



1. Application

Julie Peters
The Corporation of the City of North Vancouver
141 West 14th Street
North Vancouver BC V7M 1H9
604-990-4230

2. Description of Land

PID/Plan Number	Legal Description
031-080-383	LOT 2 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP87495

3. Nature of Interest

Type	Affected Legal Notation or Charge Number
NOTICE OF PERMIT (MODIFICATION)	CA8604976

4. Name of Local Government

The Corporation of the City of North Vancouver
Additional Information
DPA2019-00021 (amended) - 126 East 21st Street, North Vancouver, BC

5. Notice Details

TAKE NOTICE that the Permit against the above described lands and filed under the registration number indicated above is modified.

Statutory authority: Local Government Act, s. 503(3)

Further particulars of the permit and modification may be obtained from the Local Government.

Authorized Signatory (If Applicable)

Electronic Signature

Your electronic signature is a representation that you are a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250, and that you are authorized to electronically sign this document by an e-filing direction made under section 168.22(2) of the act.

Julie Peters
QJ16C9

Digitally signed by
Julie Peters QJ16C9
Date: 2021-08-17
16:20:27 -07:00



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
DEVELOPMENT PERMIT

Permit No. DPA2019-00021

File: 08-3060-20-0236/1

Issued to owner(s): **The Corporation of the City of North Vancouver**

Respecting the lands located at **126 East 21st Street**, North Vancouver, BC, legally described as:

**LOT 2 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN
EPP87495, PID: 031-080-383**

(the “Lands”)

List of Attachments:

Schedule “A”: List of Plans

Authority to Issue:

1. This Development Permit is issued pursuant to Section 489 of the *Local Government Act*.
 2. This permit is specifically in accordance with The City of North Vancouver “Official Community Plan Bylaw, 2014, No. 8400”, Section 2.5 and applicable “Harry Jerome Neighbourhood Lands Development Permit Area Guidelines” contained in “Zoning Bylaw, 1995, No. 6700”, Division VII, and all other applicable bylaws and guidelines of the City.
-

Bylaws Supplemented or Varied:

3. None.
-

Special Terms and Conditions of Use:

4. This is an amendment to the Development Permit (DPA2019-00021) originally issued November 27, 2020. This amendment is effective as of the amendment issuance date of August 17, 2021.

5. The Buildings and Structures shall be developed in accordance with the plans dated and listed on the attached Schedule B “List of Plans” and filed in the offices of the City, approved by the Director of Planning and Development, and in compliance with the regulations and conditions listed hereunder including:
 - A. The Buildings and Structures shall incorporate energy performance improvements in accordance with Section 2.2 of the Harry Jerome Neighbourhood Lands Development Permit Area Guidelines including, but not limited to: the use of energy star appliances, or better; and the use of water efficient fixtures and fittings;
 - B. Any Stormwater Management Plan presented as part of future permitting must adhere to Section 2.3 of the Harry Jerome Neighbourhood Lands Development Permit Area Guidelines and the requirements and approval of the City Engineer;
 - C. Notwithstanding the plans in Schedule B, a compliant loading space with a minimum height in compliance with Part 10 of Consolidated Zoning Bylaw, 1995, No. 6700 be provided;
 - D. Garbage and recycling staging plan along with confirmation letter from waste management provider to be provided to the satisfaction of the City Engineer;
 - E. Landscaping of the site, including fences and all hardscape elements, shall be installed by the Permit holder in accordance with the Landscape plans dated and listed on the attached Schedule B “List of Plans”;
 - F. Temporary Tree protection fencing shall be installed around the two (2) Western Redcedar trees located in the eastern portion of the lot (Trees 137 & 138); the Hedge Maple tree located in the western portion of the lot (Tree 142), in the locations shown on the Tree Management Plan, before land clearing, demolition or construction phases are commenced. Tree protection fencing shall remain in place until the construction of the development is complete.
6. No variances other than those specifically set out in this permit are implied or to be construed.
7. All plans attached to this Permit and specifications referred to above are subject to any changes required by the Building Inspector or other officials of the City where such plans and specifications do not comply with any bylaw or statute, and such non-compliance is not specifically permitted by this Development Permit. The Lands may be subject to additional regulations, restrictive covenants and agreements which may affect their use, development and amenities, if any section or lesser portion of this Development Permit is held invalid for any reason the invalid portion shall be severed from this Development Permit and the validity of the remainder of the Development Permit shall not be affected.

General Terms and Conditions:

8. Pursuant to Section 504 of the *Local Government Act*, this Permit lapses if the work authorized herein is not commenced within 2 years following issuance of this Development Permit. In the event the Owner is delayed or interrupted or prevented from commencing or continuing the construction on or about the subdivision by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the works shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.
9. This Development Permit shall not vary the permitted uses or densities of land use in the applicable zoning bylaw nor a flood plain specification designated under 524(3) of the *Local Government Act*.
10. Nothing in this permit shall in any way relieve Land Owner/Developers obligation to ensure that the development proposal complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.
11. Nothing in this permit shall in any way relieve the Land Owner/Developers obligation to comply with all setback regulations for construction of structures or provision of on-site services pursuant to the *Health Act*, the *Fire Services Act*, the *Electrical Energy Inspection Act*, and any other provincial statutes.
12. The Permit holder acknowledges that a Building Permit and other City Permits are required. This is not a Building Permit.
13. The holder of the permit shall provide the general contractor and all professionals associated with this project with copies of this permit.

14. The Permit holder acknowledges that deviations from the approved plans will be reviewed at the discretion of the Director of Planning and Development for compliance with the "Harry Jerome Neighbourhood Lands Development Permit Area Guidelines".

Authorized on: 21/08/17
Year / Month / Day



Michael Epp, Director, Planning and Development

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the lands described in this Permit are subject to Development Permit No. DPA2019-00021.

Notice filed the 17th day of August, 2021.

THIS IS NOT A BUILDING PERMIT

Schedule A
List of Plans – 126 East 21st Street

Architect: TKA+D Architecture + Design
CityDocs File #: 2084463

Sheet	Description	Date
A000	Cover Sheet	August 3, 2021
A001	Project Statistics	August 3, 2021
A002	Project Exclusions	August 3, 2021
A003	Design Rationale	August 3, 2021
A004	Topographic Survey	August 3, 2021
A005	Subdivision Plan	August 3, 2021
A006	Fire Safety Plan	August 3, 2021
A007	Context Plan	August 3, 2021
A008	Site Photos	August 3, 2021
A010	Site Plan	August 3, 2021
A101	Street Elevations	August 3, 2021
A102	Shadow Studies	August 3, 2021
A110	Floor P2 – Sub	August 3, 2021
A111	Floor Plan P2	August 3, 2021
A112	Floor Plan P1	August 3, 2021
A113	Floor Plan L1	August 3, 2021
A114	Floor Plan Mezzanine	August 3, 2021
A115	Floor Plan L2	August 3, 2021
A116	Floor Plan L3	August 3, 2021
A117	Floor Plan L4	August 3, 2021
A118	Floor Plan L5	August 3, 2021
A119	Floor Plan L6	August 3, 2021
A120	Floor Plan – Roof & Penthouse	August 3, 2021
A121	Roof Plan – Upper	August 3, 2021
A300	Elevations	August 3, 2021
A301	Elevations	August 3, 2021
A302	Exterior Materials	August 3, 2021
A303	Perspectives	August 3, 2021
A400	Sections	August 3, 2021
A401	Sections	August 3, 2021
A402	Sections	August 3, 2021

Landscape Architect: PFS Studio

CityDocs File #: 2084460

Sheet	Description	Date
L0.01	Landscape Plan	August 3, 2021
L1.01	Tree Management Plan	August 3, 2021
L3.01	Materials Plan – Ground Level	August 3, 2021
L3.02	Materials Plan – Roof Level	August 3, 2021
L3.03	Materials Plan - Streetscape	August 3, 2021
L4.01	Layout Plan – Ground Floor	August 3, 2021
L4.02	Layout Plan – Roof Floor	August 3, 2021
L4.03	Layout Plan – Streetscape	August 3, 2021
L5.01	Grading Plan	August 3, 2021
L6.01	Planting Plan – Ground Floor	August 3, 2021
L7.01	Irrigation Plan – Ground Level	August 3, 2021
L8.01	Lighting Plan	August 3, 2021
L9.00	Landscape and Sections	August 3, 2021
L9.01	Landscape Sections – Rain Garden	August 3, 2021
L9.02	Landscape Elevation – Retaining Wall	August 3, 2021
L9.03	Landscape Section – Cross Sections 01	August 3, 2021
L9.04	Landscape Section – Cross Sections 02	August 3, 2021
L10.01	Planting Details	August 3, 2021
L10.02	Paving Details	August 3, 2021
L10.03	Furnishing Details	August 3, 2021
L10.04	Planter Details	August 3, 2021
L10.05	Walls, Stairs, and Railings Details	August 3, 2021
L10.06	Walls, Stairs, and Railings Details	August 3, 2021
L10.07	Fence Details	August 3, 2021
L10.08	Streetscape Details	August 3, 2021

Arborist: Diamond Head Consulting

CityDocs File #: 2071941

Sheet	Description	Date
1	Tree Management Plan	April 23, 2021

PROJECT TEAM:

CLIENT DARWIN/MINTO PROPERTIES LIMITED PARTNERSHIP
404-197 FORESTER STREET, VANCOUVER, BC V6C 2X8
P. 604.670.8844
ANDREW MCMILLAN

GENERAL CONTRACTOR DARWIN CONSTRUCTION
404-197 FORESTER STREET, NORTH VANCOUVER, BC V7N 0A6
P. 604.669.7844

ARCHITECTS TKA+D
305-1030 PANDORA ST., VANCOUVER, BC V5L 0C7
P. 604.989.3499
CRAG TAYLOR

BUILDING CODE MCAULEY CONSULTING
116-119 WEST PENDER ST., VANCOUVER, B.C. V6B1S5
P. 778.834.6989
TAVIS MCAULEY

BUILDING ENVELOPE SENSE ENGINEERING
104-130 COPPING STREET, NORTH VANCOUVER, BC V7M 5G6
P. 604.396.2850
BRENNAN VOLLERING

CIVIL ENGINEER R.F. BINNIE & ASSO. LTD.
205-4946 CANADA WAY, BURNABY, B.C. V5J 4H7
P. 604.420.1721
JENNIFER WIEBSTER

ELECTRICAL ENGINEER AES ENGINEERING
305 BURROAD ST, SUITE 800, BOX 91, VANCOUVER, BC V7X 1M4
P. 604.669.6600
ANDY SU

GEO TECHNICAL GEOPACIFIC
1779 W. 75TH AVENUE, VANCOUVER, BC V6P 6P2
P. 604.439.0922
MATT KOKAN

LANDSCAPE ARCHITECT PFS STUDIO
1777 WEST 3RD AVENUE, VANCOUVER, B.C. V6J 1K7
P. 604.763.5168
GRANT FAHLGREN

MECHANICAL ENGINEER INTEGRAL GROUP
180-209 GRANVILLE ST., VANCOUVER, BC V6C 1S4
P. 604.687.1800
OMAR MULLI

STRUCTURAL ENGINEER Wicke Herfst Maver (WHM)
2227 DOUGLAS ROAD, BURNABY BC V5C 5A8
P. 604.484.2859
MARK ROBERTSON

TRAFFIC BUNT & ASSOCIATES
1550 - 1050 W PENDER ST, VANCOUVER, BC V6E 3S7
P. 604.685.6427
BRENNAN VOLLERING

DRAWING INDEX:

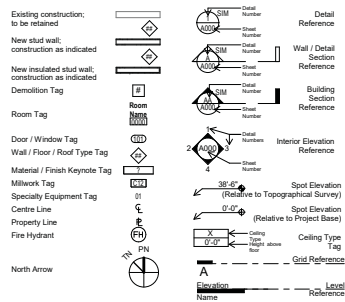
- A000 Cover Sheet
- A001 Project Statistics
- A002 Project Exclusions
- A003 Design Rationale
- A004 Topographic Survey
- A005 Subdivision Plan
- A007 Context Plan
- A010 Site Plan
- A101 Street Elevations
- A102 Shadow Studies
- A110 Floor P2 - Sub
- A111 Floor Plan P2
- A112 Floor Plan P1
- A113 Floor Plan L1
- A114 Floor Plan Mezzanine
- A115 Floor Plan L2
- A116 Floor Plan L3
- A117 Floor Plan L4
- A118 Floor Plan L5
- A119 Floor Plan L6
- A120 Floor Plan - Roof & Penthouse
- A121 Roof Plan - Upper
- A300 Elevations
- A301 Elevations
- A302 Exterior Materials
- A303 Perspectives
- A400 Sections - Building
- A401 Sections - Building
- A402 Sections - Building



Building Code Statistics

Building Code	BCBC 2018 – Part 3 Division B
Building Occupancy	Assembly – Group A, Division 2 Residential – Group C Retail – Group E Parking – Group F3
Building Area (West Block)	846.7 sq.m
Building Area (East Block)	733.8 sq.m
Building Height (East & West)	6-Storeys
Fully Sprinkled to NFPA 13 2013	
Number of Sheets facing - 2	
Energy Compliance Path	BC Building Code 2018
Energy Step Code Level	Step 3

GRAPHIC & SYMBOL LEGEND



LONSDALE SQUARE M4 BP-RESUBMISSION

126 East 21st Street North Vancouver, BC

Legal Description: LOTS 1, 2 AND 3, PLAN EPP19495; LOT 4 OF LOT 1, PLAN 11876, EXCEPT PART SUBDIVIDED BY PLAN EPP19495; LOTS 1 AND 2, PLAN EPP19497; LOT C, PLAN 15014; LOT 1, PLAN LMP17639; THE CLOSED PART OF EASTERN AVENUE IN REFERENCE PLAN 8308 OF LOT 2, PLAN S481; THAT PART OF LOT 6 IN EXPLANATORY PLAN 6264, OF LOT 2, PLAN S481; ALL OF BK 007, DL 546, Q1, NW/4.

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP-AMEN
6	21.07.20	ISSUED FOR BP-RES
5	21.06.04	ISSUED FOR DP-AMEN, M4-CAN
3	21.02.12	ISSUED FOR ITT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION

SCALE:	1/4" = 1'-0"	DATE:	06/04/2021	DRAWN:	TKAD
PROJECT NUMBER:	20015				

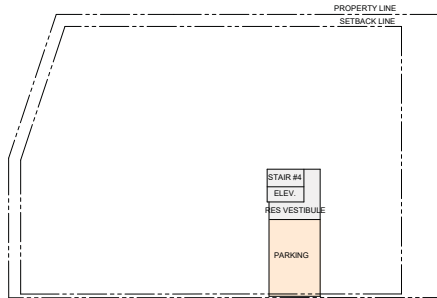
**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

TKA ARCHITECTURE + DESIGN INC.

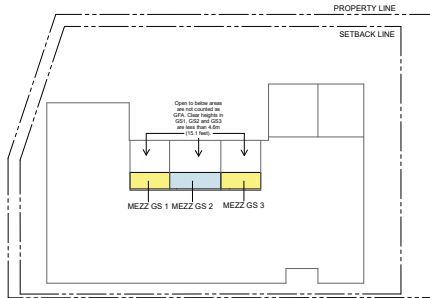
LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Cover Sheet
PROJECT DATE: 8/3/2021 11:11:56 AM

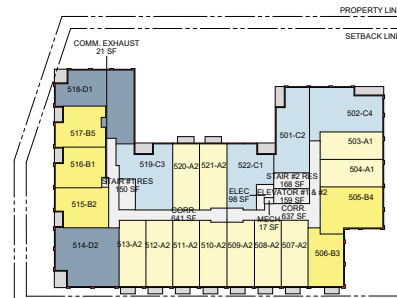
A000



Level P2 - Sub (Diagram)



Mezz (Diagram)



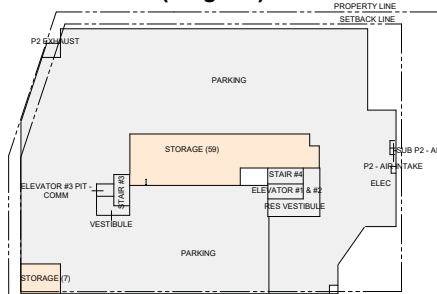
Level 5 (Diagram)

SUMMARY OF PROJECT STATISTICS

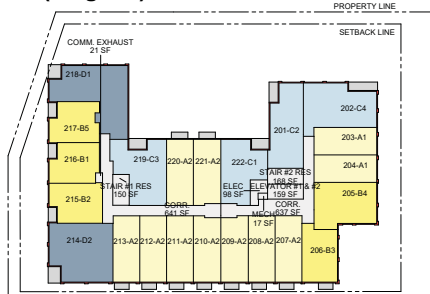
Civic Address	126 East 21st Street, Vancouver, BC, V7M 2K7	
Application Description	Proposed of 6-storey residential mix-use	
Lot Area	3,286sqm (35,175 sqft)	
Zoning	CD - 703	Proposed CD - 703
Official Community Plan	By-law 9700	By-law 9700
PROPOSED USE	Gross Floor Area	Number of Units
Residential	8,396.8 sqm (90,383.1 sq ft)	113
Commercial	757.5 sqm (8,158 sqft)	16
Exemptions	707.5 sqm (7,612 sqft)	
Total (after Exemptions)	8,447.5 sqm (90,929sqft)	
REGULATORY ANALYSIS	Current Regulation	Proposed
OC Designation	MIXED-USE LEVEL 2 (Medium Density)	MIXED-USE LEVEL 2 (Medium Density)
Zoning	CD - 703	CD - 703
FSR	Combined Total of 3.5 FSR for entire site	Combined Total of 3.5 FSR for entire site
Lot Coverage (percentage)		42.8%
Height	23.3m (76' - 5 3/8")	22.88m (75' - 0 3/4")
SETBACKS		
North Interior Lot Line	2m (6' - 5")	8.7m (28' - 7 3/8")
East Side Lot Line	5m (15' - 8 1/4")	9.9m (32' - 5 7/8")
South Front Lot Line	0.6m (2' - 0")	1.88m (6' - 2 1/4")
West Interior Lot Line	2m (6' - 5")	6.4m (21' - 2")
NW Interior Lot Line	2m (6' - 5")	2.1m (7' - 0 1/8")
VEHICLE PARKING	107	108
Commercial	10	10
Commercial (Disability)	1	1
Visitor	11.3	12
Shared	17	17
Residential	67.8	81
Residential (Disability)	4.3	5
Loading Spaces	1*	2*
* not included in overall total		
BICYCLE PARKING		
Residential (secured)	169.5	173
Residential (short-term)	11.3	12
Commercial (secured)	3	3
Commercial (short-term)	4.54	5
ADAPTABLE DESIGN STATISTICS		
Level Two Adaptable Units (25%)	28.25	68

END OF TRIP (EOT) FACILITIES

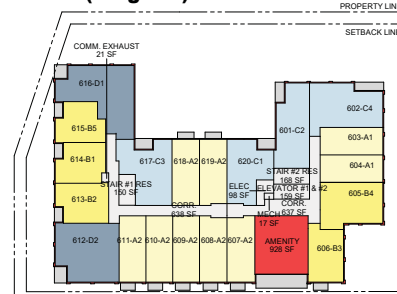
TYPE	REQUIRED	PROVIDED
TOILET	0	1
WASH BASIN	1	2
SHOWERS	1	2
BROOMING	1	3
LOCKERS	6,08	6



Level P2 (Diagram)



Level 2 (Diagram)



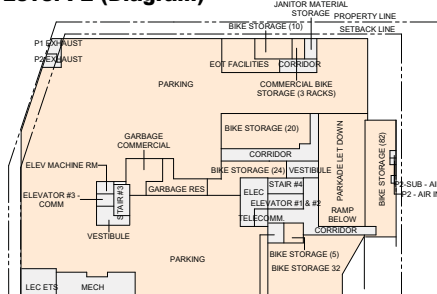
Level 6 (Diagram)

RESIDENTIAL FLOOR AREA

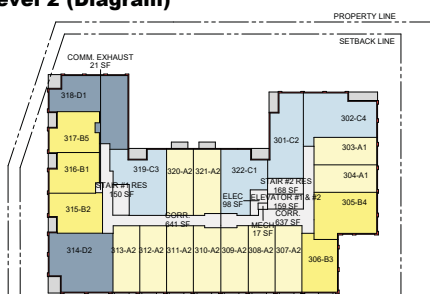
Level 1	5,713 SF
Mezz	643 SF
Level 2	16,659 SF
Level 3	16,659 SF
Level 4	16,659 SF
Level 5	16,659 SF
Level 6	16,522 SF
Roof T.O. Structure	869 SF
Residential Total SF	90,383 SF

RESIDENTIAL LEASABLE AREA

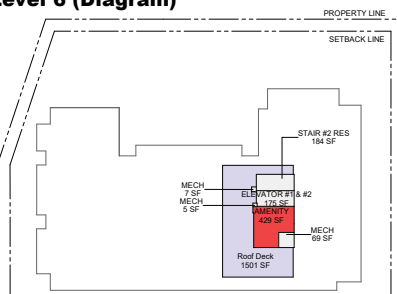
Level 1	3,311 SF
Mezz	643 SF
Level 2	14,114 SF
Level 3	14,114 SF
Level 4	14,114 SF
Level 5	14,114 SF
Level 6	13,361 SF
Grand Total	74,992 SF



Level P1 (Diagram)



Level 3 (Diagram)



Roof Level (Diagram)

COMMERCIAL/CRU FLOOR AREA

CRU 1	2,152 SF
CRU 2	1,998 SF
CRU 3	791 SF
CRU 4	929 SF
CRU 5	1,007 SF
CRU 6	1,282 SF
Commercial Total SF	6,158 SF

TOTAL FLOOR AREA (RESIDENTIAL + COMMERCIAL)

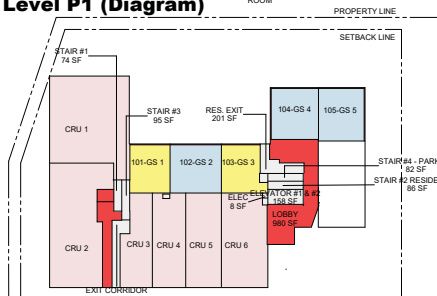
Level 1	13,871 SF
Mezz	643 SF
Level 2	16,659 SF
Level 3	16,659 SF
Level 4	16,659 SF
Level 5	16,659 SF
Level 6	16,522 SF
Roof T.O. Structure	869 SF
Total Floor Area SF	98,541 SF

EXCLUSIONS

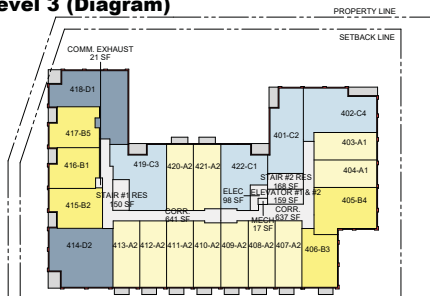
Adaptable Design Exclusion	1360 SF
HRV Exclusions	1,695 SF
Bylaw Exclusions (Refer to A002)	4,557 SF
Exclusions Total SF	7,612 SF

TOTAL FLOOR AREA - EXCLUSIONS

GRAND TOTAL SF	90,929 SF
-----------------------	------------------



Level 1 (Diagram)



Level 4 (Diagram)

BALCONY AREA

Level 2	Balcony	745 SF
Level 3	Balcony	745 SF
Level 4	Balcony	745 SF
Level 5	Balcony	745 SF
Level 6	Balcony	922 SF
Balcony Total SF		3902 SF

UNIT MIX

Type	Unit type	Count	Adaptable
A1	Jr 1Bed	10	10
A2	Jr 1Bed	43	43
B1	1 BED	5	0
B2	1 BED	5	0
B3	Jr 1Bed	5	0
B4	1 BED	5	5
B5	1 BED	5	0
C1	2 BED	5	0
C2	2 BED	5	5
C3	2 BED	5	0
C4	2 BED	5	0
D1	3 BED	5	0
D2	3 BED	5	5
GS 1	1 BED	1	0
GS 2	2 BED	1	0
GS 3	1 BED	1	0
GS 4	2 BED	1	0
GS 5	2 BED	1	0
Total		113	68

PARKING FLOOR AREA

Level P2-Sub	2001 SF
Level P2	27304 SF
Level P1	27551 SF

LEGEND

1 BEDROOM	CRU	1BED + D	BALCONY
2 BEDROOM	PARKING	FSR EXCLUSION	
3 BEDROOM	ROOF DECK		
JR 1 BEDROOM	CORE		



7 21.08.03 ISSUED FOR DP AMEND
6 21.07.20 ISSUED FOR BP RE-SEAL
5 21.08.04 ISSUED FOR DP AMENDMENT
2 21.02.05 ISSUED FOR BP
1 20.08.07 ISSUED FOR DP RE-SUBMISSION

REV DATE DESCRIPTION
SCALE: As indicated DATE: 06/04/2021 DRAWN: TKAD
PROJECT NUMBER 20015
FILE: C:\Users\TKA\Documents\2017\TKAD\001\A001.dwg DATE: 8/20/21 11:14:47
APP: TKA+D ARCHITECTURE + DESIGN INC.

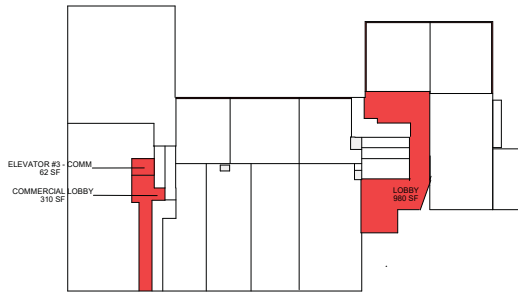
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA+D ARCHITECTURE + DESIGN INC.
217 WEST PENDER STREET, VANCOUVER, V6C 2K7, CANADA

LONSDALE SQUARE
126 E 21ST ST, NORTH VANCOUVER

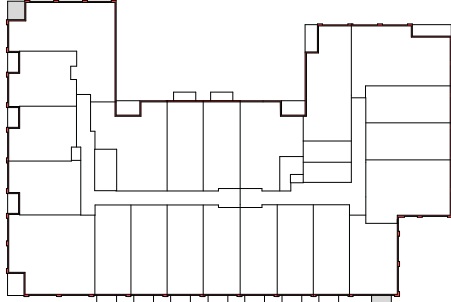
Project Statistics
PLOT DATE: 8/23/2021 11:11:15 AM

A001



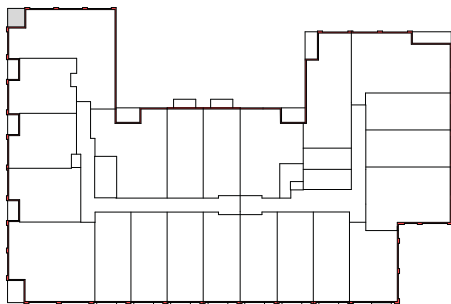
Level 1 (Diagram Exclusion)

Level	Comments	Area
Level 1	General exclusion	1351 SF
Level 1	Wall exclusion	83 SF
Grand total		1435 SF



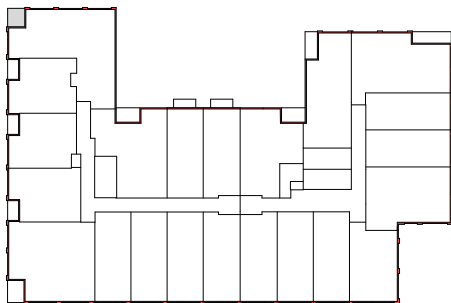
Level 2 (Diagram Exclusion)

Level	Comments	Area
Level 2	Wall exclusion	355 SF
Grand total		355 SF



Level 3 (Diagram Exclusion)

Level	Comments	Area
Level 3	Wall exclusion	355 SF
Grand total		355 SF



Level 4 (Diagram Exclusion)

Level	Comments	Area
Level 4	Wall exclusion	355 SF
Grand total		355 SF



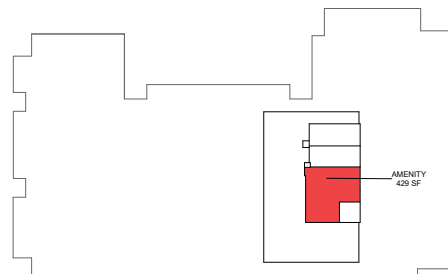
Level 5 (Diagram Exclusion)

Level	Comments	Area
Level 5	Wall exclusion	355 SF
Grand total		355 SF



Level 6 (Diagram Exclusion)

Level	Comments	Area
Level 6	General exclusion	928 SF
Level 6	Wall exclusion	346 SF
Grand total		1274 SF



Roof Level (Diagram Exclusion)

LEGEND

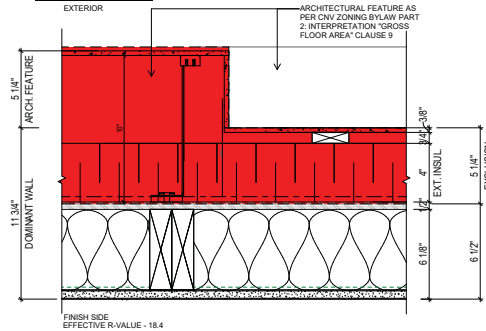
FSR EXCLUSION



BYLAW EXCLUSIONS

Level	Area
Level 1	1,435 SF
Level 2	355 SF
Level 3	355 SF
Level 4	355 SF
Level 5	355 SF
Level 6	1,274 SF
Roof T.O. Structure	429 SF
Grand total	4,557 SF

TYP WALL EXCLUSION



REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP AMEND
6	21.07.20	ISSUED FOR BP RE-SUBMISSION
5	21.06.04	ISSUED FOR DP AMENDMENT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE:	As indicated	DATE:	06/04/2021	DRAWN:	TKAD
PROJECT NUMBER:	20015				
FILE:	C:\Users\TKADesign\Documents\20015\20015-0001.dwg	DATE:	8/3/2021 11:11:21 AM		

**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

TKA ARCHITECTURE + DESIGN INC
207-1020 PNECORN STREET, VANCOUVER, BC, V6J 4R6

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Project Exclusions
PLOT DATE: 8/3/2021 11:11:21 AM

A002

Project Description

This proposal for Building M4 on the Lonsdale Square is comprised of a six-story mixed-use building, comprising of retail units at street level and residential units above. The gross floor area of the total building is 9,230 m² (99,353 square feet), located at the corner of 21st Street and Eastern Avenue. M4 is surrounded by greenery and an abundance of community amenities, providing the building residents with comfortable, convenient and natural surroundings.

To enliven the public realm, six commercial retail units (CRU), totaling 757 m² (8,158 SF), are planned at grade, two of which are face west, towards the Green Necklace. A two-storey underground parking structure provides access to parking stalls and secure bicycle parking, as well as end-of-trip facilities.

Existing Policy

The proposed building falls within and complies with the requirements of the CNV Harry Jerome Neighbourhood Lands Development Permit Area Guidelines. Located on the south-east corner of the proposed Lonsdale Square development, the M4 site allows for overall building heights of 6 stories and 73 feet from average grade.

Design Origin

Vancouver's North Shore possesses some of Canada's most celebrated modernist architecture, a body of work that blossomed in the early 1950's. The architecture that spread across the lower levels of the coastal mountains dealt elegantly with the abrupt climatic change, extended periods of intense rain and grey misty days that define its unique setting. Buildings of beauty, harmony and contrast, simple in plan and form, embraced modular construction, with large glass windows and spartan, clean materials. These structures brought the promise of a high-quality environment to everyday spaces, elevating the individuals and the communities of which they were a part. With the use of appropriate materials, simplicity of form and relationship to site, Building M4 will build upon the legacy and spirit of the unique brand of modernism that evolved on the North Shore, rooting the building to its context and establishing a high level of quality for the emerging Lonsdale Square.

Building Form + Massing

The U-shaped form and massing of M4 strives to achieve elegance in its overall proportions as well as the compositional treatment of its facades. Essentially, M4 is comprised of two stacked forms: a large massing that floats above a primarily transparent base. To draw upon the simple modernist form, the majority of the building facade is organized within a grid, with large floor-to-ceiling windows punctuated within the grid. The indented courtyard of the U-shape faces the north to take advantage of soft daylighting and views to the park. The entrance to the garden suites on Level 1 is also along the north facade, providing residents a calm and private transition into their respective units. The north facade differs slightly from the south in terms of materiality and form since it can be considered as the "secondary facade". The language of the grid continues on the north facade but is echoed with reveal lines instead of being built up with the same material on the rest of the building.

The CRU and residential masses are divided by a large canopy along the south and west facade. This is not only a practical gesture, in providing shelter from natural elements and acoustical separation to residential occupants above, but also an architectural one in order to separate and express the two distinctive programs that occupy the same building.

Building Character + Materiality

Guiding principles for the building character, esthetics and materiality are based on the desire to reflect the regional context, ensuring a meaningful connection to site, and a building that is relevant to and rooted in the community. The high contrast palette for the building is comprised of robust and modern materials including: clear glazing in dark aluminum frames, light grey board and batten panels, charcoal and coloured accent panels next to residential glazing units, and wood accents along public and high traffic areas (including the underside of the CRU canopy, lobby main entrance, and amenity spaces).

The vertical pattern within the smooth grid provides texture and differentiation from the rest of the facade, our hope with this approach is to provide a dual sense of familiarity and novelty to the adjacent residents.

Amenities

As the first building in a multi-phase development, Building M4 will create a significant focal point at the southern entry to the new public park and Green Necklace. The retail public amenities and gathering spaces that border the park, and grade related retail along 21st Street, will foster a rich urban streetscape, with a sense of place that will begin to establish the identity of the unique community planned as the future northern node of Lonsdale Avenue.

Building Program

Retail
The interface between the new public park and the western edge of the building presents the most significant opportunity for commercial space to animate the public realm. Accordingly, restaurant and cafe uses are located along this frontage, providing high visibility and exterior space for generous terraces.

Residential
A diverse unit mix is provided on the floors above the Retail level. On Level 1, there are five Garden Suites. Three of these Garden Suites are loft-styled, with mezzanine levels for sleeping areas and private garden entrances. From Level 2-6, there are studios, one, two and three bedroom apartments. All units have ample daylight and either have a balcony or a Juliette-styled balcony.

Relationship to Context

The proposed building is designed to be a comfortable fit within the surrounding neighbourhood, respecting single-family homes to the east, strengthening Lonsdale's presence as North Vancouver's main civic artery to the west and establishing the character of the first phase of the future community node planned for Upper Lonsdale. The intersection of Lonsdale Avenue and 21st Street marks the end of the commercial activity that defines Lonsdale. Above this intersection, the new civic park and this new building, will begin to define the strong civic character of the new Lonsdale Square precinct. Surrounding the building are four distinct urban conditions. To the north, the building is bordered by a green pedestrian pathway connecting Eastern Avenue to the new civic park that spans from the western edge of the building to Lonsdale Avenue. The building is oriented with active food and beverage commercial spaces to the northwest and southwest corners of the building where their exterior balconies will catch afternoon and evening sunlight and animate the eastern edge of the new park and Green Necklace. At the south, facing London Drugs, the building establishes an urban edge along 21st Street, with retail services and urban amenities at grade, animating the urban realm and provide amenities to the surrounding community.

In order to reduce impact on the townhouses across Eastern Avenue, the building is set back an additional 4.6 meters from the required six meter setback. Between Eastern Avenue and the new building, there will be new double tree-lined pathway that will connect East 21st Street to the new park, north of the building.

Response to Site Challenges and Opportunities

The opportunity inherent in this modestly scaled project is to set the tone for the unique new community planned at the head of Lonsdale, and create an iconic structure that establishes the spirit, palette and quality of the long-term residential development. To meet this objective, careful attention is paid to design and proportion of all the facades of the building, including the relationship between solid wall and clear glazed areas, since the building will be designed to meet Step 3 of the BC Energy Step Code.

As this is not an infill site, there are no neighbouring buildings along the street frontages, which can inform the building design. Under these circumstances, defining an appropriate character and desirable proportions for the building is both an opportunity and a challenge. The design and proportional relationships between the materials and fenestration along the various facades, is carefully done using a formalized grid to organize the building.

Sustainable Development Approach

Building M4 will set a high benchmark for sustainable building design by incorporating a number of significant green building strategies, including: high performance envelope with a concerted effort to limit thermal bridging; an integrated bioswale/storm water management along the north side of the building; large canopies to provide solar shading for areas with large amounts of curtain wall (CRU units at street level and rooftop amenity area); and native landscaping strategies.

BC Energy Step Code:

While the CNV currently requires commercial buildings to meet Step 2 of the BC Energy Step Code, M4 is designed to meet Step 3, which is the highest level for commercial buildings in the BC Energy Step Code. At Step 3, the building will have a Total Energy Use Intensity (TEUI) of 113.2 kWh/m²/yr and a Thermal Energy Demand Intensity (TEDI) of 28.3 kWh/m²/yr. The intended Step 3 requirements of occupancy types C and E target a TEUI of 120 kWh/m²/yr and TEDI of 29.2 kWh/m²/year. Therefore, the proposed M4 building is compliant with Step 3 of the BC Energy Step Code.

Crime Prevention Through Environmental Design (CPTED)

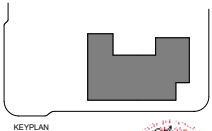
The design of the building and surrounding urban realm will follow the CNV's Development Permit Area Guidelines regarding CPTED principles. Applied principles of CPTED will create a safe, secure and pleasant building with open spaces that are accessible to people of all abilities. CPTED strategies include the following:

Lighting: Street and landscape lighting will be to CNV specifications, to ensure that all sidewalks and pathways are well lit with appropriate down lighting to ensure personal safety and visibility.

Active Street Level Uses: CRUs will provide casual surveillance and "eyes on the street", along 21st Street and the new Green Necklace bike route connecting the corner of 21st Street and Lonsdale Avenue to 23rd Street.

Garden Suite private gardens: Well defined private garden areas for the Garden Suites will allow for territorial reinforcement and provide a "pride of place". These properties will result in a more natural sense of surveillance and enable residents to identify any intruders.

Balconies: The abundance of balconies along all units allow for more "eyes on the street" opportunities, where residents can survey the public streets and also their fellow neighbours with clear sight lines.



KEYPLAN

7	21.08.03	ISSUED FOR DP-AMENDMENT
5	21.08.04	ISSUED FOR DP-AMENDMENT
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	1/2" = 1'-0"	DATE: 06/04/2021
PROJECT NUMBER:	2015	DRAWN: VH, SW
FILE:	C:\Users\m4\OneDrive\Work\2015\2015-06-04\2015-06-04-01\2015-06-04-01-01.dwg	DATE: 8/3/2021 11:11:37 AM

DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
207-1050 PINEDALE STREET, VANCOUVER, V6L 6C7, P: 604-983-3488

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Design Rationale
PLOT DATE: 8/3/2021 11:11:37 AM

A003

SUBDIVISION PLAN OF PART OF LOT A AND LOT B, BOTH OF LOT 1, BLOCK 207, DISTRICT LOT 545, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 11876.

PLAN EPP87495

PURSUANT TO SECTION 74 OF THE LAND TITLE ACT.
CITY OF NORTH VANCOUVER
BC026 8203 033



WORKMAN	DATE	DESCRIPTION	COMMENTS
OWNER	2021.08.04	ISSUED FOR DP-AMENDMENT	
OWNER	2021.08.04	ISSUED FOR DP-AMENDMENT	
OWNER	2021.08.04	ISSUED FOR DP-AMENDMENT	

NOTE: FOR MARKING PURPOSES ONLY.

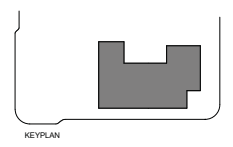
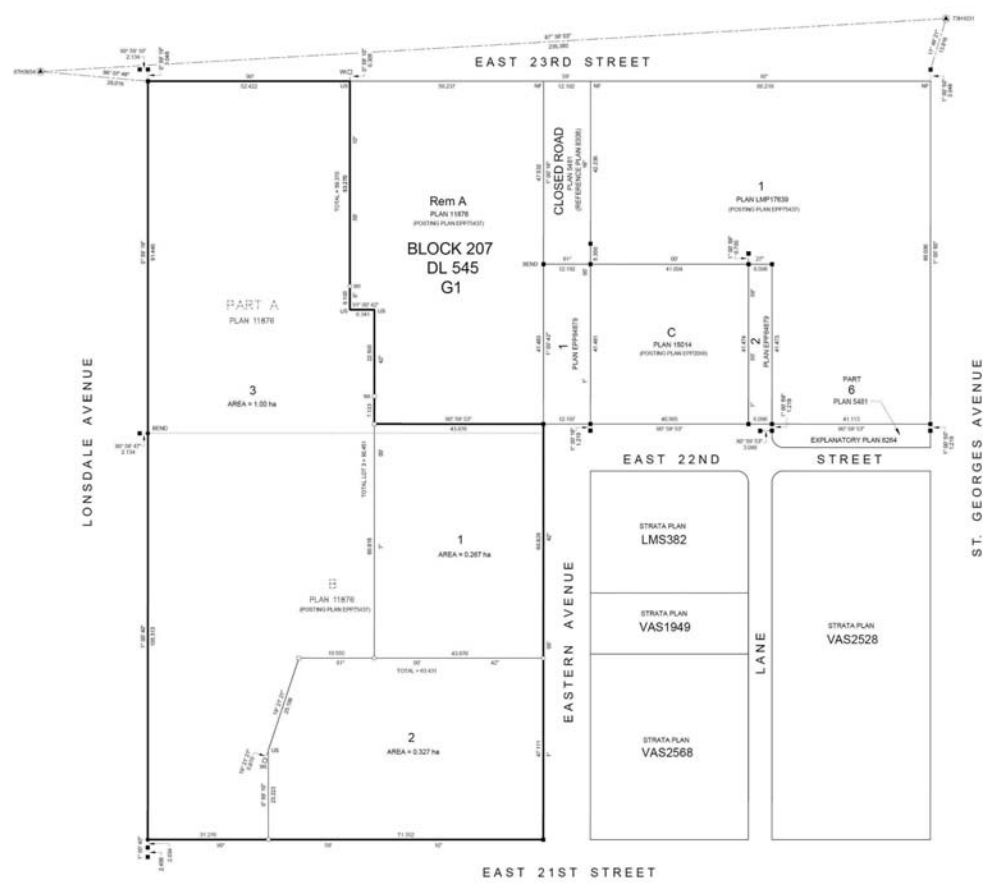
THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONS, INCLUDING ANGLES, ARE DERIVED FROM THE RESULTS PROVIDED BY THE SURVEYOR AND ARE NOT TO BE USED FOR GEODETIC CONTROL PURPOSES (LONGER AND SHORTER).

- LEGEND**
- DENOTES STANDARD BENCH POINT FOUND
 - DENOTES STANDARD BENCH POINT PLACED
 - DENOTES LEAD PILE FOUND
 - DENOTES LEAD PILE PLACED
 - ▲ DENOTES GEODETIC CONTROL MONUMENT
 - ▽ DENOTES UNDESIRABLE FOR POSTING

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN MONUMENT CONTROL MONUMENTS SPAN AND 7/10/10.

