442-444 EAST 1ST STREET, NORTH VANCOUVER ARCHITECTURAL PLANS A-00000-A-25



NO	DESCRIPTION	DATE
1	ISSUED FOR D.P. APPLICATION	04-11-2022



SALEHI ARCHITECT INC.

207 - 132 15th West Street NORTH VANCOUVER TEL: 778-996 7833 EMAIL: rsalehi@salehiarchite

CLIENT:

TERRACE RESIDENCE.

PROJECT NO. 03 - 21

PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

1ST STREET VIEW

SEAL	A-00 000
DATE :	DRAWN: M.K.
SCALE:	CHECKED: R.S.



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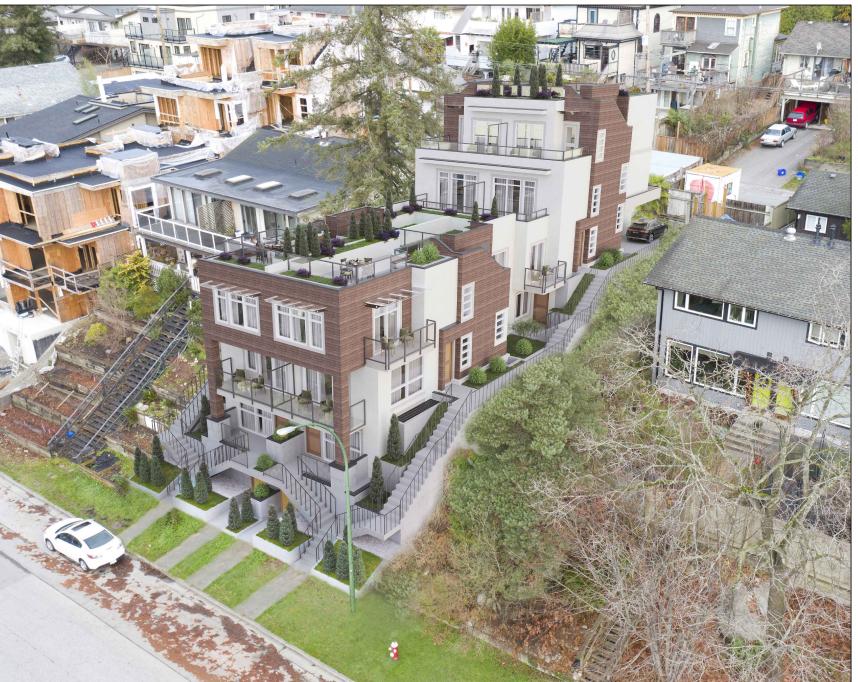
DRAWING TITLE:

SCALE :

NORTH WEST VIEW

SEAL	A- 0000
ATE:	DRAWN: M.K.

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PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE :

SOUTH EAST VIEW

SEAL	A- 000
DATE :	DRAWN: M.K.
SCALE:	CHECKED: R.S.

PROJCECT DATA:

LEGAL DESCRIPTION:

STRATA LOT 1 & 2 DISTRICT LOT 274 GROUP 1

NEW WESTMINSTER DISTRICT PID 024-606-472 & 024-606-481 STRATA PLAN LMS 4009

CIVIC ADDRESS

442-444 EAST 1ST STREET, NORTH VANCOUVER, BC

ZONING

EXISTING ZONING: RG-3

SITE AREA: 557.05 M2 (5.996 S.F.)

FSR: 1.00

BONUS F.S.R. FOR LOCK-OFF UNITS: 14.00 M2 (151 S.F.) PER UNIT

 $14.00 \text{ M}^2 \text{ X } 4 = 56 \text{ M}^2 (604 \text{ S.F.})$

AS PER SECTION 20 OF PART 2 OF ZONING BY LAW.

TOTAL ALLOWABLE AREA:

 $557.05 \text{ M}^2 + 56 \text{ M}^2 = 613.05 \text{ M}^2 (6,599 \text{ S.F.})$

PROPOSED BUILDABLE AREA:

602 M2 (6,480 S.F.) PROPOSED F.S.R: 1.08

COMMON AREA:

BICYCLE STORAGE: 21.37 M2 (230 S.F.) (EXEMPT FROM F.S.R) MECHANICAL ROOM: 22.57 M2 (243 S.F.) (EXEMPT FROM F.S.R) ELECTRICAL ROOM: 7.52 M2 (81 S.F.) (EXEMPT FROM F.S.R) ACCESS CORRIDOR: 8.56 M2 (92.15 S.F.) (EXEMPT FROM F.S.R)

GARBAGE ROOM:

REQUIRED/UNIT: 0.486 M² (5.23 S.F.) X 4 = 1.94 M² (20.92 S.F.) MINIMUM REQUIRED FLOOR AREA: 11.00 M² (118.40 S.F.) PROVIDED: 11.00 M2(118.40 S.F.) (EXEMPT FROM F.S.R.)

TOTAL: 71.03 M² (764.55 S.F.)

BUILDING A:

UNIT A: LOCK-OFF UNIT:

67.08 M2 (722 S.F.) (EXEMPT FROM F.S.R.)

FIRST FLOOR: 64.57 M2 (695 S.F.) SECOND FLOOR: 68.84 M2 (741 S.F.)

UNIT B: LOCK-OFF UNIT: 67.08 M2 (722 S.F.) (EXEMPT FROM F.S.R.)

FIRST FLOOR: 64.57 M2 (695 S.F.) 68.84 M2 (741 S.F.) SECOND FLOOR:

BUILDING B: UNIT C

LOCK-OFF UNIT:

73.39 M2 (790 S.F.) (EXEMPT FROM F.S.R.)

FIRST FLOOR: 52.58 M2 (566 S.F.) SECOND FLOOR: 64.20 M² (691 S.F.) 50.82 M2 (547 S.F.) THIRD FLOOR:

UNIT D:

LOCK-OFF UNIT: 73.39 M2 (790 S.F.) (EXEMPT FROM F.S.R.)

