

## LOCAL GOVERNMENT FILING FORM

PAGE 1 OF 1 PAGES

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**Julie Peters** Digitally signed by  
**QJ16C9** Julie Peters QJ16C9  
 Date: 2020.11.27  
 16:36:12 -08'00'

1. APPLICATION: (Name, address and phone number of the applicant, applicant's solicitor or agent)

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

141 WEST 14TH STREET

JULIE PETERS

604-990-4230

NORTH VANCOUVER

BC V7M 1H9

FILE: 2141 EASTERN AVENUE

Document Fees: \$29.95

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:

[PID]

[LEGAL DESCRIPTION]

**031-080-359**

**LOT 1 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN**

**EPP87495**

STC? YES

3. NATURE OF INTEREST: **Notice of Permit**

Affected Legal Notation or Charge Number:

4. NAME OF LOCAL GOVERNMENT: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Additional Information:

DPA2019-00022

5. NOTICE DETAILS:

TAKE NOTICE that the land described above is subject to a Permit.

(a) Type of Notice: Development Permit

(b) Statutory authority: Local Government Act, Section 489

Issue Date: 2020-11-27

Further particulars of the permit may be obtained from the issuing authority.

AND FURTHER TAKE NOTICE that in the case of a Temporary Commercial or Industrial Permit, the Registrar is hereby authorized to cancel the notation of the filing of this notice against the title to the land affected by it on or after the expiry date specified above without further application from us and we consent to a cancellation of the notation on the basis of effluxion of time.

Authorized Signatory: (If Applicable)



**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**  
**DEVELOPMENT PERMIT**

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Permit No. DPA2019-00022

File: 08-3060-20-0235/1

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Issued to owner(s): **The Corporation of the City of North Vancouver**

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Respecting the lands located at **2141 Eastern Avenue**, North Vancouver, BC, legally described as:

**LOT 1 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP87495, PID: 031-080-359**

(the “Lands”)

**List of Attachments:**

Schedule “A”: Location Map  
Schedule “B”: List of Plans

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**Authority to Issue:**

1. This Development Permit is issued pursuant to Section 489 of the *Local Government Act*.
  2. This permit is specifically in accordance with The City of North Vancouver “Official Community Plan Bylaw, 2014, No. 8400”, Section 2.5 and applicable “Harry Jerome Neighbourhood Lands Development Permit Area Guidelines contained in “Zoning Bylaw, 1995, No. 6700”, Division VII, and all other applicable bylaws and guidelines of the City.
- 

**Bylaws Supplemented or Varied:**

3. None.
- 

**Special Terms and Conditions of Use:**

4. The Buildings and Structures shall be developed in accordance with the plans dated and listed on the attached Schedule B “List of Plans” and filed in the offices

of the City, approved by the Director of Planning and Development, and in compliance with the regulations and conditions listed hereunder including:

- A. The Buildings and Structures shall incorporate energy performance improvements in accordance with Section 2.2 of the Harry Jerome Neighbourhood Lands Development Permit Area Guidelines including, but not limited to: the use of energy star appliances, or better; and the use of water efficient fixtures and fittings;
  - B. Any Stormwater Management Plan presented as part of future permitting must adhere to Section 2.3 of the Harry Jerome Neighbourhood Lands Development Permit Area Guidelines and the requirements and approval of the City Engineer;
  - C. Garbage and recycling staging plan along with confirmation letter from waste management provider to be provided to the satisfaction of the City Engineer;
  - D. No significant trees or hardscaping to be located within the statutory right-of-way (Explanatory Plan EPP87495) along the northern property line;
  - E. Landscaping of the site, including fences and all hardscape elements, shall be installed by the Permit holder in accordance with the Landscape plans dated and listed on the attached Schedule B "List of Plans";
5. No variances other than those specifically set out in this permit are implied or to be construed.
  6. All plans attached to this Permit and specifications referred to above are subject to any changes required by the Building Inspector or other officials of the City where such plans and specifications do not comply with any bylaw or statute, and such non-compliance is not specifically permitted by this Development Permit. The Lands may be subject to additional regulations, restrictive covenants and agreements which may affect their use, development and amenities, if any section or lesser portion of this Development Permit is held invalid for any reason the invalid portion shall be severed from this Development Permit and the validity of the remainder of the Development Permit shall not be affected.

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### **General Terms and Conditions:**

7. Pursuant to Section 504 of the *Local Government Act*, this Permit lapses if the work authorized herein is not commenced within 2 years following issuance of this Development Permit. In the event the Owner is delayed or interrupted or prevented from commencing or continuing the construction on or about the subdivision by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the works shall be extended for a period equal to the

duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.

8. This Development Permit shall not vary the permitted uses or densities of land use in the applicable zoning bylaw nor a flood plain specification designated under 524(3) of the *Local Government Act*.
9. Nothing in this permit shall in any way relieve Land Owner/Developers obligation to ensure that the development proposal complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.
10. Nothing in this permit shall in any way relieve the Land Owner/Developers obligation to comply with all setback regulations for construction of structures or provision of on-site services pursuant to the *Health Act*, the *Fire Services Act*, the *Electrical Energy Inspection Act*, and any other provincial statutes.
11. The Permit holder acknowledges that a Building Permit and other City Permits are required. This is not a Building Permit.
12. The holder of the permit shall provide the general contractor and all professionals associated with this project with copies of this permit.
13. The Permit holder acknowledges that deviations from the approved plans will be reviewed at the discretion of the Director of Planning and Development for compliance with the "Harry Jerome Neighbourhood Lands Development Permit Area Guidelines".

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Authorized on: 2020/11/27  
Year / Month / Day

  
Michael Epp, Director, Planning and Development

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Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the lands described in this Permit are subject to Development Permit No. DPA2019-00022.

Notice filed the 27th day of November, 2020.

**THIS IS NOT A BUILDING PERMIT**

# Schedule A Location Map – 2141 Eastern Avenue



**Schedule B**  
**List of Plans – 2141 Eastern Avenue**

**Architect: BFA Studio Architects**  
CityDocs File #:1939295

<b>Sheet</b>	<b>Description</b>	<b>Date</b>
A000	Cover Sheet	July 31, 2020
A002	Context Plan	July 31, 2020
A003	Streetscape	July 31, 2020
A004	Zoning Data	July 31, 2020
A005	Area Calculation Summary	July 31, 2020
A006	Area Calculations	July 31, 2020
A007	3D View	July 31, 2020
A008	3D View	July 31, 2020
A009	3D View	July 31, 2020
A010	3D View	July 31, 2020
A011	3D View	July 31, 2020
A101	Site Plan	July 31, 2020
A201	Parking Plan	July 31, 2020
A202	Level 1 / Site Plan	July 31, 2020
A203	Level 2 Plan	July 31, 2020
A204	Level 3 Plan	July 31, 2020
A205	Level 4 Plan	July 31, 2020
A206	Level 5/6 Plan	July 31, 2020
A208	Service Room / Roof Plan	July 31, 2020
A209	Upper Roof Plan	July 31, 2020
A400	North Elevation	July 31, 2020
A401	East Elevation	July 31, 2020
A402	South Elevation	July 31, 2020
A403	West Elevation	July 31, 2020
A404	Elevation Material Images	July 31, 2020
A500	Section – A	July 31, 2020
A501	Section – B	July 31, 2020
A502	Section – C	July 31, 2020
A503	Section – D	July 31, 2020
A701	Preliminary Wall Schedule	July 31, 2020
A903	Average Grade Calculation	July 31, 2020
O01	Level 1 – Area Overlay	July 31, 2020
O02	Level 2 – Area Overlay	July 31, 2020
O03	Level 3 – Area Overlay	July 31, 2020
O04	Level 4 – Area Overlay	July 31, 2020
O05	Level 5/6 – Area Overlay	July 31, 2020
O06	Roof – Area Overlay	July 31, 2020
SA01	Shadow Analysis	July 31, 2020
SA02	Shadow Analysis	July 31, 2020

**Landscape Architect: PFS Studio**

CityDocs File #: 1996068

<b>Sheet</b>	<b>Description</b>	<b>Date</b>
L0.01	Site Plan and General Notes	October 21, 2020
L1.01	Tree Management Plan	October 21, 2020
L3.01	Materials Plan – Ground Level	October 21, 2020
L3.02	Materials Plan – Level 3+4	October 21, 2020
L3.02	Materials Plan – Level 5	October 21, 2020
L4.01	Layout Plan – Ground Level	October 21, 2020
L4.02	Layout Plan – Level 3+4	October 21, 2020
L4.03	Layout Plan – Level 5	October 21, 2020
L5.01	Grading Plan – Ground Level	October 21, 2020
L6.01	Planting Plan – Ground Level	October 21, 2020
L6.02	Planting Plan – Roof Level	October 21, 2020
L7.01	Irrigation Plan – Ground Level	October 21, 2020
L7.02	Irrigation Plan – Roof Level	October 21, 2020
L8.01	Landscape Lighting Plan	October 21, 2020
L9.01	Landscape Sections	October 21, 2020
L9.02	Landscape Sections	October 21, 2020
L9.03	Landscape Sections	October 21, 2020
L10.01	Details	October 21, 2020
L10.02	Details	October 21, 2020
L10.03	Details	October 21, 2020
L10.04	Details	October 21, 2020
L10.05	Details	October 21, 2020
L10.06	Details	October 21, 2020

# SENIORS ASSISTED & MEMORY CARE BUILDING

2141 Eastern Avenue, North Vancouver, BC



ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

600 - 355 Burrard Street  
Vancouver, BC V6C 2G8



## ARCHITECTURAL DRAWING INDEX

A000	COVER SHEET
A002	CONTEXT PLAN
A003	STREETSCAPE
A004	ZONING DATA
A005	AREA CALCULATION SUMMARY
A006	AREA CALCULATIONS
A007	3D VIEW
A008	3D VIEW
A009	3D VIEW
A010	3D VIEW
A011	3D VIEW
A101	SITE PLAN
A201	PARKING PLAN
A202	LEVEL 1/ SITE PLAN
A203	LEVEL 2 PLAN
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A206	LEVEL 5/6 PLAN
A208	SERVICE ROOM/ ROOF PLAN
A209	UPPER ROOF PLAN
A400	NORTH ELEVATION
A401	EAST ELEVATION
A402	SOUTH ELEVATION
A403	WEST ELEVATION
A404	ELEVATION MATERIAL IMAGES
A500	SECTION - A
A501	SECTION - B
A502	SECTION - C
A503	SECTION - D
A701	PRELIMINARY WALL SCHEDULE
A903	AVERAGE GRADE CALCULATION
O01	LEVEL 1 - AREA OVERLAY
O02	LEVEL 2 - AREA OVERLAY
O03	LEVEL 3 - AREA OVERLAY
O04	LEVEL 4 - AREA OVERLAY
O05	LEVEL 5/6 - AREA OVERLAY
O06	ROOF - AREA OVERLAY
SA01	SHADOW ANALYSIS
SA02	SHADOW ANALYSIS

RE-ISSUED FOR DP  
31 JULY 2020

## ABBREVIATIONS LEGEND

A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL	ENCL.	ENCLOSURE	SM	SQUARE METERS
A.B.	AIR BARRIER	NA	NOT APPLICABLE	EQ.	EQUAL	S.S.	STAINLESS STEEL
ALUM.	ALUMINIUM	N.I.C.	NOT IN CONTRACT	EXT.	EXTERIOR	STR.	STAIR
B/S	BASEMENT	N.T.S.	NOT TO SCALE	F.D.	FLOOR DRAIN	STD.	STANDARD
BD.	BOARD	O.C.	ON CENTRE	FDN	FOUNDATION	T.O.	TOP OF
B.O.S.	BOTTOM OF SLAB	OPG.	OPENING	FIN.	FINISH	T.O.C.	TOP OF CURB
B.O.W.	BOTTOM OF WALL	P-4-S	PEEL # STICK	FLR.	FLOOR	T.O.F.	TOP OF FLOOR
BLDG.	BUILDING	PLYWD.	PLYWOOD	FTG.	FOOTING	T.O.P.	TOP OF PARAPET
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED	GA.	GAUGE	T.O.W.	TOP OF WALL
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED	GL.	GLASS	T.	TREAD
CLKG.	CAULKING	P/L	PROPERTY LINE	GR.	GRADE	TYP.	TYPICAL
CLG.	CEILING	R.	RADIUS	GWB	GYP/SUM WALLBOARD	UG	UNDERGROUND
CL	CENTRE LINE	R.	RISER	H/C	HANDICAPPED	U/S	UNDERSIDE
CW	COMPLETE WITH	R.W.L.	RAIN WATER LEADER	HT.	HEIGHT	UNO	UNLESS NOTED OTHERWISE
CONC.	CONCRETE	REQD	REQUIRED	HORIZ.	HORIZONTAL	U/F	UPPER FLOOR
CONT.	CONTINUOUS	REV.	REVISION	H.B.	HOSE BIB	V.B.	VAPOUR BARRIER
CJ	CONTROL JOINT	R # S	ROOF # SHELF	HR.	HOUR	VERT.	VERTICAL
CORR.	CORRIDOR	RM.	ROOM	HWH	HOT WATER HEATER	W.C.	WATER CLOSET (TOILET)
DIA.	DIAMETER	R.D.	ROOF DRAIN	LN.	LINE	W/D	WASHER DRYER
DN	DOWN	R.O.	ROUGH OPENING	MAX.	MAXIMUM	WD.	WOOD
DWGS	DRAWINGS	STL.	STEEL	MECH.	MECHANICAL	W.I.C.	WALK-IN CLOSET
DW	DISHWASHER	STRUCT.	STRUCTURAL	MEZZ.	MEZZANINE	W.	WITH
ELECT.	ELECTRICAL	SPEC	SPECIFICATION	MIN.	MINIMUM	W.P.	WATERPROOF
ELEV	ELEVATION	SF	SQUARE FEET	MISC.	MISCELLANEOUS	WR	WASHROOM

## PROJECT / CONSULTANT TEAM

<b>OWNER/ OPERATOR</b> SUNRISE SENIOR LIVING 7902 WESTPARK DR. MCLEAN, VIRGINIA TEL: 703.744.1830	<b>ARCHITECT</b> BFA STUDIO ARCHITECTS #600-355 BURRARD ST. VANCOUVER, BC TEL: 604.662.8544	<b>DEVELOPMENT PLANNING AND PUBLIC ENGAGEMENT</b> CHUCK BROOK REAL ESTATE ADVISOR 7902 WESTPARK DR. VANCOUVER, BC TEL: 604.282.6085	<b>DEVELOPMENT PLANNING AND PUBLIC ENGAGEMENT</b> SCHMIDT & ASSOCIATED DEVELOPMENT PLANNING LTD #1400-1168 ALBERNI ST. VANCOUVER, BC TEL: 778.773.3448	<b>LAND SURVEYOR</b> BENNETT LAND SURVEYING LTD #201-275 FELL AVE. NORTH VANCOUVER, BC TEL: 604.980.4868	<b>GEOTECHNICAL ENGINEER</b> GEOPACIFIC 1779 WEST 75TH AVENUE VANCOUVER, BC TEL: 604.439.0922	<b>MEP CONSULTANT</b> GPI 8001 BRADDOCK ROAD, SPRINGFIELD, VA 22151 TEL: 703.764.7011	<b>LANDSCAPE ARCHITECT</b> PFS STUDIO 1777 W 3RD AVE. VANCOUVER, BC TEL: 604.736.5168	<b>CIVIL ENGINEERING</b> BINNIE #300-4940 CANADA WAY BURNABY, BC TEL: 604.420.1721
<b>STRUCTURAL ENGINEERING</b> READ JONES CHRISTOFFERSEN ENGINEERS #300-1285 W BROADWAY VANCOUVER, BC TEL: 604.738.0048	<b>MECHANICAL ENGINEERING</b> SMITH + ANDERSEN #338-6450 ROBERTS ST. BURNABY, BC TEL: 604.294.8414	<b>ELECTRICAL ENGINEERING</b> SMITH + ANDERSEN #338-6450 ROBERTS ST. BURNABY, BC TEL: 604.294.8414	<b>ENERGY MODELING</b> FOOTPRINT - SMITH + ANDERSEN #338-6450 ROBERTS ST. BURNABY, BC TEL: 604.294.8414	<b>BUILDING ENVELOPE</b> JRS ENGINEERING LTD. #300-4595 CANADA WAY BURNABY, BC TEL: 604.320.1999	<b>BUILDING CODE CONSULTANT</b> THORSON CONSULTING CERTIFIED PROFESSIONALS 2015 MAIN STREET VANCOUVER, BC TEL: 604.442.1999	<b>LOW VOLTAGE CONSULTANT</b> TAZERGY #200-7853 HICKORY FLAT HWY WOODSTOCK, GA TEL: 404.829.3749	<b>COMMERCIAL KITCHEN</b> TRICON FOODSERVICE CONSULTANTS INC #325-344 MAPLE AVE. WEST VIENNA, VA TEL: 703.709.7411	<b>TRAFFIC CONSULTANT</b> BUNT & ASSOCIATES ENGINEERING LTD. SUITE 1550-1050 WEST PENDER STREET VANCOUVER, BC TEL: 604.685.6427



TRANS-CANADA HWY

E 24TH ST.

E 23RD ST.

E 22ND ST.

E 21ST ST.

LONSDALE AVENUE

EASTERN AVENUE

ST. GEORGES AVENUE

ST. ANDREWS AVENUE

CENTENNIAL THEATRE

GORDON SMITH GALLERY OF CANADIAN ART

PROPOSED M3 BUILDING

M4

NOTE: FOR REFERENCE ONLY

**bfa** studio architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN  
 600 - 355 Burrard Street Vancouver, BC V6C 2G8  
 T 604 662 8544 F 604 662 4060  
 www.besharatfratians.com info@besharatfratians.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

CONTEXT PLAN

SEAL

This document has been digitally certified with digital certificates and encryption technology authorized by the Architectural Institute of BC and the Engineers and Geoscientists BC. The authorized original has been transmitted to you in digital form. Any printed version can be identified as a true copy of the original when scanned by the architect's licensed printer of the authorized seal and digital certificate, or when printed from the digitally certified electronic file provided by the architect.

DRAWING NO.

REVISION

**A002**

DATE	DRAWN
02-12-2019	Author
SCALE	CHECKED
1/64" = 1'-0"	Checker

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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STREETSCAPE- WEST OF EASTERN AVENUE

22nd STREET EAST



STREETSCAPE- EAST OF EASTERN AVENUE

21st STREET EAST

CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED &  
MEMORY CARE BUILDING  
2141 Eastern Avenue, North  
Vancouver, BC

DRAWING TITLE

STREETSCAPE

SEAL

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DRAWING NO. REVISION

**A003**

DATE	DRAWN
02-12-2019	Author
SCALE	CHECKED
	Checker

PROJECT INFORMATION / ZONING DATA									
PROJECT DESCRIPTION / USE	6 STOREY SENIORS ASSISTED & MEMORY CARE BUILDING AMENITIES, 100 SENIORS SUITES AND ONE LEVEL OF UNDERGROUND PARKING								
LEGAL DESCRIPTION									
CIVIC ADDRESS - PRESENT	2160 LONSDALE AVENUE, NORTH VANCOUVER, BC								
CIVIC ADDRESS - FUTURE	2141 EASTERN AVENUE, NORTH VANCOUVER, BC								
TOTAL LOT AREA	28,725	SF	2,668.6	SM					
LOT SIZE (APPROXIMATE FRONTAGE)			FT	M					
	NORTH / PARK		143.95	43.9					
	EAST / EASTERN AVENUE		199.57	60.8					
	SOUTH		143.95	43.9					
	WEST / PARK		199.53	60.8					
OCP / AREA DESIGN GUIDELINES	HARRY JEROME DEVELOPMENT AREA GUIDELINES								
ZONING & DEVELOPMENT PERMIT	CD 703, DP APPLICATION								
PROPOSED NUMBER OF CARE ROOMS	100								
			REQUIRED / ALLOWED		PROPOSED			NOTES	
			SF	SM		SF	SM		
DENSITY / GROSS BUILDING AREA		NA	NA	NA	2.86	82,019	7620		REFER TO DETAILED CALCULATIONS ON A003
SITE COVERAGE					65.1%				
HEIGHT BUILDING	76.44	FT	23.3	M	73.56	FT	22.4	M	
MECHANICAL ROOMS, ELEVATOR, SCREENING, APPARTUNANCES	21	FT	6.4	M	7.66	FT	2.33	M	
NUMBER OF STOREY		6			6				6 STOREY EXCLUDING ROOFTOP LEVEL
SETBACKS									
	NORTH / PARK	0.00	FT	0.0	M	9.6	FT	2.9	M
	EAST / EASTERN AVENUE	19.69	FT	6.0	M	21.4	FT	6.5	M
	SOUTH / M4	0.00	FT	0.0	M	7.6	FT	2.3	M
	WEST / PARK	6.56	FT	2.0	M	10.6	FT	3.2	M
OFF-STREET PARKING	40	STALLS			40	STALLS			REFER TO TRAFFIC STUDY PREPARED BY BUNT & ASSOCIATES
LOADING / UNLOADING	1	STALLS			1	STALL			
BICYCLE STORAGE	7	SHORT TERM		23	SECURED	7			
BICYCLE STORAGE & END OF TRIP (E.O.T) FACILITY									REFER TO BUNT & ASSOCIATES REPORT
GARBAGE / RECYCLING / STORAGE			523	49		523.8	49		
NOTES:	<p>1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. &amp; MAY BE ADJUSTED DURING WORKING DRAWINGS</p> <p>2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF NORTH VANCOUVER BYLAWS</p> <p>3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC</p>								

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

ZONING DATA

SEAL

DRAWING NO.

REVISION

**A004**

DATE

02-12-2019

SCALE

1/8" = 1'-0"

DRAWN

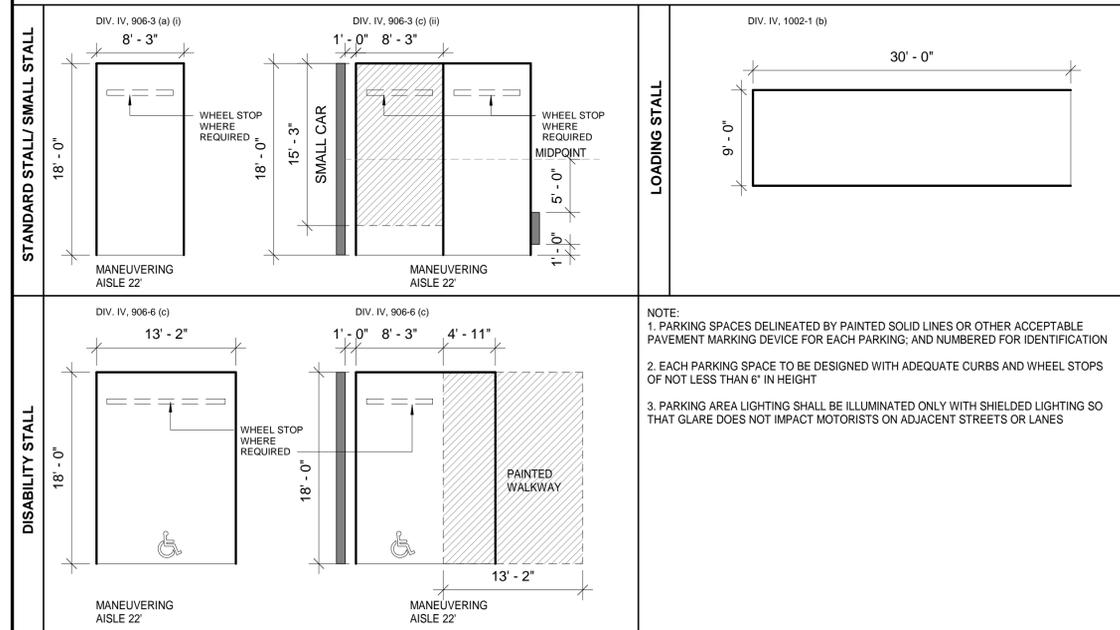
Author

CHECKED

Checker

**PARKING STALL DIMENSIONS**

FOR DETAILED INFORMATION, REFER TO CITY OF NORTH VANCOUVER ZONING BYLAW, DIVISION IV: PARKING AND LOADING STANDARDS



NO.	DESCRIPTION	DATE
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CLIENT



PROJECT NO. 19447

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

AREA CALCULATION SUMMARY

SCALE

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DRAWING NO. REVISION

A005

DATE 02-12-2019 DRAWN Author  
SCALE 3/64" = 1'-0" CHECKED  
3/64" = 1'-0" Checker

TOTAL AREA - ROOF

EXCLUDED AREA	120.71 SF
EXCLUDED - SERVICE ROOM	424.25 SF
WALL EXCLUSION BEYOND 6.5"	62.56 SF
INCLUDED	154.13 SF
	154.13 SF
	761.66 SF

TOTAL AREA - LEVEL 5 & 6

EXCLUDED - GREEN BUILDING SYSTEM	6.38 SF
EXCLUDED - GREEN BUILDING SYSTEM	5.75 SF
EXCLUDED - GREEN BUILDING SYSTEM	13.75 SF
	25.88 SF
EXCLUDED - COMMON LAUNDRY	87.70 SF
	87.70 SF
EXCLUDED - VISIBLE STAIR	310.10 SF
	310.10 SF
WALL EXCLUSION BEYOND 6.5"	247.68 SF
	247.68 SF
INCLUDED	3064.32 SF
	3064.32 SF
INCLUDED - AMENITY	145.45 SF
	145.45 SF
INCLUDED - RESIDENTIAL UNITS	9595.88 SF
	9595.88 SF
	13477.01 SF

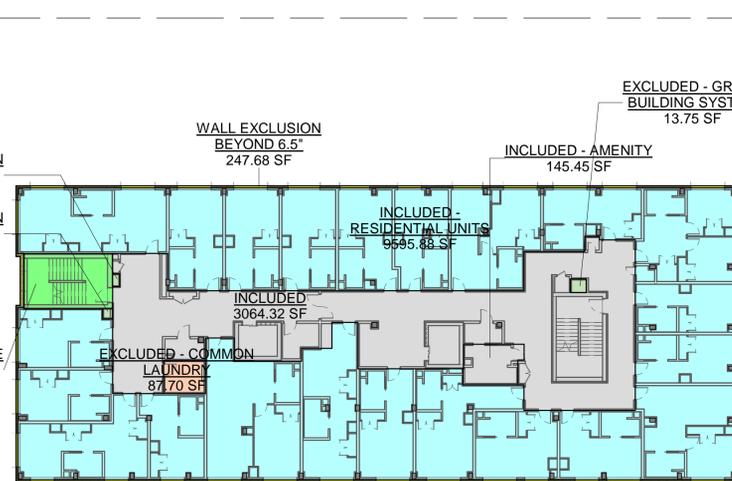
TOTAL AREA - LEVEL 4

EXCLUDED - GREEN BUILDING SYSTEM	6.33 SF
EXCLUDED - GREEN BUILDING SYSTEM	5.53 SF
EXCLUDED - GREEN BUILDING SYSTEM	13.75 SF
	25.61 SF
EXCLUDED - COMMON LAUNDRY	136.07 SF
	136.07 SF
EXCLUDED - TERRACE/PORCH	1262.80 SF
	1262.80 SF
EXCLUDED - VISIBLE STAIR	311.49 SF
	311.49 SF
WALL EXCLUSION BEYOND 6.5"	344.60 SF
	344.60 SF
INCLUDED	4408.27 SF
	4408.27 SF
INCLUDED - AMENITY	152.77 SF
INCLUDED - AMENITY	3140.09 SF
	3292.86 SF
INCLUDED - RESIDENTIAL UNITS	1801.44 SF
INCLUDED - RESIDENTIAL UNITS	5863.07 SF
	7664.51 SF
	17446.22 SF

TOTAL AREA - LEVEL 3

WALL EXCLUSION BEYOND 6.5"	337.53 SF
	337.53 SF
INCLUDED	4573.42 SF
	4573.42 SF
INCLUDED - AMENITY	152.77 SF
INCLUDED - AMENITY	2974.95 SF
	3127.72 SF
INCLUDED - RESIDENTIAL UNITS	1801.44 SF
INCLUDED - RESIDENTIAL UNITS	5863.07 SF
	7664.51 SF
	17923.03 SF

ROOF



LEVEL 5/6



LEVEL 4



TOTAL AREA - LEVEL 3

EXCLUDED - GREEN BUILDING SYSTEM	6.33 SF
EXCLUDED - GREEN BUILDING SYSTEM	5.53 SF
EXCLUDED - GREEN BUILDING SYSTEM	13.75 SF
	25.61 SF
EXCLUDED - COMMON LAUNDRY	136.07 SF
	136.07 SF
EXCLUDED - TERRACE/PORCH	1746.66 SF
	1746.66 SF
EXCLUDED - VISIBLE STAIR	311.50 SF
	311.50 SF

TOTAL AREA - LEVEL 2

INCLUDED	4831.61 SF
INCLUDED - AMENITY	356.21 SF
	5187.82 SF
INCLUDED - RESIDENTIAL UNITS	1489.56 SF
INCLUDED - RESIDENTIAL UNITS	8430.57 SF
	9920.13 SF
	17911.26 SF
EXCLUDED - VISIBLE STAIR	310.10 SF

TOTAL AREA - LEVEL 1

EXCLUDED - VISIBLE STAIR	156.30 SF
EXCLUDED - VISIBLE STAIR	144.42 SF
	300.73 SF
WALL EXCLUSION BEYOND 6.5"	493.56 SF
	493.56 SF
INCLUDED	149.42 SF
INCLUDED	6099.63 SF
INCLUDED	245.45 SF
INCLUDED	301.17 SF
	6795.67 SF
	17515.19 SF

TOTAL AREA - LEVEL 1

EXCLUDED - ENTRY LOBBY	3114.69 SF
	3114.69 SF
EXCLUDED - TERRACE/PORCH	434.46 SF
EXCLUDED - TERRACE/PORCH	1257.17 SF
	1691.62 SF

TOTAL AREA - LEVEL 3

EXCLUDED - GREEN BUILDING SYSTEM	6.33 SF
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	25.61 SF
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EXCLUDED - TERRACE/PORCH	1746.66 SF
	1746.66 SF
EXCLUDED - VISIBLE STAIR	311.50 SF
	311.50 SF

TOTAL AREA - LEVEL 2

EXCLUDED - COMMON LAUNDRY	87.98 SF
	87.98 SF
EXCLUDED - LOBBY	1362.22 SF
	1362.22 SF
EXCLUDED - OPEN TO BELOW AMENITY	534.19 SF
	534.19 SF
EXCLUDED - VISIBLE STAIR	167.31 SF
EXCLUDED - VISIBLE STAIR	307.45 SF
	474.76 SF
WALL EXCLUSION BEYOND 6.5"	344.15 SF
	344.15 SF

TOTAL AREA - LEVEL 1

AMENITY	1967.69 SF
AMENITY	2050.23 SF
AMENITY	561.11 SF
AMENITY	539.90 SF
	5118.92 SF
<b>AMENITIES EXCLUSION CALCULATION</b>	
TOTAL LEVEL 1 AMENITY AREA:	5,119 SF
MAX 5% OF TOTAL GROSS AREA (EXCLUSION):	4,101 SF
AMENITY AREA INCLUDED:	1,018 SF

TOTAL AREA - LEVEL 1

EXCLUDED - ENTRY LOBBY	3114.69 SF
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EXCLUDED - TERRACE/PORCH	

AREA CALCULATIONS SUMMARY / SF																								
A	B	C	D=BxC																			NOTES		
LEVEL	NUMBER OF FLOORS	UNIT COUNT	UNIT COUNT SUB TOTAL	PARKING / LOADING / MECHANICAL LEVEL (SF)	AMENITY/ LOBBY/ COMMON AREAS (SF)	NET RESIDENTIAL CARE UNITS (SF)	CIRCULATORS /ELEVATORS/ STAIR/ LAUNDRY RMM&E CLOSETS (SF)	BALCONIES/ PORCHES/ SUN DECKS OPEN (SF)	TOTAL AREA / FLOOR (SF) EXCLUDING BALCONIES & PORCHES	TOTAL AREA / FLOOR (SM)	BEYOND 6.5 INCHES MAX. 12 INCHES EXTERIOR WALL THICKNESS [1] (SF)	COMMON LAUNDRY AREA [3] (SF)	PENTHOUSE SERVICE ROOMS [7] (SF)	GREATER THAN 0.1 FSR OR 10% GROSS AREA LOBBY [12] (SF)	MAX. 5% TOTAL GROSS AREA AMENITIES AREA [15] (SF)	MAX. 1% GROSS AREA FOR NATURAL VENTILATION AREA [16] (SF)	GREEN BLDG MAX. 15 SF HRV PER UNIT AREA [17]a (SF)	GREEN BLDG MECHANICAL RM AREA [17]b (SF)	VISIBLE STAIRWAY AT ENTRY AREA [18]a (SF)	POTENTIAL 15.1 FEET OPEN TO BELOW AREA [22]b -UPPER LOBBY (SF)	CRAWL SPACE OF HEIGHT 1.22M (4 FEET) OR LESS [4] (SF)	TOTAL EXCLUSIONS (SF)	TOTAL GROSS (SF)	TOTAL GROSS (\$M)
LEVEL 1/STREET/MAIN LEVEL	1	0	0	0	8,727	0	7,096	1,692	15,824	1,470	494	0	0	3,115	4,101	0	0	0	301	0	0	8,010	7,814	726
LEVEL 2	1	22	22	0	2,241	9,920	5,751	0	17,911	1,664	344	88	0	1362	0	0	330	0	475	534	0	3,133	14,778	1,373
LEVEL 3	1	17	17	0	3,465	7,865	5,047	1,747	16,176	1,503	338	136	0	0	0	0	255	26	312	0	0	1,066	15,111	1,404
LEVEL 4	1	17	17	0	3,637	7,665	4,881	1,263	16,183	1,503	345	136	0	0	0	0	255	26	312	0	0	1,073	15,111	1,404
LEVEL 5	1	22	22	0	393	9,596	3,488	0	13,477	1,252	248	88	0	0	0	0	330	26	310	0	0	1,001	12,476	1,159
LEVEL 6	1	22	22	0	393	9,596	3,488	0	13,477	1,252	248	88	0	0	0	0	330	26	310	0	0	1,001	12,476	1,159
ROOFTOP / L 7	1	0	0	0	0	0	762	0	762	71	63	0	424	0	0	0	0	0	0	0	121	608	154	14
TOTAL			100	0	18,857	44,441	30,513	4,701	93,810	8,715	2,078	536	424	4,477	0	0	1,500	103	2,019	534	121	11,791	82,019	7,239
SITE AREA:			28,726	SF																				
TOTAL GROSS:			82,019	SF	2.86																			
PARKING/P1					22454.00																			
MAXIMUM			82,044	SF																				
DIFFERENCE			-25	SF																				

OFF STREET PARKING SUMMARY					
	RATE/REQUIRED/BYLAW	RATE/ PROVIDED	NOTES		
RESIDENTIAL CARE UNITS	0.30	30	0.29	29	
STAFF					
RESIDENTIAL CARE-VISITORS	0.10	10	0.10	10	
				39	
ON-GRADE EASTERN AVENUE STALL				1	
TOTAL		40		40	
VISITOR				10	INCLUDING 1 DISABILITY & 2 SMALL CAR
DISABILITY STANDARD				3	
SMALL - MAXIMUM 35%		14		6	
ON-GRADE STANDARD				1	PROVIDED ON EASTERN AVENUE
TOTAL		40		40	

OFF STREET BICYCLE PARKING SUMMARY					
	SHORT TERM		SECURE		NOTES
BUILDING	AREA	REQUIRED/BYLAW SUPPLY	PROVIDED	REQUIRED/BYLAW	PROVIDED
TOTAL		6 PER 1,000 SM	7	7	40 EMPLOYEES
			7	7	0
					23
					0
					23

NOTES:

- ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS
- VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF NORTH VANCOUVER BYLAWS
- VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC 2018
- WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES

ROOM/TYPED TYPOLGY SUMMARY											
ROOM TYPE	AREA (SF)	LEVEL						BLDG SUB-TOTAL	SUB-TOTAL	%	NOTES
		1	2	3	4	5	6				
<b>SINGLE</b>											
A1	476		1	1	1				3		
A2	327		5	3	3				11		
A3	340		1	1	1				3		
A4	390		1	1	1				3		
A5	398		1	1	1				3		
A6	408			1	1				2		
A7	341			1	1				2		
A8	361					3	3		6		
A9	364					1	1		2		
A10	355					1	1		2		
A11	336					1	1		2		
A12	321					2	2		4		
A13	365					2	2		4		
A14	470					1	1		2		
A15	387					1	1		2		
A16	318					1	1		2		
A17	313					1	1		2		
A18	360					1	1		2		
<b>SUB-TOTAL</b>		<b>0</b>	<b>9</b>	<b>9</b>	<b>9</b>	<b>15</b>	<b>15</b>	<b>57</b>	<b>57</b>	<b>57.0%</b>	
<b>DOUBLE</b>											
B1	519		1	1	1				3		
B2	491		1	1	1				3		
B3	575		1	1	1				3		
B4	521		1						1		
B5	554			1	1				2		
B6	550					1	1		2		
B7	585					1	1		2		
B8	579					1	1		2		
B9	762					1	1		2		
<b>SUB-TOTAL</b>		<b>0</b>	<b>4</b>	<b>4</b>	<b>4</b>	<b>4</b>	<b>4</b>	<b>20</b>	<b>20</b>	<b>20.0%</b>	
<b>DENVER</b>											
C1	518		1	1	1				3		
C2	530		1						1		
C3	459		4	1	1				6		
C4	487		1						1		
C5	532		1	1	1				3		
C6	473		1						1		
C7	506			1	1				2		
C8	623					1	1		2		
C9	467					1	1		2		
C10	534					1	1		2		
<b>SUB-TOTAL</b>		<b>0</b>	<b>9</b>	<b>4</b>	<b>4</b>	<b>3</b>	<b>3</b>	<b>23</b>	<b>23</b>	<b>23.0%</b>	
<b>TOTAL</b>		<b>0</b>	<b>22</b>	<b>17</b>	<b>17</b>	<b>22</b>	<b>22</b>	<b>100</b>	<b>100</b>	<b>100%</b>	

NOTE: ALL UNIT AREA CALCULATIONS ARE APPROXIMATE.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

AREA CALCULATIONS

SEAL

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DRAWING NO. REVISION

A006

DATE DRAWN

02-12-2019 Author

SCALE CHECKED

Checker



NORTHEAST VIEW FROM EASTERN AVENUE



MAIN ENTRY CANOPY



NOTE: 3D VIEWS ARE FOR REFERENCE ONLY

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

3D VIEW

SEAL

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DRAWING NO.

