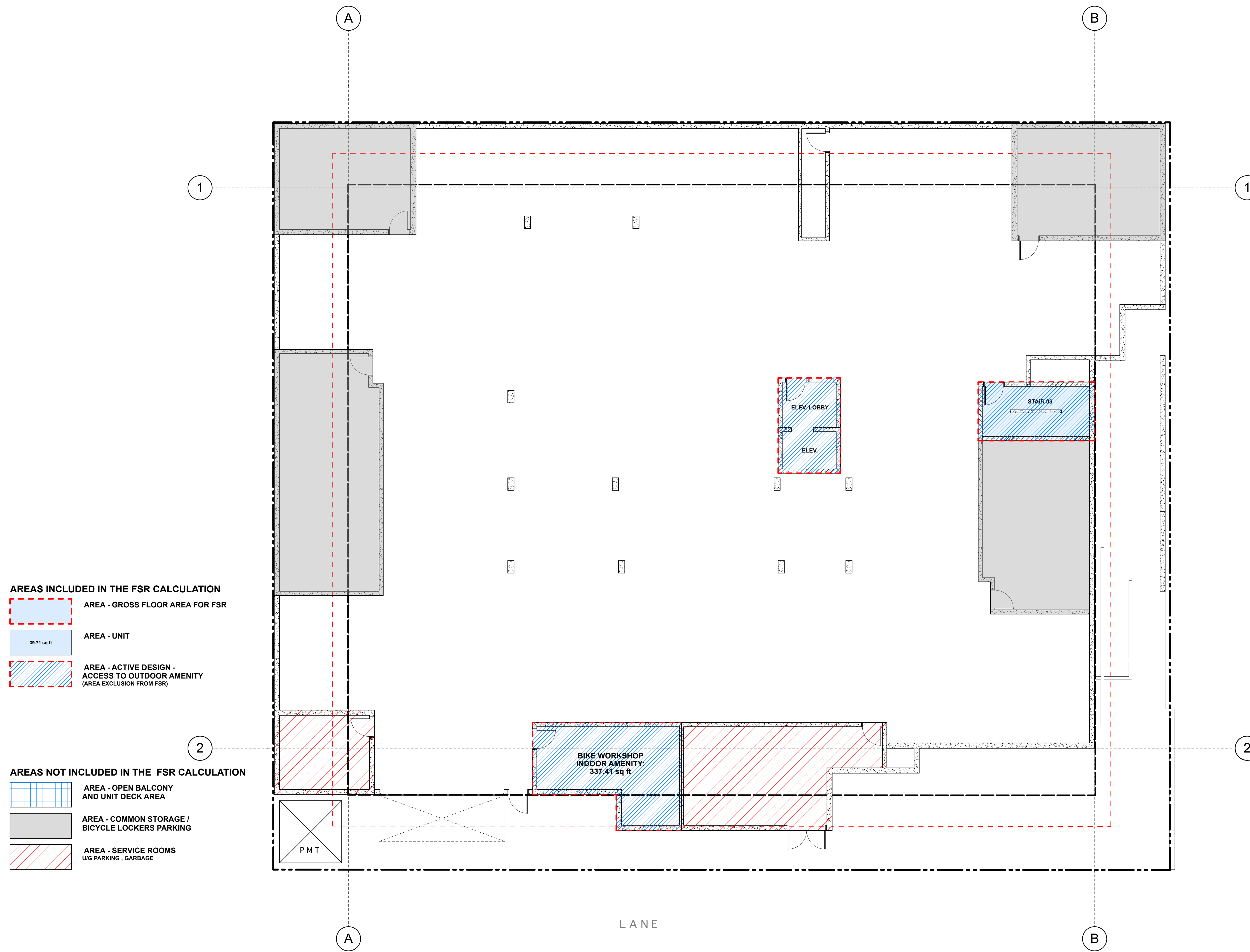
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2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-9.002



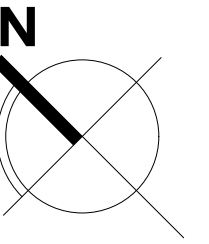


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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

AREA OVERLAYS 1ST FLOOR

19487 [PROJECT]