FIRST FLOOR: 52.58 M2 (566 S.F.) SECOND FLOOR: 64.20 M2 (691 S.F.) THIRD FLOOR: 50.82 M2 (547 S.F.)

TOTAL BUILDABLE: 602.00 M2 (6,480 S.F.)

REQUIRED SET BACKS:

FRONT SETBACK: 3.00M (9'-10") WEST SETBACK: 2.40M (7'-10 ½") EAST SETBACK: 2.40M (7'-10 $\frac{1}{2}$ ") REAR SETBACK: 1.60M (5'-3")

PROVIDED SET BACKS:

FRONT SETBACK: 3.00M (9'-10")

WEST SETBACK: 2.40M (7'-10 1/2") - 2.67M (8'-9") EAST SETBACK: 2.40M (7'-10 1/2") - 2.67M (8'-9")

REAR SETBACK: 1.60M (5'-3")

SITE COVERAGE:

PERMITTED SITE COVERAGE: 334.45 M2 (3,600 S.F.) = 60% PROVIDED SITE COVERAGE: 316.80 M² (3.410 S.F.) = 58%

PARKING & BIKE STORAGE

REQUIRED PARKING:

1 PARKING STALL PER PRINCIPAL UNIT:

4X1=4 PARKING STALLS

PROVIDED PARKING STALLS:

4 PARKING STALLS

EACH PARKING STALL WILL BE WIRED FOR LEVEL 2 EV

READY AT NORMAL VOLTAGE OF 240V.

REQUIRED BICYCLE STORAGE: 1.5 BICYCLE STORAGE / UNIT

PROVIDED 6 BICYCLE STORAGES

EACH BICYCLE STORAGE WILL HAVE A 110V OUTLET FOR

ELECTRIC CHARGING.

BUILDING HEIGHT

BUILDING A:

PERMITTED: 29.40'+10.0'=39.40'

BUILDING HEIGHT FROM AVERAGE BUILDING GRADE AT FRONT: 81.75+39.40'=121.15'

GREEN ROOF BONUS: 121.15'+1.50'=122.65' PROPOSED ROOF PARAPET: 121.62'

AVERAGE GRADE:

LOWEST FINISHED GRADE AT THE BUILDING: 81.33'

HEIGHEST FINISHED GRADE WITHIN 10'-0" OF BUILDING: 101.73'

(101.73'+81.33')/2=91.53'

BUILDING HEIGHT: 121.62'-91.53'=30.09'

BUILDING B:

PERMITTED: 29.40'+10.0'=39.40'

BUILDING HEIGHT FROM AVERAGE BUILDING GRADE AT REAR:

107.95'+39.40'=147.35'

GREEN ROOF BONUS: 147.35'+1.50'=148.85' PROPOSED ROOF PARAPET: 141.16'

AVERAGE GRADE:

LOWEST FINISHED GRADE AT THE BUILDING: 98.70'

HEIGHEST FINISHED GRADE: WITH IN 10'-0" OF BUILDING:108.25'

(108.25'+98.70')/2=103.48'

BUILDING HEIGHT:141.16'-103.48'=37.68'

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PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

STATISTICS

SEAL	A-00
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BUILDING CODE ANALYSIS:

REFERENCE DOCUMENTS:

1.1. 2018 BRITISH COLUMBIA BUILDING CODE.

1.3.3.3 : APPLICATION OF PART 9

CODE APPLICATION: PART 9 OF DIV "B"

3.1.2.1) MAJOR OCCUPANCY CLASSIFICATION GROUP "C"/PART "9"

4 UNITS WITH LOCK-OFF UNITS.

BUILDING AREA: 266.07 m² (2,864 S.F.)

3.1.2.52) FACING AT LEAST 1 STREET COMBUSTIBLE CONSTRUCTION

4 UNITS: SPRINKLERED
9.5.3.1.1): ROOM CEILING HEIGHT MINIMUM 2.1 M
9.7.5.2.1): RESISTANCE TO FORCED ENTRY COMPLIES
9.8.2.2.3): MINIMUM CLEAR HEIGHT ABOVE STAIR
TABLE 9.8.4.1: STEP RISERS MINIMUM>MAXIMUM
TABLE 9.8.4.2: STEP RUNS MINIMUM>MAXIMUM
255-355 MM

9.8.3.1.2): STAIR BETWEEN FLOORS MINIMUM 800 MM WIDTH

TABLE 9.10.9.14.3): SEPARATION OF RESIDENTIAL UNITS 1 HR. F.R.R.

9.10.9.16.2): SEPARATION OF GARAGE SERVING A DWELLING UNIT 1 HR. -F.R.R.

9.10.10.3.1): SEPARATION OF SERVICE ROOMS 2 HR. F.R.R.