THIS PLAN SHOWS ONE OR MORE WITHNESS POINTS WHICH ARE NOT SET ON THE TRUE CORNERS.

bennett
LAND SURVEYING LTD.
1111 WEST 10TH AVENUE
VANCOUVER, BC V6H 1T1
TEL: 604-273-8888
WWW.BENNETT-SURVEYING.COM



REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP-AMENDMENT
5	21.08.04	ISSUED FOR DP-AMENDMENT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE: DATE: 06/04/2021 DRAWN: VL, SW
PROJECT NUMBER: 20015
FILE: C:\Users\vl\Documents\Draw\2015\20015\20015.dwg DATE: 8/3/2021 11:11:34 AM

**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

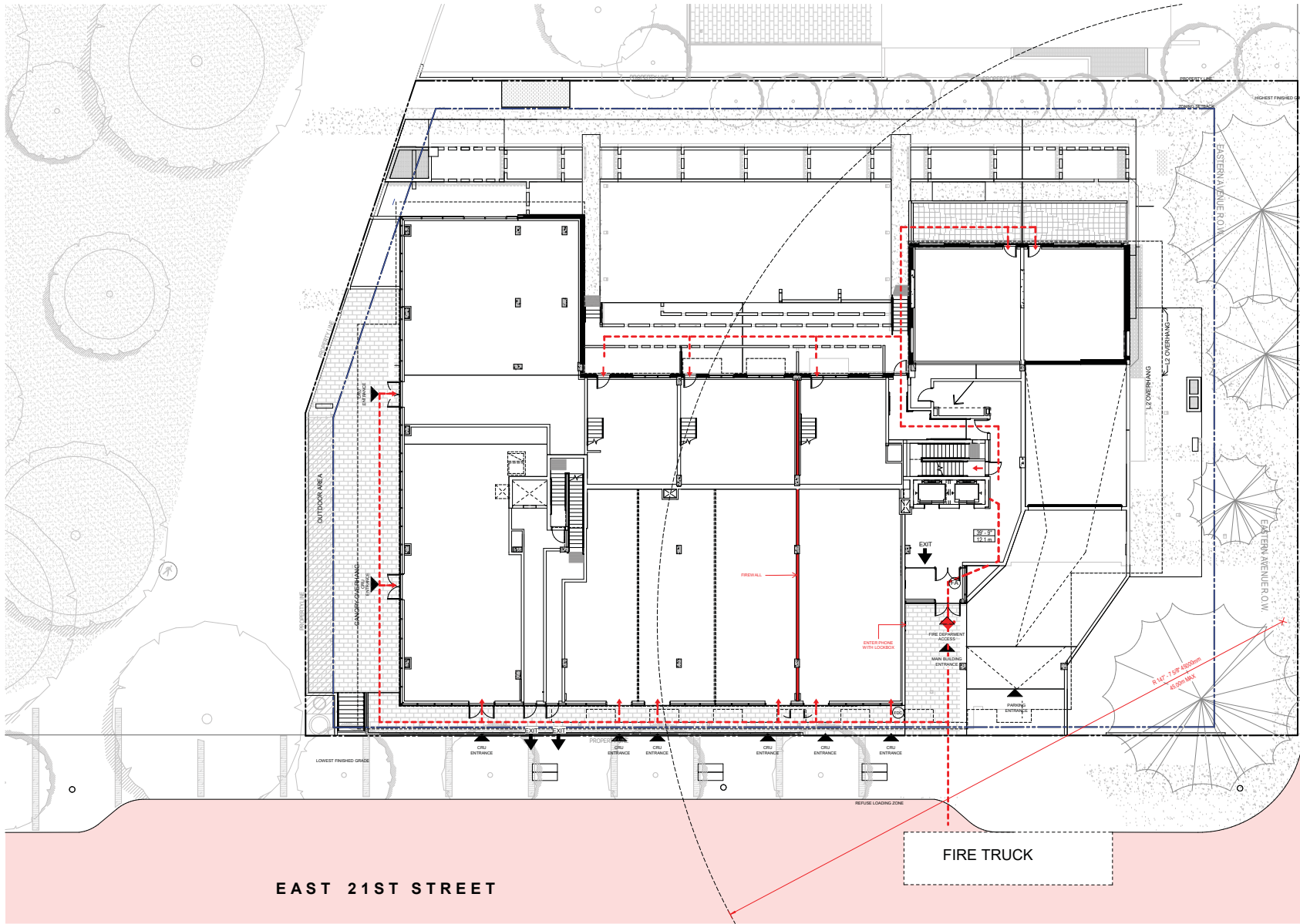
TKA ARCHITECTURE + DESIGN INC
201-102 PONDICHERRY STREET, VANCOUVER, V6J 1C7, P4608-0468

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Subdivision Plan
PLOT DATE: 8/3/2021 11:11:38 AM

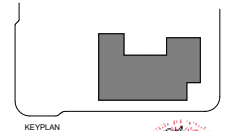
A005





EASTERN AVENUE

EAST 21ST STREET



7	21.08.03	ISSUED FOR DP-AMEN.	M4-CVN
5	21.08.04	ISSUED FOR DP-AMENDMENT	
2	21.02.05	ISSUED FOR BP	
1	20.08.07	ISSUED FOR DP RE-SUBMISSION	
REV	DATE	DESCRIPTION	
SCALE: 3/32" = 1'-0"		DATE: 08/30/21	DRAWN: VH, SW
PROJECT NUMBER		20015	
FILE: C:\Users\vh\Documents\Draw\BP-1940\Open\		DATE: 8/30/21 11:11:39 AM	

**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

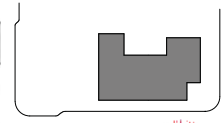
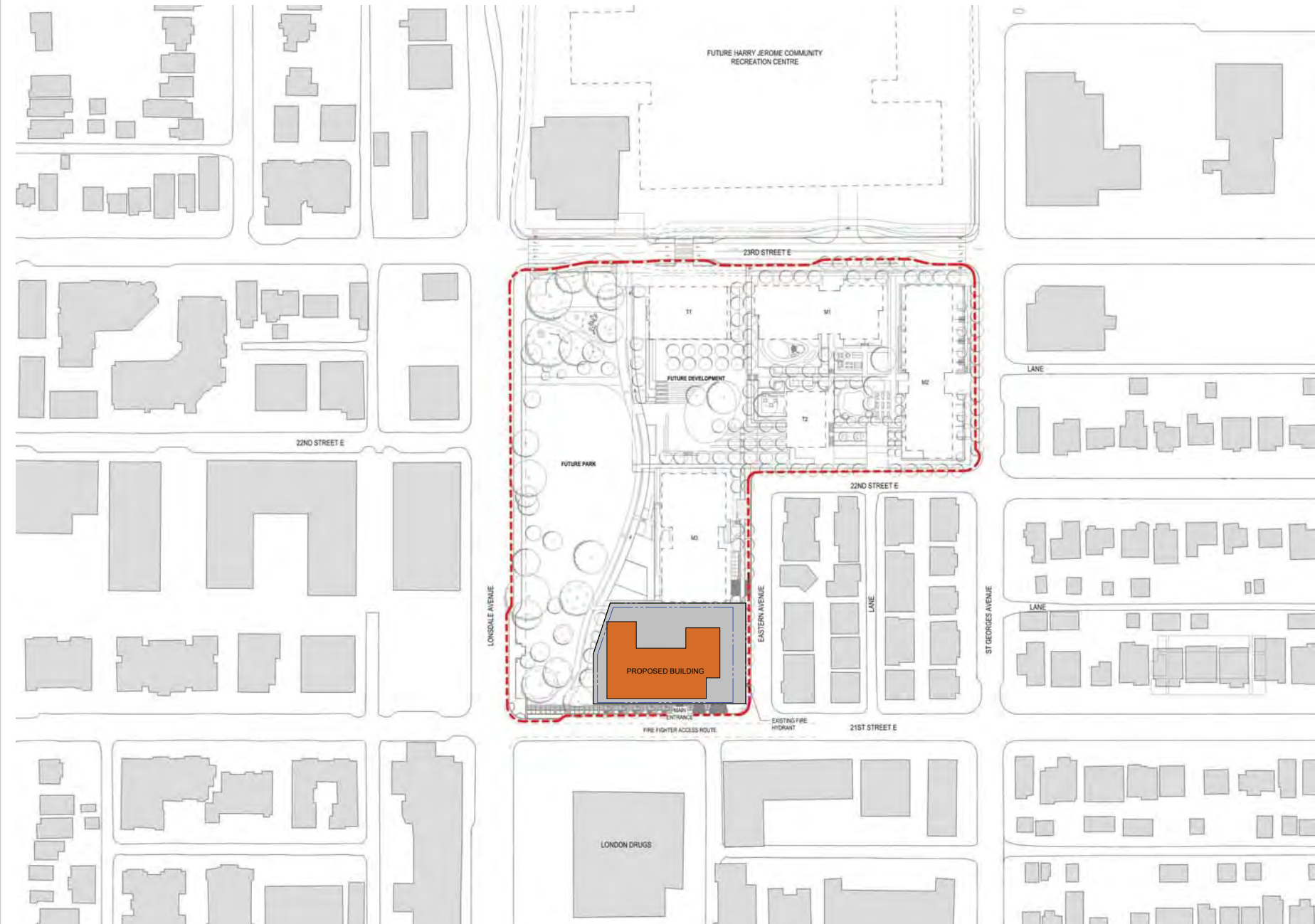
TKA ARCHITECTURE + DESIGN INC.
307-102 PENDER STREET, VANCOUVER, V6B 6C7, B.C. CANADA

LONSDALE SQUARE
128 E 21st ST, NORTH VANCOUVER

Fire Safety Plan
PLOT DATE: 8/3/2021 11:11:39 AM

A006

1 Fire Safety Plan
3/32" = 1'-0"



REV [DATE] [DESCRIPTION]

7	21.08.03	ISSUED FOR DP AMEN
6	21.07.20	ISSUED FOR BP RE-SE
5	21.06.04	ISSUED FOR DP AMEN - M4-CAN
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE: 1/64" = 1'-0" [DATE: 06/04/2021] [DRAWN: TKAD]
 PROJECT NUMBER: 20015
 FILE: C:\Users\TKA\Documents\2015\20015\20015.dwg
 PLOT DATE: 8/3/2021 11:11:46 AM

**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

TKA ARCHITECTURE + DESIGN INC
 201-103 JONAS STREET - VANCOUVER - V6J 5C7 - P: 604-693-9498

LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Context Plan
 PLOT DATE: 8/3/2021 11:11:46 AM

A007

① **Context Plan**
 1/64" = 1'-0"



ADJACENT SITE PROPOSED SITE ADJACENT SITE ADJACENT SITE



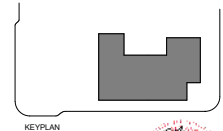
ADJACENT SITE LONSDALE AVE ADJACENT SITE PROPOSED SITE EASTERN AVENUE ADJACENT SITE



ADJACENT SITE 21ST STREET EAST ADJACENT SITE PROPOSED SITE 21ST STREET EAST ADJACENT SITE



1 Site Photos
3/4" = 1'-0"



KEYPLAN



7	21.08.03	ISSUED FOR DP-AMENDMENT
5	21.08.04	ISSUED FOR DP-AMENDMENT
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION
REV	DATE	DESCRIPTION
SCALE: 3/4" = 1'-0"		DATE: 08/03/21
PROJECT NUMBER: 20015		DRAWN: Author
FILE: C:\Users\m4\Documents\Draw\21-1540-0001\15-021		DATE: 8/3/2021 11:11:41 AM
PLOT: 8/3/2021 11:11:41 AM		SCALE: 3/4" = 1'-0"

**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

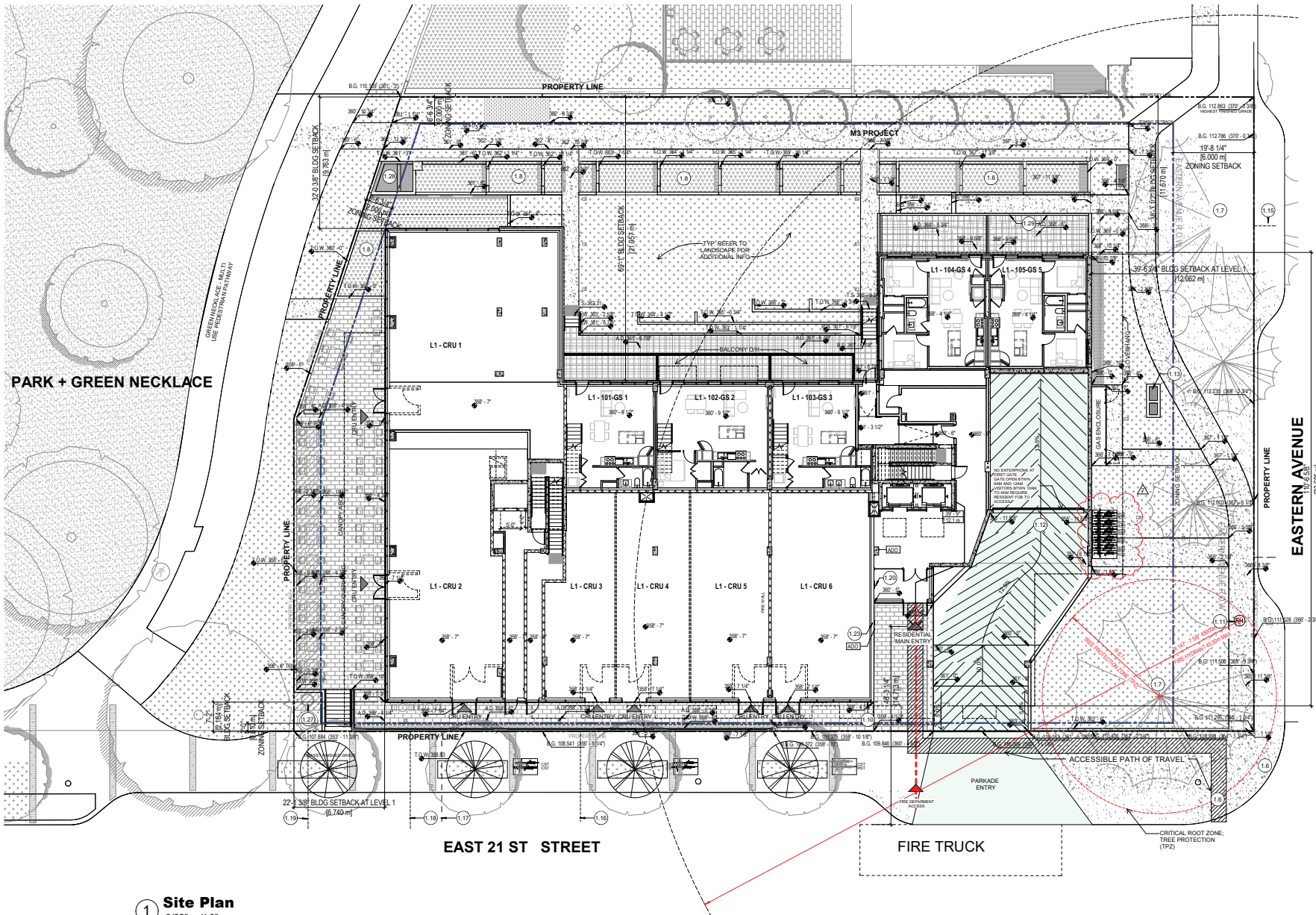
TKA ARCHITECTURE + DESIGN INC.
207-102 PNECORA STREET, VANCOUVER, V6L 5C7, P: 604-983-3488

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Site Photos
PLOT DATE: 8/3/2021 11:11:41 AM

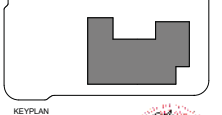
A008





- 1.1 COLUMN ENCLOSED IN FIREWALL
- 1.2 INDICATIVE LOCATION FOR A UNIVERSAL WASHROOM TO BE COORDINATED WITH CRU TENANT.
- 1.3 TYP VESTIBULES AS PER ASHRAE 90.1.
- 1.4 TYP INTERNAL COMMERCIAL PARTITION WALLS SUBJECT TO MARKET DEMAND, TO BE COORDINATED WITH CRU TENANT.
- 1.6 CONCRETE SIDEWALK LEADDOWN
- 1.7 TYP STORROW WATER RETENTION PONDS - REFER TO LANDSCAPE DRAWINGS.
- 1.8 TYP FIRE DEPARTMENT CONNECTION
- 1.9 EXISTING FIRE HYDRANT
- 1.10 CHEVRON PATTERN ON PARKADE ENTRY RAMP
- 1.11 FRESH AIR INTAKE GRILLES - REFER TO MECH FOR ADDITIONAL INFO
- 1.12 PROPOSED BC HYDRO VISTA BOX LOCATION - REFER TO CIVIL FOR ADDITIONAL INFO
- 1.13 PROPOSED GAS SERVICE CONNECTION - REFER TO CIVIL FOR ADDITIONAL INFO
- 1.14 PROPOSED SANITARY SERVICE CONNECTION - REFER TO CIVIL FOR ADDITIONAL INFO
- 1.15 PROPOSED COMBINED WATER SERVICE CONNECTION - REFER TO CIVIL
- 1.16 PROPOSED DISTRICT ENERGY SERVICE CONNECTION - REFER TO CIVIL
- 1.17 PROPOSED STORM SERVICE CONNECTION - REFER TO CIVIL
- 1.18 FIRE ANNUNCIATOR PANEL WITH LOBBY PHONE
- 1.19 CRU MAILBOX LOCATION
- 1.20 DASH REPRESENTS SAFE ZONE SERVICE AREA FREE FROM OBSTACLES. RESIDENTIAL ELEVATORS MIN DIMENSIONS 5'0" X 4'0"
- 1.21 WALL MOUNTED ELEVATOR
- 1.22 TYP CARD READER REQUIRED FOR ELEVATOR
- 1.23 1-1/8" FRR AND WATER CURTAIN SPRINKLERS LOW TEMPERATURE GLASS FOR WINDOWS ARE REQUIRED FOR EXIT EXPOSURE PROTECTION IN THIS AREA REFER TO CODE CONSULTING DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MCAGLEY CONSULTING
- 1.24 DETENTION TANK INTEGRATED SHAFT - REFER TO CIVIL FOR ADDITIONAL INFO.
- 1.25 AIR EXHAUST GRILLES - REFER TO MECHANICAL FOR ADDITIONAL INFO.
- 1.26 REFER TO LANDSCAPE FOR RESIDENTIAL GATE DESIGN AND ADDITIONAL INFO.
- 1.30 REFER TO INTERIOR DESIGN DRAWINGS FOR GARDEN SUITE STAIR DETAILS

- LEGEND**
- A.D. ARCHITECTURAL DRAWING
 - A.S. ARCHITECTURAL SITE PLAN
 - B.C. BUILDING CODE
 - C.C. CIVIL CODE
 - D.C. DISTRICT CODE
 - F.C. FIRE CODE
 - G.C. GAS CODE
 - H.C. HYDRO CODE
 - I.C. INTERIOR CODE
 - M.C. MECHANICAL CODE
 - P.C. POWER CODE
 - R.C. RESIDENTIAL CODE
 - S.C. SERVICE CODE
 - T.C. TRUCK CODE
 - W.C. WALL CODE



- REVISIONS**
- | REV | DATE | DESCRIPTION |
|-----|----------|-----------------------------|
| 7 | 21.08.03 | ISSUED FOR DP AMEND |
| 6 | 21.07.20 | ISSUED FOR BP RE-SUBMITTAL |
| 5 | 21.06.04 | ISSUED FOR DP AMENDMENT |
| 2 | 21.02.25 | ISSUED FOR BP |
| 1 | 20.08.07 | ISSUED FOR DP RE-SUBMISSION |

SCALE: As Indicated **DATE:** 06/04/2021 **DRAWN:** TKAD
PROJECT NUMBER: 20015

DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
 126 E 21st St, North Vancouver

LONSDALE SQUARE
 126 E 21st St, North Vancouver

Site Plan
 PLOT DATE: 8/3/2021 1:14:51 PM



1 Site Plan
 3/32" = 1'-0"



② **West Elevation**
1/16" = 1'-0"



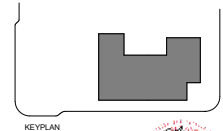
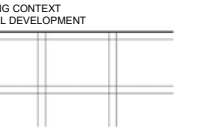
③ **South Elevation**
1/16" = 1'-0"



① **East Elevation**
1/16" = 1'-0"



④ **North Elevation**
1/16" = 1'-0"



REV [DATE] [DESCRIPTION]
 7 21.08.03 ISSUED FOR DP-AMENDMENT
 5 21.08.04 ISSUED FOR DP-AMENDMENT
 1 20.08.07 ISSUED FOR DP-RE-SUBMISSION

SCALE: 1/16" = 1'-0" [DATE: 06/04/2021] [DRAWN: V.H. SW]
 PROJECT NUMBER: 20015
 FILE: C:\Users\m\Documents\Drawings\184\184-001.dwg [SCALE: 1/16" = 1'-0"] [DATE: 8/3/2021 11:13:39 AM]

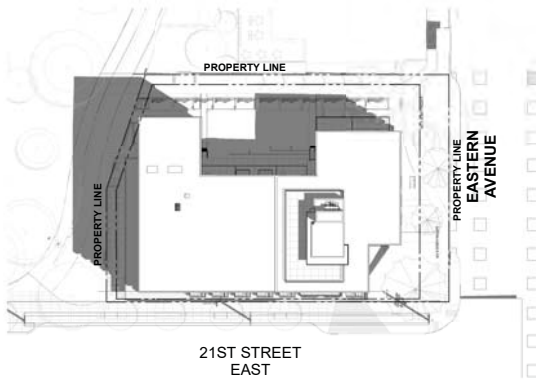
**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

TKA+D ARCHITECTURE + DESIGN INC.
 207-102 PENDER STREET, VANCOUVER, B.C. V6C 2R8

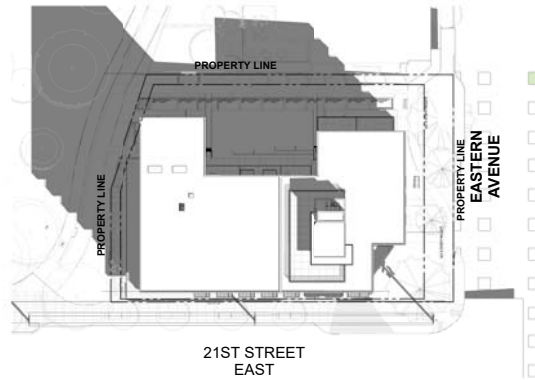
LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Street Elevations
 PLOT DATE: 8/3/2021 11:13:39 AM

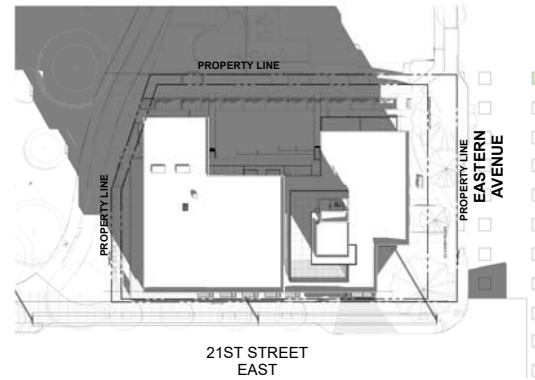
A101



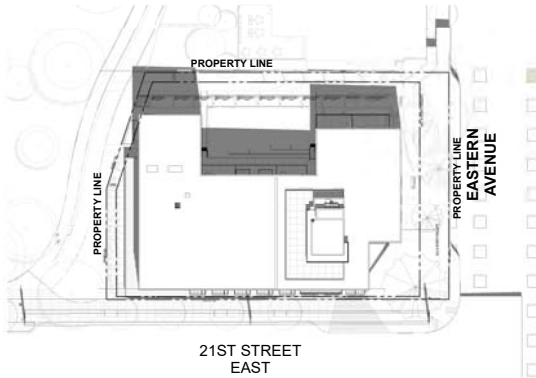
② **June 21 - 10 AM**
1" = 40'-0"



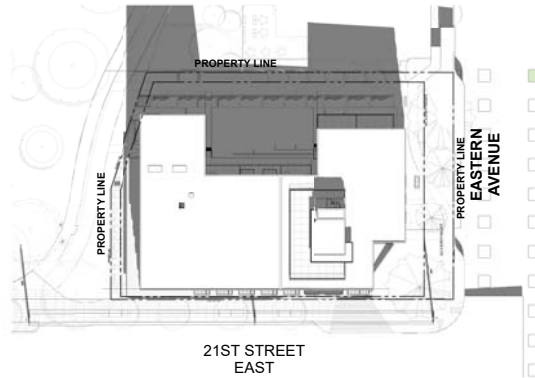
④ **March 21 - 10 AM**
1" = 40'-0"



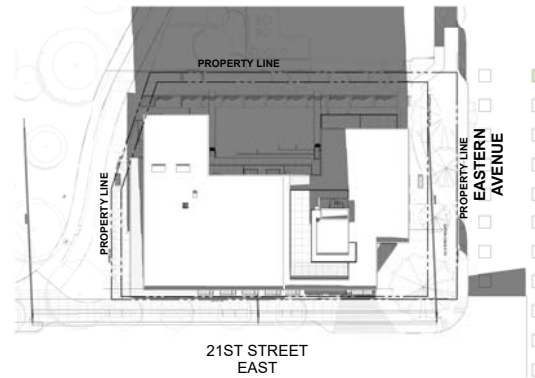
⑨ **December 21 - 10 AM**
1" = 40'-0"



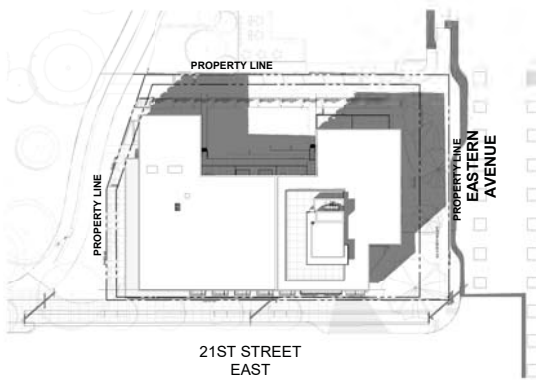
① **June 21 - NOON**
1" = 40'-0"



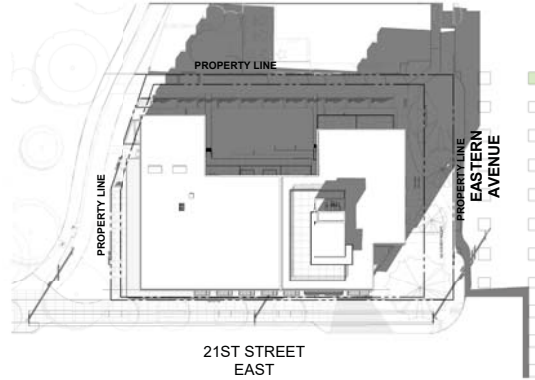
⑤ **March 21 - NOON**
1" = 40'-0"



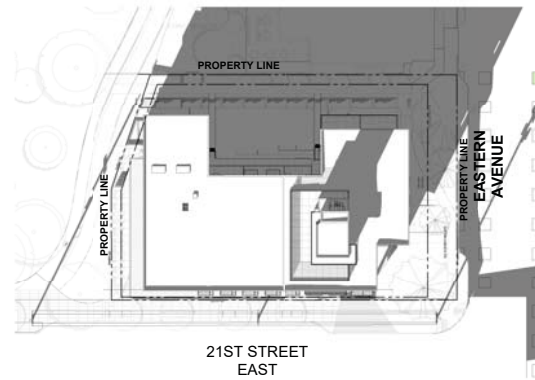
⑦ **December 21 - NOON**
1" = 40'-0"



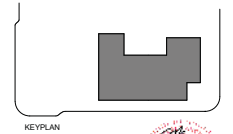
③ **June 21 - 2 PM**
1" = 40'-0"



⑥ **March 21 - 2 PM**
1" = 40'-0"



⑧ **December 21 - 2 PM**
1" = 40'-0"



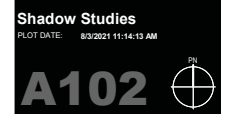
7	21.08.03	ISSUED FOR DP-AMENDMENT		
5	21.08.04	ISSUED FOR DP-AMENDMENT		
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION		
REV	DATE	DESCRIPTION		
SCALE: 1" = 40'-0"		DATE: 06/04/2021	DRAWN: V.H. SW	
PROJECT NUMBER		20015		
FILE	C:\Users\m\Documents\Draw\21-1040\Open	SCALE	8/3/2021 11:14:13 AM	
APP	AutoCAD 2014	SCALE		

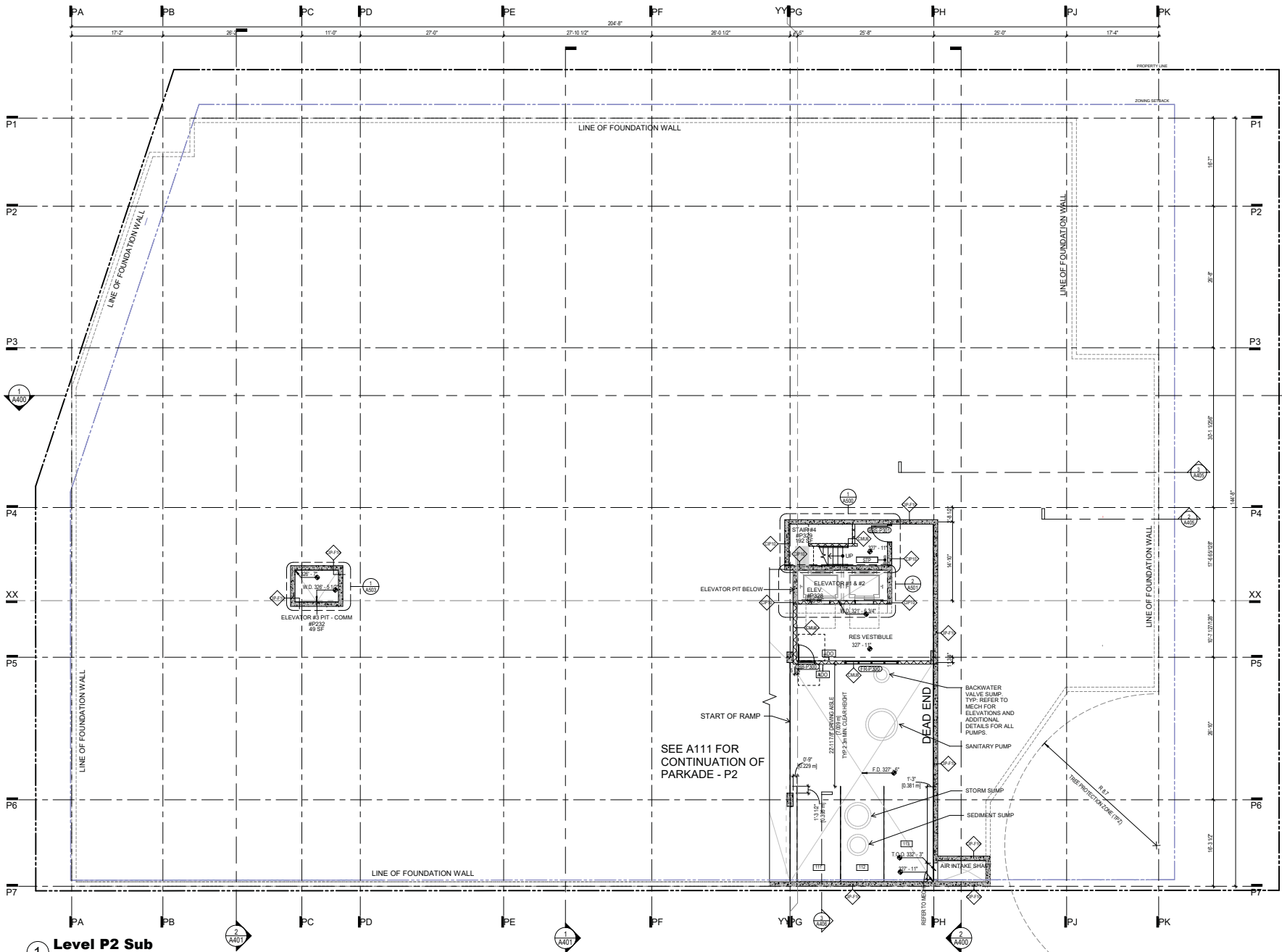
**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

TKA ARCHITECTURE + DESIGN INC
207-102 JENNIFER STREET VANCOUVER - V6J 6C7 - P:604-683-9466

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Shadow Studies
PLOT DATE: 8/3/2021 11:14:13 AM





- LEGEND OF ABBREVIATIONS:**
- A.S. ARCHITECTURAL SYMBOL
 - B.S. BOLLARD
 - C.S. CATCH BASIN
 - D.S. DOWNSPOUT
 - E.S. ELECTRICAL SYMBOL
 - F.S. FLOOR FINISH
 - G.S. GROUND SURFACE
 - H.S. HATCH SYMBOL
 - I.S. INTERLOCKED BUILDING
 - J.S. JOINT SYMBOL
 - K.S. KEY SYMBOL
 - L.S. LIGHT SYMBOL
 - M.S. MECHANICAL SYMBOL
 - N.S. NORTH SYMBOL
 - O.S. OPENING SYMBOL
 - P.S. POWER POLES
 - R.S. REINFORCEMENT
 - S.S. SHORT TERM
 - T.S. TRUCK SYMBOL
 - U.S. UNITS SYMBOL
 - V.S. VENT SYMBOL
 - W.S. WALL SYMBOL
 - X.S. X-RAY SYMBOL
 - Y.S. YIELD SYMBOL
 - Z.S. ZONE SYMBOL

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP AMEN.
6	21.07.25	ISSUED FOR SP RE-S.
5	21.06.04	ISSUED FOR DP AMEN.
3	21.02.12	ISSUED FOR IT
2	21.02.05	ISSUED FOR SP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE:	As indicated	DATE:	06/04/2021	DRAWN:	TKAD
PROJECT NUMBER:	20015				
FILE:	C:\Users\p\p\Documents\Drawings\20015\20015_01.dwg	DATE:	8/3/2021 11:14:15 AM		

DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
 125 W. PENDER STREET - VANCOUVER, B.C. V6C 2R8

LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Floor P2 - Sub
 PLOT DATE: 8/3/2021 11:14:15 AM



1 Level P2 Sub
 1/8" = 1'-0"

GENERAL NOTES
T FOR FIRE RATED WIRE GLASS WINDOW SCHEDULE (F700), REFER TO A102

- P2.2 PARABOLIC MIRROR
- P2.3 ELEC. PULL RT BELOW
- P2.4 RAMP WITH HANDRAILS ON BOTH SIDES
- P2.5 2.3m MIN. VERTICAL CLEARANCE FOR ALL H.C. STALLS. NO SERVICES ARE PERMITTED TO OBSTRUCT THIS CLEARANCE.
- P2.6 TYP. ENSURE ALL DRIVING AISLES TO HAVE 2.3m CLEAR HEIGHT
- P2.7 DASH REPRESENTS SAFETY ZONE-SERVICE AREA FREE FROM ALL OBSTACLES. RESIDENTIAL ELEVATORS MIN DIMENSIONS 5'-0" X 4'-6".

- | | | | |
|-----|---|----|---------------------------------|
| BSU | Bike Storage Locker (6'0" x 4'0") | C | COMMERCIAL PARKING SPACE |
| SL | Storage Locker (8'0" x 6'0") | V | VISITOR PARKING SPACE |
| V | VERTICAL BIKE STORAGE (11'11" X 3'3" X 10') | CS | TWO-WAY CAR SHARE PARKING SPACE |
| H | HORIZONTAL BIKE STORAGE (11'11" X 5'4" X 11') | SC | SMALL CAR |
| BS | Stacked Bike Racks (5'0" Stacked (17'0" X 1'0") 50' Stacked Bottom (17'0" X 6'0") | | |

- LEGEND OF ABBREVIATIONS:**
- | | | | | | |
|------|--------------------------|--------|---------------|--|--------------|
| A.S. | ADJUSTABLE SHOWER HEAD | P.P. | POWER POLES | | RIGHT OF WAY |
| B.C. | BOLLARD COLLAR/CONCRETE | R.S. | RAMP SIGN | | |
| B.S. | BICYCLE STORAGE | S.S. | SHORT TERM | | |
| C.C. | CARTRIDGE | S.W. | SAFETY WALL | | |
| C.S. | CONCRETE SIGN/TERM | T.O. | TOP OF FINISH | | |
| F.D. | FIRE DETECTOR | T.O.F. | TOP OF FLOOR | | |
| I.B. | INSULATED BUILDING GRADE | T.S. | TOP OF SLAB | | |

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP-AMEN
6	21.07.25	ISSUED FOR SP-RE-SE
5	21.06.04	ISSUED FOR DP-AMEN
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR SP
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION

SCALE:	As indicated	DATE:	06/04/2021	DRAWN:	TKAD
PROJECT NUMBER:	2015				
FILE:	C:\Users\p\Documents\2015\TKAD\Open\A111	DATE:	8/20/2021 11:41:47 AM		

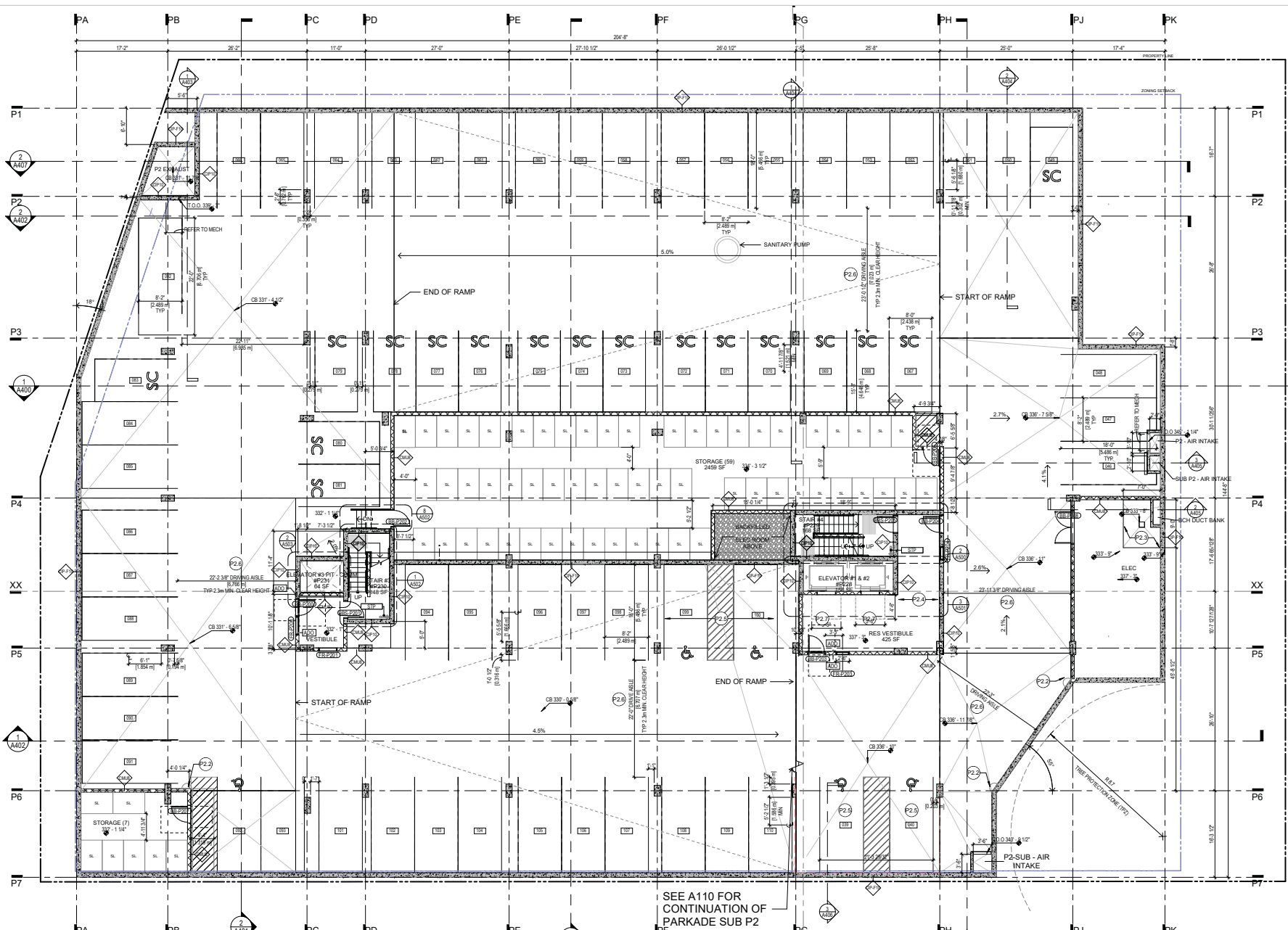
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA+D ARCHITECTURE + DESIGN INC.
207-100 PAVILION STREET, VANCOUVER, BC V6E 2V7 • 604.683.9488

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Floor Plan P2
PLOT DATE: 8/3/2021 11:14:18 AM

A111



Level P2
1/8" = 1'-0"



GENERAL NOTES
 1. FOR FIRE RATED WIRE GLASS WINDOW SCHEDULE (FRWG), REFER TO A102

P1.1	TRENCH DRAIN SUMP PUMP BELOW
P1.2	TRENCH DRAIN
P1.3	PARADE LET DOWN
P1.4	LEC PIPING ABOVE
P1.5	PARADE GATE SEPARATING RESIDENTIAL FROM COMMERCIAL PARKING
P1.6	PARABOLIC MIRROR
P1.7	RAMP WITH HANDRAILS ON BOTH SIDES
P1.8	2.3m MIN. VERTICAL CLEARANCE FOR ALL HC STALLS. NO SERVICES ARE PERMITTED TO OBSTRUCT THIS CLEARANCE.
P1.9	CLEARANCE SWAYING FROM CEILING TO ALLOW MAXIMUM 4.15m CLEAR HEIGHT. BOTTOM OF STOP BAR TO BE 1.00m ABOVE 4.10m.
P1.10	TYP. ENSURE DRIVING AISLES TO HAVE 2.3m CLEAR HEIGHT
P1.11	TOP SINK REFER TO MECH FOR SINK SPECIFICATIONS.
P1.12	DETENTION TANK, BOTTOM TANK AT 106.50m. SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
P1.13	DASH REPRESENTS SAFETY ZONE-SERVICE AREA FREE FROM ALL OBSTACLES. RESIDENTIAL ELEVATORS MIN DIMENSIONS 5'6" X 4'4".
P1.14	WALL MOUNTED ENTERPHONE.
P1.15	DASH REPRESENTS SAFETY ZONE-SERVICE AREA FREE FROM ALL OBSTACLES. RESIDENTIAL ELEVATORS MIN DIMENSIONS 5'6" X 4'4".
P1.16	METAL GALVANIZED DIAMOND MESH FENCE WITH SWING DOOR.
P1.17	CURB WITH TOP-MOUNTED RAILING
P1.18	COMMERCIAL RECYCLING BREAKDOWN: 3 x 96 gal (360 L) = 1,080 L Mixed Paper (MP) 2 x 96 gal (360 L) = 720 L Mixed Container (MC) 1 x 3yd (2,284 L) = 2,284 L Cardboard (C) 3 x 84 gal (324 L) = 726 L Organics (O) 1 x 64 gal (242 L) = 242 L Glass (G) 1 x 45 gal (170 L) drum = Cooking Oil
P1.19	RESIDENTIAL GARBAGE BREAKDOWN: 5 x 96 gal (360 L) = 1,800 L Mixed Paper (MP) 8 x 96 gal (360 L) = 2,160 L Mixed Container (MC) 1 x 3yd (2,284 L) = 2,284 L Cardboard (C) 1 x 2 yd (1,529 L) = 3,058 L Organics (O) 1 x 64 gal (242 L) = 242 L Glass (G)

BSL	BIKE STORAGE LOCKER (10' X 8')	COMMERCIAL PARKING SPACE
SL	STORAGE LOCKER (10' X 8')	VISITOR PARKING SPACE
CS	CORRIDOR	TWO-WAY ONE-WAY PARKING SPACE
SC	SCAFFOLD	SMALL CAR
VB	VERTICAL BIKE STORAGE (11' X 12' X 3.5')	PAINTED DIAGONAL MARKING FOR PEDESTAL ACCESS
HB	HORIZONTAL BIKE STORAGE (11' X 12' X 3.5')	LOADING TRUCK MANEUVERING AREA (MIN. 4.5m CLEAR OF ANY OBSTACLES IN AREAS INDICATED BY THIS SYMBOL)
SB	STORAGE	

REF. SYMBOL	DESCRIPTION	REF. SYMBOL	DESCRIPTION
R.1	RESIDENTIAL DRIVE	P.1	POWER POLES
R.2	RESIDENTIAL DRIVE	P.2	POWER POLES
R.3	BOLT ON BALCONIES	P.3	POWER POLES
R.4	RESIDENTIAL DRIVE	P.4	POWER POLES
R.5	RESIDENTIAL DRIVE	P.5	POWER POLES
R.6	RESIDENTIAL DRIVE	P.6	POWER POLES
R.7	RESIDENTIAL DRIVE	P.7	POWER POLES
R.8	RESIDENTIAL DRIVE	P.8	POWER POLES
R.9	RESIDENTIAL DRIVE	P.9	POWER POLES
R.10	RESIDENTIAL DRIVE	P.10	POWER POLES
R.11	RESIDENTIAL DRIVE	P.11	POWER POLES
R.12	RESIDENTIAL DRIVE	P.12	POWER POLES
R.13	RESIDENTIAL DRIVE	P.13	POWER POLES
R.14	RESIDENTIAL DRIVE	P.14	POWER POLES
R.15	RESIDENTIAL DRIVE	P.15	POWER POLES
R.16	RESIDENTIAL DRIVE	P.16	POWER POLES
R.17	RESIDENTIAL DRIVE	P.17	POWER POLES
R.18	RESIDENTIAL DRIVE	P.18	POWER POLES
R.19	RESIDENTIAL DRIVE	P.19	POWER POLES
R.20	RESIDENTIAL DRIVE	P.20	POWER POLES

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP AMEN.
6	21.07.20	ISSUED FOR SP RE-SE.
5	21.06.04	ISSUED FOR DP AMEN.
3	21.02.12	ISSUED FOR IT
2	21.02.05	ISSUED FOR SP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

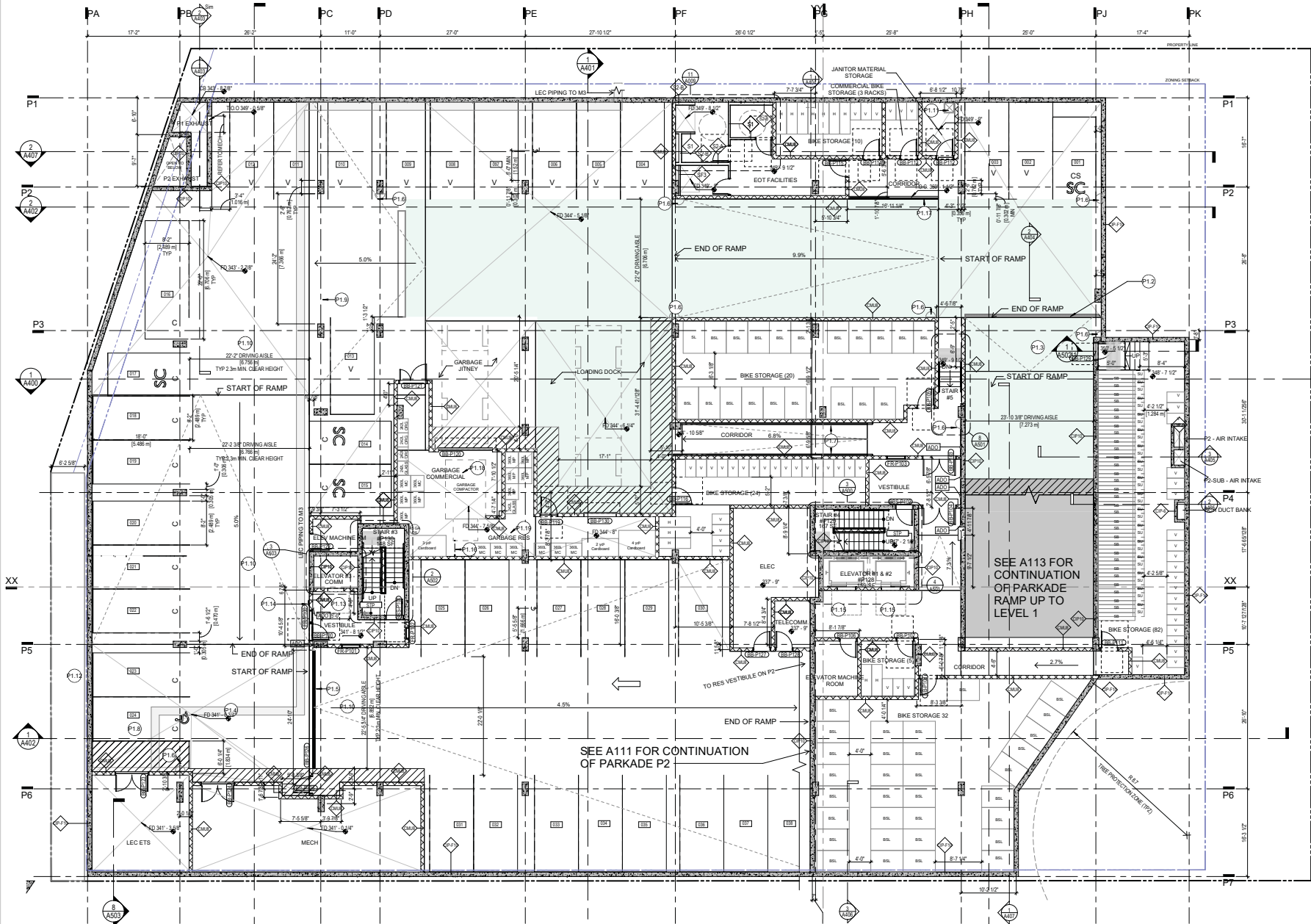
SCALE: As Indicated DATE: 06/04/2021 DRAWN: TKAD
 PROJECT NUMBER: 20015
 FILE: C:\projects\20015\20015.dwg PLOT: 8/3/2021 11:14:22 AM
 ADMIN: TKAD

DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC
 100 W. AVENUE STREET VANCOUVER BC V6C 3E7
 604.683.4948

LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Floor Plan P1
 PLOT DATE: 8/3/2021 11:14:22 AM



1 Level P1
 1/8" = 1'-0"

- GENERAL NOTES**
- FOR DEFS AND FURNITURE LAYOUT, REFER TO A129 TO A138 PLANS
 - REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS
 - EXTERIOR WALL PANEL TYPE IS DENOTED IN DIMENSIONS. REFER TO ARCH A404 FOR EXTERIOR WALL PANEL DETAILS
 - REFER TO ENLARGED ARCH A141A149 FOR DOOR TAGS
 - REFER TO LANDSCAPE AND CIVIL DWGS FOR GRADE ELEVATIONS
 - COLUMN ENCLOSED IN FIREWALL
 - INDICATIVE LOCATION FOR UNIVERSAL WASHROOM. TO BE COORDINATED WITH CRU TENANT
 - TYP. VESTIBULES AS PER ASHRAE 90.1. INSTALLATION BY CRU TENANT
 - TYP. INTERNAL COMMERCIAL PARTITION WALLS SUBJECT TO MARKET DEMAND, TO BE COORDINATED WITH CRU TENANT
 - CONCRETE SIDEWALK LETDOWN
 - EXISTING CEDAR TO REMAIN. REFER TO LANDSCAPE DRAWINGS
 - TYP. STORMWATER RETENTION PONDS - REFER TO LANDSCAPE DRAWINGS
 - FIRE DEPARTMENT CONNECTION
 - EXISTING FIRE HYDRANT
 - CHECK FOR PATTERN ON GARAGE ENTRY RAMP
 - FRESH AIR INTAKE GRILLES - REFER TO MECH FOR ADDITIONAL INFO
 - PROPOSED BC HYDRO VISTA BOX LOCATION. REFER TO CIVIL FOR ADDITIONAL INFO
 - PROPOSED GAS SERVICE CONNECTION. REFER TO CIVIL FOR ADDITIONAL INFO
 - PROPOSED SANITARY SERVICE CONNECTION. REFER TO CIVIL FOR ADDITIONAL INFO
 - PROPOSED COMBINED WATER SERVICE CONNECTION. REFER TO CIVIL
 - PROPOSED DISTRICT ENERGY SERVICE CONNECTION. REFER TO CIVIL
 - PROPOSED STORM SERVICE CONNECTION. REFER TO CIVIL
 - FIRE MANICULATOR PANEL WITH LOBBY PHONE
 - CRU MAIL BOX LOCATION
 - DASH REPRESENTS SAFETY ZONE/SERVICE AREA FREE FROM ALL OBSTACLES
 - RESIDENTIAL ELEVATORS MIN DIMENSIONS 9'-6" X 4'-0"
 - WALL MOUNTED ENTER-PHONE
 - TYP. CARD READER REQUIRED FOR ELEVATOR ACCESS
 - FIRE FIGHTER AND WATER CURTAIN SPRINKLERS (CW) TEMPERED GLASS FOR WINDOWS ARE REQUIRED FOR EXIT EXPOSURE PROTECTION IN THIS AREA. REFER TO CODE COMPLIANCE DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MCALLEE CONSULTING.
 - DETENTION TANK INTEGRATED SHAFT. REFER TO CIVIL FOR ADDITIONAL INFO
 - AIR EXHAUST GRILLES. REFER TO MECHANICAL FOR ADDITIONAL INFO
 - REFER TO LANDSCAPE FOR RESIDENTIAL GATE DESIGN AND ADDITIONAL INFO
 - REFER TO INTERIOR DESIGN DRAWINGS FOR GARDEN SUITE STAIR DETAILS

REV | **DATE** | **DESCRIPTION**

7	21.08.03	ISSUED FOR DP AMEN.
6	21.07.23	ISSUED FOR DP SE-2
5	21.06.04	ISSUED FOR DP AMEN.
3	21.02.12	ISSUED FOR IT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

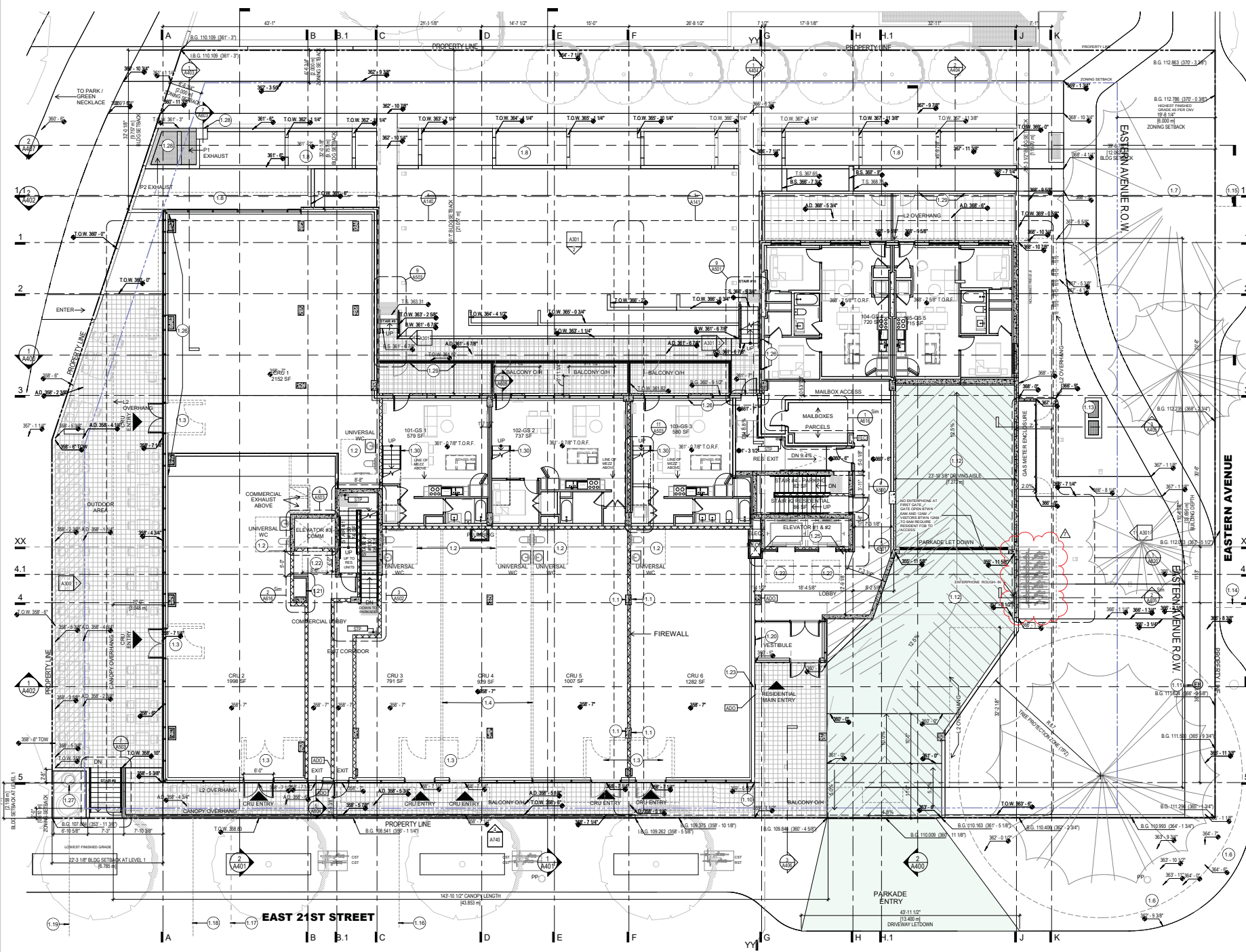
SCALE: As indicated | **DATE:** 06/04/2021 | **DRAWN:** TKAD
PROJECT NUMBER: 2015
FILE: C:\projects\2015\2015-01\2015-01.dwg | **DATE:** 8/20/2014 11:42:47 AM

DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
 128 E 21st St, North Vancouver
128 E 21st St, NORTH VANCOUVER

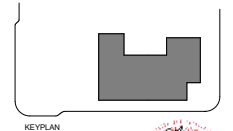
Floor Plan L1
 PLOT DATE: 8/3/2024 11:14:26 AM

A113



- GENERAL NOTES**
1. FOR RCPS AND FURNITURE LAYOUT, REFER TO A129 BY A130 PLANS.
 2. REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS.
 3. EXTERIOR WALL PANEL TYPE IS DENOTED IN DIMENSIONS. REFER TO A657 & A658 FOR EXTERIOR WALL PANEL DETAILS.
 4. REFER TO ENLARGED PLANS A140-A149 FOR DOOR TAGS.
 5. REFER TO LANDSCAPE AND CIVIL DWGS FOR GRADE ELEVATIONS.