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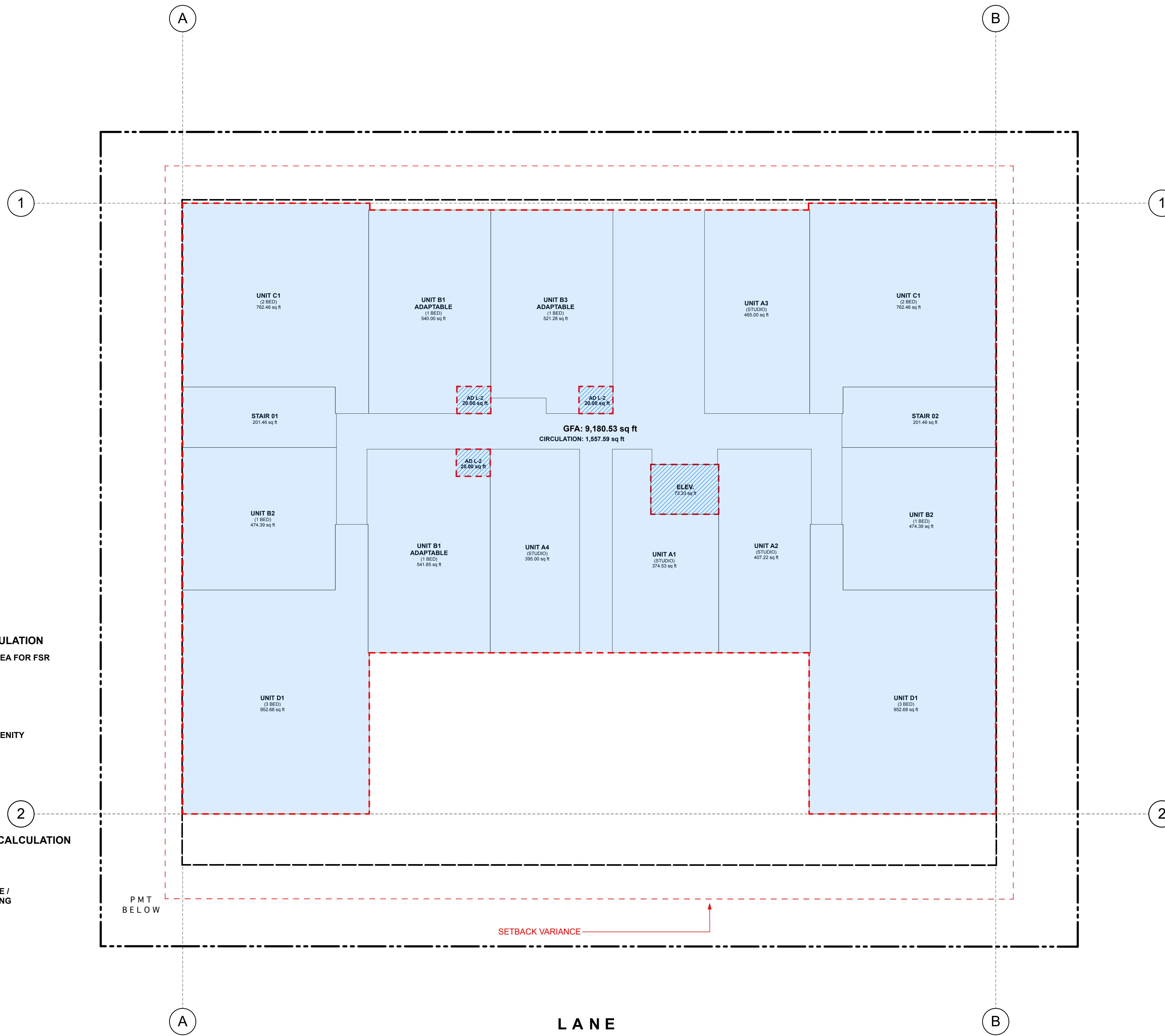
2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

A-9.010

EAST 4TH ST



AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY (AREA EXCLUSION FROM FSR)

AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS (UG PARKING, GARBAGE)

LANE

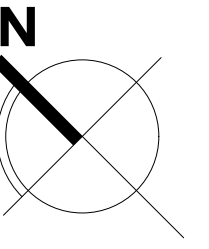


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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