9.10.15: SPECIAL SEPARATION COMPLIES (SEE A-13)

9.10.19.3: LOCATION OF SMOKE ALARMS COMPLIES

9.11.1.1.1b): SOUND RATING BETWEEN DWELLING UNIT AND MECHANICAL ROOM STC 50

EXTERIOR WALL INSULATION R24+ BATT INSULATION 3" EXTERIOR RIGID

MINERAL WOOL

SUSPENDED FLOOR INSULATION RSI 4.9 R28

ROOF JOIST ASSEMBLIES(FLAT ROOF) RSI 4.9 R40

	BUILDING A			BUILDING B					
	UNI	TA	UN	IT B	UNIT C UNIT D			IT D	
	INCLUDED IN F.S.R.	EXEMPT	INCLUDED IN F.S.R.	EXEMPT	INCLUDED IN F.S.R.	EXEMPT	INCLUDED IN F.S.R.	EXEMPT	TOTAL
GARAGE		-	-		-	218	-	218	436
SUB-BASEMENT		764.55	-						764.55
BASEMENT FLOOR		722	-	722	-	790	-	790	3,024
FIRST FLOOR	695	-	695		566		566		2,522
SECOND FLOOR	741		741		691		691		2,864
THIRD FLOOR		-	-		547	-	547		1,094
TOTAL F.S.R.	1,436		1,436		1,804		1,804		6,480
TOTAL EXEMPT		1.486.55	-	722	-	1,008	-	1,008	4,224.55
TOTAL GROSS FLOOR AREA	2,92	2.55	2,1	58	2,8	112	2,8	112	10,704.55

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PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

BUILDING CODE ANALYSIS

SEAL	A-0
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436-438 442-444 446-448

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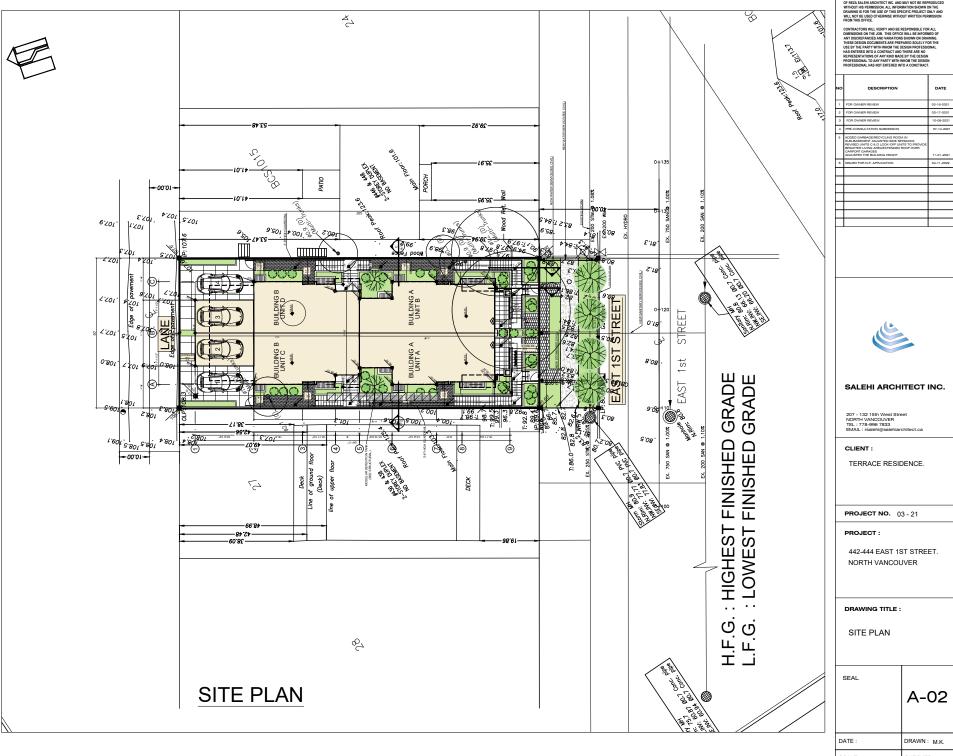
PROJECT:

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DRAWING TITLE :

CONTEXT PLAN

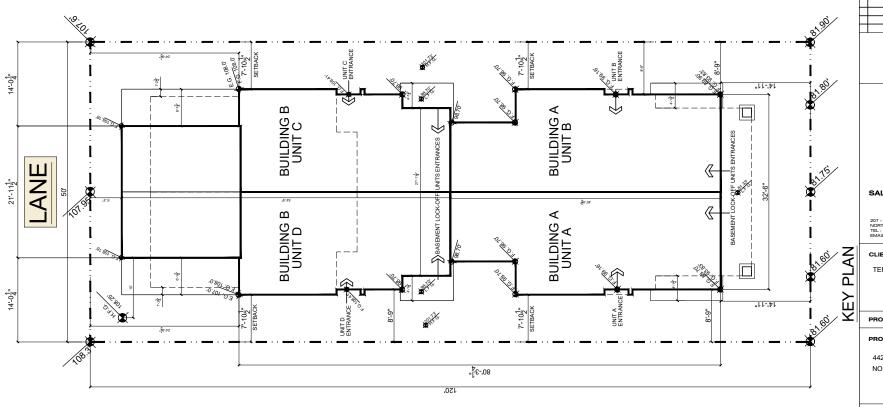
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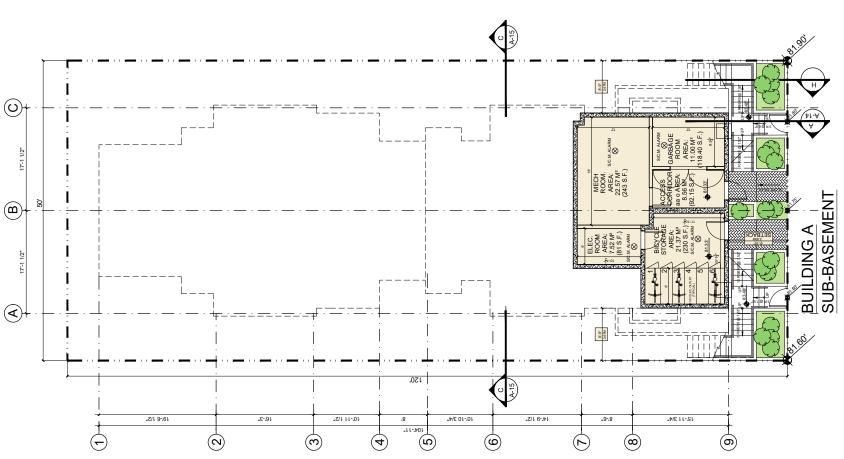
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KEY PLAN