REVISION

**A007**

DATE

02-12-2019

DRAWN

Author

SCALE

CHECKED

Checker



**NORTHWEST VIEW FROM PUBLIC PARK**



**PARTIAL VIEW OF DINING TERRACE**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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**CLIENT**



**PROJECT NO.**

19447

**PROJECT**

**SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

**DRAWING TITLE**

3D VIEW

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**DRAWING NO.** **REVISION**

**A008**

DATE	DRAWN
02-12-2019	Author
SCALE	CHECKED
	Checker

**NOTE: 3D VIEWS ARE FOR REFERENCE ONLY**



SOUTHEAST VIEW FROM EASTERN AVENUE

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED &  
MEMORY CARE BUILDING  
2141 Eastern Avenue, North  
Vancouver, BC

DRAWING TITLE

3D VIEW

SEAL

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DRAWING NO. REVISION

**A009**

DATE 02-12-2019 DRAWN Author  
SCALE CHECKED Checker

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**SOUTHWEST VIEW FROM PUBLIC PARK**



**VIEW FROM LEVEL 3 TERRACE**

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
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3	ISSUED FOR ADP	2020-03-18
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CLIENT



PROJECT NO. 19447

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

3D VIEW

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**A010**

DATE	DRAWN
02-12-2019	Author
SCALE	CHECKED
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AERIAL VIEW



HARRY JEROME NEIGHBOURHOOD LANDS MASTER PLAN

NOTE: 3D VIEWS ARE FOR REFERENCE ONLY

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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

3D VIEW

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REVISION

**A011**

DATE

18-03-2020

DRAWN

Author

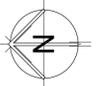
SCALE

CHECKED

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NO.	DESCRIPTION	DATE
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PROJECT NO.

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PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

PARKING PLAN

SCALE

DRAWING NO.

REVISION

**A201**

DATE

02-12-2019

DRAWN

AZ

SCALE

1/8" = 1'-0"

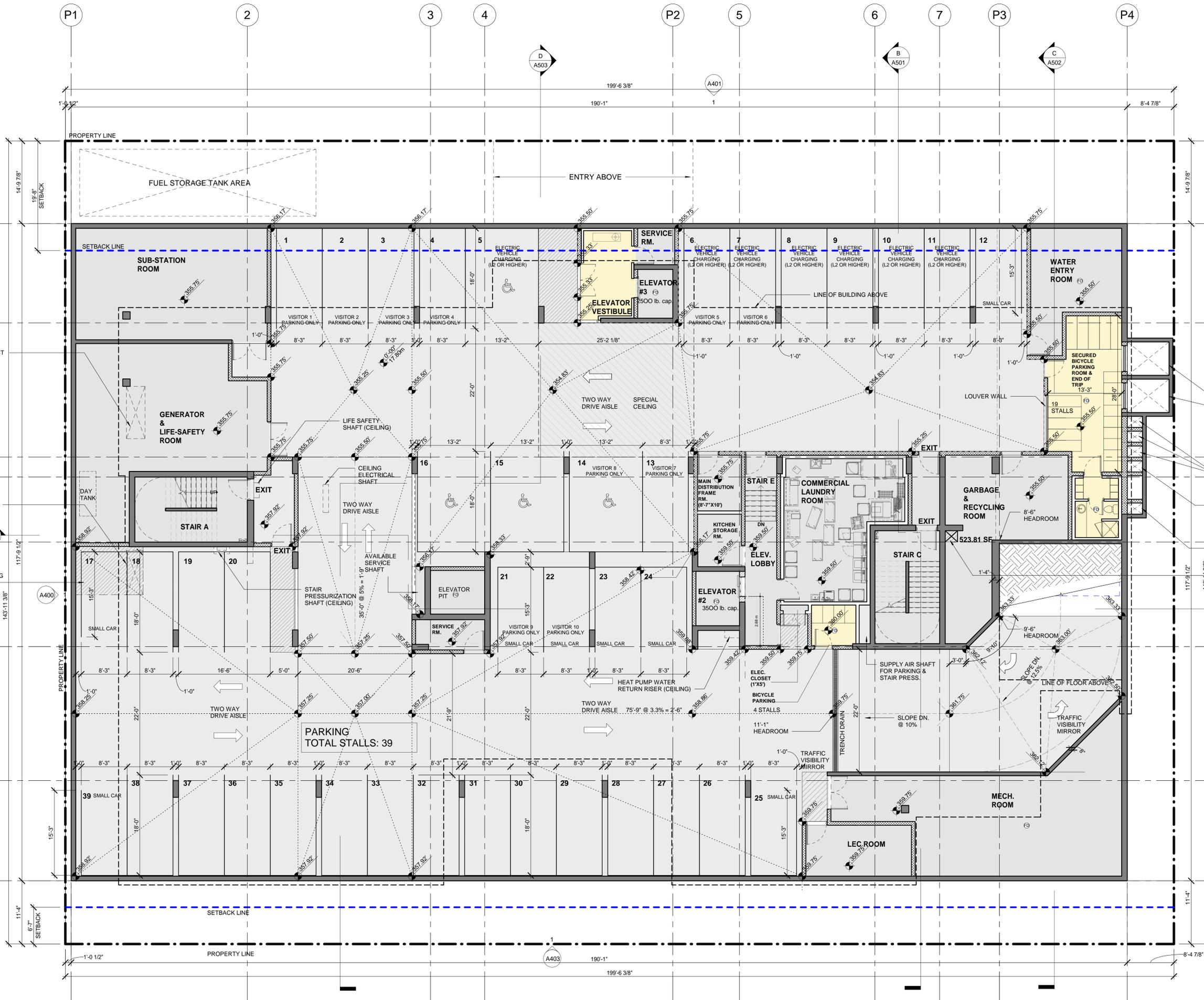
CHECKED

HB

NOTE: WIRE CONNECTION PROVIDED FOR PROVISION OF FUTURE INSTALLATION OF ELECTRIC CHARGER FOR ALL PARKING STALLS

**GENERAL NOTES**

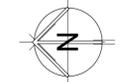
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CLIENT: 19447  
PROJECT: SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

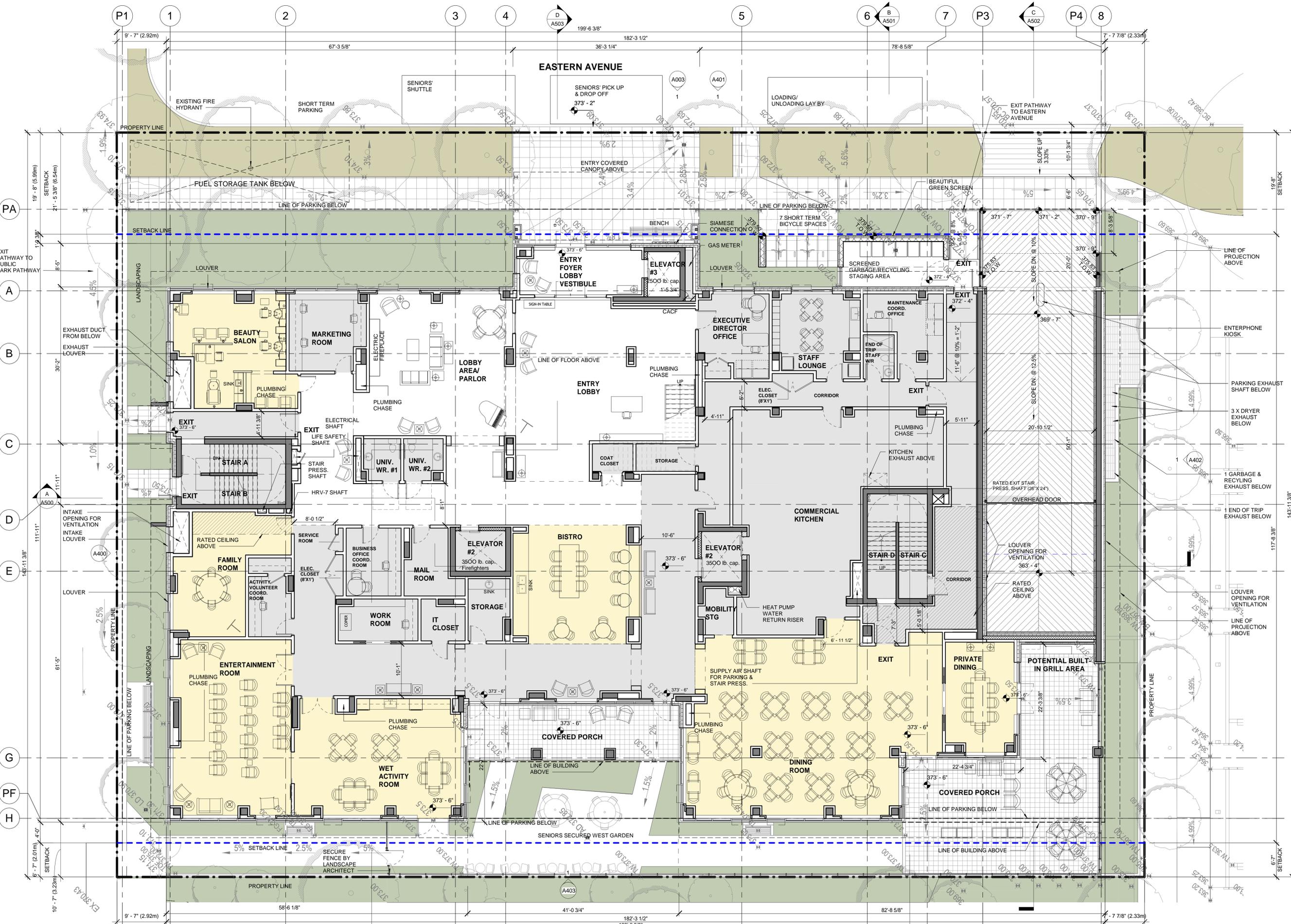
LEVEL 1/ SITE PLAN

SEAL

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**A202**

DATE: 02-12-2019  
SCALE: 1/8" = 1'-0"  
DRAWN: AZ  
CHECKED: HB

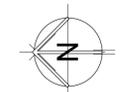


NOTE: NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.

- GENERAL NOTES**
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
  - REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION
  - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS

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CLIENT  
**SUNRISE SENIOR LIVING**

PROJECT NO. 19447

PROJECT **SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE  
**LEVEL 2 PLAN**

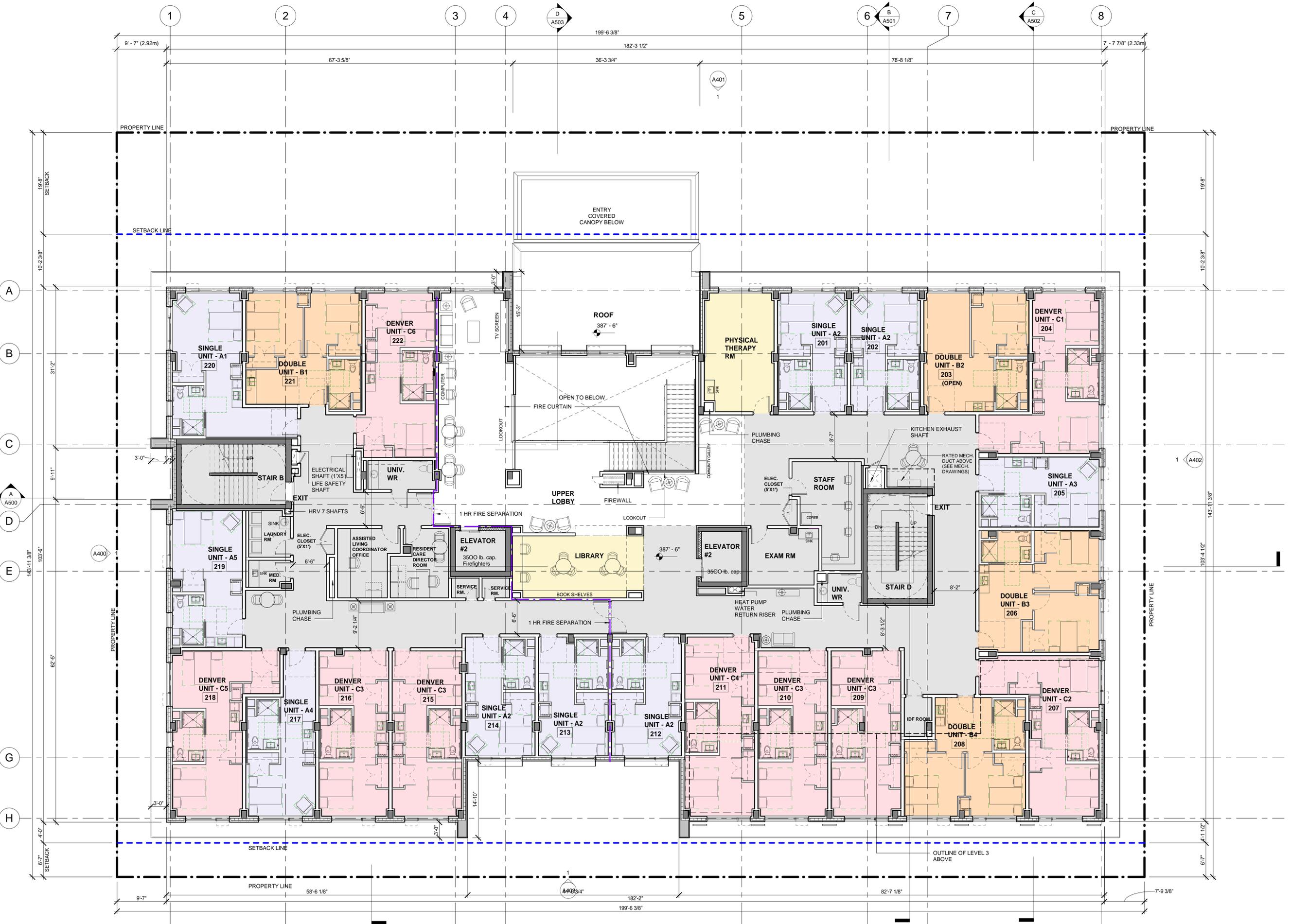
SCALE

DRAWING NO. REVISION

**A203**

DATE 02-12-2019 DRAWN AZ  
SCALE 1/8" = 1'-0" CHECKED HB

**GENERAL NOTES**  
1. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS



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CLIENT  
**SUNRISE SENIOR LIVING**

PROJECT NO. 19447

PROJECT **SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE  
**LEVEL 3 PLAN**

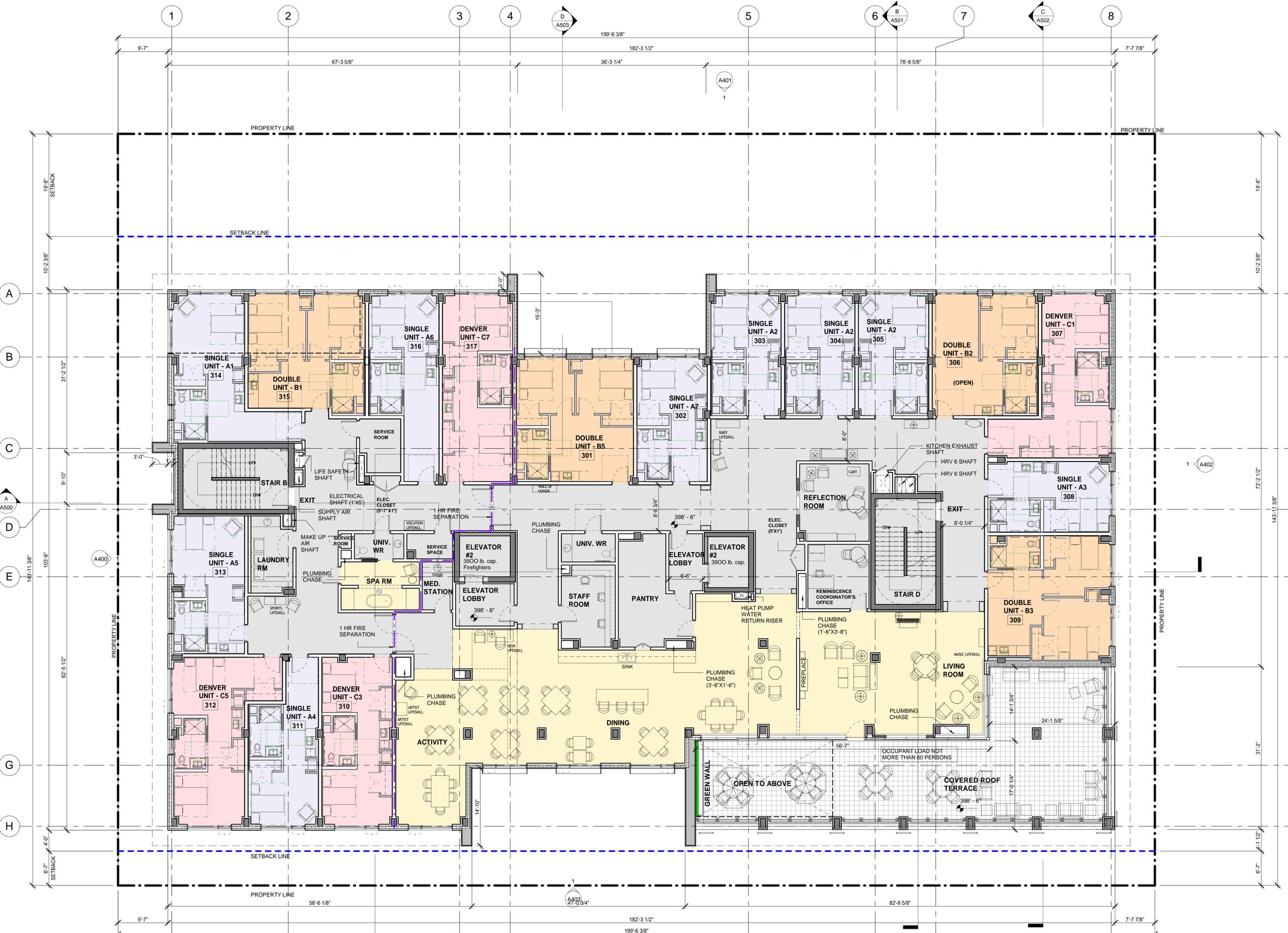
SEAL

DRAWING NO. REVISION

**A204**

DATE 02-12-2019 DRAWN AZ  
SCALE 1/8" = 1'-0" CHECKED HB

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2. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS



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CLIENT



PROJECT NO.

19447

PROJECT

**SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

**LEVEL 4 PLAN**

SEAL

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REVISION

**A205**

DATE

02-12-2019

DRAWN

AZ

SCALE

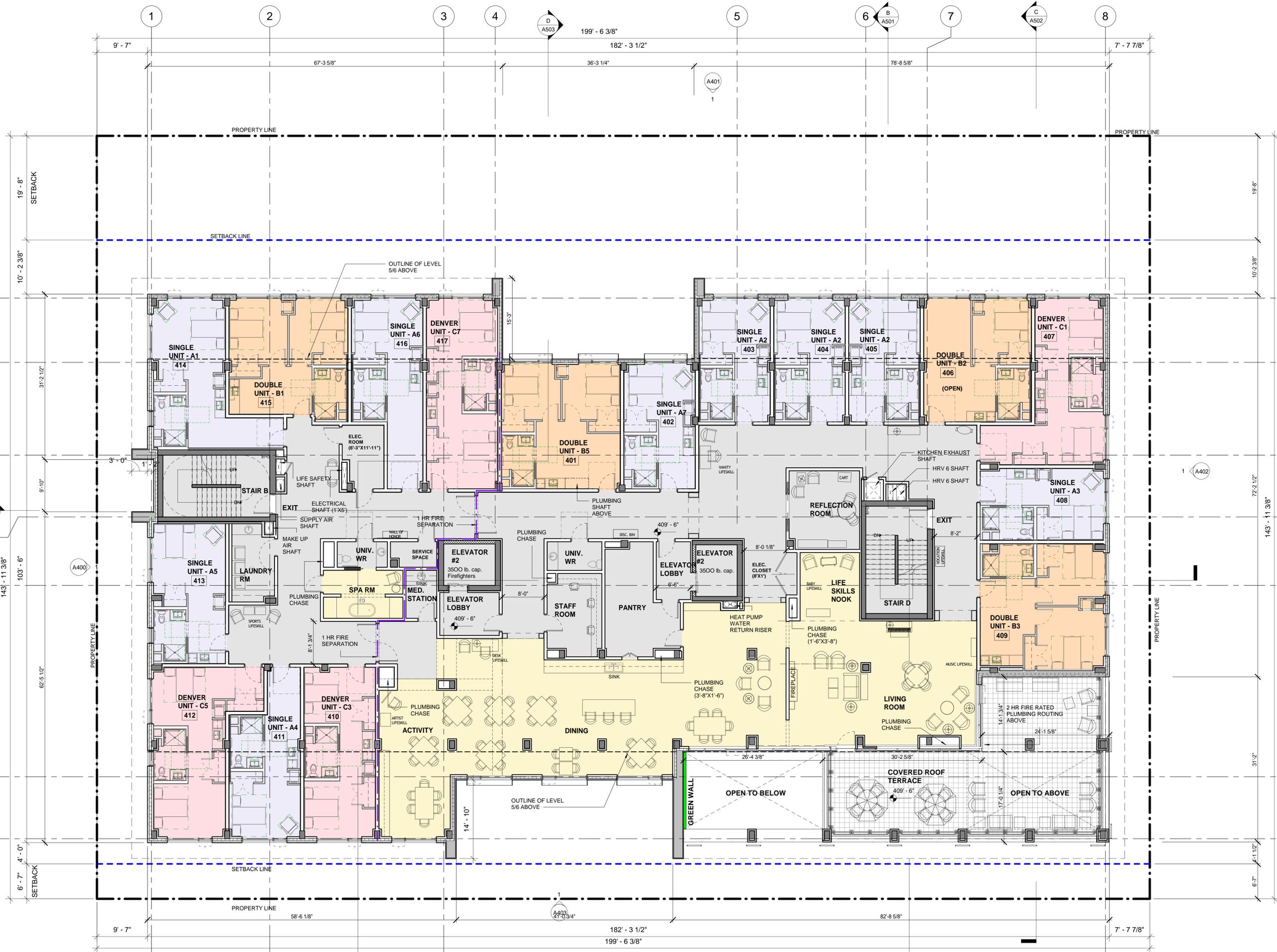
1/8" = 1'-0"

CHECKED

HB

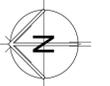
**GENERAL NOTES**

- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS



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SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

LEVEL 5/6 PLAN

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REVISION

**A206**

DATE

02-12-2019

DRAWN

AZ

SCALE

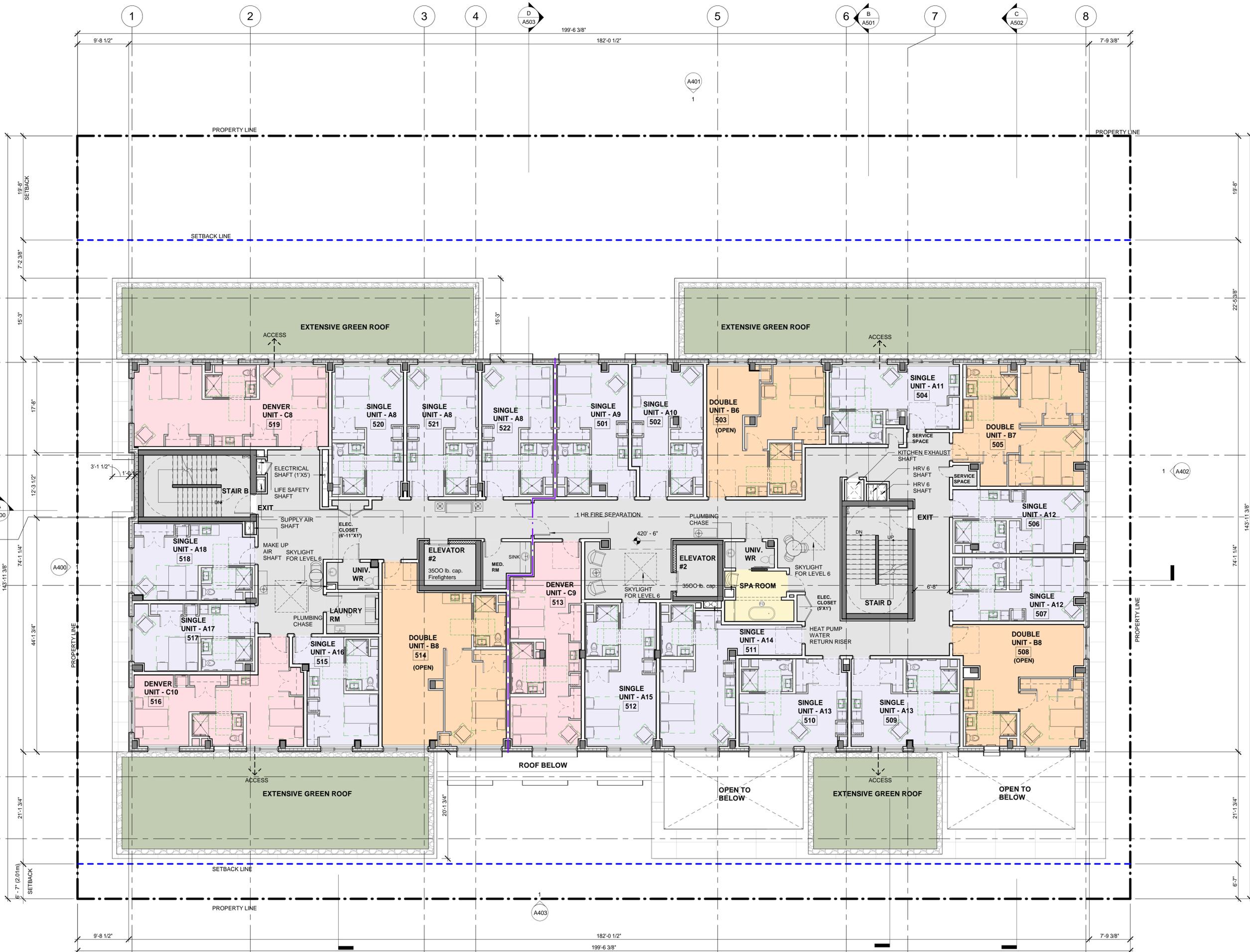
1/8" = 1'-0"

CHECKED

HB

**GENERAL NOTES**

- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS



1. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN  
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CLIENT



PROJECT NO.

19447

PROJECT

**SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

**SERVICE ROOM/ ROOF PLAN**

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REVISION

**A208**

DATE  
02-12-2019

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AZ

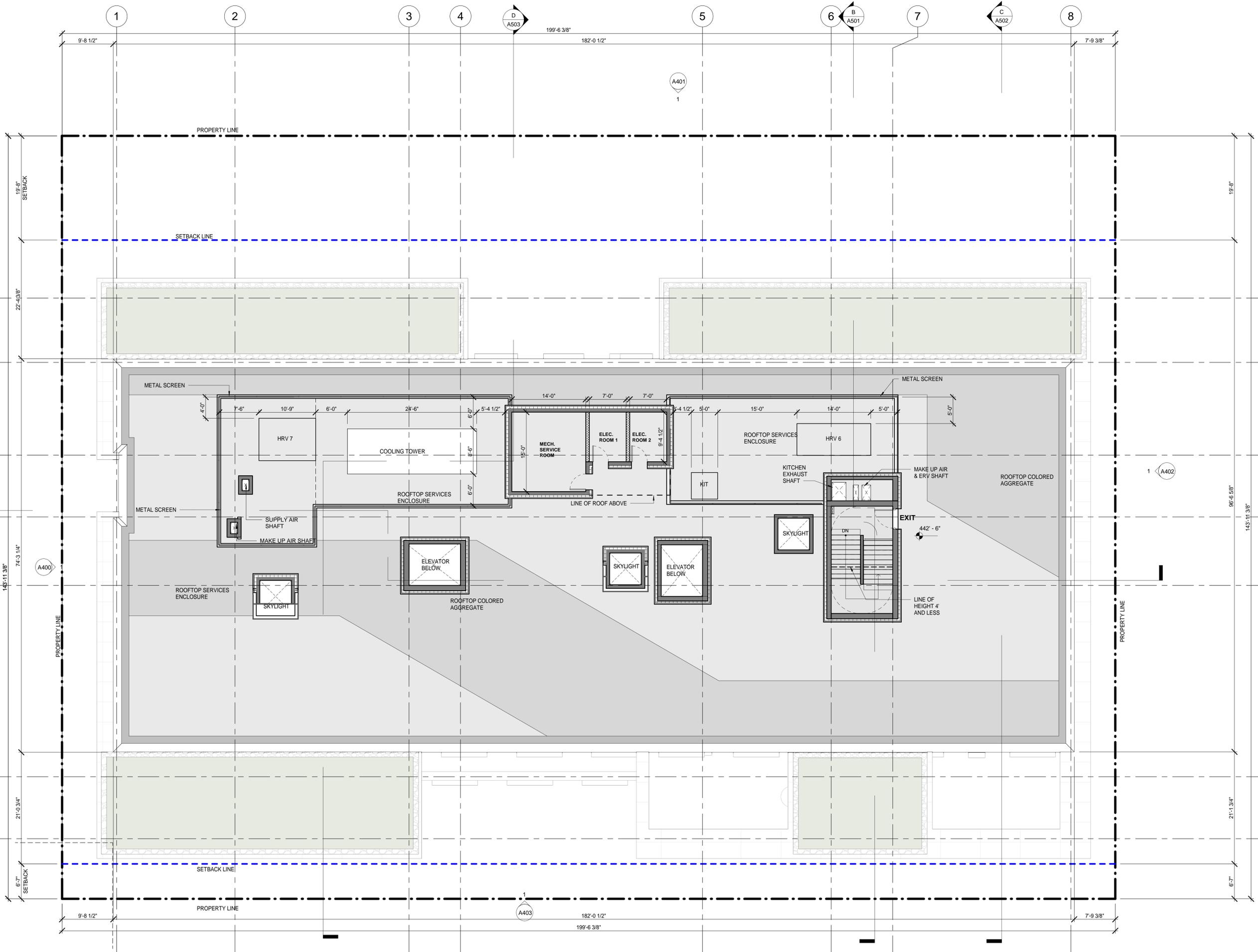
SCALE  
1/8" = 1'-0"

CHECKED  
HB

**NOTE: MECHANICAL AND ELECTRICAL EQUIPMENT & SCREEN WILL BE ADJUSTED DURING WORKING DRAWING**

**GENERAL NOTES**

- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS



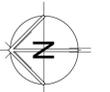
1  
A403

1  
A401

1  
A402

NO.	DESCRIPTION	DATE
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CLIENT



PROJECT NO. 19447

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

UPPER ROOF PLAN

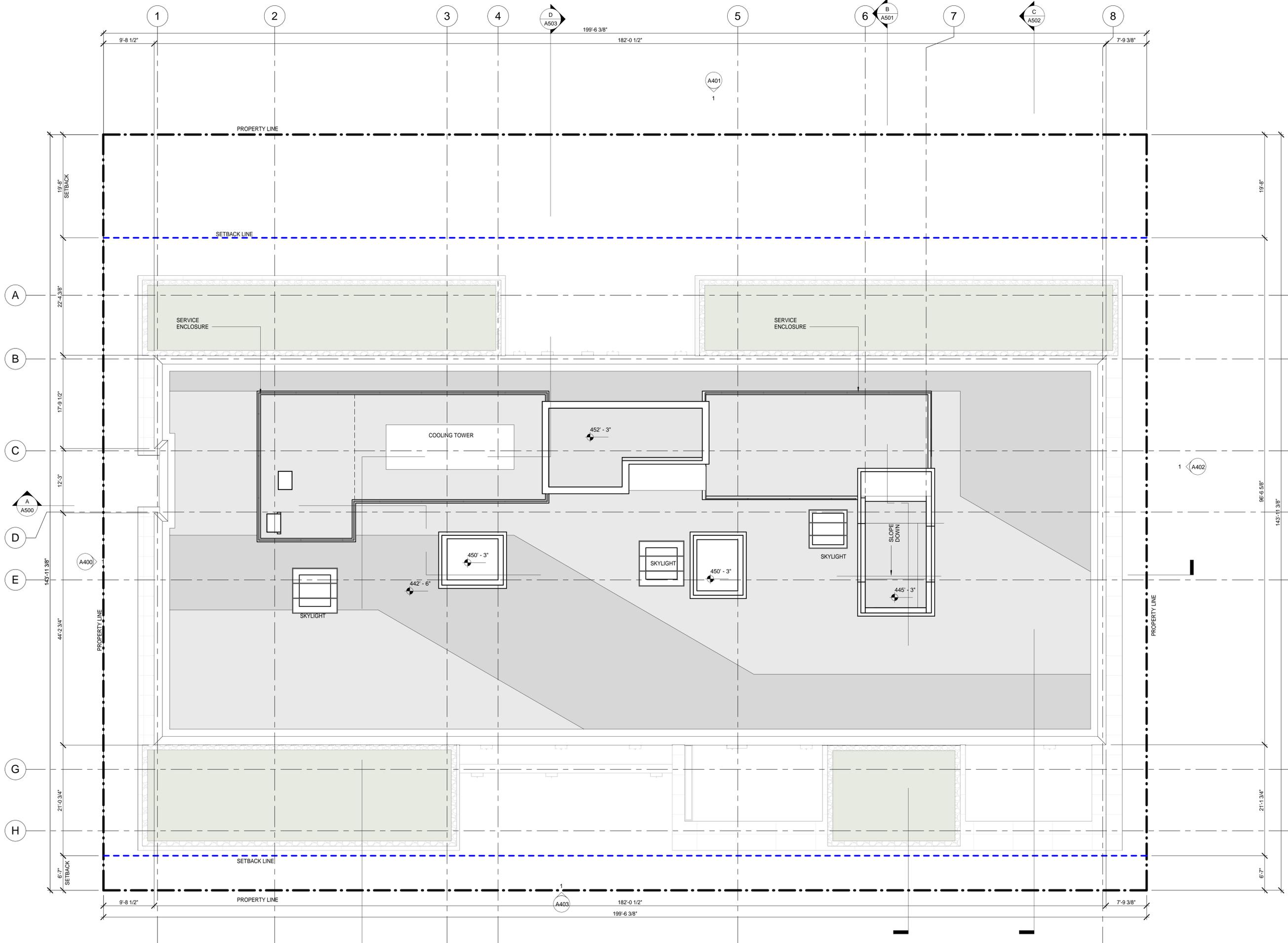
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**A209**

DATE 02-12-2019 DRAWN Author  
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GENERAL NOTES  
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CLIENT



PROJECT NO.