AREA OVERLAYS 2ND FLOOR

19487 [PROJECT]

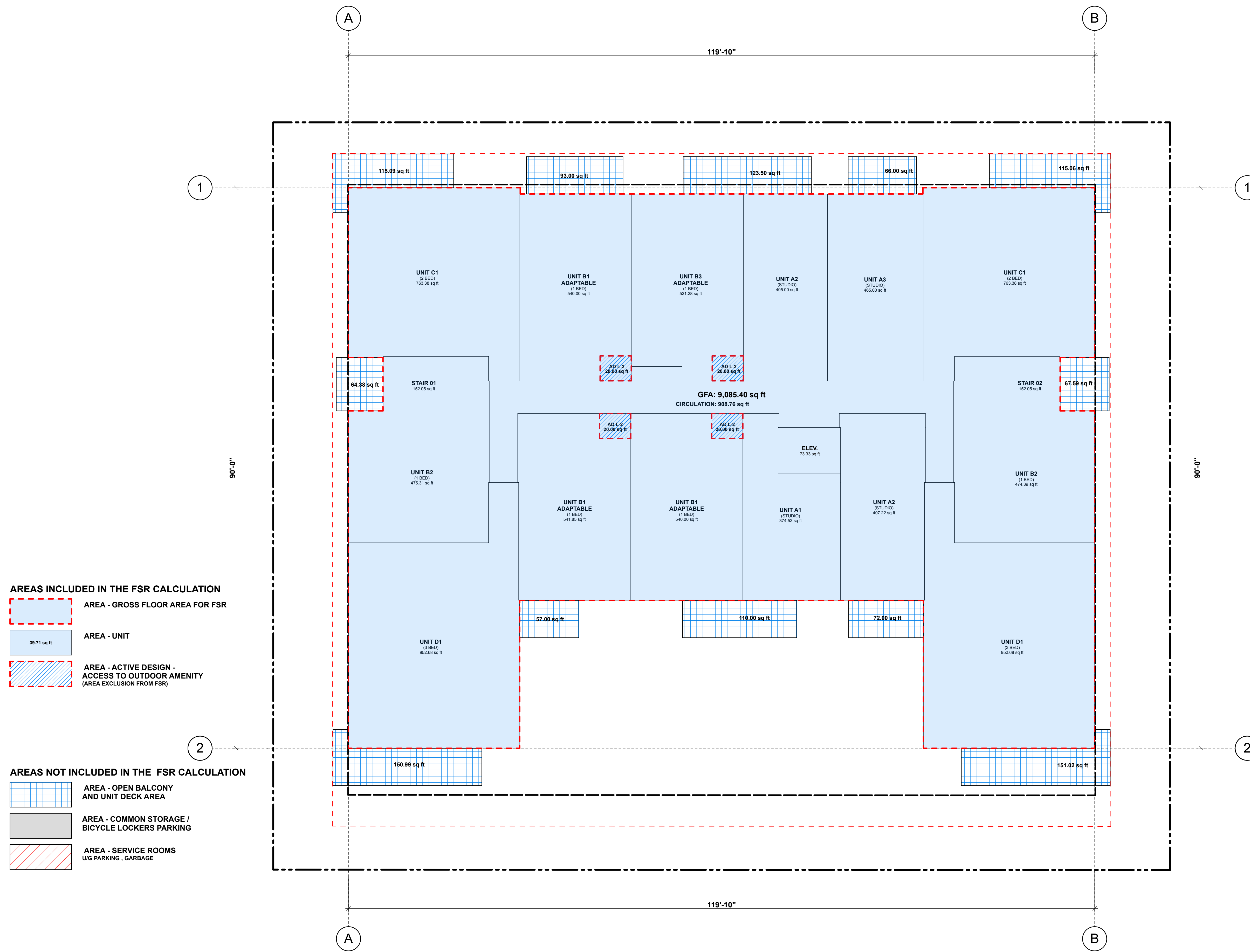
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ISSUE 03 - RZ/DP APP [ISSUE]

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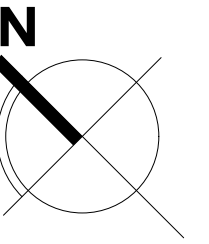