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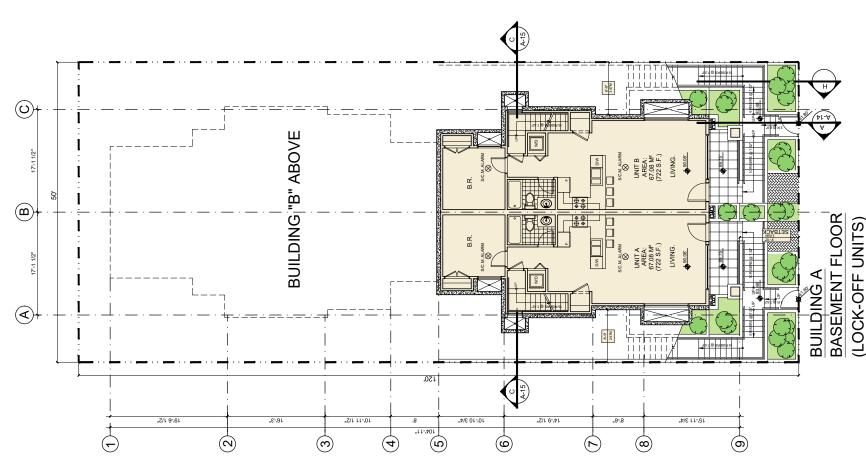
442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

SUB-BASEMENT

SEAL	A-04
DATE :	DRAWN: M.K.
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442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE :

BUILDING A LOCK-OFF UNITS

SEAL	A-05
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442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

BUILDING A FIRST FLOOR BUILDING B LOCK-OFF UNITS

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DRAWING TITLE:

BUILDING A SECOND FLOOR BUILDING B FIRST FLOOR

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CONTRACTORS WILL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB. THIS OFFICE WILL BE INFORMED ANY DISCREPANCIES AND VARIATIONS SHOWN ON DRAWN THESE DESIGN FOUNDMENTS ARE PREPARED SOLLE Y FOR THE USE BY THE PARTY WILL WHOM THE DESIGN PROFESSIONAL MAS ENTERED INTO A CONTRACT AND THERE ARE SHOULD SHOW THE PARTY WILL BE SHOULD SHOULD SHOW THE PARTY WILL BE SHOULD SHOULD SHOULD SHOW THE PARTY WILL BE SHOULD S

NO	DESCRIPTION	DATE	
1	FOR OWNER REVIEW	02-16-2021	
2	FOR OWNER REVIEW	02-17-2021	
3	FOR OWNER REVIEW	10-08-2021	
4	PRE-CONSULTATION SUBMISSION	07-14-202	
5	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS REVISED UNITS OR D LOCK-OFF UNITS TO PROVIDE BRIGHTER LYING AREA/EXTENDED ROOF OVER CARPORT GARAGES ADJUSTED THE BUILDING HEIGHT	11-01-2021	
6	ISSUED FOR D.P. APPLICATION	04-11-2022	
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SALEHI ARCHITECT INC.

207 - 132 15th West Street NORTH VANCOUVER TEL: 778-996 7833 EMAIL: rsalehi@salehiarchitect.ca

CLIENT:

TERRACE RESIDENCE.

PROJECT NO. 03 - 21

PROJECT:

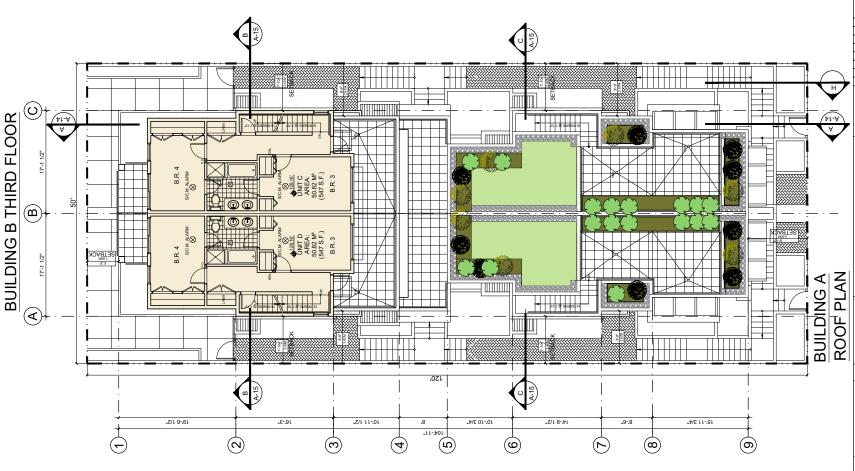
442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

BUILDING A ROOF PLAN BUILDING B SECOND FLOOR

SEAL	A-08
DATE:	DRAWN: M.K.
SCALE: 1/16	CHECKED: R.S.





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1	FOR OWNER REVIEW	02-16-2021
2	FOR OWNER REVIEW	02-17-2021
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4	PRE-CONSULTATION SUBMISSION	07-14-2021
5	ADDED GARBAGE, RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS REVISED UNITS G & D. LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREAEXTENDED ROOF OVER CARPORT GARAGES ADJUSTED THE BUILDING HEIGHT	11-01-2021
6	ISSUED FOR D.P. APPLICATION	04-11-2022



SALEHI ARCHITECT INC.