- M.1** ALUMINUM SUNSHADE PANEL ABOVE ENTRY DOOR. REFER TO DETAILS.
- M.2** 2HR FRR BULKHEAD TO CONCEAL MECH SYSTEMS CROSSING EXIT CORRIDORS. REFER TO DETAILS.
- M.3** 1-HR FRR AND WATER CURTAIN SPRINKLERS LOW TEMPERED GLASS FOR WINDOWS ARE REQUIRED FOR EXIT EXPOSURE PROTECTION IN THIS AREA. REFER TO CODE COMPLIANCE DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MCALEY CONSULTING.



- 7 21.08.03 ISSUED FOR DP-AMEN
- 6 21.07.25 ISSUED FOR SP-RE-SE
- 5 21.06.04 ISSUED FOR DP-AMEN... M4-1-14N
- 3 21.02.12 ISSUED FOR IFT
- 2 21.02.05 ISSUED FOR BP
- 1 20.08.07 ISSUED FOR DP-RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	As indicated	DATE: 06/04/2021
PROJECT NUMBER:	20015	DRAWN: TKAD
FILE:	C:\Users\TKA\Documents\20015\TKAD\0001\A114.dwg	DATE: 03/20/21 11:14:29 AM
APP: TKAD		

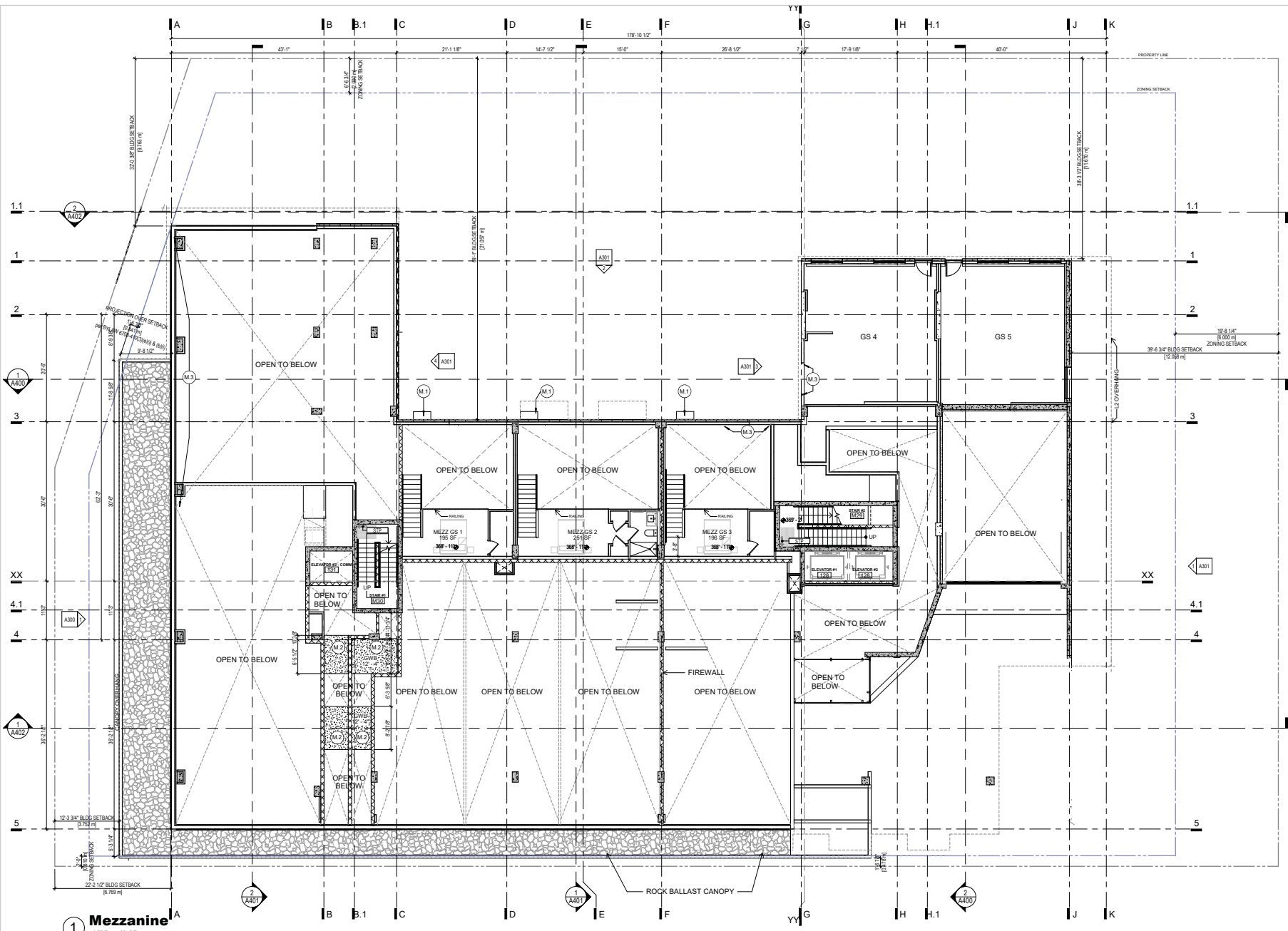
**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

TKA+D ARCHITECTURE + DESIGN INC.
105 JENNIFER STREET, VANCOUVER, BC, V6J 1K6

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Floor Plan Mezzanine
PLOT DATE: 03/20/21 11:14:29 AM

A114



1 Mezzanine
1/8" = 1'-0"

GENERAL NOTES
 1. FOR REFS AND FURNITURE LAYOUT, REFER TO A129 TO A138 PLANS
 2. REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS
 3. EXTERIOR WALL PANEL TYPE IS DENOTED IN DIMENSIONS, REFER TO A501 & A501 FOR EXTERIOR WALL PANEL DETAILS
 4. REFER TO ENLARGED PLANS A400-A409 FOR DOOR TAGS
 5. REFER TO LANDSCAPE AND CIVIL DWGS FOR GRADE ELEVATIONS

- 2.1 JULIETTE BALCONY
- 2.2 ADDRESS SIGNAGE ATTACHED TO CANOPY FASCIA, COMPLIES WITH CAN BY-LAW 9036
- 2.3 ROCK BALLAST CANOPY BELOW
- 2.4 FIRE EXTINGUISHER CABINET & VALVE CONNECTION
- 2.5 MECHANICAL SHAFT FOR FRESH AIR INTAKE AND GARAGE ROOM EXHAUST (IN SEPARATE DWGS) REFER TO MECH FOR ADDITIONAL INFO.
- 2.6 ACCESS PANEL FOR SHAFT MAINTENANCE, REFER TO MECHANICAL FOR ADDITIONAL INFO.
- 2.7 GLASS GUARDRAIL, REFER TO DETAILS FOR ADDITIONAL INFO.
- 2.8 1 HR FIRE AND WATER CURTAIN SPRINKLERS CW TEMPERED GLASS FOR WINDOWS ARE REQUIRED FOR EXIST EXPOSURE PROTECTION IN THIS AREA, REFER TO CODE COMPLIANCE DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MCALEER CONSULTING.



7 21.08.03 ISSUED FOR DP-AMEL
 6 21.07.20 ISSUED FOR SP-RE-92
 5 21.06.04 ISSUED FOR DP-AMEL, 7M-174N
 3 21.02.12 ISSUED FOR IFT
 2 21.02.05 ISSUED FOR BP
 1 20.06.07 ISSUED FOR DP-RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	As indicated	DATE: 06/04/2021
PROJECT NUMBER		DRAWN: TKAD
		20015

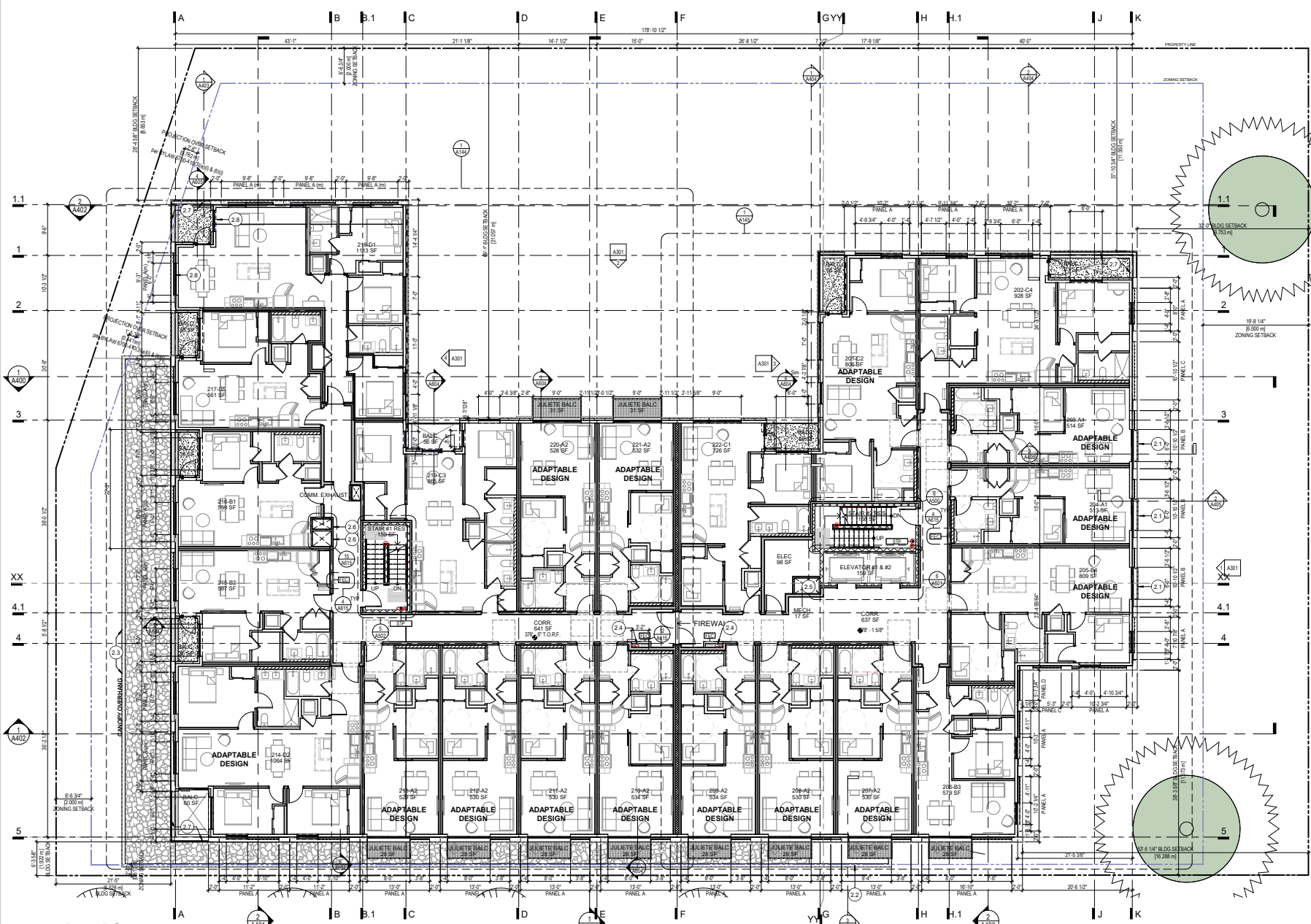
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC
 1150 WOODBINE STREET, VICTORIA, B.C. V8M 2G7

LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Floor Plan L2
 PLOT DATE: 8/3/2021 11:14:34 AM

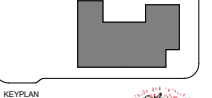
A115



Level 2
 1/8" = 1'-0"

GENERAL NOTES
 1. FOR FIXES AND FURNITURE LAYOUT, REFER TO A129 to A138 PLANS
 2. REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS
 3. EXTERIOR WALL PANEL TYPE IS DENOTED IN DIMENSIONS, REFER TO A007 & A008 FOR EXTERIOR WALL PANEL DETAILS
 4. REFER TO ENLARGED PLANS A140-A149 FOR DOOR TAGS
 5. REFER TO LANDSCAPE AND CIVIL DWGS FOR GRADE ELEVATIONS

- 3.1 JULIETTE BALCONY
- 3.2 FIRE EXTINGUISHER CABINET & VALVE CONNECTION
- 3.3 MECHANICAL SHAFT FOR FRESH AIR INTAKE AND GARAGE ROOM EXHAUST (IN SEPARATE DWGS) REFER TO MECH FOR ADDITIONAL INFO.
- 3.4 ACCESS PANEL FOR SHAFT MAINTENANCE REFER TO MECHANICAL FOR ADDITIONAL INFO.
- 3.5 GLASS GUARDRAIL REFER TO DETAILS FOR ADDITIONAL INFO.
- 3.6 1-HR FRR AND WATER CURTAIN SPRINKLERS (W/ TEMPERED GLASS FOR WINDOWS ARE REQUIRED FOR EXIT EXPOSURE PROTECTION IN THIS AREA, REFER TO CODE COMPLIANCE DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MCMAULEY CONSULTING.



7 21.08.03 ISSUED FOR DP AMEL
 6 21.07.20 ISSUED FOR SP RE-SE
 5 21.06.04 ISSUED FOR DP AMEL
 3 21.02.12 ISSUED FOR IFT
 2 21.02.05 ISSUED FOR SP
 1 20.08.07 ISSUED FOR DP RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	As indicated	DATE: 06/04/2021
PROJECT NUMBER:		DRAWN: TKAD
		2015

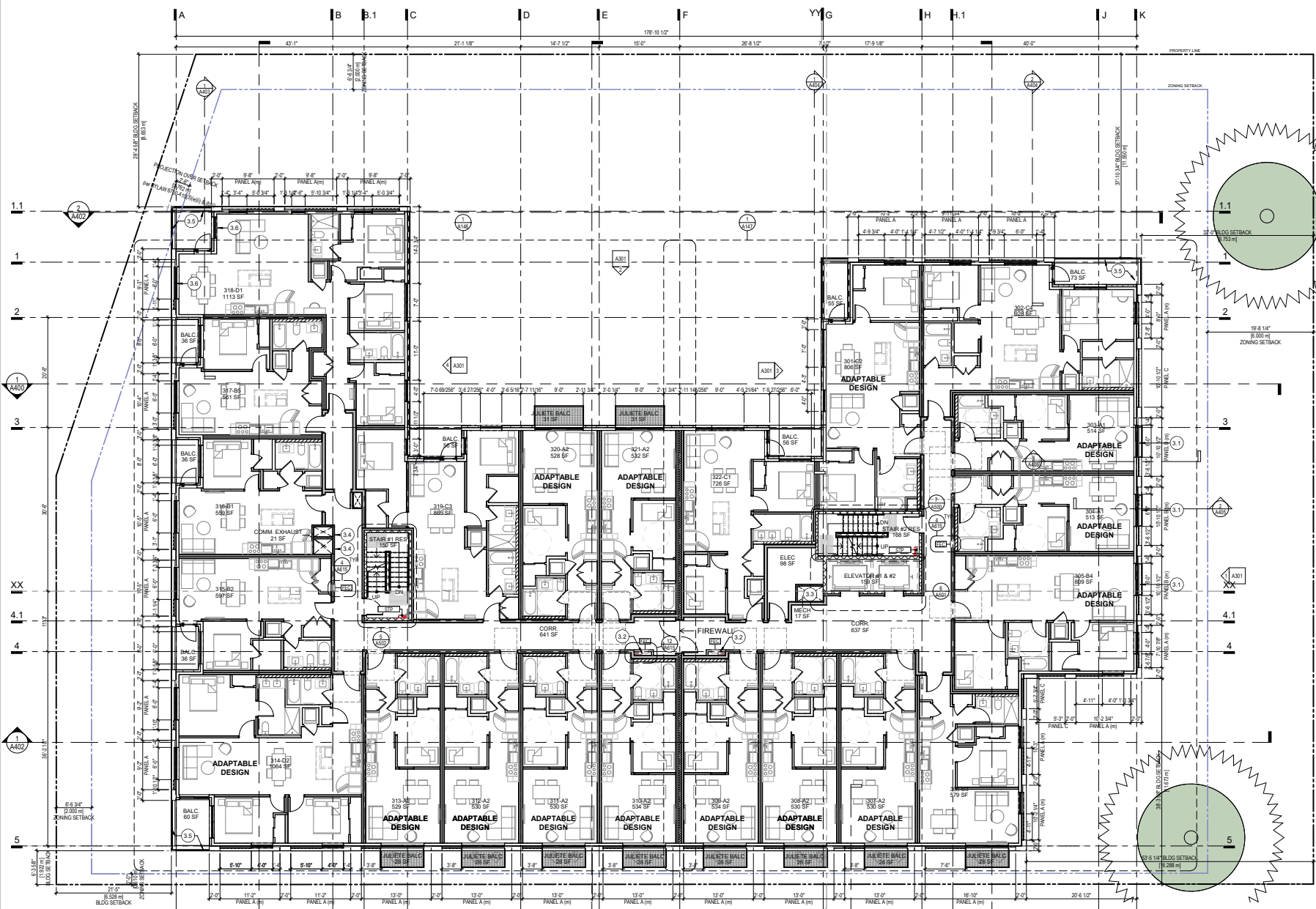
DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC
 107-109 JARDINE STREET HANCOCKVILLE QLD 4081

LONSDALE SQUARE
 126 E 21st ST, NORTH WACOVR

Floor Plan L3
 PLOT DATE: 8/3/2021 11:14:38 AM

A116

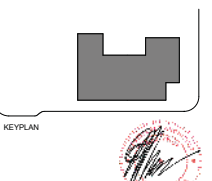


① **Level 3**
 1/8" = 1'-0"

GENERAL NOTES
 1. FOR RCPs AND FURNITURE LAYOUT, REFER TO A120 to A138 PLANS
 2. REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS
 3. EXTERIOR WALL PANEL TYPE S DENOTES IN DIMENSIONS. REFER TO A407 & A408 FOR DOOR TAGS
 4. REFER TO ENLARGED PLANS A140-A149 FOR GRADE ELEVATIONS
 5. REFER TO LANDSCAPE AND CIVL DWGS FOR GRADE ELEVATIONS

CROSSOVER FLOOR - LEVEL 4
 A SIGN SHALL BE INSTALLED WITH THE FOLLOWING WORDING AND SPECIFICATIONS:
 - CROSSOVER FLOOR / EMERGENCY ACCESS TO FLOOR AREA THROUGH THIS DOOR
 - THE RECOMMENDED COLOUR FOR THE SIGN IS GREEN LETTERS ON CONTRASTING BACKGROUND OR A GREEN BACKGROUND WITH CONTRASTING LETTERS
 - IT IS SUGGESTED THAT THE SIGN BE A MINIMUM OF 150mm IN ANY DIMENSION
 - IT IS RECOMMENDED THAT REQUIRED SIGNS BE INSTALLED EITHER ON THE DOOR, OR ON THE LATCH SIDE OF THE DOOR IN A MANNER WHICH WILL BE MOST VISIBLE TO PEOPLE GOING DOWN THE STAIRS
 - THE BOTTOM OF THE SIGN SHOULD BE NO LESS THAN 1200mm AND NO MORE THAN 1700mm ABOVE THE FLOOR LEVEL

- 4.1 BILLETTE BALCONY
- 4.2 FIRE EXTINGUISHER CABINET & VALVE CONNECTION
- 4.3 MECHANICAL SHUNT FOR FRESH AIR INTAKE AND GARAGE ROOM EXHAUST (IN SEPARATE DUCTS). REFER TO MECH FOR ADDITIONAL INFO
- 4.4 ACCESS PANEL FOR SHAFT MAINTENANCE. REFER TO MECHANICAL FOR ADDITIONAL INFO.
- 4.5 GLASS GUARDRAIL. REFER TO DETAILS FOR ADDITIONAL INFO
- 4.6 1-HR FRR AND WATER CURTAIN SPRINKLERS CWV TEMPERED GLASS FOR WINDOWS ARE REQUIRED FOR EXIT EXPOSURE PROTECTION IN THIS AREA. REFER TO CODE COMPLIANCE DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MACULEY CONSULTING.



7 21.08.20 ISSUED FOR DP AMEN
 6 21.07.20 ISSUED FOR DP RE-
 5 21.06.04 ISSUED FOR DP AMEN
 3 21.02.12 ISSUED FOR IT
 2 21.02.05 ISSUED FOR BP
 1 20.08.07 ISSUED FOR DP RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	As indicated	DATE: 06/04/2021
PROJECT NUMBER	TKAD 2015	
FILE	C:\Users\m\Documents\2015\TKAD\0604\0604.dwg	
DATE	8/3/2021 11:14:42 AM	

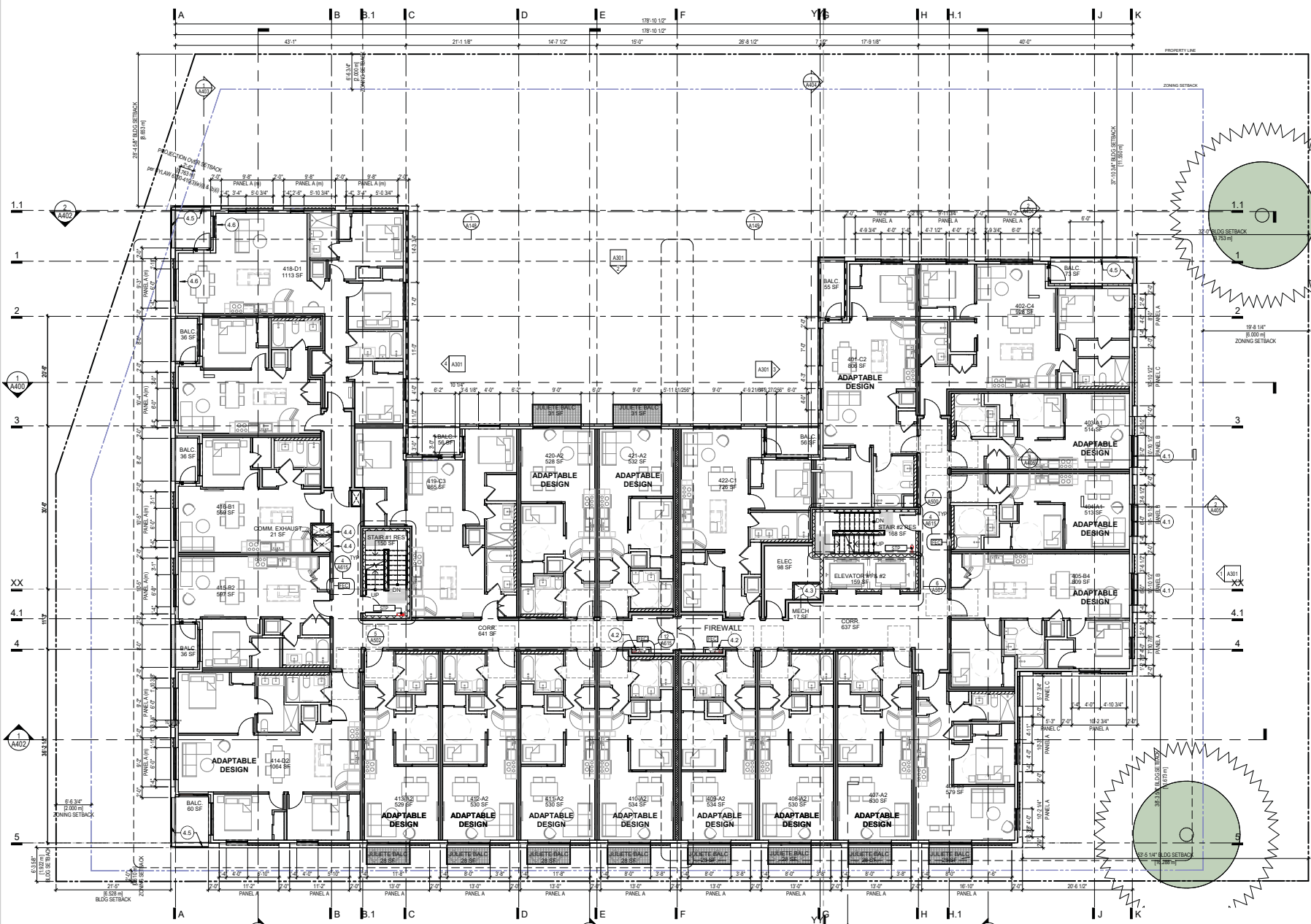
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA+D ARCHITECTURE + DESIGN INC
 201 WOODWARD STREET, WANDSWORTH VIC 3149
 TEL: 03 9594 1234

LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Floor Plan L4
 PLOT DATE: 8/3/2021 11:14:42 AM

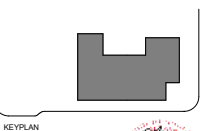
A117



Level 4
 1/8" = 1'-0"

GENERAL NOTES
 1. FOR RCPS AND FURNITURE LAYOUT, REFER TO A120 to A138 PLANS
 2. REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS
 3. EXTERIOR WALL PANEL TYPE # DENOTED IN DIMENSIONS, REFER TO A007 & A008 FOR EXTERIOR WALL PANEL DETAILS
 4. REFER TO ENLARGED PLANS A140-A149 FOR DOOR TAGS
 5. REFER TO LANDSCAPE AND CIVL DWGS FOR GRADE ELEVATIONS

- 5.1 JULIETTE BALCONY
- 5.2 FIRE EXTINGUISHER CABINET & VALVE CONNECTION
- 5.3 MECHANICAL SHAFT FOR FRESH AIR INTAKE AND GARAGE ROOM EXHAUST (IN SEPARATE DWGS) REFER TO MECH FOR ADDITIONAL INFO.
- 5.4 ACCESS PANEL FOR SHAFT MAINTENANCE, REFER TO MECHANICAL FOR ADDITIONAL INFO.
- 5.5 GLASS GUARDRAIL, REFER TO DETAILS FOR ADDITIONAL INFO.
- 5.6 1-HR FRR AND WATER CURTAIN SPRINKLER C/W TEMPERED GLASS FOR WINDOWS ARE REQUIRED FOR EXIT EXPOSURE PROTECTION IN THIS AREA. REFER TO CODE COMPLIANCE DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MCALEY CONSULTING.



REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP AMEL
6	21.07.25	ISSUED FOR BP RE-LS
5	21.06.04	ISSUED FOR DP AMEL - MM CVN
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE: As indicated | DATE: 06/04/2021 | DRAWN: TKAD
 PROJECT NUMBER: 20015
 FILE: C:\projects\128 E 21st St\128 E 21st St - 20015.dwg | DATE: 8/3/2021 11:14:46 AM

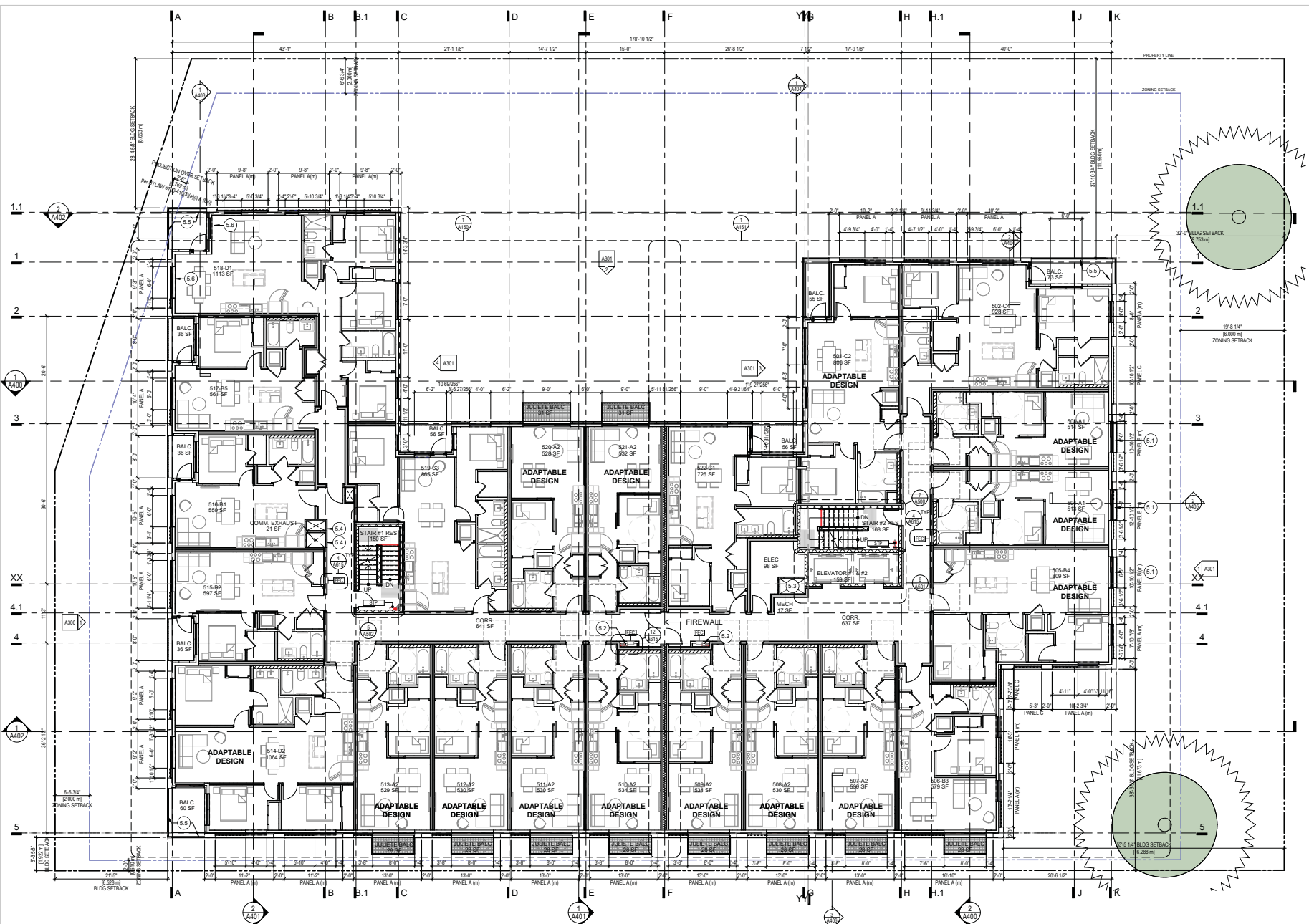
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA D A R C H I T E C T U R E + D E S I G N I N C
 707 W. PENDER STREET, VANCOUVER, B.C. V6C 3K8

LONSDALE SQUARE
 128 E 21st ST, NORTH VANCOUVER

Floor Plan L5
 PLOT DATE: 8/3/2021 11:14:46 AM

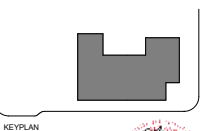
A118



Level 5
 1/8" = 1'-0"

GENERAL NOTES
 1. FOR RCPS AND FURNITURE LAYOUT. REFER TO A120 to A138 PLANS
 2. REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS
 3. EXTERIOR WALL PANEL TYPE 8 DENOTED IN DIMENSIONS. REFER TO A807 & A808 FOR EXTERIOR WALL PANEL DETAILS
 4. REFER TO ENLARGED PLANS A140-A149 FOR DOOR TAGS
 5. REFER TO LANDSCAPE AND CIVIL DWGS FOR GRADE ELEVATIONS

R.1	NOTE: RCBC ARTICLE 3.110.4. A FIREWALL SHALL EXTEND ABOVE THE ROOF SURFACE TO FORM A PARAPET NOT LESS THAN 150 mm HIGH
R.2	SERVICE ACCESS GATE
R.4	MECHANICAL SHAFT PREFER TO MECHANICAL DRAWINGS
R.5	EXHAUST SHAFT OPENING (SEE MECHANICAL)
R.6	SCUPPER SEE DETAIL S/M12
R.7	MIA REFER TO MECHANICAL
R.8	GUARDRAIL BLACKENED ALUMINUM
R.9	DASH REPRESENTS SAFETY ZONE SERVICE AREA FREE FROM ALL OBSTACLES. RESIDENTIAL ELEVATORS MIN DIMENSIONS 5'-0" X 4'-6"



7 21.08.03 ISSUED FOR DP-AMEN
 6 21.07.25 ISSUED FOR SP-RE-SE
 5 21.06.04 ISSUED FOR DP-AMEN...
 3 21.02.12 ISSUED FOR IFT
 2 21.02.05 ISSUED FOR SP
 1 20.08.07 ISSUED FOR DP-RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	As indicated	DATE: 06/04/2021
PROJECT NUMBER:	20015	DRAWN: TKAD
FILE:	C:\Users\michael@tkad.com\Desktop\2015\TKAD\20015\20015.rvt	DATE: 8/3/2021 12:59:31 PM

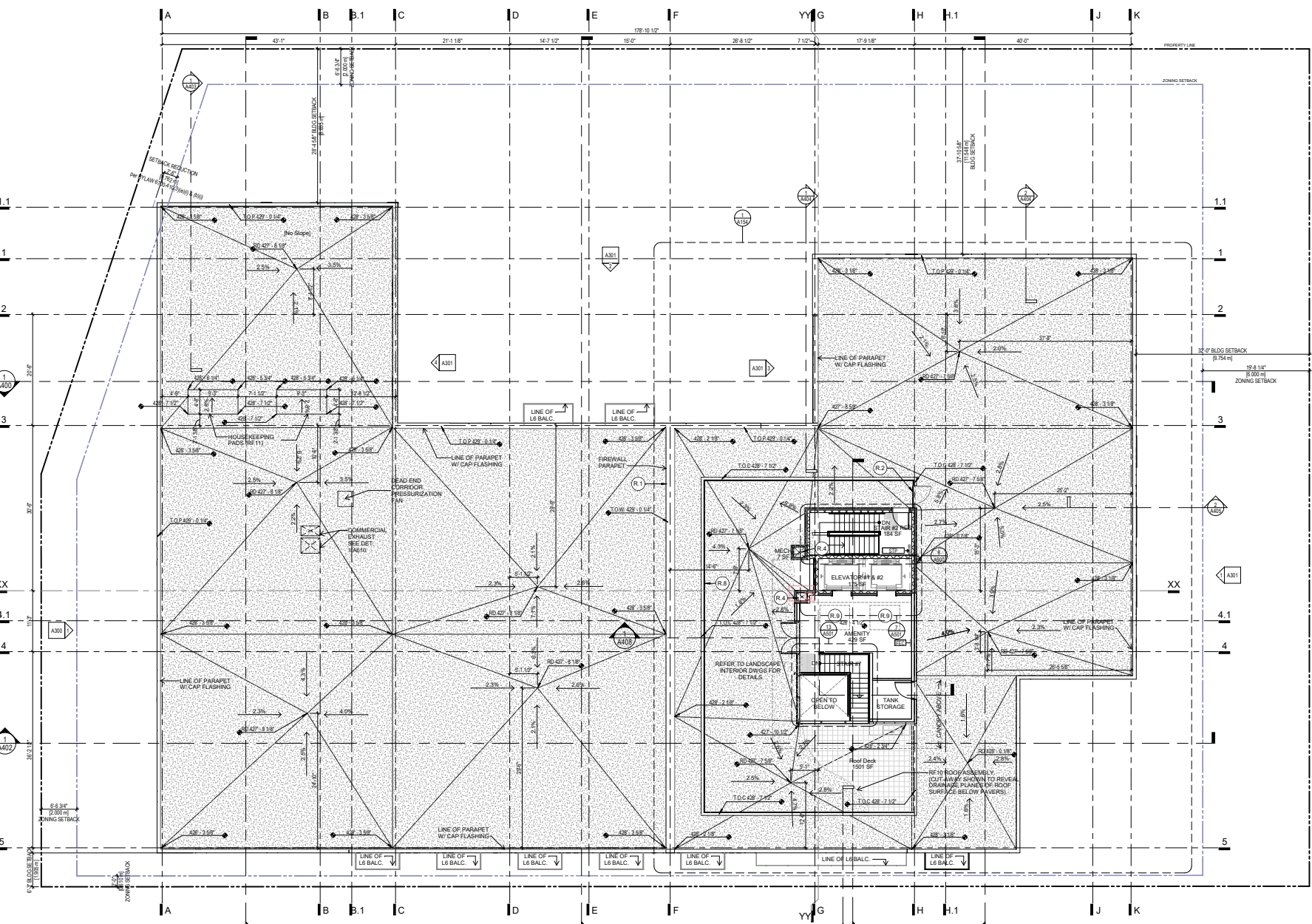
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
 207 W. BROADWAY STREET VANCOUVER BC V6C 2E6

LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Floor Plan - Roof & Penthouse
 PLOT DATE: 8/3/2021 12:59:31 PM

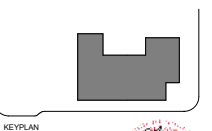
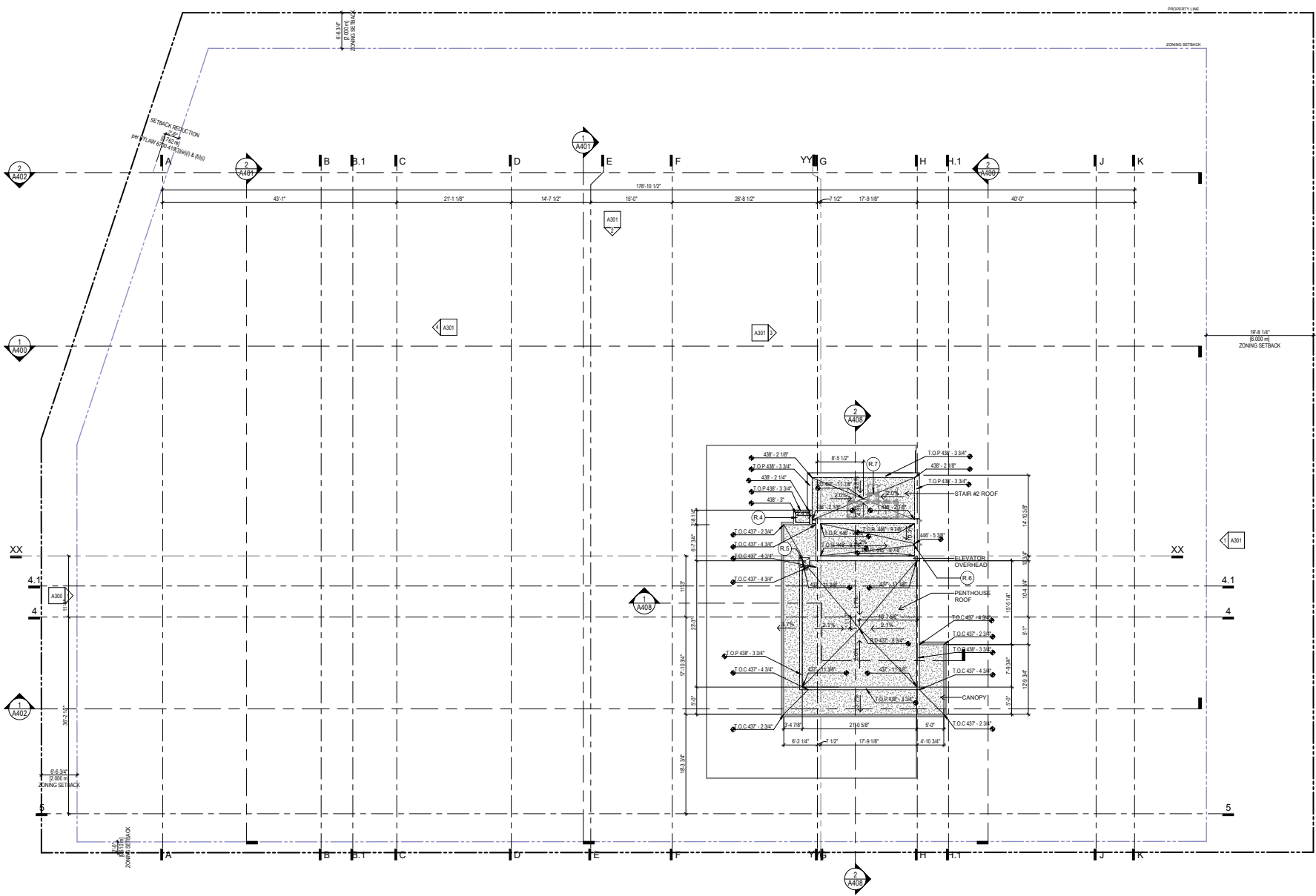
A120



1 Roof Level
 1/8" = 1'-0"

- GENERAL NOTES**
1. FOR RCPS AND FURNITURE LAYOUT, REFER TO A120 to A138 PLANS
 2. REFER TO INTERIORS FOR ROLLER SHADE LOCATIONS AND DETAILS
 3. EXTERIOR WALL PANEL TYPE IS DENOTED IN DIMENSIONS, REFER TO A807 & A808 FOR EXTERIOR WALL PANEL DETAILS
 4. REFER TO ENLARGED PLANS A140-A149 FOR DOOR TAGS
 5. REFER TO LANDSCAPE AND CIVIL DWGS FOR GRADE ELEVATIONS

R.1	NOTE: BCBC ARTICLE 3.1.10.4. A FIREWALL SHALL EXTEND ABOVE THE ROOF SURFACE TO FORM A PARAPET NOT LESS THAN 150 mm HIGH
R.2	SERVICE ACCESS GATE
R.4	MECHANICAL SHAFT (REFER TO MECHANICAL DRAWINGS)
R.5	EXHAUST SHAFT OPENING (SEE MECHANICAL)
R.6	SCUPPER SEE DETAIL S707
R.7	RUA (REFER TO MECHANICAL)
R.8	GUARDRAIL BLACKENED ALUMINUM
R.9	DASHI REPRESENTS SAFETY ZONE/SERVICE AREA FREE FROM ALL OBSTACLES RESIDENTIAL ELEVATORS MIN DIMENSIONS 5'-6" X 4'-6"



KEYPLAN

7 21.08.03 ISSUED FOR DP-AMEN
 5 21.06.04 ISSUED FOR DP-AMEN
 3 21.02.12 ISSUED FOR IFT
 2 21.02.05 ISSUED FOR BP
 1 20.08.07 ISSUED FOR DP RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	As indicated	DATE: 06/04/2021
PROJECT NUMBER:		DRAWN: TKAD
		2015

**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

TKA+D ARCHITECTURE + DESIGN INC
 307-1030 AVENUE STREET, VANCOUVER, BC, V6L 3G7, P: 604-680-3466

LONSDALE SQUARE
 126 E 21st ST, NORTH VANCOUVER

Roof Plan - Upper
 PLOT DATE: 8/3/2021 1:03:39 PM

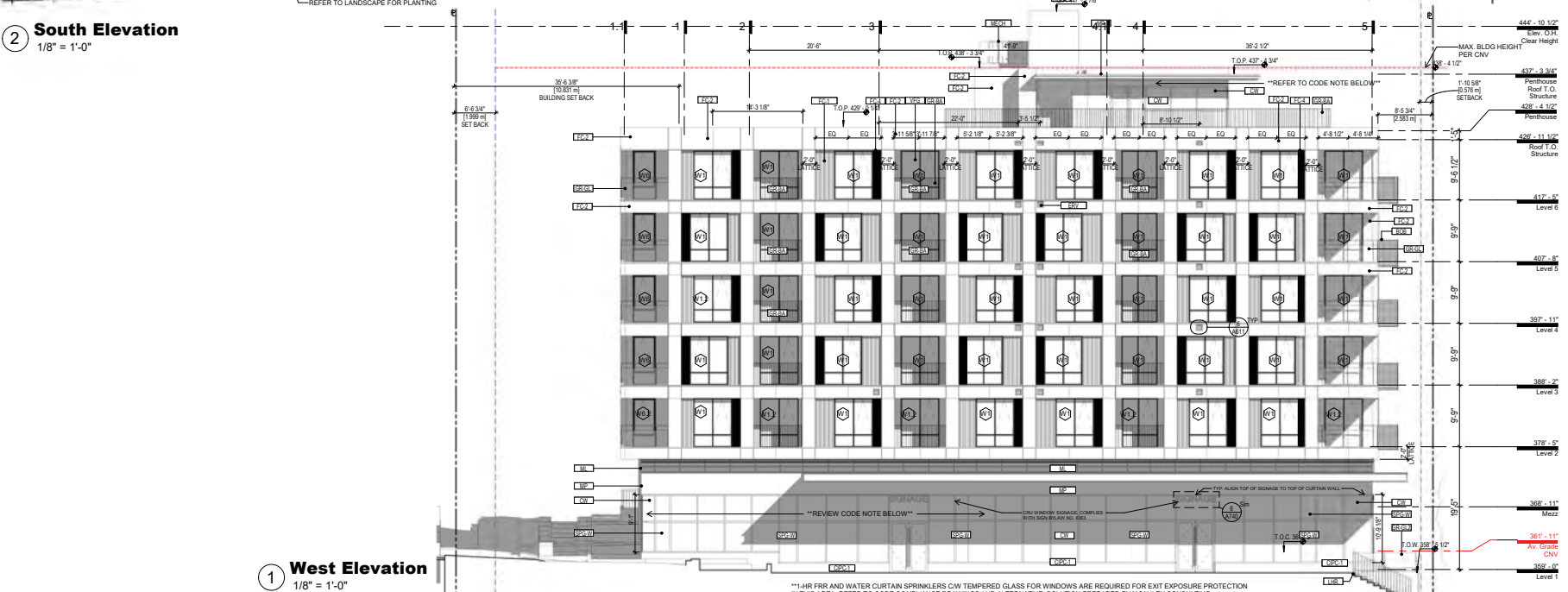
A121

1 Roof Plan - Upper
 1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"

TAG	DESCRIPTION
AC	ARCHITECTURAL CONCRETE
BOB	BOLT ON BALCONY, BLACK RAILING, METAL GRATE FLOOR
CIPC	CAST IN PLACE CONCRETE
CIPC-1	CANOPY FASCIA - BLACK
CPWF	CURTAIN WALL - CLEAR GLASS IGU, MULLIONS - BLACK
ERV	ERV EXHAUST/INTAKE
FC-1	FIBER CEMENT - HARDIE 5/16" PANEL, DOLPHIN GRAY VERTICAL PANEL & SMOOTH VERTICAL BATTERNS
FC-2	FIBER CEMENT - HARDIE 5/16" PANEL, ARCTIC WHITE
FC-4	FIBER CEMENT - HARDIE 5/16" PANEL, STANDARD BLACK TO MATCH GLAZING FRAME
GR-BA	GUARDRAIL BLACKENED ALUMINUM
GR-GL	GUARDRAIL CLEAR GLASS W/ BALUSTERS, BLACK
GR-GL2	GUARDRAIL CLEAR GLASS W/ BALUSTERS, NO TOP RAIL
LHR	LANDSCAPE HAND RAIL CANOPY FASCIA, W-BEAM: BLACK
MC-1	MECHANICAL UNIT
MECH	METAL LOUVERS: BENJAMIN MOORE, DEEP SPACE, 2125-20
ML	BLACK METAL PANEL
MP	SIGNAGE, BY OWNER
SIGN	SPANDREL GLASS - WHITE
SP-W	VINYL FRAMED GLAZING, MULLIONS: STANDARD BLACK
VFG	WOOD SOFFIT/ACCENT - ALUMINUM FASTPLANK PANELS, LIGHT CHERRY
WD-1	



1 West Elevation
1/8" = 1'-0"

LIST OF ABBREVIATIONS:

AC	ARCHITECTURAL CONCRETE	SAW	SH
BOB	BOLT ON BALCONY	TOP	TOP
CIPC	CAST IN PLACE CONCRETE	TOP	TOP
CPWF	CURTAIN WALL - CLEAR GLASS	TOP	TOP
ERV	ERV EXHAUST/INTAKE	TOP	TOP
FC-1	FIBER CEMENT - HARDIE 5/16" PANEL, DOLPHIN GRAY VERTICAL PANEL & SMOOTH VERTICAL BATTERNS	TOP	TOP
FC-2	FIBER CEMENT - HARDIE 5/16" PANEL, ARCTIC WHITE	TOP	TOP
FC-4	FIBER CEMENT - HARDIE 5/16" PANEL, STANDARD BLACK TO MATCH GLAZING FRAME	TOP	TOP
GR-BA	GUARDRAIL BLACKENED ALUMINUM	TOP	TOP
GR-GL	GUARDRAIL CLEAR GLASS W/ BALUSTERS, BLACK	TOP	TOP
GR-GL2	GUARDRAIL CLEAR GLASS W/ BALUSTERS, NO TOP RAIL	TOP	TOP
LHR	LANDSCAPE HAND RAIL CANOPY FASCIA, W-BEAM: BLACK	TOP	TOP
MC-1	MECHANICAL UNIT	TOP	TOP
MECH	METAL LOUVERS: BENJAMIN MOORE, DEEP SPACE, 2125-20	TOP	TOP
ML	BLACK METAL PANEL	TOP	TOP
MP	SIGNAGE, BY OWNER	TOP	TOP
SIGN	SPANDREL GLASS - WHITE	TOP	TOP
SP-W	VINYL FRAMED GLAZING, MULLIONS: STANDARD BLACK	TOP	TOP
VFG	WOOD SOFFIT/ACCENT - ALUMINUM FASTPLANK PANELS, LIGHT CHERRY	TOP	TOP
WD-1		TOP	TOP

REVISIONS:

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP AMEN.
6	21.07.23	ISSUED FOR SP RES.
5	21.06.04	ISSUED FOR DP AMEN.
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR SP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE: As indicated | **DATE:** 06/04/2021 | **DRAWN:** TKAD
PROJECT NUMBER: 2015
FILE: C:\Users\mcauld\Documents\2015\2015-06-04\A300\111012147.dwg | **DATE:** 8/3/2021 11:15:23 AM
SCALE: 1/8" = 1'-0"

DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
207-105 JAYCROW STREET, VANCOUVER, BC, CANADA V6B 6H6

LONSDALE SQUARE
128 E 21st ST, NORTH VANCOUVER

Elevations
PLOT DATE: 8/3/2021 11:15:23 AM

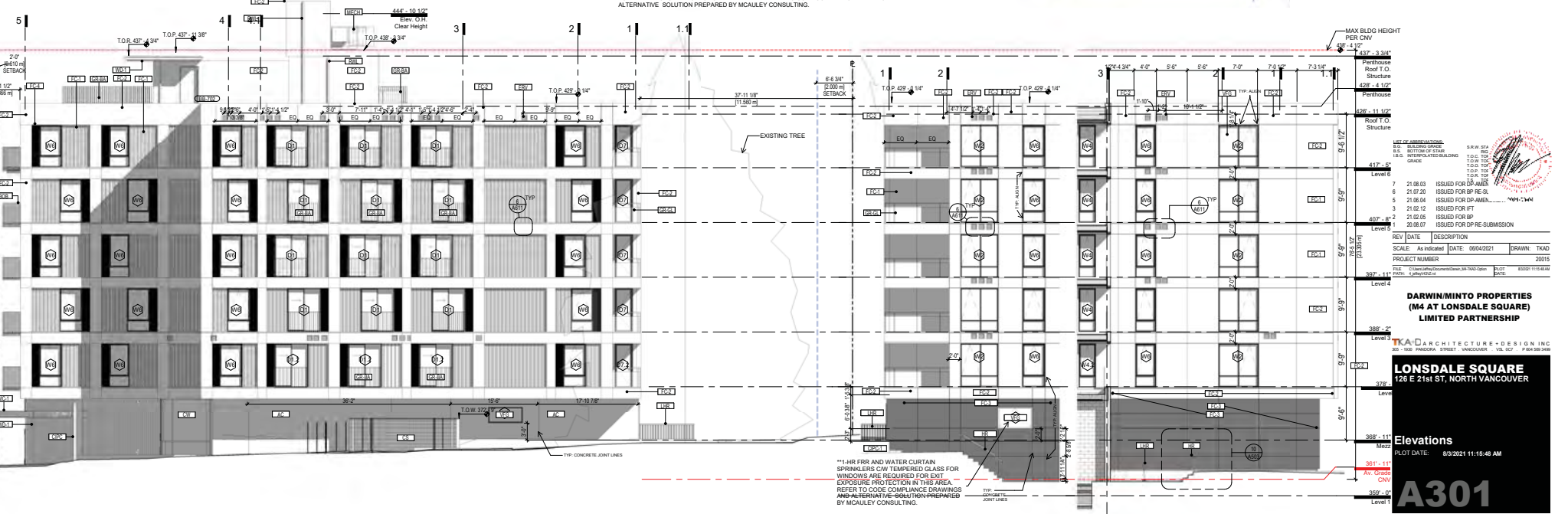
A300

*LHR FRR AND WATER CURTAIN SPRINKLERS CW/TEMPERED GLASS FOR WINDOWS ARE REQUIRED FOR EXIT EXPOSURE PROTECTION IN THIS AREA. REFER TO CODE COMPLIANCE DRAWINGS AND ALTERNATIVE SOLUTION PREPARED BY MCAULDE CONSULTING.