19447

PROJECT  
**SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

**NORTH ELEVATION**

SEAL

DRAWING NO. REVISION

**A400**

DATE 02-12-2019 DRAWN Author  
SCALE 1/8" = 1'-0" CHECKED  
CHECKER



**BUILDING HEIGHT CALCULATIONS**

CALCULATED AVERAGE GRADE ELEVATION (REFER TO A903) = 372.44'  
 MAXIMUM BUILDING HEIGHT AS PER CD-703 = 76.44'(23.3M)  
 ALLOWED MAXIMUM BUILDING HEIGHT RELATIVE TO AVERAGE GRADE = 372.44' + 76.44' = 448.88'  
 PROVIDED BUILDING HEIGHT = 446.00'

**ELEVATION KEYNOTE LEGEND**

MARK	ITEM	COLOR / FINISH	MARK	ITEM	COLOR / FINISH
BR1	STANDARD FACE BRICK, PATTERN: STRETCHER BOND	TO MATCH PEWTER; MISSION; MUTUAL MATERIALS	DR1	INSULATED EXTERIOR METAL SINGLE DOOR	COLOUR: TO MATCH MC1
CP1	CEMENTITIOUS CLADDING PANELS	TO MATCH LARGO ONYX 7091, SWISS PEARL OR SIMILAR	DR2	INSULATED EXTERIOR METAL DOOR WITH CLEAR GLAZING	FRAME: TO MATCH MC1, GLASS: CLEAR
CP2	CEMENTITIOUS CLADDING PANELS	TO MATCH PG843, EQUITONE OR SIMILAR	GG1	SAFETY GLASS BALCONY ENCLOSURE WITH GUARD RAIL INSIDE	FRAME: TO MATCH WINDOW FRAME, GLASS: CLEAR
MC1	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND ALABASTER COOL OR SIMILAR	GG2	SAFETY GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLASS: CLEAR
MC2	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH WINDOW FRAMES	SC1	EXPANDED METAL MESH SCREEN SYSTEM - ROOFTOP	POWDER COATED LIGHT GREY, ALUMINUM
WW1	ALUMINUM WINDOW WALL SYSTEM, THERMALLY BROKEN WITH SEALED DOUBLE GLAZING	TO MATCH STARLINE KENDALL CHARCOAL	SD1	WINDOW FRAME ANODIZED ALUMINUM SUNSHADES	COLOUR: TO MATCH WINDOW FRAME
CON	ARCHITECTURAL CONCRETE W/ REVEALS	GREY, PARGED FINISH, ELASTOMERIC PAINT	SD2	ANODIZED ALUMINUM HORIZONTAL SUNSHADES	COLOUR: TO MATCH WINDOW FRAME
LU1	ALUMINUM WALL LOUVERS	COLOUR TO MATCH ADJACENT WINDOW FRAMES	GRN	GREEN WALL MESH	
FL1	PREFINISHED METAL FLASHING	COLOR TO MATCH MC1 OR CLADDING			
OHS	OVERHEAD SECTIONAL DOOR	METAL ALUMINUM TO MATCH MC1			

EXISTING TOWNHOMES APPROXIMATE OUTLINE

EASTERN AVENUE

PARK

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
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3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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**BUILDING HEIGHT CALCULATIONS**

CALCULATED AVERAGE GRADE ELEVATION (REFER TO A903) = 372.44'  
 MAXIMUM BUILDING HEIGHT AS PER CD-703 = 76.44'(23.3M)  
 ALLOWED MAXIMUM BUILDING HEIGHT RELATIVE TO AVERAGE GRADE= 372.44' + 76.44' = 448.88'  
 PROVIDED BUILDING HEIGHT = 446.00'

**ELEVATION KEYNOTE LEGEND**

MARK	ITEM	COLOR / FINISH	MARK	ITEM	COLOR / FINISH
BR1	STANDARD FACE BRICK, PATTERN: STRETCHER BOND	TO MATCH PEWTER; MISSION; MUTUAL MATERIALS	DR1	INSULATED EXTERIOR METAL SINGLE DOOR	COLOUR: TO MATCH MC1
CP1	CEMENTITIOUS CLADDING PANELS	TO MATCH LARGO ONYX 7091, SWISS PEARL OR SIMILAR	DR2	INSULATED EXTERIOR METAL DOOR WITH CLEAR GLAZING	FRAME: TO MATCH MC1, GLASS: CLEAR
CP2	CEMENTITIOUS CLADDING PANELS	TO MATCH PG843, EQUITONE OR SIMILAR	GG1	SAFETY GLASS BALCONY ENCLOSURE WITH GUARD RAIL INSIDE	FRAME: TO MATCH WINDOW FRAME, GLASS: CLEAR
MC1	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND ALABASTER COOL OR SIMILAR	GG2	SAFETY GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLASS: CLEAR
MC2	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH WINDOW FRAMES	SC1	EXPANDED METAL MESH SCREEN SYSTEM - ROOFTOP	POWDER COATED LIGHT GREY, ALUMINUM
WW1	ALUMINUM WINDOW WALL SYSTEM, THERMALLY BROKEN WITH SEALED DOUBLE GLAZING	TO MATCH STARLINE KENDALL CHARCOAL	SD1	WINDOW FRAME ANODIZED ALUMINUM SUNSHADES	COLOUR: TO MATCH WINDOW FRAME
CON	ARCHITECTURAL CONCRETE W/ REVEALS	GREY, PARGED FINISH, ELASTOMERIC PAINT	SD2	ANODIZED ALUMINUM HORIZONTAL SUNSHADES	COLOUR: TO MATCH WINDOW FRAME
LU1	ALUMINUM WALL LOUVERS	COLOUR TO MATCH ADJACENT WINDOW FRAMES	GRN	GREEN WALL MESH	
FL1	PREFINISHED METAL FLASHING	COLOR TO MATCH MC1 OR CLADDING			
OHS	OVERHEAD SECTIONAL DOOR	METAL ALUMINUM TO MATCH MC1			



CLIENT  
**SUNRISE SENIOR LIVING**

PROJECT NO. 19447

PROJECT **SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE  
**EAST ELEVATION**

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**A401**

DATE 02-12-2019 DRAWN Author  
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NO.	DESCRIPTION	DATE
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2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
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CLIENT  
**SUNRISE SENIOR LIVING**

PROJECT NO. 19447

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE  
**SOUTH ELEVATION**

SEAL

DRAWING NO. REVISION

**A402**

DATE 02-12-2019 DRAWN Author  
SCALE 1/8" = 1'-0" CHECKED Checker

**BUILDING HEIGHT CALCULATIONS**

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LU1	ALUMINUM WALL LOUVERS	COLOUR TO MATCH ADJACENT WINDOW FRAMES	GRN	GREEN WALL MESH	
FL1	PREFINISHED METAL FLASHING	COLOR TO MATCH MC1 OR CLADDING			
OHS	OVERHEAD SECTIONAL DOOR	METAL ALUMINUM TO MATCH MC1			

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FL1	PREFINISHED METAL FLASHING	COLOR TO MATCH MC1 OR CLADDING			
OHS	OVERHEAD SECTIONAL DOOR	METAL ALUMINUM TO MATCH MC1			



CLIENT: **SUNRISE SENIOR LIVING**  
 PROJECT NO: 19447  
 PROJECT: **SENIORS ASSISTED & MEMORY CARE BUILDING**  
 2141 Eastern Avenue, North Vancouver, BC

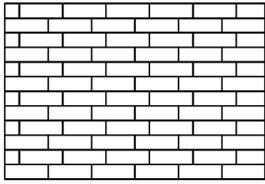
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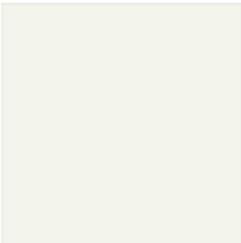
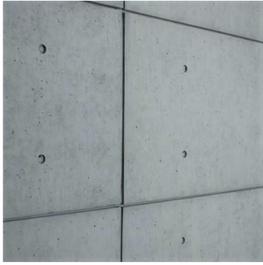
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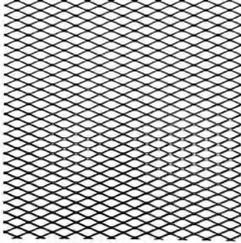
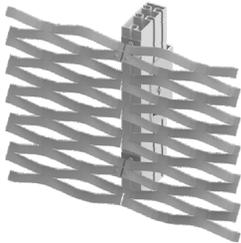
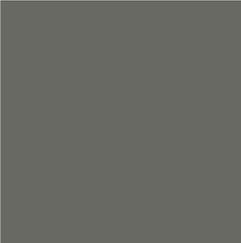
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**A403**

DATE: 02-12-2019 DRAWN: Author  
 SCALE: 1/8" = 1'-0" CHECKED: Checker

ITEM	COLOUR FINISH / IMAGE	SYSTEM/PATTERN
BR1		
CP1		
CP2		
WW1	<p>VISION GLASS</p>  <p>FRAME</p> <p>SPANDREL GLASS</p>	

ITEM	COLOUR FINISH / IMAGE	SYSTEM
MC1		
GG1	<p>GLASS</p> 	
GG2	<p>GLASS</p> <p>FRAME</p> 	
CON		

ITEM	COLOUR FINISH / IMAGE	SYSTEM
SC1		
SD1		
SD2		

ELEVATION KEYNOTE LEGEND					
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REVISIONS		
NO.	DESCRIPTION	DATE
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4	RE-ISSUED FOR DP	2020-07-31

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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED &  
MEMORY CARE BUILDING  
2141 Eastern Avenue, North  
Vancouver, BC

DRAWING TITLE

ELEVATION MATERIAL  
IMAGES

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**A404**

DATE  
02-12-2019

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Author

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**BUILDING HEIGHT CALCULATIONS**

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CLIENT



PROJECT NO.

19447

PROJECT

**SENIORS ASSISTED & MEMORY CARE BUILDING**  
 2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

SECTION - A

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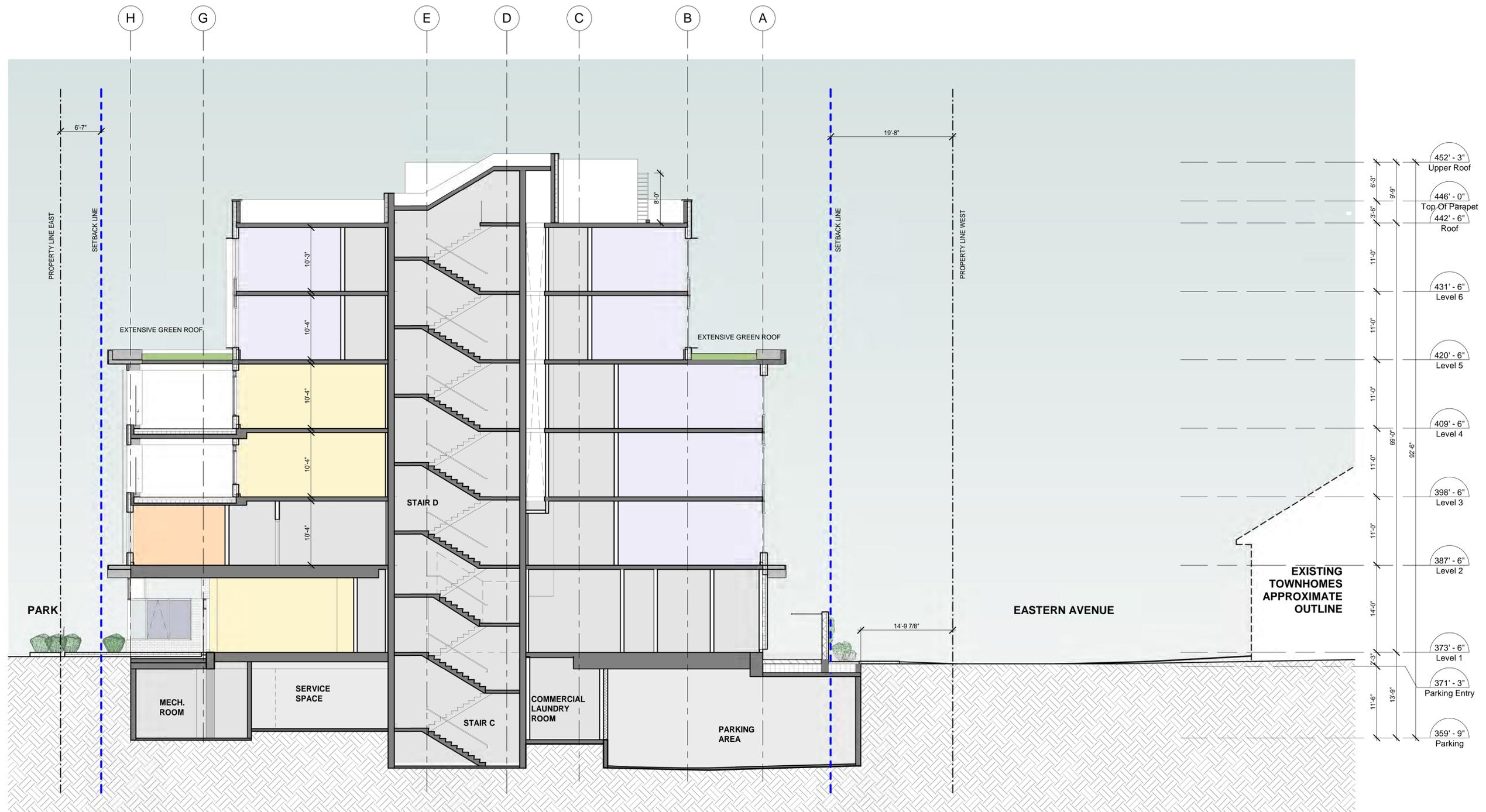
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**A500**

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02-12-2019	Author
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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

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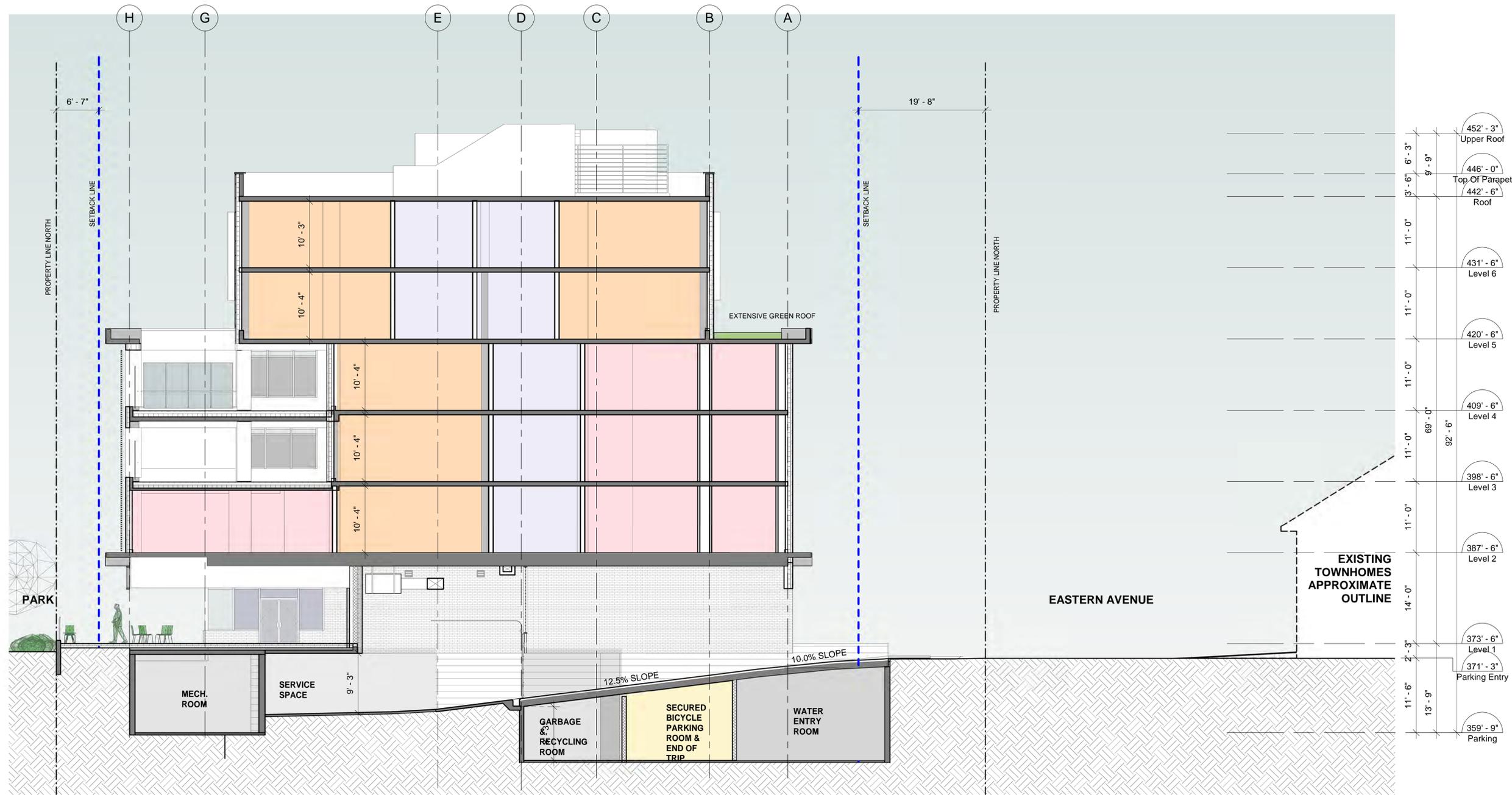
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**A501**

DATE: 02-12-2019 DRAWN: Author  
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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

SECTION - C

SEAL

DRAWING NO. REVISION

**A502**

DATE DRAWN

02-12-2019 Author

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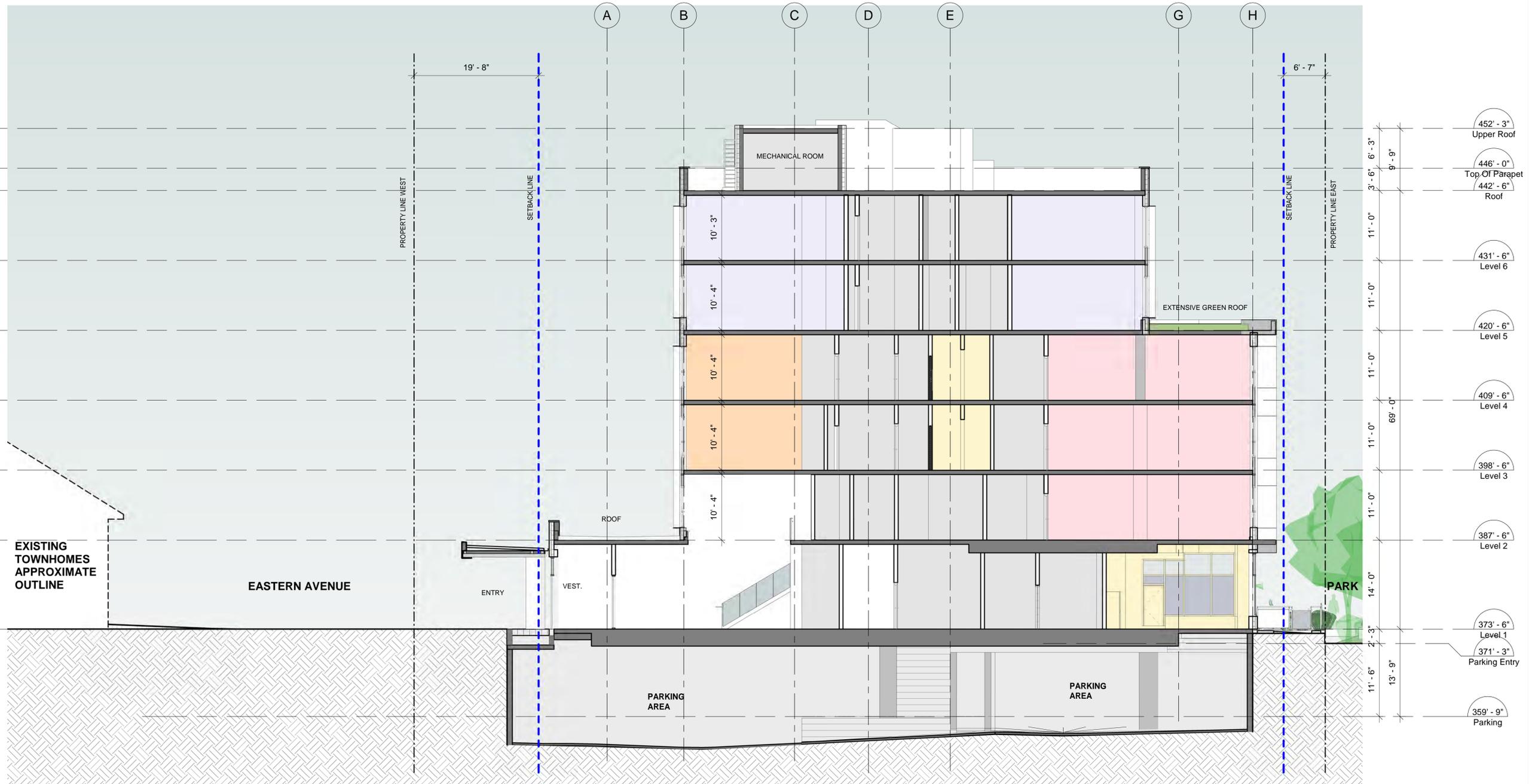
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452' - 3"	Upper Roof
446' - 0"	Top Of Parapet
442' - 6"	Roof
431' - 6"	Level 6
420' - 6"	Level 5
409' - 6"	Level 4
398' - 6"	Level 3
387' - 6"	Level 2
373' - 6"	Level 1
371' - 3"	Parking Entry
359' - 9"	Parking

**BUILDING HEIGHT CALCULATIONS**  
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CLIENT



PROJECT NO. 19447  
 PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 Eastern Avenue, North Vancouver, BC

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 SECTION - D

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DRAWING NO. REVISION

**A503**

DATE 02-12-2019 DRAWN Author  
 SCALE 1/8" = 1'-0" CHECKED Checker

EXTERIOR WALL SCHEDULE

**W1** **TYPICAL FOUNDATION WALL (not insulated)**

- ACCEPTABLE GRANULAR BACK-FILL
- CONT. GEOCOMPOSITE DRAIN MAT
- POLYOLEFIN PROTECTION COURSE
- 90 MIL FLUID-APPLIED, POLYMER-ENHANCED, SINGLE COMPONENT, ASPHALT EMULSION WATERPROOFING MEMBRANE
- REINFORCED POLYESTER MESH AS REQUIRED BY MEMBRANE SUPPLIER
- STRUCTURAL CONCRETE WALL; REFER TO STRUCT. DWGS.
- PAINT ON EXPOSED CONC. WALL

**W10** **EXTERIOR WALL W/ BRICK VENEER (6" STUD)**

- 3 1/2" x 2 1/2" x 7 1/2" BRICK VENEER c/w STAINLESS STEEL ADJUSTABLE TIES
- 1" AIRSPACE
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS VAPOUR PERMEABLE AIR BARRIER
- 1/2" DENSGLAS GOLD SHEATHING
- 6" FIBREGLAS BATT INSULATION [NOMINAL R20]
- 6" STEEL STUDS (ENGINEERED)
- 6 MIL POLY VAPOUR BARRIER TO CAN/CGSB-51.34-M86
- 1/2" GYPSUM WALLBOARD

EFFECTIVE R-VALUE: R 29.21

**W2** **FOUNDATION WALL (blind-formed and not insulated)**

- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS)
- CONT. COMPOSITE DRAIN MAT
- FLUID-APPLIED, POLYMER-ENHANCED, SINGLE COMPONENT, ASPHALT
- EMULSION WATERPROOFING MEMBRANE
- CONT. GEOCOMPOSITE PROTECTION COURSE
- STRUCTURAL CONCRETE WALL; REFER TO STRUCT. DWGS.
- PAINT ON EXPOSED CONCRETE WALL

**W11** **EXTERIOR WALL W/ BRICK VENEER (3-5/8" STUD)**

- 3 1/2" x 2 1/2" x 7 1/2" BRICK VENEER c/w STAINLESS STEEL ADJUSTABLE TIES
- 1" AIRSPACE
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" DENSGLAS GOLD SHEATHING
- 3-1/2" FIBREGLAS BATT INSULATION [NOMINAL R12]
- 3-5/8" STEEL STUDS (ENGINEERED)
- 6 MIL POLY VAPOUR BARRIER TO CAN/CGSB-51.34-M86
- 1/2" GYPSUM WALLBOARD

EFFECTIVE R-VALUE: R 27.71

**W3** **FOUNDATION WALL w/ INSULATION (blind-formed and insulated)**

- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS)
- CONT. COMPOSITE DRAIN MAT
- FLUID-APPLIED, POLYMER-ENHANCED, SINGLE COMPONENT, ASPHALT
- EMULSION WATERPROOFING MEMBRANE
- CONT. GEOCOMPOSITE PROTECTION COURSE
- STRUCTURAL CONCRETE WALL; REFER TO STRUCT. DWGS.
- PAINT ON EXPOSED CONCRETE WALL

**W12** **EXTERIOR WALL W/ METAL PANEL (3-5/8" STUD)**

- ALUMINUM COMPOSITE WALL PANELS (ALUCOBOND OR APPROVED ALTERNATE) WITH PROPRIETARY CLIPS, DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" GOLD DENSGLAS SHEATHING
- 3-1/2" FIBREGLAS BATT INSULATION [R12]
- 3-5/8" STEEL STUDS (ENGINEERED)
- 6 MIL POLY VAPOUR BARRIER TO CAN/CGSB-51.34-M86
- 1/2" GYPSUM WALLBOARD

EFFECTIVE R-VALUE: R 26.8

**W4** **FOUNDATION WALL w/ INSULATION (blind-formed and insulated)**

- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS)
- CONT. COMPOSITE DRAIN MAT
- FLUID-APPLIED, POLYMER-ENHANCED, SINGLE COMPONENT, ASPHALT
- EMULSION WATERPROOFING MEMBRANE
- CONT. GEOCOMPOSITE PROTECTION COURSE
- STRUCTURAL CONCRETE WALL; REFER TO STRUCT. DWGS.
- PAINT ON EXPOSED CONCRETE WALL

**W13** **INSULATED CONCRETE W/ METAL PANEL**

- ALUMINUM COMPOSITE WALL PANELS (ALUCOBOND OR APPROVED ALTERNATE) WITH PROPRIETARY CLIPS, DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

EFFECTIVE R-VALUE: TBD

**W5** **EXPOSED ARCHITECTURAL CONCRETE WALL (UNINSULATED)**

- 2 COATS OF ELASTOMERIC COATING ON PRIMER; MIN. DRY FILM THICKNESS TO MANUFACTURER'S RECOMMENDATIONS (CLOVERDALE 'TOWERTHON' OR APPROVED ALTERNATE)
- MIN. 8" ARCHITECTURAL CONCRETE WALL [AIR BARRIER]; REFER TO STRUCT. DWGS.
- 2" OF 2LB. POLYURETHANE SPRAY-FOAM INSULATION (NOM. R13 [VAPOUR BARRIER])
- 3-5/8" 25 ga. STL. STUDS @ MAX. 24" O.C.
- 1/2" GYPSUM BD. [THERMAL BARRIER]

**W14** **EXTERIOR WALL W/ FIBER CEMENT PANEL (3-5/8" STUD)**

- ±1/2" NON-COMBUSTIBLE GLASS-FIBRE REINFORCED LIGHT-WEIGHT CONCRETE PANEL WALL PANELS ('EQUITONE' PANELS OR APPROVED ALTERNATE) WITH EXPOSED FASTENERS; SEALED JOINTS
- 1-1/2" GALV. VERTICAL MIN.18 ga. GIRTS, SUPPORTED BY SUPPORT CLIPS
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" GOLD DENSGLAS SHEATHING
- 3-1/2" FIBREGLAS BATT INSULATION [R12]
- 3-5/8" STEEL STUDS (ENGINEERED)
- 6 MIL POLY VAPOUR BARRIER TO CAN/CGSB-51.34-M86
- 1/2" GYPSUM WALLBOARD

EFFECTIVE R-VALUE: R 26.8

**W6** **INSULATED CONCRETE WALL WITH MASONRY CLADDING**

- 3 1/2" x 3 1/2" x 11 1/2" FACE BRICK c/w STAINLESS STEEL ADJUSTABLE BRICK TIES
- 1" AIRSPACE
- 4" ROCK WOOL INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

**W15** **INSULATED CONCRETE W/ FIBER CEMENT PANEL**

- ±1/2" NON-COMBUSTIBLE GLASS-FIBRE REINFORCED LIGHT-WEIGHT CONCRETE PANEL WALL PANELS ('EQUITONE' PANELS OR APPROVED ALTERNATE) WITH EXPOSED FASTENERS; SEALED JOINTS
- 1-1/2" GALV. VERTICAL MIN.18 ga. GIRTS, SUPPORTED BY SUPPORT CLIPS
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

EFFECTIVE R-VALUE: TBD

**W7** **CONCRETE WALL WITH MASONRY CLADDING (UNINSULATED)**

- 3 1/2" x 3 1/2" x 11 1/2" FACE BRICK c/w STAINLESS STEEL ADJUSTABLE BRICK TIES
- 1" AIRSPACE
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

**W15** **INSULATED CONCRETE W/ FIBER CEMENT PANEL**

- ±1/2" NON-COMBUSTIBLE GLASS-FIBRE REINFORCED LIGHT-WEIGHT CONCRETE PANEL WALL PANELS ('EQUITONE' PANELS OR APPROVED ALTERNATE) WITH EXPOSED FASTENERS; SEALED JOINTS
- 1-1/2" GALV. VERTICAL MIN.18 ga. GIRTS, SUPPORTED BY SUPPORT CLIPS
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

EFFECTIVE R-VALUE: TBD

**W8** **CONCRETE WALL WITH METAL PANEL (UNINSULATED)**

- ALUMINUM COMPOSITE WALL PANELS (ALUCOBOND OR APPROVED ALTERNATE) WITH PROPRIETARY CLIPS, DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

**W15** **INSULATED CONCRETE W/ FIBER CEMENT PANEL**

- ±1/2" NON-COMBUSTIBLE GLASS-FIBRE REINFORCED LIGHT-WEIGHT CONCRETE PANEL WALL PANELS ('EQUITONE' PANELS OR APPROVED ALTERNATE) WITH EXPOSED FASTENERS; SEALED JOINTS
- 1-1/2" GALV. VERTICAL MIN.18 ga. GIRTS, SUPPORTED BY SUPPORT CLIPS
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

EFFECTIVE R-VALUE: TBD

**W9** **CONCRETE WALL WITH FIBER CEMENT PANEL (UNINSULATED)**

- ±1/2" NON-COMBUSTIBLE GLASS-FIBRE REINFORCED LIGHT-WEIGHT CONCRETE PANEL WALL PANELS ('EQUITONE' PANELS OR APPROVED ALTERNATE) WITH EXPOSED FASTENERS; SEALED JOINTS
- 1-1/2" GALV. VERTICAL MIN.18 ga. GIRTS, SUPPORTED BY SUPPORT CLIPS
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

EFFECTIVE R-VALUE: R15

**W15** **INSULATED CONCRETE W/ FIBER CEMENT PANEL**

- ±1/2" NON-COMBUSTIBLE GLASS-FIBRE REINFORCED LIGHT-WEIGHT CONCRETE PANEL WALL PANELS ('EQUITONE' PANELS OR APPROVED ALTERNATE) WITH EXPOSED FASTENERS; SEALED JOINTS
- 1-1/2" GALV. VERTICAL MIN.18 ga. GIRTS, SUPPORTED BY SUPPORT CLIPS
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION DEPTH (KPS - THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- 4 1/2" ROXUL 'CAVITYROCK DD' SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R19.3 BASED ON R4.3 PER IN.]
- CONTINUOUS AIR/VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- REINFORCED CONCRETE WALL AS PER STRUCTURAL DWGS

EFFECTIVE R-VALUE: TBD

**EXTERIOR WALL GENERAL NOTES:**

- MINIMUM BUILDING ENVELOPE THERMAL PERFORMANCE REQUIREMENTS ARE BASED ON CONFORMANCE WITH CLIMATE ZONE 5 REQUIREMENTS UNDER ASHRAE 90.1-2016. **NOTE THAT BUILDING IS DESIGNED WITH BOTH 'CONDITIONED' AND 'UNCONDITIONED' SPACE AS DEFINED IN ASHRAE 90.1-2016.** WITH CAR WASH BAY AND PARKING AREA DESIGNATED AS 'UNCONDITIONED' SPACE.
- WHERE PARTITIONS SEPARATE SEMI-HEATED AND CONDITIONED SPACES AS DEFINED IN ASHRAE 90-2016, THE FULL ASSEMBLY SHALL BE CONTINUOUS FOR FULL-HEIGHT AND ALL JOINTS SHALL BE SEALED.