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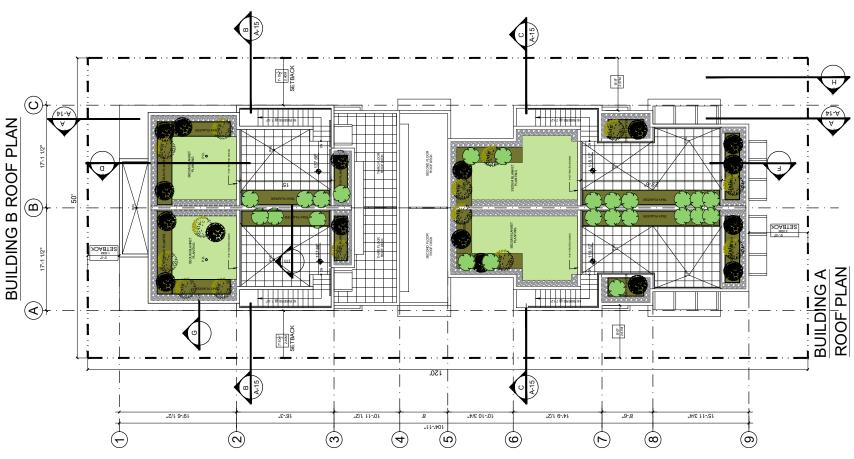
442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

BUILDING A ROOF PLAN BUILDING B THIRD FLOOR

SEAL	A-09
DATE :	DRAWN: M.K.
SCALE: 1/16	CHECKED: R.S.





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1	FOR OWNER REVIEW	02-16-2021
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5	ADDED GARBAGE, RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS REVISED UNITS G & D. LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREAEXTENDED ROOF OVER CARPORT GARAGES ADJUSTED THE BUILDING HEIGHT	11-01-2021
6	ISSUED FOR D.P. APPLICATION	04-11-2022



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PROJECT NO. 03 - 21

PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

BUILDING A ROOF PLAN BUILDING B ROOF PLAN

SEAL	A-10
DATE:	DRAWN: M.K.
SCALE: 1/16	CHECKED: R.S.



FINISH MATERIALS LIST:

- 1 STAINED CEDAR SIDING (6" EXPOSURE) PINE CONE - (3046-SHERWIN WILLIAMS)
- 2 SMOOTH STUCCO FINISH ETHEREAL WHITE - (6182 - SHERWIN WILLIAMS)
- 3 2"X6" PAINTED WINDOW TRIM NATURAL CREAM - (OC-14 BENJAMIN MOORE)
- 4 EXPOSED PAINTED CONCRETE
 ZEPPELIN (CL316M-GENERAL PAINT)
- 5 OAK SOLID WOOD DOOR PINE CONE - (3046 SHERWIN WILLIAMS)
- 6 BICYCLE STORAGE / MECHANICAL / ELECTRICAL & GARBAGE ROOM DOORS PAINTED METAL DOOR
- 7 INSULATED PVC GARAGE DOOR SHADOW GRAY- (2125-40 BENJAMIN MOORE)
- 8 RESIDENTIAL VINYL WINDOW FRAMES WHITE COLOUR

- 9 ALUMINUM GUARDRAIL WITH CLEAR GLAZING BLACK
- 10 ALUMINUM AWNING
- PAINTED 1"X4" TRIM
 PINE CONE (3046-SHERWIN WILLIAMS)
- 12 STAINED WOOD SOFFIT WITH VENTING STRIP

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4	ADDED GARBAGE/FECYCLING FOOM IN SUB-BASEMENT ADJUSTED SIDE SETEACKS REVISED UNITS C.A.D. LOCK-OFF LINITS OF PROVIDE BRIGHT SIL LINING A REALEXT ENDED ROOF OVER LARPORT GARAGES. ALJUSTED THE BUILDING HEIGHT.	11-01-20
5	ISSUED FOR D.P. APPLICATION	06-11-20



SALEHI ARCHITECT INC.

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PROJECT NO. 03 - 21

PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

SOUTH ELEVATION

SEAL	
	A-11

DATE: DRAWN: M.K.

SCALE: 1/16 CHECKED: R.S.



NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	02-16-2021
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4	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS REVISED UNITS O & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREAEXTENDED ROOF OVER CARPORT GARAGES ADJUSTED THE BULDING HEIGHT	11-01-202
5	ISSUED FOR D.P. APPLICATION	04-11-202



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PROJECT NO. 03 - 21

PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

WEST ELEVATION

SEAL	A-12
DATE :	DRAWN: M.K.
SCALE: 1/16	CHECKED: R.S

FINISH MATERIALS LIST:

- 1 STAINED CEDAR SIDING (6" EXPOSURE) PINE CONE - (3046-SHERWIN WILLIAMS)
- 2 SMOOTH STUCCO FINISH ETHEREAL WHITE - (6182 -SHERWIN WILLIAMS)
- 3 2"X6" PAINTED WINDOW TRIM NATURAL CREAM - (OC-14 BENJAMIN MOORE)
- EXPOSED PAINTED CONCRETE ZEPPELIN - (CL316M-GENERAL PAINT)

- OAK SOLID WOOD DOOR
 - PINE CONE (3046 SHERWIN WILLIAMS)
- BICYCLE STORAGE / MECHANICAL / ELECTRICAL & GARBAGE ROOM DOORS PAINTED METAL DOOR
- INSULATED PVC GARAGE DOOR SHADOW GRAY- (2125-40 BENJAMIN MOORE)
- RESIDENTIAL VINYL WINDOW FRAMES
- WHITE COLOUR

- 9 ALUMINUM GUARDRAIL WITH CLEAR GLAZING
- 10 ALUMINUM AWNING
- PAINTED 1"X4" TRIM PINE CONE - (3046-SHERWIN WILLIAMS)
- 12 STAINED WOOD SOFFIT WITH VENTING STRIP



SALEHI ARCHITECT INC. 207 - 132 15th West Street NORTH VANCOUVER TEL: 778-996 7833 EMAIL: rsalehi@salehi CLIENT: TERRACE RESIDENCE. **PROJECT NO.** 03 - 21 PROJECT: 442-444 EAST 1ST STREET. NORTH VANCOUVER DRAWING TITLE: 9 ALUMINUM GUARDRAIL WITH CLEAR GLAZING EAST ELEVATION ALUMINUM AWNING PAINTED 1"X4" TRIM PINE CONE - (3046-SHERWIN WILLIAMS) SEAL

A-13

DRAWN: M.K.