② North Elevation
1/8" = 1'-0"

TAG	DESCRIPTION
AC	ARCHITECTURAL CONCRETE
BOB	BOLT ON BALCONY, BLACK RAILING, METAL GRATE FLOOR
CIPC	CAST IN PLACE CONCRETE
CPY	CANOPY
CPYF	CANOPY FASCIA - BLACK
CS	CEDAR STRIPS
CW	CURTAIN WALL - CLEAR GLASS IGU; MULLIONS - BLACK
OW-1	ERV EXHAUSTINTAKE
FC-1	FIBER CEMENT - HARDIE 5/16" PANEL: DOLPHIN GRAY VERTICAL PANEL & SMOOTH VERTICAL BATTENS
FC-2	FIBER CEMENT - HARDIE 5/16" PANEL: ARCTIC WHITE
FC-3	FIBER CEMENT - HARDIE 5/16" PANEL: BENJAMIN MOORE, DEEP SPACE: 2125-20
FC-4	FIBER CEMENT - HARDIE 5/16" PANEL: STANDARD BLACK TO MATCH GLAZING FRAME
GR-BA	GUARDRAIL BLACKENED ALUMINUM
GR-GL	GUARDRAIL CLEAR GLASS W/ BALUSTERS: BLACK
HR	HANDRAIL
LHR	LANDSCAPE HAND RAIL
MC-1	CANOPY FASCIA, W-BEAM: BLACK
MECH	MECHANICAL UNIT
MP	BLACK METAL PANEL
RWL	RAIN WATER LEADER
TWF	THROUGH-WALL FLASHING, LIGHT GREY
VFG	VINYL FRAMED GLAZING, MULLIONS: STANDARD BLACK
WD-1	WOOD SOFFIT/ACCENT - ALUMINUM FASTPLANK PANELS; LIGHT CHERRY



① East Elevation
1/8" = 1'-0"

③ Courtyard E Elevation
1/8" = 1'-0"

④ Courtyard W Elevation
1/8" = 1'-0"

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP AMEN.
6	21.07.20	ISSUED FOR SP RE-SE.
5	21.06.04	ISSUED FOR DP AMEN.
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR SP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE: As indicated DATE: 06/04/2021 DRAWN: TKAD
 PROJECT NUMBER: 20015
 FILE: C:\Users\TKAD\Documents\2015\20015\20015.dwg
 PLOT DATE: 8/3/2021 11:15:48 AM

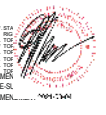
DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
 105 WEST HAVEN STREET VANCOUVER, BC V6P 3R9

LONSDALE SQUARE
 128 E 21st ST, NORTH VANCOUVER

Elevations
 PLOT DATE: 8/3/2021 11:15:48 AM

A301





TYP SIGNAGE
ALUMINUM PREFINISHED



CIPC-2, FC-3, ML
CHARCOAL



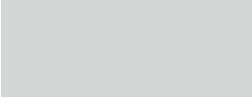
CIPC
CAST IN PLACE CONCRETE



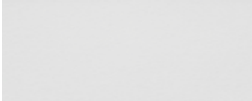
CW
CURTAIN WALL GLAZING



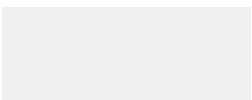
GR-GL
GUARDRAIL CLEAR GLASS W/ BALUSTERS:
BLACK



FC-1
FIBER CEMENT: PAINTED LIGHT GREY



FC-2
FIBER CEMENT: PAINTED WHITE



SPG-W
OPAQUE GLASS SPANDREL - WHITE



BOB, CW, FC-4, GR-BA, MC-1, MP, VFG
BLACK



WD-1
WOOD-LOOK SOFFIT



ML
METAL LOUVERS: BLACK



KEY - NOTES

TAG	DESCRIPTION
AC	ARCHITECTURAL CONCRETE
BOB	BOLT ON BALCONY, BLACK RAILING; METAL GRATE FLOOR
CIPC	CAST IN PLACE CONCRETE
CIPC-1	CANOPY
CPYF	CANOPY FASCIA - BLACK
CS	CEDAR STRIPS
CW	CURTAIN WALL - CLEAR GLASS IGU; MULLIONS - BLACK
CW-1	ERV EXHAUST/INTAKE
ERV	FIBER CEMENT - HARDIE 5/16" PANEL: DOLPHIN GRAY VERTICAL PANEL & SMOOTH VERTICAL BATTENS
FC-1	FIBER CEMENT - HARDIE 5/16" PANEL: ARCTIC WHITE
FC-2	FIBER CEMENT - HARDIE 5/16" PANEL: BENJAMIN MOORE, DEEP SPACE, 2125-20
FC-3	FIBER CEMENT - HARDIE 5/16" PANEL: STANDARD BLACK TO MATCH GLAZING FRAME FLASHING, COLOUR TO MATCH ADJACENT FIBER CEMENT PANELS (WHITE)
FC-4	FL-1
FL-1	FLASHING, COLOUR TO MATCH ADJACENT FIBER CEMENT PANELS (WHITE)
GAP-1	GENERIC ACCENT PANEL (FIBRE CEMENT, COLOUR TO MATCH WD-1)
GR	MECH INTAKE/EXHAUST GRILLE
GR-BA	GUARDRAIL BLACKENED ALUMINUM
GR-GL	GUARDRAIL CLEAR GLASS W/ BALUSTERS; BLACK
GR-GL2	GUARDRAIL CLEAR GLASS W/ BALUSTERS, NO TOP RAIL
GR-INT	GUARDRAIL INTERIOR GLASS
HR	HANDRAIL
HSS	HOLLOW STEEL SECTION
INSL	INSULATION
LHR	LANDSCAPE HAND RAIL
MC-1	CANOPY FASCIA, W-BEAM: BLACK
MECH	MECHANICAL UNIT
ML	METAL LOUVERS: BENJAMIN MOORE, DEEP SPACE, 2125-20
MP	BLACK METAL PANEL
OHD	OVERHEAD DOOR
PVR	PAVER
RWL	RAIN WATER LEADER
SIGN	SIGNAGE; BY OWNER
SPG-W	SPANDREL GLASS - WHITE
STP	STAND-PIPE
TWF	THROUGH-WALL FLASHING, LIGHT GREY
TWS	TACTILE WARNING STRIP
VFG	VINYL FRAMED GLAZING, MULLIONS: STANDARD BLACK
WD-1	WOOD SOFFIT/ACCENT - ALUMINUM FASTPI [®] ANIK PANELS; LIGHT CHERRY

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP-AMEN
6	21.07.20	ISSUED FOR BP-RE-SE
5	21.06.04	ISSUED FOR DP-AMEN, M4-TW
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION

REV	DATE	DESCRIPTION
SCALE:	12" = 1'-0"	DATE: 06/04/2021
PROJECT NUMBER:	20015	DRAWN: TKAD
FILE:	C:\Users\mty\Documents\Draw\18-1040-0001	DATE: 8/3/2021 11:16:47 AM

DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC
207-1000 HAVENWAY STREET, VANCOUVER, BC, V6P 4R9, CANADA

LONSDALE SQUARE
126 E 21st ST, NORTH VANCOUVER

Exterior Materials
PLOT DATE: 8/3/2021 11:16:45 AM

A302



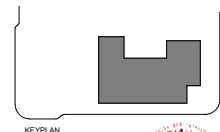
② SE Perspective



① NW Perspective



③ SW Perspective



KEYPLAN



7	21.08.23	ISSUED FOR DP-AMENDMENT
6	21.07.23	ISSUED FOR BP-RE-SUBMISSION
5	21.06.04	ISSUED FOR DP-AMENDMENT
REV	DATE	DESCRIPTION
SCALE:	DATE: 06/04/2021	DRAWN: Author
PROJECT NUMBER:	20015	
FILE:	C:\Users\m4\Documents\Draw\BP-1940-0001	DATE: 8/3/2021 11:16:31 AM
APP:	AutoCAD 2021	DATE:

**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

TKA ARCHITECTURE + DESIGN INC
207-1020 PNECORA STREET, VANCOUVER, V6L 5C7, P: 604-983-3466

LONSDALE SQUARE
128 E 21st ST, NORTH VANCOUVER

Perspectives
PLOT DATE: 8/3/2021 11:16:31 AM

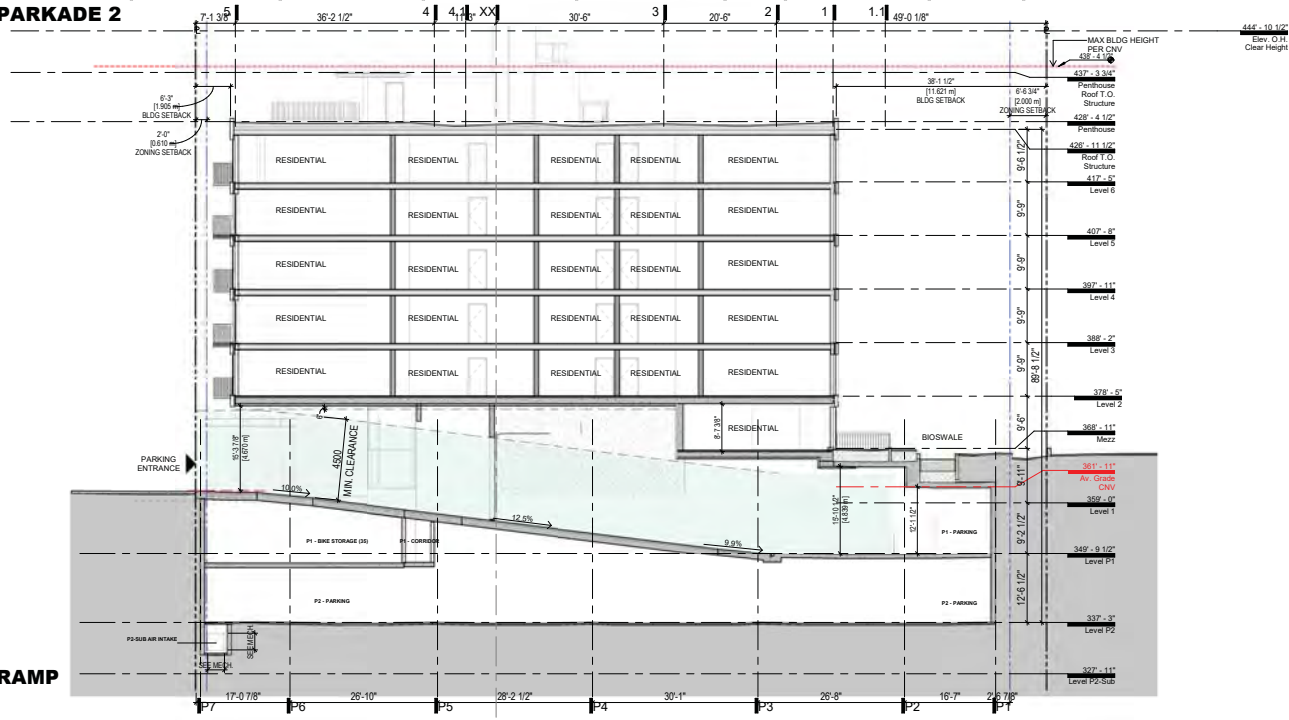
A303



- LOADING TRUCK MANEUVERING AREA. MAINTAIN MIN. 4.5m CLEAR OF ANY OBSTRUCTIONS IN AREAS W/ UNDER-SLAB INSULATION
- UNDERGROUND SOIL
- MISC LANDSCAPE. REFER TO LANDSCAPE FOR ADDITIONAL INFO.
- BIOSWALE. REFER TO LANDSCAPE FOR ADDITIONAL INFO.



1 SECTION THROUGH PARKADE 2
3/32" = 1'-0"



2 SECTION THROUGH RAMP
3/32" = 1'-0"

7	21.08.03	ISSUED FOR DP-AMEN
6	21.07.25	ISSUED FOR SP-RE-RL
5	21.06.04	ISSUED FOR DP-AMEN, M4-CAN
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR SP
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION

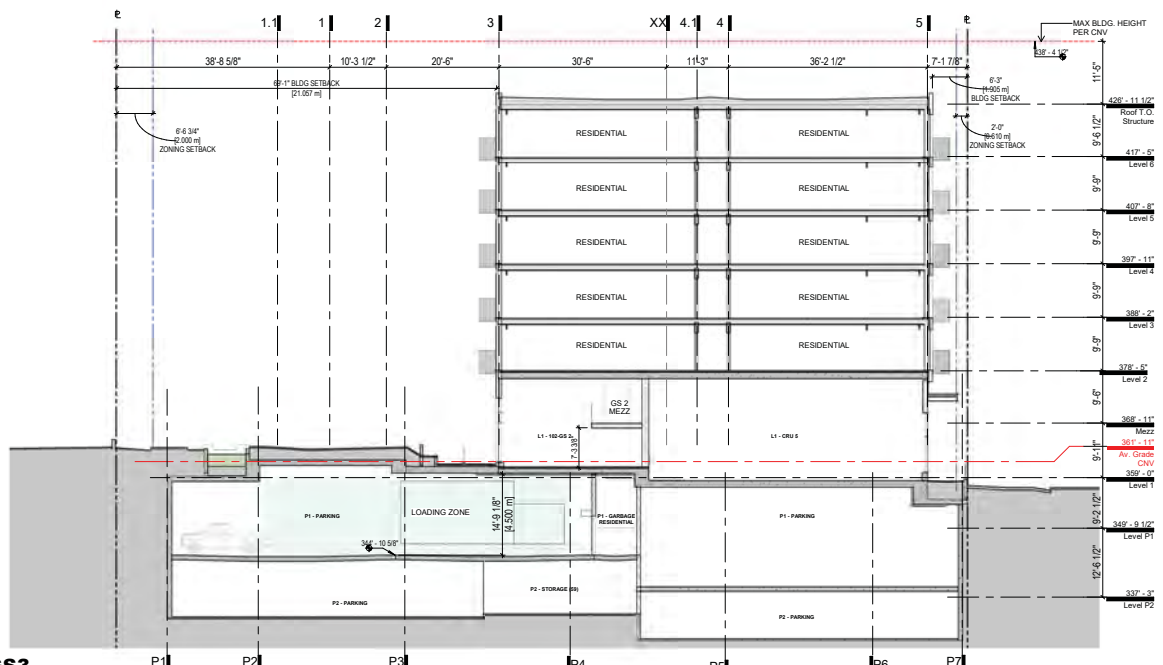
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
307-1050 JENNIFER STREET, VANCOUVER, BC, V6C 4R8, CANADA
LONSDALE SQUARE
128 E 21st ST, NORTH VANCOUVER

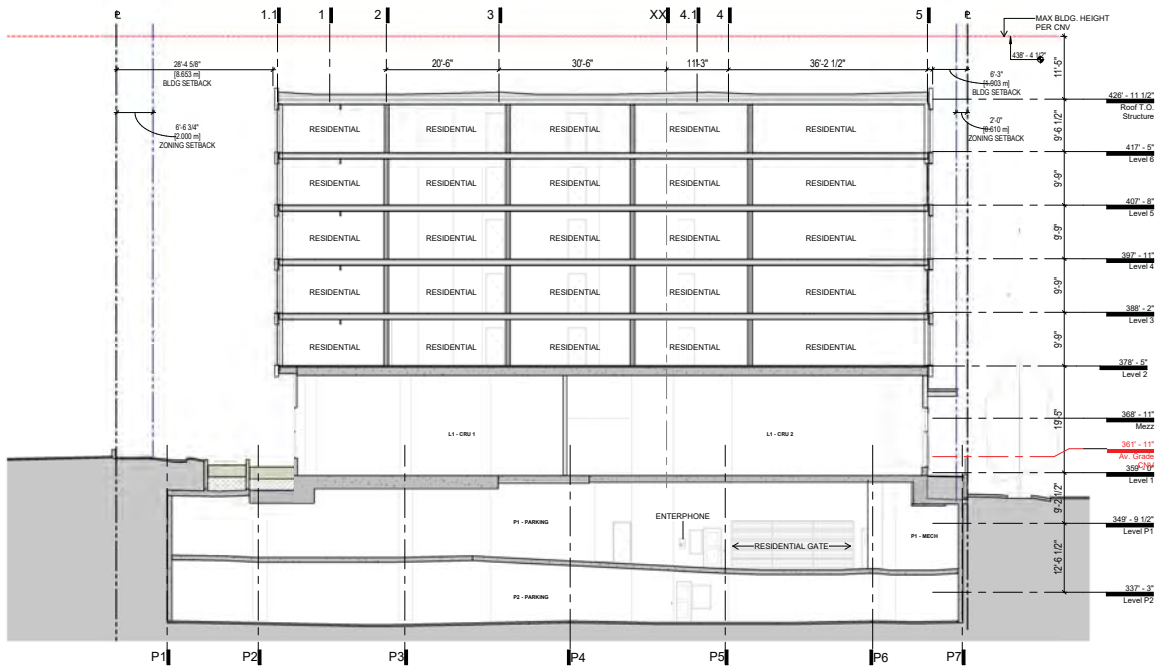
Sections - Building
PLOT DATE: 8/3/2021 11:16:37 AM

A400

- LOADING TRUCK MANEUVERING AREA. MAINTAIN MIN. 4.5m CLEAR OF ANY OBSTRUCTIONS IN AREAS W/ UNDER-SLAB INSULATION
- UNDERGROUND SOIL
- MISC LANDSCAPE. REFER TO LANDSCAPE FOR ADDITIONAL INFO.
- BIOSWALE. REFER TO LANDSCAPE FOR ADDITIONAL INFO.



① SECTION THROUGH GS3
3/32" = 1'-0"



② SECTION AT CRU 1
3/32" = 1'-0"

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP AMEN.
6	21.07.23	ISSUED FOR RP RE-SL
5	21.06.04	ISSUED FOR DP AMEN. M4-L1M
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR RP
1	20.08.07	ISSUED FOR DP RE-SUBMISSION

SCALE: As indicated | DATE: 06/04/2021 | DRAWN: TKAD
PROJECT NUMBER: 20015
FILE: C:\Users\TKA\Documents\Drawings\18-1040-0001_1521_032021\181021021.PLT
PLOT: 8/3/2021 1:05:02 PM

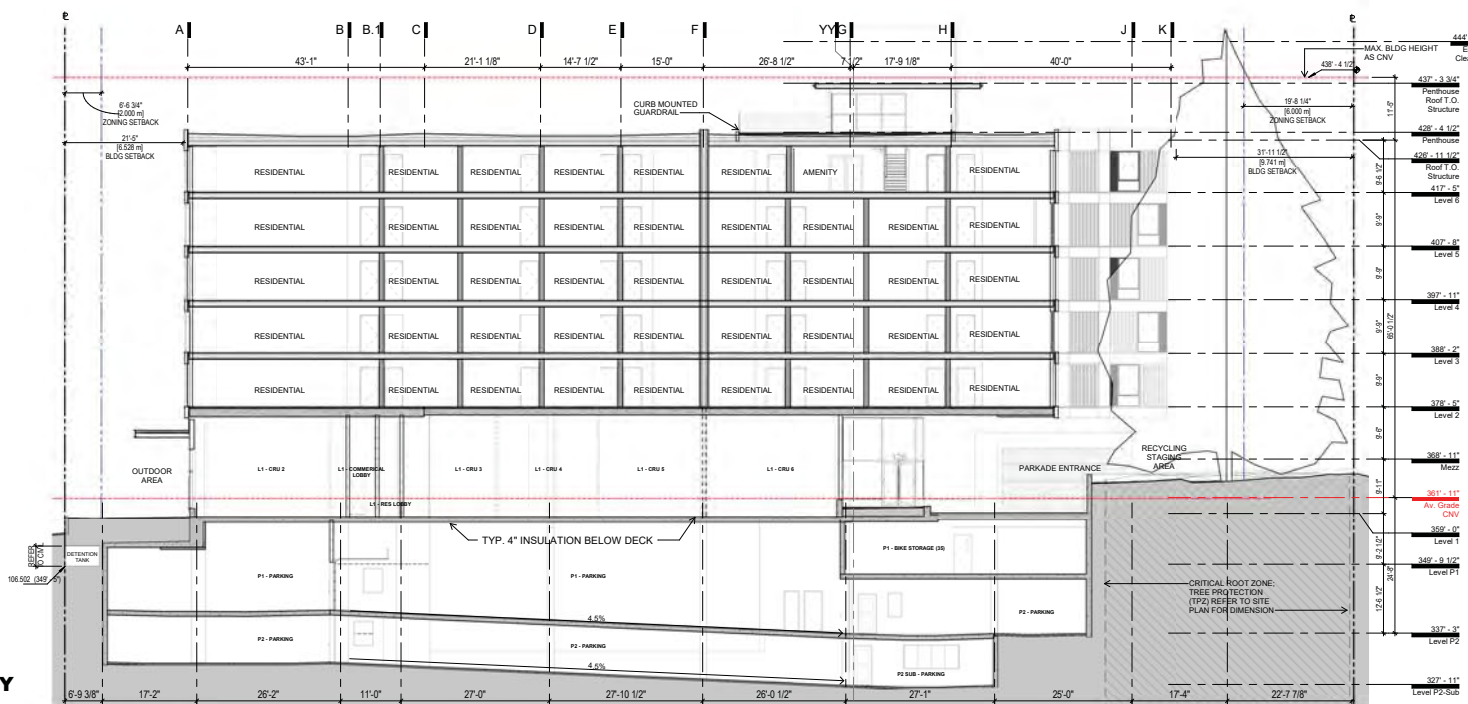
**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

TKA ARCHITECTURE + DESIGN INC.
207-1028 JENNIFER STREET, VANCOUVER, BC, V6J 1K6 | P: 604-683-3468

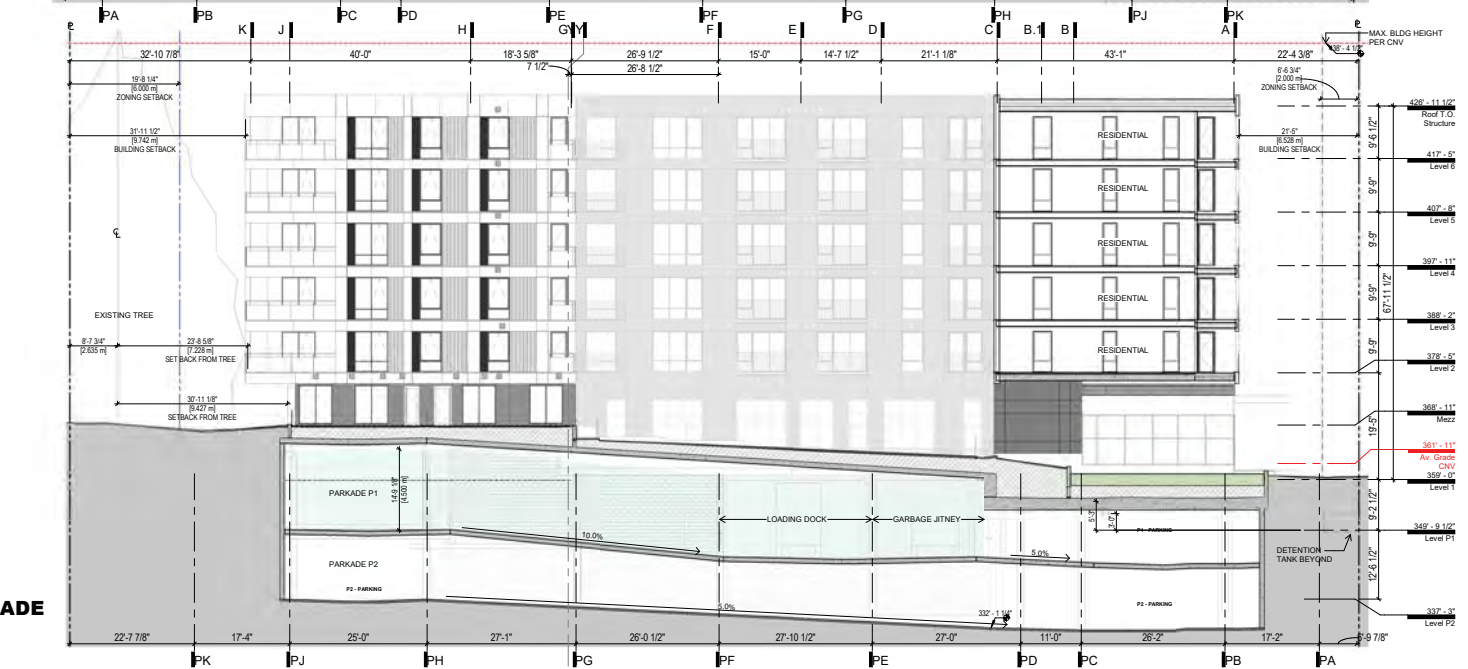
LONSDALE SQUARE
128 E 21st ST, NORTH VANCOUVER

Sections - Building
PLOT DATE: 8/3/2021 1:05:02 PM

A401



1 SECTION THROUGH LOBBY
3/32" = 1'-0"



2 SECTION THROUGH PARKADE
3/32" = 1'-0"

- LOADING TRUCK MANUEVERING AREA. MAINTAIN MIN. 4.5m CLEAR OF ANY OBSTRUCTIONS IN AREA OF W/ UNDER-SLAB INSULATION
- UNDERGROUND SOIL
- MISC. LANDSCAPE. REFER TO LANDSCAPE FOR ADDITIONAL INFO.
- BIOSWALE. REFER TO LANDSCAPE FOR ADDITIONAL INFO.

REV	DATE	DESCRIPTION
7	21.08.03	ISSUED FOR DP-AMEN.
6	21.07.25	ISSUED FOR BP-RES.
5	21.06.04	ISSUED FOR DP-AMEN.
3	21.02.12	ISSUED FOR IFT
2	21.02.05	ISSUED FOR BP
1	20.08.07	ISSUED FOR DP-RE-SUBMISSION

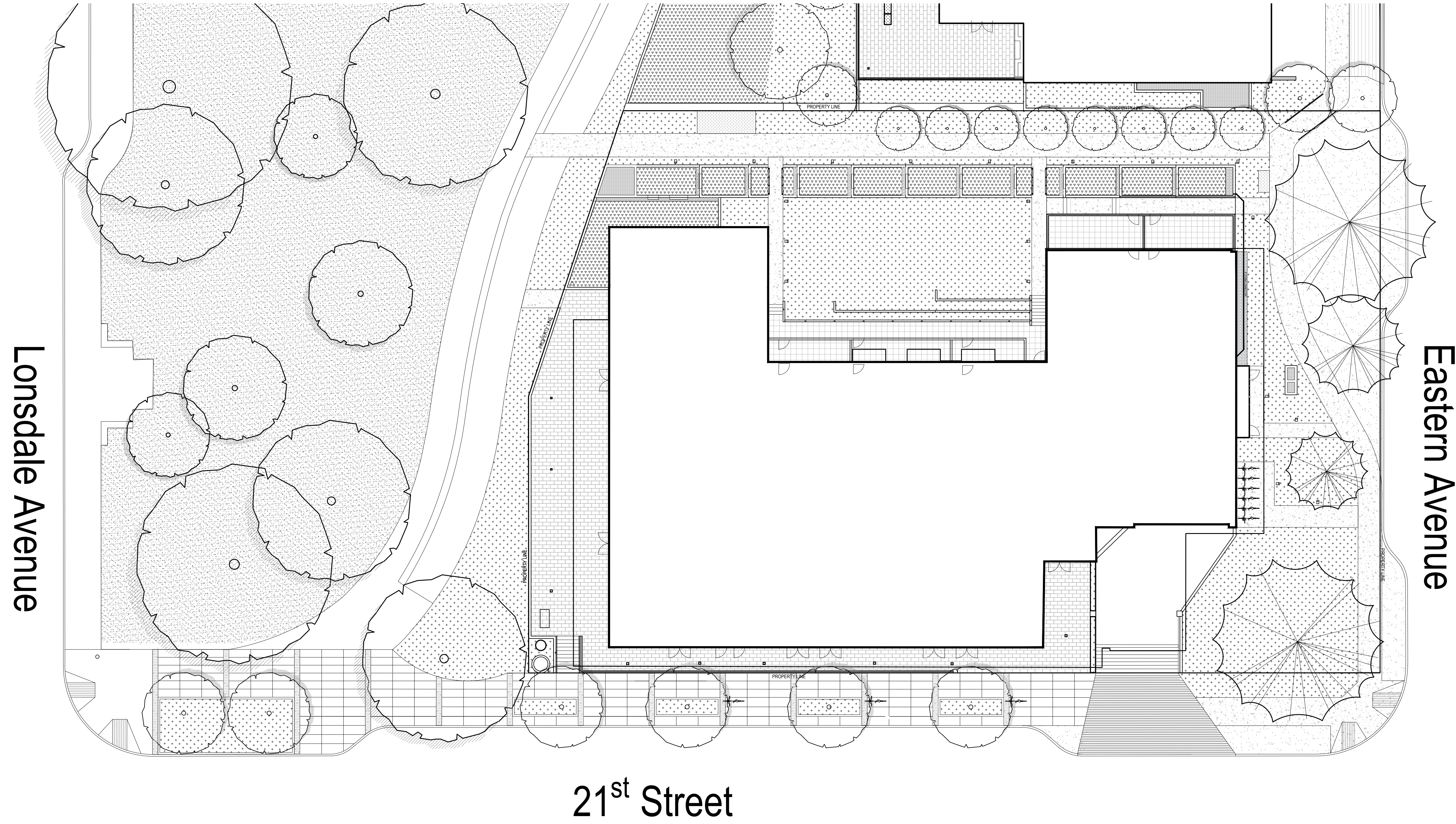
SCALE: As indicated DATE: 06/04/2021 DRAWN: TKAD
PROJECT NUMBER: 20015
FILE: C:\Users\TKA\Documents\20015\18400\18400.dwg PLOT: 8/3/2021 11:16:48 AM
PLOT DATE: 8/3/2021 11:16:48 AM

DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP

TKA ARCHITECTURE + DESIGN INC.
307-1025 JENNIFER STREET, VANCOUVER, BC, V6C 4R6
LONSDALE SQUARE
128 E 21st ST, NORTH VANCOUVER

Sections - Building
PLOT DATE: 8/3/2021 11:16:48 AM

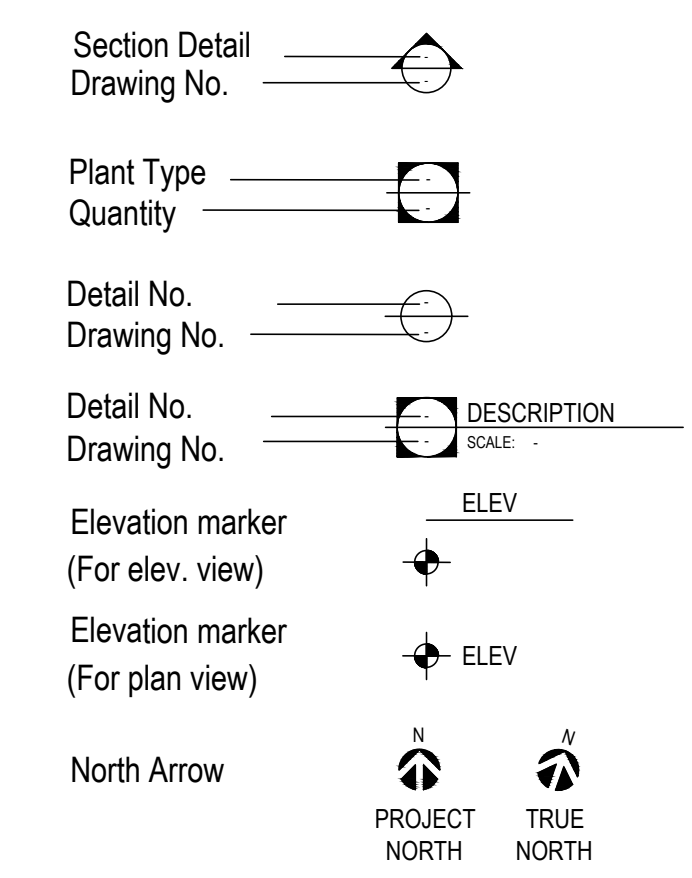
A402



DRAWING LIST

L0.01	SITE PLAN AND GENERAL NOTES
L1.01	TREE MANAGEMENT PLAN
L3.01	MATERIALS PLAN - GROUND LEVEL
L3.02	MATERIALS PLAN - ROOF LEVEL
L3.03	MATERIALS PLAN - STREETScape
L4.01	LAYOUT PLAN - GROUND LEVEL
L4.02	LAYOUT PLAN - ROOF LEVEL
L4.03	LAYOUT PLAN - STREETScape
L5.01	GRADING PLAN - GROUND LEVEL
L6.01	PLANTING PLAN - GROUND LEVEL
L7.01	IRRIGATION PLAN - GROUND LEVEL
L8.01	LANDSCAPE LIGHTING PLAN
L9.00	LANDSCAPE SECTIONS
L9.01	LANDSCAPE SECTIONS
L9.02	LANDSCAPE SECTIONS
L9.03	LANDSCAPE SECTIONS
L9.04	LANDSCAPE SECTIONS
L10.01	PLANTING DETAILS
L10.02	PAVING DETAILS
L10.03	FURNISHING DETAILS
L10.04	PLANTER DETAILS
L10.05	WALLS AND STAIRS DETAILS
L10.06	WALLS AND STAIRS DETAILS
L10.07	FENCE DETAILS
L10.08	STREETScape DETAILS

LANDSCAPE ARCHITECTURAL SYMBOLS



Lonsdale Avenue

Eastern Avenue

21st Street

1 M4 LANDSCAPE PLAN - GROUND LEVEL
 SCALE: NTS

GENERAL NOTES :

- 1) Prior to commencement of construction, the contractor must make careful examination of existing site surface conditions and topography and advise the Landscape Architect of any unsatisfactory site surface conditions and topography. No allowances will be made later for any expenses incurred through failure to note unsatisfactory existing site surface conditions and topography.
- 2) Do not scale drawings. Use dimensional info as noted on drawing. Contact the Landscape Architect immediately if there is any ambiguity, lack of information or inconsistency. Disregard of this note and extra costs incurred will not be accepted.
- 3) The Contractor will clean and reinstate all areas damaged or affected by works outside the limit of work to the conditions that existed prior to construction or better and to the satisfaction of the Landscape Architect.
- 4) The Contractor shall verify dimensions shown on drawings and notify the Landscape Architect of any discrepancies or inconsistencies prior to construction.
- 5) The Contractor shall be responsible for establishing the property line for the purpose of review and approval by City of North Vancouver prior to commencement of construction.
- 6) Contractor shall be responsible for verifying all underground utilities and taking the necessary precautions prior to and during construction. For comprehensive utilities/servicing plan, refer to civil drawings.
- 7) All lines and dimensions are parallel or perpendicular to the lines from which they are measured/ referenced unless noted otherwise.
- 8) Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation. Verify all dimensions on Site.
- 9) All curves transitions shall be sinuous and shall not transition abruptly. On site adjustments may be necessary to achieve smooth transitions between the curve data provided on the drawings. Curves shall be laid out and confirmed by the Landscape Architect prior to installation.

LANDSCAPE ARCHITECTURAL ABBREVIATIONS

AD	Area Drain	DEG	Degree	HT	Height	PI	Point of Intersection	SQ	Square	VERT	Vertical
ALT	Alternate	DET	Detail	ID	Inside Diameter/Dimension	PL	Property Line	SS	Stainless Steel	VEF	Vertical Each Face
ALUM	Aluminum	DIA	Diameter	INCL	Include/ Including	PLNT	Plant/ Planting	STA PT	Station Point	w/	with
ARCH	Architect/ Architectural	DIM	Dimension	JT	Joint	PO	Point of Origin	STD	Standard	w/o	without
AVG	Average	DN	Down	LA	Landscape Architect	PP	Pedestrian Pole	STL	Steel		
B	Bottom	DWG	Drawing	LOW	Limit of Work	PIP	Pour-in-Place	STR/STRUC	Structure/ Structural		
BC	Bottom of Curb Elevation	EJ	Expansion Joint	LT	Light	PSI	Pounds per Square Inch	T	Top		
BLDG	Building	ENG	Engineer/ Engineering	M	Meters/ Metres	PT	Point of Tangency	T+B	Top and Bottom		
BOL	Bollard	EQ	Equal	MAX	Maximum	QTY	Quantity	TAN	Tangency		
BS	Bottom of Step/ Stair Elevation	EX	Existing	MIN	Minimum	R	Riser	TC	Top of Curb Elevation		
BTW	Between	FC	Flush Curb	MISC	Miscellaneous	RA	Radius	TD	Trench Drain		
BW	Bottom of Wall Elevation	FDN	Foundation	NIC	Not in Contract	REBAR	Reinforcing Bar	TEMP	Temporary		
CB	Catch Basin	FG	Finish Grade	NO	Number	REQ	Required	THK	Thick		
CIV	Civil	FIN	Finish	NTS	Not to Scale	ROW	Right of Way	TOS	Top of Slab		
CJ	Control Joint	FTG	Footing	OC	On Center	SB	Setback	TPZ	Tree Protection Zone		
COJ	Construction Joint	GALV	Galvanized	OD	Outside Diameter/Dimension	SHT	Sheet	TS	Top of Step/ Stair Elevation		
COMP	Compacted	HEF	Horizontal Each Face	PC	Point of Curvature	SPEC	Specifications	TW	Top of Wall Elevation		
CONC	Concrete	HP	High Point	PERP	Perpendicular	SECT	Section	TYP	Typical		

6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV	DATE	DESCRIPTION: BP Amendment
SCALE:	3/32" = 1'-0"	DATE: 21.08.03 DRAWN: GF
PROJECT NUMBER		17063
FILE PATH:		PLOT DATE: 08/03/2021

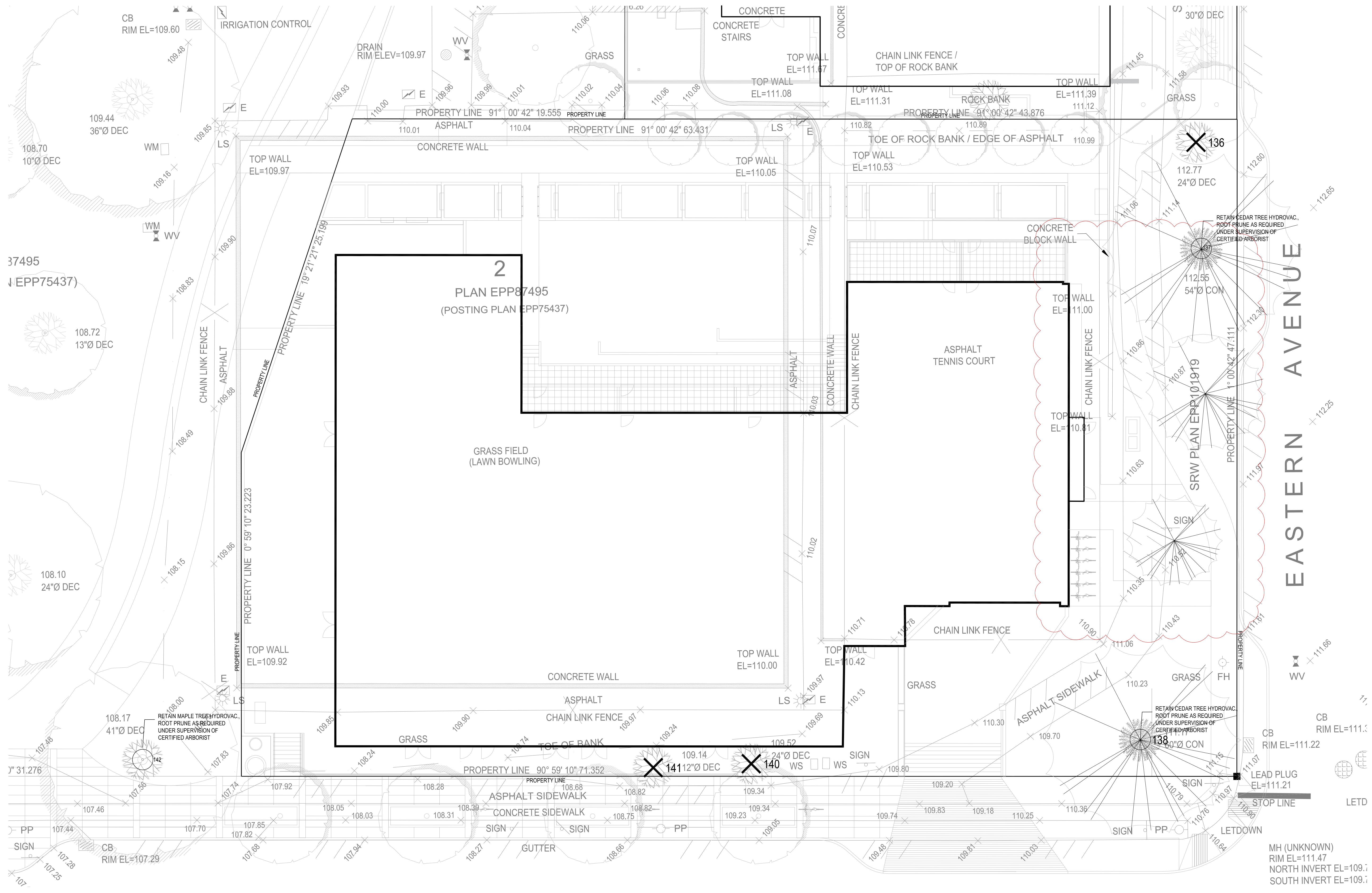
DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V6L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

LANDSCAPE PLAN
 PLOT DATE: 08/03/2021

L0.01



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF
 PROJECT NUMBER: 17063

DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

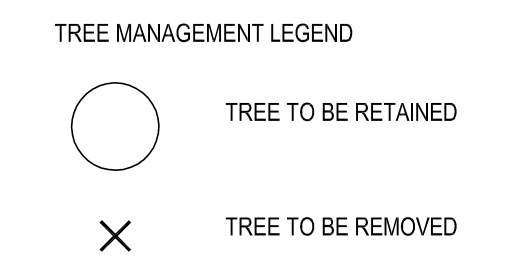
LONSDALE SQUARE
 City of North Vancouver

TREE MANAGEMENT PLAN
 PLOT DATE: 08/03/2021

L1.01

1 TREE MANAGEMENT PLAN
 SCALE: 3/32" = 1'

ID#	SIZE (DBHcm)	BOTANICAL NAME	COMMON NAME	ACTION
136	68	Prunus emarginata	Evergreen Magnolia	Remove
137	105	Thuja Plicata	Western Red Cedar	Retain
138	134	Thuja Plicata	Western Red Cedar	Retain
140	79	Prunus cerasifera	Purple Plum	Remove
141	35	Craetagus spp.	Hawthorne	Remove
142	142	Acer campestre	Hedge Maple	Retain

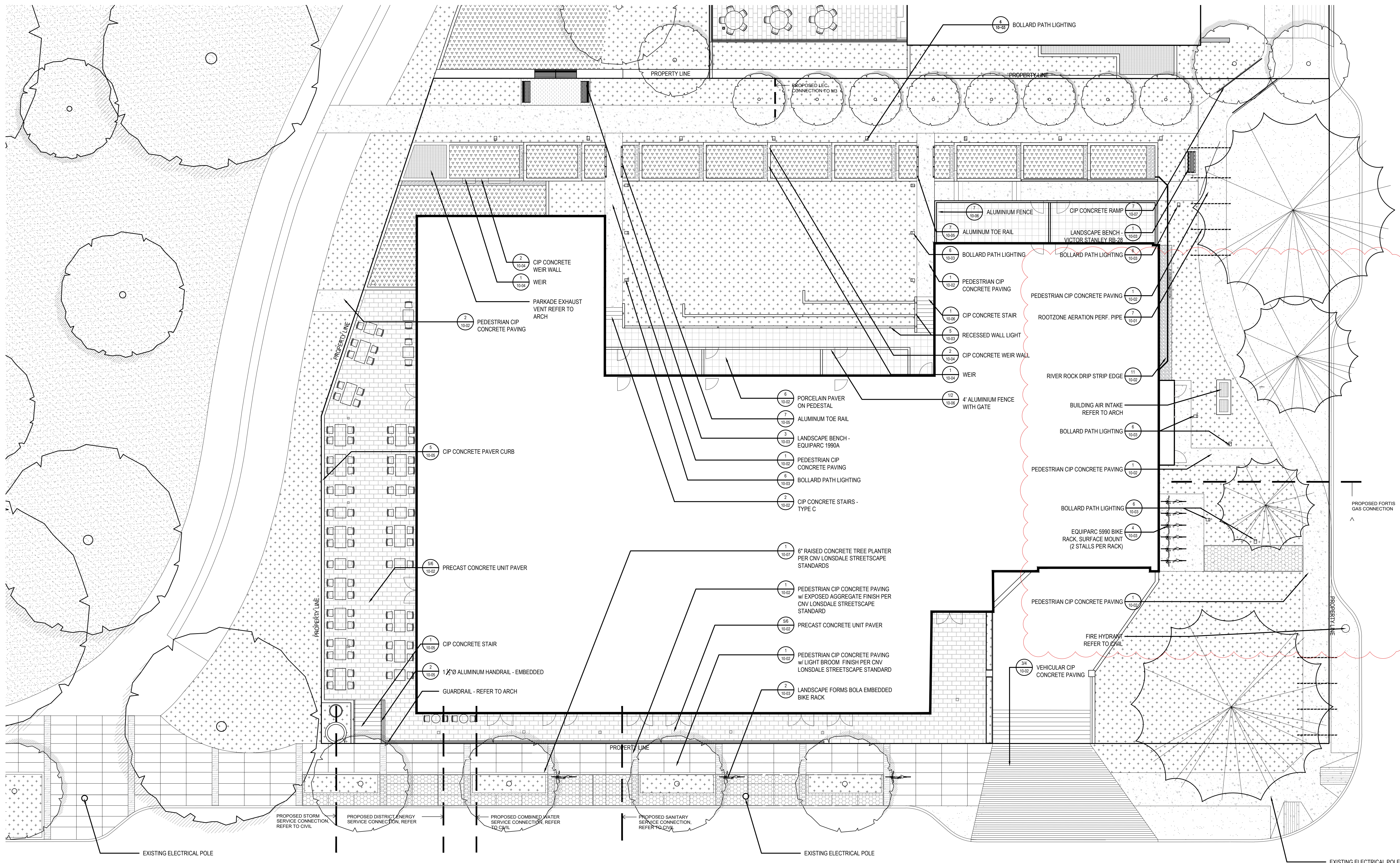


TREE MANAGEMENT PLAN NOTES:

- THIS PLAN IS FOR REFERENCE ONLY. REFER TO ARBORIST REPORT FOR HARRY JEROME NEIGHBOURHOOD LANDS, PREPARED BY DIAMONHEAD CONSULTING LTD. (LAST UPDATED APRIL 2, 2018)
- REFER TO ARBORIST REPORT FOR ALL APPLICABLE TREE PROTECTION MEASURES
- ALL CONSTRUCTION WORK CLOSE TO EXISTING TREES TO BE RETAINED SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND IN CONSULTATION WITH THE PARK BOARD ARBORIST. SUCH WORK SHALL INCLUDE BUT NOT BE LIMITED TO, ANY EXCAVATION NEAR OR WITHIN THE TREE PROTECTION ZONES, ALL MODIFICATIONS TO SITE GRADING NEAR THE TREE PROTECTION AREAS, ALL ROOT PRUNING, ANY REQUIRED BRANCH PRUNING, AND ANY OTHERWISE NECESSARY ENCROACHMENT INTO THE TREE PROTECTION AREAS.
- STREET TREE PROTECTION TO BE CONSTRUCTED AS PER CITY OF NORTH VANCOUVER BYLAW.