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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CLIENT  
**SUNRISE SENIOR LIVING**

PROJECT NO. 19447

PROJECT **SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE  
**PRELIMINARY WALL SCHEDULE**

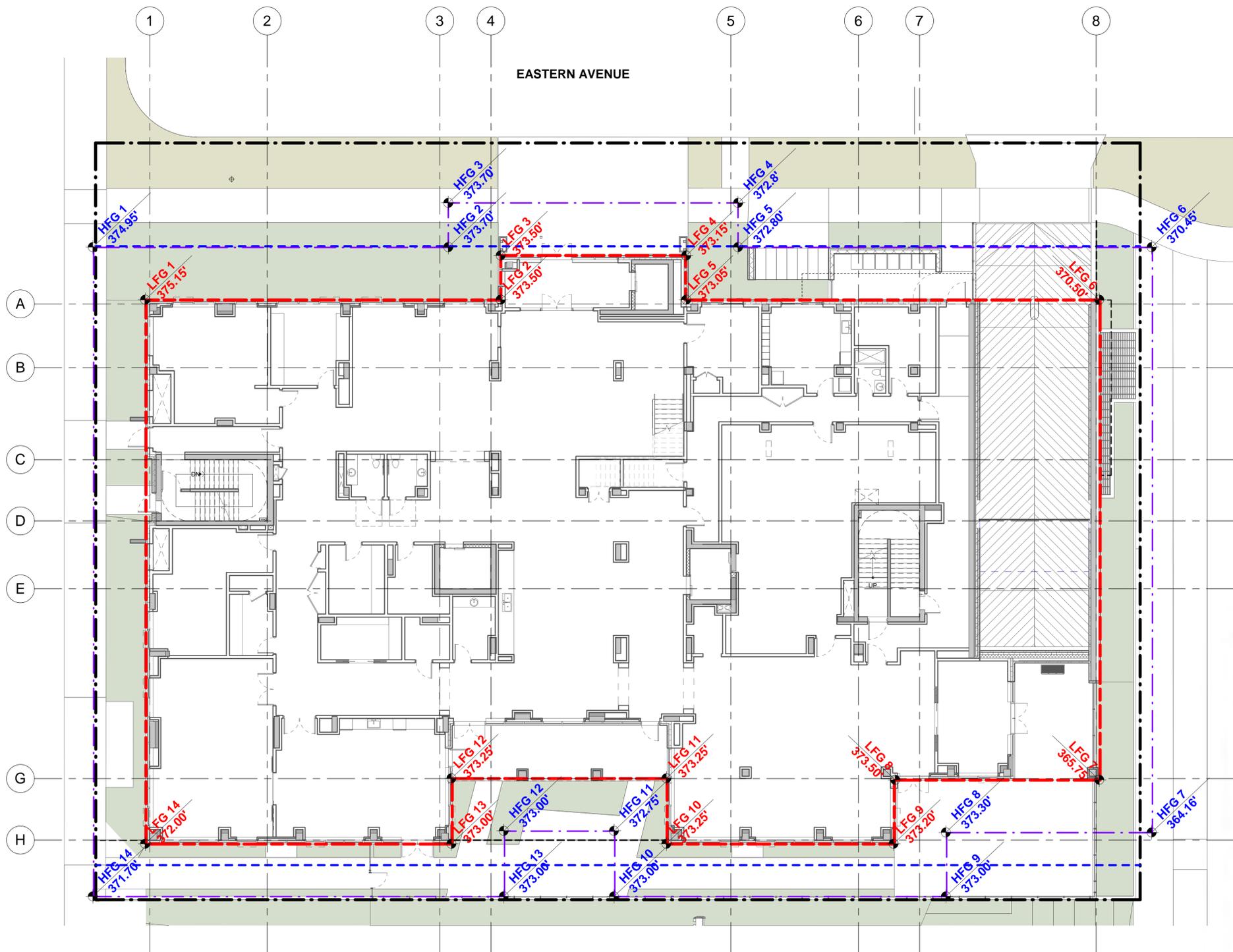
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DRAWING NO. REVISION

**A701**

DATE 02-12-2019 DRAWN Author  
SCALE CHECKED  
Checked



LEVEL 1/ SITE PLAN

**AVERAGE GRADE CALCULATION**

HIGHEST FINISHED GRADE		LOWEST FINISHED GRADE	
HFG	Grade (ft)	LFG	Grade (ft)
HFG 1	374.95	LFG 1	375.15
HFG 2	373.7	LFG 2	373.5
HFG 3	373.7	LFG 3	373.5
HFG 4	372.8	LFG 4	373.15
HFG 5	372.8	LFG 5	373.05
HFG 6	370.45	LFG 6	370.5
HFG 7	364.16	LFG 7	365.75
HFG 8	373.2	LFG 8	373.5
HFG 9	373	LFG 9	373.2
HFG 10	373	LFG 10	373.25
HFG 11	372.75	LFG 11	373.25
HFG 12	373	LFG 12	373.25
HFG 13	373	LFG 13	373
HFG 14	371.7	LFG 14	372
<b>Average</b>	<b>372.30</b>	<b>Average</b>	<b>372.58</b>

<b>Average Grade</b>	<b>372.44</b> ft	<b>113.519</b> m
<b>Max Building Height</b>	<b>76.44</b> ft	<b>23.30</b> m
<b>Allowed Max Bld Height</b>	<b>448.88</b> ft	<b>136.82</b> m
<b>Provided Bld Height</b>	<b>446.00</b> ft	<b>135.94</b> m

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

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PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

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AVERAGE GRADE CALCULATION

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REVISION

**A903**

DATE	DRAWN
02-12-2019	Author
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3/32" = 1'-0"	Checker

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2141 Eastern Avenue, North Vancouver, BC

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LEVEL 1 - AREA OVERLAY

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REVISION

**O01**

DATE

31-07-2020

SCALE

1/8" = 1'-0"

DRAWN

Author

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Checker



TOTAL AREA - LEVEL 1_	
AMENITY	1967.69 SF
AMENITY	2050.23 SF
AMENITY	561.11 SF
AMENITY	539.90 SF
	5118.92 SF

AMENITIES EXCLUSION CALCULATION	
TOTAL LEVEL 1 AMENITY AREA:	5,119 SF
MAX 5% OF TOTAL GROSS AREA (EXCLUSION):	4,101 SF
AMENITY AREA INCLUDED:	1,018 SF

TOTAL AREA - LEVEL 1_	
EXCLUDED - ENTRY LOBBY	3114.69 SF
	3114.69 SF

EXCLUDED - TERRACE/PORCH	434.46 SF
EXCLUDED - TERRACE/PORCH	1257.17 SF
	1691.62 SF

EXCLUDED - VISIBLE STAIR	156.30 SF
EXCLUDED - VISIBLE STAIR	144.42 SF
	300.73 SF

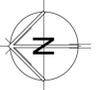
WALL EXCLUSION BEYOND 6.5"	493.56 SF
	493.56 SF

INCLUDED	149.42 SF
INCLUDED	6099.63 SF
INCLUDED	245.45 SF
INCLUDED	301.17 SF
	6795.67 SF
	17515.19 SF

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TOTAL AREA - LEVEL 2

EXCLUDED - COMMON LAUNDRY	87.98 SF
	87.98 SF
EXCLUDED - LOBBY	1362.22 SF
	1362.22 SF
EXCLUDED - OPEN TO BELOW AMENITY	534.19 SF
	534.19 SF
EXCLUDED - VISIBLE STAIR	167.31 SF
EXCLUDED - VISIBLE STAIR	307.45 SF
	474.76 SF
WALL EXCLUSION BEYOND 6.5"	344.15 SF
	344.15 SF
INCLUDED	4831.61 SF
INCLUDED - AMENITY	356.21 SF
	5187.82 SF
INCLUDED - RESIDENTIAL UNITS	1489.56 SF
INCLUDED - RESIDENTIAL UNITS	8430.57 SF
	9920.13 SF
	17911.26 SF



CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

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LEVEL 2 - AREA OVERLAY

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REVISION

**002**

DATE

31-07-2020

DRAWN

Author

SCALE

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PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

LEVEL 3 - AREA OVERLAY

SEAL

DRAWING NO.

REVISION

**003**

DATE

31-07-2020

DRAWN

Author

SCALE

1/8" = 1'-0"

CHECKED

Checker



TOTAL AREA - LEVEL 3	
EXCLUDED - GREEN BUILDING SYSTEM	6.33 SF
EXCLUDED - GREEN BUILDING SYSTEM	5.53 SF
EXCLUDED - GREEN BUILDING SYSTEM	13.75 SF
<b>EXCLUDED - GREEN BUILDING SYSTEM</b>	<b>25.61 SF</b>
EXCLUDED - COMMON LAUNDRY	136.07 SF
<b>EXCLUDED - TERRACE/PORCH</b>	<b>1746.66 SF</b>
EXCLUDED - VISIBLE STAIR	311.50 SF
<b>WALL EXCLUSION BEYOND 6.5"</b>	<b>337.53 SF</b>
<b>INCLUDED</b>	<b>4573.42 SF</b>
INCLUDED - AMENITY	152.77 SF
INCLUDED - AMENITY	2974.95 SF
<b>INCLUDED - RESIDENTIAL UNITS</b>	<b>1801.44 SF</b>
INCLUDED - RESIDENTIAL UNITS	5863.07 SF
<b>INCLUDED - RESIDENTIAL UNITS</b>	<b>7664.51 SF</b>
<b>INCLUDED - RESIDENTIAL UNITS</b>	<b>17923.03 SF</b>

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PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

LEVEL 4 - AREA OVERLAY

SEAL

DRAWING NO.

REVISION

**004**

DATE

31-07-2020

SCALE

1/8" = 1'-0"

DRAWN

Author

CHECKED

Checker

TOTAL AREA - LEVEL 4

EXCLUDED - GREEN BUILDING SYSTEM	6.33 SF
EXCLUDED - GREEN BUILDING SYSTEM	5.53 SF
EXCLUDED - GREEN BUILDING SYSTEM	13.75 SF
	25.61 SF
EXCLUDED - COMMON LAUNDRY	136.07 SF
	136.07 SF
EXCLUDED - TERRACE/PORCH	1262.80 SF
	1262.80 SF
EXCLUDED - VISIBLE STAIR	311.49 SF
	311.49 SF
WALL EXCLUSION BEYOND 6.5"	344.60 SF
	344.60 SF
INCLUDED	4408.27 SF
	4408.27 SF
INCLUDED - AMENITY	152.77 SF
INCLUDED - AMENITY	3140.09 SF
	3292.86 SF
INCLUDED - RESIDENTIAL UNITS	1801.44 SF
INCLUDED - RESIDENTIAL UNITS	5863.07 SF
	7664.51 SF
	17446.22 SF



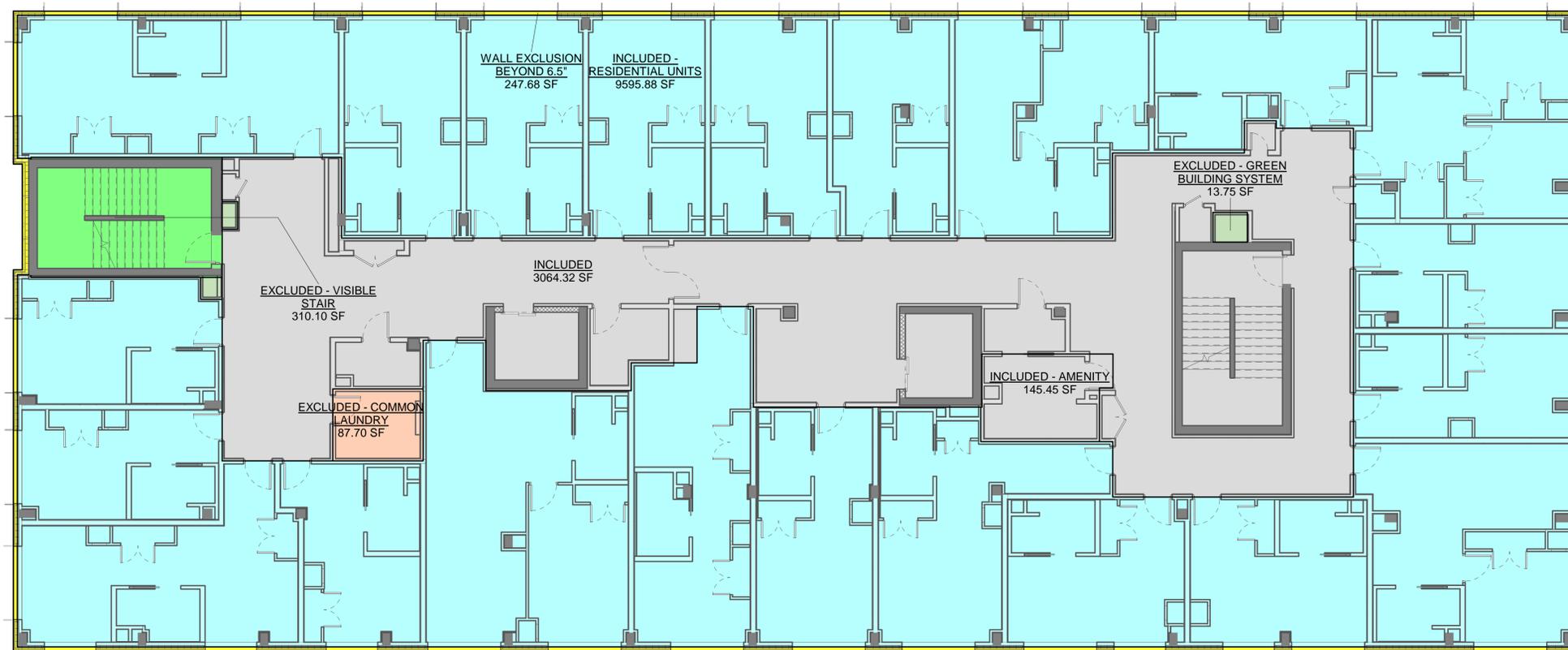
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4	RE-ISSUED FOR DP	2020-07-31

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TOTAL AREA - LEVEL 5 & 6	
EXCLUDED - GREEN BUILDING SYSTEM	6.38 SF
EXCLUDED - GREEN BUILDING SYSTEM	5.75 SF
EXCLUDED - GREEN BUILDING SYSTEM	13.75 SF
	25.88 SF
EXCLUDED - COMMON LAUNDRY	87.70 SF
	87.70 SF
EXCLUDED - VISIBLE STAIR	310.10 SF
	310.10 SF
WALL EXCLUSION BEYOND 6.5"	247.68 SF
	247.68 SF
INCLUDED	3064.32 SF
	3064.32 SF
INCLUDED - AMENITY	145.45 SF
	145.45 SF
INCLUDED - RESIDENTIAL UNITS	9595.88 SF
	9595.88 SF
	13477.01 SF



CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

LEVEL 5/6 - AREA OVERLAY

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DRAWING NO.

REVISION

**O05**

DATE

31-07-2020

DRAWN

Author

SCALE

1/8" = 1'-0"

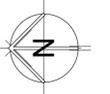
CHECKED

Checker

REVISIONS

NO.	DESCRIPTION	DATE
4	RE-ISSUED FOR DP	2020-07-31

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CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED &  
MEMORY CARE BUILDING  
2141 Eastern Avenue, North  
Vancouver, BC

DRAWING TITLE

ROOF - AREA OVERLAY

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REVISION

**006**

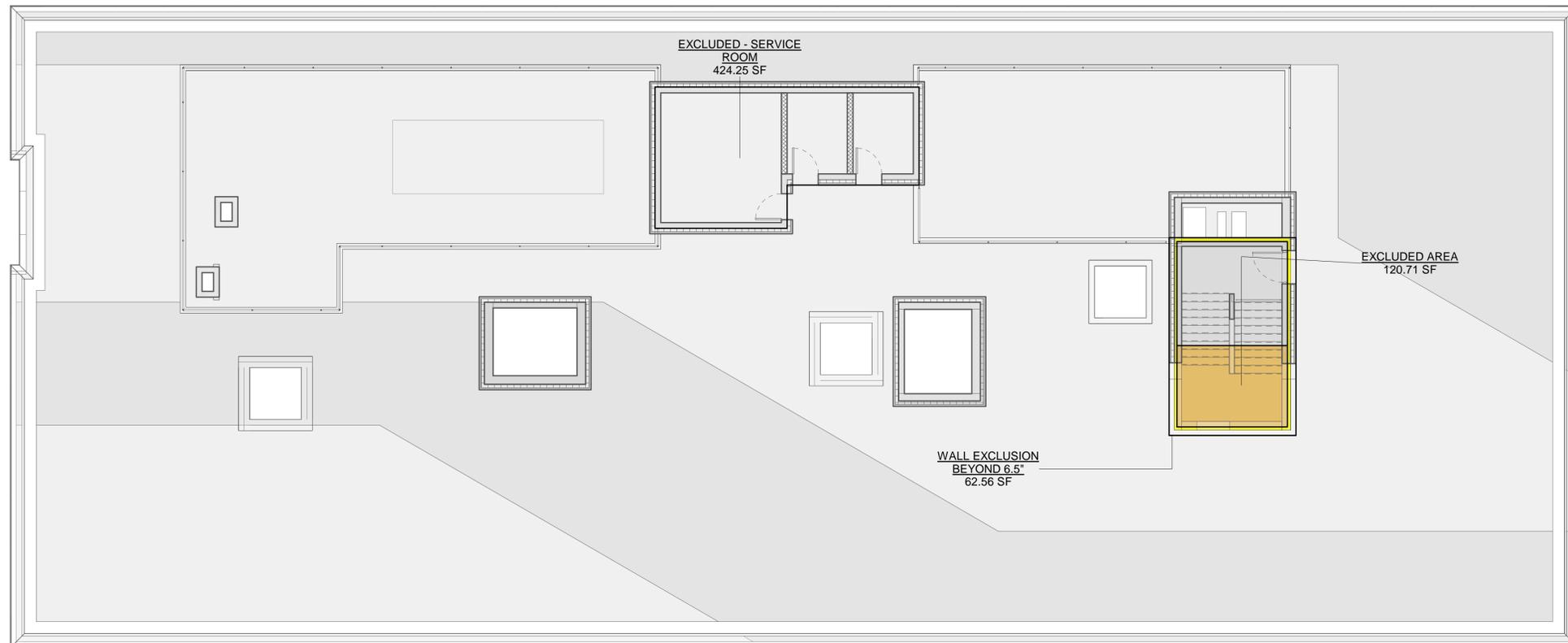
DATE  
31-07-2020

DRAWN  
Author

SCALE  
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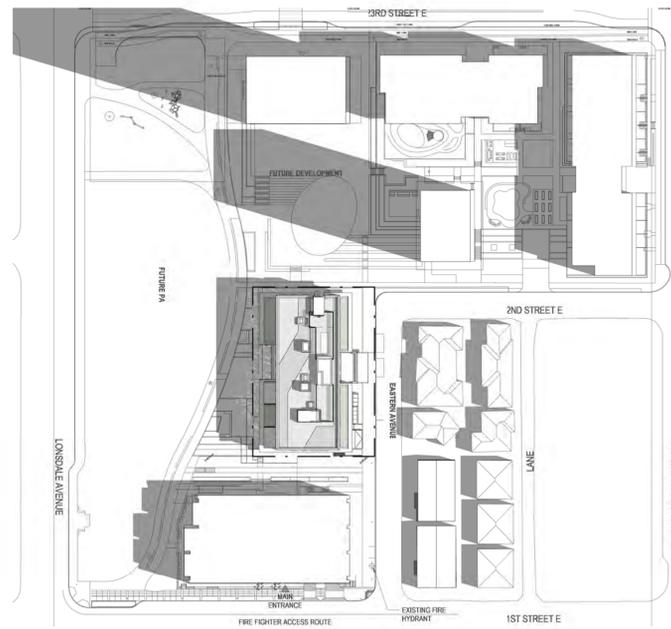
CHECKED  
Checker

TOTAL AREA - ROOF_	
EXCLUDED AREA	120.71 SF
EXCLUDED - SERVICE ROOM	424.25 SF
WALL EXCLUSION BEYOND 6.5"	62.56 SF
INCLUDED	154.13 SF
	761.66 SF

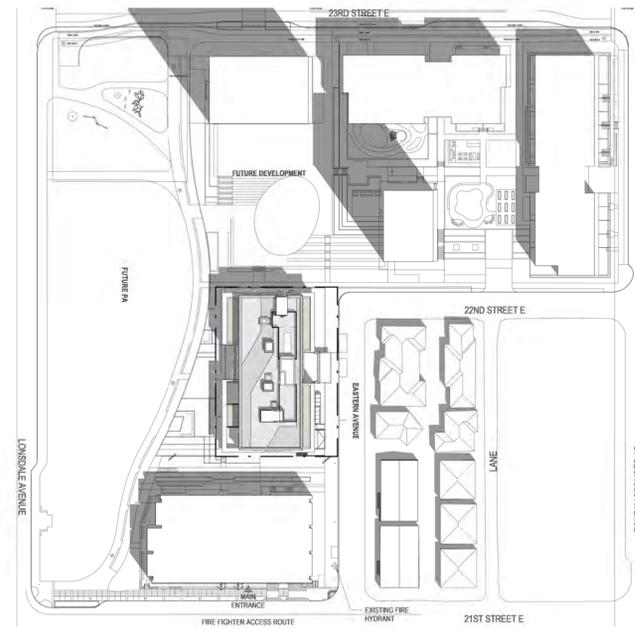


NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2019-12-02
2	ISSUED FOR ADP	2020-01-08
3	ISSUED FOR ADP	2020-03-18
4	RE-ISSUED FOR DP	2020-07-31

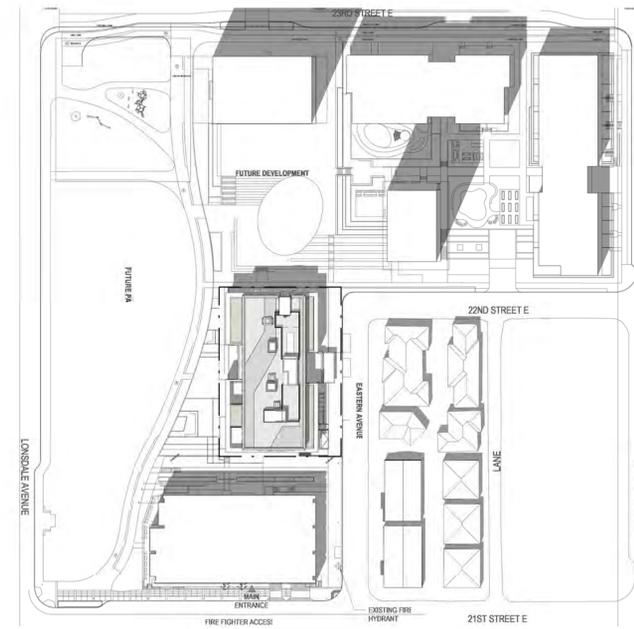
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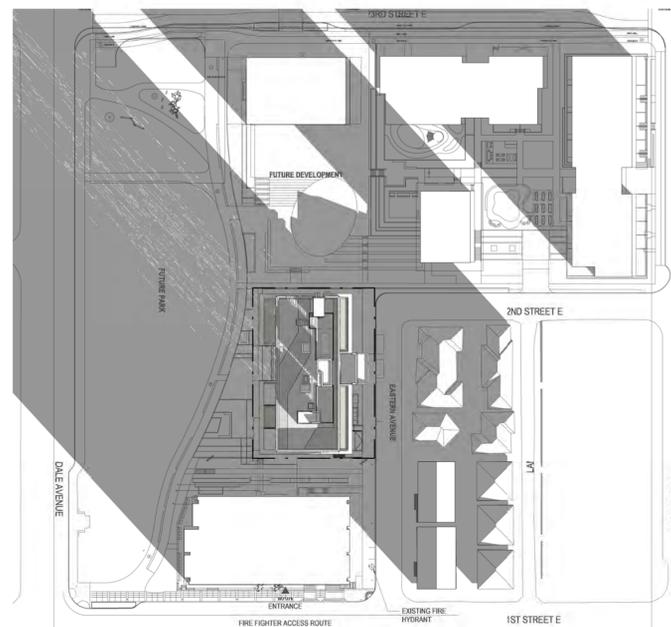
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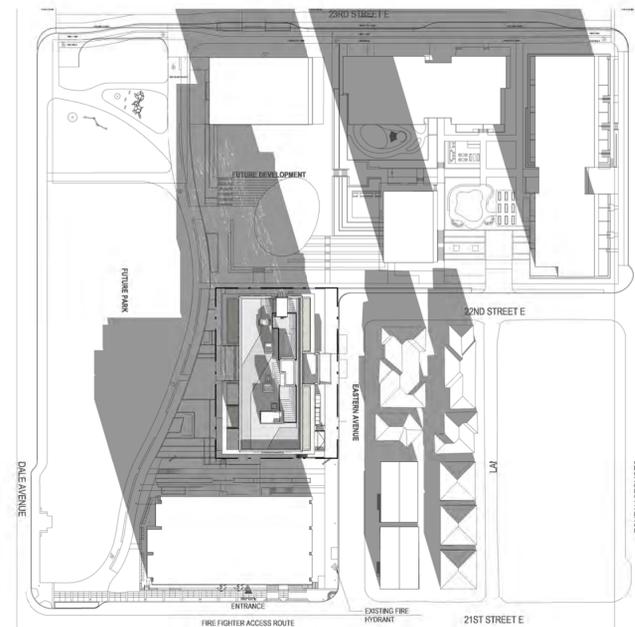
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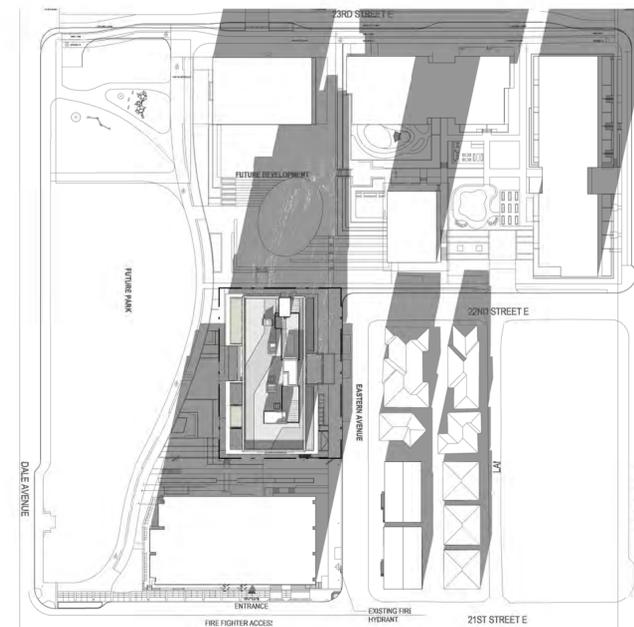
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4 DECEMBER 21\_10:00am  
1" = 100'-0"



5 DECEMBER 21\_12:00pm  
1" = 100'-0"



6 DECEMBER 21\_2:00pm  
1" = 100'-0"

CLIENT



PROJECT NO.

19447

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 Eastern Avenue, North Vancouver, BC

DRAWING TITLE

SHADOW ANALYSIS

SCALE

DRAWING NO.

REVISION

SA01

DATE

02-12-2019

DRAWN

Author

SCALE

1" = 100'-0"

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NO.	DESCRIPTION	DATE
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3	ISSUED FOR ADP	2020-03-18
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CLIENT



PROJECT NO.

19447

PROJECT

**SENIORS ASSISTED &  
MEMORY CARE BUILDING**  
2141 Eastern Avenue, North  
Vancouver, BC

DRAWING TITLE

**SHADOW ANALYSIS**

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REVISION

**SA02**

DATE

02-12-2019

SCALE

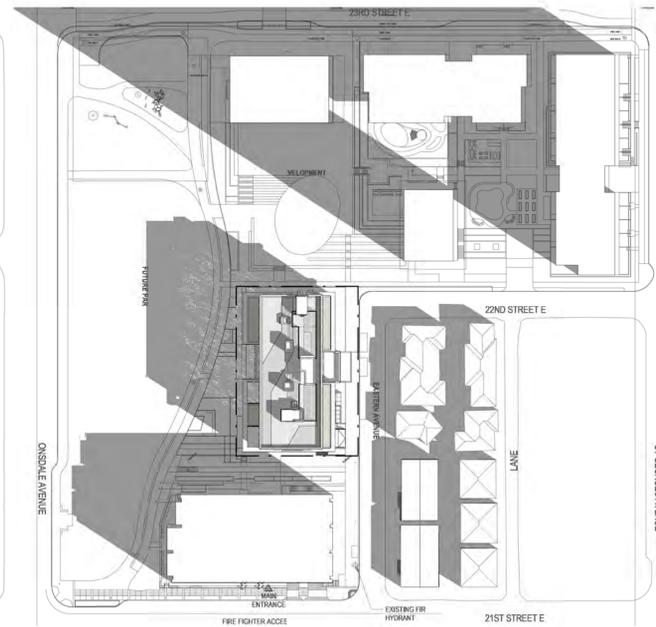
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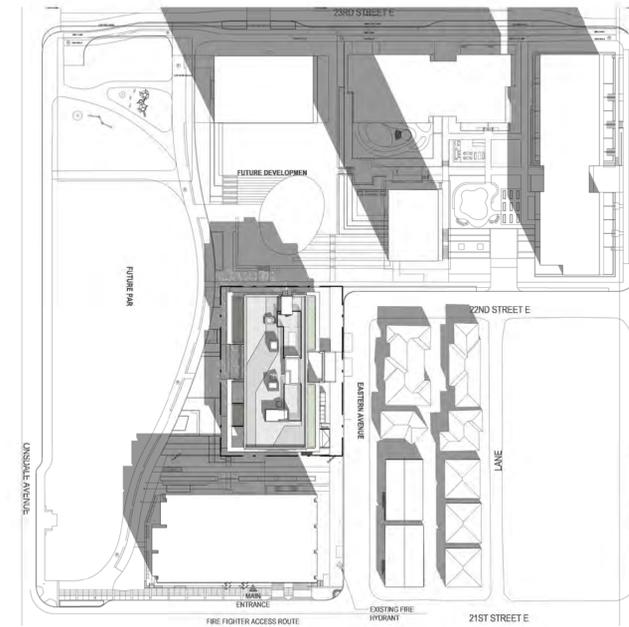
Author