CHECKED: R.S.

DATE

SCALE: 1/16

FINISH MATERIALS LIST:

- 1 STAINED CEDAR SIDING (6" EXPOSURE) PINE CONE - (3046-SHERWIN WILLIAMS)
- 2 SMOOTH STUCCO FINISH ETHEREAL WHITE - (6182 -SHERWIN WILLIAMS)
- 3 2"X6" PAINTED WINDOW TRIM NATURAL CREAM - (OC-14 BENJAMIN MOORE)
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- INSULATED PVC GARAGE DOOR SHADOW GRAY- (2125-40 BENJAMIN MOORE)
- RESIDENTIAL VINYL WINDOW FRAMES WHITE COLOUR

10

12 STAINED WOOD SOFFIT WITH VENTING STRIP



FINISH MATERIALS LIST:

- 1 STAINED CEDAR SIDING (6" EXPOSURE) PINE CONE - (3046-SHERWIN WILLIAMS)
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- 3 2"X6" PAINTED WINDOW TRIM
 NATURAL CREAM (OC-14 BENJAMIN MOORE)
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4	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS REVISED UNITS O & D. DOCK-OFF UNITS TO PROVIDE BRIGHTER LYING AREAEXTENDED ROOF OVER CARPORT GARAGES ADJUSTED THE BUILDING HEIGHT	11-01-2021
5	ISSUED FOR D.P. APPLICATION	04-11-2022
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CLIENT:

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PROJECT NO. 03 - 21

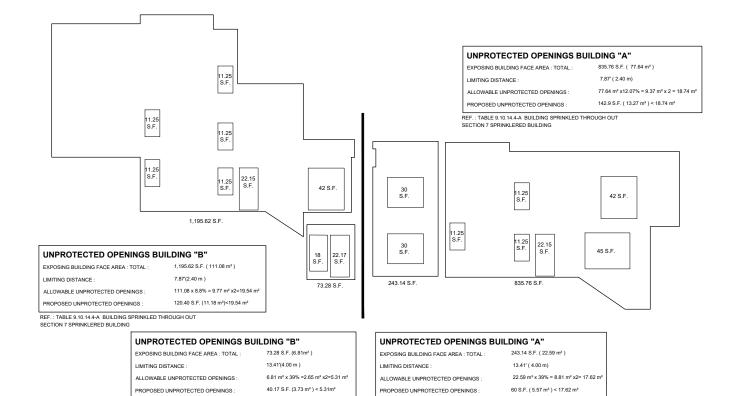
PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

NORTH ELEVATION

SEAL	A-14
DATE :	DRAWN: M.K.
SCALE: 1/16	CHECKED: R.S.



REF.: TABLE 9.10.14.4-A BUILDING SPRINKLED THROUGH OUT

SECTION 7 SPRINKLERED BUILDING

REF.: TABLE 9.10.14.4-A BUILDING SPRINKLED THROUGH OUT

SECTION 7 SPRINKLERED BUILDING

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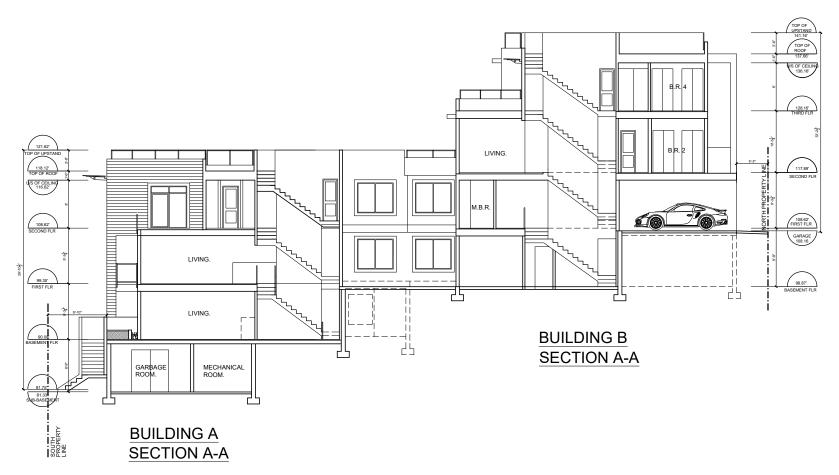
PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

UNPROTECTED OPENING CALCULATIONS

SEAL	A-15
DATE :	DRAWN: M.K.
SCALE: 1/16	CHECKED: R.S.