- ALL TREE RETENTION, PROTECTION AND REPLACEMENT SHALL BE IN ACCORDANCE WITH CITY OF NORTH VANCOUVER TREE POLICY SECTION 1.0 PROTECTION OF CITY TREES.
- TREE PROTECTION BARRIERS TO BE A MINIMUM HEIGHT OF 1.2m MEASURED FROM THE GROUND.
- TREE PROTECTION BARRIERS IN STREET BOULEVARDS ADJACENT TO THE SITE SHALL BE INSTALLED 0.6m MIN. FROM BACK OF CURB AND 0.3m MIN. FROM EDGE OF ANY SIDEWALK LOCATED WITHIN A GRASS BOULEVARD.
- NO STORAGE OF BUILDING / CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
- PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREES HEALTH.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL AND / OR RELOCATION.

MH (UNKNOWN)
 RIM EL=111.47
 NORTH INVERT EL=109.7
 SOUTH INVERT EL=109.7



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to-Response
1	20.08.17	Issue for Development Permit

REV	DATE	DESCRIPTION	BP Amendment
SCALE:	3/32" = 1'-0"	DATE:	21.08.03
PROJECT NUMBER		DRAWN:	GF
			17063
FILE PATH:		PLOT DATE:	08/03/2021

DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KAD ARCHITECTURE + DESIGN INC.
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

1 LONSDALE SQUARE
 City of North Vancouver

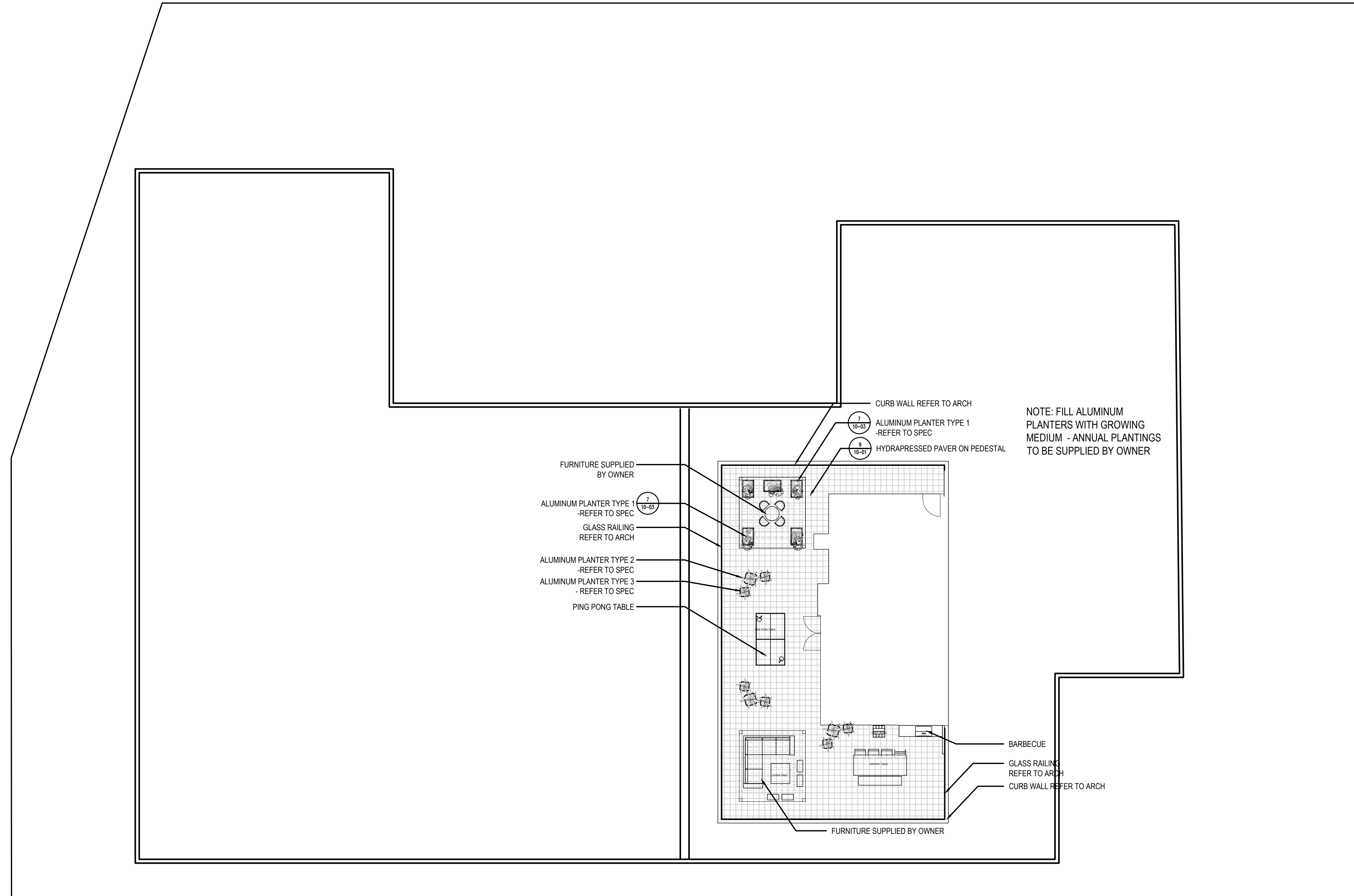
MATERIALS PLAN
GROUND LEVEL
 PLOT DATE: 08/03/2021

L3.01

1 M4 MATERIAL PLAN - GROUND LEVEL
 SCALE: 3/32" = 1'

MATERIAL PLAN LEGEND - GROUND FLOOR

	PRECAST CONCRETE UNIT PAVER		LAWN
	PEDESTRIAN CIP CONCRETE PAVING		PLANTING
	VEHICULAR CIP CONCRETE PAVING		STORM WATER PLANTING CW/ PERMAVOID
	PEDESTRIAN CIP CONCRETE PAVING W / EXPOSED AGGREGATE		RIVER ROCK DRIP STRIP
	PEDESTRIAN CIP CONCRETE PAVING W / LIGHT BROOM FINISH		STRUCTURAL SOIL
	ROOT ZONE AERATION PERF. PIPE		



REV	DATE	DESCRIPTION	BP Amendment
6	21.08.03	Issue for DP Amendment	
5	21.07.19	Issue for BP Amendment	
4	21.06.04	Issue for DP Amendment	
3	21.02.05	Issue for Building Permit	
2	20.10.26	DP Prior-to Response	
1	20.08.17	Issue for Development Permit	

SCALE: 3/32" = 1'-0" | DATE: 21.08.03 | DRAWN: GF
 PROJECT NUMBER: 17063
 FILE PATH: | PLOT DATE: 08/03/2021

**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

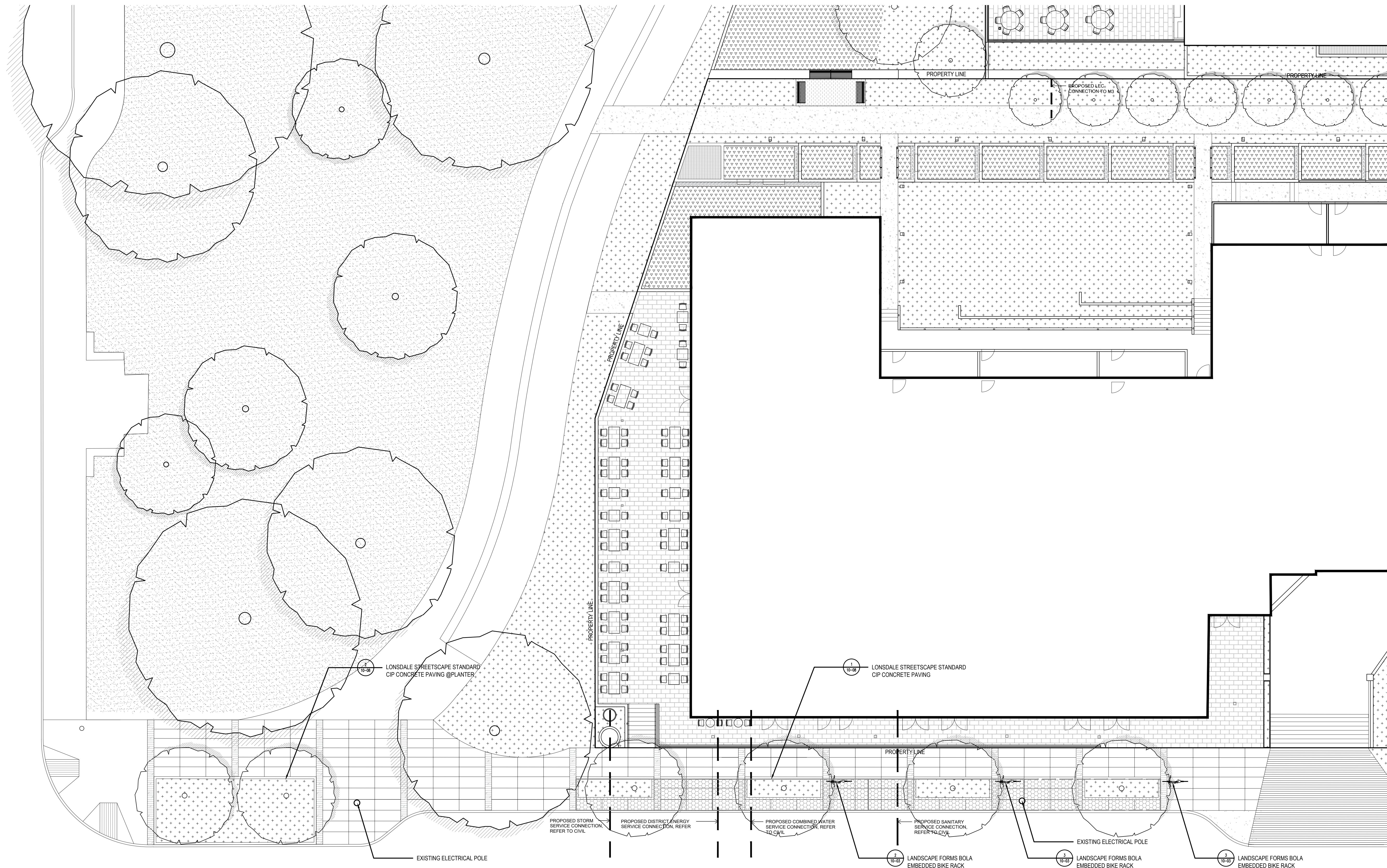
LONSDALE SQUARE
 City of North Vancouver

**MATERIALS PLAN
 ROOF LEVEL**
 PLOT DATE: 08/03/2021

L3.02

1 M4 MATERIAL PLAN - ROOF LEVEL
 SCALE: 3/32" = 1'

MATERIAL PLAN LEGEND - ROOF
 HYDRAPRESSED PAVER ON PEDESTAL



1 M4 MATERIAL PLAN - STREET LEVEL
 SCALE: 3/32" = 1'

MATERIAL PLAN LEGEND - GROUND FLOOR

- PRECAST CONCRETE UNIT PAVER
- PEDESTRIAN CIP CONCRETE PAVING
- VEHICULAR CIP CONCRETE PAVING
- PEDESTRIAN CIP CONCRETE PAVING W/ EXPOSED AGGREGATE
- PEDESTRIAN CIP CONCRETE PAVING W/ LIGHT BROOM FINISH
- ROOT ZONE AERATION PERF. PIPE
- LAWN
- PLANTING
- STORM WATER PLANTING CW I
- RIVER ROCK DRIP STRIP
- STRUCTURAL SOIL



REV	DATE	DESCRIPTION	BP Amendment
6	21.08.03	Issue for DP Amendment	
5	21.07.19	Issue for BP Amendment	
4	21.06.04	Issue for DP Amendment	
3	21.02.05	Issue for Building Permit	
2	20.10.26	DP Prior-to Response	
1	20.08.17	Issue for Development Permit	

SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF
 PROJECT NUMBER: 17063
 FILE PATH: PLOT DATE: 08/03/2021

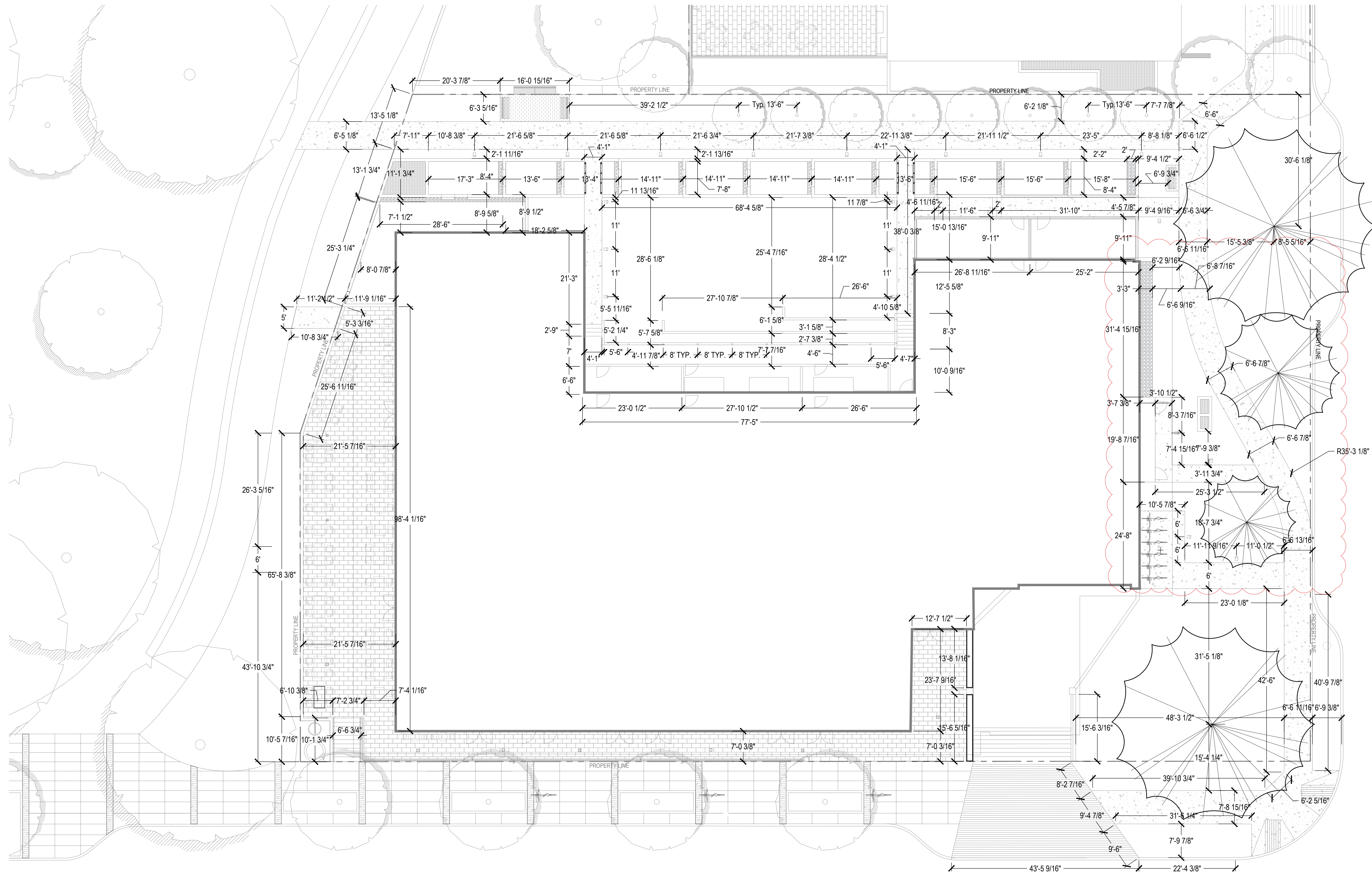
**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V6L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

**MATERIALS PLAN
 STREETScape**
 PLOT DATE: 08/03/2021

L3.03



REV	DATE	DESCRIPTION	BP Amendment
6	21.08.03	Issue for DP Amendment	
5	21.07.19	Issue for BP Amendment	
4	21.06.04	Issue for DP Amendment	
3	21.02.05	Issue for Building Permit	
2	20.10.26	DP Prior-to Response	
1	20.08.17	Issue for Development Permit	
SCALE: 3/32" = 1'-0"		DATE: 21.08.03	DRAWN: GF
PROJECT NUMBER		17063	
FILE PATH:	PLOT DATE: 08/03/2021		

**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

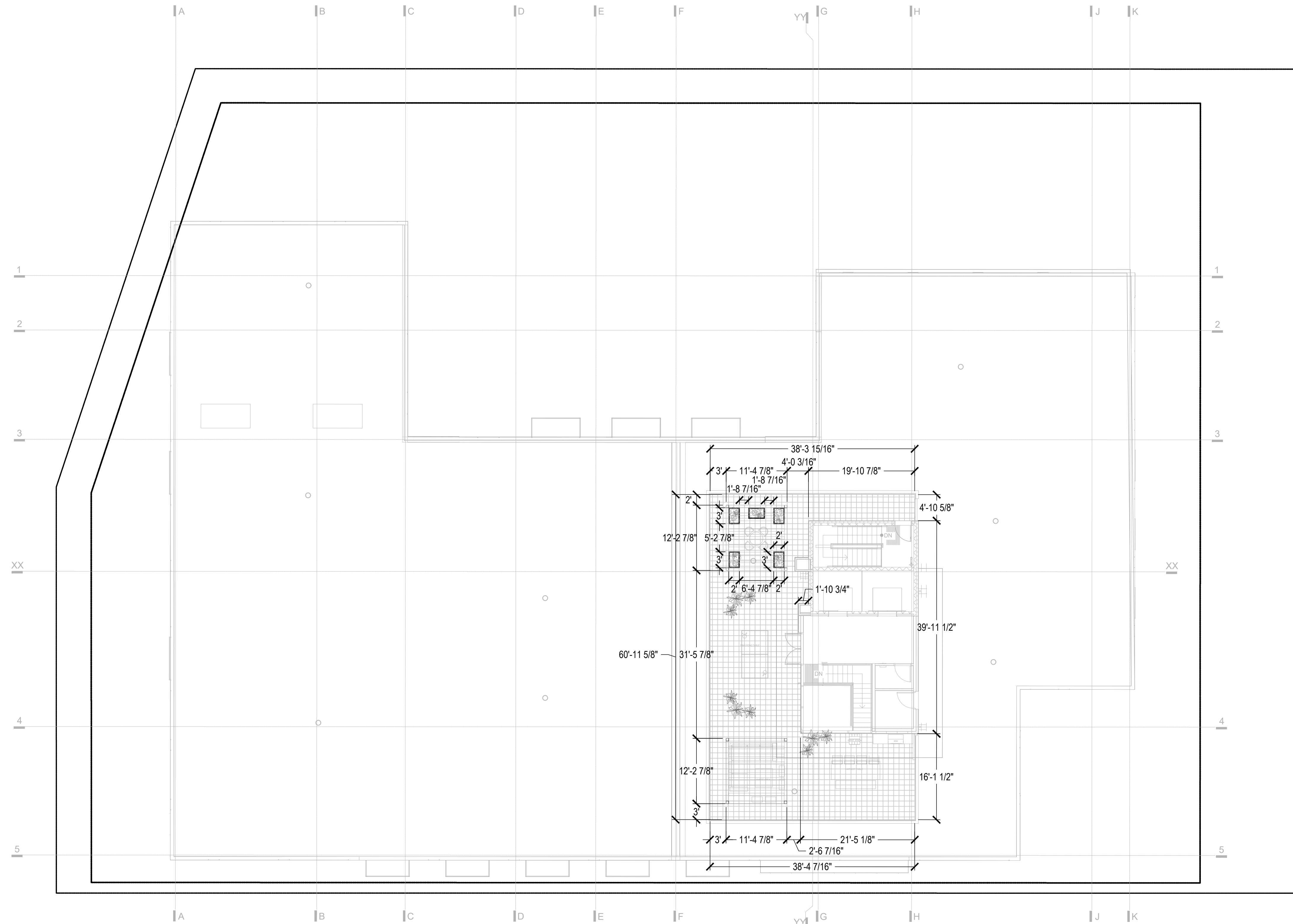
LONSDALE SQUARE
 City of North Vancouver

**LAYOUT PLAN
 GROUND FLOOR**

PLOT DATE: 08/03/2021

L4.01

1 M4 LAYOUT PLAN - GROUND LEVEL
 SCALE: 3/32" = 1'



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit
REV	DATE	DESCRIPTION: BP Amendment
SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF		
PROJECT NUMBER		17063
FILE PATH:	PLOT DATE: 08/03/2021	

DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP

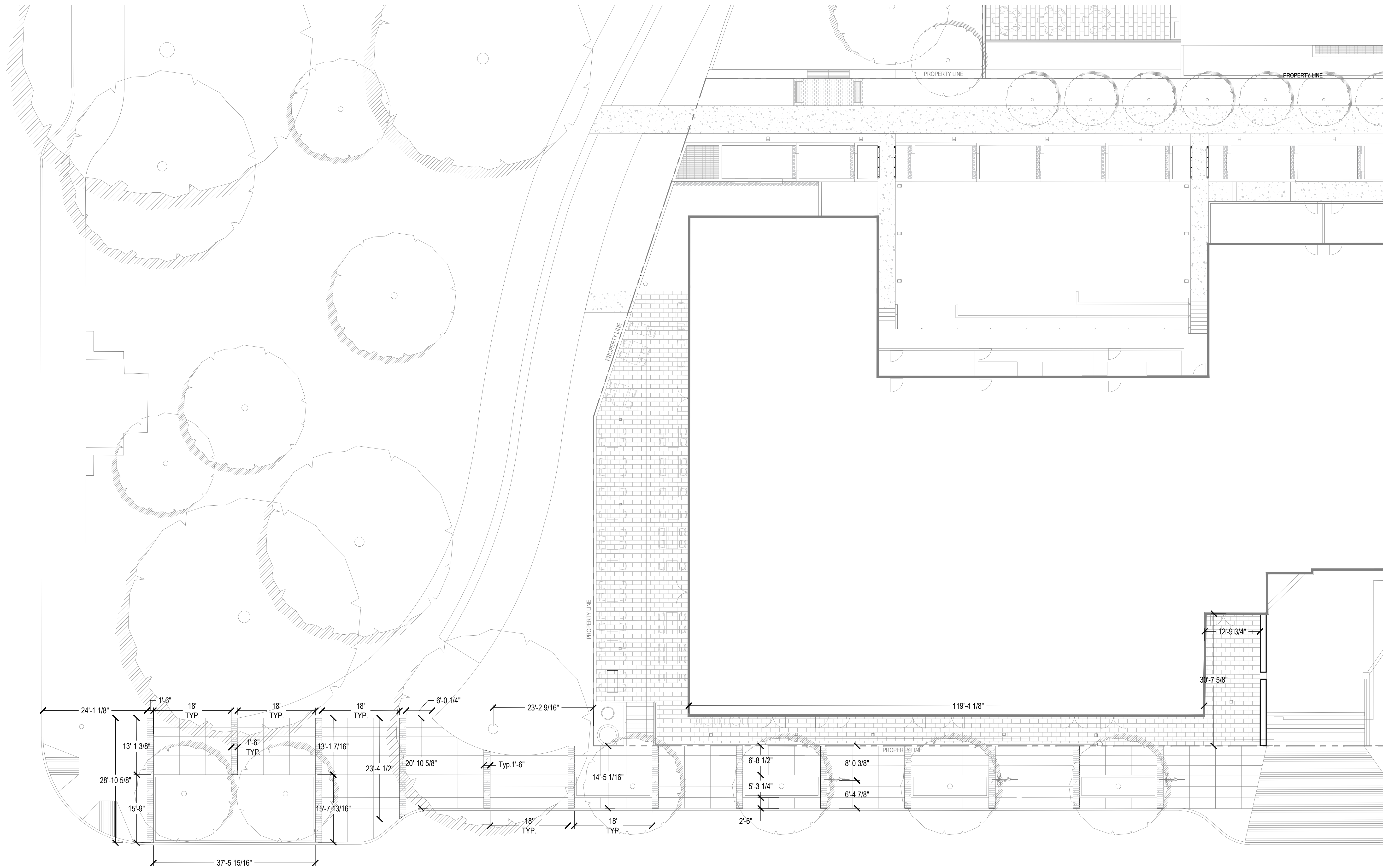
KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V6L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

LAYOUT PLAN
ROOF FLOOR

PLOT DATE: 08/03/2021

L4.02



- 6 21.08.03 Issue for DP Amendment
- 5 21.07.19 Issue for BP Amendment
- 4 21.06.04 Issue for DP Amendment
- 3 21.02.05 Issue for Building Permit
- 2 20.10.26 DP Prior-to Response
- 1 20.08.17 Issue for Development Permit

REV	DATE	DESCRIPTION	BP Amendment
SCALE:	3/32" = 1'-0"	DATE:	21.08.03
PROJECT NUMBER		DRAWN:	GF
			17063

**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET VANCOUVER - V5L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

**LAYOUT PLAN
 STREETSCAPE**

PLOT DATE: 08/03/2021

L4.03

1 M4 LAYOUT PLAN - STREET LEVEL
 SCALE: 3/32" = 1'



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to-Response
1	20.08.17	Issue for Development Permit

REV	DATE	DESCRIPTION	BP Amendment
SCALE:	3/32" = 1'-0"	DATE:	21.08.03
PROJECT NUMBER		DRAWN:	GF
		DATE:	08/03/2021
		FILE PATH:	
		DATE:	08/03/2021
		PROJECT NUMBER	17063

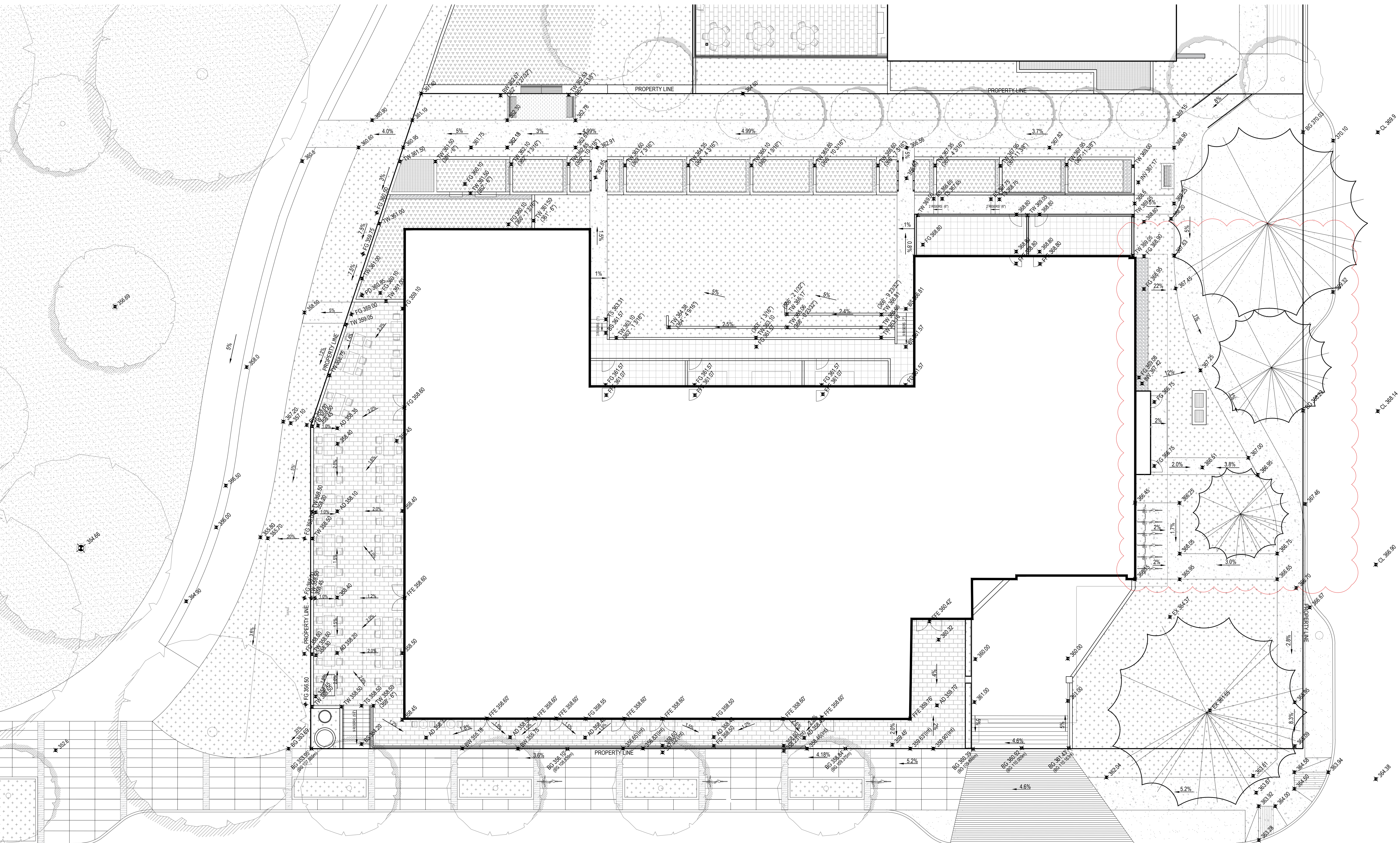
**DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
LIMITED PARTNERSHIP**

KAD ARCHITECTURE + DESIGN INC
305 - 1930 PANDORA STREET VANCOUVER V5L 0C7 P 604 569 3499

LONSDALE SQUARE
City of North Vancouver

GRADING PLAN
PLOT DATE: 08/03/2021

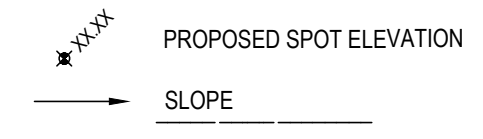
L5.01



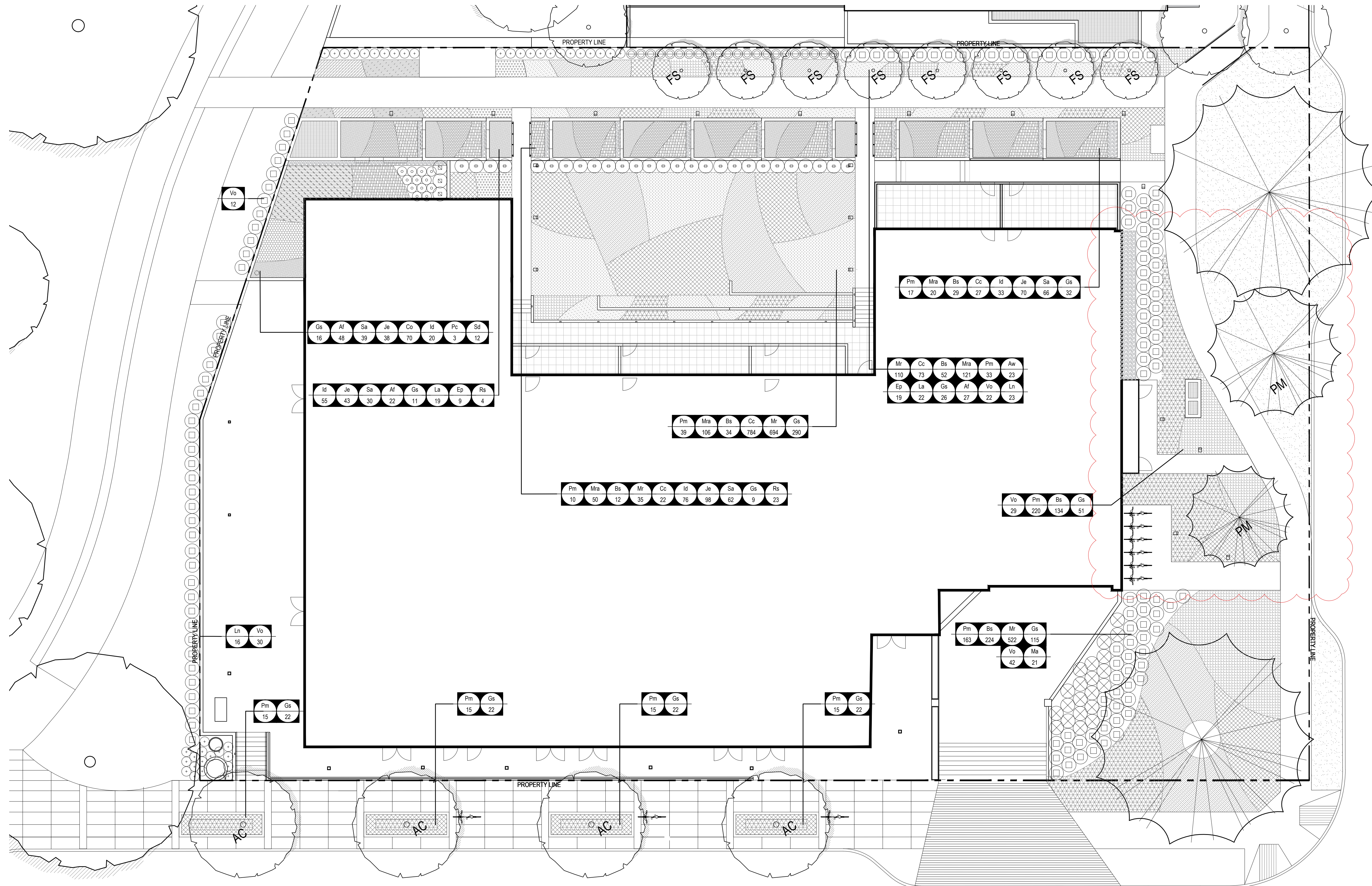
1 GRADING PLAN
SCALE: 3/32" = 1'

GRADING LEGEND

TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TB	TOP OF BENCH
BB	BOTTOM OF BENCH
TC	TOP OF CURB
BC	BOTTOM OF CURB
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
RIM	DRAIN - RIM ELEVATION
PD	PLANTER DRAIN
AD	AREA DRAIN
FG	FINISH GRADE



- GRADING GENERAL NOTES**
1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
 2. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
 3. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 3:1 (33.3%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
 4. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.
 5. ALL ELEVATIONS ARE PROVIDED IN FEET



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

SCALE:	3/32" = 1'-0"	DATE:	21.08.03	DRAWN:	GF
PROJECT NUMBER				DATE:	17063
FILE PATH:				PLOT DATE:	08/03/2021

1 GROUND LEVEL PLANTING PLAN
 SCALE: 3/32" = 1'

STREET TREE NOTES:
 FINAL SPACING, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE CITY OF NORTH VANCOUVER. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 2 1/2" CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE.

** INDICATES PLANTS THAT ATTRACT POLLINATORS

IRRIGATION NOTES: ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AUTOMATED IRRIGATION SYSTEM WITH FULL COVERAGE

MASTER PLANT SCHEDULE

SYM	QTY.	BOTANICAL NAME	COMMON NAME	SPACING / SIZE AT PLANTING/ MATURE SIZE
TREES				
AC	4	Acer campestre 'Queen Elizabeth'	Queen Elizabeth Hedge Maple	As Shown / 80mm cal / 25' Height / 30' Spread
FS	8	Fagus sylvatica 'Dawycyk Gold'	Columnar Golden European Beech	As Shown / 80mm cal / 40' Height / 8' Spread
PM	2	Pseudotsuga menziesii	Douglas Fir	As Shown / 80mm cal / 120' Height / 30' Spread
STORMWATER PLANTING				
Co	70	Carex obovata	Slough Sedge	18" o.c. / #3 Pot / 5' Height / 2' Spread
Id	184	Iris douglasiana**	Douglas Iris	18" o.c. / #2 Pot / 24" Height / 24" Spread
Je	249	Juncus effusus	Soft Rush	18" o.c. / #3 Pot / 3' Height / 2' Spread
Pc	3	Physocarpus capitatus**	Pacific Ninebark	36" o.c. / #5 Pot / 4' Height / 4' Spread
Sa	197	Scirpus acutus	Hardstem Bulrush	18" o.c. / #2 Pot / 6' Height / 2' Spread
Sd	12	Spiraea Douglasii**	Hardhack	24" o.c. / #2 Pot / 6' Height / 2' Spread

SHRUBS, GRASSES AND PERENNIALS

Aw	23	Astilbe 'White' **	White Astilbe	24" o.c. / #3 Pot / 36" Height / 24" Spread
Af	97	Aquilegia formosa **	Red Columbine	12" o.c. / #3 Pot / 24" Height / 12" Spread
Bs	485	Blechnum spicant	Deer Fern	18" o.c. / #3 Pot / 18" Height / 24" Spread
Cc	906	Cornus canadensis **	Creeping Dogwood	12" o.c. / #1 Pot / 6" Height / 12" Spread
Ep	28	Echinacea purpurea 'Kim's Knee High**'	Kim's Knee High Echinacea	18" o.c. / #1 Pot / 18" Height / 18" Spread
Gs	808	Gaultheria shallon	Salal	18" o.c. / #3 Pot / 36" Height / 36" Spread
La	41	Lavandula angustifolia 'Hidcote' **	Hidcote Lavender	18" o.c. / #1 Pot / 18" Height / 12" Spread
Ln	39	Lonicera nitida 'Baggesen's Gold'	Baggesen's Gold Box Honeysuckle	24" o.c. / #3 Pot / 24" Height / 24" Spread
Ma	21	Mahonia aquifolium	Tall Oregon Grape	36" o.c. / #3 Pot / 48" Height / 36" Spread
Mr	1361	Mahonia repens	Creeping Oregon Grape	12" o.c. / #3 Pot / 12" Height / 18" Spread
Mra	297	Maianthemum racemosum**	False Solomon Seal	12" o.c. / #1 Pot / 18" Height / 12" Spread
Rs	27	Rubus Spectabilis**	Salmonberry	36" o.c. / #5 Pot / 4' Height / 4' Spread
Pm	647	Polystichum munium	Sword fern	18" o.c. / #2 Pot / 36" Height / 24" Spread
Vo	135	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	36" o.c. / #5 Pot / 5' Height / 4' Spread

SOD

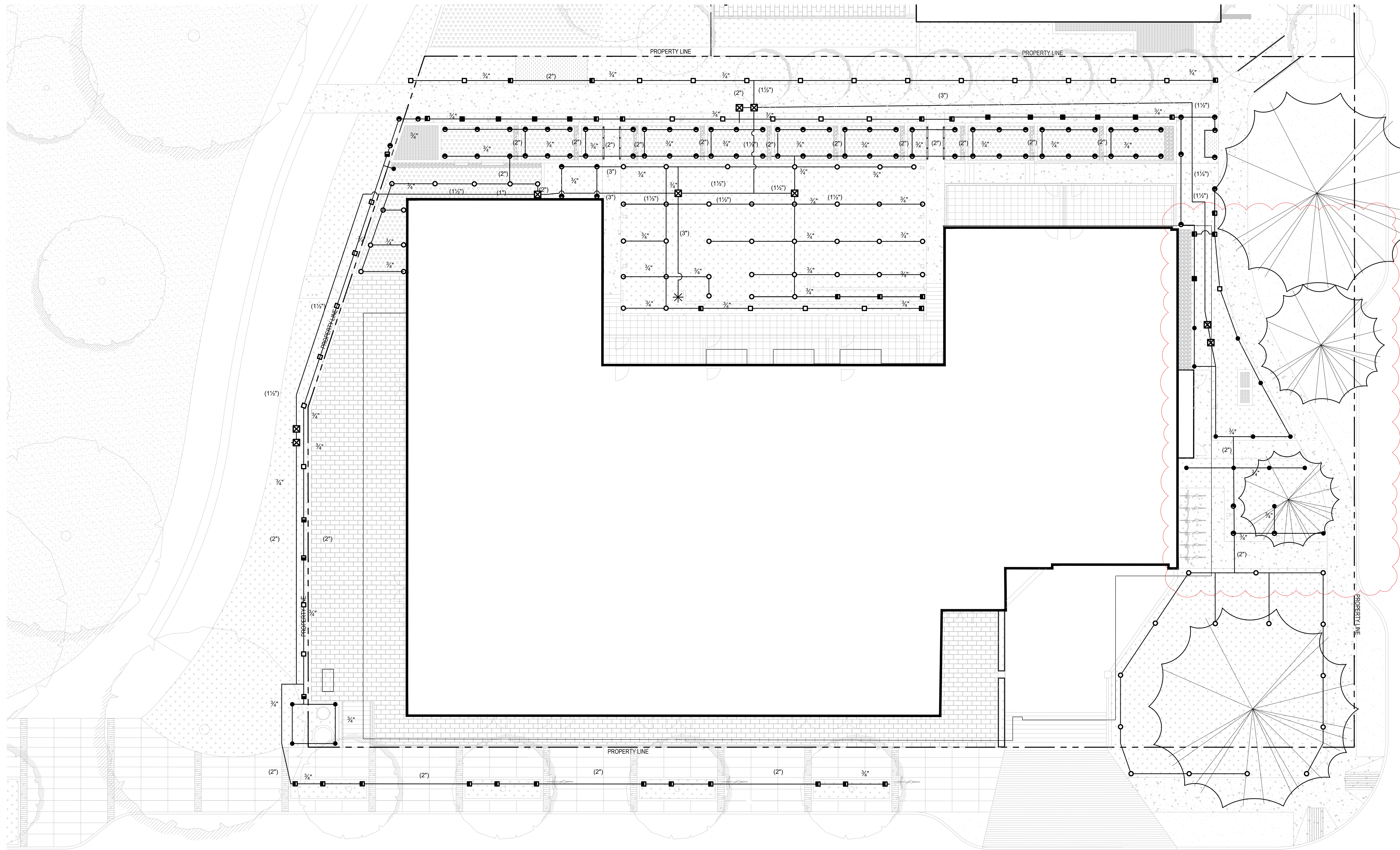
DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KA: D ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V6L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

PLANTING PLAN
 (GROUND FLOOR)
 PLOT DATE: 08/03/2021

L6.01



1 IRRIGATION PLAN - GROUND LEVEL
 SCALE: 3/32" = 1'

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	MAIN CONNECTION - 25.0 USGPM @ 60 PSI - 2" DOUBLE CHECK VALVE ASSEMBLY - RAINBIRD #3 QUICK COUPLER		RAINBIRD 1804-PRS SPRINKLER C/W 10U NOZZLE
	TIME CLOCK		RAINBIRD 1806-PRS SPRINKLER C/W U8 NOZZLE
	AUTOVALVE		RAINBIRD 1804-PRS SPRINKLER C/W 15SST NOZZLE
	STUBOUT LOCATION		RAINBIRD 1804-PRS SPRINKLER C/W 15RCS or LCS NOZZLE
	RAINBIRD PA-8S-PRS SPRINKLER C/W MP 3000 NOZZLE		RAINBIRD 1804-PRS SPRINKLER C/W 15SST NOZZLE + PCS-060
	RAINBIRD PA-8S-PRS SPRINKLER C/W MP 3000 NOZZLE		(3") SLEEVE SIZE
	RAINBIRD 1804-PRS SPRINKLER C/W 12U NOZZLE		

NOTES:
 • USE HE-VAN NOZZLES FOR SPRAY PATTERNS LESS THAN 90 DEGREES
 • FLOW THROUGH ALL PIPING NOT TO EXCEED 5FT/SEC
 • USE RAINBIRD PA-8S-PRS SHRUB ADAPTERS ON GREEN ROOF AREAS



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV	DATE	DESCRIPTION	BP Amendment
SCALE:	3/32" = 1'-0"	DATE:	21.08.03
PROJECT NUMBER		DRAWN:	GF
FILE PATH:		PLOT DATE:	08/03/2021
			17063

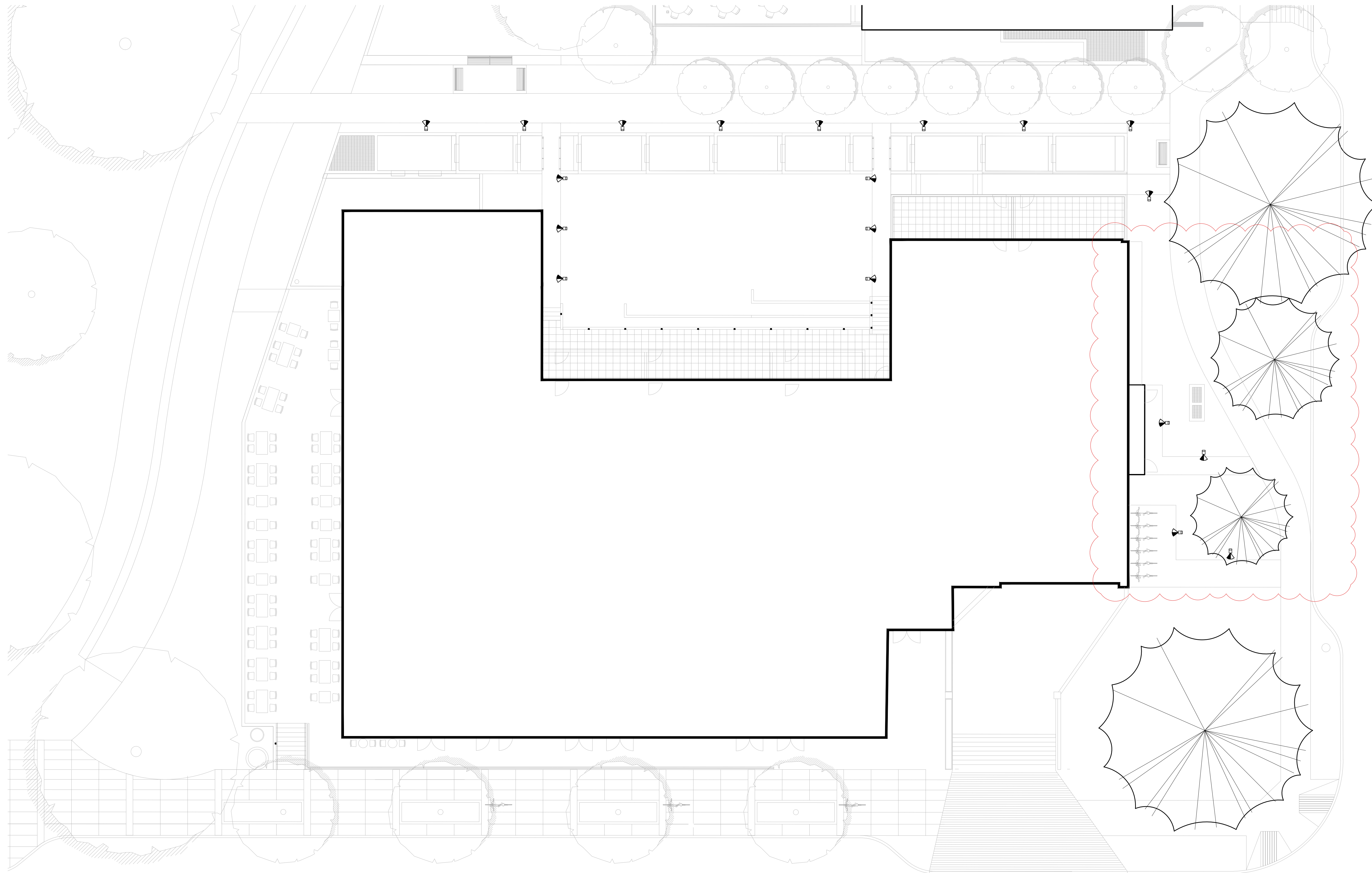
DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

IRRIGATION PLAN
GROUND LEVEL
 PLOT DATE: 08/03/2021

L7.01



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit
REV	DATE	DESCRIPTION: BP Amendment
SCALE: 3/32" = 1'-0"		DATE: 21.08.03
PROJECT NUMBER		DRAWN: GF
FILE PATH:		PLOT DATE: 08/03/2021
		17063

**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

KAD ARCHITECTURE+DESIGN INC
 305 - 1930 PANDORA STREET VANCOUVER - V5L 0C7 - P 604 569 3499



LONSDALE SQUARE
 City of North Vancouver

LIGHTING PLAN
 PLOT DATE: 08/03/2021

L8.01

1 LIGHTING PLAN
 SCALE: 3/32" = 1'

LIGHTING LEGEND

-  BOLLARD LIGHT, LOW-LEVEL PATH
 HESS - LINEA BOLLARD, LN650, LED, 41"
-  RECESSED WALL LIGHT
 BEGA 22 230 RECESSED WALL LIGHT

LIGHTING GENERAL NOTES

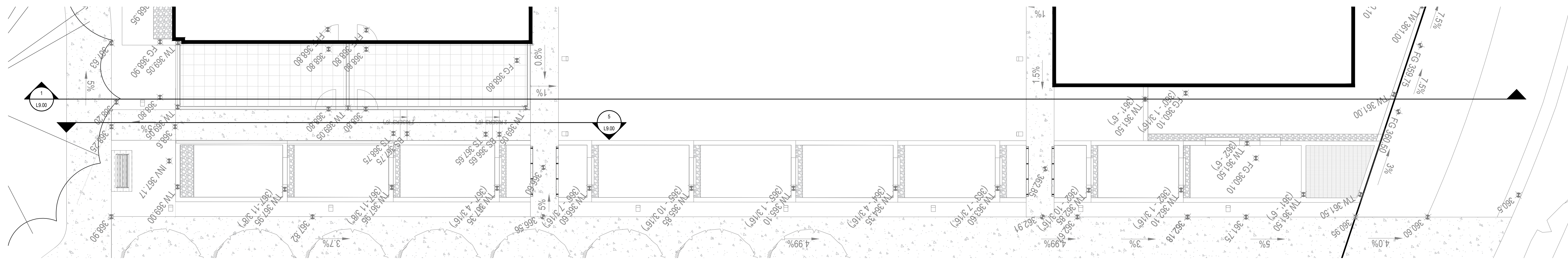
THIS DRAWING IS FOR REFERENCE ONLY. SEE ELECTRICAL DRAWING FOR LIGHTING DESIGN.