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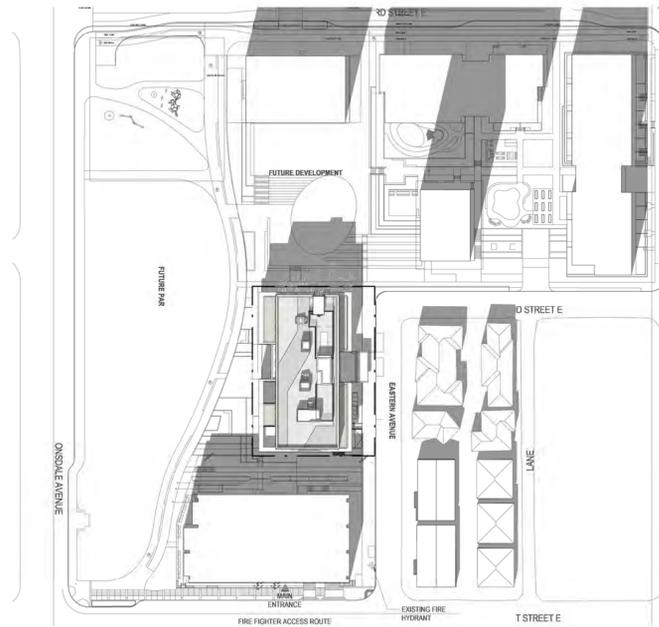
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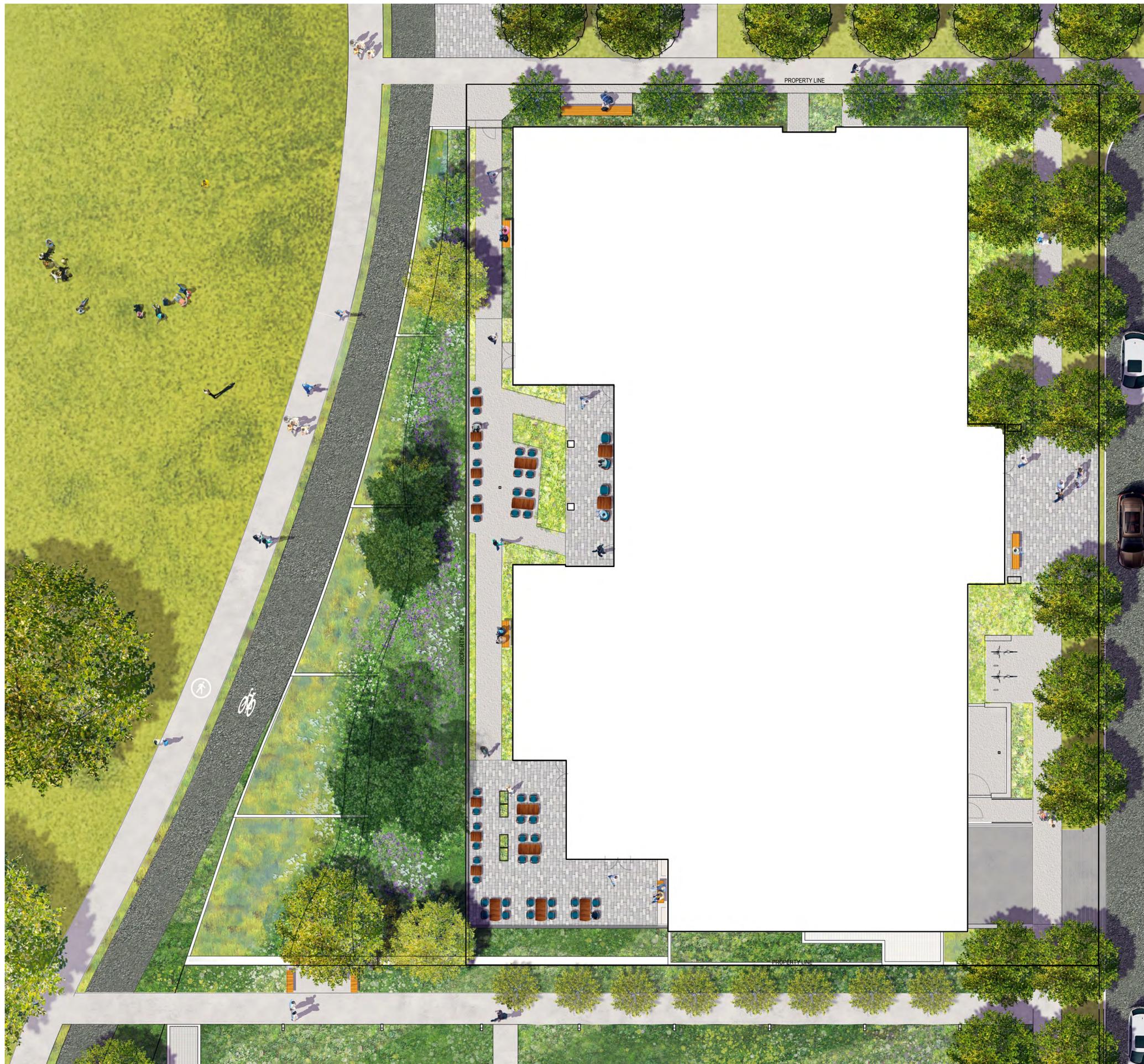
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1" = 100'-0"



2 MARCH 21\_12:00pm  
1" = 100'-0"



3 MARCH 21\_2:00pm  
1" = 100'-0"



1 M3 LANDSCAPE PLAN  
SCALE: 3/32" = 1'

DRAWING LIST

- L0.01 SITE PLAN AND GENERAL NOTES
- L1.01 TREE MANAGEMENT PLAN
- L3.01 MATERIALS PLAN - GROUND LEVEL
- L3.02 MATERIALS PLAN - LEVEL 3+4
- L3.02 MATERIALS PLAN - LEVEL 5
- L4.01 LAYOUT PLAN - GROUND LEVEL
- L4.02 LAYOUT PLAN - LEVEL 3+4
- L4.03 LAYOUT PLAN - LEVEL 5
- L5.01 GRADING PLAN - GROUND LEVEL
- L6.01 PLANTING PLAN - GROUND LEVEL
- L6.02 PLANTING PLAN - ROOF LEVEL
- L7.01 IRRIGATION PLAN - GROUND LEVEL
- L7.02 IRRIGATION PLAN - ROOF LEVEL
- L8.01 LANDSCAPE LIGHTING PLAN
- L9.01 LANDSCAPE SECTIONS
- L9.02 LANDSCAPE SECTIONS
- L9.03 LANDSCAPE SECTIONS
- L10.01 DETAILS
- L10.02 DETAILS
- L10.03 DETAILS
- L10.04 DETAILS
- L10.05 DETAILS
- L10.06 DETAILS

GENERAL NOTES :

- 1) Prior to commencement of construction, the contractor must make careful examination of existing site surface conditions and topography and advise the Landscape Architect of any unsatisfactory site surface conditions and topography. No allowances will be made later for any expenses incurred through failure to note unsatisfactory existing site surface conditions and topography.
- 2) Do not scale drawings. Use dimensional info as noted on drawing. Contact the Landscape Architect immediately if there is any ambiguity, lack of information or inconsistency. Disregard of this note and extra costs incurred will not be accepted.
- 3) The Contractor will clean and reinstate all areas damaged or affected by works outside the limit of work to the conditions that existed prior to construction or better and to the satisfaction of the Landscape Architect.
- 4) The Contractor shall verify dimensions shown on drawings and notify the Landscape Architect of any discrepancies or inconsistencies prior to construction.
- 5) The Contractor shall be responsible for establishing the property line for the purpose of review and approval by City of North Vancouver prior to commencement of construction.
- 6) Contractor shall be responsible for verifying all underground utilities and taking the necessary precautions prior to and during construction. For comprehensive utilities/servicing plan, refer to civil drawings.
- 7) All lines and dimensions are parallel or perpendicular to the lines from which they are measured/ referenced unless noted otherwise.
- 8) Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation. Verify all dimensions on Site.
- 9) All curves transitions shall be sinuous and shall not transition abruptly. On site adjustments may be necessary to achieve smooth transitions between the curve data provided on the drawings. Curves shall be laid out and confirmed by the Landscape Architect prior to installation.



REVISIONS		
NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-06-2020
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PROJECT NO. 19031  
PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

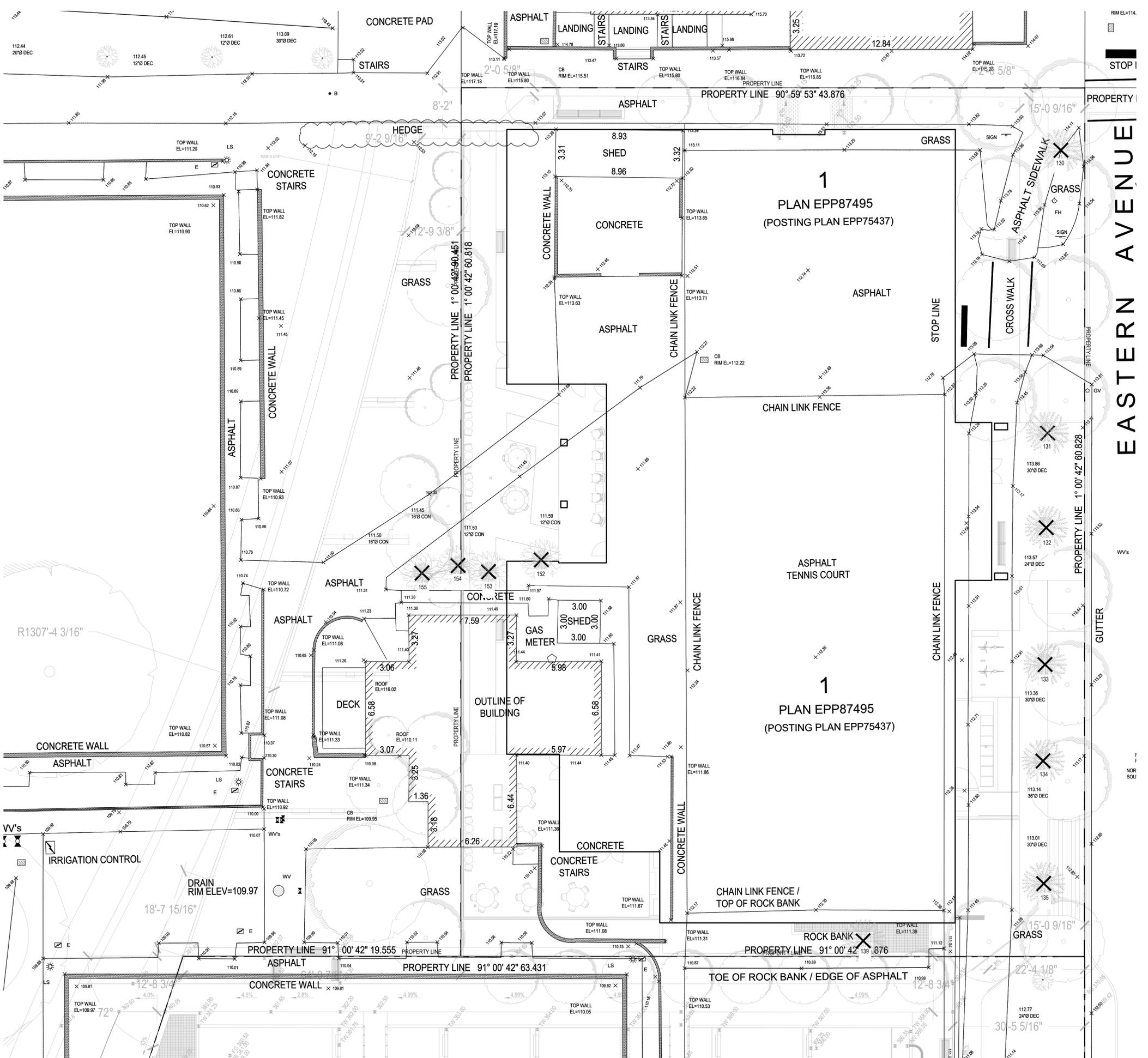
SITE PLAN AND GENERAL NOTES

SEAL

DRAWING NO.	REVISION

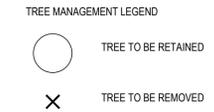
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DATE 10-21-2020	DRAWN GF
SCALE 3/32" = 1'	CHECKED CP



TREE MANAGEMENT

ID#	SIZE(D/BHcm)	BOTANICAL NAME	COMMON NAME	ACTION
130	62	Prunus Padus	Bird Cherry	Remove
131	72	Prunus Serotata	Japanese Cherry	Remove
132	56	Prunus Serotata	Japanese Cherry	Remove
133	67	Prunus Serotata	Japanese Cherry	Remove
134	86	Prunus Serotata	Japanese Cherry	Remove
135	68	Prunus Serotata	Japanese Cherry	Remove
139	22	Betula Papyrifera	Paper Birch	Remove
152	43	Pinus Contorta	Shore Pine	Remove
153	33	Chamaecyparis Pisifera	Sawara Cypress	Remove
154	37	Chamaecyparis Pisifera	Sawara Cypress	Remove
155	50	Chamaecyparis Pisifera	Sawara Cypress	Remove



- TREE MANAGEMENT PLAN NOTES:
- THIS PLAN IS FOR REFERENCE ONLY. REFER TO ARBORIST REPORT FOR HARRY JEROME NEIGHBOURHOOD LANDS, PREPARED BY DIAMONDHEAD CONSULTING LTD. (LAST UPDATED APRIL 2, 2018)
  - REFER TO ARBORIST REPORT FOR ALL APPLICABLE TREE PROTECTION MEASURES
  - ALL CONSTRUCTION WORK CLOSE TO EXISTING TREES TO BE RETAINED SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND IN CONSULTATION WITH THE PARK BOARD ARBORIST. SUCH WORK SHALL INCLUDE BUT NOT BE LIMITED TO, ANY EXCAVATION NEAR OR WITHIN THE TREE PROTECTION ZONES. ALL MODIFICATIONS TO SITE GRADING NEAR THE TREE PROTECTION AREAS, ALL ROOT PRUNING, ANY REQUIRED BRANCH PRUNING, AND ANY OTHERWISE NECESSARY ENCROACHMENT INTO THE TREE PROTECTION AREAS.
  - STREET TREE PROTECTION TO BE CONSTRUCTED AS PER CITY OF NORTH VANCOUVER BYLAW.
  - ALL TREE RETENTION, PROTECTION AND REPLACEMENT SHALL BE IN ACCORDANCE WITH CITY OF NORTH VANCOUVER TREE POLICY SECTION 1.0 PROTECTION OF CITY TREES
  - TREE PROTECTION BARRIERS TO BE A MINIMUM HEIGHT OF 1.2m MEASURED FROM THE GROUND.
  - TREE PROTECTION BARRIERS IN STREET BOULEVARDS ADJACENT TO THE SITE SHALL BE INSTALLED 0.6m MIN. FROM BACK OF CURB AND 0.3m MIN. FROM EDGE OF ANY SIDEWALK LOCATED WITHIN A GRASS BOULEVARD.
  - NO STORAGE OF BUILDING / CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
  - PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL AND / OR RELOCATION.



REVISIONS

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-05-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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PROJECT NO. 19031

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

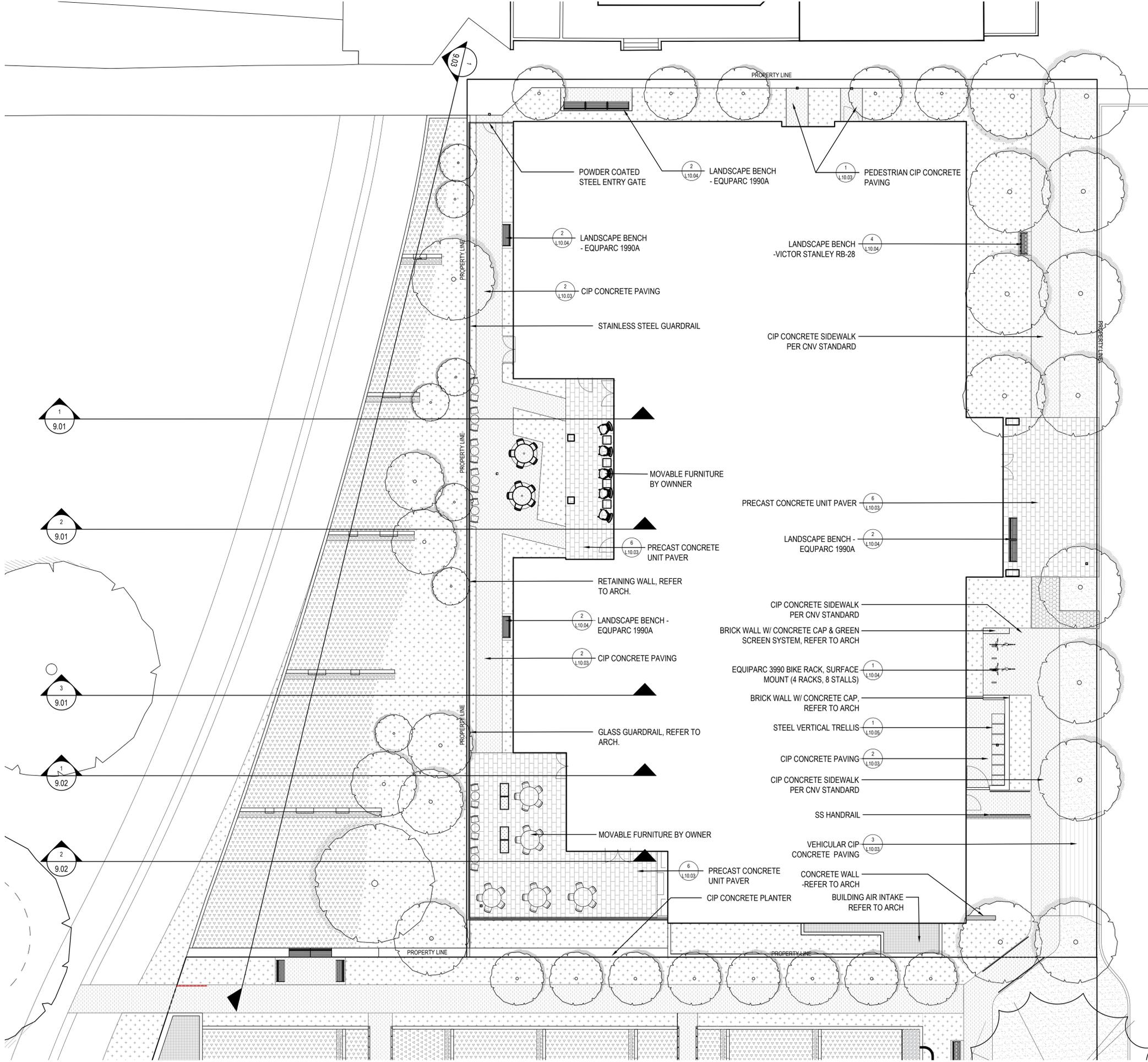
TREE MANAGEMENT PLAN

REAL

DRAWING NO.	REVISION

L1.01

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
3/32" = 1'	CP



MATERIAL PLAN LEGEND – GROUND FLOOR

- PRECAST CONCRETE UNIT PAVER
- PEDESTRIAN CIP CONCRETE PAVING
- VEHICULAR CIP CONCRETE PAVING
- BRICK WALL W/ CONCRETE CAP & GREEN SCREEN SYSTEM & CANOPY
- LANDSCAPE BENCH
- RAISED PLANTER
- BIKE RACK - EQUIPARC 3990
- LAWN
- RAIN GARDEN PLANTING
- GARDEN PLANTING
- GRAVEL
- STRUCTURAL SOIL

GENERAL LEGEND

- DRAINS
- $\frac{1}{L7.00}$  DETAIL NUMBER SET SHEET NO.

LAYOUT AND MATERIALS: GENERAL NOTES

1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
5. ALL WOOD PRODUCTS ARE EXTRACTED AND MANUFACTURED IN NON-TROPICAL LOCATIONS UNLESS FSC CERTIFIED.



REVISIONS		
NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
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CLIENT  
**SUNRISE SENIOR LIVING**

PROJECT NO. 19031

PROJECT **SENIORS ASSISTED & MEMORY CARE BUILDING**  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

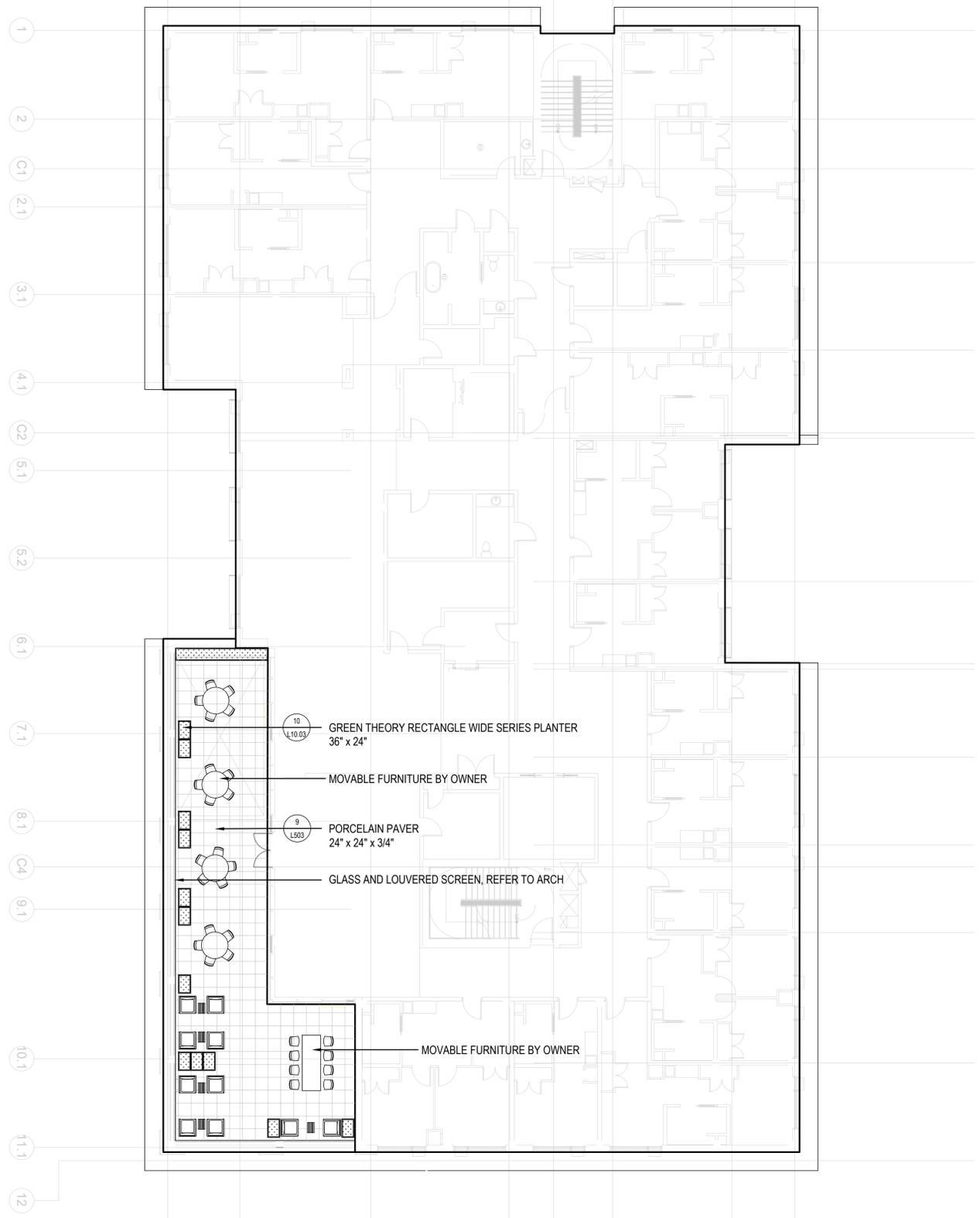
MATERIALS PLAN

SEAL

DRAWING NO. REVISION

L3.01

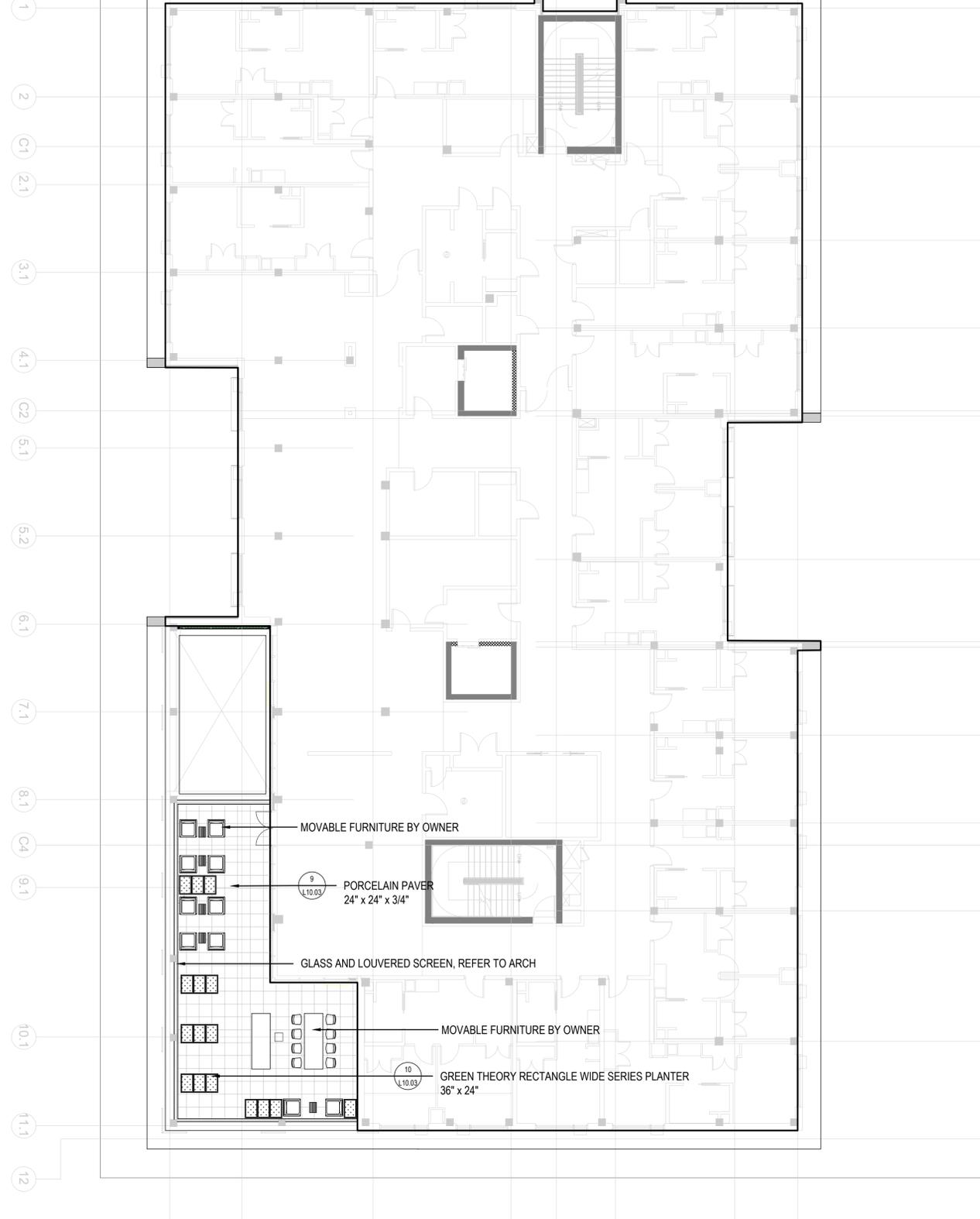
DATE 10-21-2020 DRAWN GF  
SCALE 3/32" = 1' CHECKED CP



**2 LANDSCAPE PLAN - LEVEL 3**  
SCALE: 3/32" = 1'

	PRECAST CONCRETE UNIT PAVER		RAISED PLANTER		GRAVEL
	PEDESTRIAN CIP CONCRETE PAVING		BIKE RACK - EQUIPARC 3990		STRUCTURAL SOIL
	VEHICULAR CIP CONCRETE PAVING		LAWN		DRAINS
	BRICK WALL W/ CONCRETE CAP & GREEN SCREEN SYSTEM & CANOPY		RAIN GARDEN PLANTING		DETAIL NUMBER
	LANDSCAPE BENCH		GARDEN PLANTING		SET SHEET NO.

**GENERAL LEGEND**



**2 LANDSCAPE PLAN - LEVEL 4**  
SCALE: 3/32" = 1'

**LAYOUT AND MATERIALS: GENERAL NOTES**

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- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL WOOD PRODUCTS ARE EXTRACTED AND MANUFACTURED IN NON-TROPICAL LOCATIONS UNLESS FSC CERTIFIED.

REVISIONS

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
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3	ADP RESUBMISSION	03-06-2020
4	DP RESUBMISSION	07-31-2020
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PROJECT NO. 19031  
PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

DRAWING TITLE  
**MATERIALS PLAN  
PATIO SPACES  
LEVEL 3 & 4**

SCALE

DRAWING NO.	REVISION

**L3.02**

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
3/32" = 1'	CP

REVISIONS		
NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-06-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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CLIENT



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 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

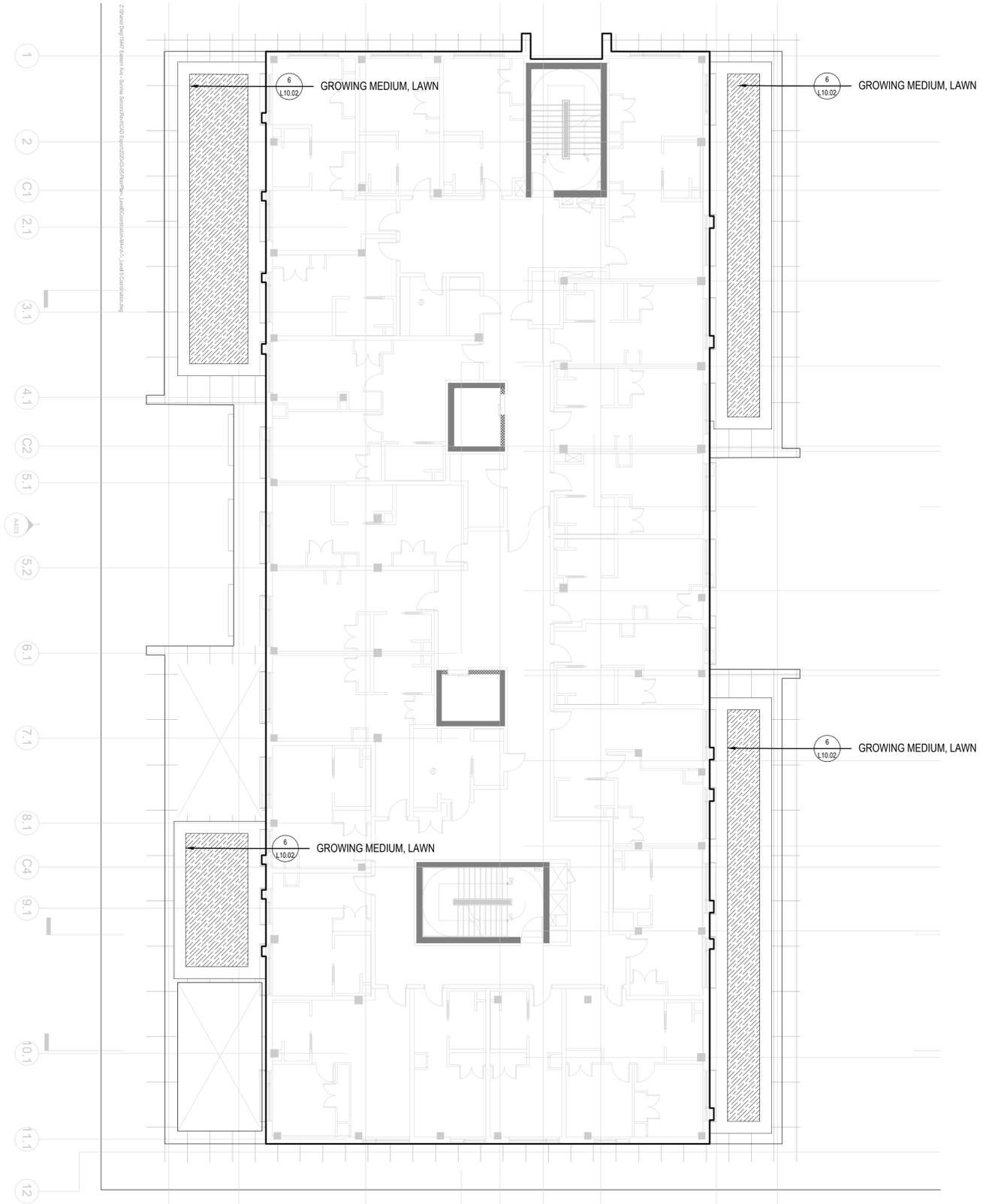
PATIO SPACES  
 LEVEL 5

REAL

DRAWING NO. REVISION

**L3.03**

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
3/32" = 1'	CP

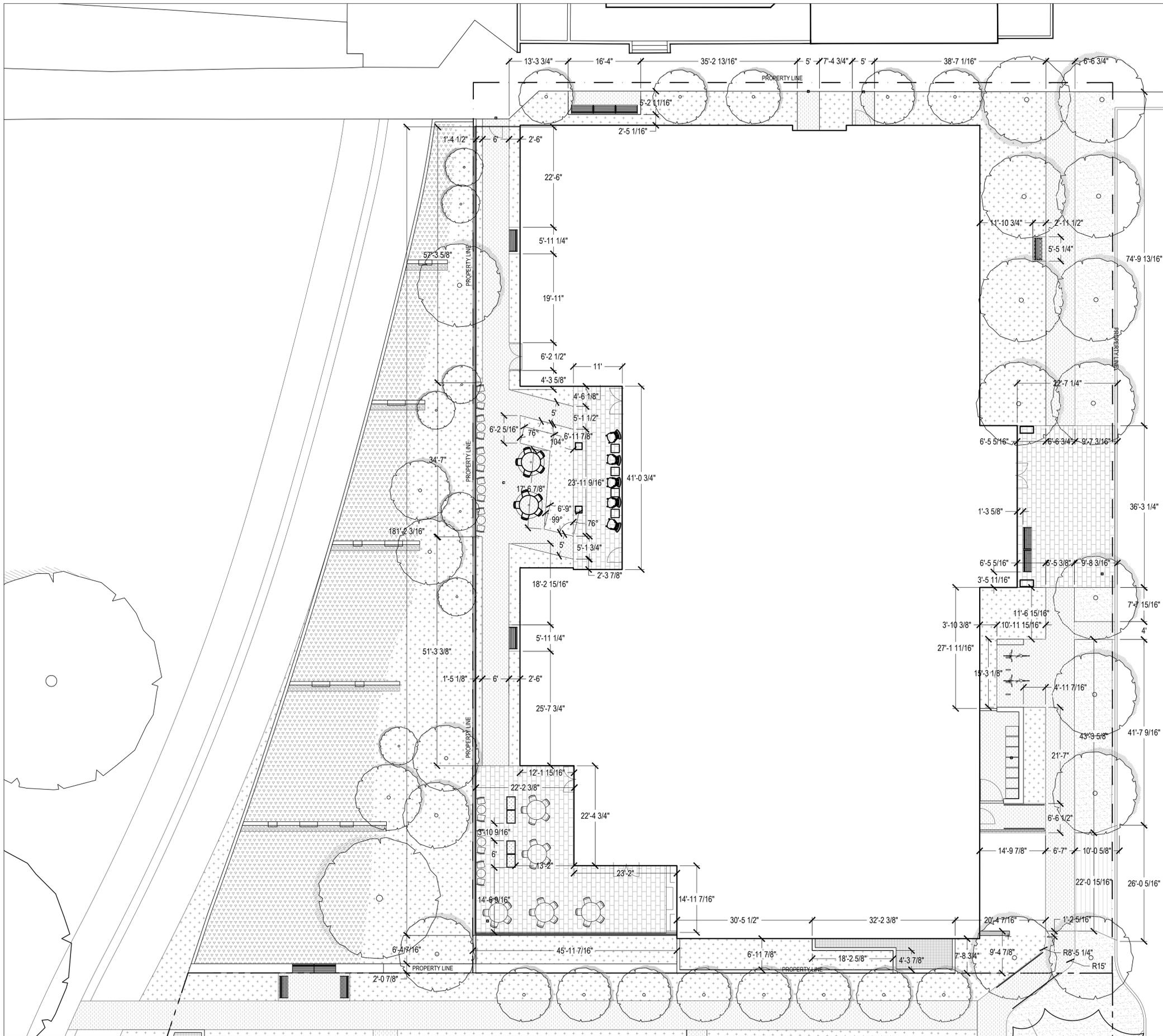


**1 LANDSCAPE PLAN - LEVEL 5**  
 SCALE: 3/32" = 1'

PRECAST CONCRETE UNIT PAVER	RAISED PLANTER	GRAVEL
PEDESTRIAN CIP CONCRETE PAVING	BIKE RACK - EQUIPARC 3990	STRUCTURAL SOIL
VEHICULAR CIP CONCRETE PAVING	LAWN	<b>GENERAL LEGEND</b>
BRICK WALL W/ CONCRETE CAP & GREEN SCREEN SYSTEM & CANOPY	RAIN GARDEN PLANTING	DRAINS
LANDSCAPE BENCH	GARDEN PLANTING	1 L7.00 DETAIL NUMBER SET SHEET NO.

