

4	Re Issued for DP Presentation	2021/05/21
3	Issued for ADP Presentation	2021/03/31
2	Issued for ADP Presentation	2021/02/22
1	Issued for Re-zoning and Development Permit	2020/11/05
Revision No.		Date

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Client: **Adera Projects Ltd.**

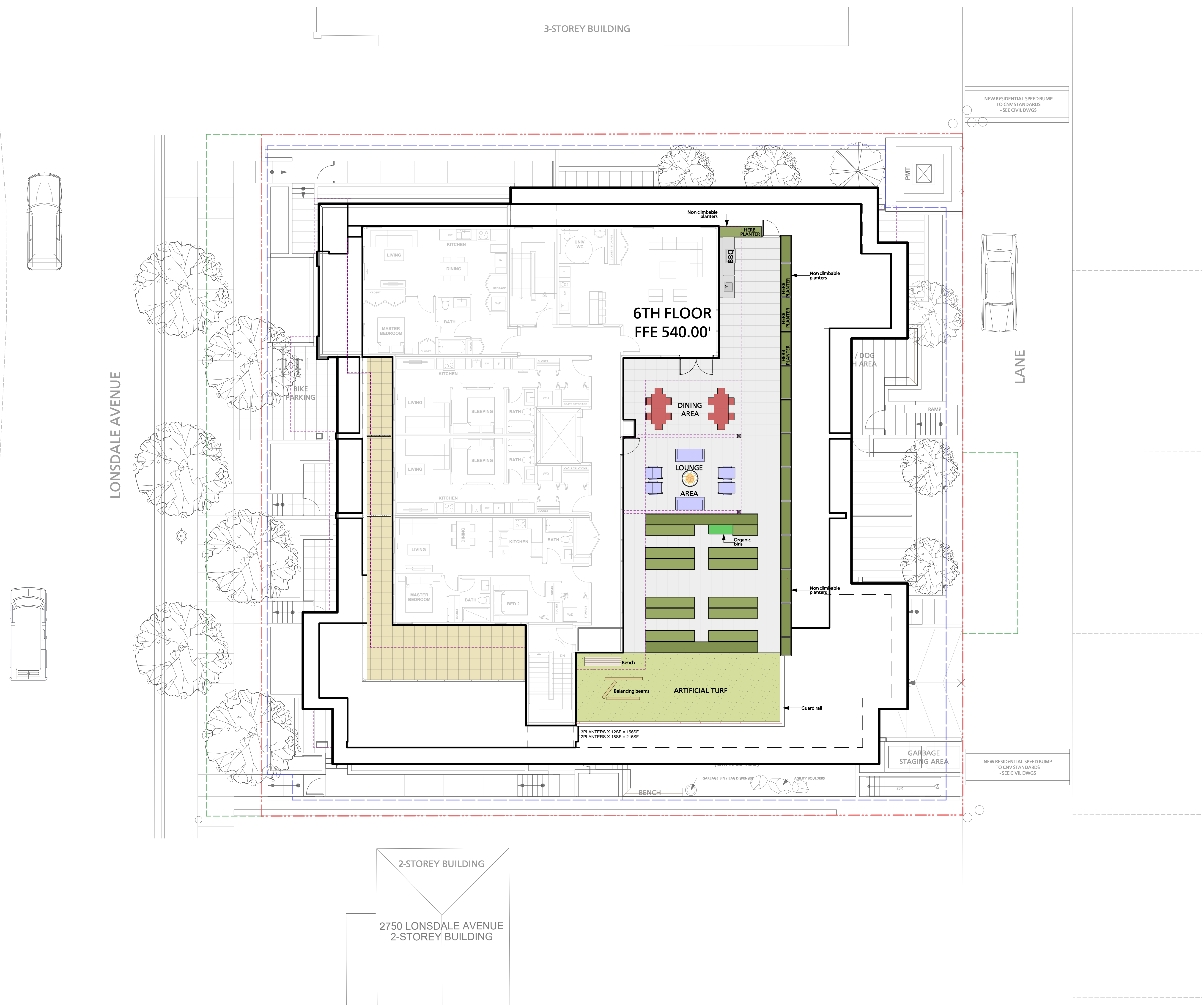


Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title: **Landscape Concept Plan**

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	20-076
1/8" = 1'-0"		
Sheet No.:		

L0.0A



Revision No.	Date
4	2021/05/21
3	2021/03/31
2	2021/02/22
1	2020/11/05

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Client:
Adera Projects Ltd.

Project Title:
Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title:
Landscape Concept Roof Plan

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	20-076
1/8" = 1'-0"		

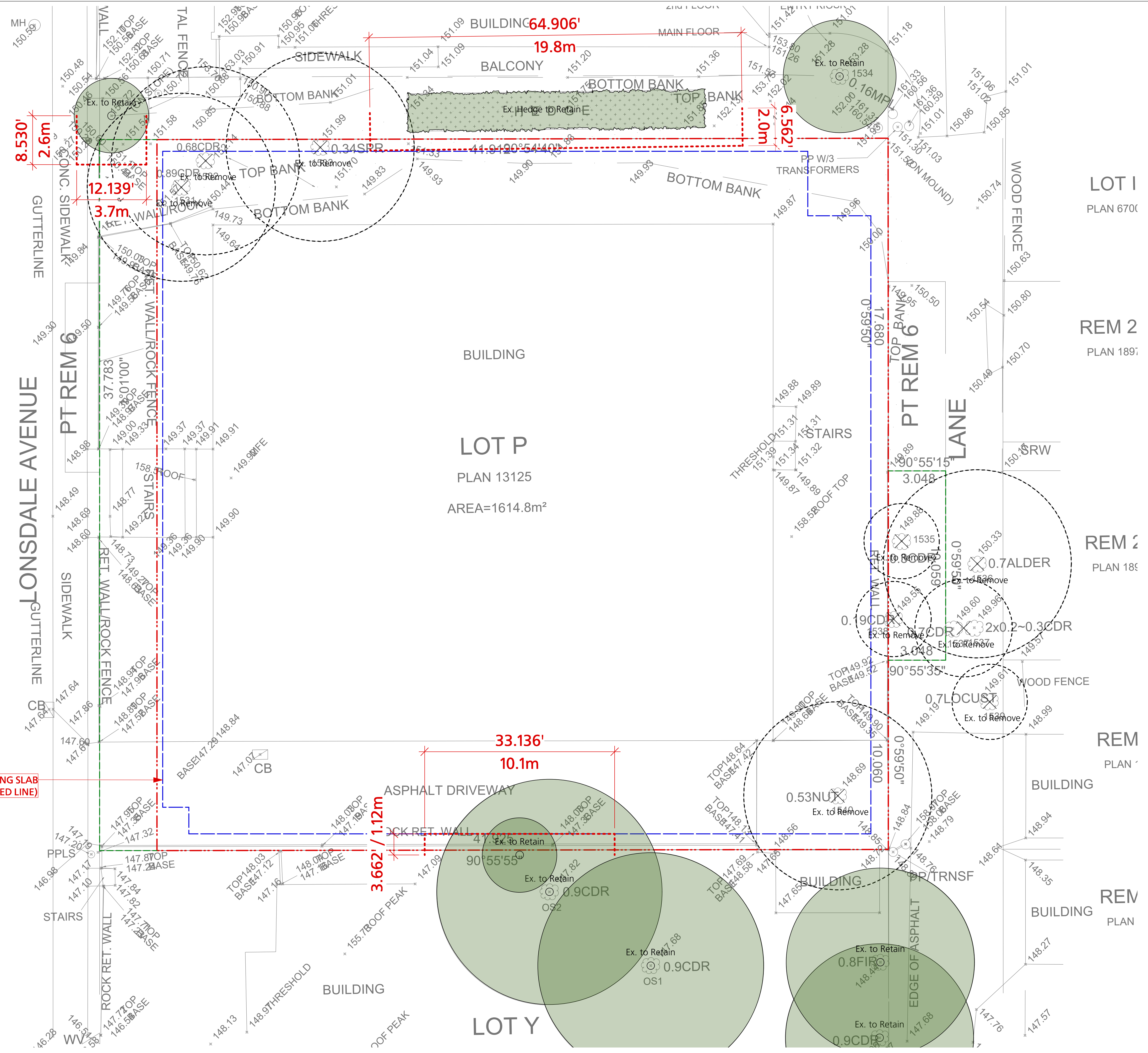
Sheet No.:
L0.0B

Legend:

- Ex. to Retain (Green circle with dot)
- Existing tree to be retained
- Ex. to Remove (Green circle with cross)
- Existing tree to be removed
- Tree protection fencing (Red dashed line)

General Notes:

- These drawings are to be read in conjunction with Architectural Plans, Civil Plans and Arborist Report and Plans.
- Trees to be spaded and relocated as per City of North Vancouver's request.
- Tree spading and relocation to be performed with the project Arborist present to supervise. Arborist contact: Cody Laschowski, Diamond Head, Phone: (604) 733-4886



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Client: **Adera Projects Ltd.**

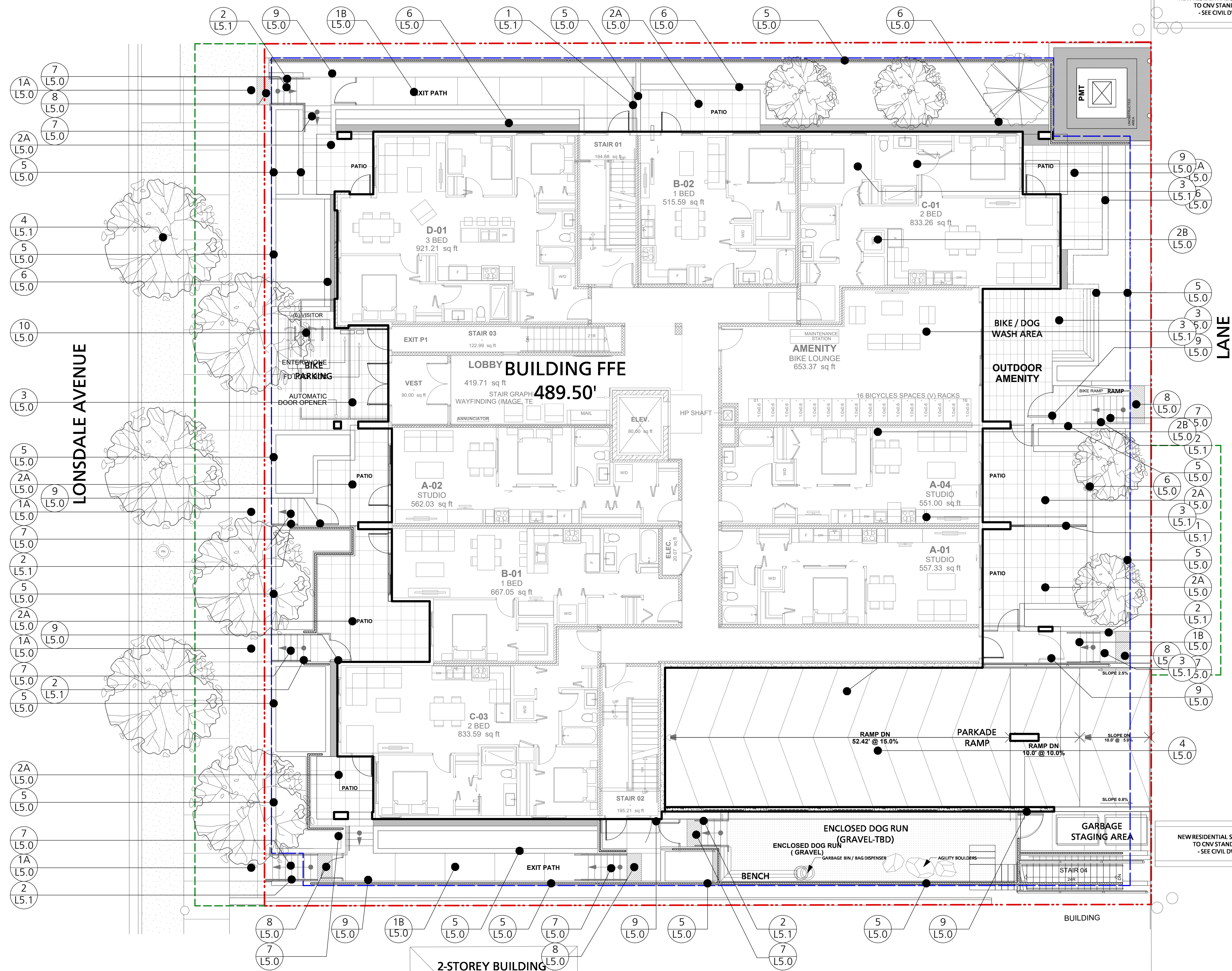


Project Title: **Rental Development**
2762 Lonsdale Avenue
North Vancouver, BC

Drawing Title: **Tree Management Plan**

Project North:	Drawn By:	EML
	Checked By:	MP
Scale:	Job No.:	20-076
1/8" = 1'-0"		

3-STOREY BUILDING



- KEY LEGEND:**
- 1A L5.0 Pedestrian Concrete Paving, On Grade
 - 1B L5.0 Pedestrian Concrete Paving, On Slab
 - 2A L5.0 Pedestrian Precast Pavers, On Slab
 - 2B L5.0 Pedestrian Precast Pavers, On Roof
 - 3 L5.0 Granite Paving
 - 4 L5.0 SYNLaw on Roof
 - 5 L5.0 CIP Concrete Planter Wall On Slab
 - 6 L5.0 Allan Block Planter Wall On Slab
 - 7 L5.0 CIP Concrete Stair
 - 8 L5.0 CIP Concrete Tactile Strip
 - 9 L5.0 Custom Aluminum Gate
 - 10 L5.0 Bike Rack
 - 11 L5.0 Privacy Screen
 - 12 L5.0 Handrail
 - 13 L5.0 Aluminum Planter
 - 14 L5.0 Tree Planting Detail Urban Boulevard
 - 15 L5.0 Shrub and Groundcover Planting
 - 16 L5.0 Boulevard Lawn

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Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