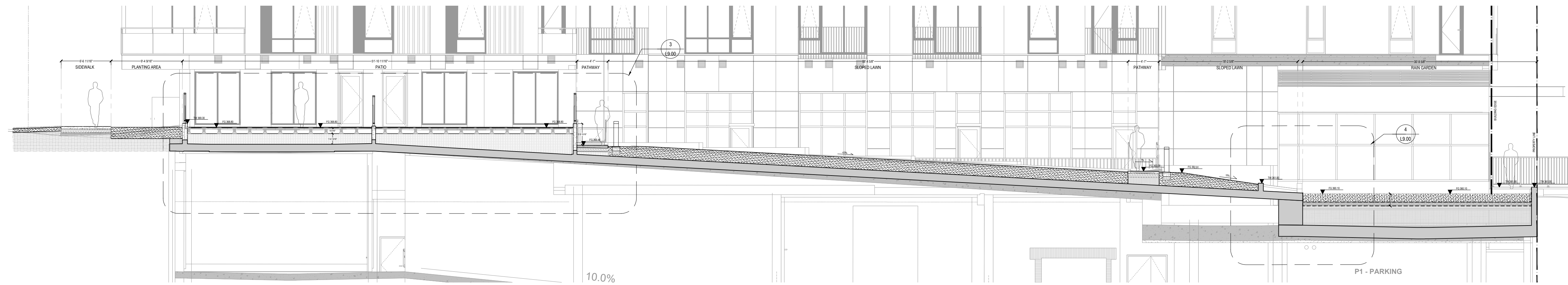
HESS - LINEA
 BOLLARD PATH LIGHTING



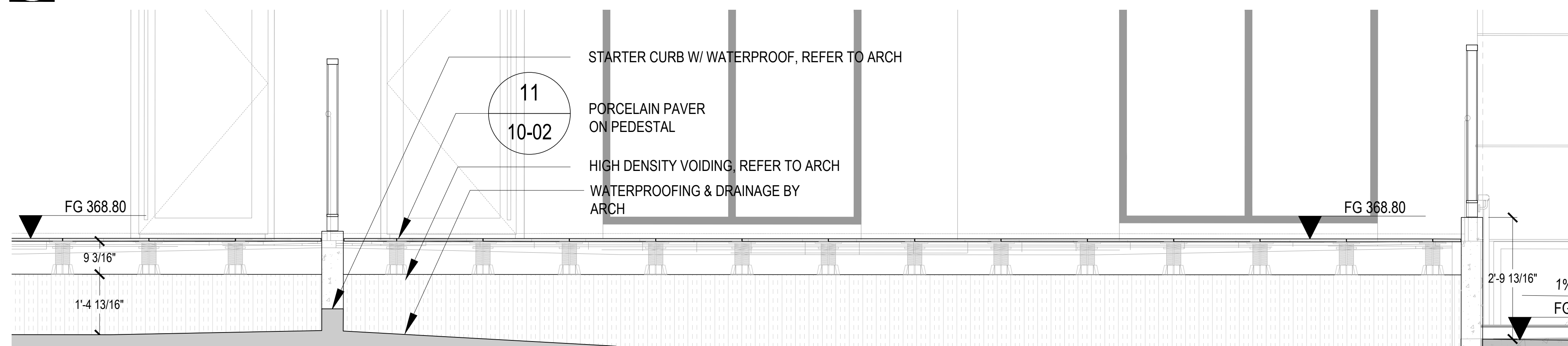
BEGA - 22 230
 RECESSED WALL LIGHT



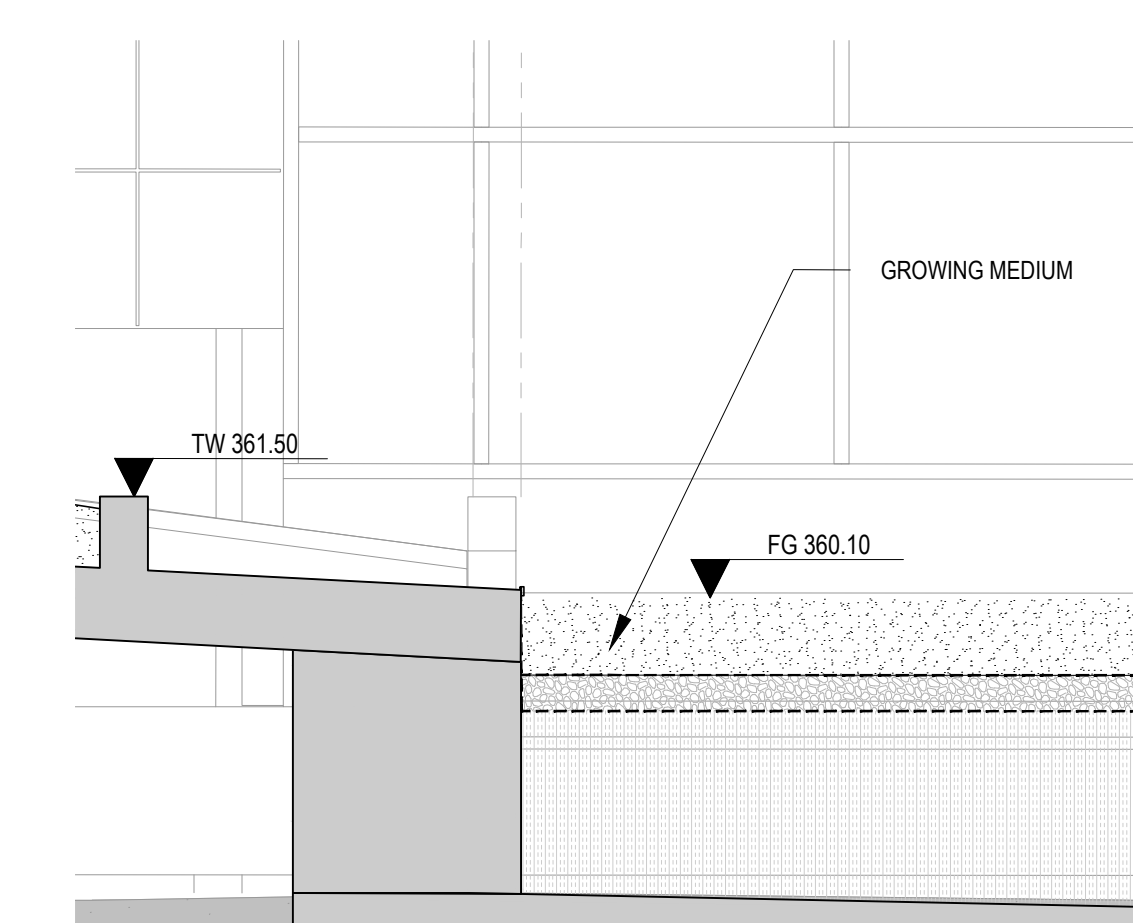
1 LANDSCAPE PLAN
 SCALE: 1/8" = 1'



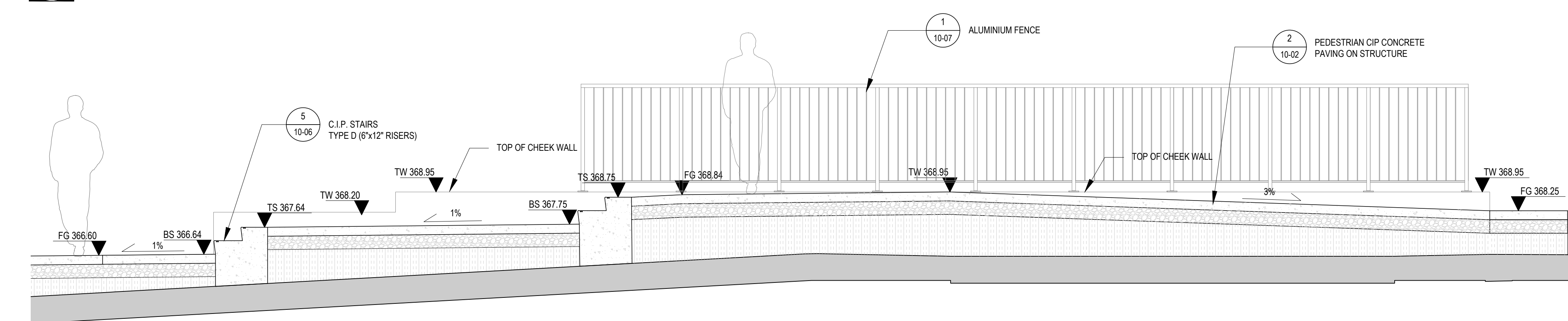
2 LANDSCAPE LONG SECTION
 SCALE: 1/8" = 1'



3 LANDSCAPE LONG SECTION - DETAIL 1
 SCALE: 3/8" = 1'



4 LANDSCAPE LONG SECTION - DETAIL 2
 SCALE: 1/2" = 1'



5 GARDEN SUITE STAIR SECTION
 SCALE: 3/8" = 1'



REV	DATE	DESCRIPTION	BP Amendment
6	21.08.03	Issue for DP Amendment	
5	21.07.19	Issue for BP Amendment	
4	21.06.04	Issue for DP Amendment	
3	21.02.05	Issue for Building Permit	
2	20.10.26	DP Prior-to Response	
1	20.08.17	Issue for Development Permit	
SCALE: 3/32" = 1'-0"		DATE: 21.08.03	DRAWN: GF
PROJECT NUMBER		17063	
FILE PATH:	PLOT DATE:	08/03/2021	

DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

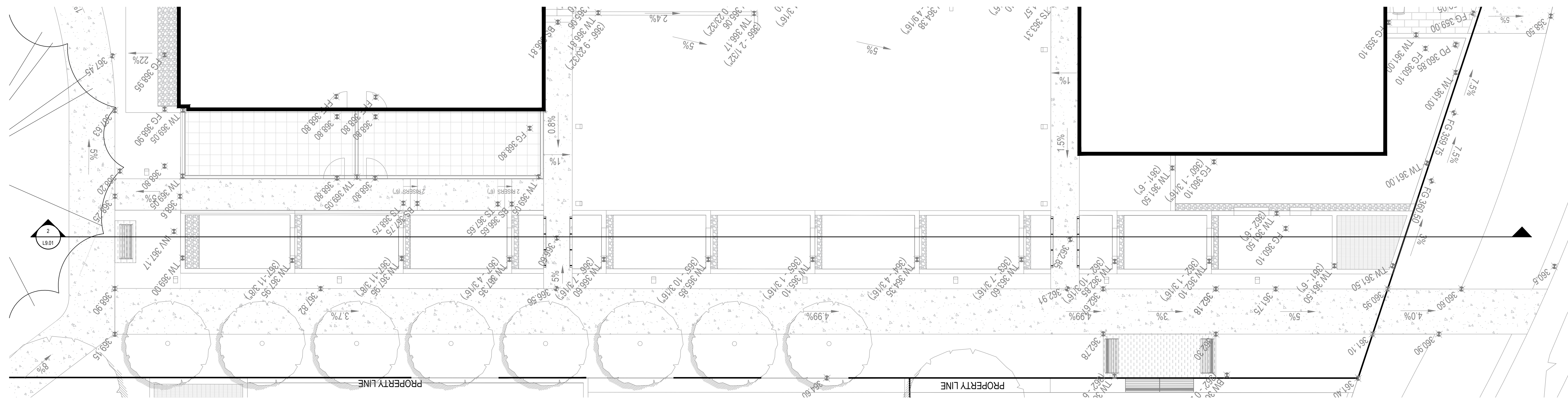
KA: D ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

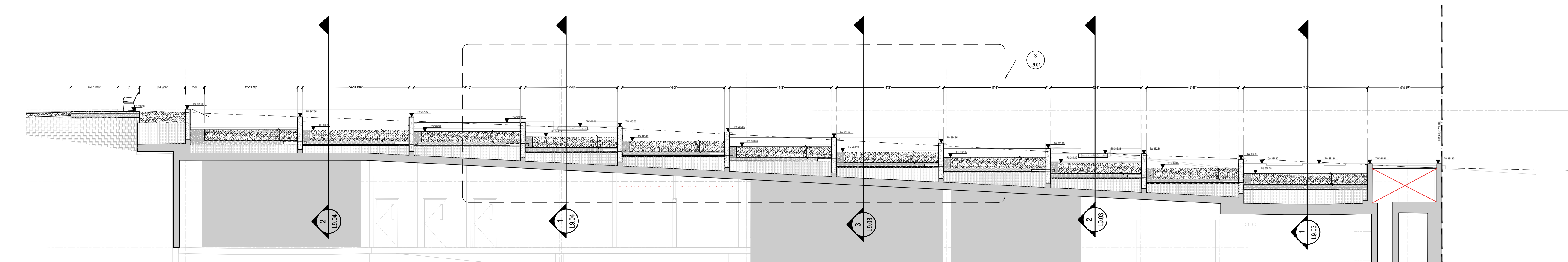
LANDSCAPE AND SECTIONS

PLOT DATE: 08/03/2021

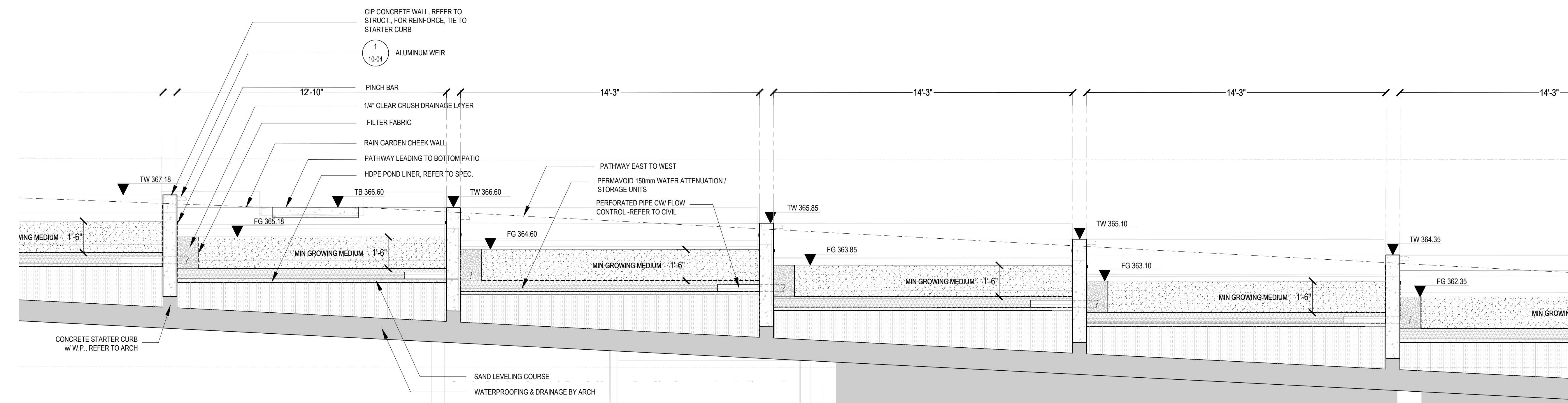
L9.00



1 LANDSCAPE PLAN
 SCALE: 1/8" = 1'



2 RAIN GARDEN LONG SECTION
 SCALE: 1/8" = 1'



3 RAIN GARDEN LONG SECTION - DETAIL
 SCALE: 3/8" = 1'



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV DATE DESCRIPTION
 SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF
 PROJECT NUMBER 17063
 FILE PATH: PLOT DATE: 08/03/2021

DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

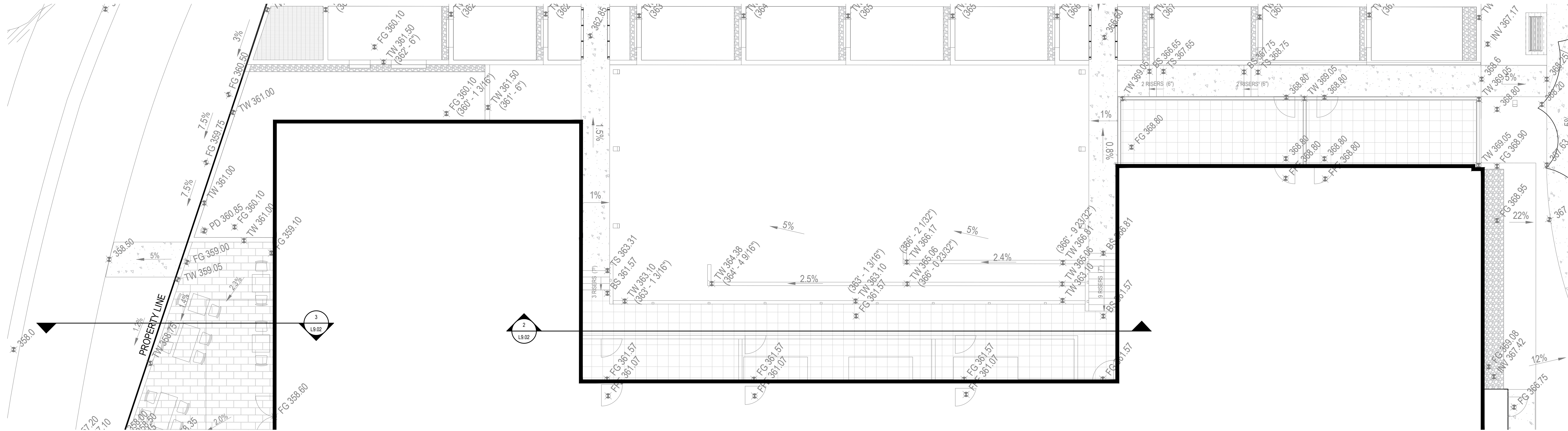
KA: D ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET VANCOUVER V5L 0C7 P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

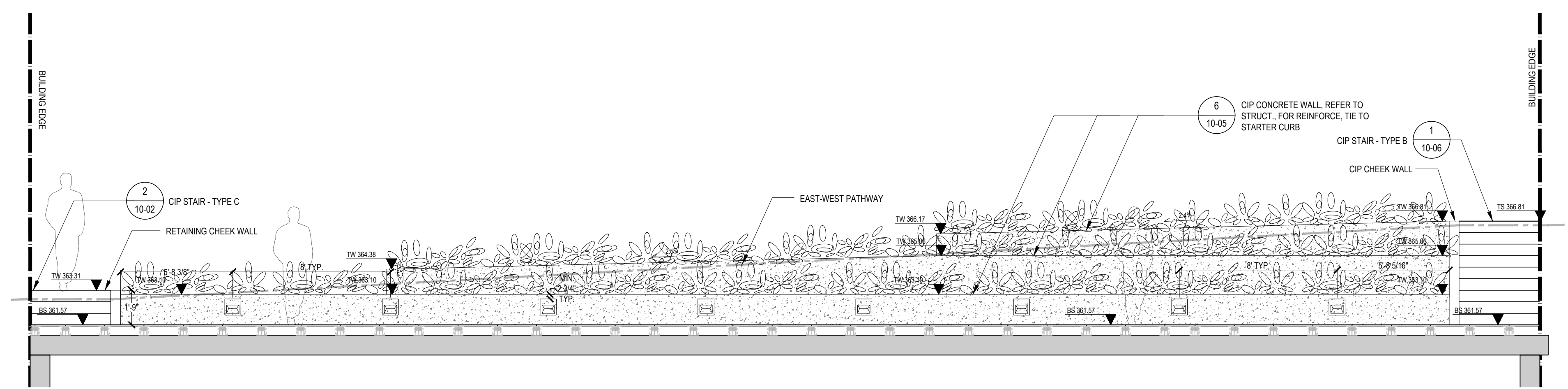
LANDSCAPE SECTIONS
RAIN GARDEN

PLOT DATE: 08/03/2021

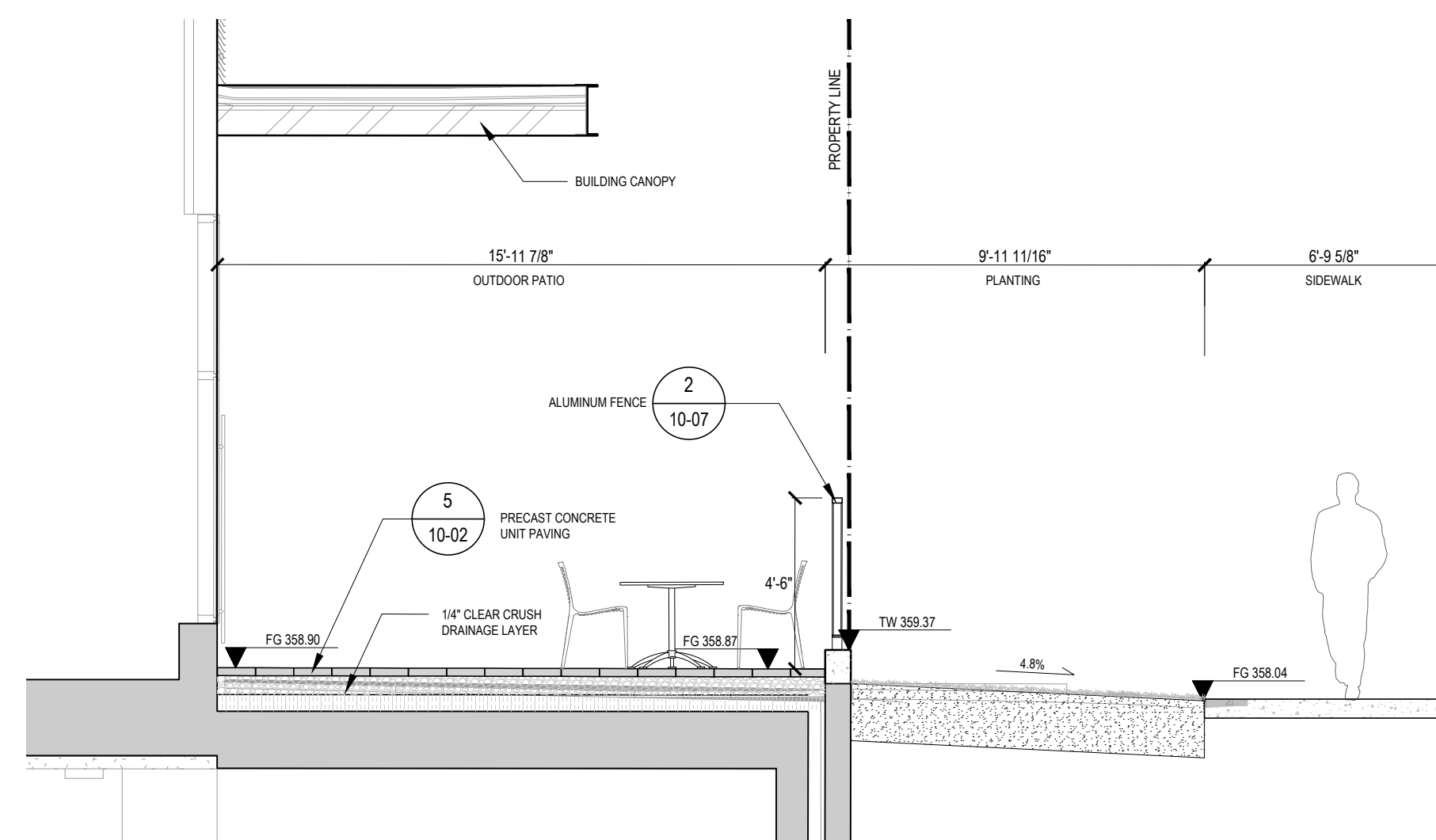
L9.01



1 LANDSCAPE PLAN
 SCALE: 1/8" = 1'



2 LANDSCAPE ELEVATION
 SCALE: 3/16" = 1'



3 BUILDING PATIO SECTION
 SCALE: 1/4" = 1'



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

SCALE: 3/32" = 1'-0" | DATE: 21.08.03 | DRAWN: GF
 PROJECT NUMBER: 17063
 FILE PATH: | PLOT DATE: 08/03/2021

DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

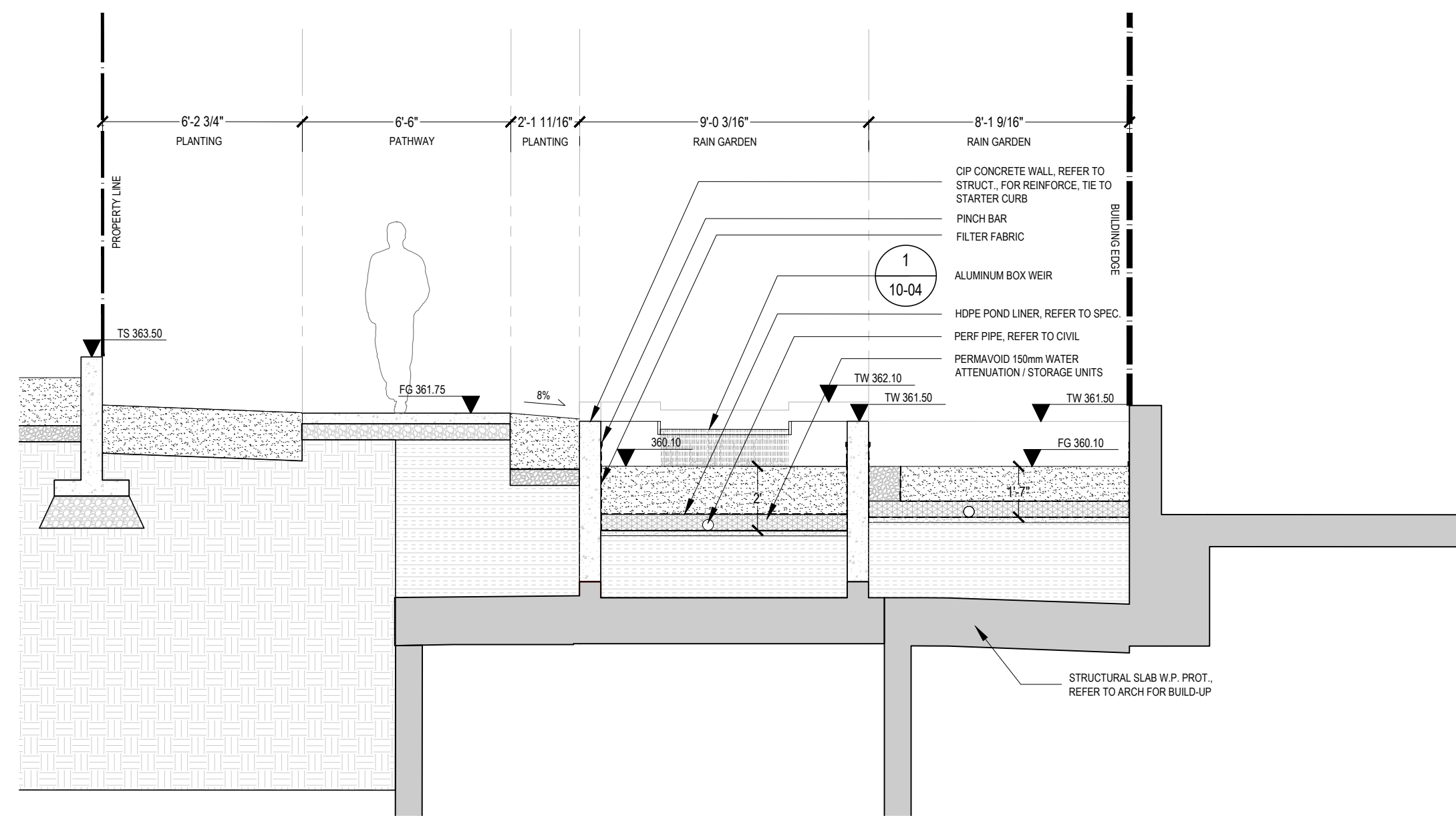
KA+D ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

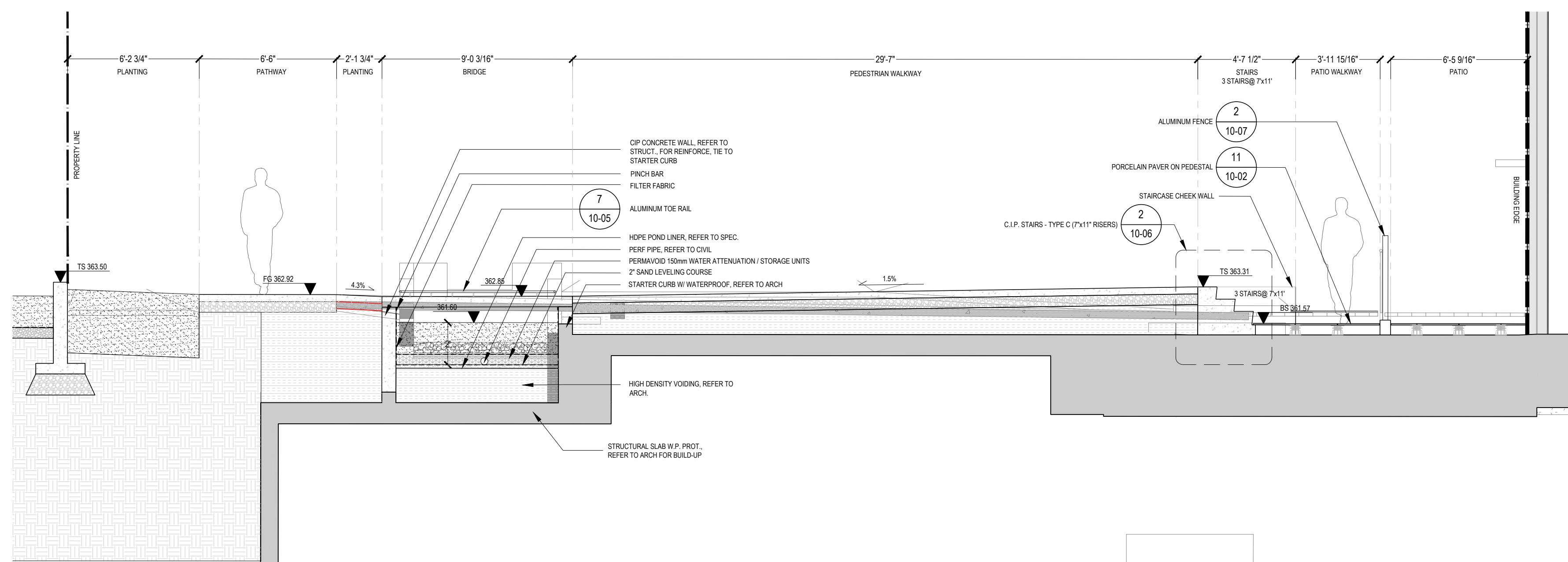
LANDSCAPE ELEVATION
 RETAINING WALL

PLOT DATE: 08/03/2021

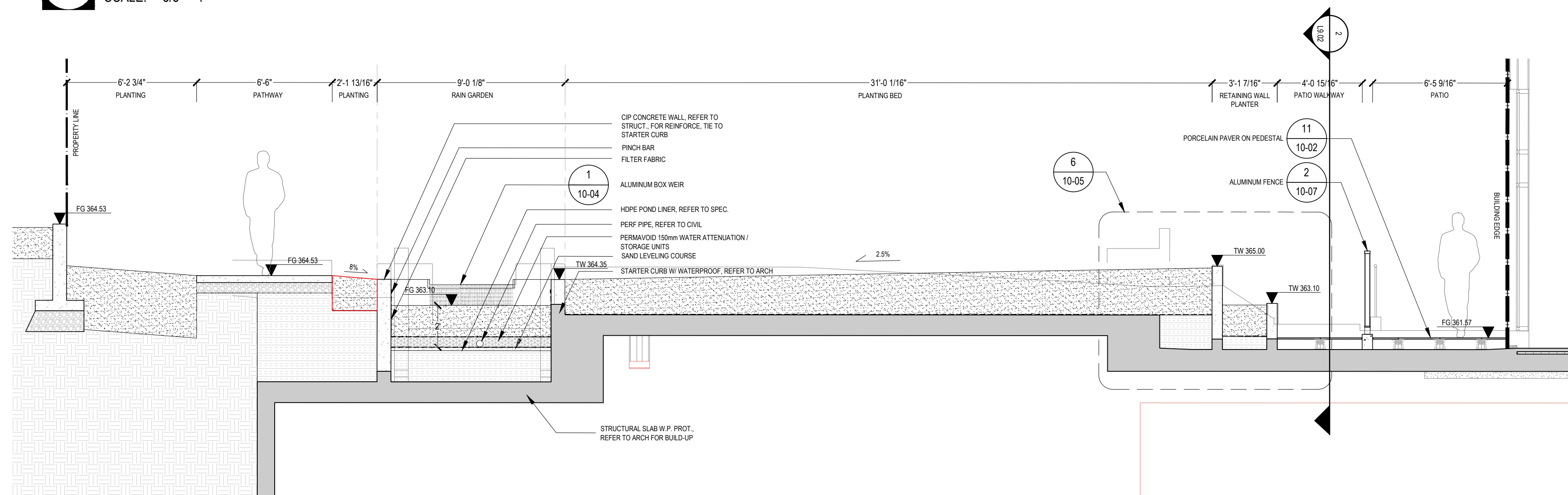
L9.02



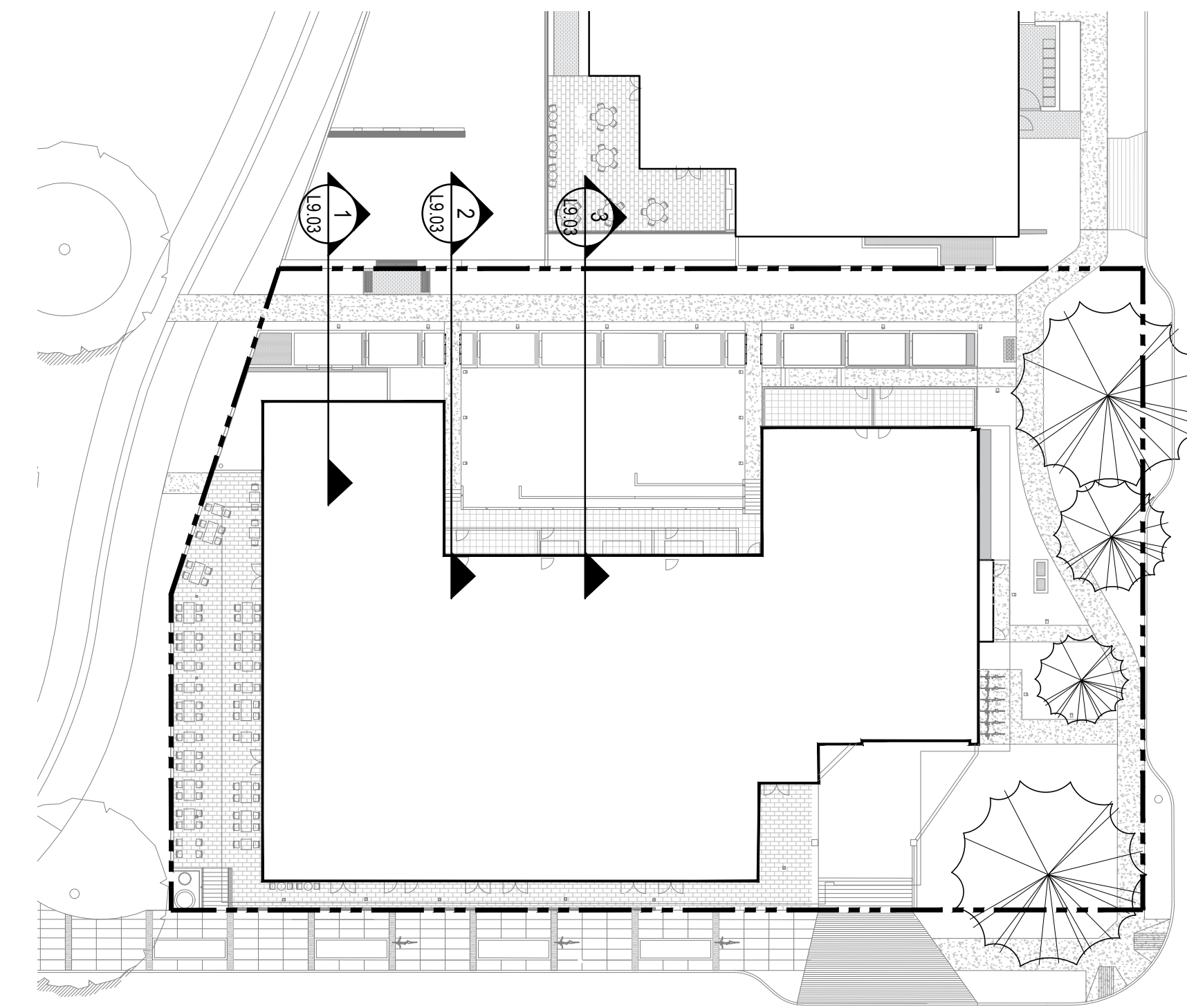
1 LANDSCAPE CROSS SECTION 1
 SCALE: 3/8" = 1'



2 LANDSCAPE CROSS SECTION 2
 SCALE: 3/8" = 1'



3 LANDSCAPE CROSS SECTION 3
 SCALE: 3/8" = 1'



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

SCALE: 3/32" = 1'-0" | DATE: 21.08.03 | DRAWN: GF
 PROJECT NUMBER: 17063
 FILE PATH: | PLOT DATE: 08/03/2021

DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

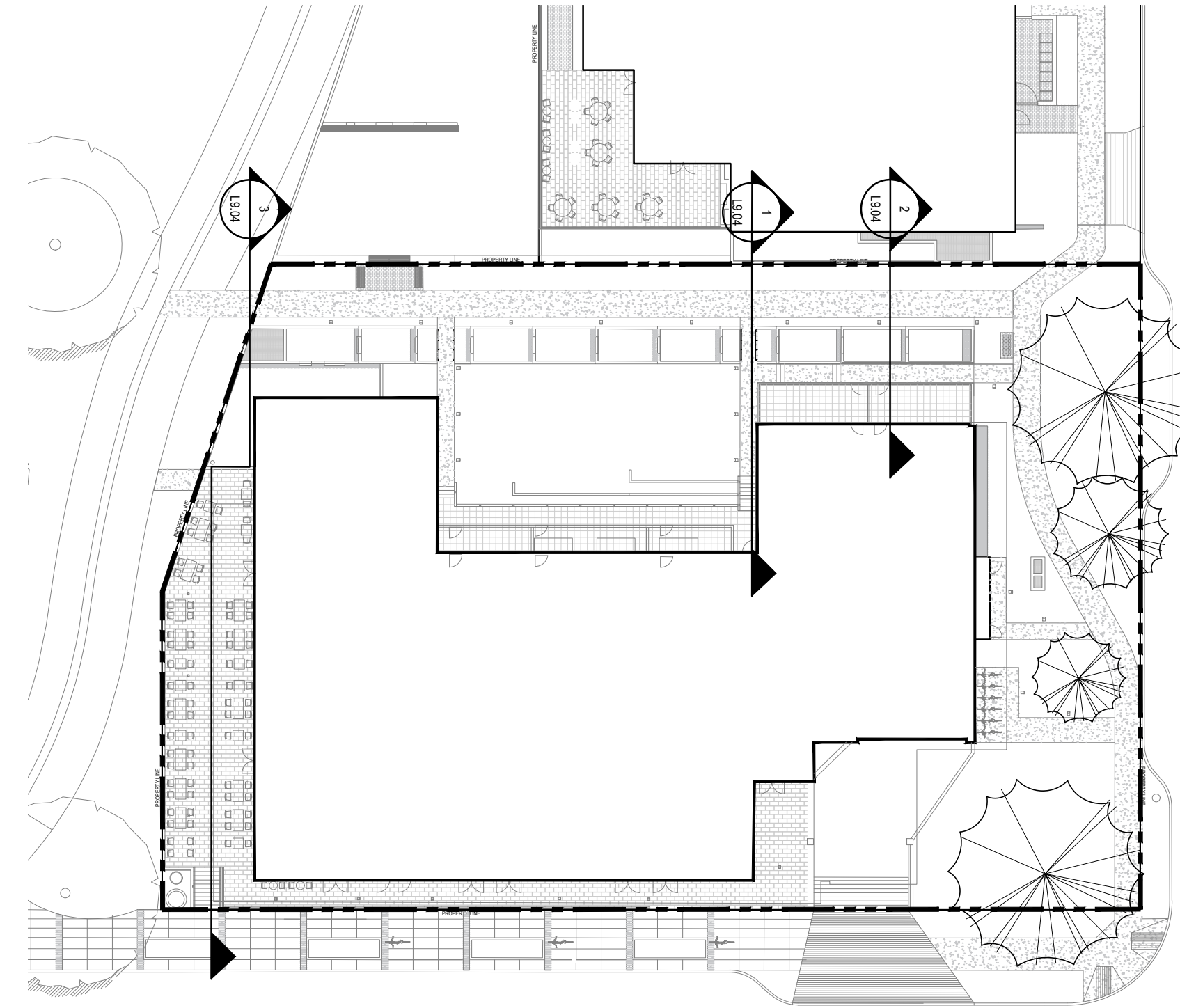
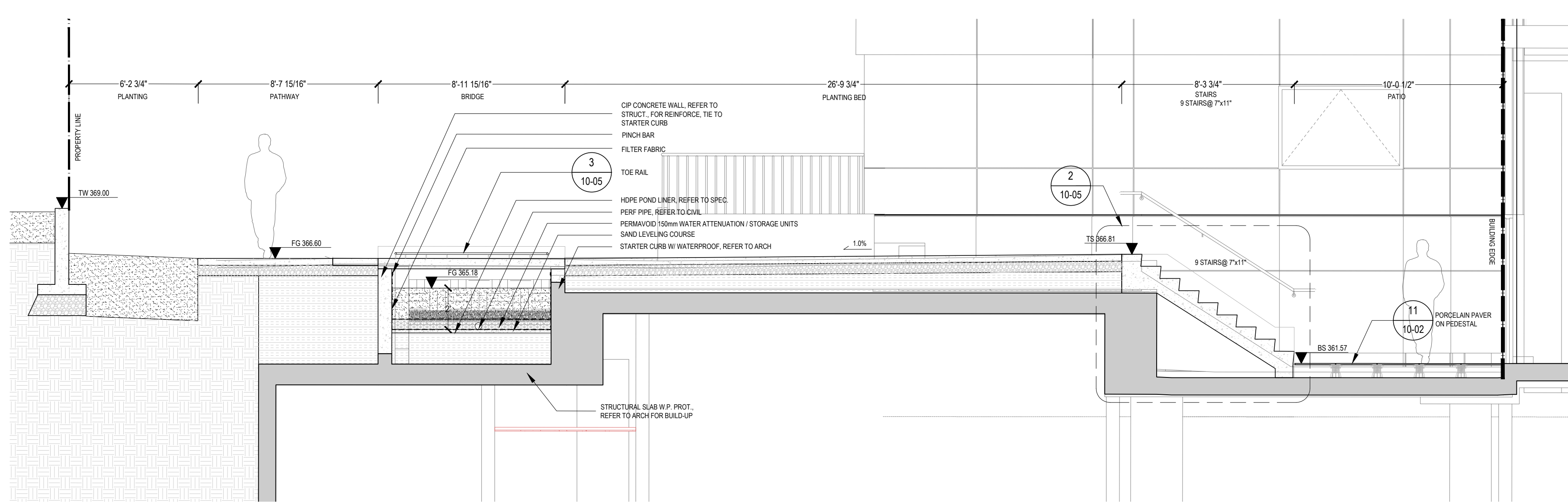
KA+D ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