LAYOUT AND MATERIALS: GENERAL NOTES

- DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL WOOD PRODUCTS ARE EXTRACTED AND MANUFACTURED IN NON-TROPICAL LOCATIONS UNLESS FSC CERTIFIED.



GENERAL LEGEND

- PROPERTY LINE
- EXISTING STREET CURB
- BIKE RACK
- LANDSCAPE BENCH

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-05-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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LAYOUT AND MATERIALS: GENERAL NOTES

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CLIENT



PROJECT NO.

19031

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

LAYOUT PLAN

SEAL

DRAWING NO.

REVISION

**L4.01**

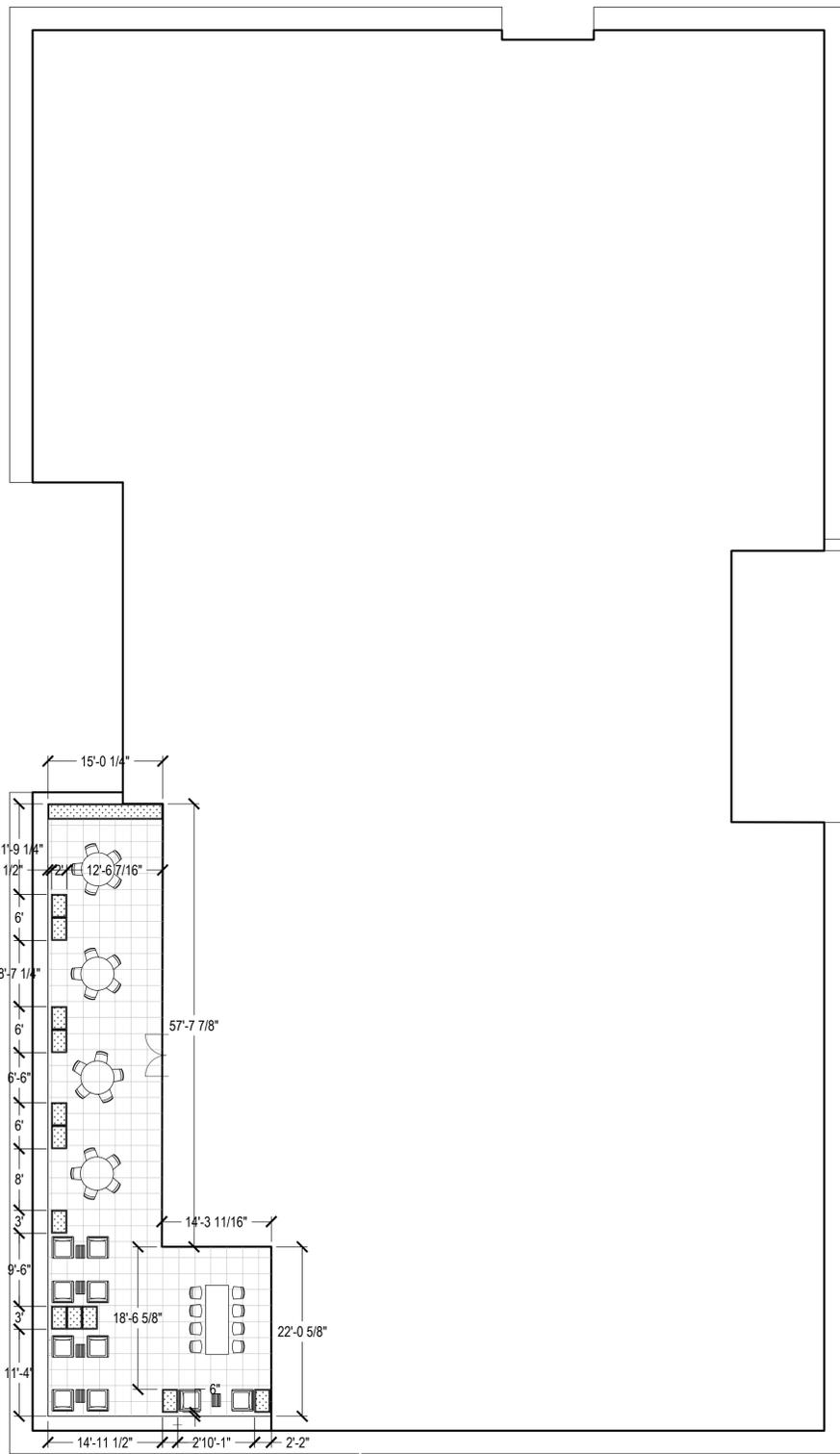
DATE  
 10-21-2020

DRAWN  
 GF

SCALE  
 3/32" = 1'

CHECKED  
 CP

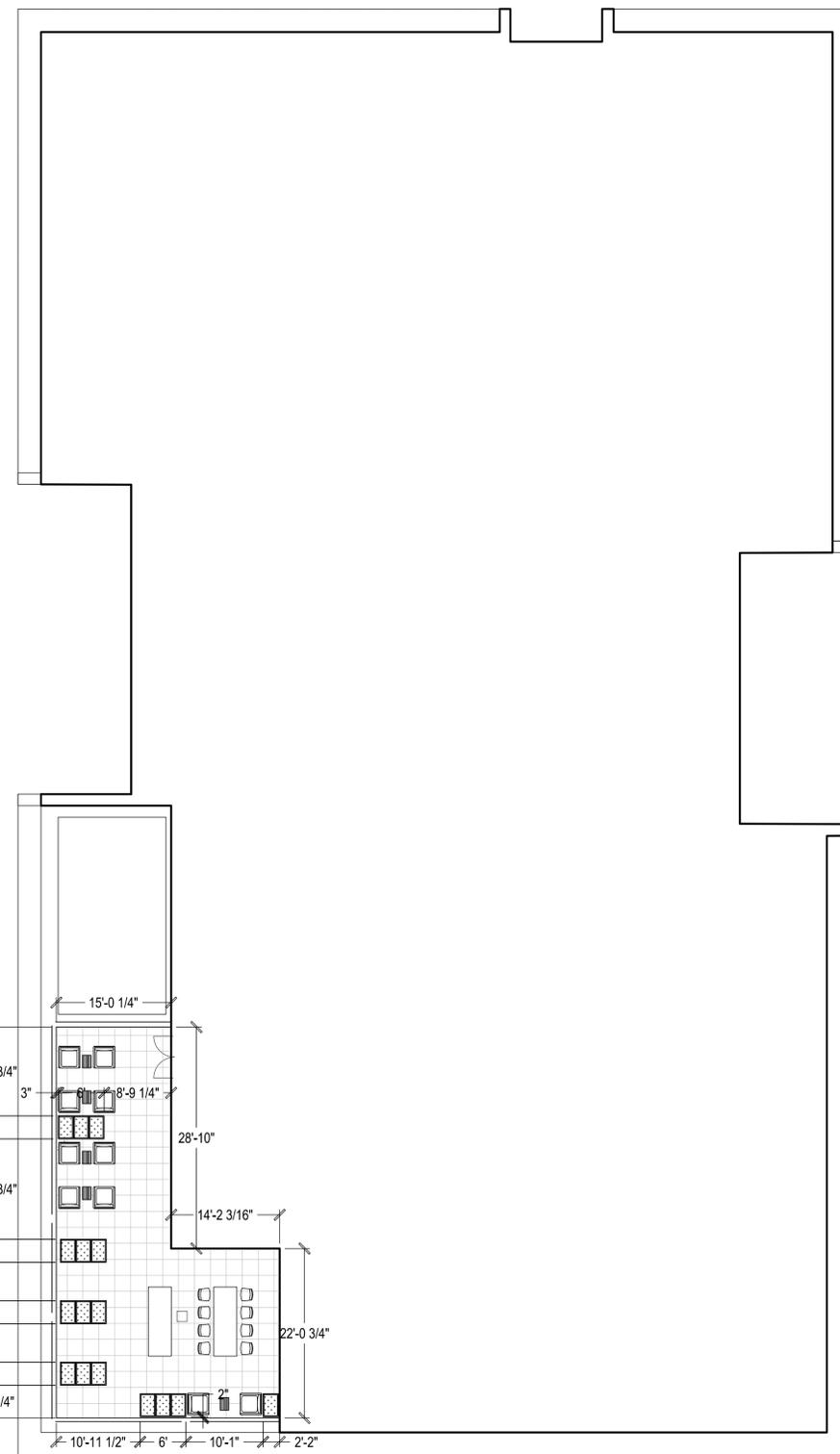
**1 LAYOUT PLAN - GROUND LEVEL**  
 SCALE: 3/32" = 1'-0"



**2** LAYOUT PLAN - LEVEL 3  
SCALE: 3/32" = 1'

GENERAL LEGEND

	PROPERTY LINE
	EXISTING STREET CURB
	BIKE RACK
	LANDSCAPE BENCH
	SRW



**2** LAYOUT PLAN - LEVEL 4  
SCALE: 3/32" = 1'

LAYOUT AND MATERIALS: GENERAL NOTES

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NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-05-2020
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CLIENT



PROJECT NO.

19031

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

DRAWING TITLE

LAYOUT PLAN  
PATIO SPACES  
LEVEL 3 & 4

SEAL

DRAWING NO.

REVISION

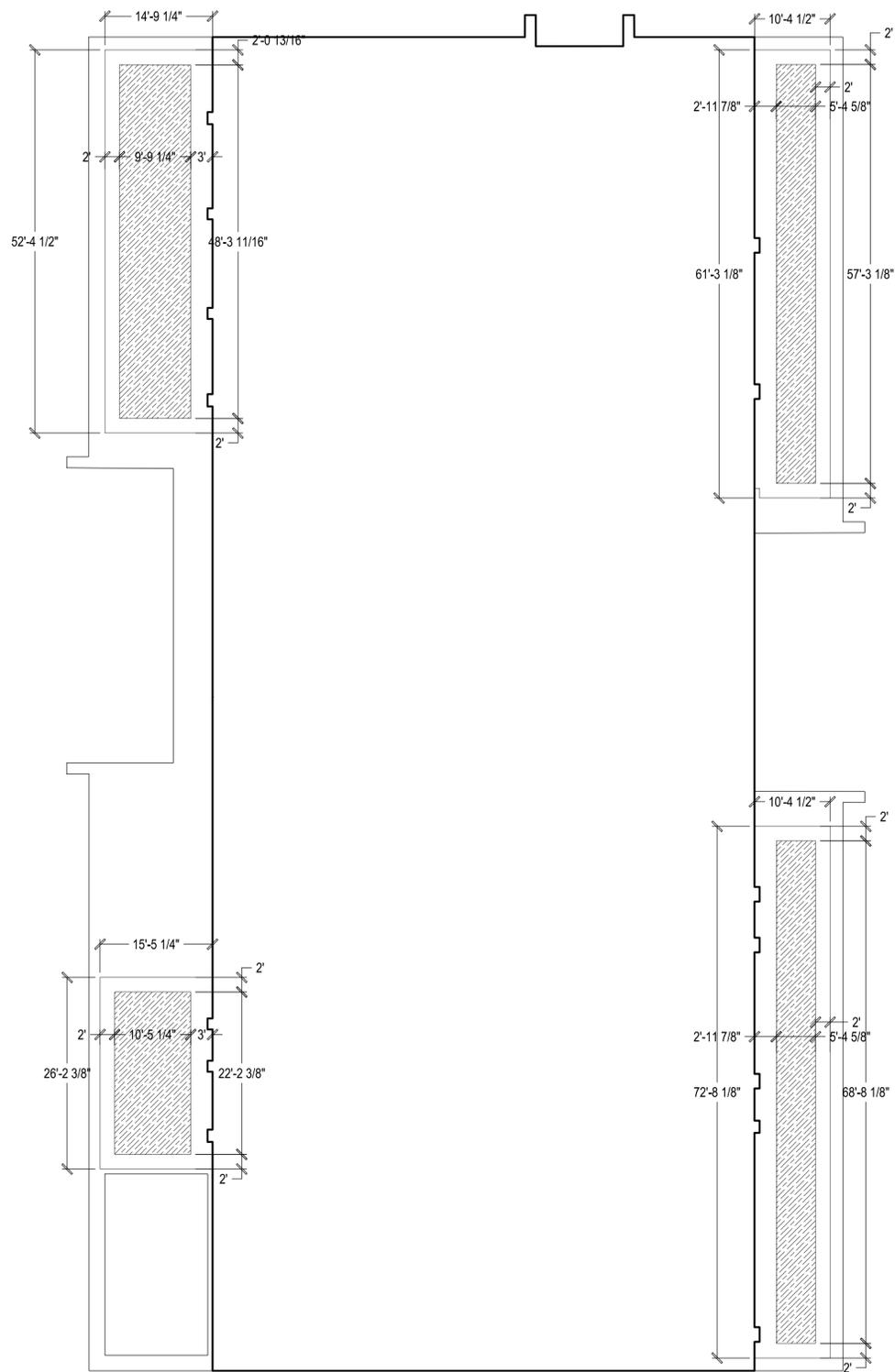
**L4.02**

DATE  
10-21-2020

DRAWN  
GF

SCALE  
3/32" = 1'

CHECKED  
CP



GENERAL LEGEND

-  PROPERTY LINE
-  EXISTING STREET CURB
-  BIKE RACK
-  LANDSCAPE BENCH
-  SRW

LAYOUT AND MATERIALS: GENERAL NOTES

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4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
5. ALL WOOD PRODUCTS ARE EXTRACTED AND MANUFACTURED IN NON-TROPICAL LOCATIONS UNLESS FSC CERTIFIED.

REVISIONS		
NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
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CLIENT



PROJECT NO.

19031

PROJECT

**SENIORS ASSISTED & MEMORY CARE BUILDING**  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

LAYOUT PLAN  
 -ROOFTOP

SEAL

DRAWING NO.

REVISION

**L4.03**

DATE

10-21-2020

DRAWN

GF

SCALE

3/32" = 1'

CHECKED

CP



MASTER PLANT SCHEDULE

SYM	KEY	BOTANICAL NAME	COMMON NAME	QTY	SPACING & SIZE
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STORMWATER FEATURE

TREES					
AC		Acer circinatum	Vine Maple	2	As Shown / 80mm cal.
AM		Acer macrophyllum	Big Leaf Maple	1	As Shown / 80mm cal.
CN		Cornus nutallii 'Eddie's White Wonder'	Flowering Dogwood	7	As Shown / 80mm cal.
PC		Pinus contorta var. contorta	Shore Pine	5	As Shown / 80mm cal.

GROUNDCOVERS, SHRUBS AND PERENNIALS					
Ac		Arbutus unedo 'compacta'	Dwarf Strawberry Bush	48" o.c. / #5 Pot / 5" Height / 5" Spread	
Bs		Blechnum spicant	Deer Fern	18" o.c. / #3 Pot / 18" Height / 24" Spread	
Cc		Cornus canadensis	Creeping Dogwood	12" o.c. / #1 Pot / 6" Height / 12" Spread	
Gs		Gaultheria shallon	Salal	18" o.c. / #3 Pot / 24" Height / 24" Spread	
Mn		Mahonia nervosa	Dull Oregon Grape	18" o.c. / #3 Pot / 24" Height / 36" Spread	
Pm		Polystichum munitum	Sword Fern	18" o.c. / #3 Pot / 18" Height / 24" Spread	
Rs		Rubus Spectabilis	Salmonberry	36" o.c. / #3 Pot / 36" Height / 36" Spread	
Vo		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	36" o.c. / #3 Pot / 60" Height / 48" Spread	

STORMWATER PLANTING					
Co		Carex obnupta	Slough Sedge	18" o.c. / #3 Pot / 5" Height / 2" Spread	
Cv		Carex vulpinoidea	Fox Sedge	18" o.c. / #2 Pot / 24" Height / 24" Spread	
Cs		Cornus sericea	Redosier Dogwood	36" o.c. / #5 Pot / 4" Height / 4" Spread	
Id		Iris douglasiana	Douglas Iris	18" o.c. / #2 Pot / 24" Height / 24" Spread	
Je		Juncus effusus	Soft Rush	18" o.c. / #3 Pot / 3" Height / 2" Spread	
Pc		Physocarpus capitatus	Pacific Ninebark	36" o.c. / #5 Pot / 4" Height / 4" Spread	
Sd		Spiraea douglasii	Hardhack	24" o.c. / #2 Pot / 4" Height / 3" Spread	
Sm		Scirpus microcarpus	Panicled Bulrush	18" o.c. / #2 Pot / 24" Height / 24" Spread	

ON-SITE PLANTING

TREES					
RP		Rhamnus purshiana	Cascara	5	As Shown / 80mm cal.
ZS		Zelkova serrata 'Green Vase'	Japanese Zelkova	13	As Shown / 80mm cal.

GROUNDCOVERS, SHRUBS AND PERENNIALS					
Ac		Arbutus unedo 'compacta'	Dwarf Strawberry Bush	48" o.c. / #5 Pot / 5" Height / 5" Spread	
Af		Aquilegia formosa	Red Columbine	12" o.c. / #3 Pot / 24" Height / 12" Spread	
Aw		Astilbe 'White'	White Astilbe	24" o.c. / #3 Pot / 36" Height / 24" Spread	
Bs		Blechnum spicant	Deer Fern		
CoE		Carex oshimensis 'Everlime'	Everlime Variegated Sedge	12" o.c. / #1 Pot / 9" Height / 18" Spread	
Cm		Clematis montana 'Freda'	Freda Anemone Clematis	36" spacing	
Ep		Echinacea purpurea 'Kim's Knee High'	Kim's Knee High Echinacea	18" o.c. / #1 Pot / 18" Height / 12" Spread	
Gs		Gaultheria shallon	Salal	18" o.c. / #3 Pot / 24" Height / 24" Spread	
La		Lavandula angustifolia 'Hidcote'	Hidcote Lavender	18" o.c. / #1 Pot / 18" Height / 12" Spread	
Ln		Lonicera nitida 'Baggesen's Gold'	Baggesen's Gold Box Honeysuckle	24" o.c. / #3 Pot / 24" Height / 24" Spread	
Mr		Maianthemum racemosum	False Solomon Seal	12" o.c. / #1 Pot / 18" Height / 12" Spread	
Pm		Polystichum munitum	Sword Fern	18" o.c. / #3 Pot / 18" Height / 24" Spread	
Rs		Rubus Spectabilis	Salmonberry	36" o.c. / #3 Pot / 36" Height / 36" Spread	
Sj		Skimmia japonica 'Rubinetta'	Rubinetta Skimmia	12" o.c. / #1 Pot / 6" Height / 12" Spread	
Vo		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	36" o.c. / #3 Pot / 60" Height / 48" Spread	

SOD 1304 sq ft

Sedum Mat LIVE ROOF Green Roof System

STREET TREE NOTES:  
FINAL SPACING, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE CITY OF NORTH VANCOUVER. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 2 1/2" CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE.  
IRRIGATION NOTES:  
ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AUTOMATED IRRIGATION SYSTEM WITH FULL COVERAGE

PLANTING: GENERAL NOTES

- INSTALL ALL PLANT MATERIAL TO CITY OF NORTH VANCOUVER REQUIREMENTS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BC SLA / BCLNA LANDSCAPE STANDARD, LATEST EDITION.
- AREA OF SEARCH: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.
- PROVIDE DISEASE AND PEST-FREE PLANT MATERIAL FROM S.O.D. CERTIFIED NURSERIES, PROVIDE GUARANTY OF CERTIFICATION.
- NEW PROPOSED STREET TREES SHOULD BE COORDINATED WITH ENGINEERING AND PARK BOARD AND THE ADDITION OF THE STANDARD NOTE REGARDING STREET TREES: FINAL SPECIES, QUANTITY AND SPACING TO THE APPROVAL OF CITY ENGINEER AND THE PARK BOARD.
- ALL LANDSCAPE AREAS ARE TO BE FULLY IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM.
- PROVIDE ADEQUATE SUB-SURFACE DRAINAGE FOR ALL PLANTED AREAS.
- SODDED LAWN NOT TO BE PLANTED IN DENSELY SHADED AREAS. TURF TO SURVIVE WITHOUT RAINFALL FOR SHORT PERIODS.



NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-09-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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CLIENT



PROJECT NO.

19031

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

DRAWING TITLE

PLANTING PLAN

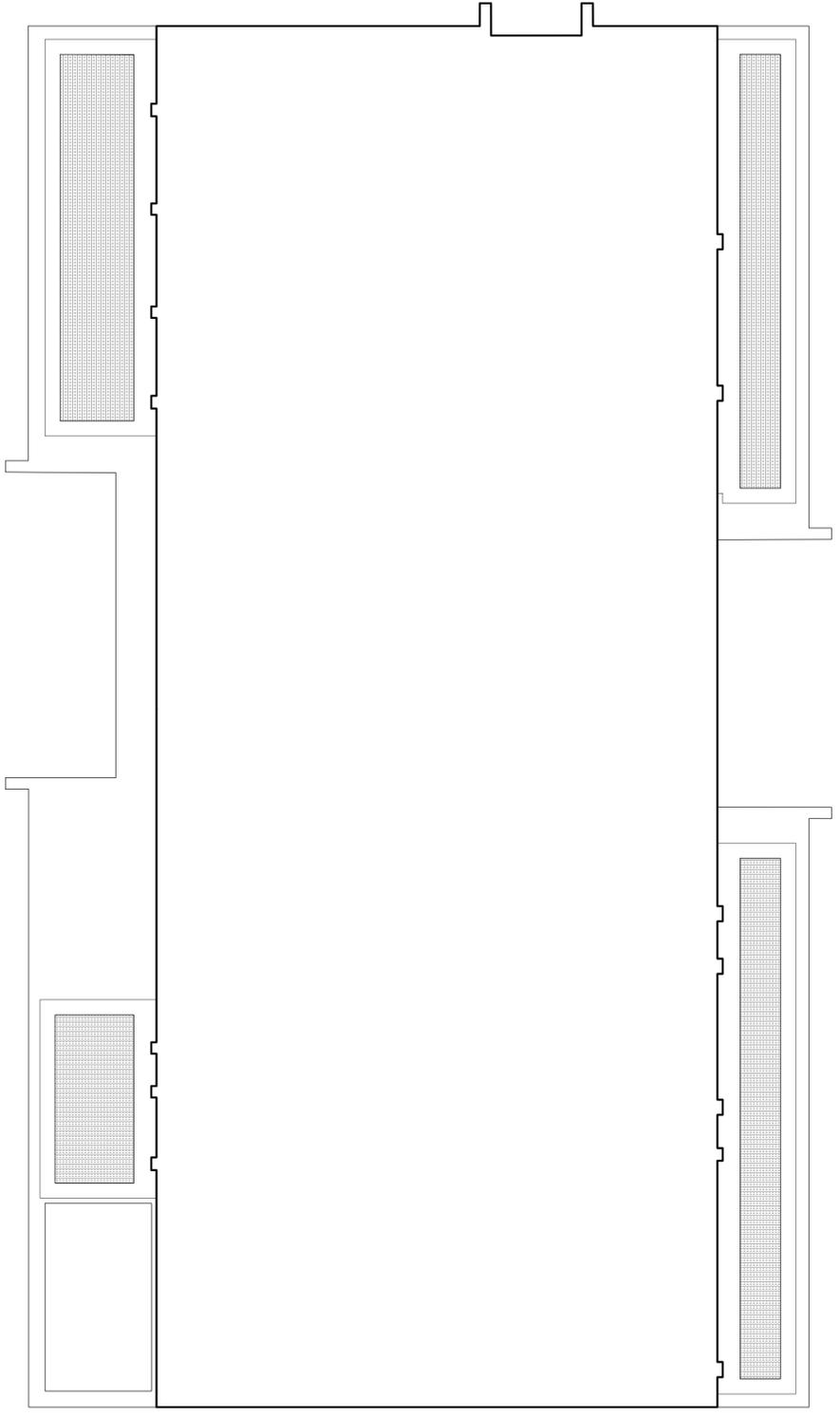
SCALE

DRAWING NO. REVISION

L6.01

DATE 10-21-2020 DRAWN GF

SCALE CHECKED CP



SYM	KEY	BOTANICAL NAME	COMMON NAME	QTY	SPACING & SIZE
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**STORMWATER FEATURE**

TREES					
AC		Acer circinatum	Vine Maple	2	As Shown / 80mm cal.
AM		Acer macrophyllum	Big Leaf Maple	1	As Shown / 80mm cal.
CN		Cornus nutallii 'Eddie's White Wonder'	Flowering Dogwood	7	As Shown / 80mm cal.
PC		Pinus contorta var. contorta	Shore Pine	5	As Shown /80mm cal.

GROUNDCOVERS, SHRUBS AND PERENNIALS					
Ac		Arbutus unedo 'compacta'	Dwarf Strawberry Bush	48" o.c. / #5 Pot / 5' Height / 5' Spread	
Bs		Blechnum spicant	Deer Fern	18" o.c. / #3 Pot / 18" Height / 24" Spread	
Cc		Cornus canadensis	Creeping Dogwood	12" o.c. / #1 Pot / 6" Height / 12" Spread	
Gs		Gaultheria shallon	Salal	18" o.c. / #3 Pot / 24" Height / 24" Spread	
Mn		Mahonia nervosa	Dull Oregon Grape	18" o.c. / #3 Pot / 24" Height / 36" Spread	
Pm		Polystichum munitum	Sword Fern	18" o.c. / #3 Pot / 18" Height / 24" Spread	
Rs		Rubus Spectabilis	Salmonberry	36" o.c. / #3 Pot / 36" Height / 36" Spread	
Vo		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	36 o.c. / #3 Pot / 60" Height / 48" Spread	

STORMWATER PLANTING					
Co		Carex obnupta	Slough Sedge	18" o.c. / #3 Pot / 5' Height / 2' Spread	
Cv		Carex vulpinoidea	Fox Sedge	18" o.c. / #2 Pot / 24" Height / 24" Spread	
Cs		Cornus sericea	Redosier Dogwood	36" o.c. / #5 Pot / 4' Height / 4' Spread	
Id		Iris douglasiana	Douglas Iris	18" o.c. / #2 Pot / 24" Height / 24" Spread	
Je		Juncus effusus	Soft Rush	18" o.c. / #3 Pot / 3' Height / 2' Spread	
Pc		Physocarpus capitatus	Pacific Ninebark	36" o.c. / #5 Pot / 4' Height / 4' Spread	
Sd		Spiraea douglasii	Hardhack	24" o.c. / #2 Pot / 4' Height / 3' Spread	
Sm		Scirpus microcarpus	Panicled Bulrush	18" o.c. / #2 Pot / 24" Height / 24" Spread	

**ON-SITE PLANTING**

TREES					
RP		Rhamnus purshiana	Cascara	5	As Shown / 80mm cal.
ZS		Zelkova serrata 'Green Vase'	Japanese Zelkova	13	As Shown / 80mm cal.

GROUNDCOVERS, SHRUBS AND PERENNIALS					
Ac		Arbutus unedo 'compacta'	Dwarf Strawberry Bush	48" o.c. / #5 Pot / 5' Height / 5' Spread	
Af		Aquilegia formosa	Red Columbine	12" o.c. / #3 Pot / 24" Height / 12" Spread	
Aw		Astilbe 'White'	White Astilbe	24" o.c. / #3 Pot / 36" Height / 24" Spread	
Bs		Blechnum spicant	Deer Fern		
CoE		Carex oshimensis 'Everlime'	Everlime Variegated Sedge	12" o.c. / #1 Pot / 9" Height / 18" Spread	
Cm		Clematis montana 'Freda'	Freda Anemone Clematis	36" spacing	
Ep		Echinacea purpurea 'Kim's Knee High'	Kim's Knee High Echinacea	18" o.c. / #1 Pot / 18" Height / 12" Spread	
Gs		Gaultheria shallon	Salal	18" o.c. / #3 Pot / 24" Height / 24" Spread	
La		Lavandula angustifolia 'Hidcote'	Hidcote Lavender	18" o.c. / #1 Pot / 18" Height / 12" Spread	
Ln		Lonicera nitida 'Baggesen's Gold'	Baggesen's Gold Box Honeysuckle	24" o.c. / #3 Pot / 24" Height / 24" Spread	
Mr		Maianthemum racemosum	False Solomon Seal	12" o.c. / #1 Pot / 18" Height / 12" Spread	
Pm		Polystichum munitum	Sword Fern	18" o.c. / #3 Pot / 18" Height / 24" Spread	
Rs		Rubus Spectabilis	Salmonberry	36" o.c. / #3 Pot / 36" Height / 36" Spread	
Sj		Skimmia japonica 'Rubinetta'	Rubinetta Skimmia	12" o.c. / #1 Pot / 6" Height / 12" Spread	
Vo		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	36 o.c. / #3 Pot / 60" Height / 48" Spread	

SOD				1304 sq ft	
		Sedum Mat			
		LIVE ROOF Green Roof System			

**STREET TREE NOTES:**  
 FINAL SPACING, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE CITY OF NORTH VANCOUVER. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 2 1/2" CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE.

**IRRIGATION NOTES:**  
 ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AUTOMATED IRRIGATION SYSTEM WITH FULL COVERAGE

- PLANTING: GENERAL NOTES**
- INSTALL ALL PLANT MATERIAL TO CITY OF NORTH VANCOUVER REQUIREMENTS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCSLA / BCLNA LANDSCAPE STANDARD, LATEST EDITION.
  - AREA OF SEARCH: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.
  - PROVIDE DISEASE AND PEST-FREE PLANT MATERIAL FROM S.O.D. CERTIFIED NURSERIES, PROVIDE GUARANTY OF CERTIFICATION.
  - NEW PROPOSED STREET TREES SHOULD BE COORDINATED WITH ENGINEERING AND PARK BOARD AND THE ADDITION OF THE STANDARD NOTE REGARDING STREET TREES: FINAL SPECIES, QUANTITY AND SPACING TO THE APPROVAL OF CITY ENGINEER AND THE PARK BOARD.
  - ALL LANDSCAPE AREAS ARE TO BE FULLY IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM.
  - PROVIDE ADEQUATE SUB-SURFACE DRAINAGE FOR ALL PLANTED AREAS.
  - SODDED LAWN NOT TO BE PLANTED IN DENSELY SHADED AREAS. TURF TO SURVIVE WITHOUT RAINFALL FOR SHORT PERIODS.

**REVISIONS**

NO.	DESCRIPTION	DATE
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PROJECT NO. 19031

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE  
**PLANTING PLAN -ROOFTOP**

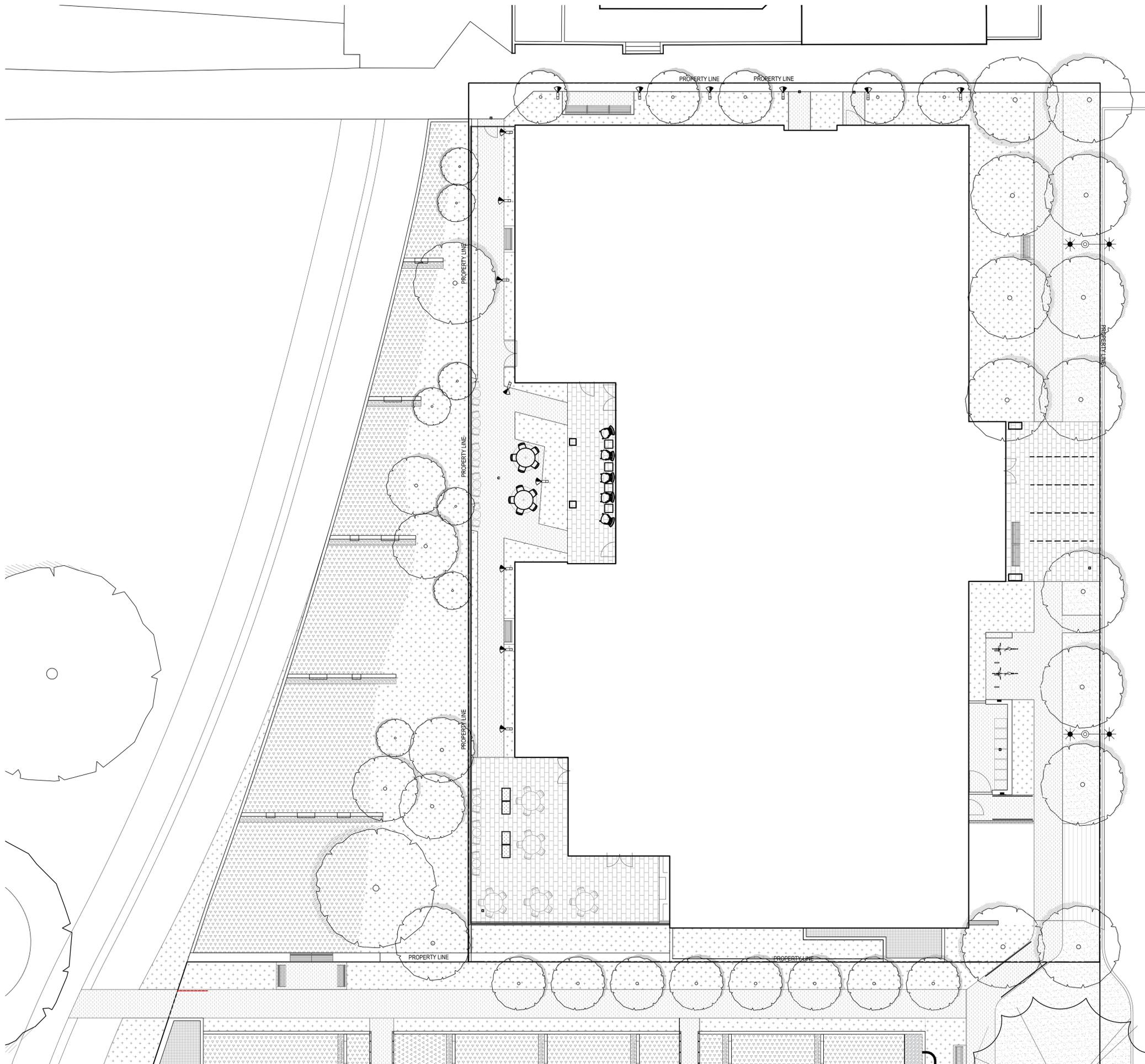
SCALE

DRAWING NO.	REVISION

**L6.02**

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
	CP

**1 PLANTING PLAN - LEVEL 5 GREEN ROOF**  
 SCALE: 3/32" = 1'



**LIGHTING LEGEND**

- SOFFIT LIGHTING  
REFER TO ARCH
- ⦿ BOLLARD LIGHT, LOW-LEVEL PATH  
HESS - LINEA BOLLARD, LN950, LED, 41"
- RECESSED WALL LIGHT  
BEGA 33 053 RECESSED WALL LIGHT

- ⦿ STREET LIGHT - PEDESTRIAN  
PER CNV STANDARD
- ⦿ STREET LIGHT - ROAD  
PER CNV STANDARD

LIGHTING GENERAL NOTES  
THIS DRAWING IS FOR REFERENCE ONLY.  
SEE ELECTRICAL DRAWING FOR LIGHTING DESIGN.