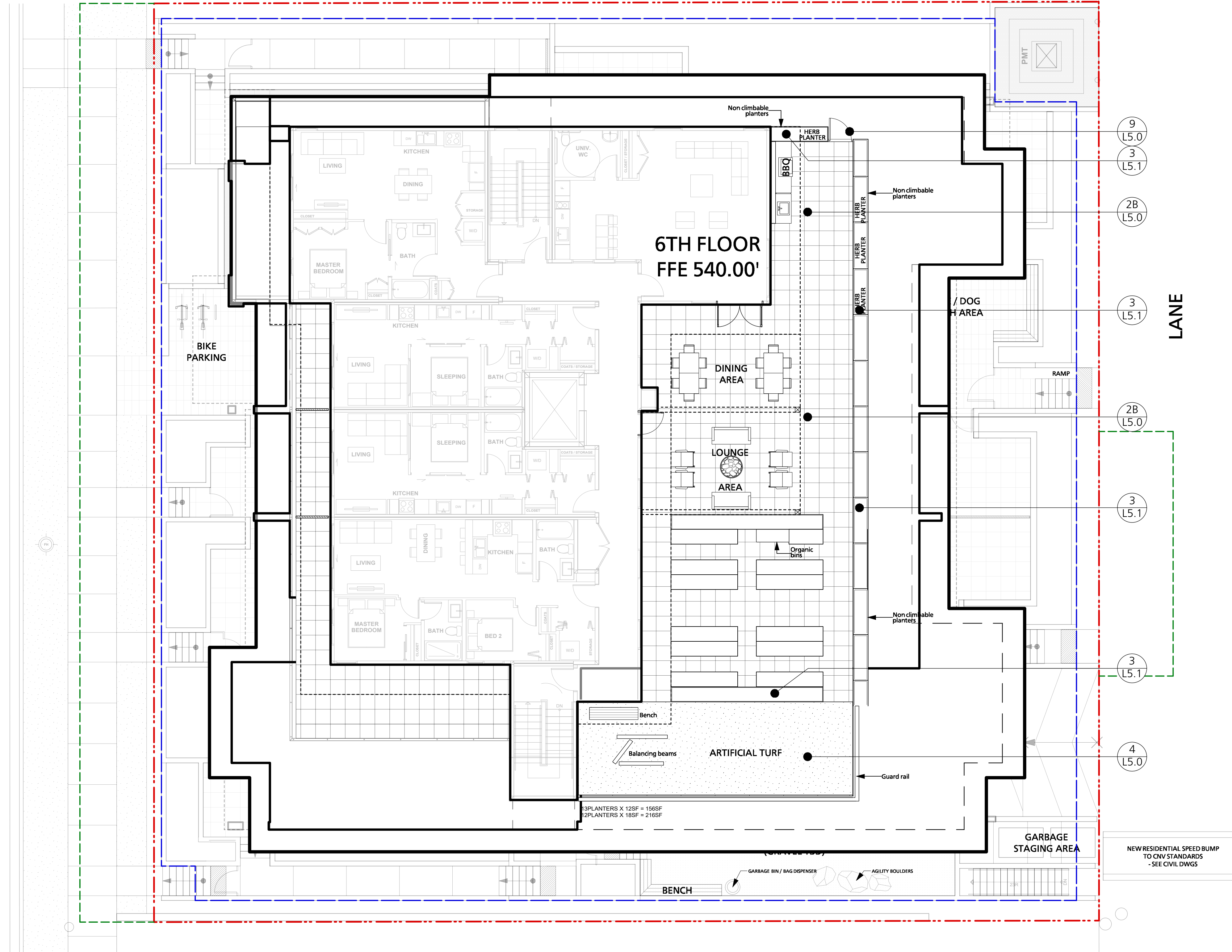
Drawing Title: **Landscape Ground Floor Key Plan**

Project North: Drawn By: EML
 Checked By: MP
 Scale: 1/8" = 1'-0" Job No.: 20-076
 Sheet No.:

L1.0A

3-STOREY BUILDING

LONSDALE AVENUE



6TH FLOOR
FFE 540.00'

9
L5.0
3
L5.1
2B
L5.0
3
L5.1
2B
L5.0
3
L5.1
4
L5.0

LANE

- KEY LEGEND:**
- 1A Pedestrian Concrete Paving, On Grade
 - 1B Pedestrian Concrete Paving, On Slab
 - 2A Pedestrian Precast Pavers, On Slab
 - 2B Pedestrian Precast Pavers, On Roof
 - 3 Granite Paving
 - 4 SYNLawn on Roof
 - 5 CIP Concrete Planter Wall On Slab
 - 6 Allan Block Planter Wall On Slab
 - 7 CIP Concrete Stair
 - 8 CIP Concrete Tactile Strip
 - 9 Custom Aluminum Gate
 - 10 Bike Rack
 - 11 Privacy Screen
 - 12 Handrail
 - 13 Aluminum Planter
 - 14 Tree Planting Detail Urban Boulevard
 - 15 Shrub and Groundcover Planting
 - 16 Boulevard Lawn

P+A
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Project Title: **Rental Development**
2762 Lonsdale Avenue
North Vancouver, BC

Drawing Title: **Landscape Roof Key Plan**

Project North: Drawn By: EML
Checked By: MP
Scale: 1/8" = 1'-0" Job No.: 20-076

Sheet No.: **L1.0B**

2-STOREY BUILDING
2750 LONSDALE AVENUE
2-STOREY BUILDING

NEW RESIDENTIAL SPEED BUMP
TO CNV STANDARDS
- SEE CIVIL DWGS

NEW RESIDENTIAL SPEED BUMP
TO CNV STANDARDS
- SEE CIVIL DWGS

3 PLANTERS X 12SF = 36SF
2 PLANTERS X 18SF = 36SF

GARBAGE STAGING AREA

BENCH

GARBAGE BIN / BAG DISPENSER

AGILITY BOULDERS

ARTIFICIAL TURF

Balancing beams

Bench

Non climbable planters

Organic bins

RAMP

DOG AREA

HERB PLANTER

HERB PLANTER

HERB PLANTER

BBQ

Non climbable planters

UNIV WC

STORAGE

STAIRS

CLINET

CLINET

CLINET

CLINET

CLINET

CLINET

CLINET

CLINET

CLINET

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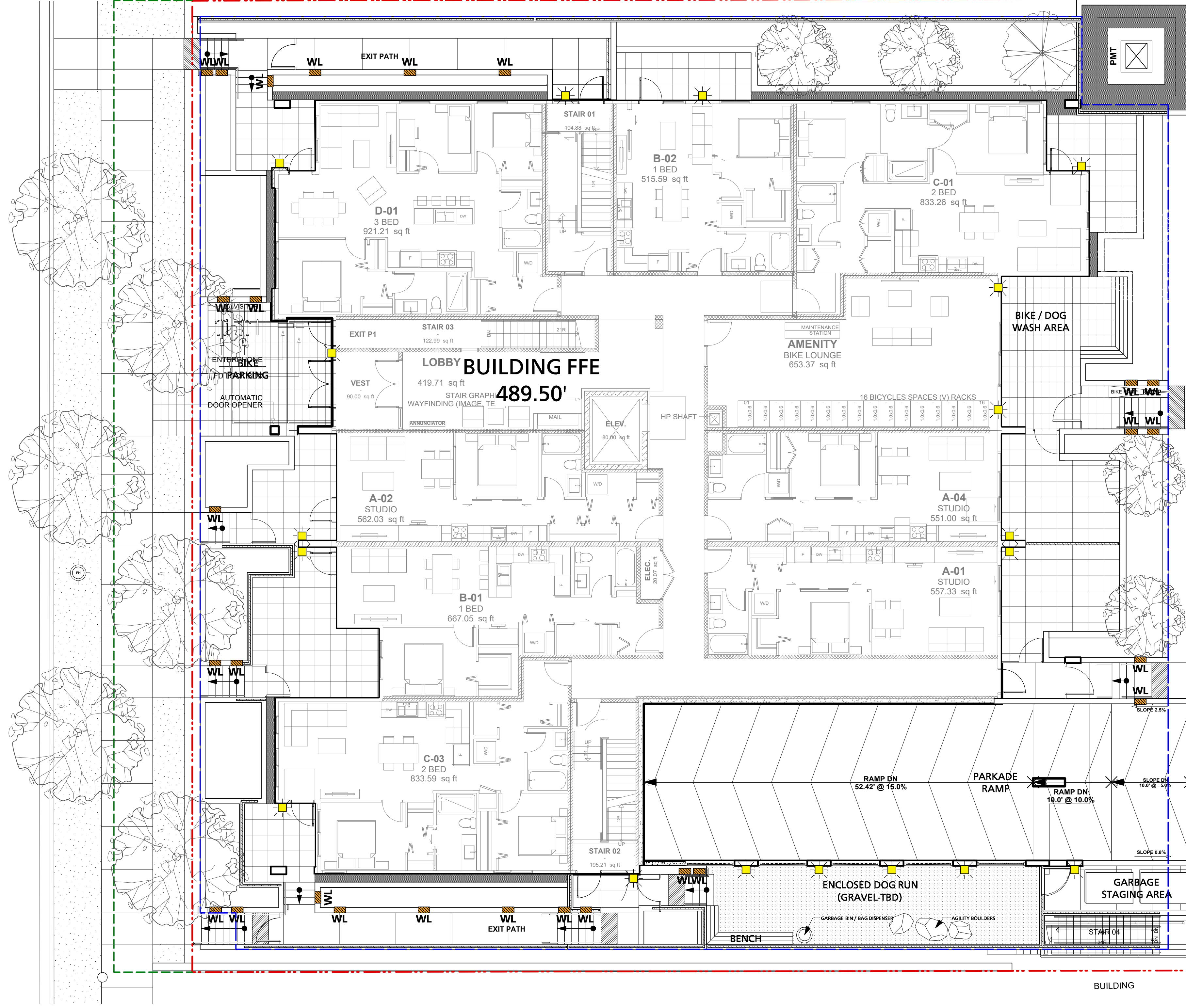
CLINET

CLINET

3-STOREY BUILDING

LONSDALE AVENUE

LANE



Legend:

- WL Recessed Wall Light
- Catenary Lighting
- Wall Mounted Sconce Light (TBC)

By Others

Note: Read Landscape Lighting Plan in conjunction with Architectural and Electrical drawings.

NEW RESIDENTIAL SPEED BUMP TO CNV STANDARDS - SEE CIVIL DWGS

NEW RESIDENTIAL SPEED BUMP TO CNV STANDARDS - SEE CIVIL DWGS



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Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
2762 Lonsdale Avenue
North Vancouver, BC

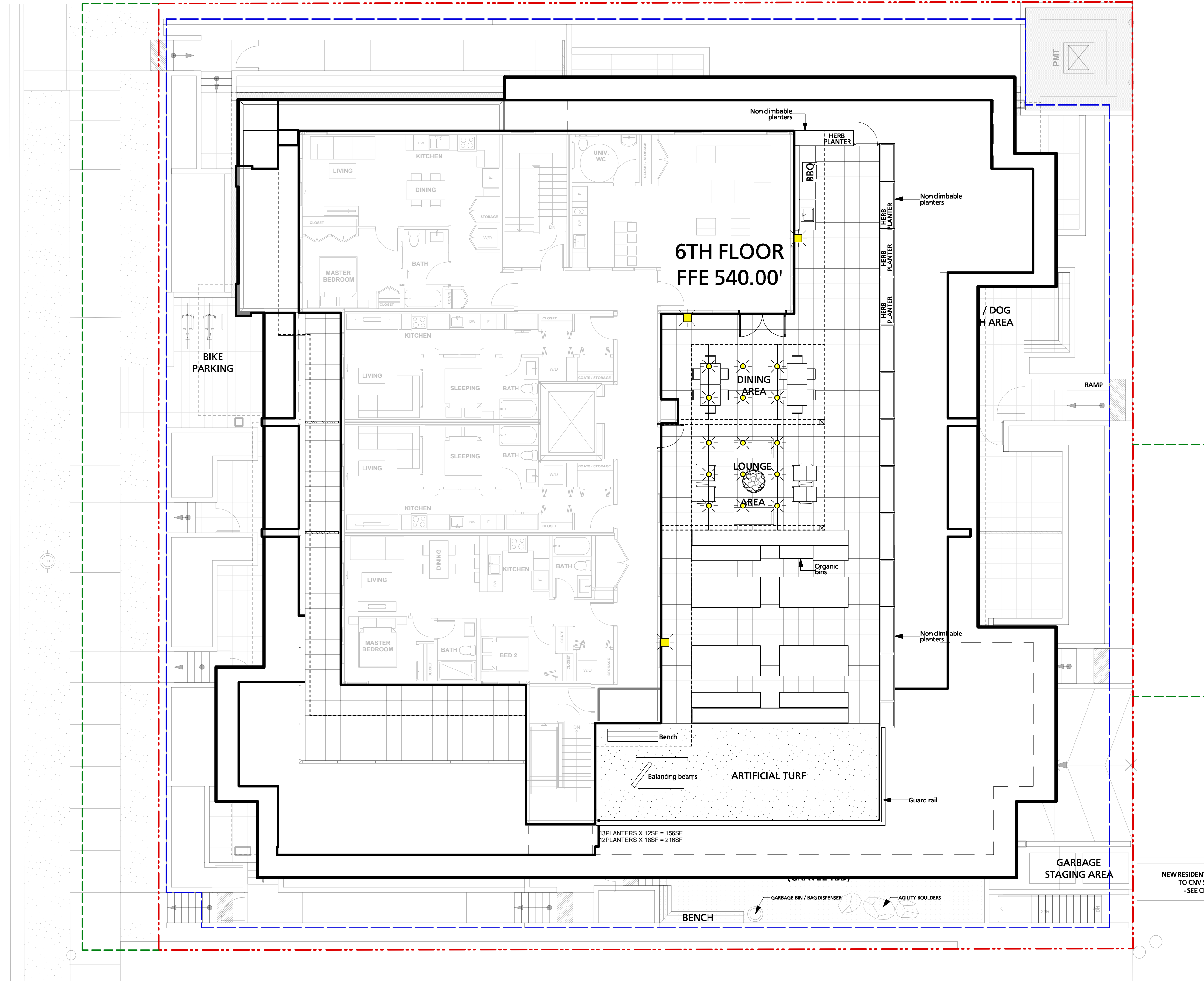
Drawing Title: **Landscape Ground Floor Lighting Plan**

Project North:	Drawn By: EML
	Checked By: MP
Scale: 1/8" = 1'-0"	Job No.: 20-076
Sheet No.:	

L1.1A

3-STORY BUILDING

LONSDALE AVENUE



Legend:

- Recessed Wall Light
- Catenary Lighting
- Wall Mounted Sconce Light (TBC)

By Others

Note: Read Landscape Lighting Plan in conjunction with Architectural and Electrical drawings.