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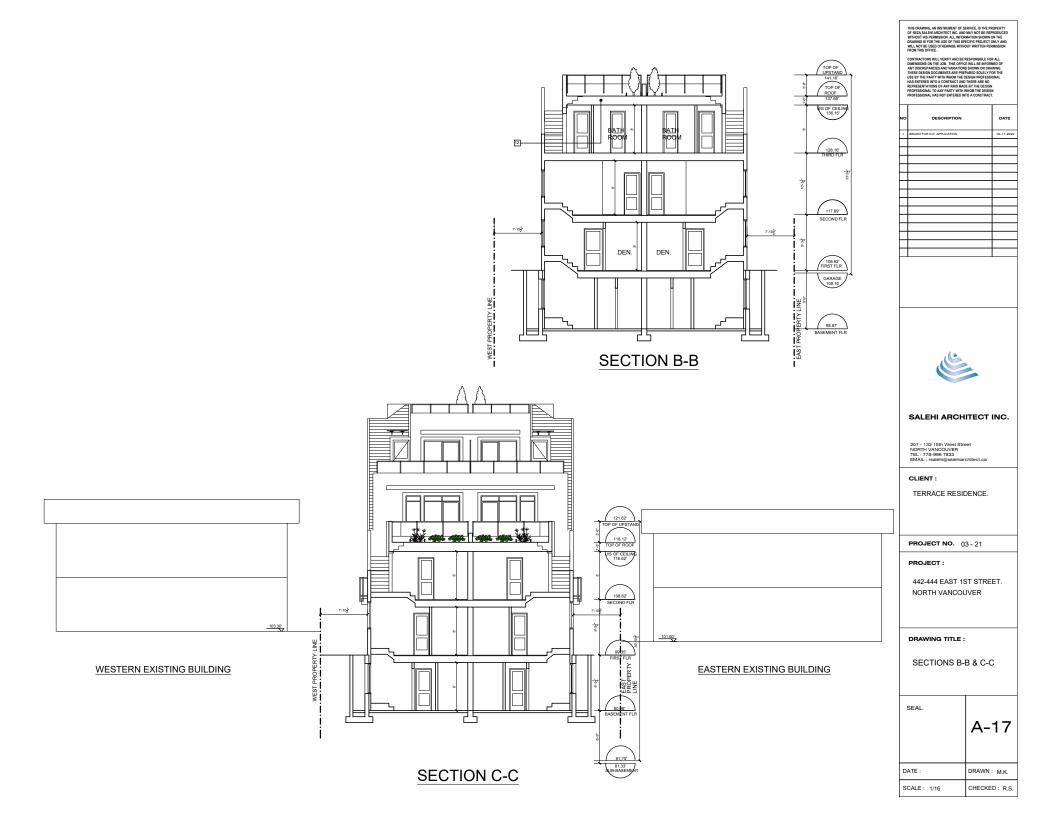
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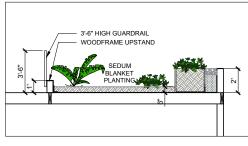
442-444 EAST 1ST STREET. NORTH VANCOUVER

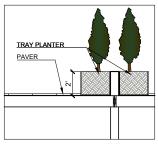
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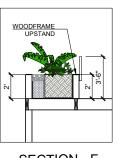
SECTIONS A-A

SEAL	A-16
DATE :	DRAWN: M.K.
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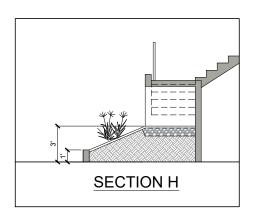








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PROJECT NO. 03 - 21

PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE :

SECTIONS D-E-F-G & H

SEAL	A-18
DATE :	DRAWN: M.K.
SCALE: 1/8	CHECKED: R.S



1- CEDAR SIDING (6" EXPOSURE)
PINE CONE
(3046 - SHERWIN WILLIAMS)



2- SMOOTH STUCCO FINISH ETHEREAL WHITE (6182 - SHERWIN WILLIAMS)



3- 2"X6" PAINTED WINDOW TRIM NATURAL CREAM (OC-14 BENJAMIN MOORE)



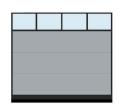
4- EXPOSED PAINTED CONCRETEZEPPELIN
(CL316M - GENERAL PAINT)



5- OAK SOLID WOOD DOOR PINE CONE (3046 - SHERWIN WILLIAMS)



6- BICYCLE STORAGE / MECHANICAL / ELECTRICAL & GARBAGE ROOM DOORS (PAINTED METAL DOOR)



7- INSULATED PVC GARAGE DOOR SHADOW GRAY (2125-40 BENJAMIN MOORE)



8- RESIDENTIAL VINYL WINDOW FRAMES (WHITE COLOUR)



9- ALUMINUM GUARDRAIL WITH CLEAR GLAZING (BLACK)



10- ALUMINUM AWNING



11-PAINTED 1"X4" TRIM
PINE CONE
(3046 - SHERWIN WILLIAMS)



12- STAINED WOOD SOFFIT WITH VENTING STRIP

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PROJECT NO. 03 - 21

PROJECT:

442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

COLOUR MATERIAL CHIPS

SEAL	A-19
DATE :	DRAWN: M.K.
SCALE :	CHECKED: R.S.