HESS - LINEA  
BOLLARD PATH LIGHTING  
QUANTITY: 14



BEGA - 33 053  
RECESSED WALL LIGHT  
QUANTITY: 2

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-09-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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CLIENT



PROJECT NO. 19031

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

DRAWING TITLE  
**LIGHTING PLAN**

SCALE

DRAWING NO.	REVISION

**L8.01**

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
3/32" = 1'	CP

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-09-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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CLIENT



PROJECT NO. 19031

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

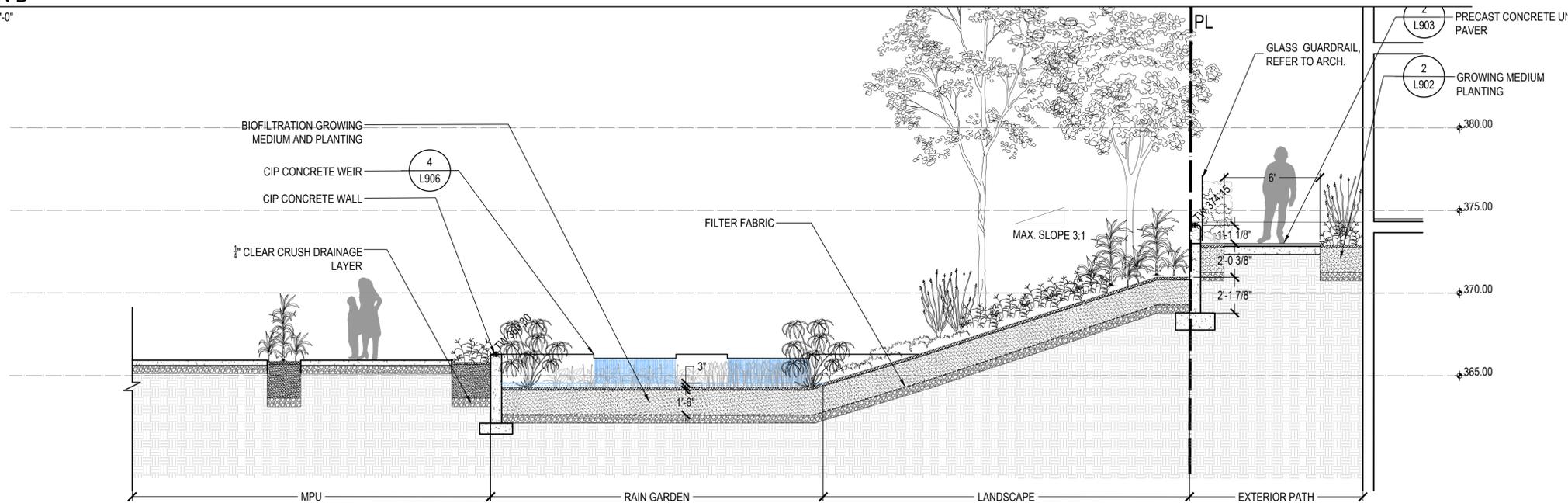
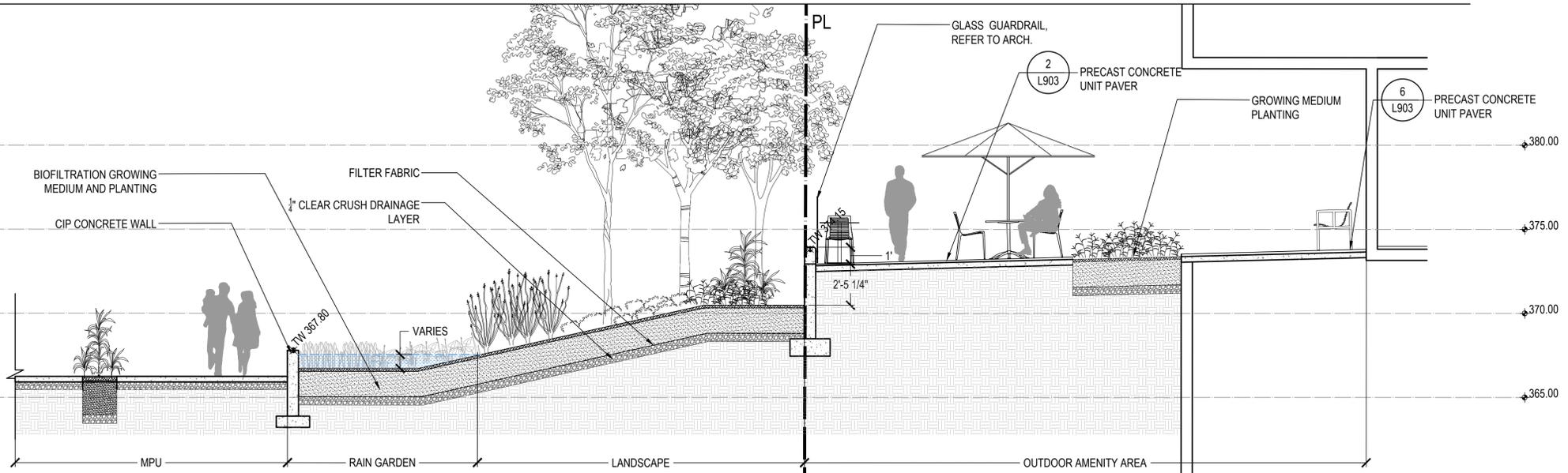
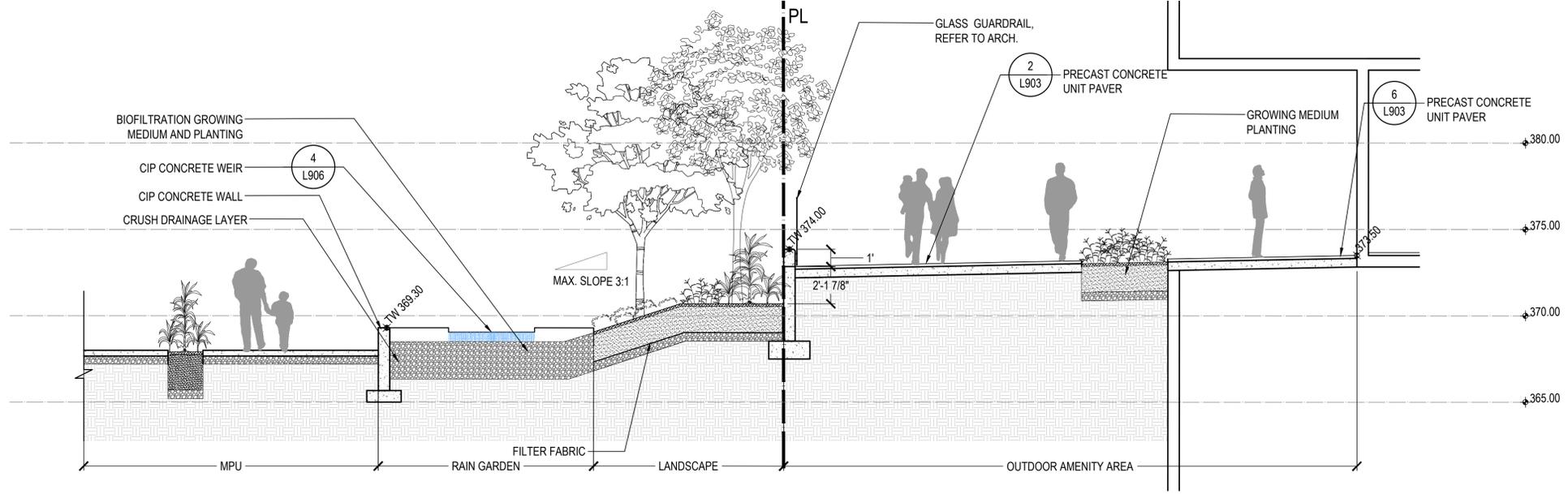
LANDSCAPE SECTIONS

SCALE

DRAWING NO.	REVISION

**L9.01**

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
1/4" = 1'	CP



**SECTION C**  
 SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-09-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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CLIENT



PROJECT NO. 19031

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

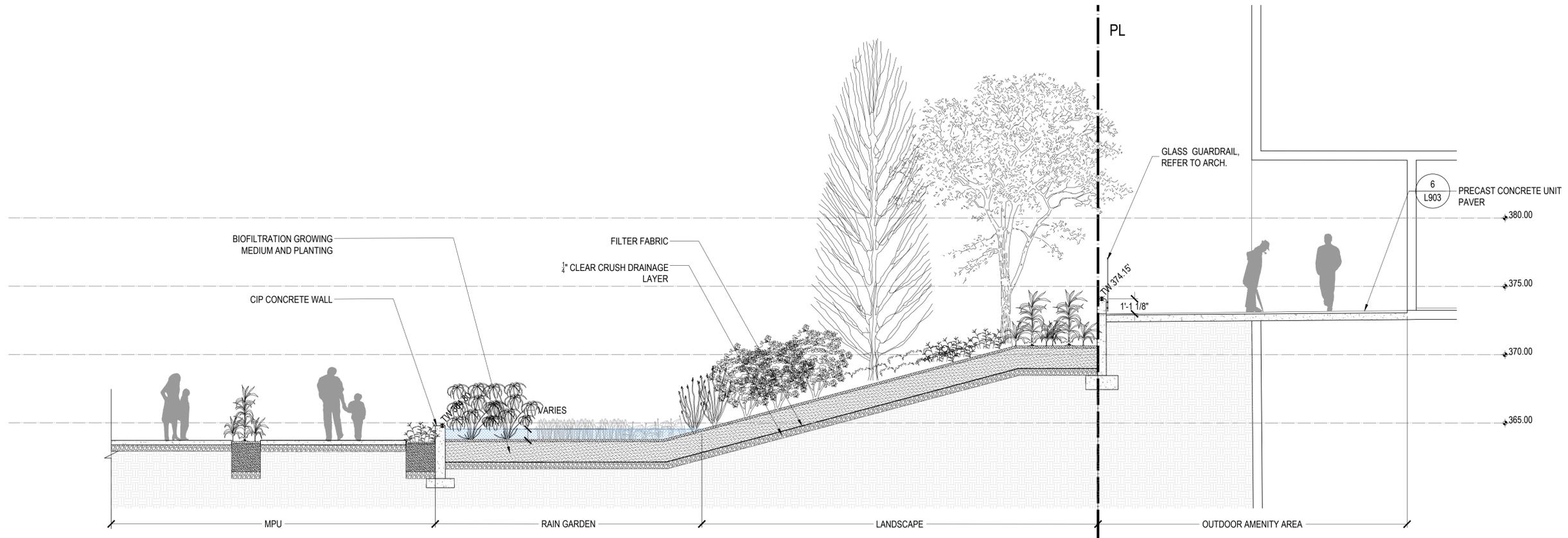
LANDSCAPE SECTIONS

SCALE

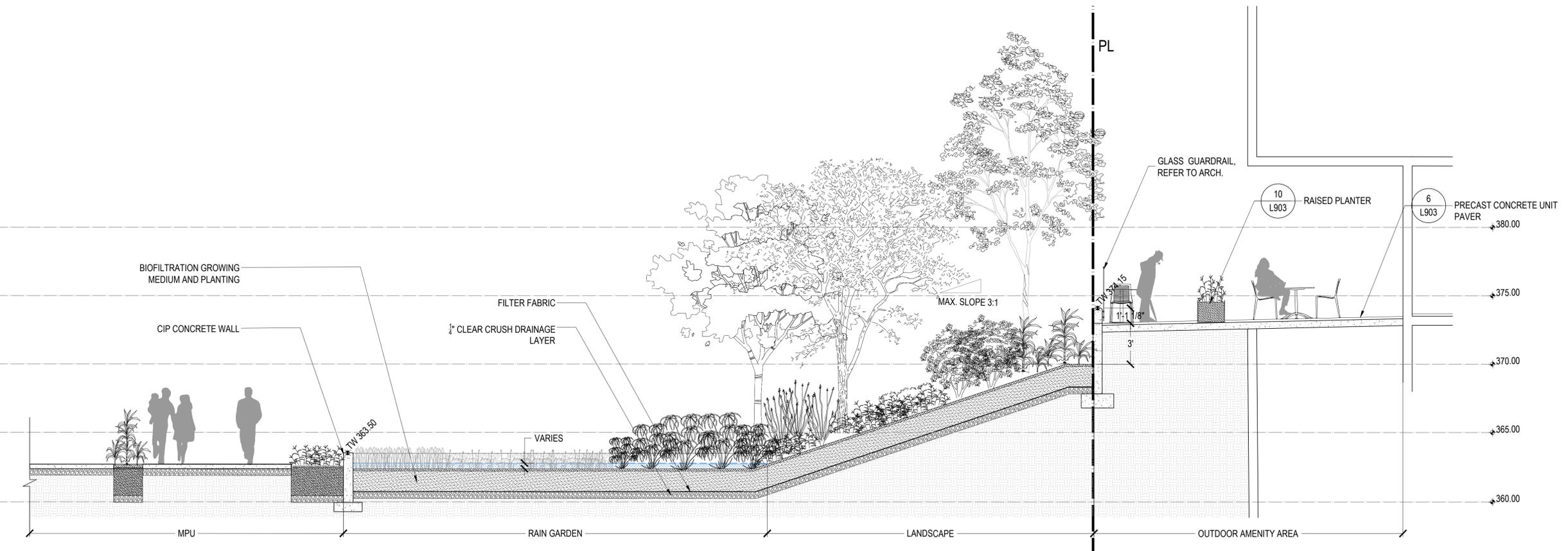
DRAWING NO. REVISION

**L9.02**

DATE 10-21-2020 DRAWN GF  
 SCALE 1/4" = 1' CHECKED CP



**1 SECTION D**  
 SCALE: 1/4"=1'-0"

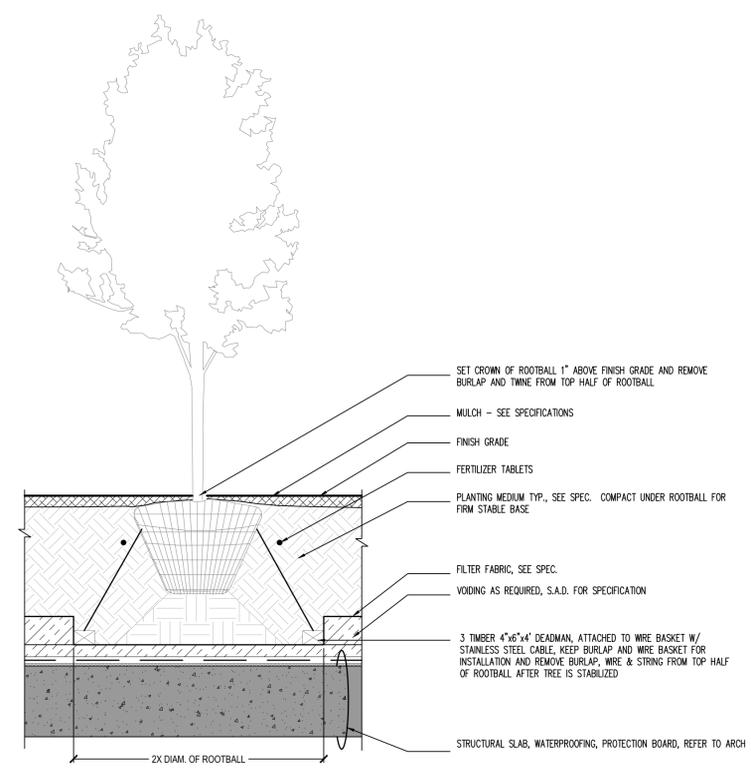
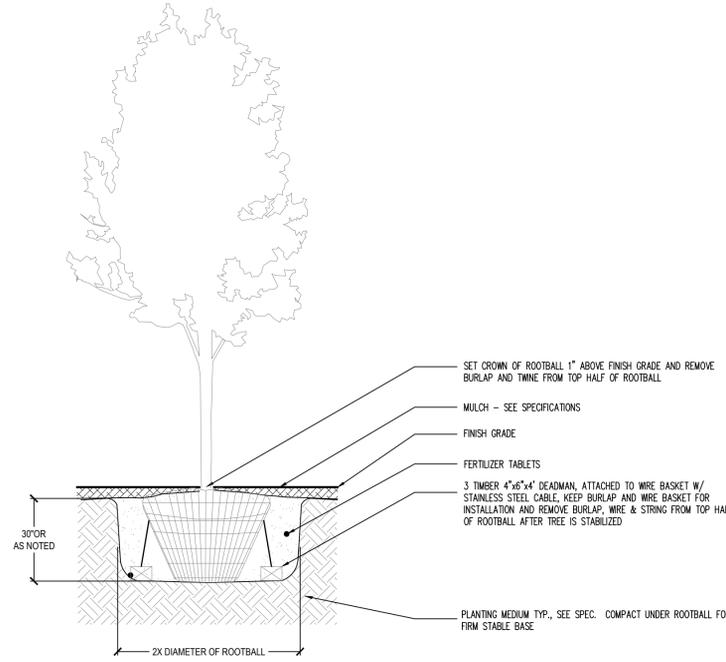
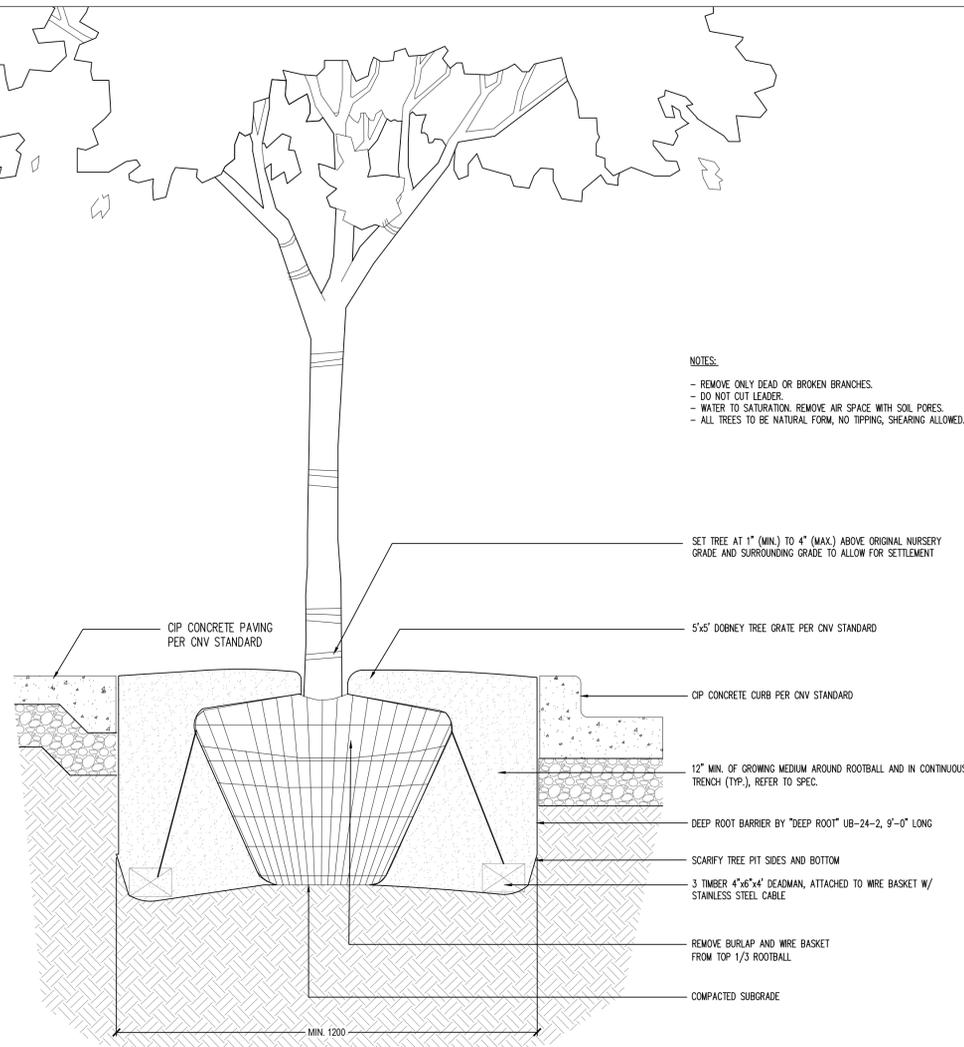


**2 SECTION E**  
 SCALE: 1/4"=1'-0"



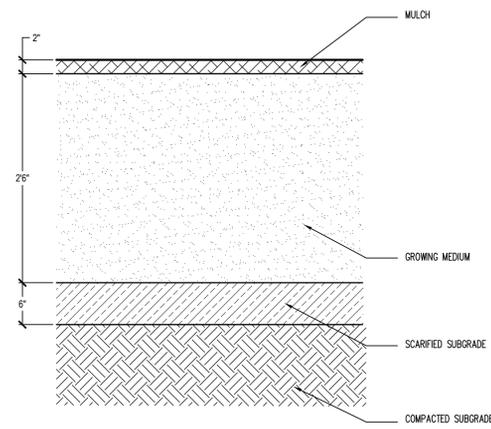
REVISIONS		
NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-06-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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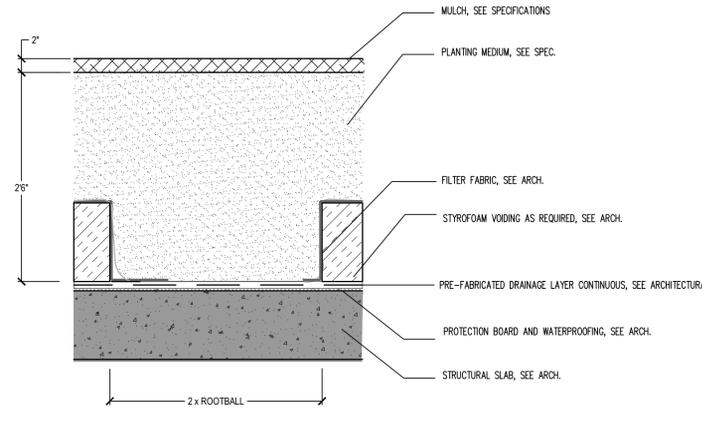


**1 STREET TREE PLANTING W/ TREE GRATE TYPICAL**  
 SCALE: NTS

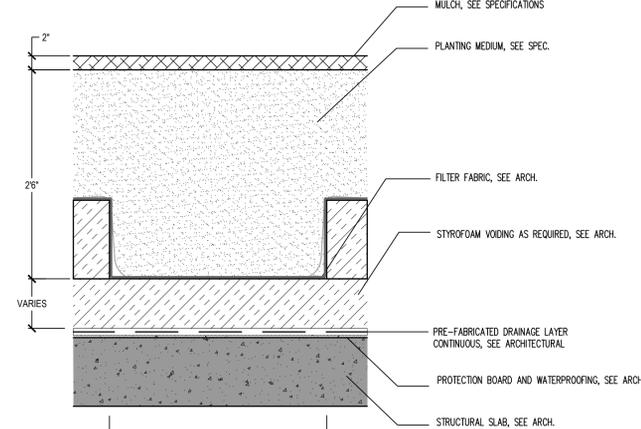
**2 TREE PLANTING TYPICAL**  
 SCALE: NTS



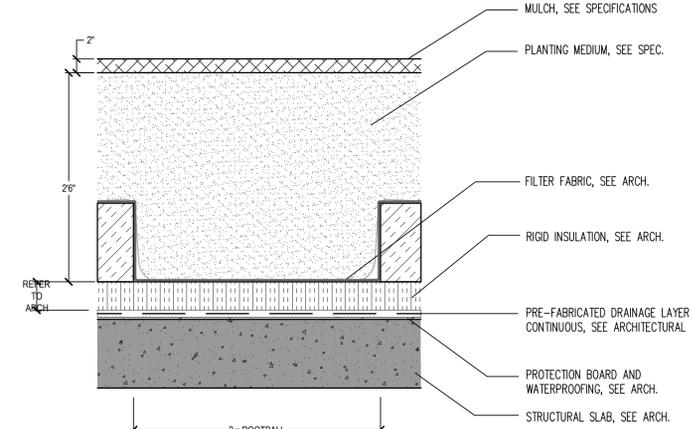
TREE PLANTING ON GRADE



TREE PLANTING ON SLAB, MINIMUM DEPTH



TREE PLANTING ON SLAB, WITH VOIDING



TREE PLANTING ON INSULATED SLAB

**3 GROWING MEDIUM TYPICAL**  
 SCALE: NTS

CLIENT



PROJECT NO.

19031

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

PLANTING DETAILS

SEAL

DRAWING NO.

REVISION

**L10.01**

DATE

10-21-2020

SCALE

NTS

DRAWN

GF

CHECKED

CP

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-06-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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CLIENT



PROJECT NO. 19031

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

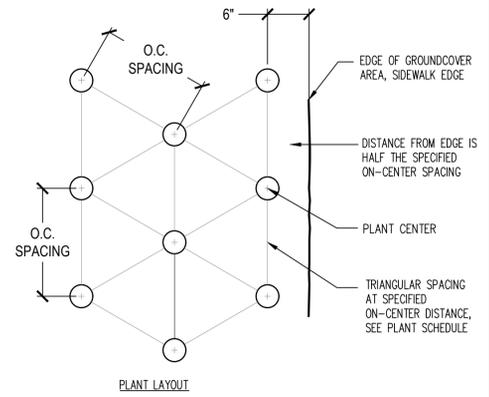
LANDSCAPE DETAILS  
 - PLANTING

SEAL

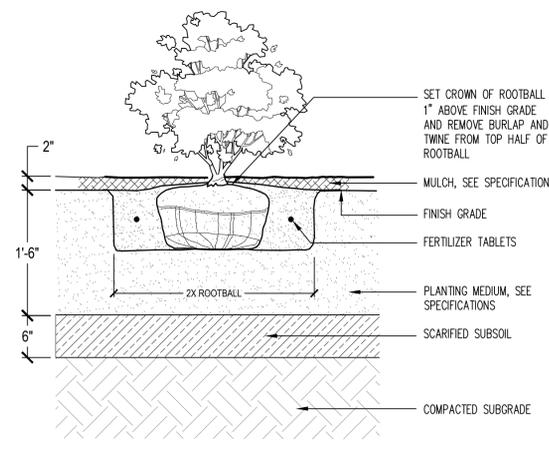
DRAWING NO. REVISION

L10.02

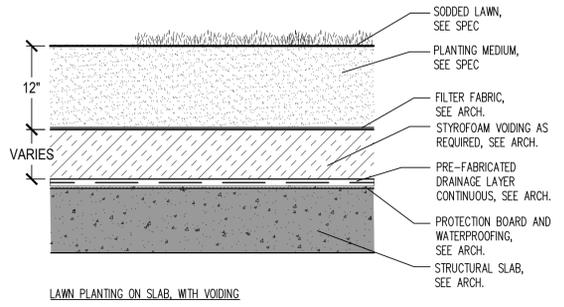
DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
NTS	CP



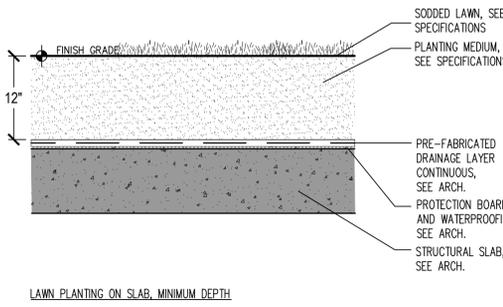
**3 O.C.SPACING**  
 SCALE: NTS



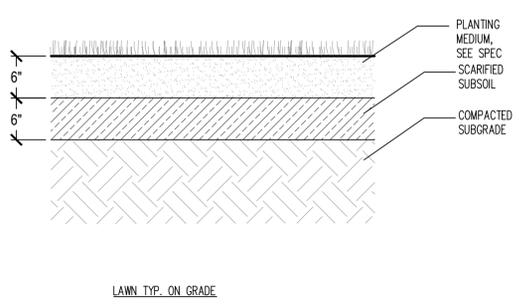
**2 SHRUB PLANTING TYPICAL**  
 SCALE: NTS



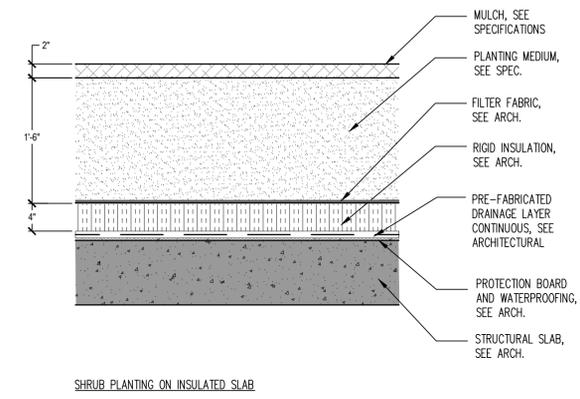
LAWN PLANTING ON SLAB, WITH VOIDING



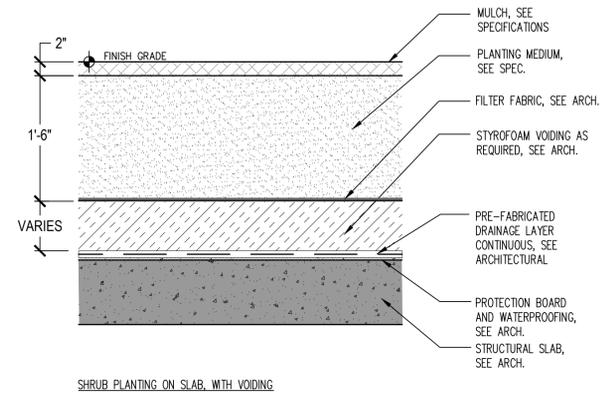
LAWN PLANTING ON SLAB, MINIMUM DEPTH



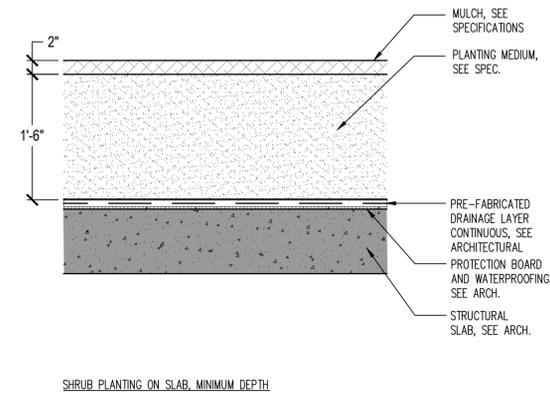
LAWN TYP. ON GRADE



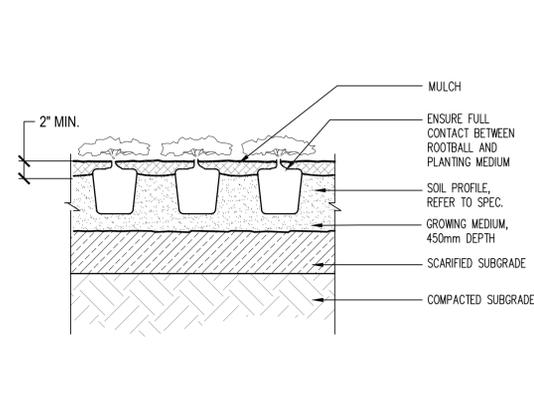
SHRUB PLANTING ON INSULATED SLAB



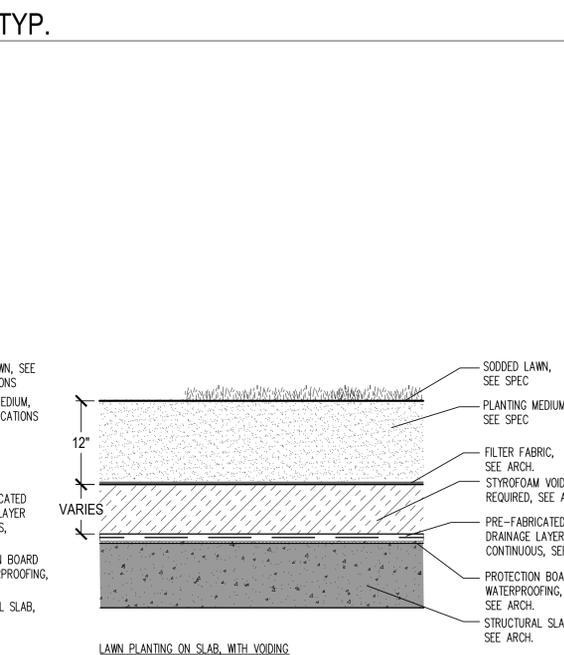
SHRUB PLANTING ON SLAB, WITH VOIDING



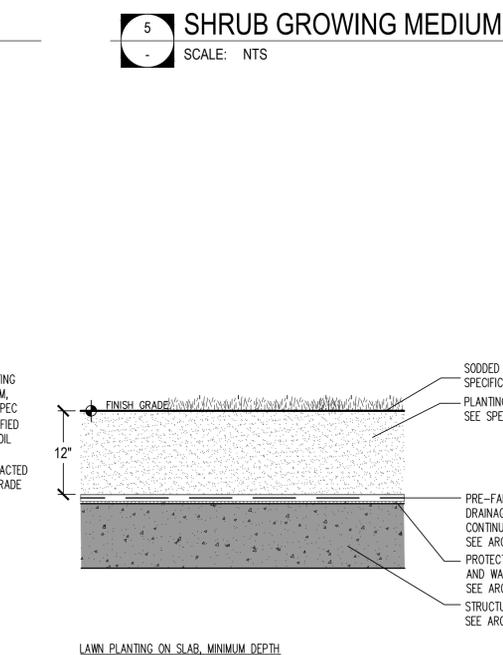
SHRUB PLANTING ON SLAB, MINIMUM DEPTH



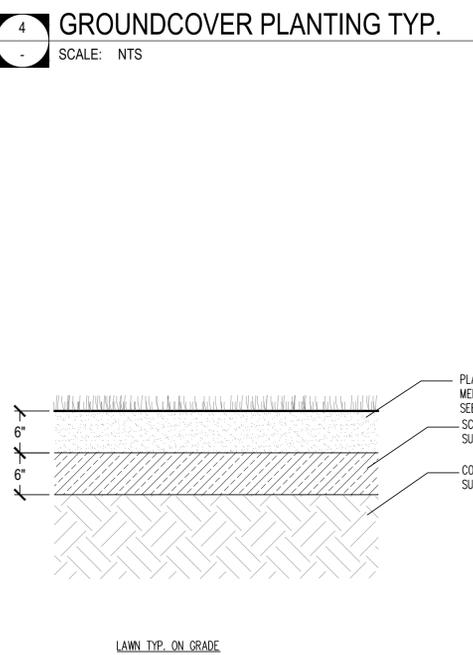
**4 GROUNDCOVER PLANTING TYP.**  
 SCALE: NTS



LAWN PLANTING ON SLAB, WITH VOIDING



LAWN PLANTING ON SLAB, MINIMUM DEPTH

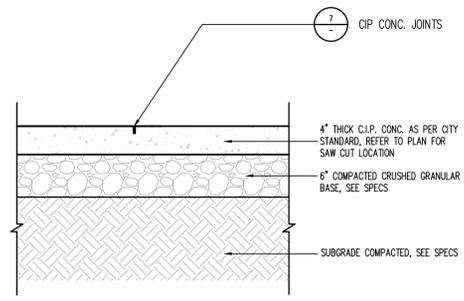


LAWN TYP. ON GRADE

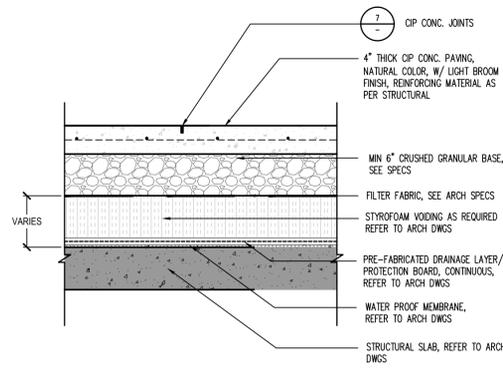
**6 GROWING MEDIUM, LAWN - TYP.**  
 SCALE: NTS

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-05-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

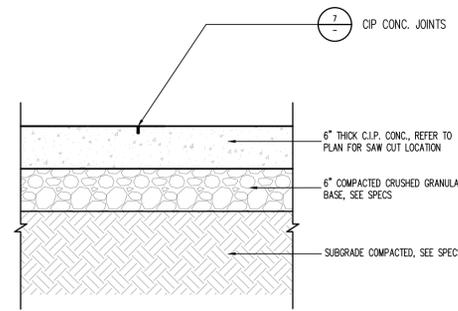
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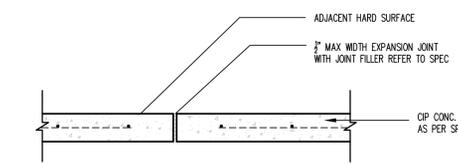
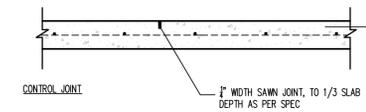
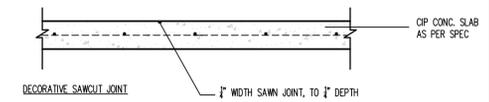
**1 PEDESTRAIN CIP CONCRETE PAVING**  
 SCALE: NTS



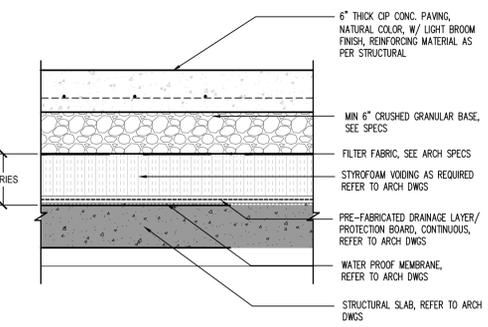
**2 PEDESTRIAN CIP CONCRETE PAVING ON STRUCTURE**  
 SCALE: NTS



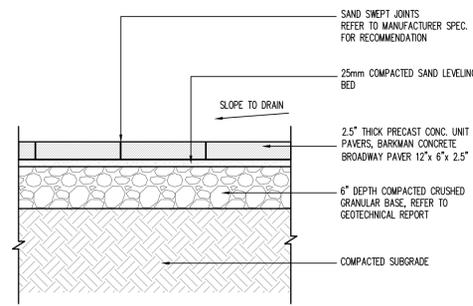
**3 VEHICULAR CIP CONCRETE PAVING ON GRADE**  
 SCALE: NTS



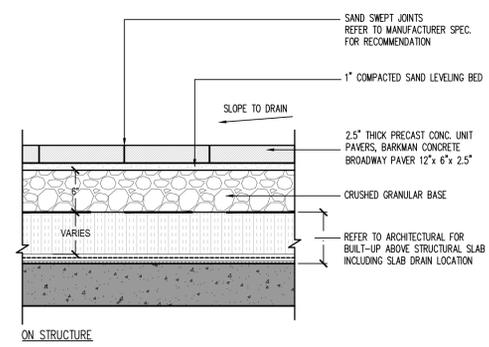
NOTE:  
 1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH  
 2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS  
 3. CONFIRM ALL CONSTRUCTION JOINTS & SAW CUTS WITH PFS PRIOR TO COMMENCING RELATED WORK. SPACE AT 10' MAX. REFER TO LAYOUT PLAN.