NEW RESIDENTIAL SPEED BUMP TO CNV STANDARDS - SEE CIVIL DWGS

NEW RESIDENTIAL SPEED BUMP TO CNV STANDARDS - SEE CIVIL DWGS

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Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title: **Landscape Roof Lighting Plan**

Project North:	Drawn By:	EML
	Checked By:	MP
Scale:	Job No.:	20-076
1/8" = 1'-0"		

Sheet No.:

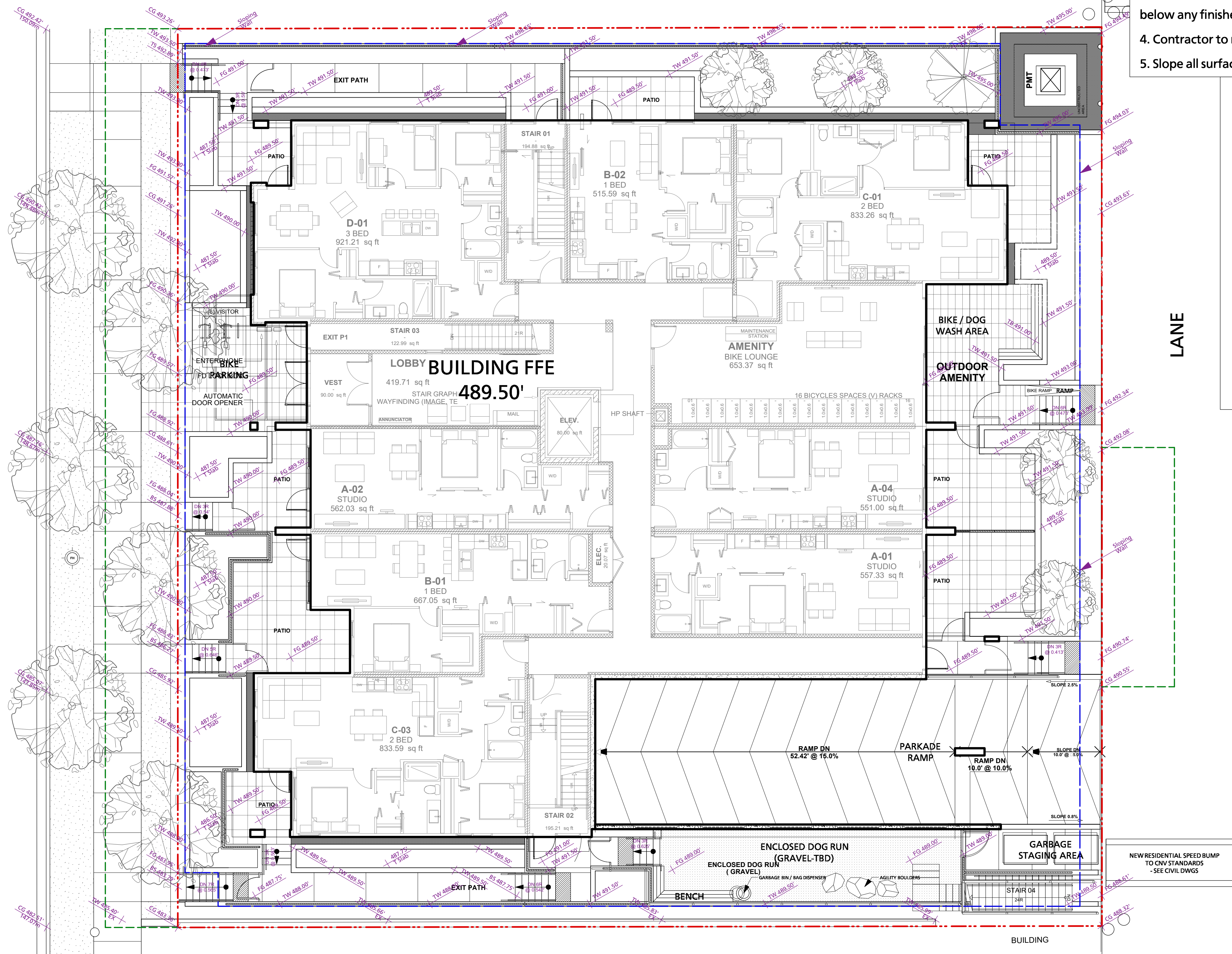
L1.1B

2-STORY BUILDING

2750 LONSDALE AVENUE
 2-STORY BUILDING

3-STOREY BUILDING

LONSDALE AVENUE



Grading notes:

1. Contractor to ensure all paving slopes to drain away from building.
2. Contractor to ensure topsoil slopes and drains away from all buildings.
3. Soft landscape finished grade to be min 200mm below any finished building elevation
4. Contractor to report any discrepancies in grade.
5. Slope all surfaces to drains as shown.

Legend:

- 435.20' Proposed grade
- FG Finished grade
- TW Top of wall
- BW Bottom of wall
- TS Top of stair
- BS Bottom of stair
- TC Top of curb
- BC Bottom of curb
- TB Top of bench
- LB Lawn Basin
- CG Civil Grade

LANE

2-STOREY BUILDING

2750 LONSDALE AVENUE
2-STOREY BUILDING

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Client: **Adera Projects Ltd.**



Project Title: **Rental Development**

2762 Lonsdale Avenue
North Vancouver, BC

Drawing Title: **Landscape Ground Floor Grading Plan**

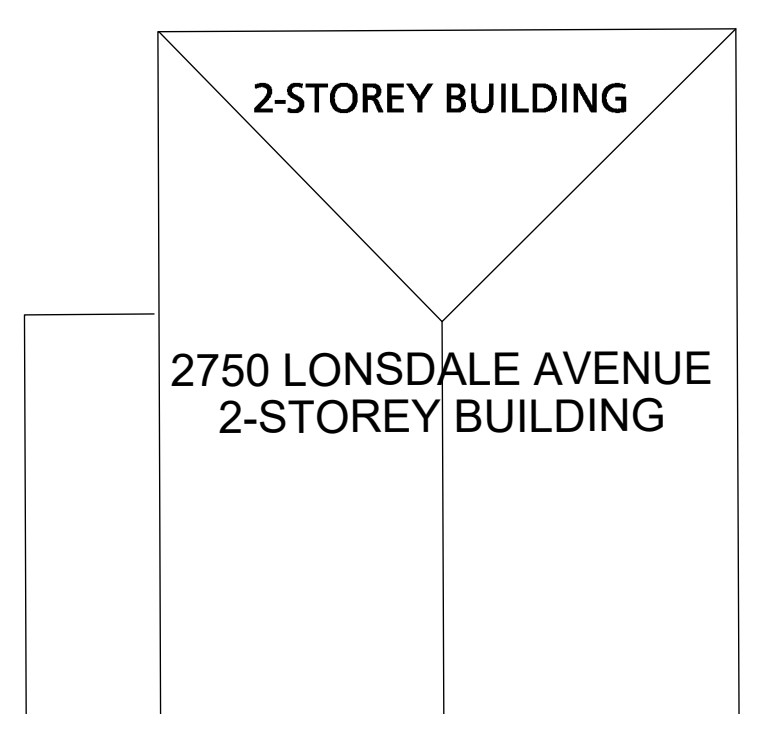
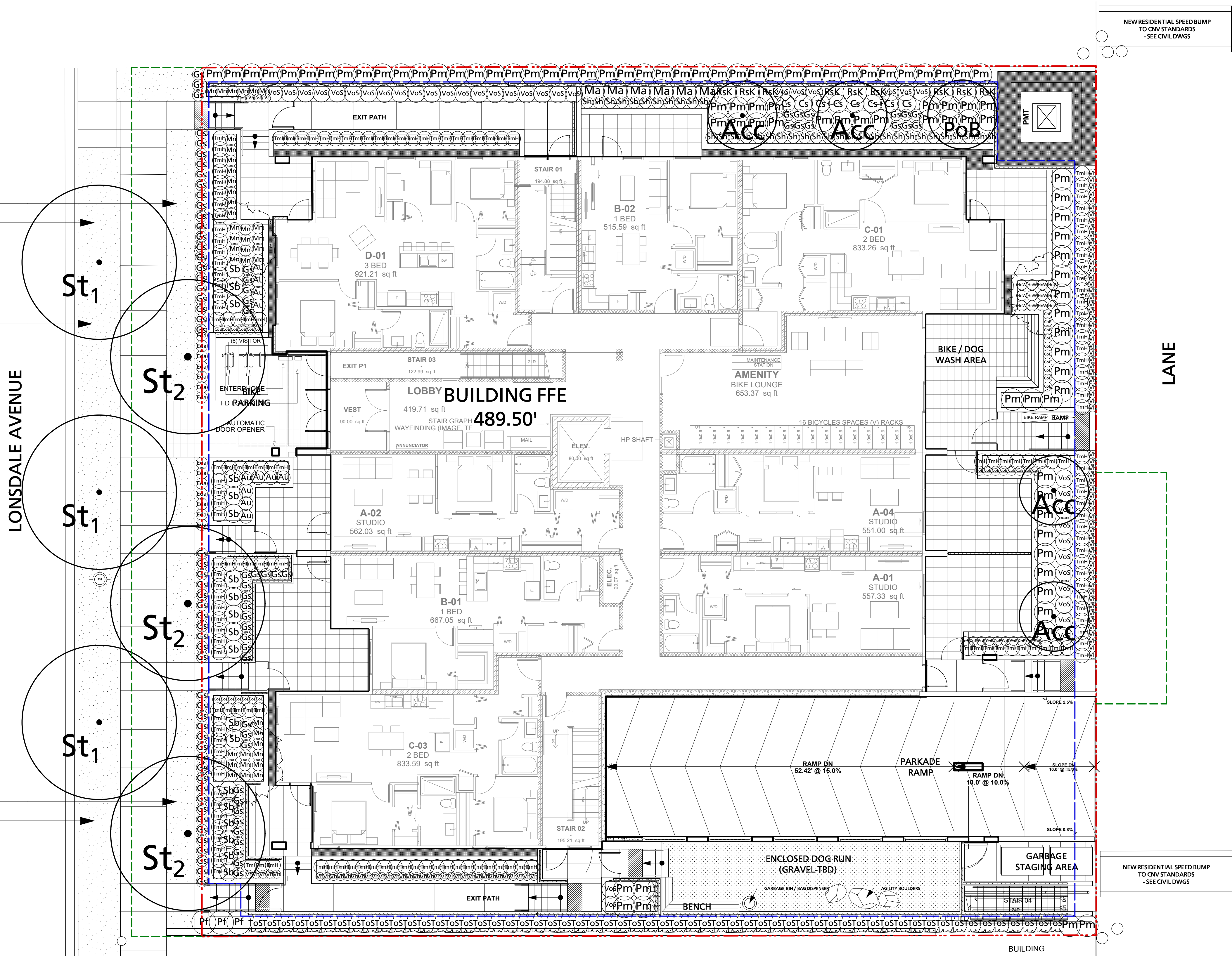
Project North:	Drawn By:	EML
	Checked By:	MP
	Scale:	Job No.:
1/8" = 1'-0"	20-076	
Sheet No.:		

L2.0

Provide continuous soil trench and if required, structural soil under the sidewalks, in order to achieve a minimum of 15m³ of growing medium per street tree.
 Chafer beetle resistant sod variety with 70% Tall Turf-type Fescue or 3% Micro Clover.

Public realm sod and trees to have automatic irrigation system to CNV standards.

Provide continuous soil trench and if required, structural soil under the sidewalks, in order to achieve a minimum of 15m³ of growing medium per street tree.
 Chafer beetle resistant sod variety with 70% Tall Turf-type Fescue or 3% Micro Clover.



Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Plant List					
Trees					
Acc	4	Acer circinatum	Vine Maple	2.5m ht., B&B, max. 3 stems	native
Acan	3	Amelanchier canadensis	Shadblow Serviceberry		native / pollinator
PoB	1	Picea omarika 'Bruns'	Brun's Serbian Spruce	2m ht. min.	
St1	3	Street Tree 1	Street Tree 1	6cm cal.	T.B.C. by the CNV
St2	3	Street Tree 2	Street Tree 2	6cm cal.	T.B.C. by the CNV
Shrubs					
Cs-1	8	Cornus sericea 'Arctic Fire'	'Arctic Fire' Red Twig Dogwood	#3 pot	native
Eda	14	Erica x darleyensis	Darley Heath	#1 pot	pollinator
Gs	95	Gaultheria shallon	Salal	#2 pot	native
Ma	6	Mahonia aquifolium	Oregon Grape	#2 pot	native / pollinator
Mn	38	Mahonia nervosa	Longleaf Mahonia	#2 pot	native / pollinator
Pf	3	Potentilla fruticosa	Cinquefoil	#2 pot	native / pollinator
PIO	17	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	
Rsk	9	Ribes sanguineum 'King Edward VII'	Flowering Currant	#5 pot	native / pollinator
Sh	36	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	
Sb	19	Spiraea betulifolia	Birch Leaf Spiraea	#3 pot	pollinator
SpW	12	Spiraea japonica 'Walburna' Magic Carpet	Magic Carpet Spiraea	#3 pot	pollinator
TmH	169	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge
ToS	58	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' ht, B&B	Hedge
VoS	48	Vaccinium ovatum 'Scarlet Ovation'	Scarlet Ovation Evergreen Huckleberry	#3 pot	native
Groundcovers, Vines, Ferns, Perennials and Grasses					
Au	11	Arctostaphylos uva-ursi	Kinnikinnick	#2 pot	native / pollinator
CoE	45	Carex oshimensis 'Evergold'	Sedge	#1 pot	
HnW	15	Hosta Sp	Hosta	#1 pot	
LaM	3	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot	pollinator
Pm	92	Polystichum munitum	Western Sword Fern	#1 pot	native
Ro	1	Rosmarinus officinalis	Rosemary	#2 pot	pollinator
Sol	2	Salvia officinalis 'Icterina'	Golden Common Sage	#1 pot	pollinator
TSo	4	Thymus 'Spicy Orange'	Orange Scented Thyme	#1 pot	pollinator
Vh	102	Vancouveria hexandra	White Inside-out Flower	#1 pot	native
Total	821				

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Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title: **Landscape Ground Floor Planting Plan**

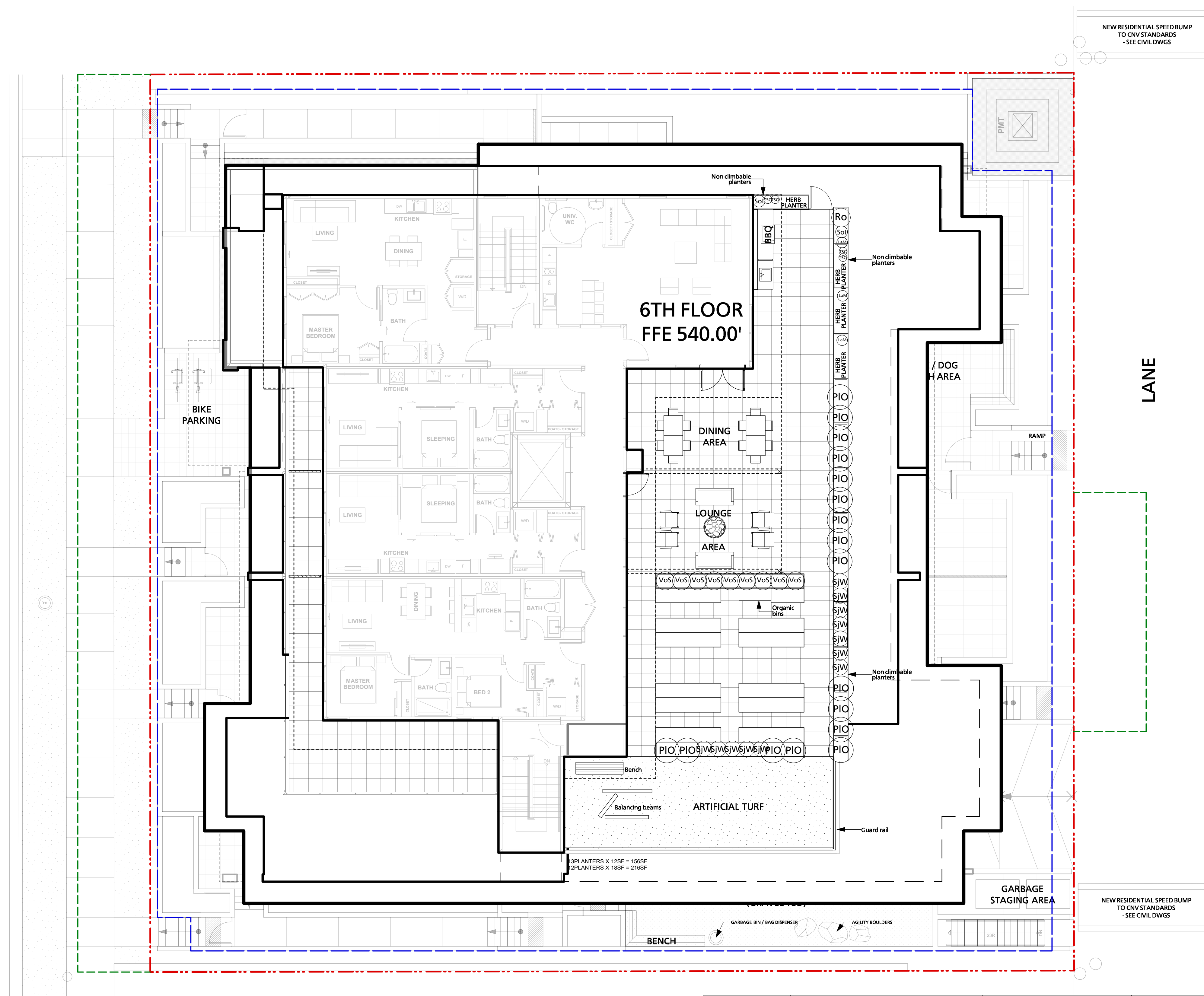
Project North: Drawn By: **EML**
 Checked By: **MP**