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PROJECT NO. 03 - 21

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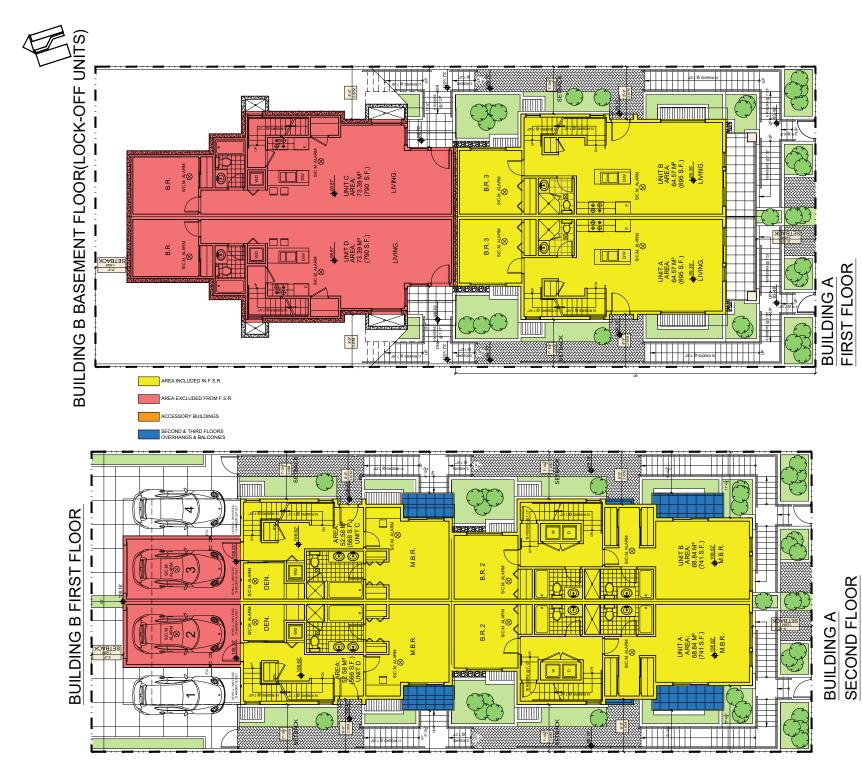
442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE:

(LOCK-OFF UNITS)

G.F.A. OVERLAY PLANS

SEAL	A-20
DATE :	DRAWN: M.K.
SCALE: 1/16	CHECKED: R.S.



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SALEHI ARCHITECT INC.

207 - 132 15th West Street NORTH VANCOUVER TEL: 778-996 7833 EMAIL: rsalehi@salehiarchitect.c

CLIENT:

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PROJECT NO. 03 - 21

PROJECT:

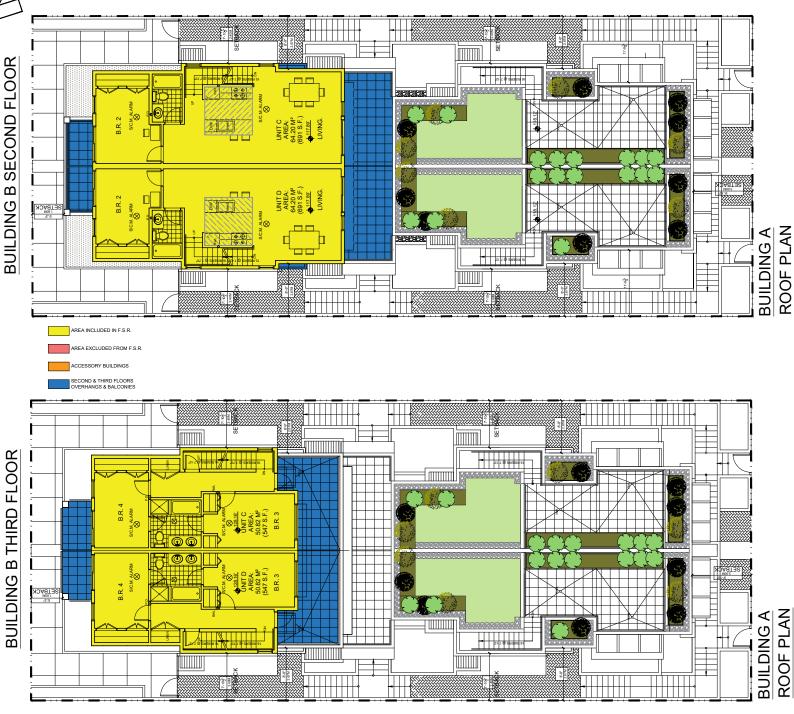
442-444 EAST 1ST STREET. NORTH VANCOUVER

DRAWING TITLE :

G.F.A. OVERLAY PLANS

SEAL	A-21
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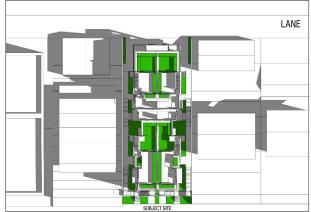
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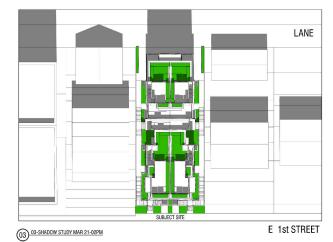
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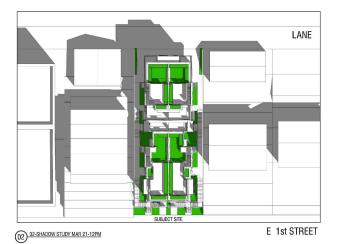
G.F.A. OVERLAY PLANS

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①1 O1-SHADOW STUDY MAR 21-10AM E 1st STREET





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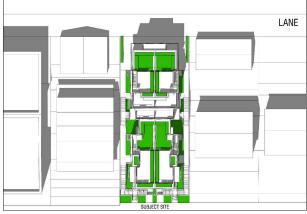
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SHADOW ANALYSIS

SEAL	A-23
DATE :	DRAWN: M.K.
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(05) 05-SHADOW STUDY JUN 21-10 AM E 1st STREET



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SHADOW ANALYSIS

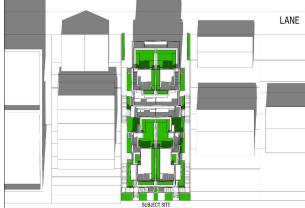
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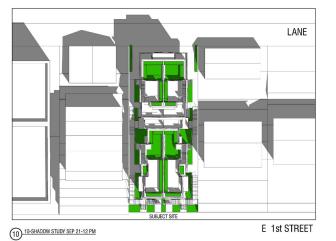
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SHADOW ANALYSIS

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