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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

AREA OVERLAYS 3RD FLOOR

19487 [PROJECT]

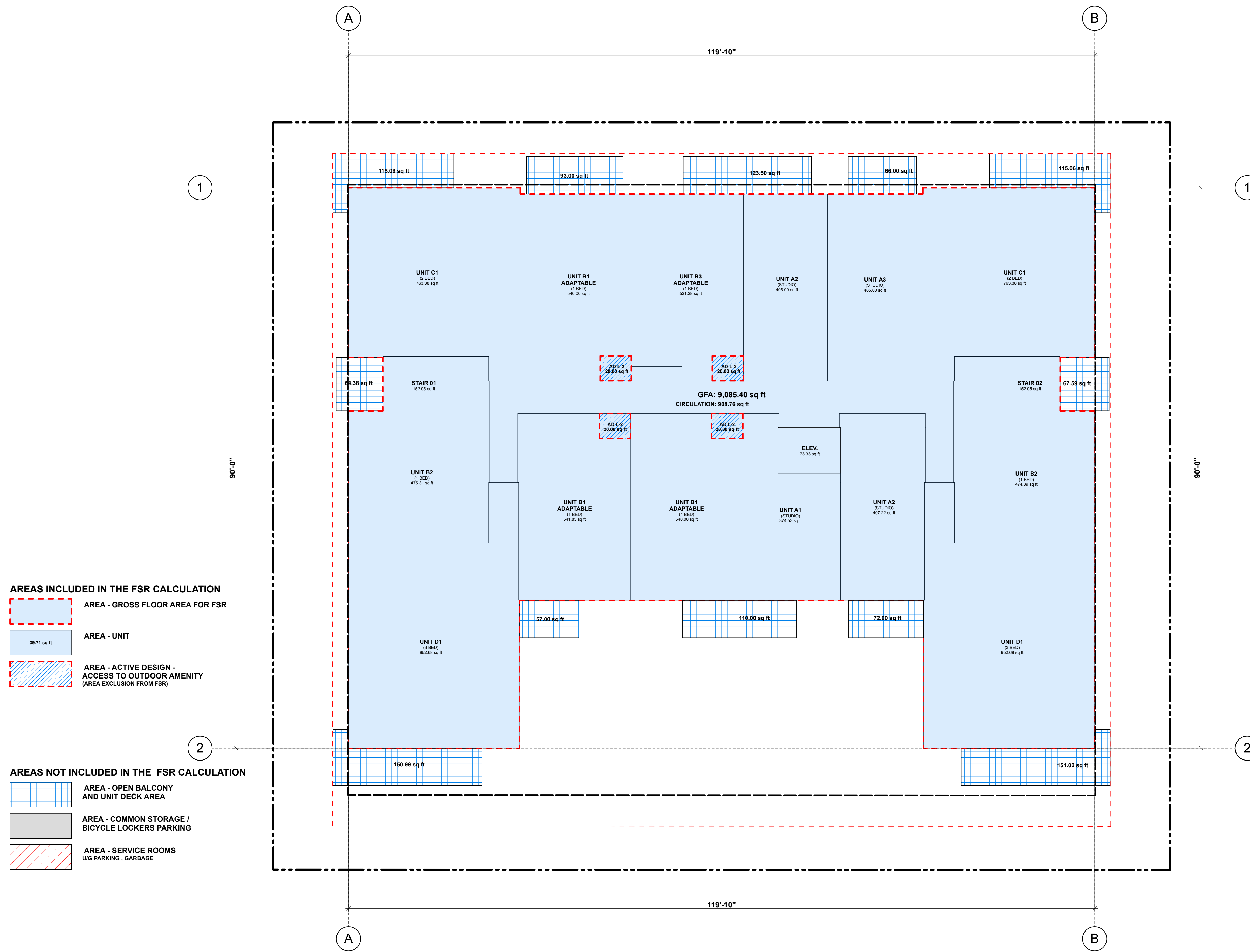
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2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

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A-9.030



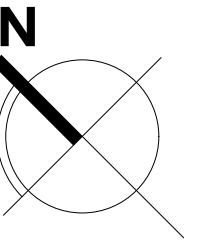


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[ARCHITECT SEAL]