Scale: **1/8" = 1'-0"** Job No.: **20-076**

Sheet No.:

L3.0A

LONSDALE AVENUE



NEW RESIDENTIAL SPEED BUMP
TO CNV STANDARDS
-SEE CIVIL DWGS

NEW RESIDENTIAL SPEED BUMP
TO CNV STANDARDS
-SEE CIVIL DWGS

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Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
2762 Lonsdale Avenue
North Vancouver, BC

Drawing Title: **Landscape Roof Planting Plan**

Project North: Drawn By: **EML**
Checked By: **MP**

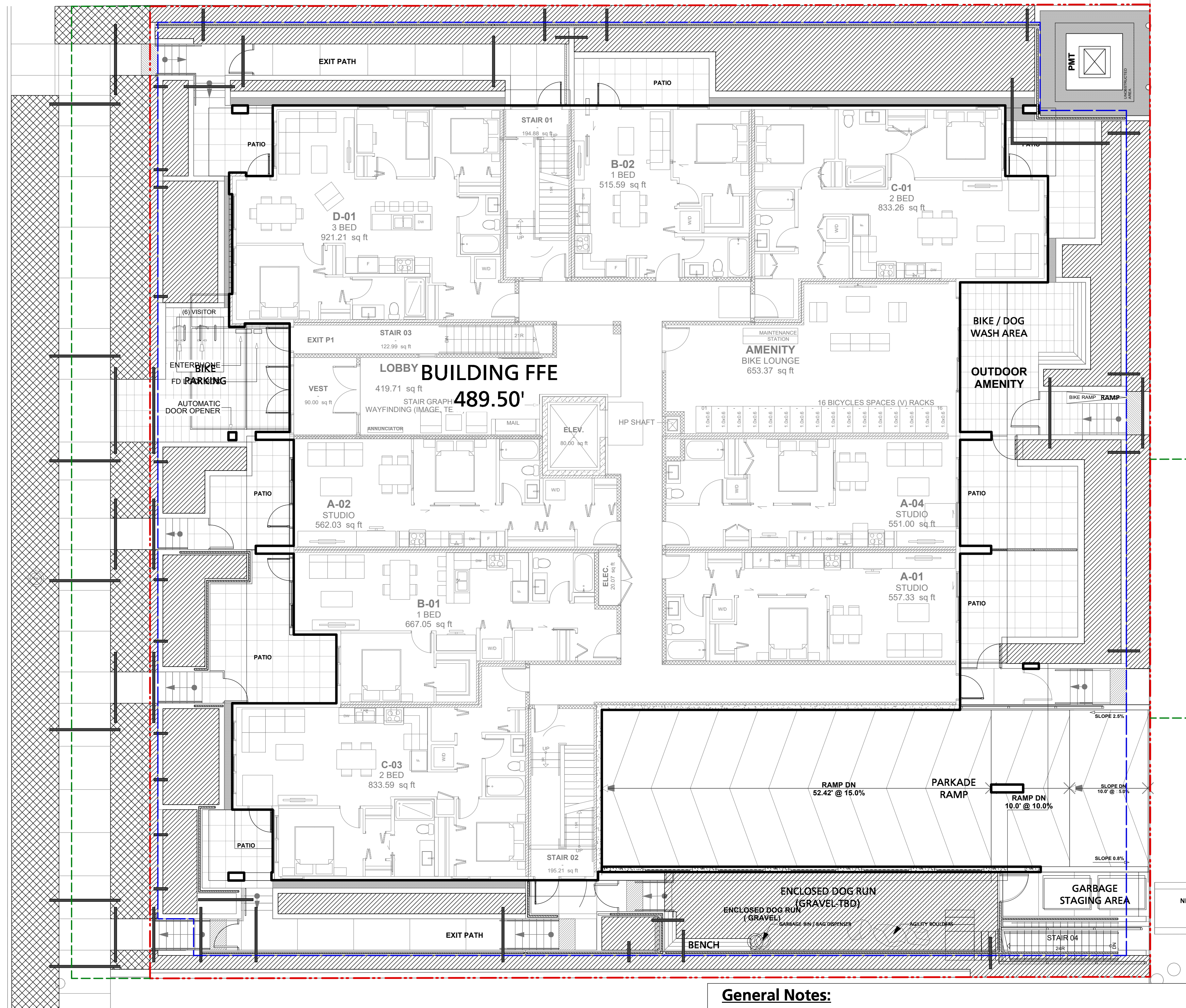
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Sheet No.: **L3.0B**

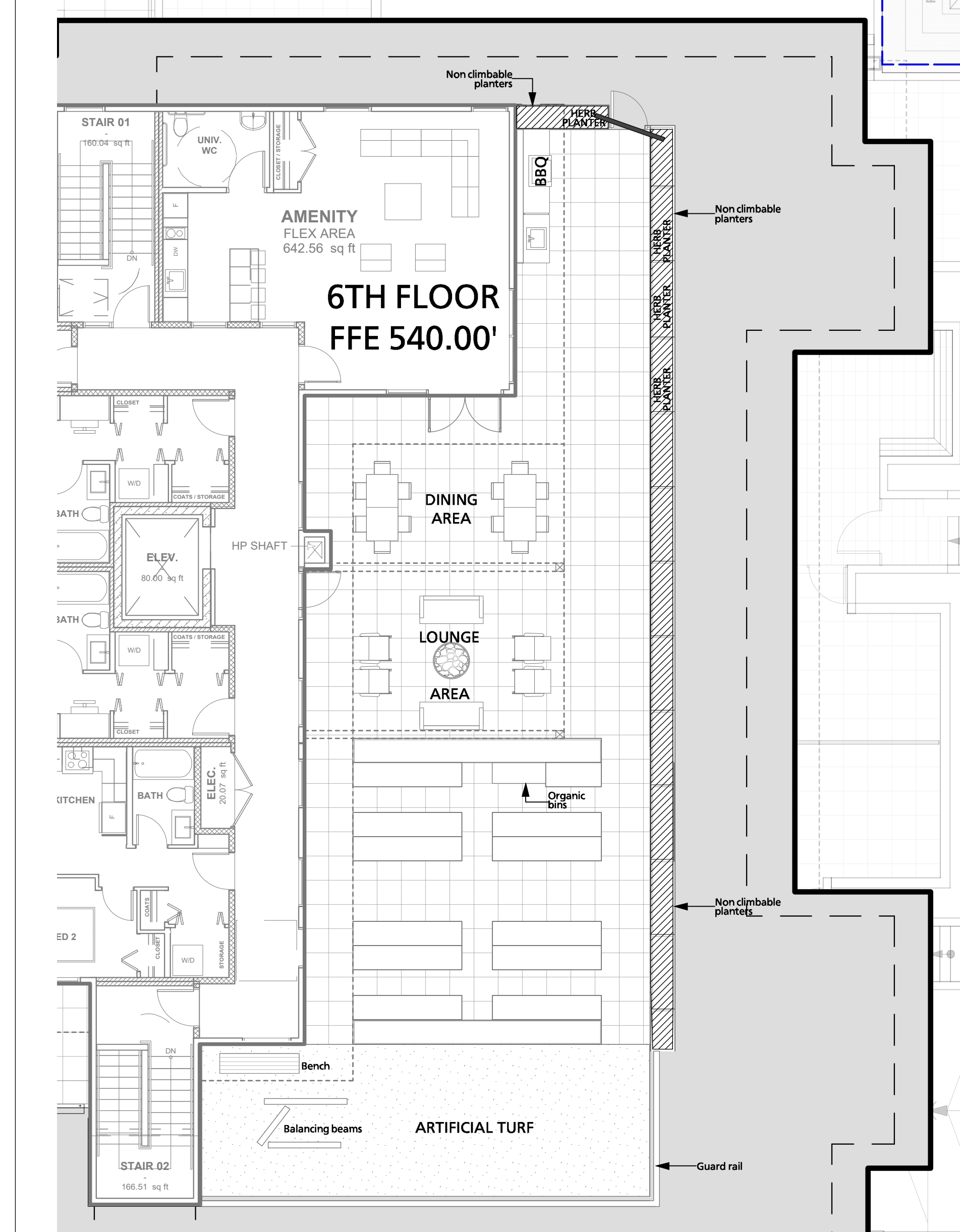
2-STOREY BUILDING

2750 LONSDALE AVENUE
2-STOREY BUILDING

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Plant List					
Trees					
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Acan	3	Amelanchier canadensis	Shadblow Serviceberry		native / pollinator
PoB	1	Picea omarika 'Bruns'	Brun's Serbian Spruce	2m ht. min.	
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Eda	14	Erica x darleyensis	Darley Heath	#1 pot	pollinator
Gs	95	Gaultheria shallon	Salal	#2 pot	native
Ma	6	Mahonia aquifolium	Oregon Grape	#2 pot	native / pollinator
Mn	38	Mahonia nervosa	Longleaf Mahonia	#2 pot	native / pollinator
Pf	3	Potentilla fruticosa	Cinquefoil	#2 pot	native / pollinator
PIO	17	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	
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Sh	36	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	
Sb	19	Spiraea betulifolia	Birch Leaf Spiraea	#3 pot	pollinator
SjW	12	Spiraea japonica 'Walburna' Magic Carpet	Magic Carpet Spiraea	#3 pot	pollinator
TmH	169	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge
ToS	58	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' ht, B&B	Hedge
VoS	48	Vaccinium ovatum 'Scarlet Ovation'	Scarlet Ovation Evergreen Huckleberry	#3 pot	native
Groundcovers, Vines, Ferns, Perennials and Grasses					
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CoE	45	Carex oshimensis 'Evergold'	Sedge	#1 pot	
HnW	15	Hosta Sp	Hosta	#1 pot	
LaM	3	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot	pollinator
Pm	92	Polystichum munitum	Western Sword Fern	#1 pot	native
Ro	1	Rosmarinus officinalis	Rosemary	#2 pot	pollinator
Sol	2	Salvia officinalis 'Icterina'	Golden Common Sage	#1 pot	pollinator
TSO	4	Thymus 'Spicy Orange'	Orange Scented Thyme	#1 pot	pollinator
Vh	102	Vancouveria hexandra	White Inside-out Flower	#1 pot	native
Total	821				



1 GROUND FLOOR - SCHEMATIC IRRIGATION PLAN
1/8" = 1'-0"



2 ROOF - SCHEMATIC IRRIGATION PLAN
1/8" = 1'-0"

General Notes:

- The irrigation contractor to provide a complete and functioning design-build sprinklers irrigation system designed to meet 50% potable water use reduction.
- The irrigation contractor shall confirm on site the locations of the stub-outs provided by the Mechanical contractor.
- The Electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
- The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
- Provide rain sensor on system, location to be determined.
- Flow thru all piping not to exceed 5ft/sec.
- Irrigation contractor to ensure all sleeves, conduits and location of the rain sensor are coordinated with general contractor.
- The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
- The irrigation system shall be installed as per the landscape architect's specifications and IAABC standards or better.
- The mechanical contractor shall install the double check valve and a blow out connection in the water entry room and run supply lines to all stub out locations. See plans.
- The irrigation contractor shall provide irrigation system for all street trees and boulevard to City of North Vancouver standards.
- The irrigation contractor to submit shop drawings including proof of 50% potable water use reduction for approval prior to installation.
- The irrigation contractor to provide as-built drawings following construction.
- All Irrigation heads to be "Rainbird" brand.

Off-site irrigation:

-All off-site irrigation system to be on a separate controller than the on-site irrigation system. Off-site irrigation system controller to be accessible and not within the building/strata. All-offsite system to include inground shut off valve.

-Civil to provide irrigation chamber with backflow preventer and area drain connected to storm at bottom of chamber.

Legend:



2828 sqft

On site area to be covered by automated irrigation.



1274 sqft

Off site area to be covered by automated irrigation.



Irrigation Sleeve.



Stub Out: 1.5" Threaded copper pipe. 35 GMP.

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North Vancouver, BC

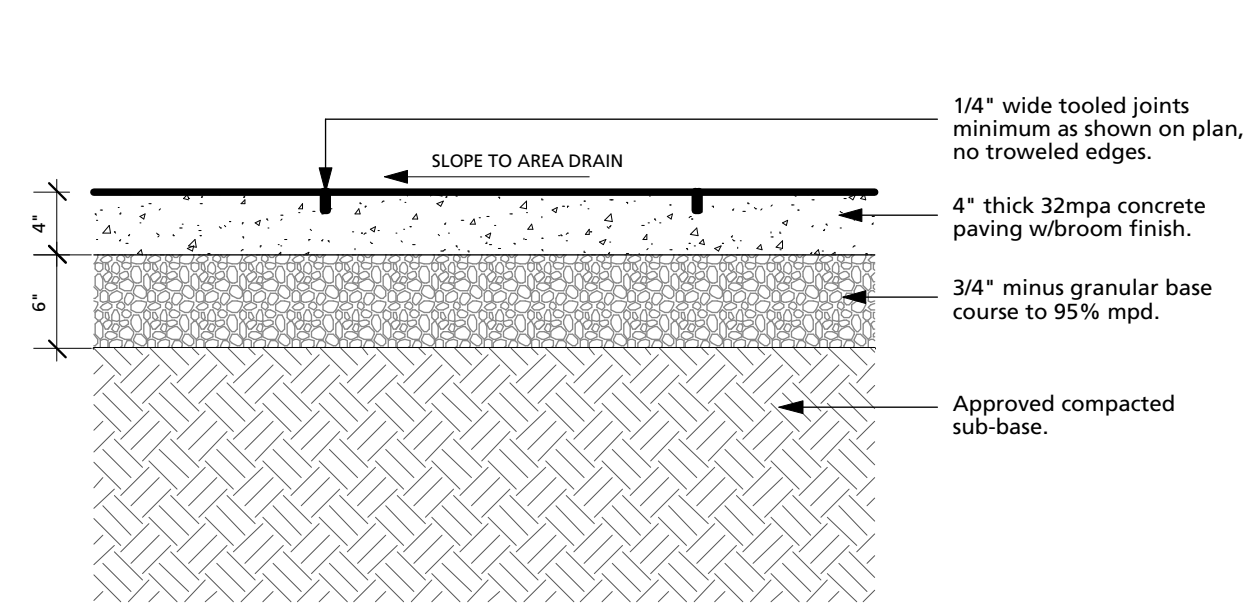
Drawing Title: **Landscape Schematic Irrigation Plan**