**4 VEHICULAR CIP CONCRETE PAVING ON STRUCTURE**  
 SCALE: NTS

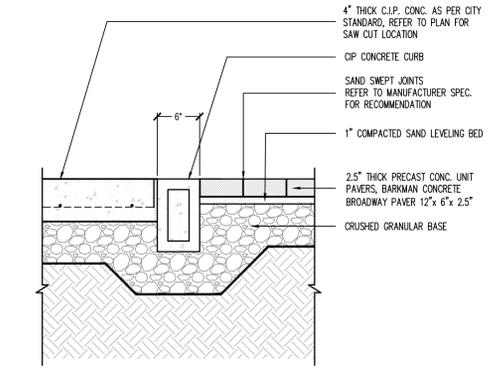


**5 PRECAST CONCRETE UNIT PAVING ON GRADE**  
 SCALE: NTS



**6 PRECAST CONCRETE UNIT PAVING ON STRUCTURE**  
 SCALE: NTS

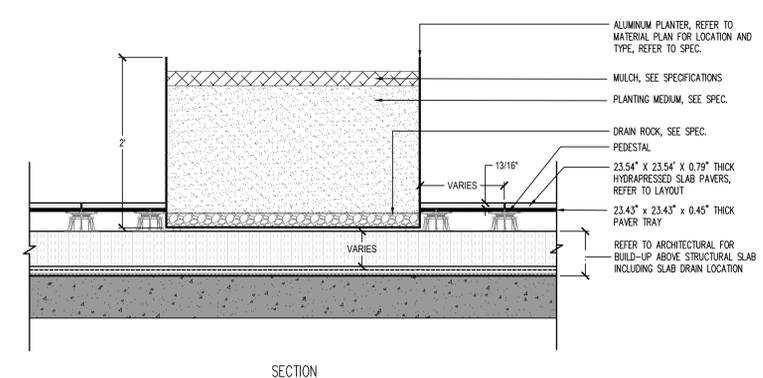
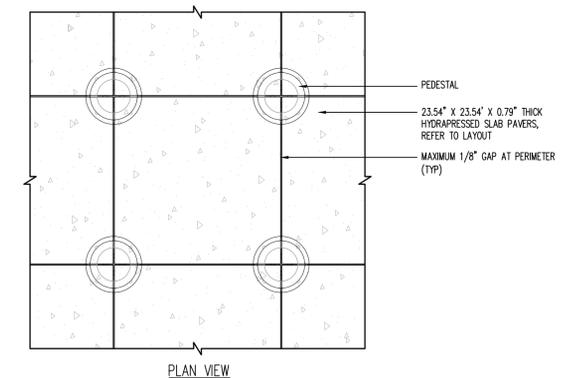
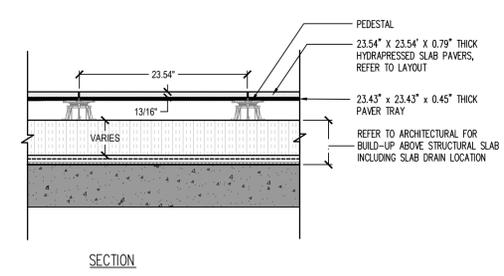
**7 CONCRETE JOINTS**  
 SCALE: NTS



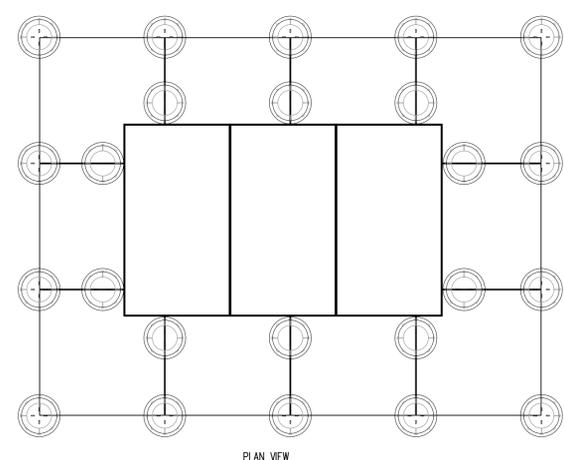
**8 CIP CONCRETE CURB**  
 SCALE: NTS



**9 PORCELAIN PAVER W/ TRAY AND PEDESTAL**  
 SCALE: NTS



**10 RAISED PLANTERS**  
 SCALE: NTS



CLIENT  
 PROJECT NO. 19031  
 PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

LANDSCAPE DETAILS

SEAL

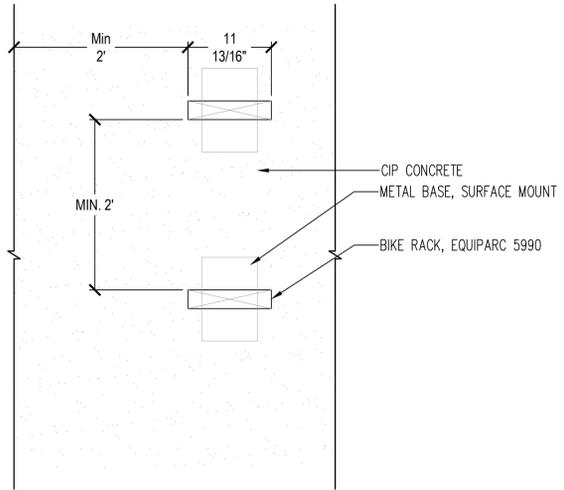
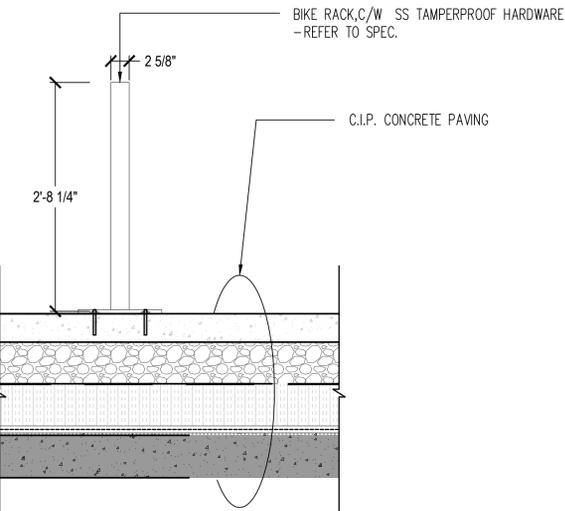
DRAWING NO.	REVISION

**L10.03**

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
NTS	CP

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-06-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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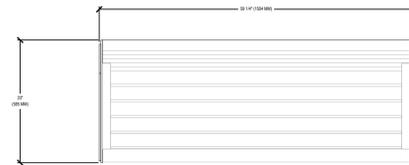


EQUIPARC 5990 BIKE RACK

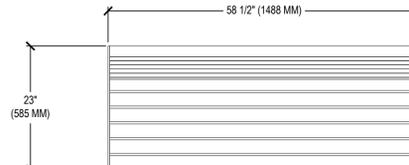
NOTES:  
 1. INSTALL PER MANUFACTURER'S INSTRUCTION, UNLESS OTHERWISE NOTED ON DRAWING

**1 EQUIPARC 3990 BIKE RACK**

SCALE: 1"=1'



PLAN VIEW



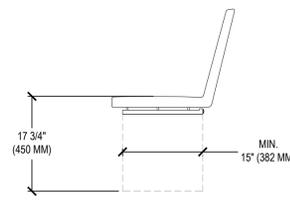
PLAN VIEW



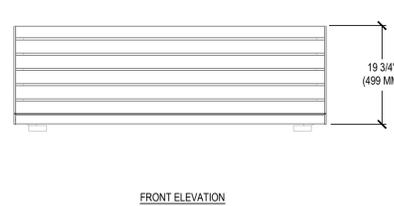
SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



FRONT ELEVATION

**2 LANDSCAPE BENCH - EQUIPARC 1990A**

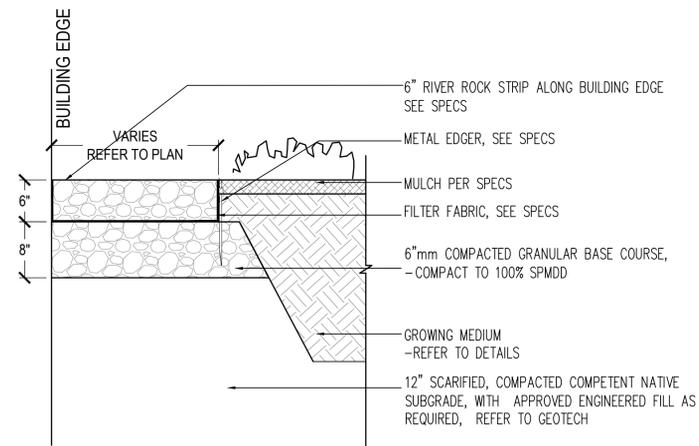
SCALE: 3/4"=1'

**3 LANDSCAPE BENCH - EQUIPARC 1990A-R**

SCALE: 3/4"=1'

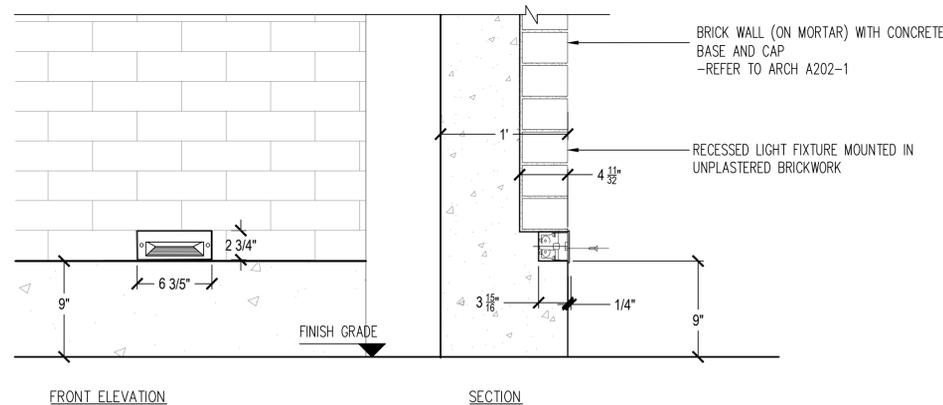
**4 VICTOR STANLEY BLACK RB-28 BENCH**

SCALE: 3/4"=1'



**5 RIVER ROCK STRIP**

SCALE: 1"=1'

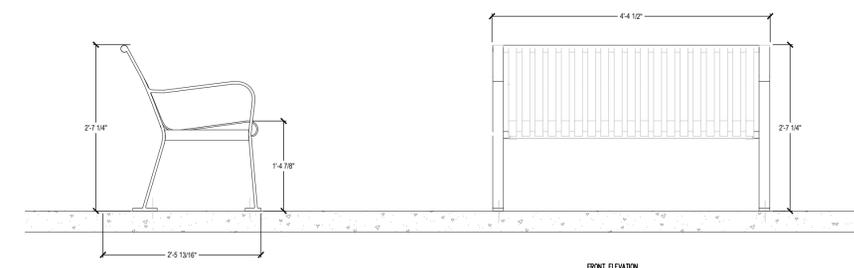


FRONT ELEVATION

SECTION

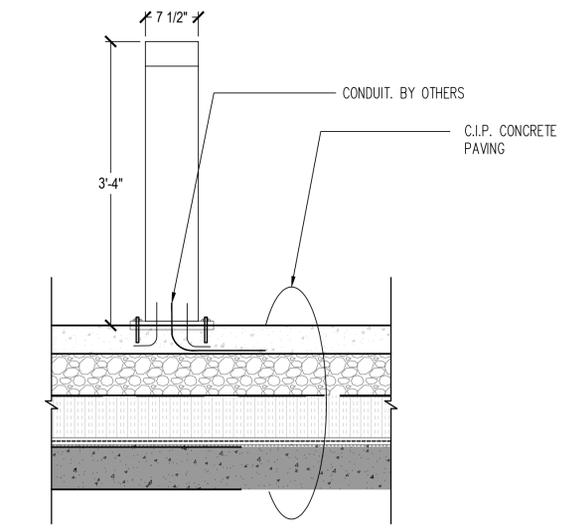
**6 RECESSED LUMINAIRE 33 053**

SCALE: 1 1/2"=1'-0"



SIDE ELEVATION

FRONT ELEVATION



**7 BOLLARD LIGHT**

SCALE: 1"=1'

CLIENT



PROJECT NO.

19031

PROJECT

SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

DRAWING TITLE

LANDSCAPE DETAILS

SCALE

DRAWING NO.

REVISION

**L10.04**

DATE

DRAWN

10-21-2020

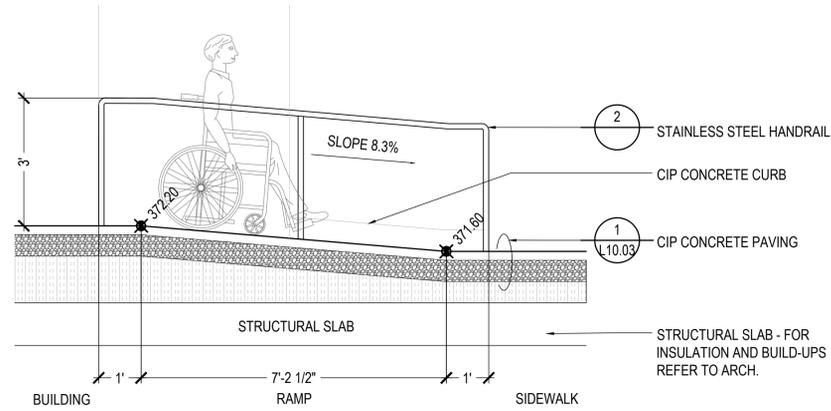
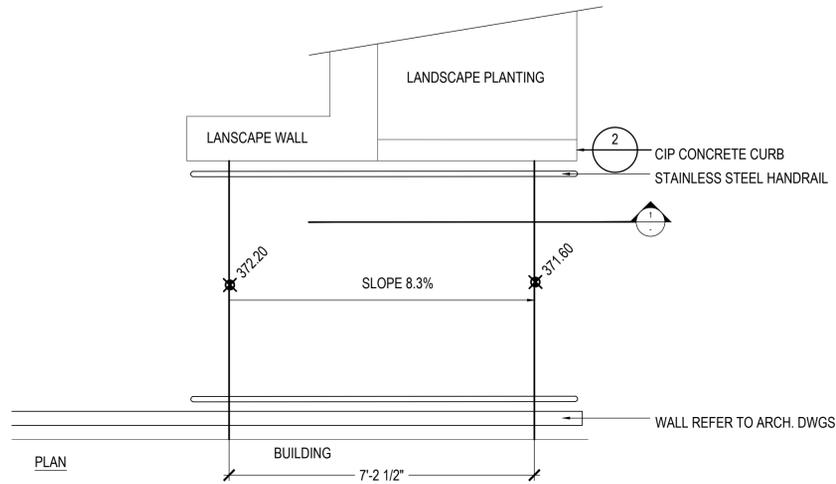
GF

SCALE

CHECKED

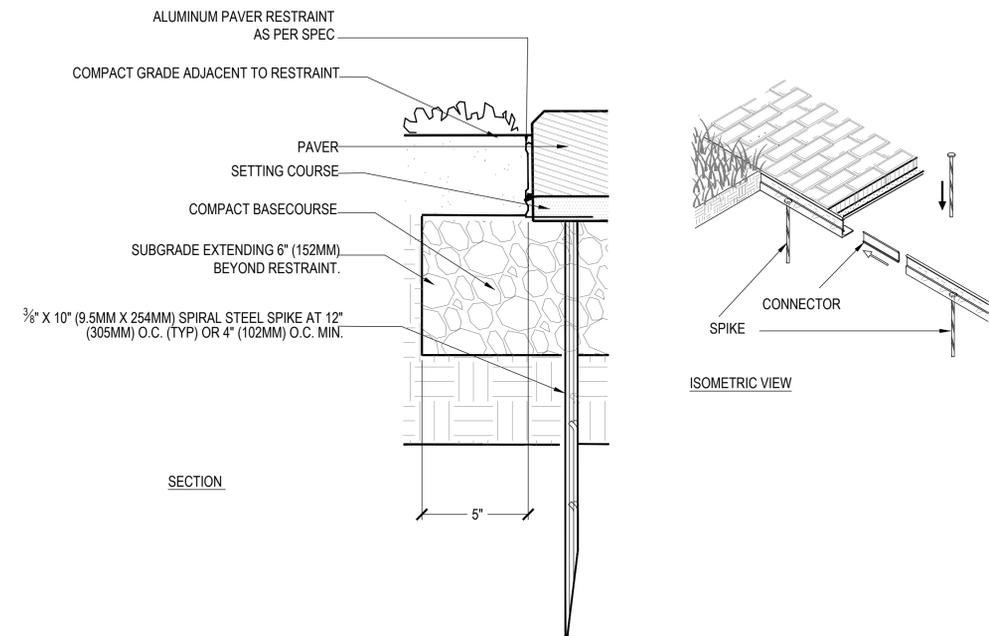
NTS

CP



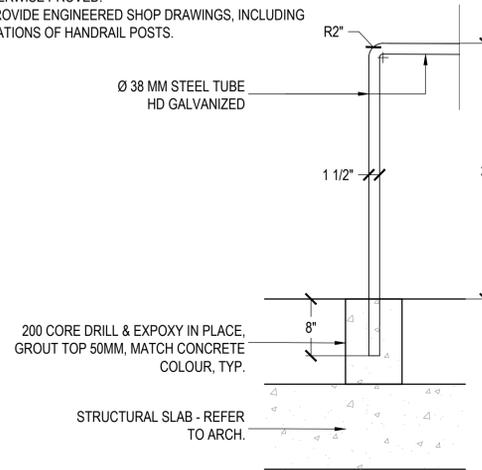
SECTION

**1 ENTRY RAMP**  
SCALE: 1/2"=1'-0"



**3 METAL EDGE RESTRAINT**  
SCALE: 3"=1'-0"

NOTE:  
1. ALL METAL TO BE HOT DIPPED GALVANIZED, UNLESS OTHERWISE PROVED.  
2. PROVIDE ENGINEERED SHOP DRAWINGS, INCLUDING LOCATIONS OF HANDRAIL POSTS.



**2 HANDRAIL**  
SCALE: 1"=1'-0"

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-06-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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CLIENT



PROJECT NO. 19031

PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
2141 EASTERN AVENUE,  
NORTH VANCOUVER, B.C.

DRAWING TITLE

LANDSCAPE DETAILS

SCALE

DRAWING NO. REVISION

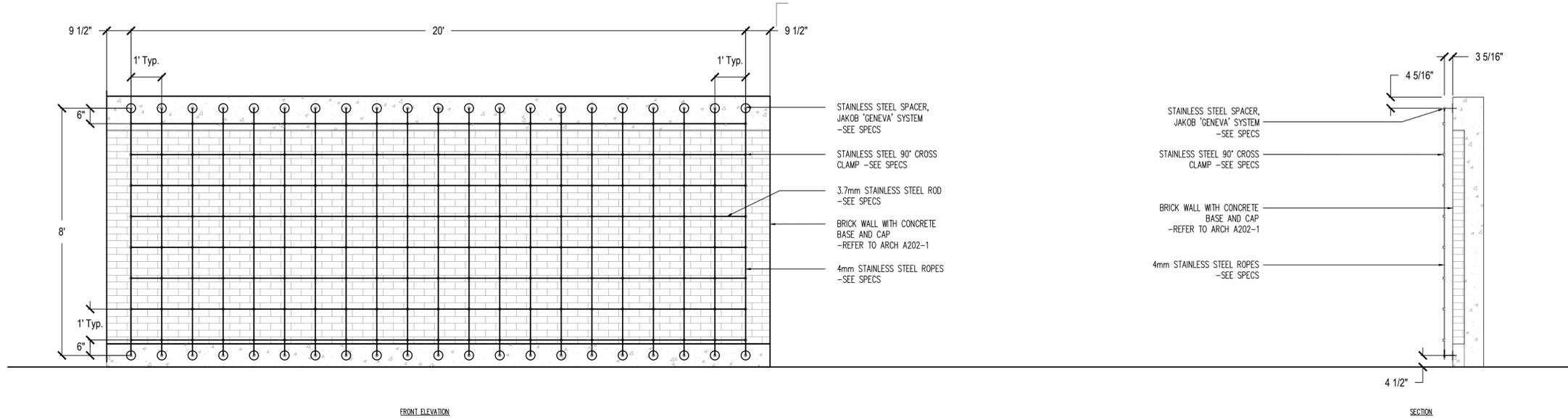
**L10.05**

DATE 10-21-2020 DRAWN GF

SCALE NTS CHECKED CP

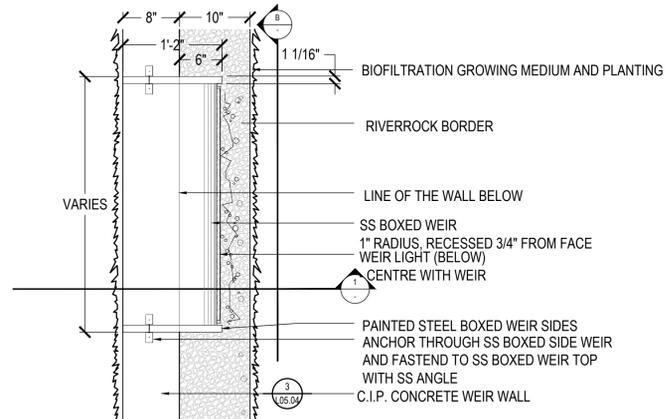
REVISIONS		
NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	12-02-2019
2	ADVISORY DESIGN PANEL	01-08-2020
3	ADP RESUBMISSION	03-06-2020
4	DP RESUBMISSION	07-31-2020
5	DP RESUBMISSION V2	10-21-2020

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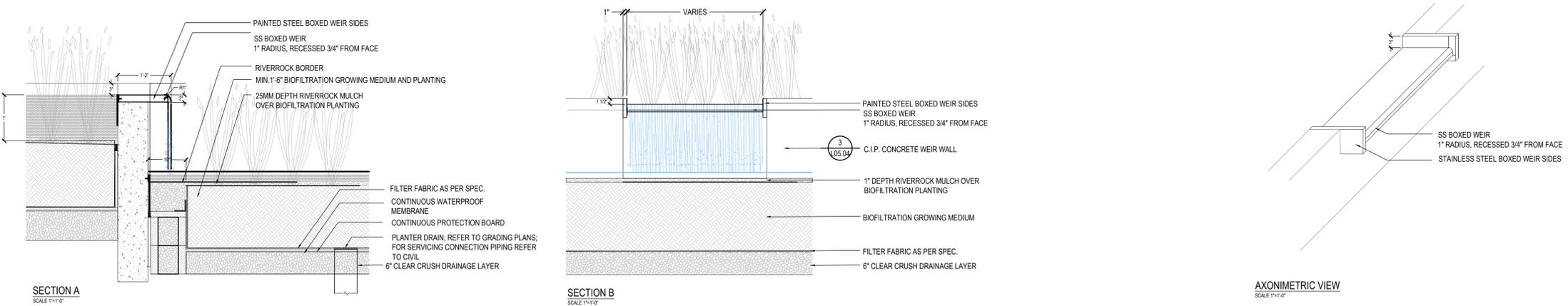
**1 VERTICAL STEEL TRELLIS**

SCALE: NTS



**2 WEIR**

SCALE: AS



**3 C.I.P. CONCRETE WEIR WALL TYP. (DRAINROCK TO PERMAVOID)**

SCALE: 3/4"=1'



CLIENT  
 PROJECT NO. 19031  
 PROJECT SENIORS ASSISTED & MEMORY CARE BUILDING  
 2141 EASTERN AVENUE,  
 NORTH VANCOUVER, B.C.

**LANDSCAPE DETAILS**

**L10.06**

DATE	DRAWN
10-21-2020	GF
SCALE	CHECKED
NTS	CP

**TITLE SEARCH PRINT**

2020-12-03, 15:58:16

File Reference:

Requestor: Julie Peters

**\*\*CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN\*\***

**Title Issued Under** SECTION 98 LAND TITLE ACT

**Land Title District** VANCOUVER  
Land Title Office VANCOUVER

**Title Number** CA8128578  
From Title Number BH247994  
R116829

**Application Received** 2020-04-07

**Application Entered** 2020-04-30

**Registered Owner in Fee Simple**  
Registered Owner/Mailing Address: THE CORPORATION OF THE CITY OF NORTH VANCOUVER  
141 WEST 14TH STREET  
NORTH VANCOUVER, BC  
V7M 1H9

**Taxation Authority** North Vancouver, The Corporation of the City of

**Description of Land**  
Parcel Identifier: 031-080-359  
Legal Description:  
LOT 1 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP87495

**Legal Notations**  
NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8297031  
FILED 2020-07-13

THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 14 OF THE LOCAL  
GOVERNMENT ACT, [SEE CA8604983](#)

**Charges, Liens and Interests**  
Nature: COVENANT  
Registration Number: CA8128581  
Registration Date and Time: 2020-04-07 12:41  
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER  
Remarks: INTER ALIA

**TITLE SEARCH PRINT**

2020-12-03, 15:58:16

File Reference:

Requestor: Julie Peters

Nature:	RENT CHARGE
Registration Number:	CA8128582
Registration Date and Time:	2020-04-07 12:41
Registered Owner:	THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks:	INTER ALIA

Nature:	COVENANT
Registration Number:	CA8128583
Registration Date and Time:	2020-04-07 12:41
Registered Owner:	THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks:	INTER ALIA

Nature:	STATUTORY RIGHT OF WAY
Registration Number:	CA8128584
Registration Date and Time:	2020-04-07 12:41
Registered Owner:	THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks:	INTER ALIA

Nature:	STATUTORY RIGHT OF WAY
Registration Number:	CA8128585
Registration Date and Time:	2020-04-07 12:41
Registered Owner:	THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks:	PART IN PLAN EPP101919

Nature:	COVENANT
Registration Number:	CA8128586
Registration Date and Time:	2020-04-07 12:41
Registered Owner:	THE CORPORATION OF THE CITY OF NORTH VANCOUVER

<b>Duplicate Infeasible Title</b>	NONE OUTSTANDING
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<b>Transfers</b>	NONE
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**TITLE SEARCH PRINT**

2020-12-03, 15:58:16

File Reference:

Requestor: Julie Peters

**Pending Applications**

Parcel Identifier:	031-080-359
Application Number/Type:	CA8604305 MODIFICATION
Application Number/Type:	CA8604306 PLAN APPLICATION
Application Number/Type:	CA8604307 STATUTORY RIGHT OF WAY
Application Number/Type:	CA8604308 COVENANT
Application Number/Type:	CA8604311 TO CA8604312 CHARGE RELEASE
Application Number/Type:	CA8604315 PLAN APPLICATION
Application Number/Type:	CA8604316 STATUTORY RIGHT OF WAY
Application Number/Type:	CA8604317 COVENANT
Application Number/Type:	CA8604321 COVENANT
Application Number/Type:	CA8604324 COVENANT
Application Number/Type:	CA8604326 TO CA8604327 COVENANT
Application Number/Type:	CA8604328 STATUTORY RIGHT OF WAY
Application Number/Type:	EPP106371 SURVEY PLAN
Application Number/Type:	EPP106372 SURVEY PLAN
Application Number/Type:	CA8606050 EASEMENT
Application Number/Type:	CA8606051 COVENANT
Application Number/Type:	CA8610789 LEASE
Application Number/Type:	CA8618555 LEGAL NOTATION

**TITLE SEARCH PRINT**

2020-11-25, 11:20:20

File Reference:

Requestor: Elita Fung

**\*\*CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN\*\***

<b>Title Issued Under</b>	SECTION 98 LAND TITLE ACT
<b>Land Title District</b> Land Title Office	VANCOUVER VANCOUVER
<b>Title Number</b> From Title Number	CA8128578 BH247994 R116829
<b>Application Received</b>	2020-04-07
<b>Application Entered</b>	2020-04-30
<b>Registered Owner in Fee Simple</b> Registered Owner/Mailing Address:	THE CORPORATION OF THE CITY OF NORTH VANCOUVER 141 WEST 14TH STREET NORTH VANCOUVER, BC V7M 1H9
<b>Taxation Authority</b>	North Vancouver, The Corporation of the City of
<b>Description of Land</b> Parcel Identifier: Legal Description:	031-080-359 LOT 1 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP87495
<b>Legal Notations</b>	NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8297031 FILED 2020-07-13
<b>Charges, Liens and Interests</b> Nature: Registration Number: Registration Date and Time: Registered Owner: Remarks:	COVENANT CA8128581 2020-04-07 12:41 THE CORPORATION OF THE CITY OF NORTH VANCOUVER INTER ALIA

**TITLE SEARCH PRINT**

2020-11-25, 11:20:20

File Reference:

Requestor: Elita Fung

Nature: RENT CHARGE  
Registration Number: CA8128582  
Registration Date and Time: 2020-04-07 12:41  
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER  
Remarks: INTER ALIA

Nature: COVENANT  
Registration Number: CA8128583  
Registration Date and Time: 2020-04-07 12:41  
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER  
Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY  
Registration Number: CA8128584  
Registration Date and Time: 2020-04-07 12:41  
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER  
Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY  
Registration Number: CA8128585  
Registration Date and Time: 2020-04-07 12:41  
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER  
Remarks: PART IN PLAN EPP101919

Nature: COVENANT  
Registration Number: CA8128586  
Registration Date and Time: 2020-04-07 12:41  
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

**Duplicate Indefeasible Title** NONE OUTSTANDING

**Transfers** NONE

**Pending Applications** NONE