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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

AREA OVERLAYS 4TH FLOOR

19487 [PROJECT]

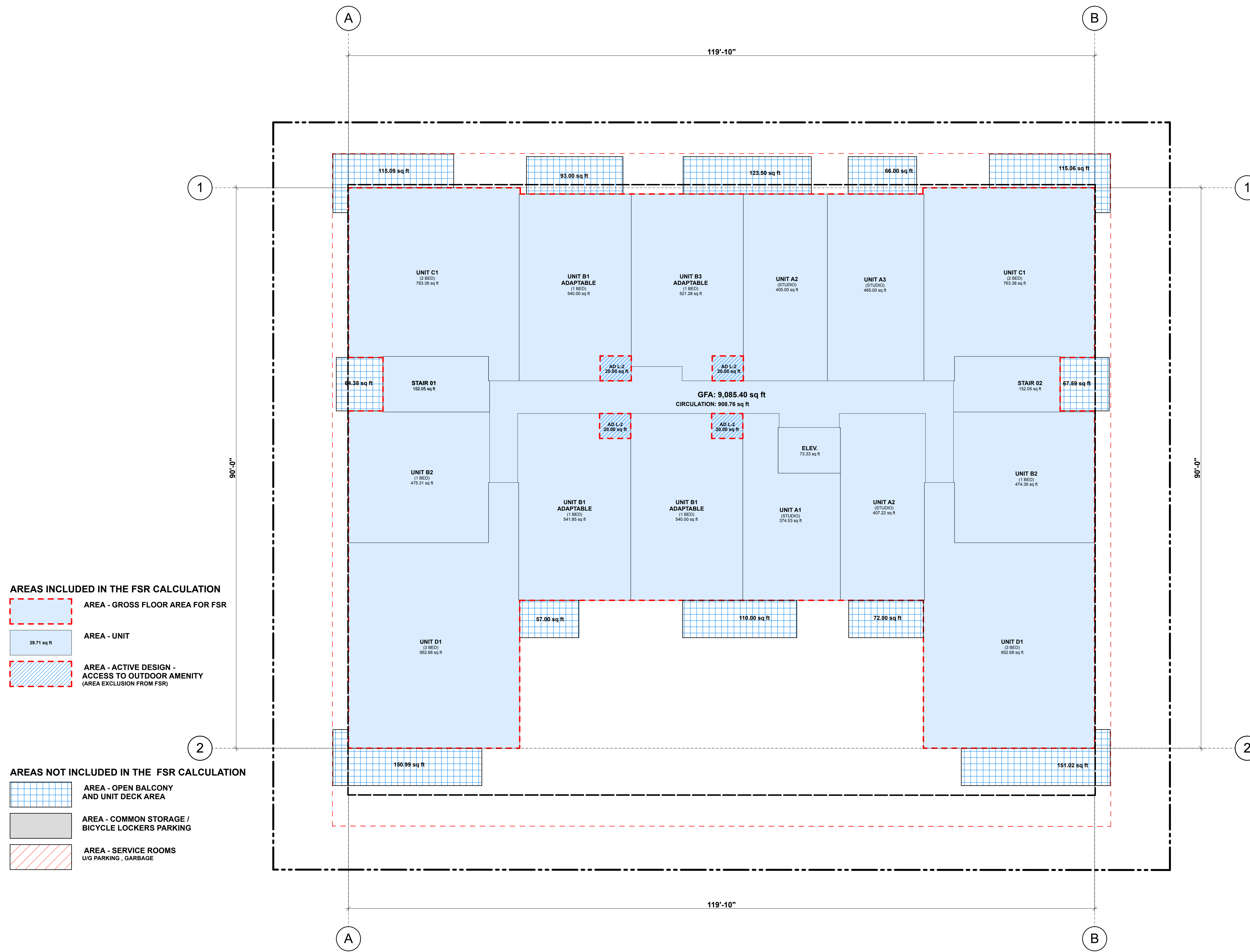
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2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

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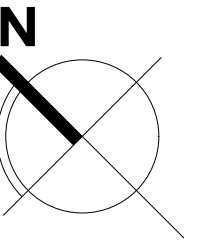


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THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