Project North: Drawn By: EML
Checked By: MP

Scale: 1/8" = 1'-0" Job No.: 20-076

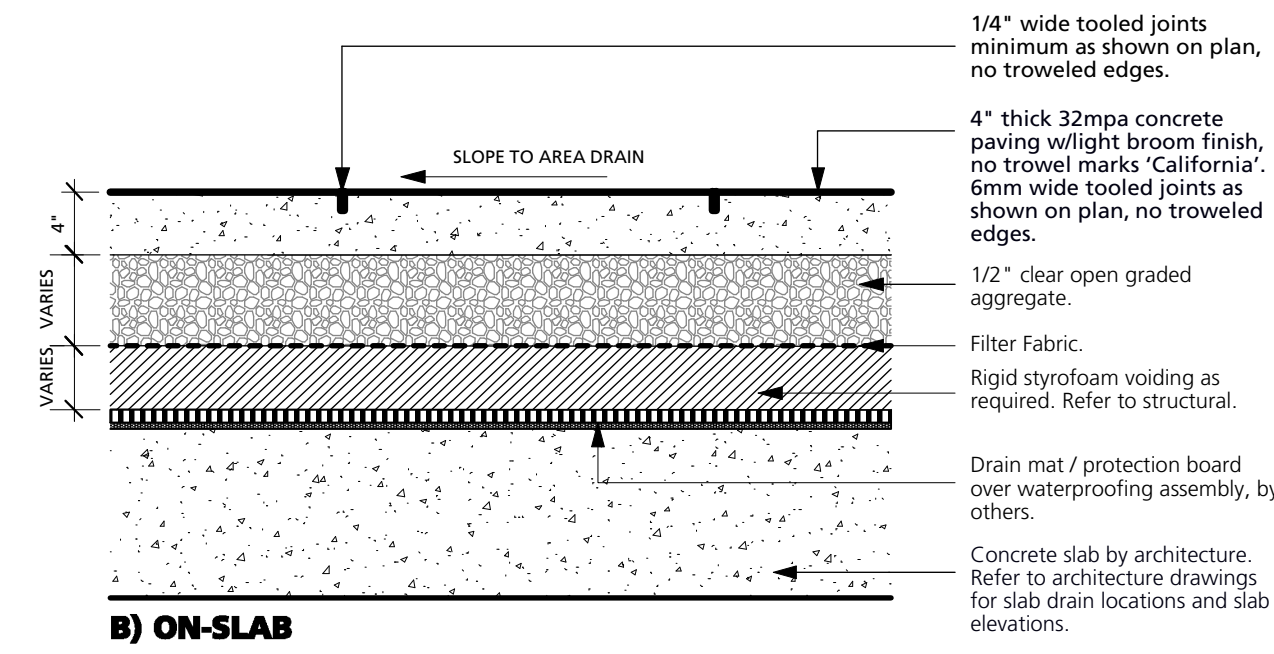
Sheet No.:

L4.0

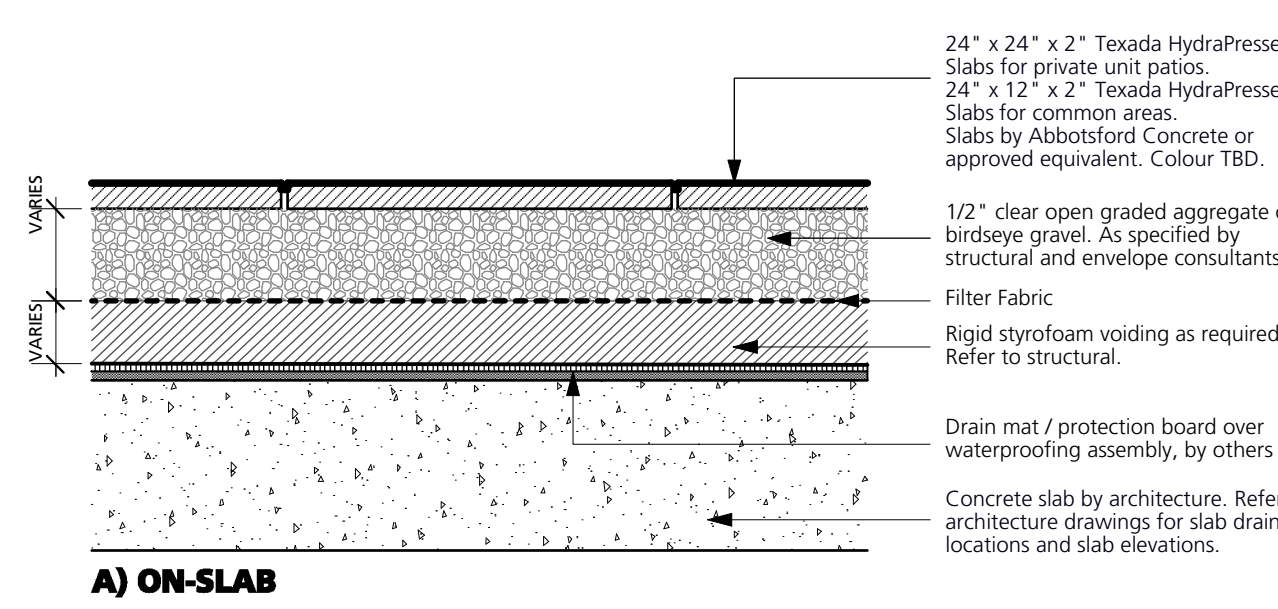


A) ON-GRADE

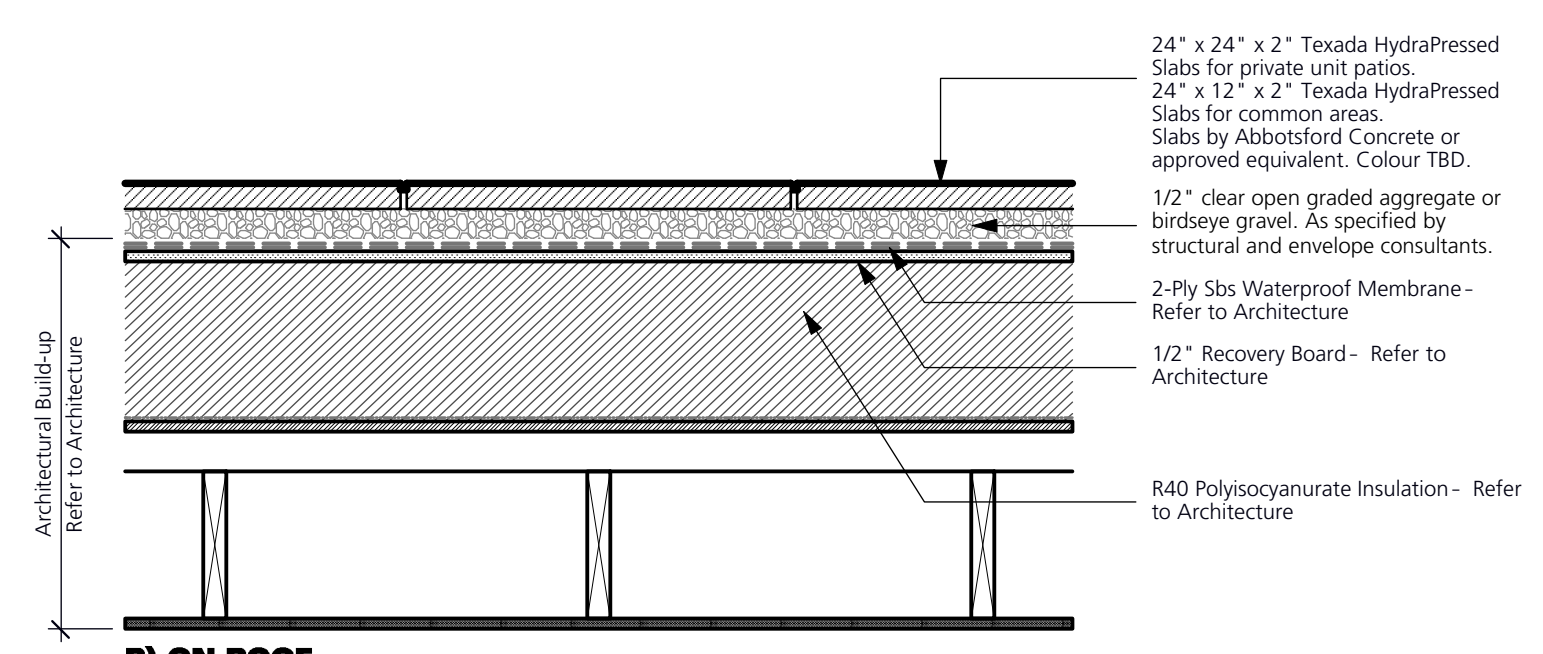
1 CIP CONCRETE PAVING (PEDESTRIAN)
 L5.0 1" = 10"



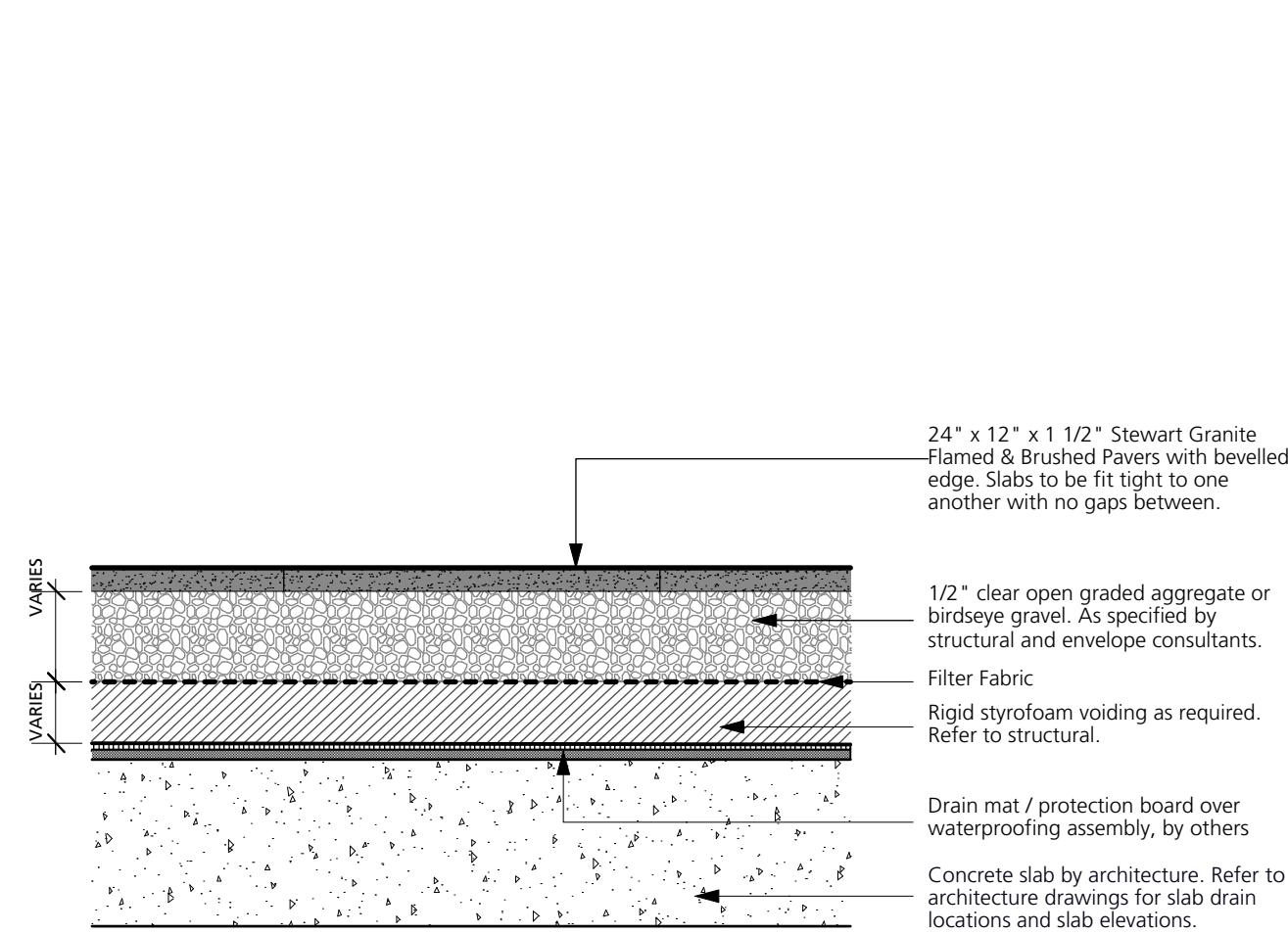
B) ON-SLAB



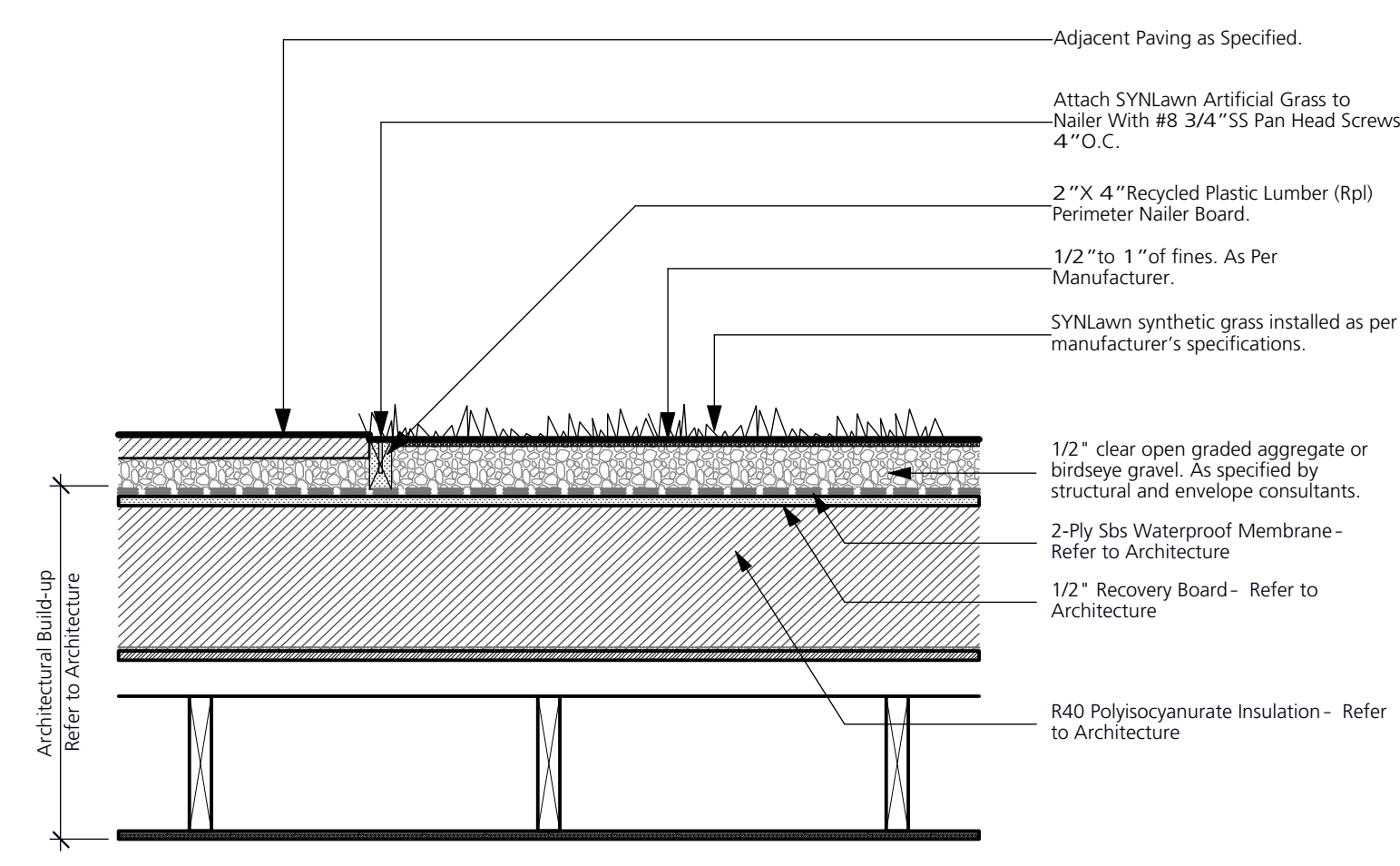
2 PRECAST PAVERS (PEDESTRIAN)
 L5.0 1" = 10"