LANDSCAPE SECTION
CROSS SECTIONS 01

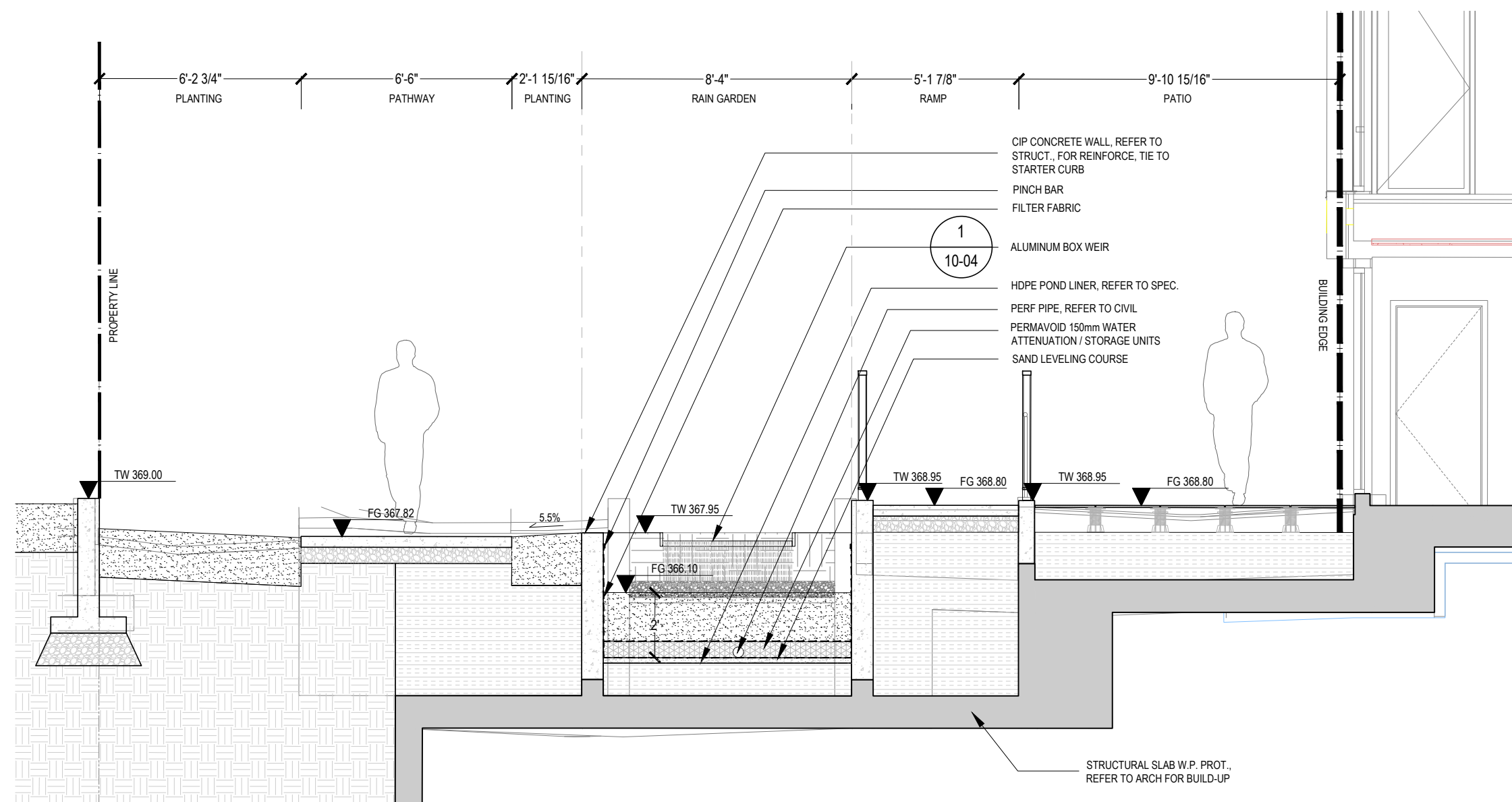
PLOT DATE: 08/03/2021

L9.03



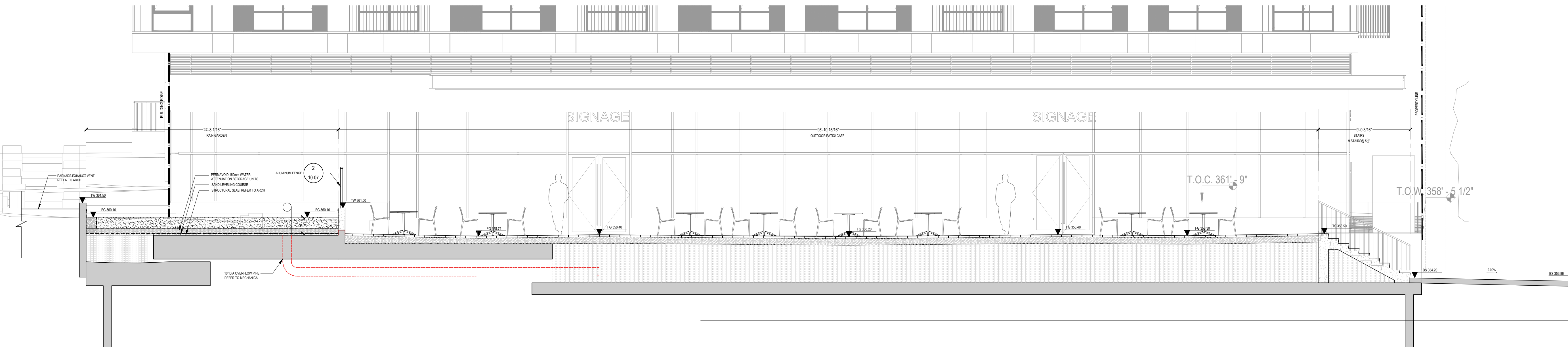
1 LANDSCAPE CROSS SECTION 4

SCALE: 3/8" = 1'



2 LANDSCAPE CROSS SECTION 5

SCALE: 3/8" = 1'



3 BUILDING PATIO SECTION

SCALE: 3/16" = 1'



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV DATE DESCRIPTION: BP Amendment
 SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF
 PROJECT NUMBER 17063
 FILE PATH: PLOT DATE: 08/03/2021

DARWIN/MINTO PROPERTIES
(M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KA:D ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET VANCOUVER V5L 0C7 P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

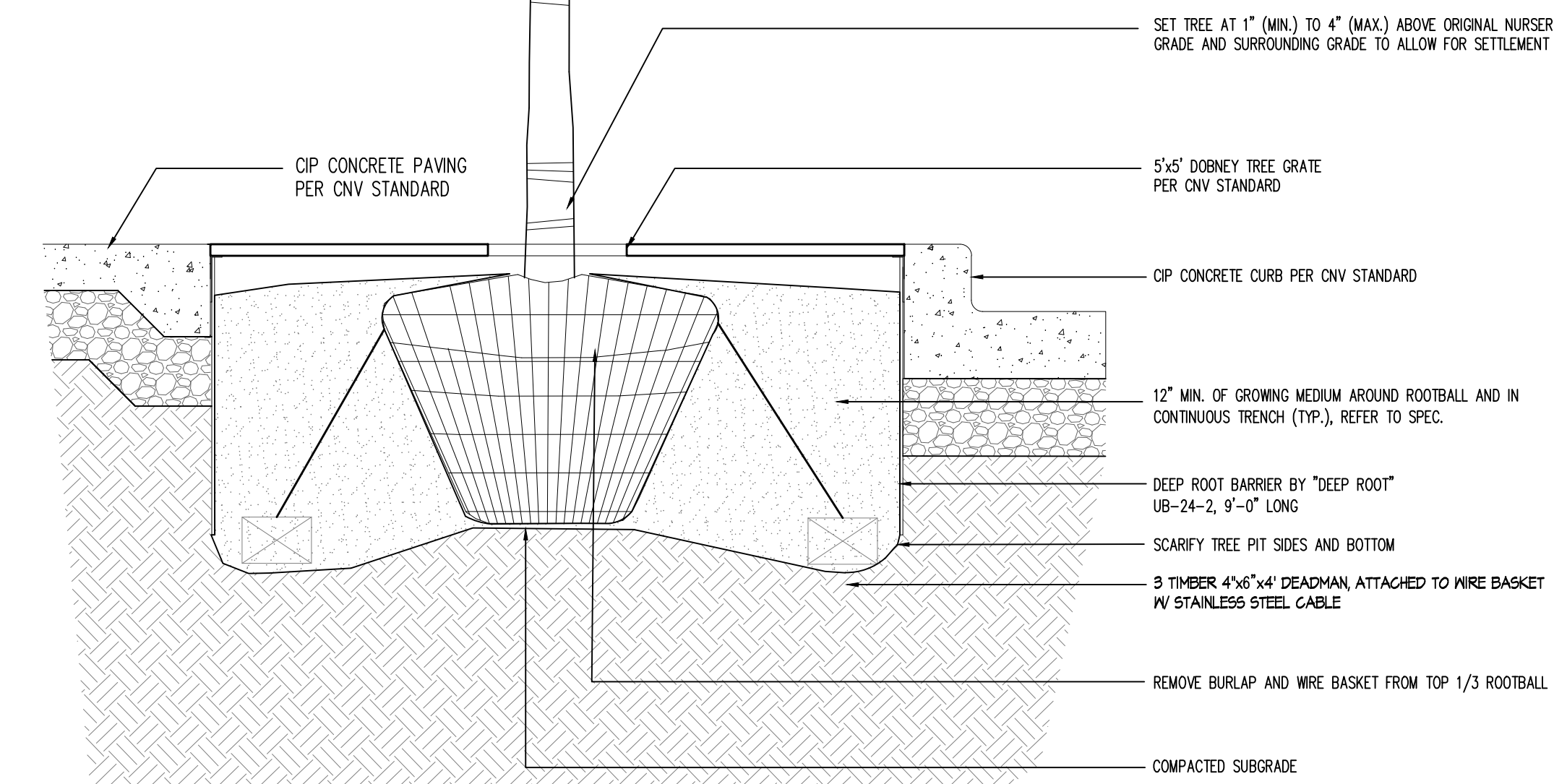
LANDSCAPE SECTION
CROSS SECTIONS 02

PLOT DATE: 08/03/2021

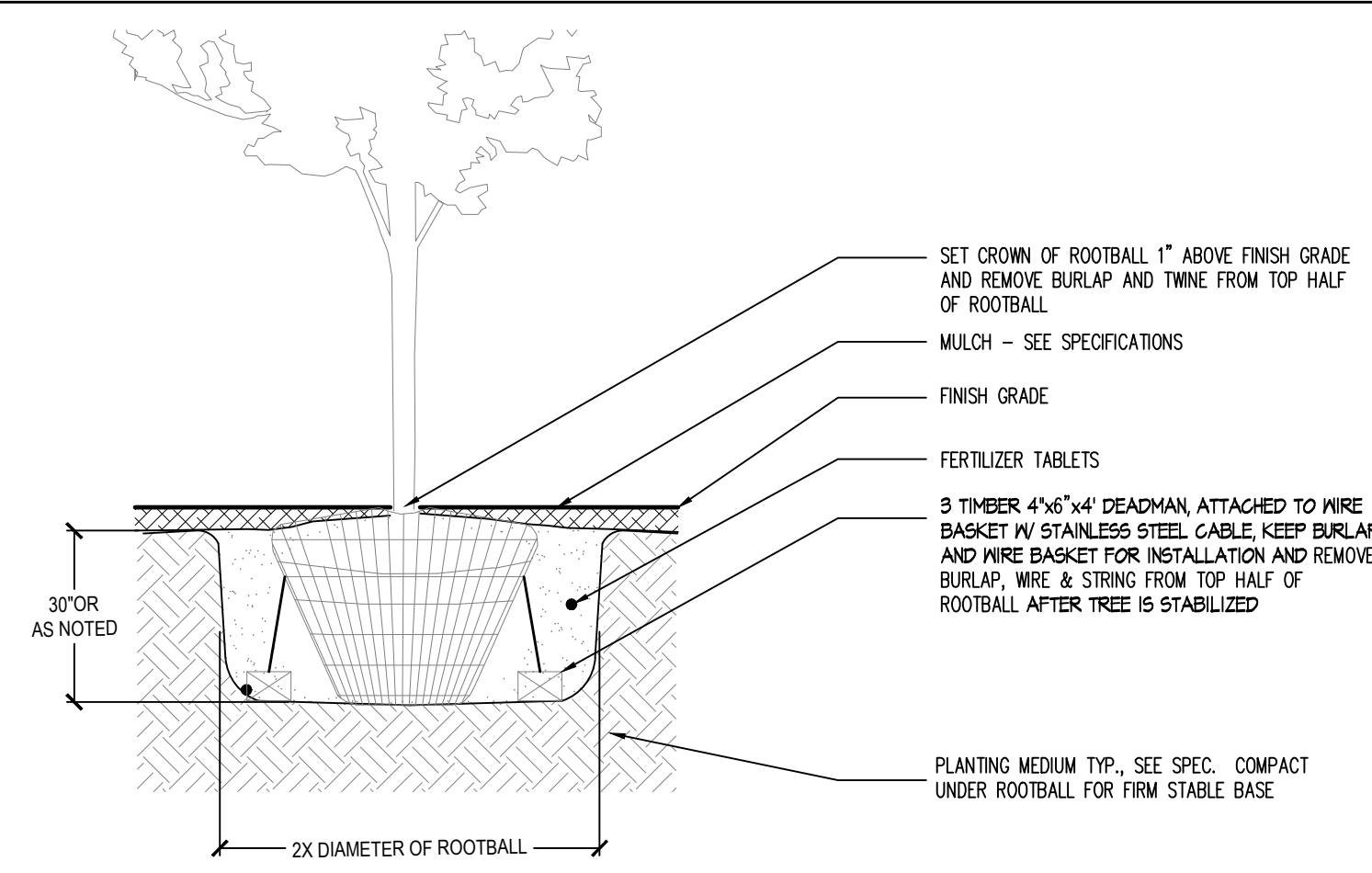
L9.04



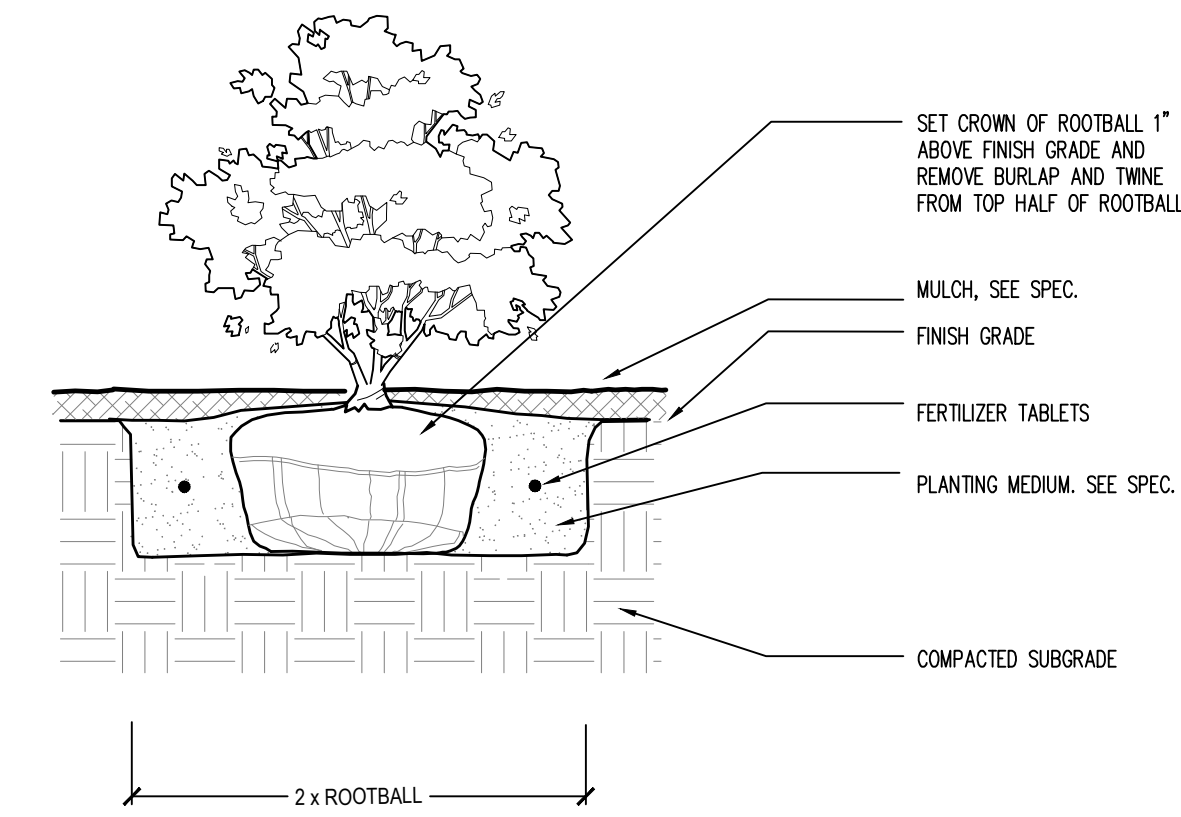
NOTES:
 - REMOVE ONLY DEAD OR BROKEN BRANCHES.
 - DO NOT CUT LEADER.
 - WATER TO SATURATION. REMOVE AIR SPACE WITH SOIL PORES.
 - ALL TREES TO BE NATURAL FORM, NO TIPPING, SHEARING ALLOWED.



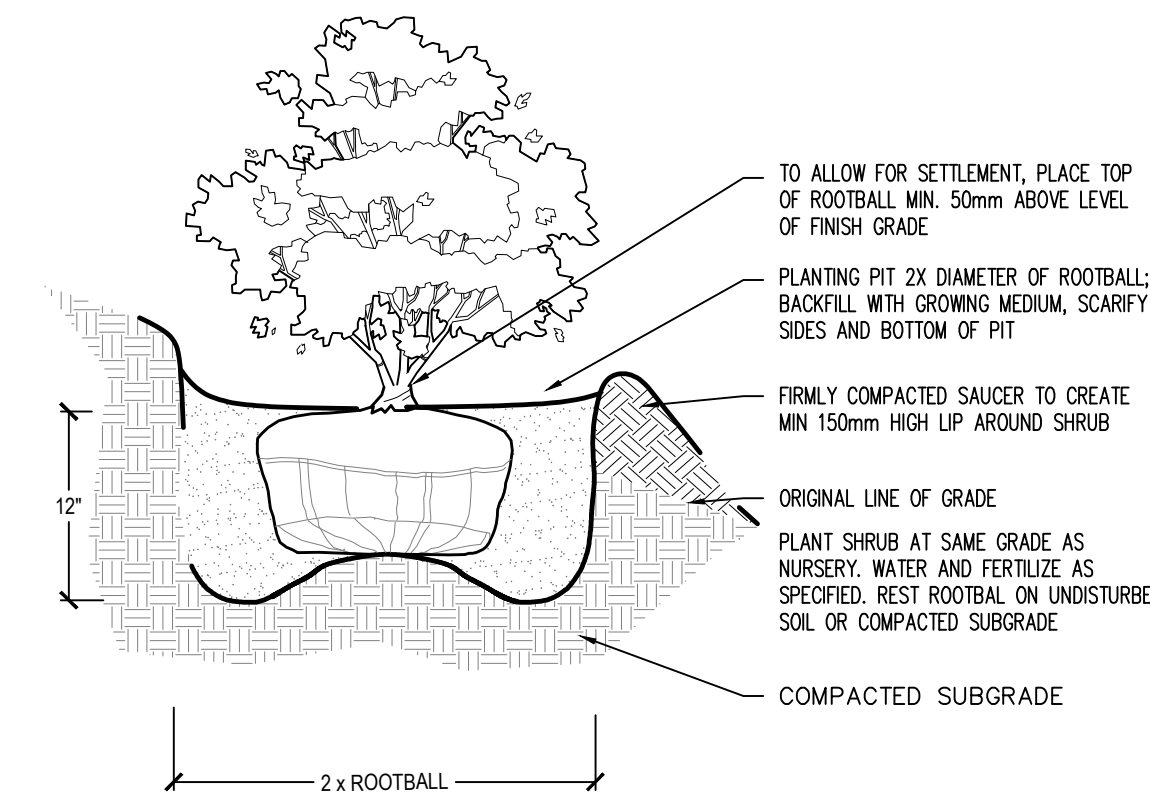
1 STREET TREE PLANTING W/ TREE GRATE TYPICAL
 SCALE: 1"=1'



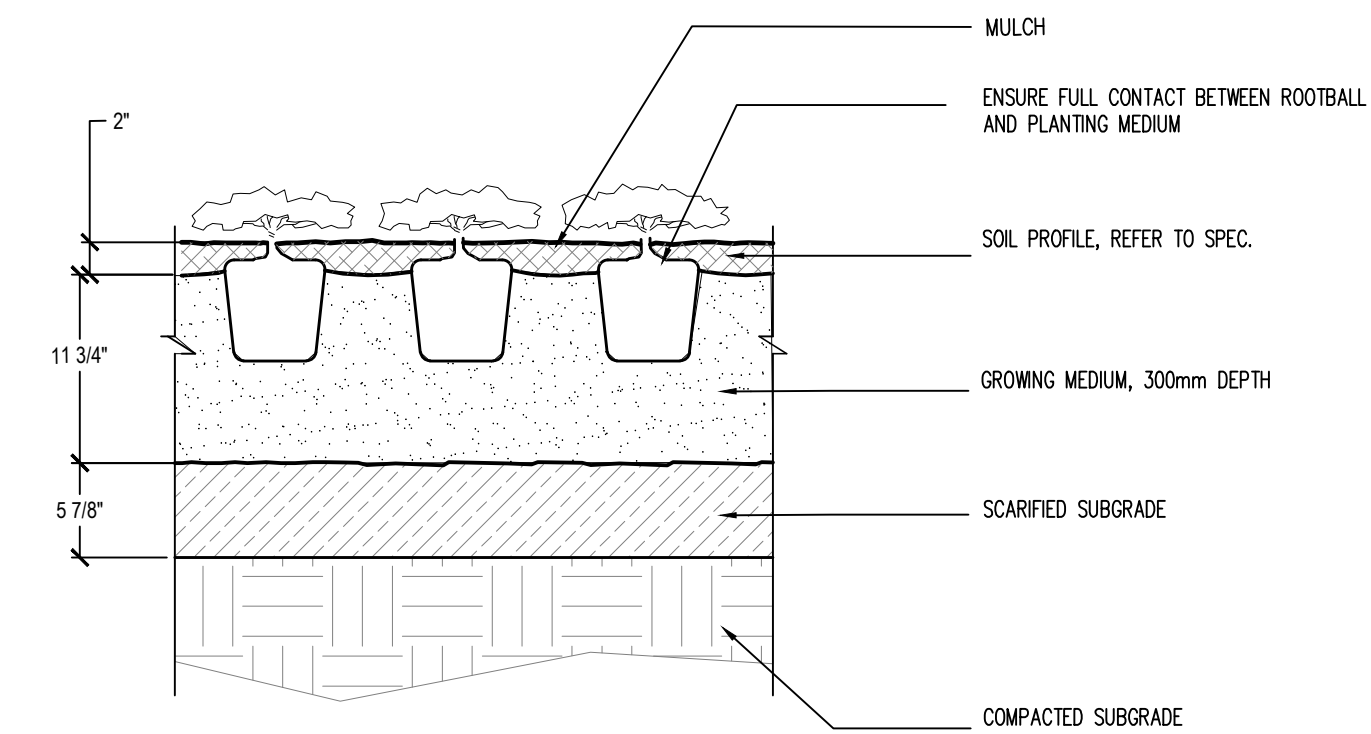
2 TREE PLANTING TYPICAL
 SCALE: 1"=1'



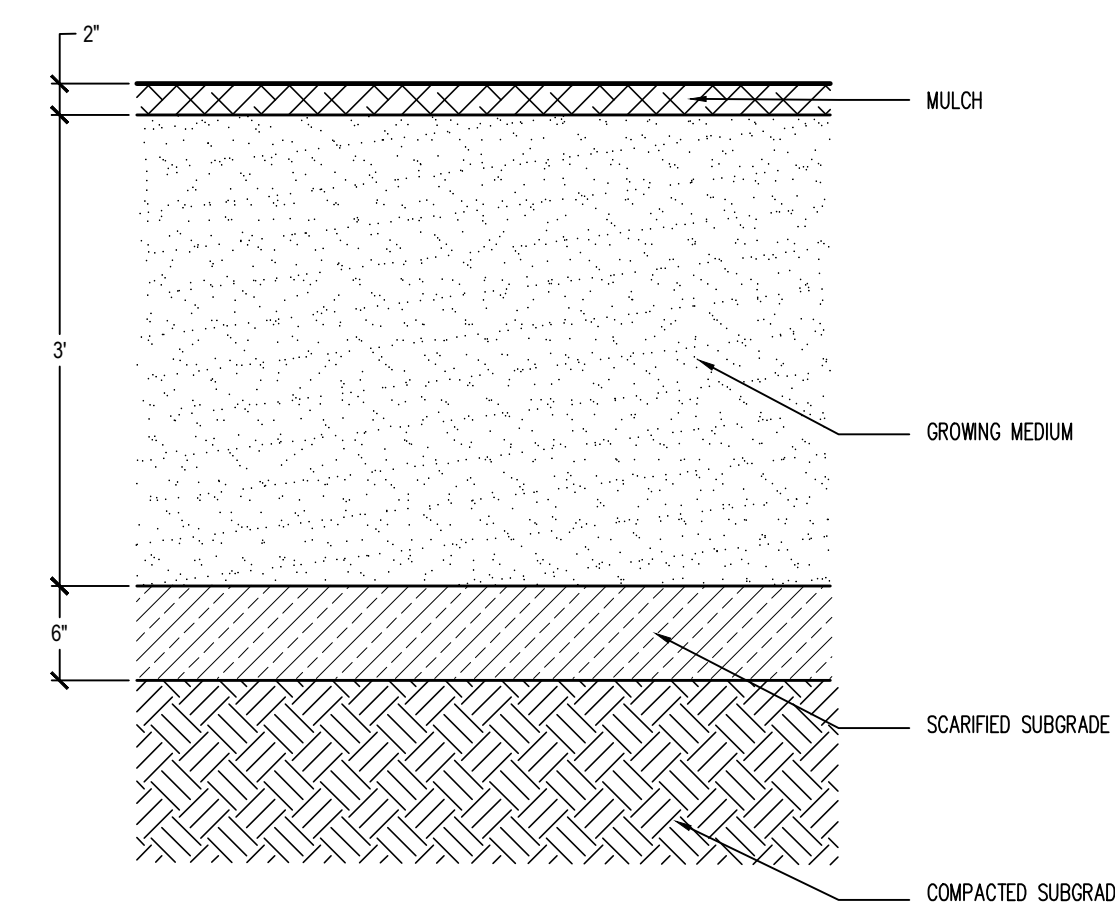
3 SHRUB PLANTING TYPICAL
 SCALE: 1"=1'



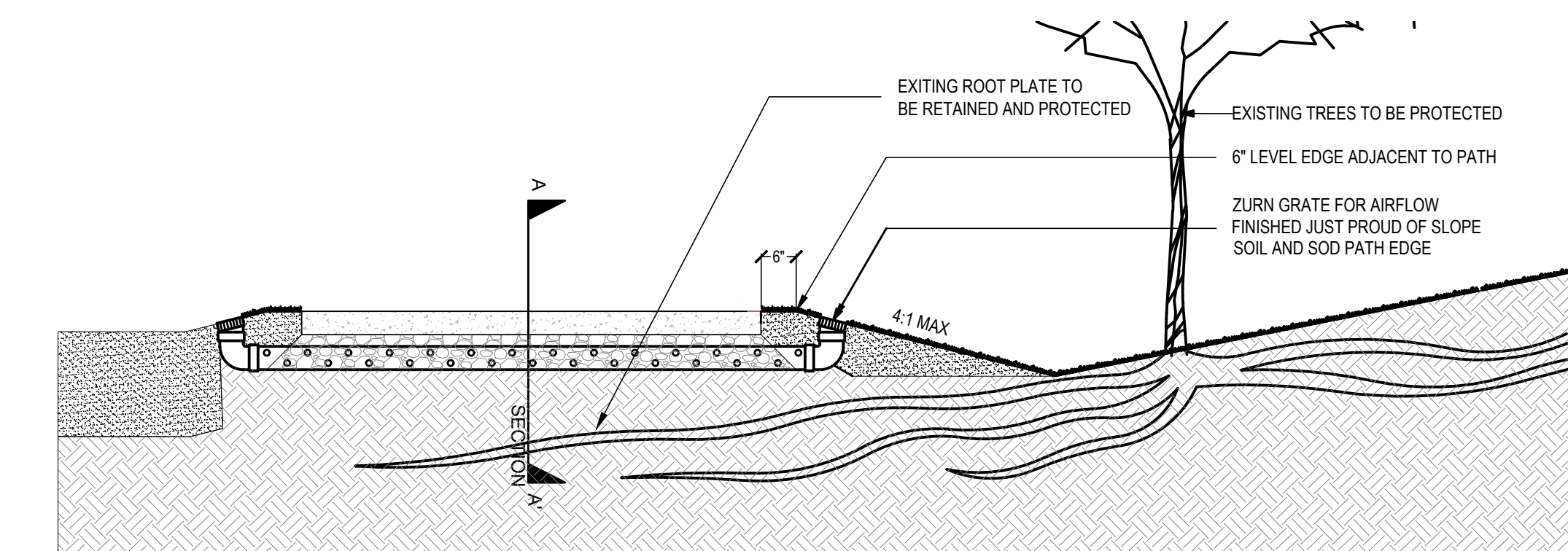
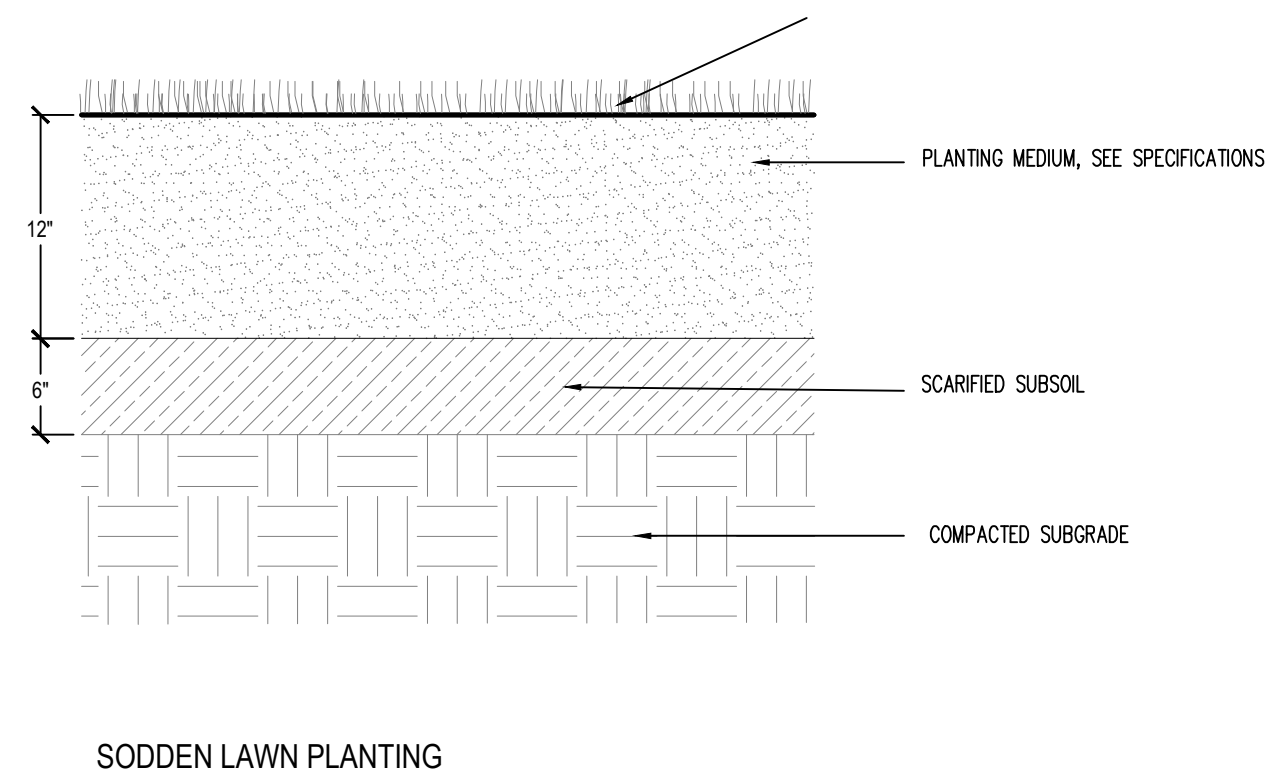
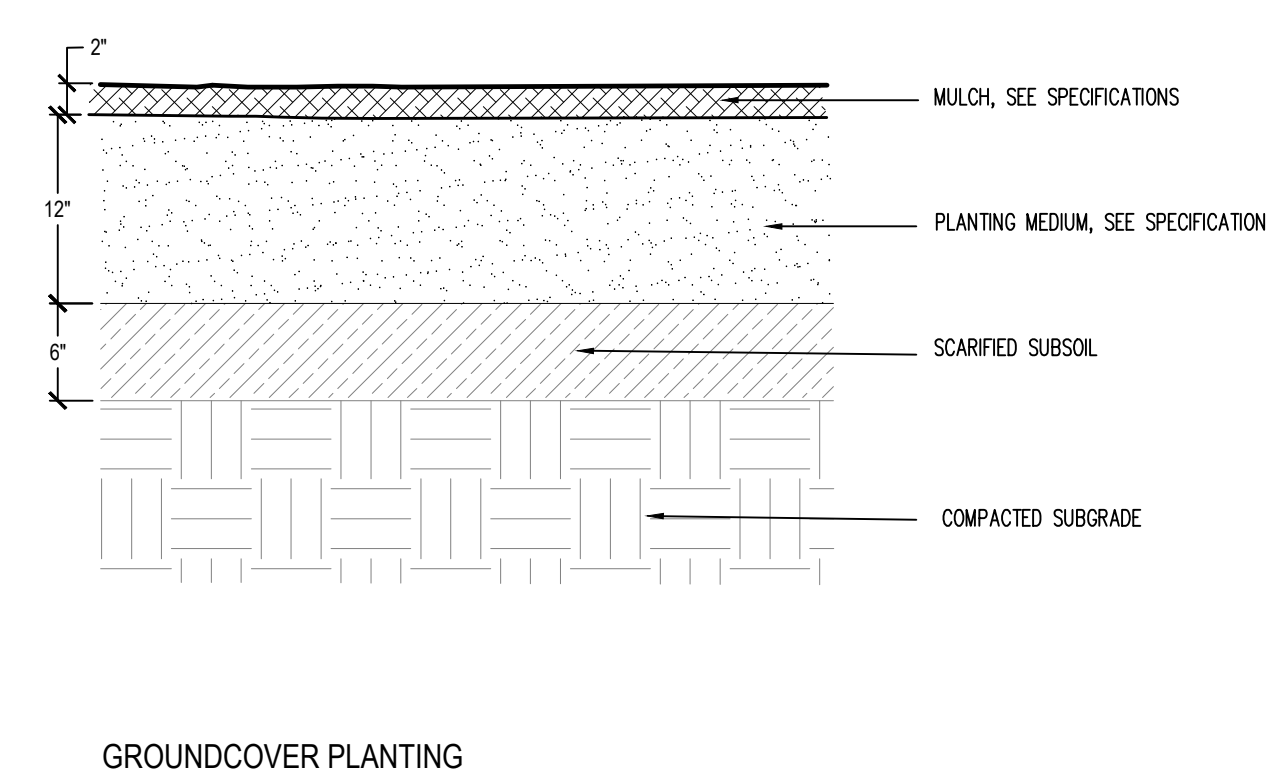
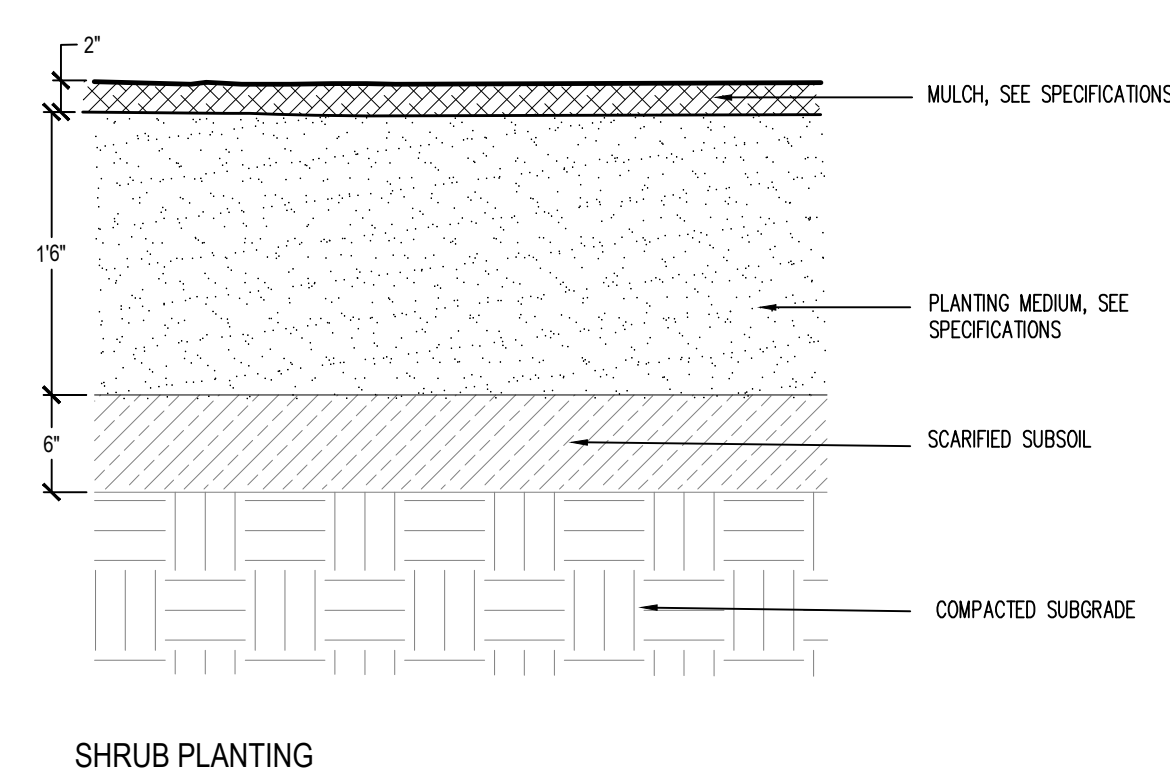
4 SHRUB PLANTING ON SLOPE
 SCALE: 1"=1'



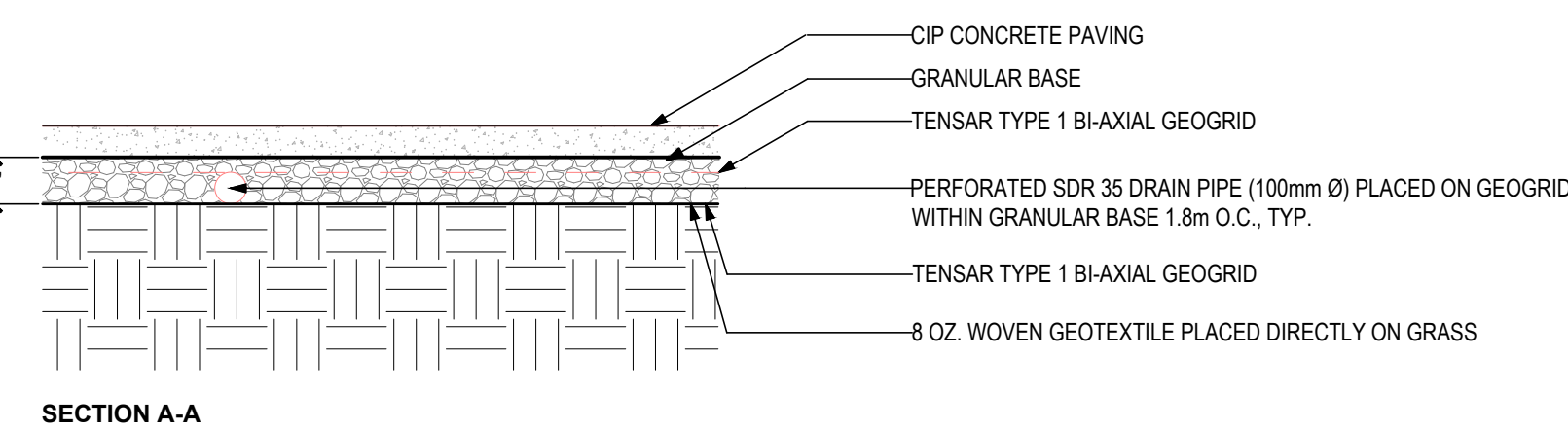
5 GROUND COVER PLANTING TYPICAL
 SCALE: 1"=1'



6 GROWING MEDIUM
 SCALE: 1"=1'



7 ROOT ZONE AERATION PERF. PIPE
 SCALE: 1/2"=1'



NOTE:
 1. CONFIRM THE LAYOUT OF ALL PERFORATED PIPES WITH OWNER'S REPRESENTATIVE BEFORE INSTALLATION OF GRANULAR BASE MATERIAL
 2. PLACE MATERIALS DIRECTLY ON EXISTING SOIL SURFACE, DO NOT REMOVE GRASS
 3. DO NOT COMPACT SUBGRADE IN TREE PROTECTION ZONE



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV	DATE	DESCRIPTION	BP Amendment
SCALE:	3/32" = 1'-0"	DATE:	21.08.03
PROJECT NUMBER		DRAWN:	GF
			17063
FILE PATH:		PLOT DATE:	08/03/2021

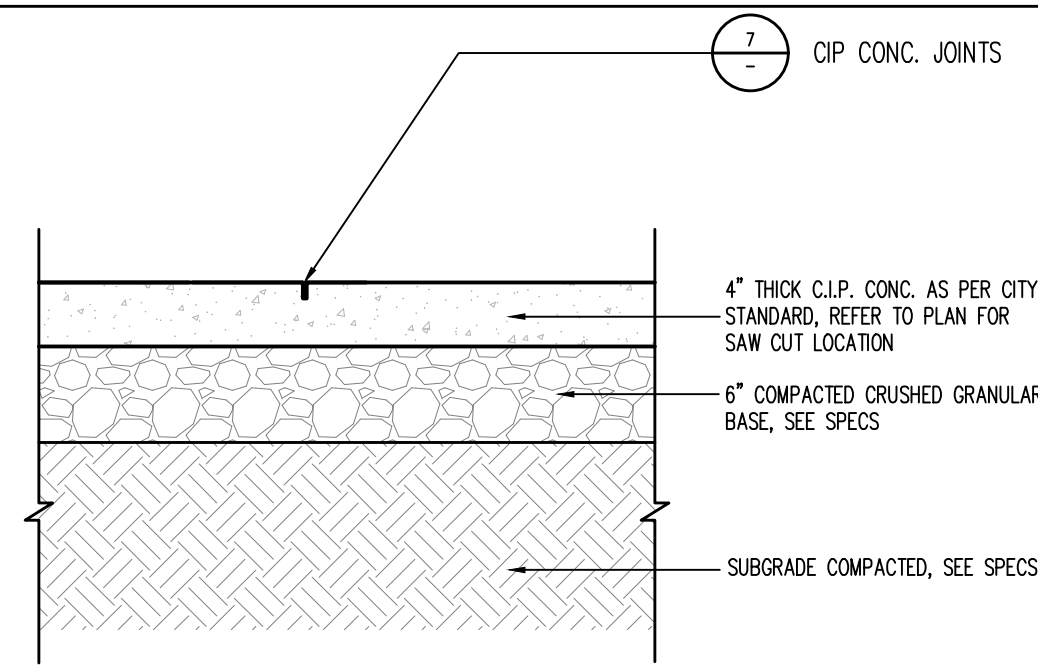
DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KAD ARCHITECTURE + DESIGN INC.
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

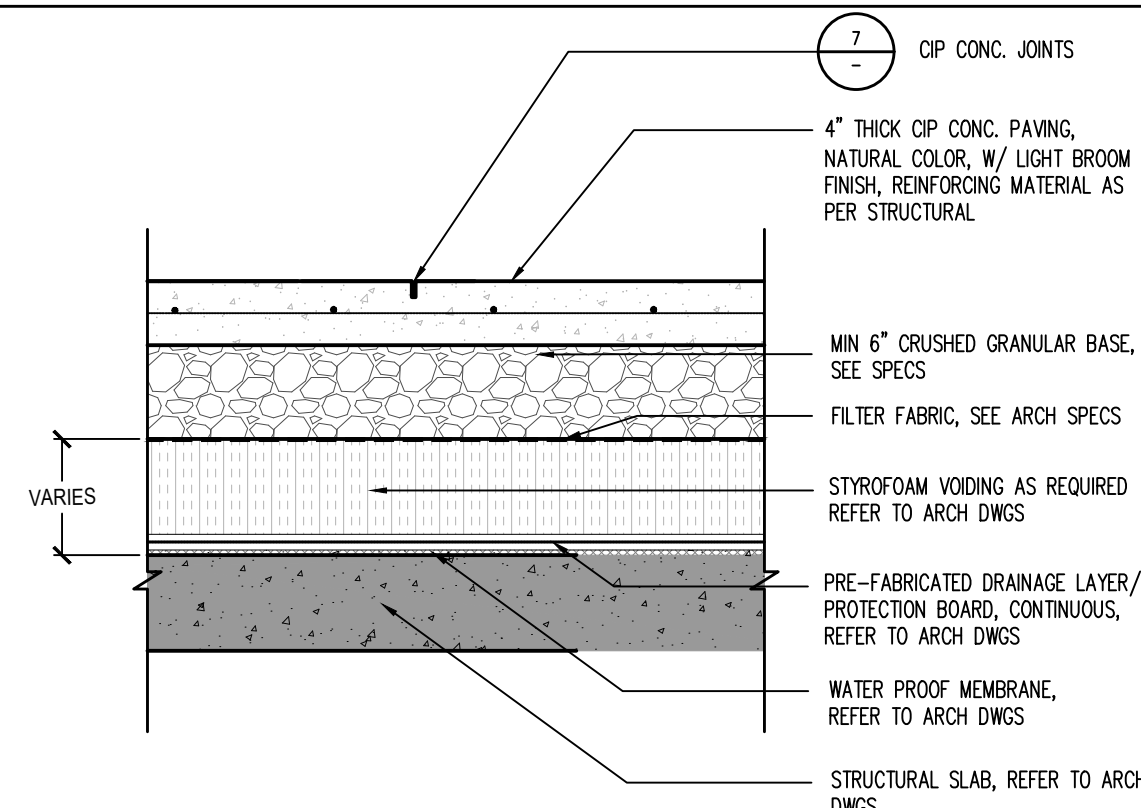
LONSDALE SQUARE
 City of North Vancouver

PLANTING DETAILS
 PLOT DATE: 08/03/2021

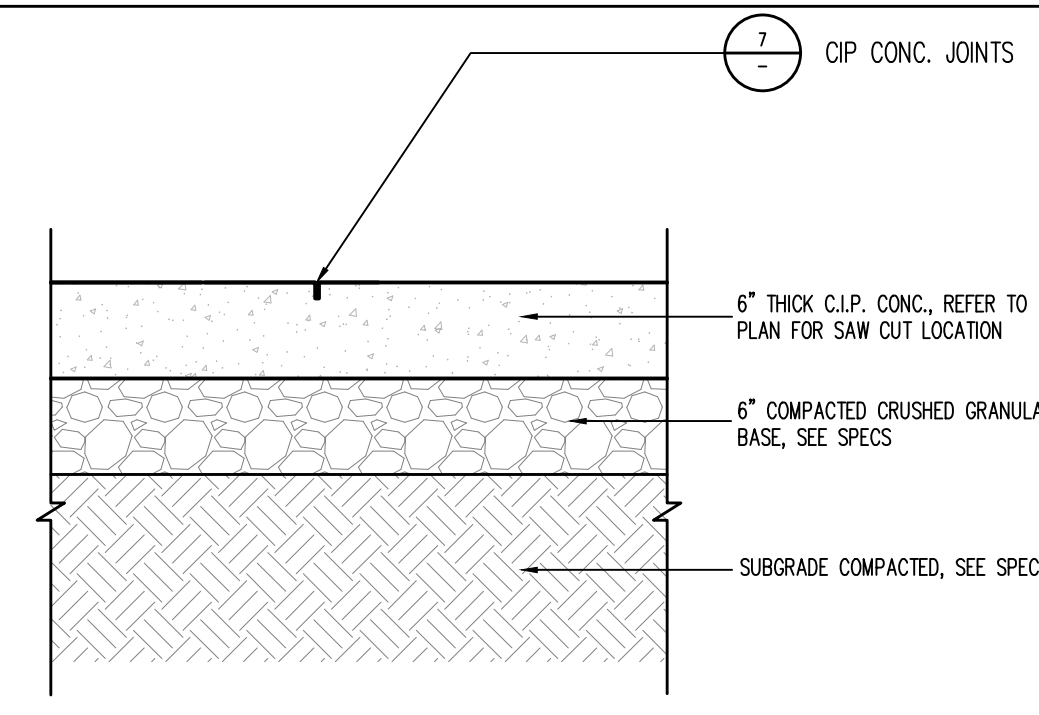
L10.01



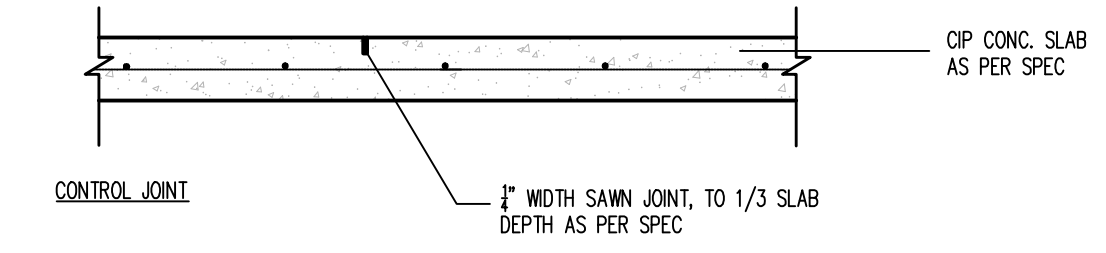
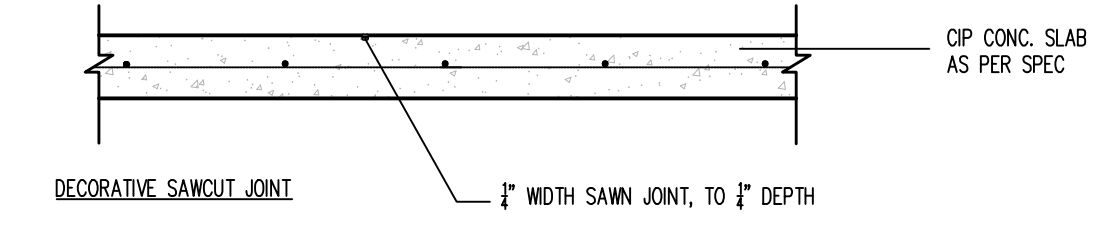
1 CIP CONCRETE SIDEWALK
 SCALE: 1"=1'



2 PEDESTRIAN CIP CONCRETE PAVING ON STRUCTURE
 SCALE: 1"=1'

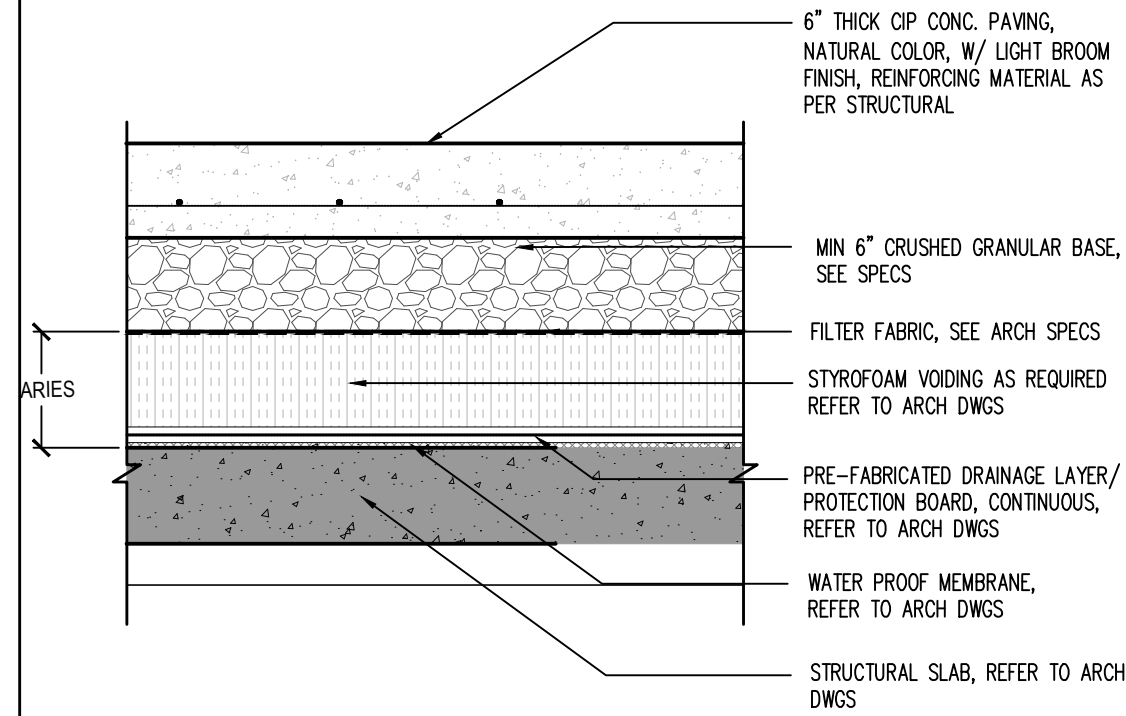


3 VEHICULAR CIP CONCRETE PAVING ON GRADE
 SCALE: 1"=1'

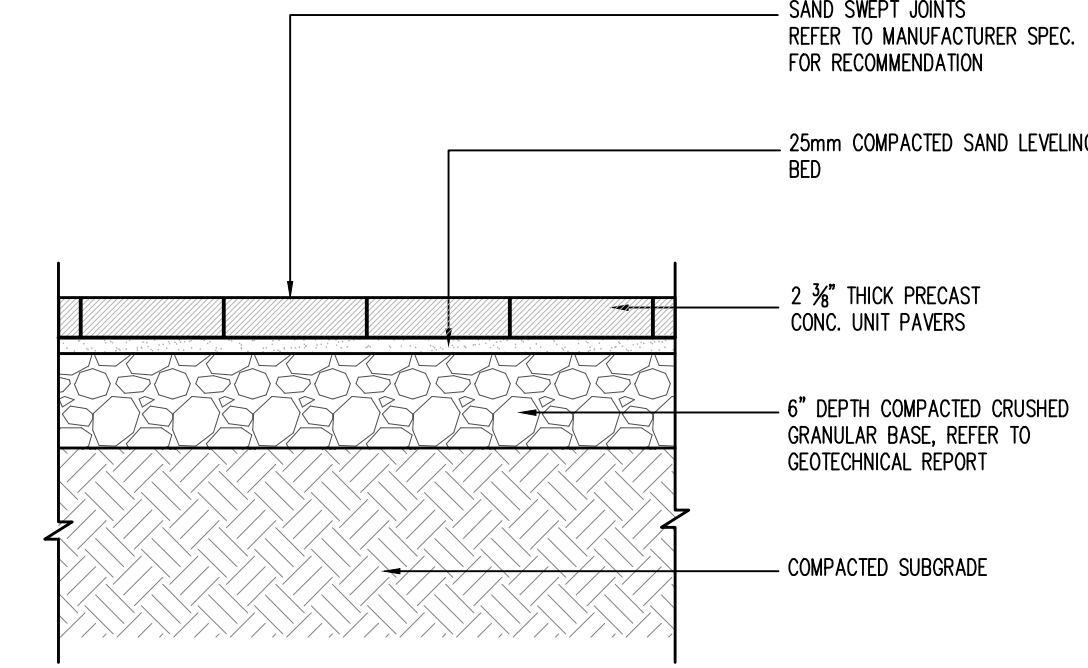


NOTE:
 1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH
 2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS
 3. CONFIRM ALL CONSTRUCTION JOINTS & SAW CUTS WITH PFS PRIOR TO COMMENCING RELATED WORK. SPACE AT 10' MAX. REFER TO LAYOUT PLAN.