AREA OVERLAYS 5TH FLOOR

19487 [PROJECT]

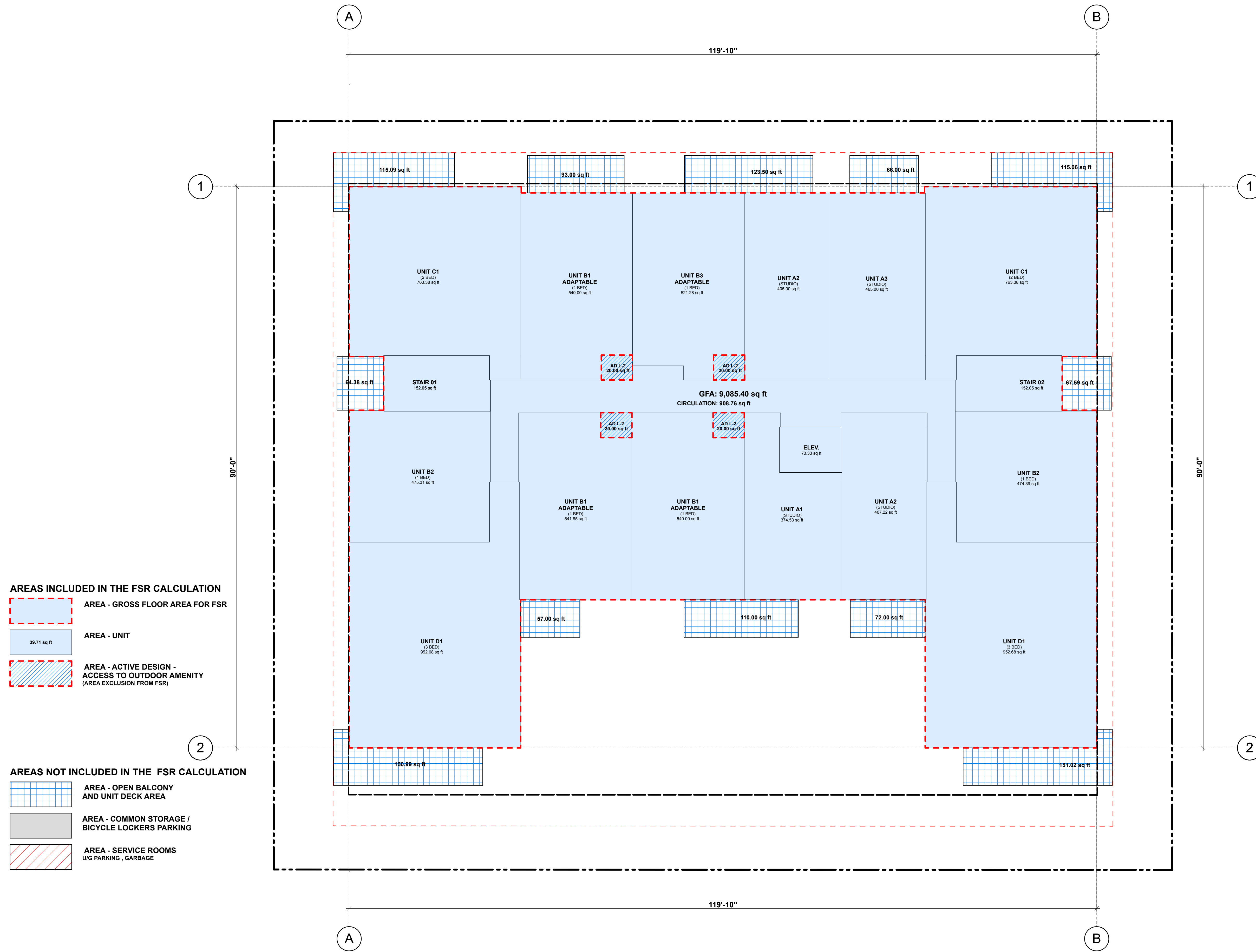
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2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

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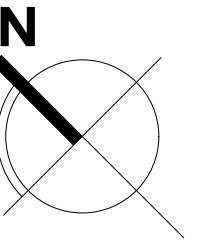