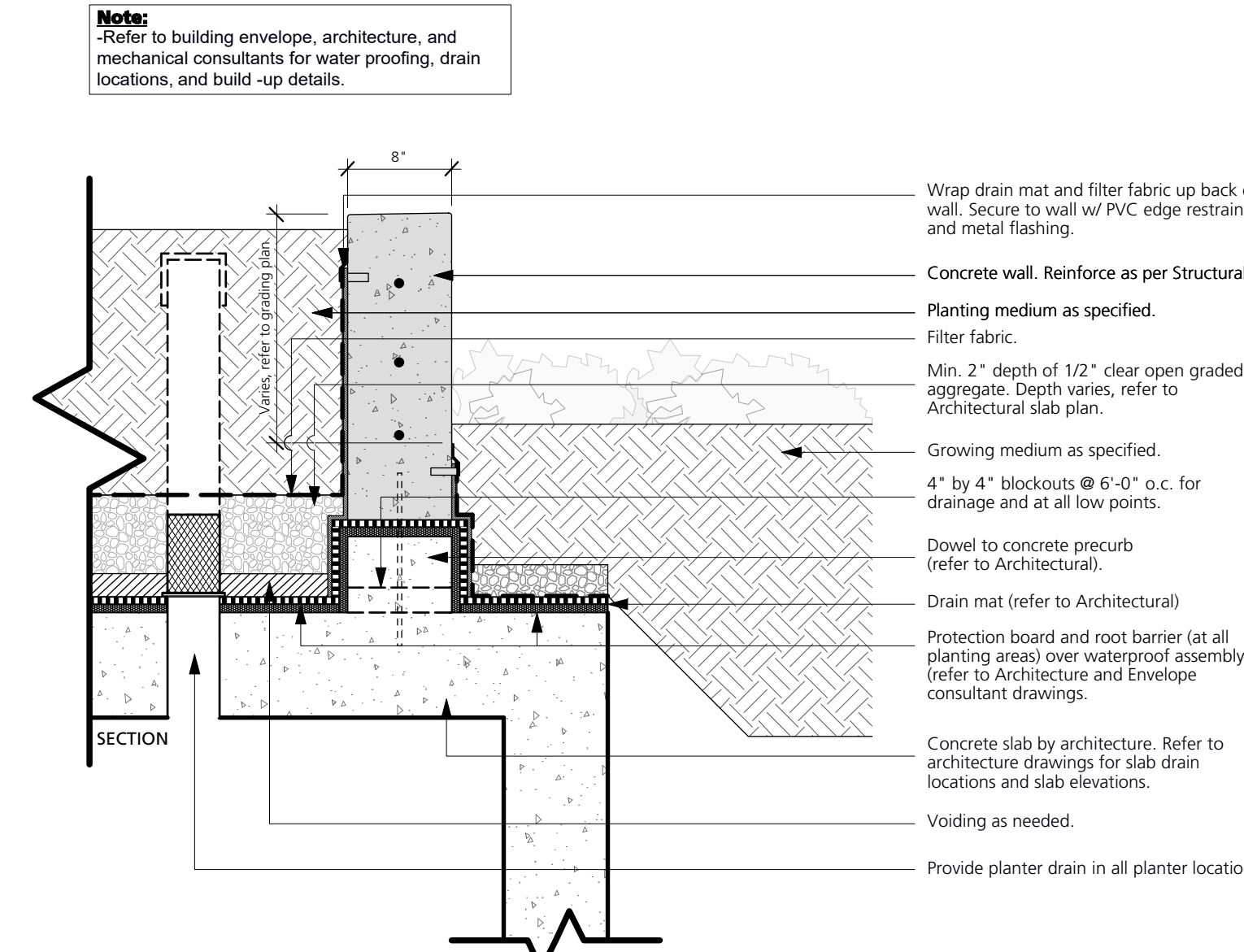
B) ON-ROOF



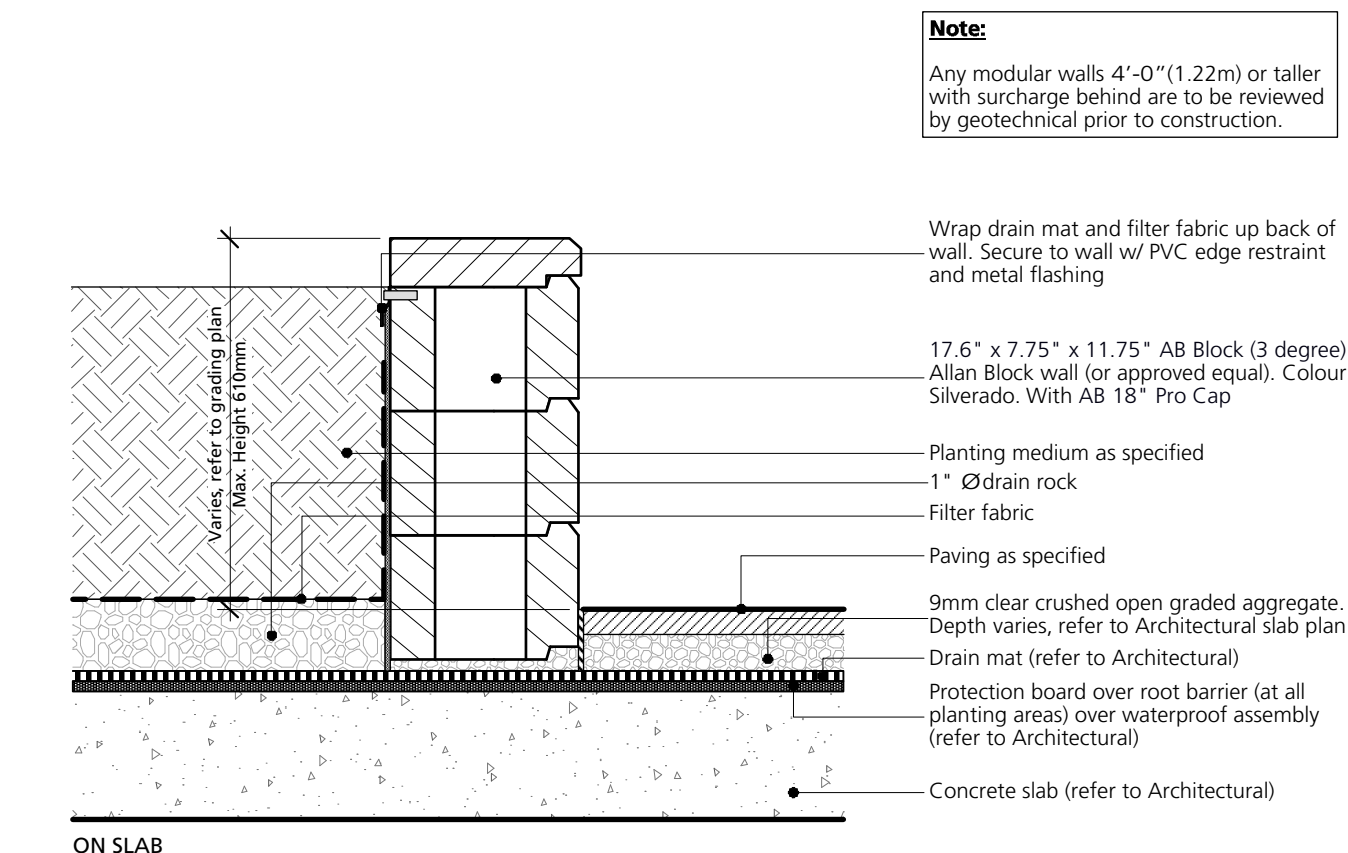
3 GRANITE PAVERS (PEDESTRIAN)
 L5.0 1" = 10"



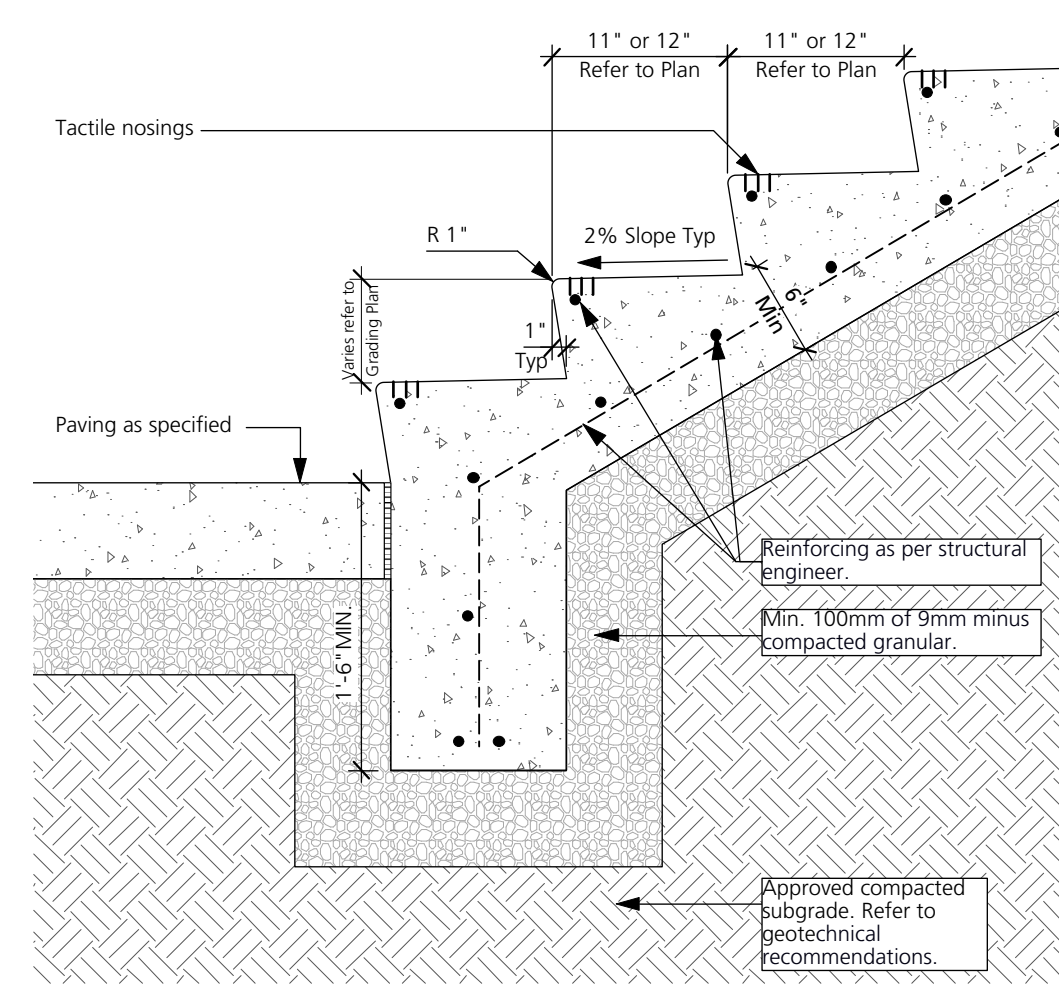
4 SYNlawn ON ROOF
 L5.0 1" = 10"



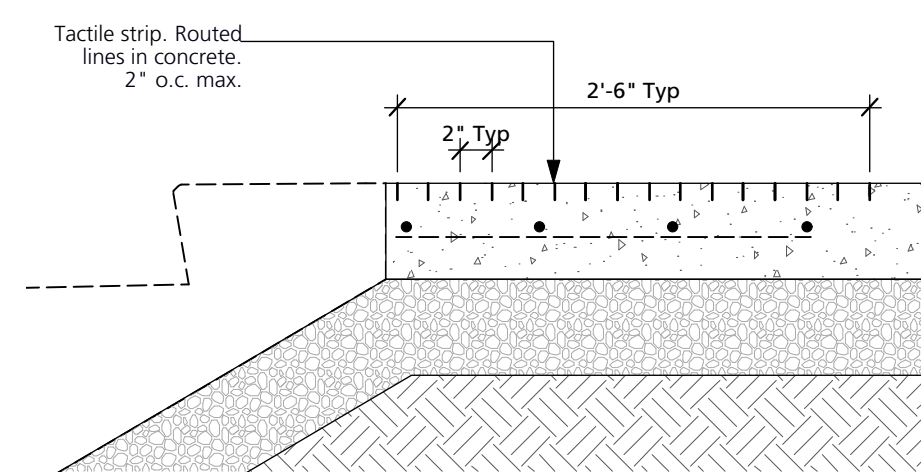
5 CIP CONCRETE PLANTER WALL ON SLAB
 L5.0 1" = 10"



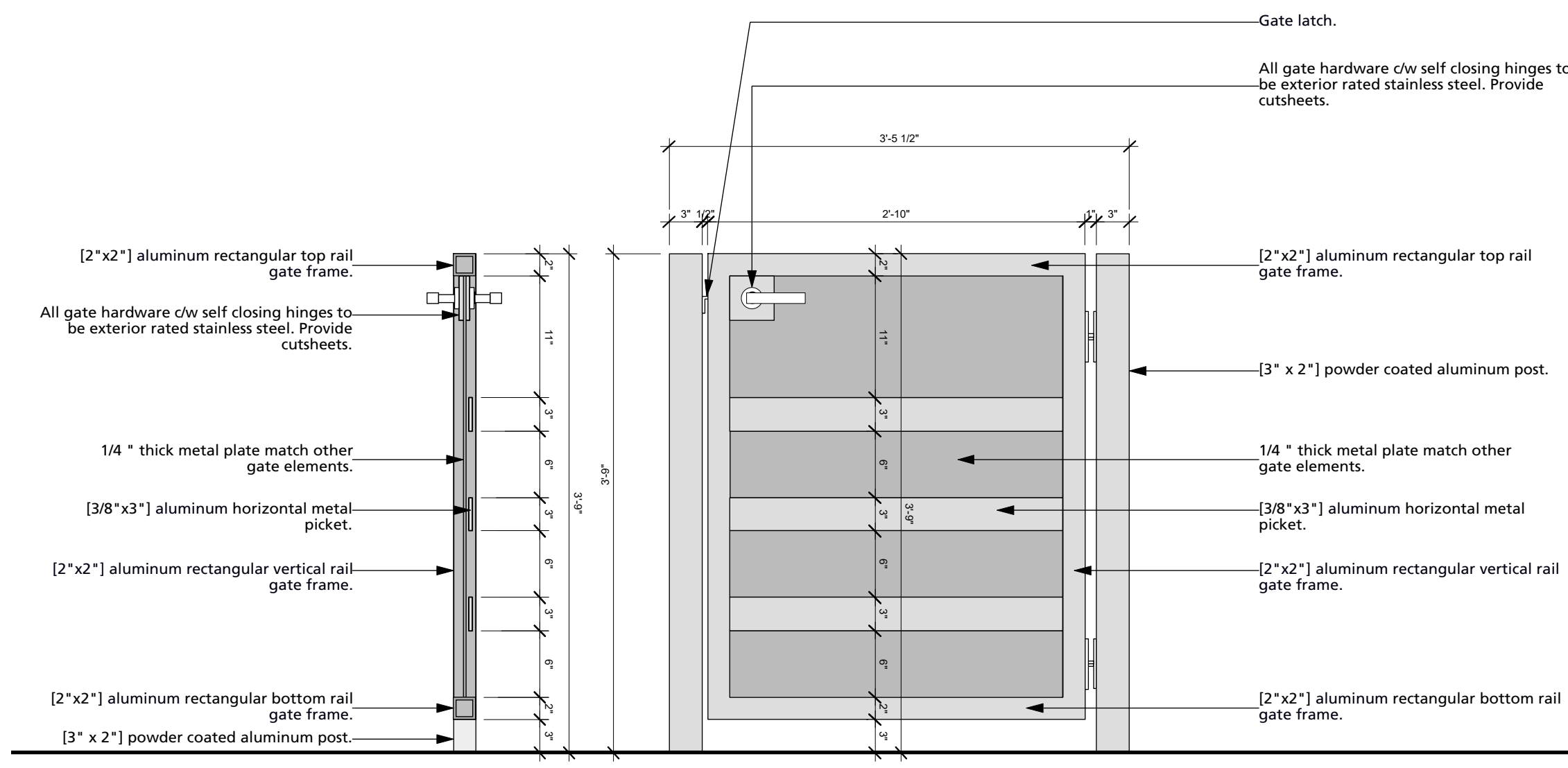
6 ALLAN BLOCK PLANTER WALL ON SLAB
 L5.0 1" = 10"



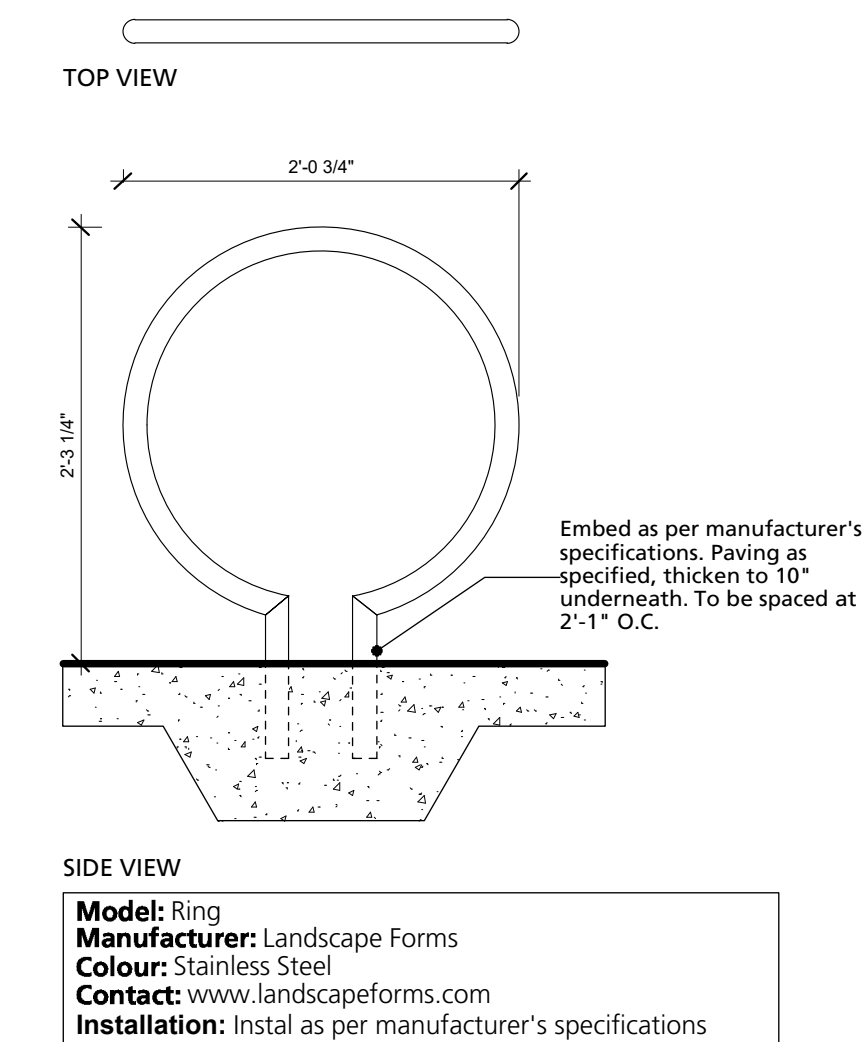
7 CIP CONCRETE STAIR
 L5.0 1" = 10"



8 CIP CONCRETE TACTILE STRIP DETAIL
 L5.0 1" = 10"



9 CUSTOM ALUMINUM GATE
 L5.0 1" = 10"



10 BIKE RACK
 L5.0 1" = 10"

Note:
 -Refer to building envelope, architecture, and mechanical consultants for water proofing, drain locations, and build-up details.

Note:
 Any modular walls 4'-0" (1.22m) or taller with surcharge behind are to be reviewed by geotechnical prior to construction.

ALL METALWORK NOTES:
 - ALL METAL TO BE POWDER-COATED ALUMINUM UNLESS OTHERWISE SPECIFIED
 - ALL WELDS TO BE GROUND SMOOTH.
 - ALL MEASUREMENTS TO BE VERIFIED ON SITE WITH AS BUILT CONDITIONS PRIOR TO FABRICATION.
 - METALWORK MANUFACTURER TO COORDINATE WITH GENERAL CONTRACTOR REGARDING BASE ATTACHMENT. SOME FENCES/GATES ARE TO BE SECURED TO TOP OF CONCRETE WALLS AND SOME ARE TO BE SECURED TO INDIVIDUAL CONCRETE FOOTINGS.
 - ALL ATTACHMENTS, END CAPS, AND OTHER COMPONENTS ARE TO MATCH COLOUR.
 - CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL METAL COMPONENTS WITH FINISHES, CONNECTIONS, HARDWARE, AND FOOTING TYPE, AND SUBMIT FOR APPROVALS PRIOR TO FABRICATION.
 - LANDSCAPE ARCHITECT TO BE INFORMED OF METALWORK INSTALLATION ON SITE FOR INSPECTION AND COORDINATION.

3	Re-issued for DP	2021/05/21
2	Issued for ADP Presentation	2021/03/31
1	Issued for Re-zoning and Development Permit	2020/11/05
Revision No.		Date

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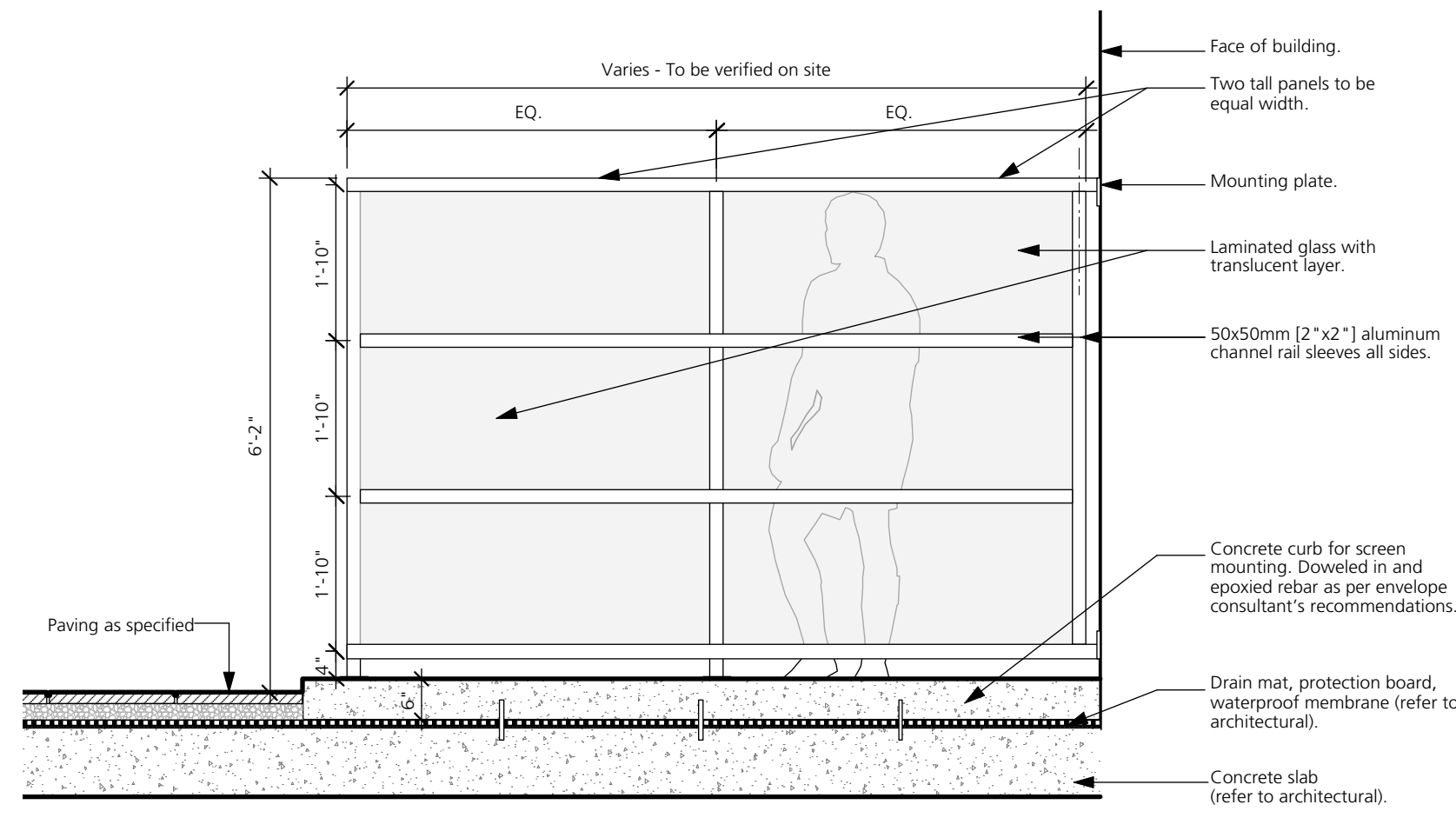


Project Title:
Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

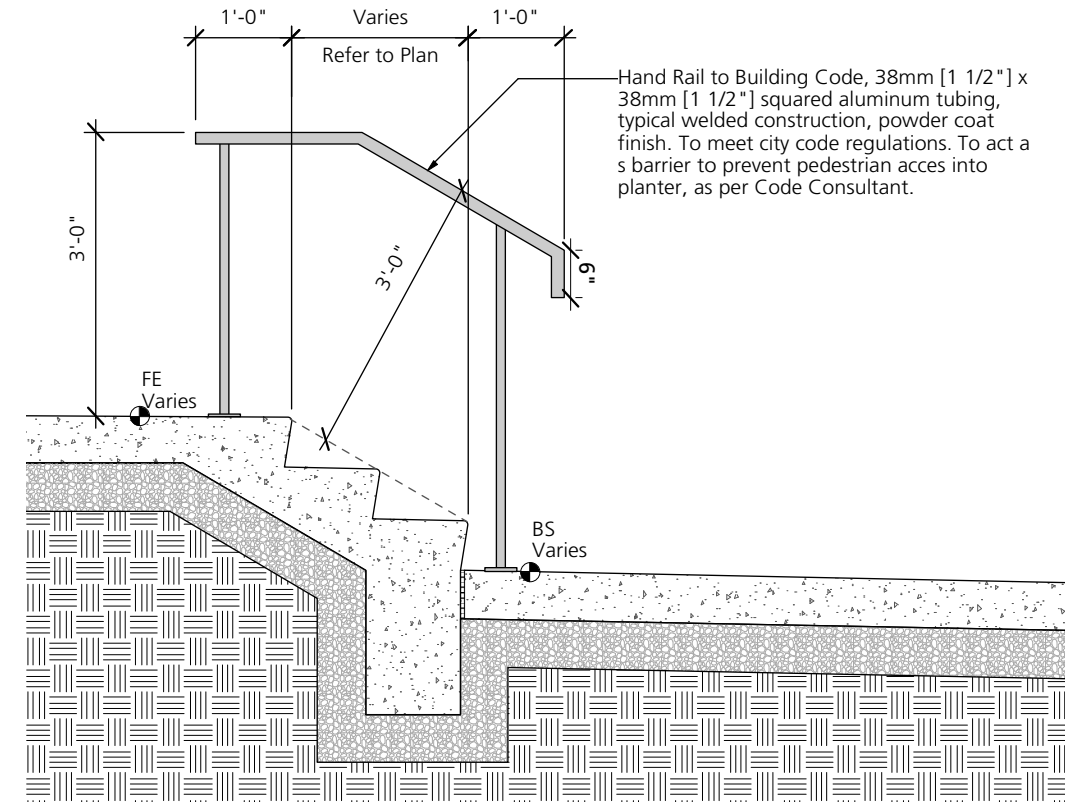
Drawing Title:
Landscape Details

Project North:	Drawn By:	EML
	Checked By:	MP
Scale:	Job No.:	20-076
	As Shown	
Sheet No.:		

L5.0



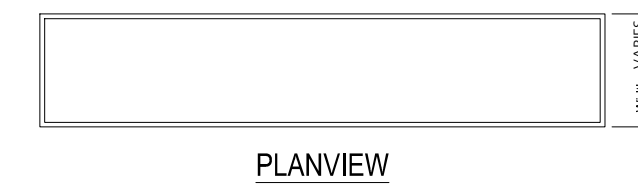
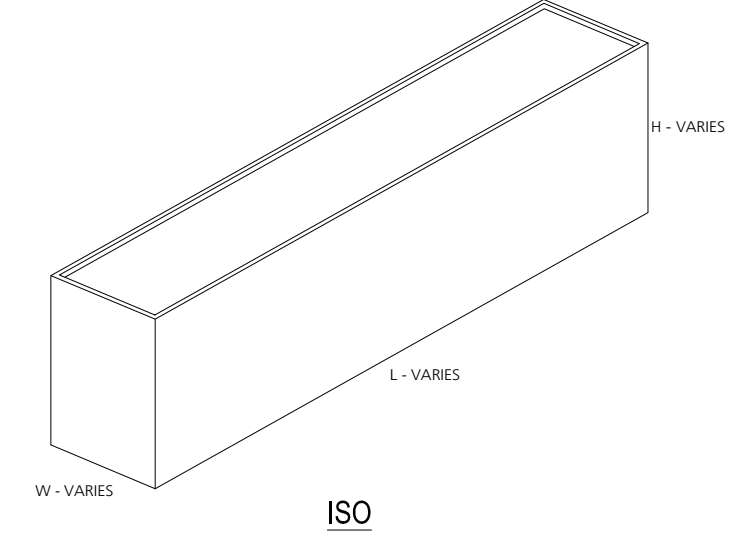
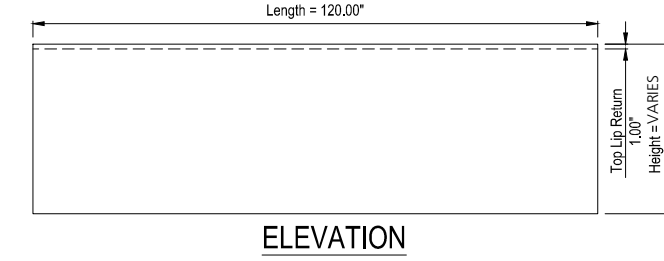
1 PRIVACY SCREEN
1/2" = 1'0"