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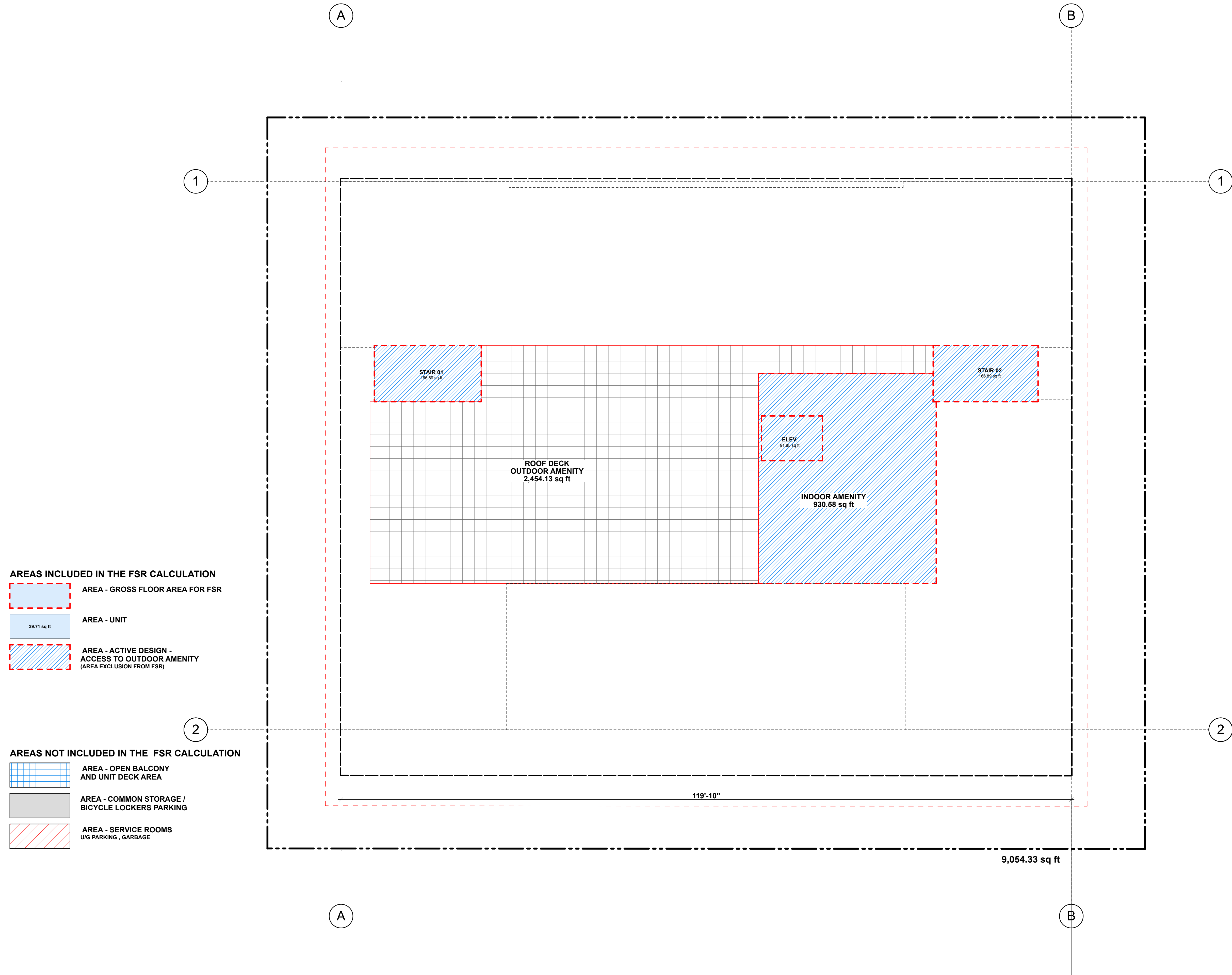
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[CLIENT]

THREE SHORES DEVELOPMENT

[PROJECT]

EAST 4TH ST.

145-153 E 4th St
North Vancouver, BC

[TITLE]

**AREA OVERLAYS
ROOF DECK**

19487 [PROJECT]

1/8" = 1'-0" [SCALE]

2020-08-07 [DATE]

ISSUE 03 - RZ/DP APP [ISSUE]

[DRAWING]

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