2 HANDRAIL DETAIL
1/2" = 1'0"

GREEN THEORY DESIGN

GREEN THEORY DESIGN
1515 BROADWAY ST. #604,
PORT COQUITLAM, BC V3C 6M2
PHONE: (604) 473-7002
INT: (844) 747-9283
www.greentheorydesign.com
email: sales@greentheorydesign.com

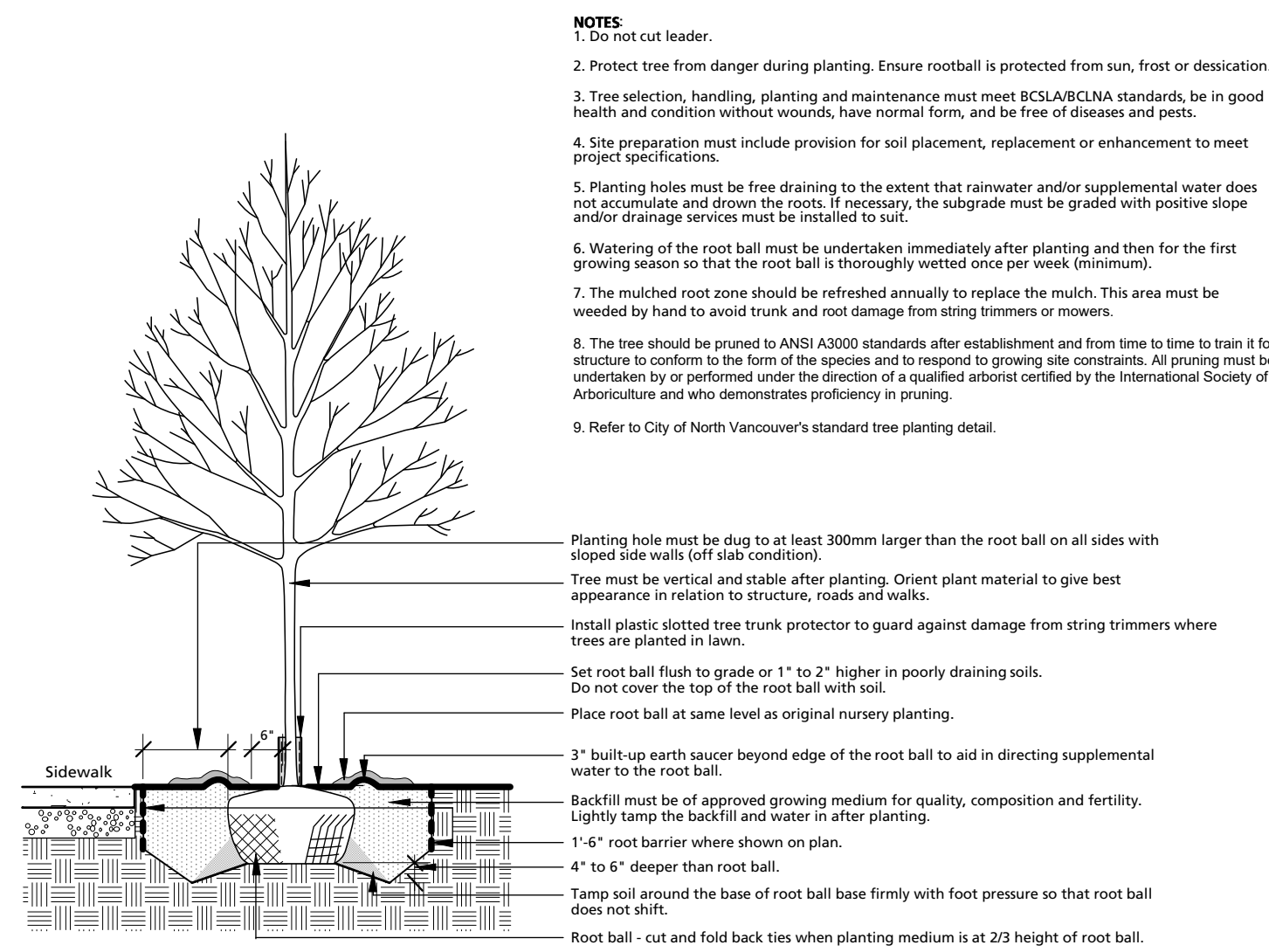


3 ALUMINUM PLANTERS
1/2" = 1'0"

ALL METALWORK NOTES:

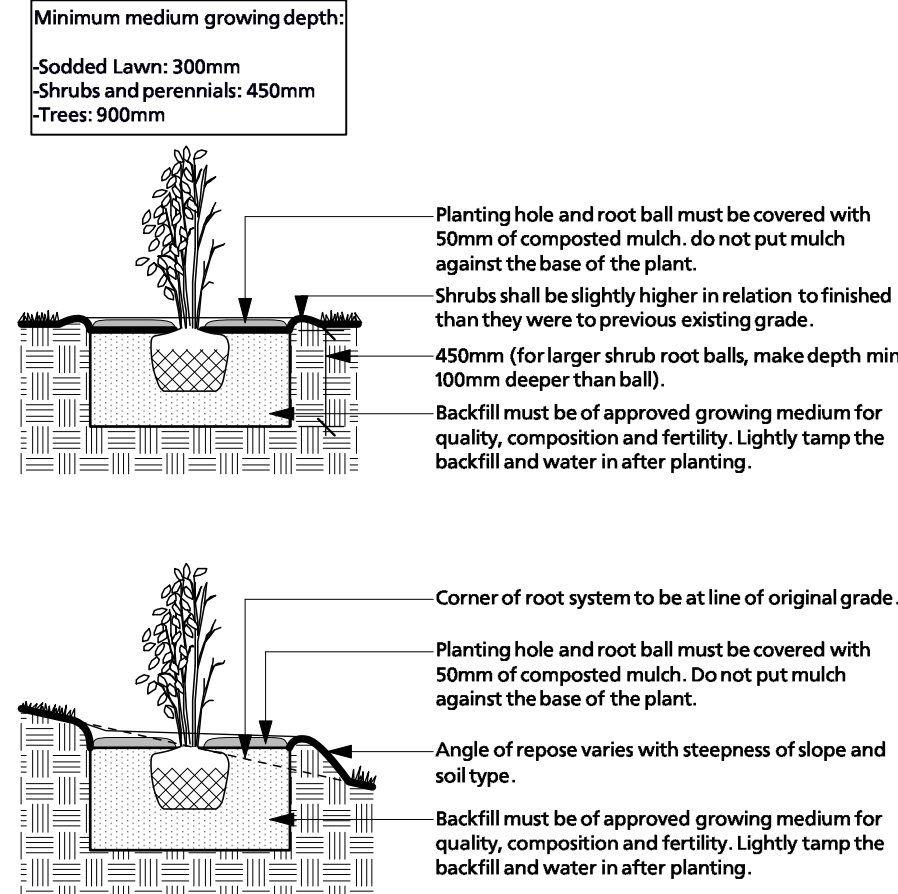
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Model: Modular Planters
Supplier: Planters Perfect or Approved Alternate
Contact: <https://www.greentheorydist.com/>
Colour: Matte Black
Installation: Instal as per manufacturer's specifications

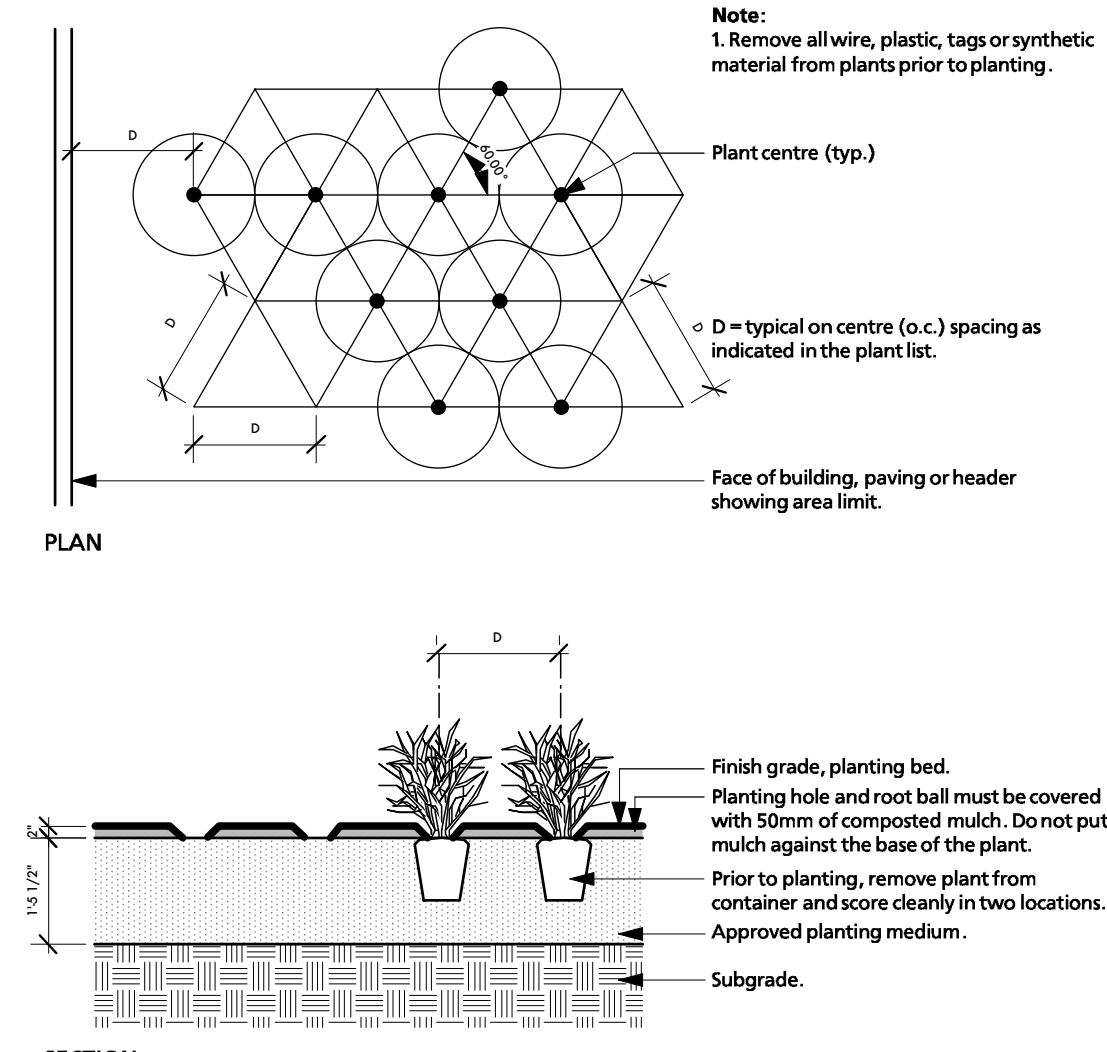


4 TREE PLANTING DETAIL - URBAN BOULEVARD
1/2" = 1'0"

- Note:**
1. Min. root spread to be in accordance with "Canadian standards for nursery stock."
2. For container-grown shrubs, use fingers or small hand tools to pull the roots out of the outer layer of potting soil, then cut or pull apart any roots that circle the perimeter of the container. Prune all damaged, diseased, or weak limbs and roots.
3. Cleanly prune all damaged root ends.
4. Fold burlap from top of root ball down into ground set top of ball flush with finish grade.
5. Do not allow roots to dry out during installation process.
6. Soak roots in water overnight before planting.



5 SHRUB AND GROUNDCOVER PLANTING
3/8" = 1'-0"



6 BOULEVARD LAWN
1" = 1'0"

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Client: **Adera Projects Ltd.**

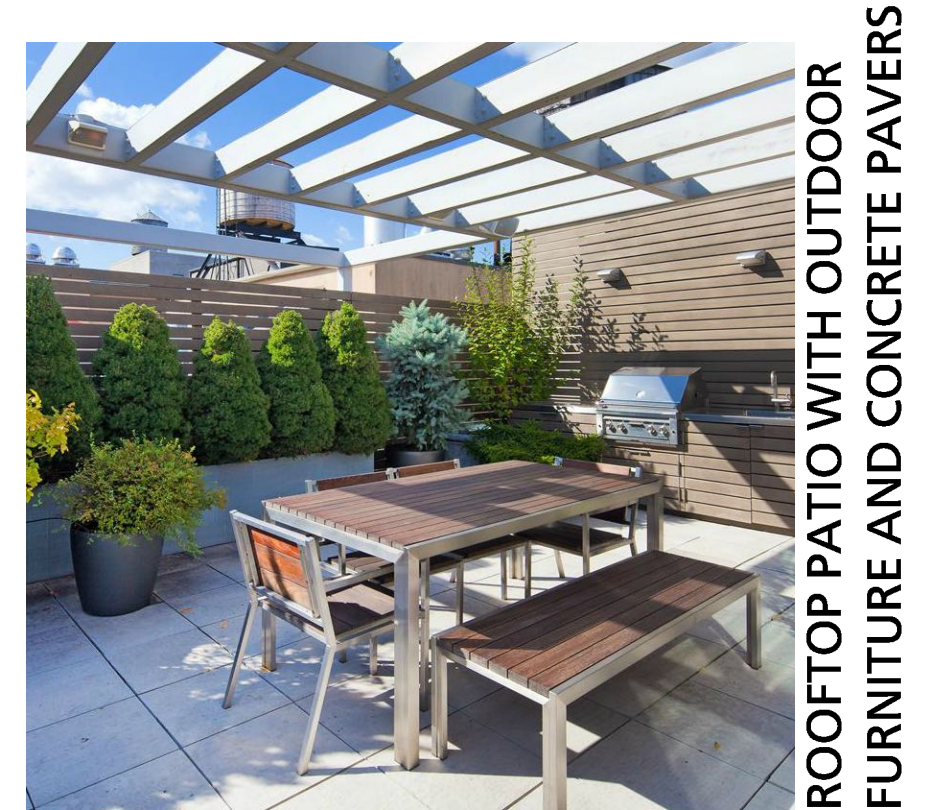


Project Title: **Rental Development**
2762 Lonsdale Avenue
North Vancouver, BC

Drawing Title: **Landscape Details**

Project North:	Drawn By:	EML
	Checked By:	MP
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	As Shown	
Sheet No.:		

L5.1



7 PRECEDENT IMAGES
L5.1