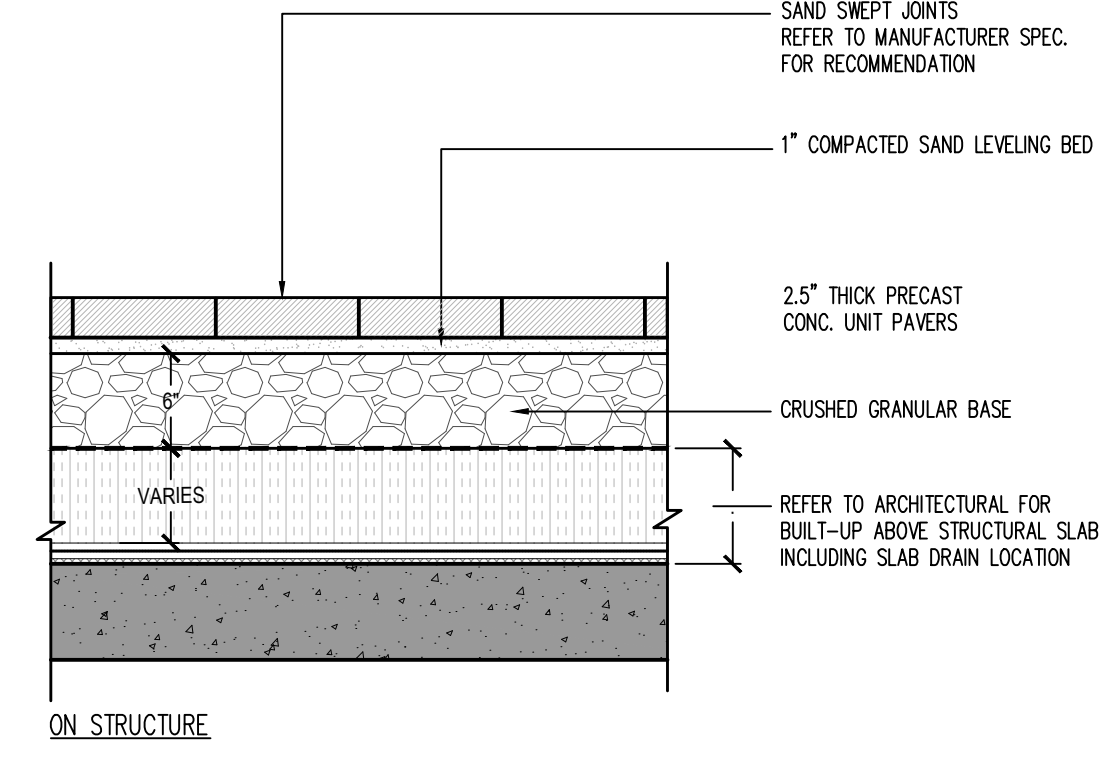
7 CONCRETE JOINTS
 SCALE: 1"=1'



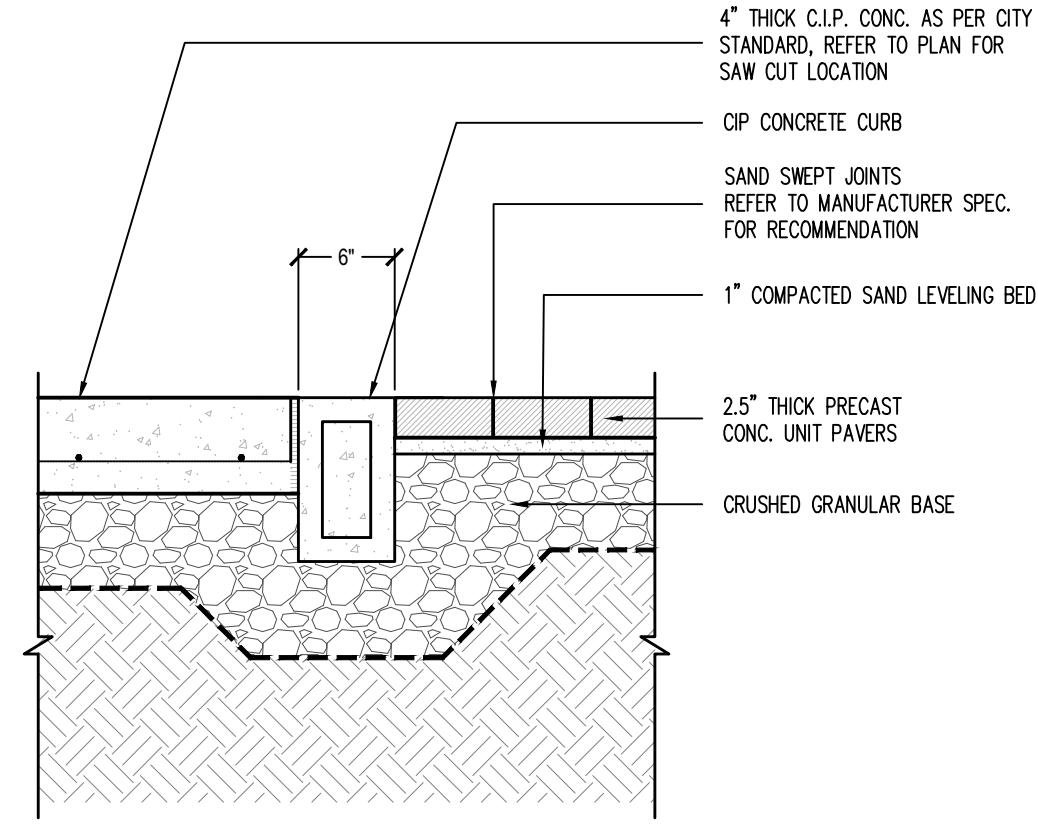
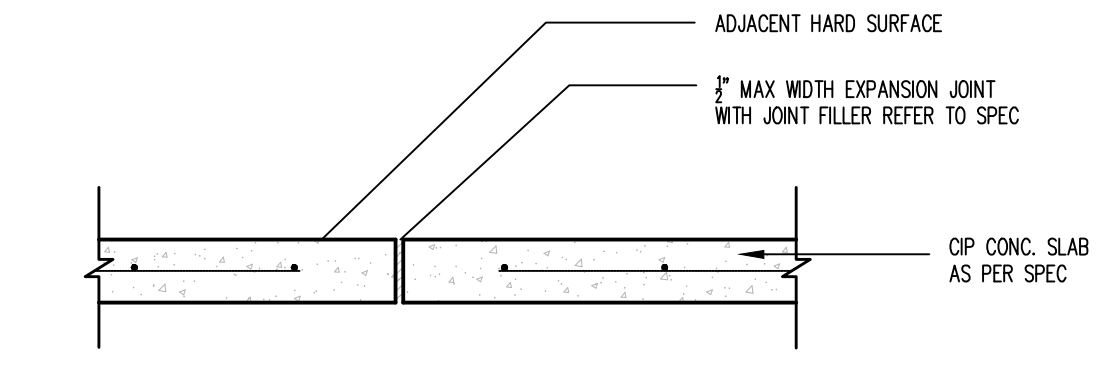
4 VEHICULAR CIP CONCRETE PAVING ON STRUCTURE
 SCALE: 1"=1'



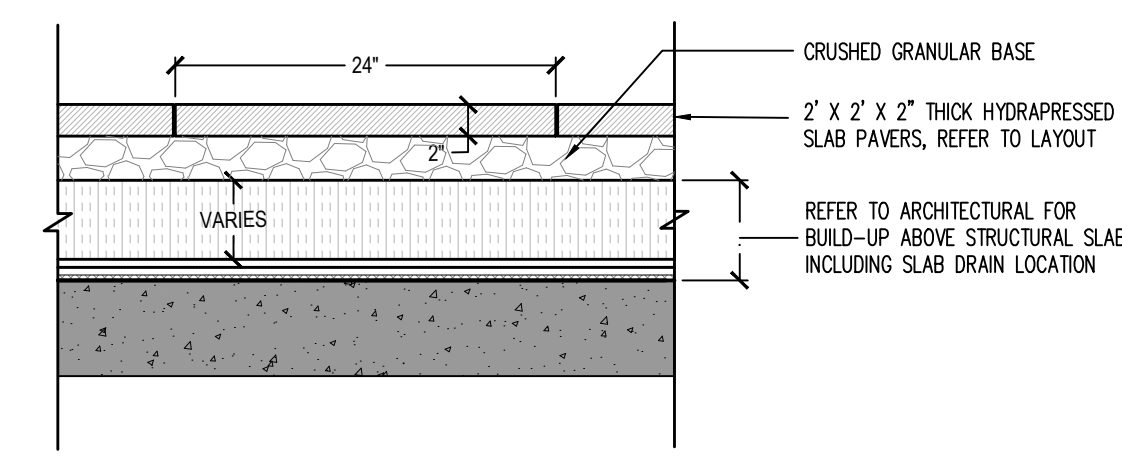
5 PRECAST CONCRETE UNIT PAVING ON GRADE
 SCALE: 1"=1'



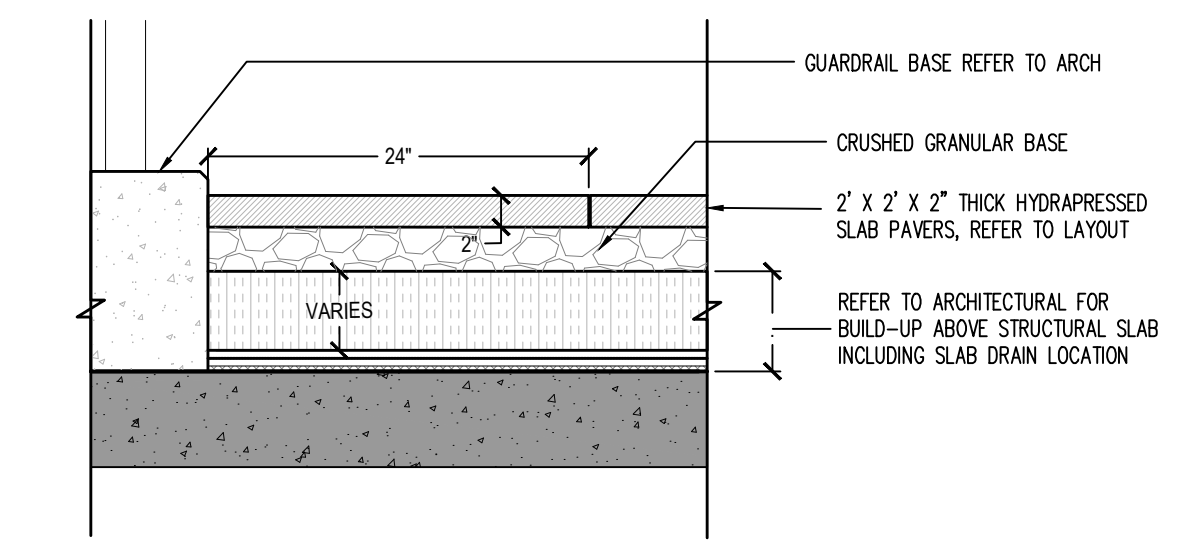
6 PRECAST CONCRETE UNIT PAVING ON STRUCTURE
 SCALE: 1"=1'



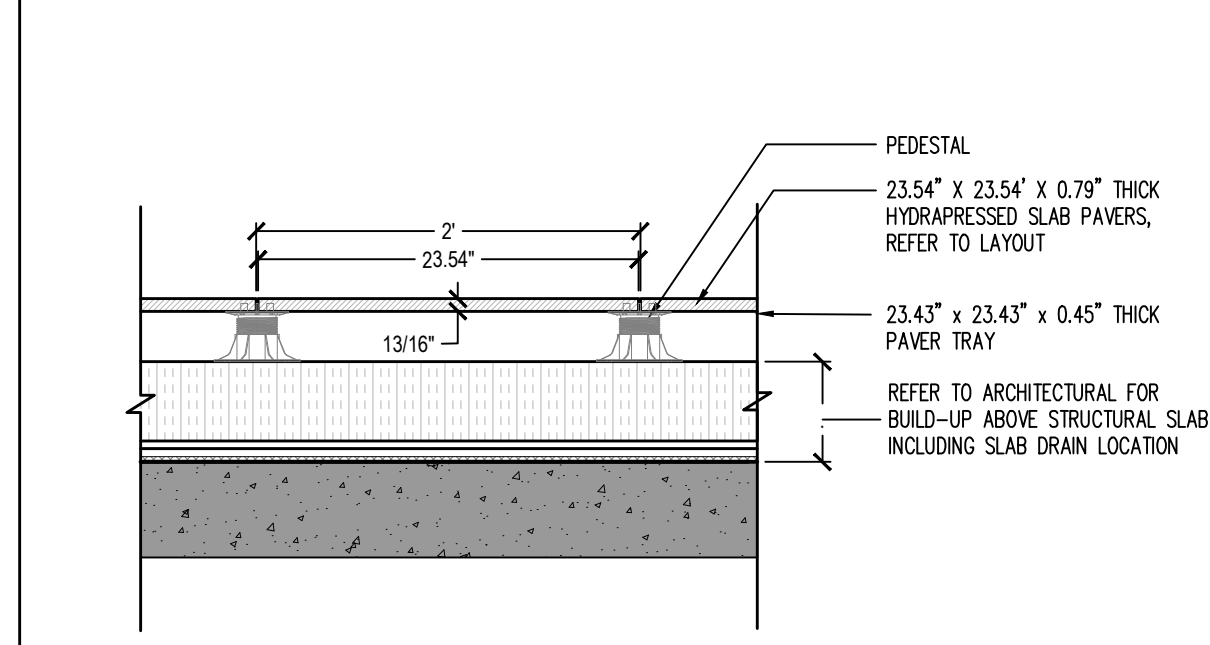
8 CIP CONCRETE CURB
 SCALE: 1"=1'



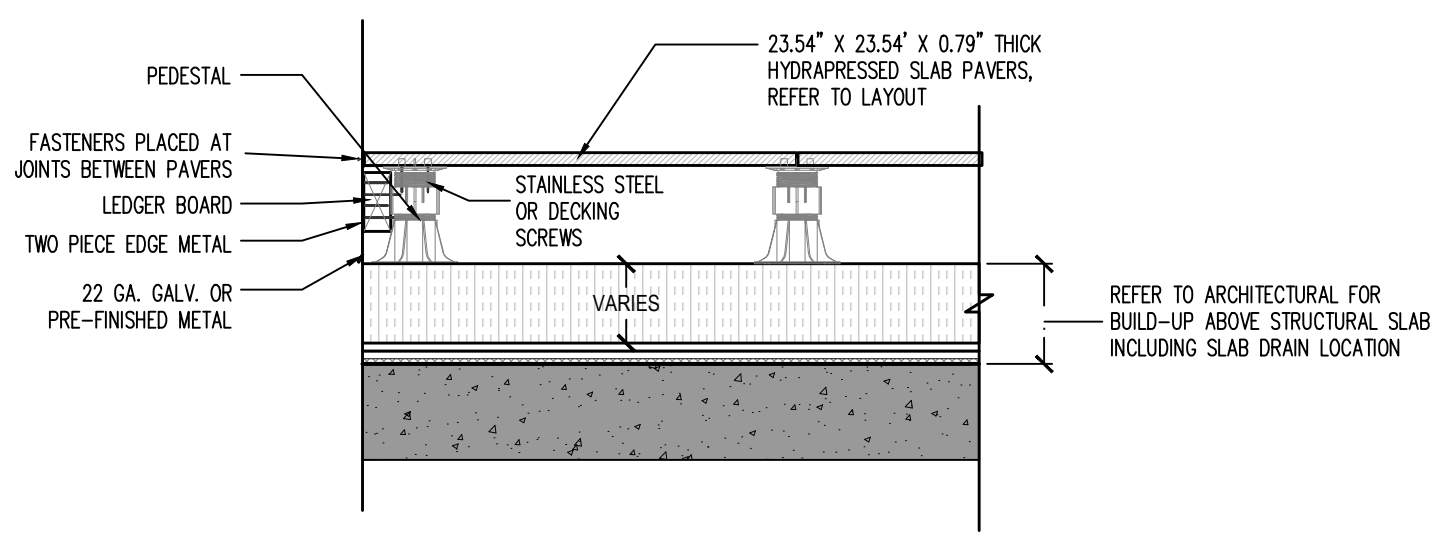
9 HYDRAPRESSED PAVER
 SCALE: 1"=1'



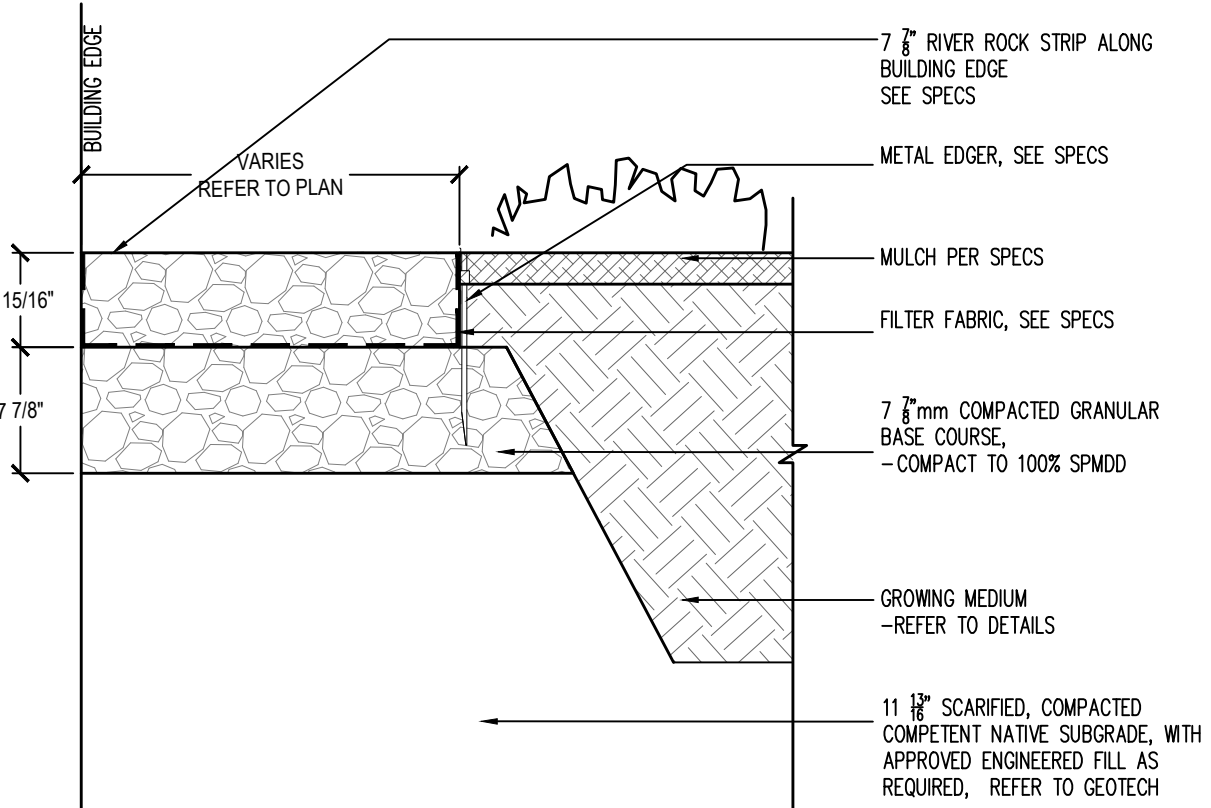
10 HYDRAPRESS PAVER EDGE RESTRAINT
 SCALE: 1"=1'



11 PORCELAIN PAVER ON PEDESTAL
 SCALE: 1"=1'



12 PORCELAIN PAVER EDGE RESTRAINT
 SCALE: 1"=1'



13 RIVER ROCK DRAIN STRIP
 SCALE: 1"=1'



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

SCALE: 3/32" = 1'-0" | DATE: 21.08.03 | DRAWN: GF
 PROJECT NUMBER: 17063
 FILE PATH: | PLOT DATE: 08/03/2021

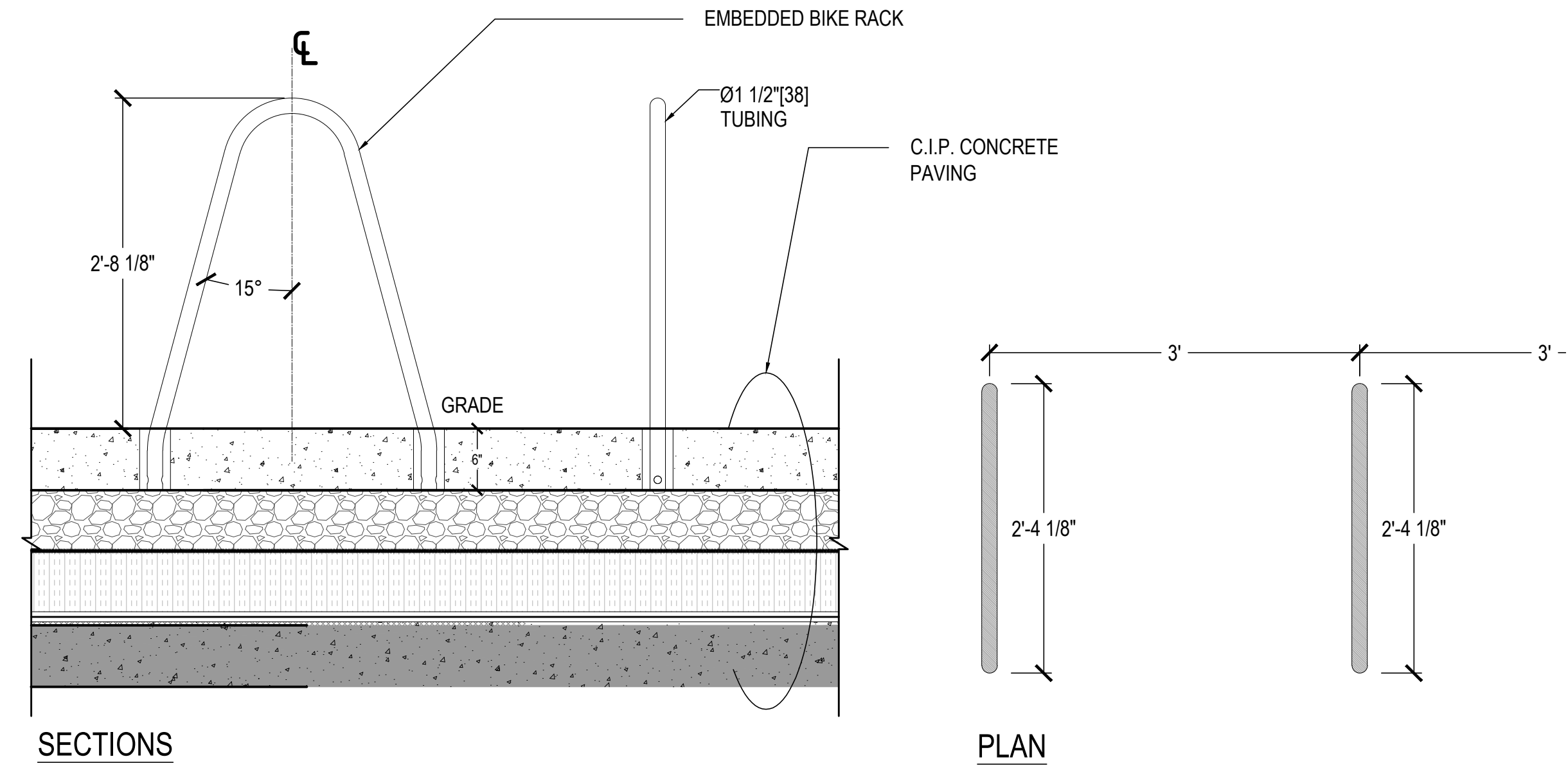
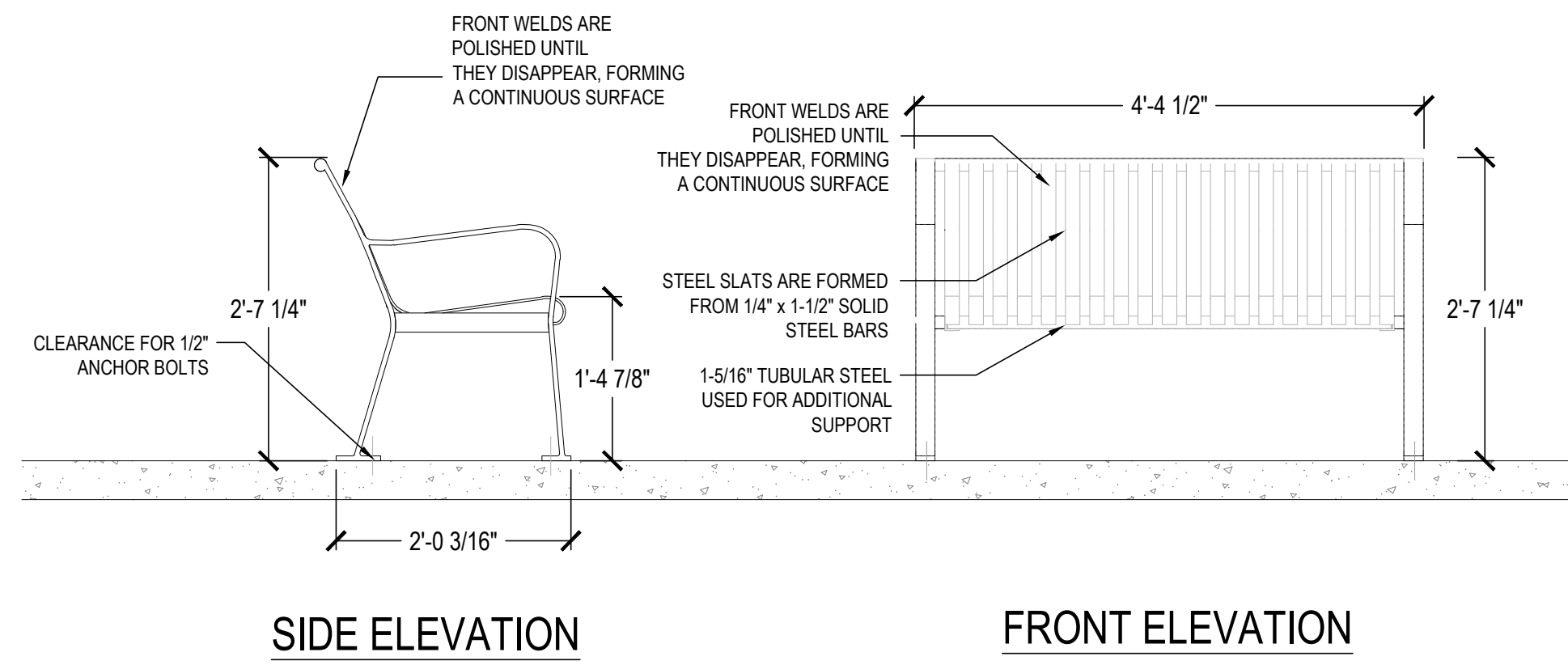
DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KAD ARCHITECTURE + DESIGN INC.
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

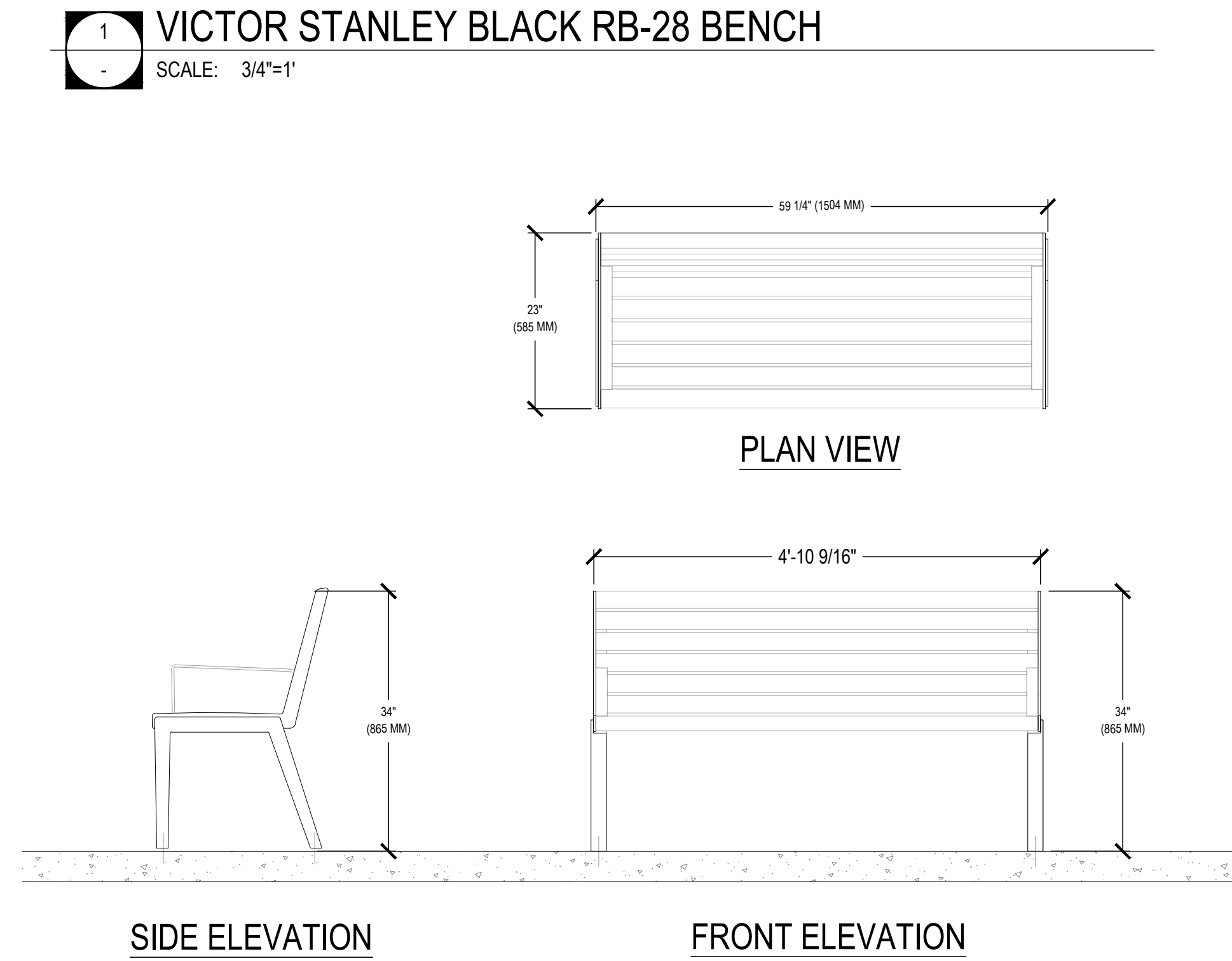
LONSDALE SQUARE
 City of North Vancouver

PAVING DETAILS
 PLOT DATE: 08/03/2021

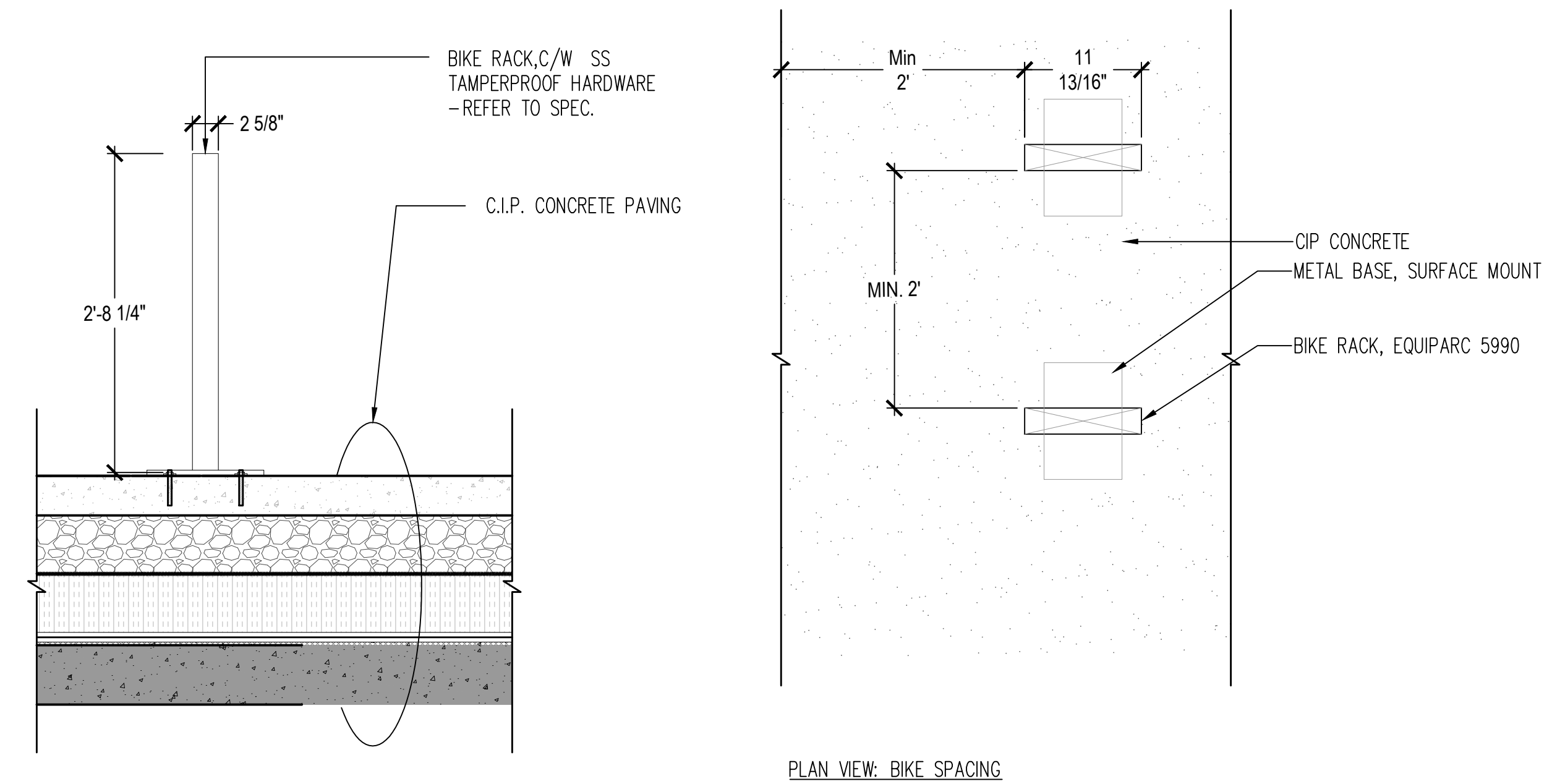
L10.02



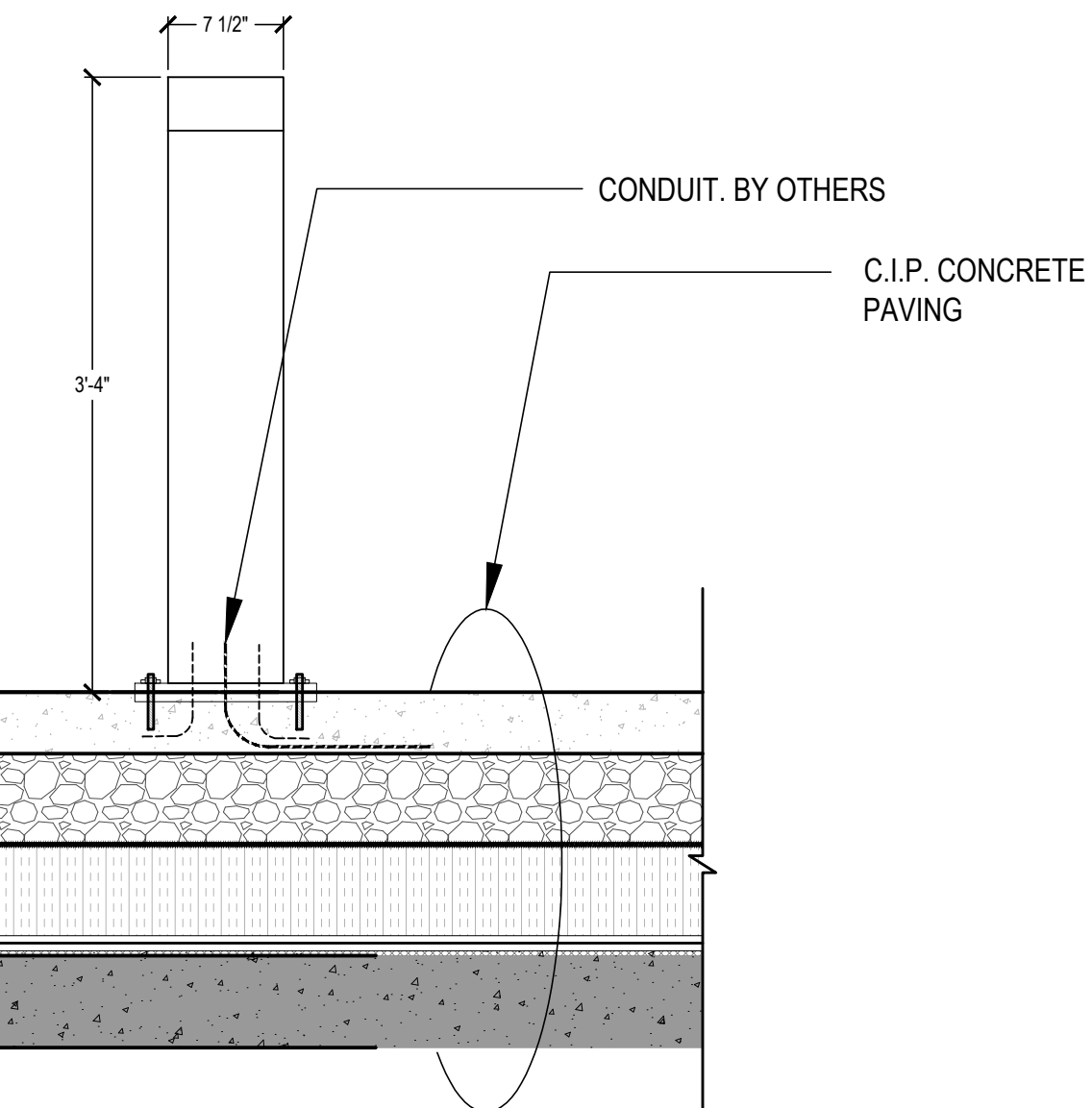
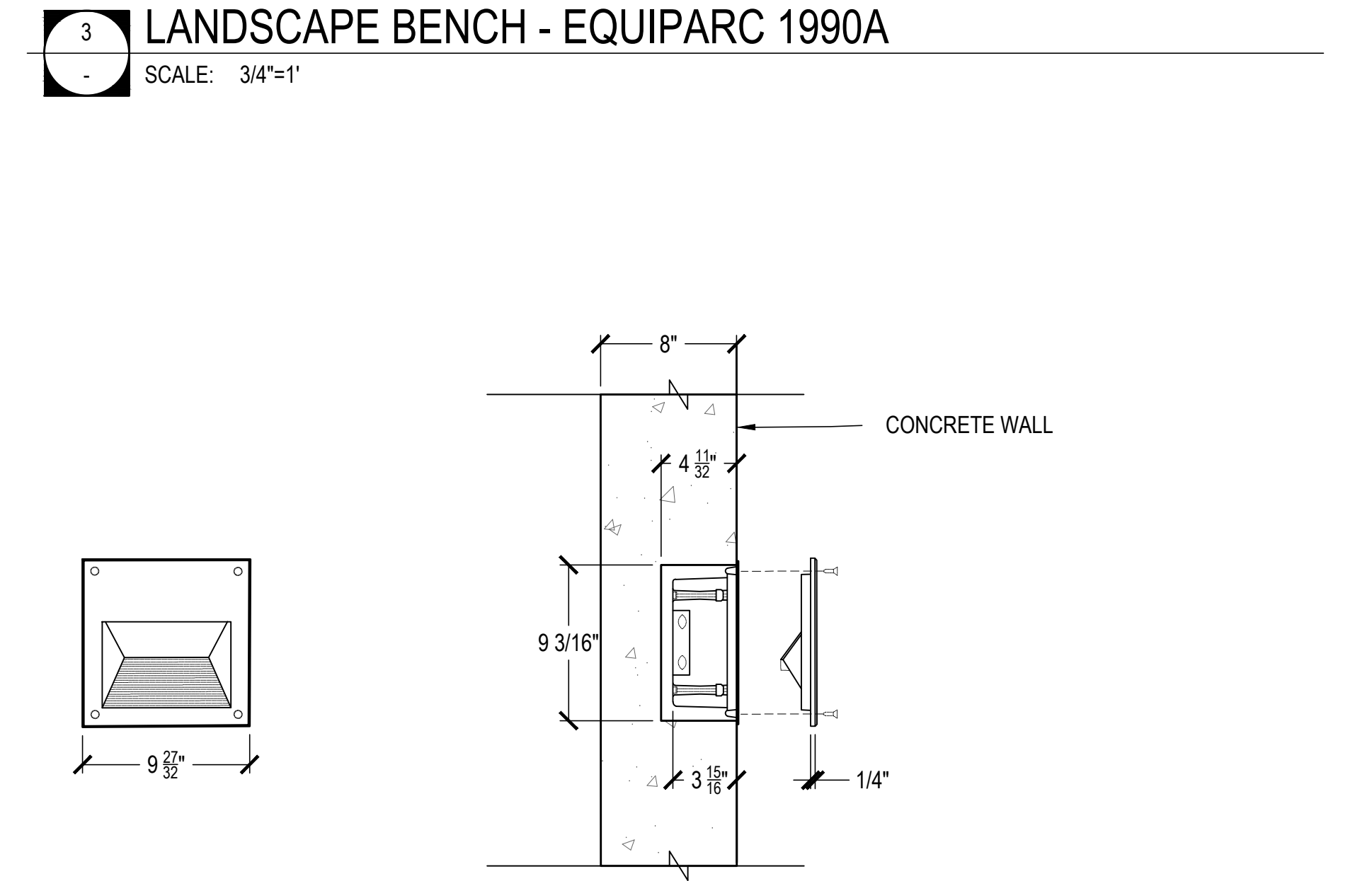
2 LANDSCAPEFORMS BOLA EMBEDDED BIKE RACK
 SCALE: 1"=1'



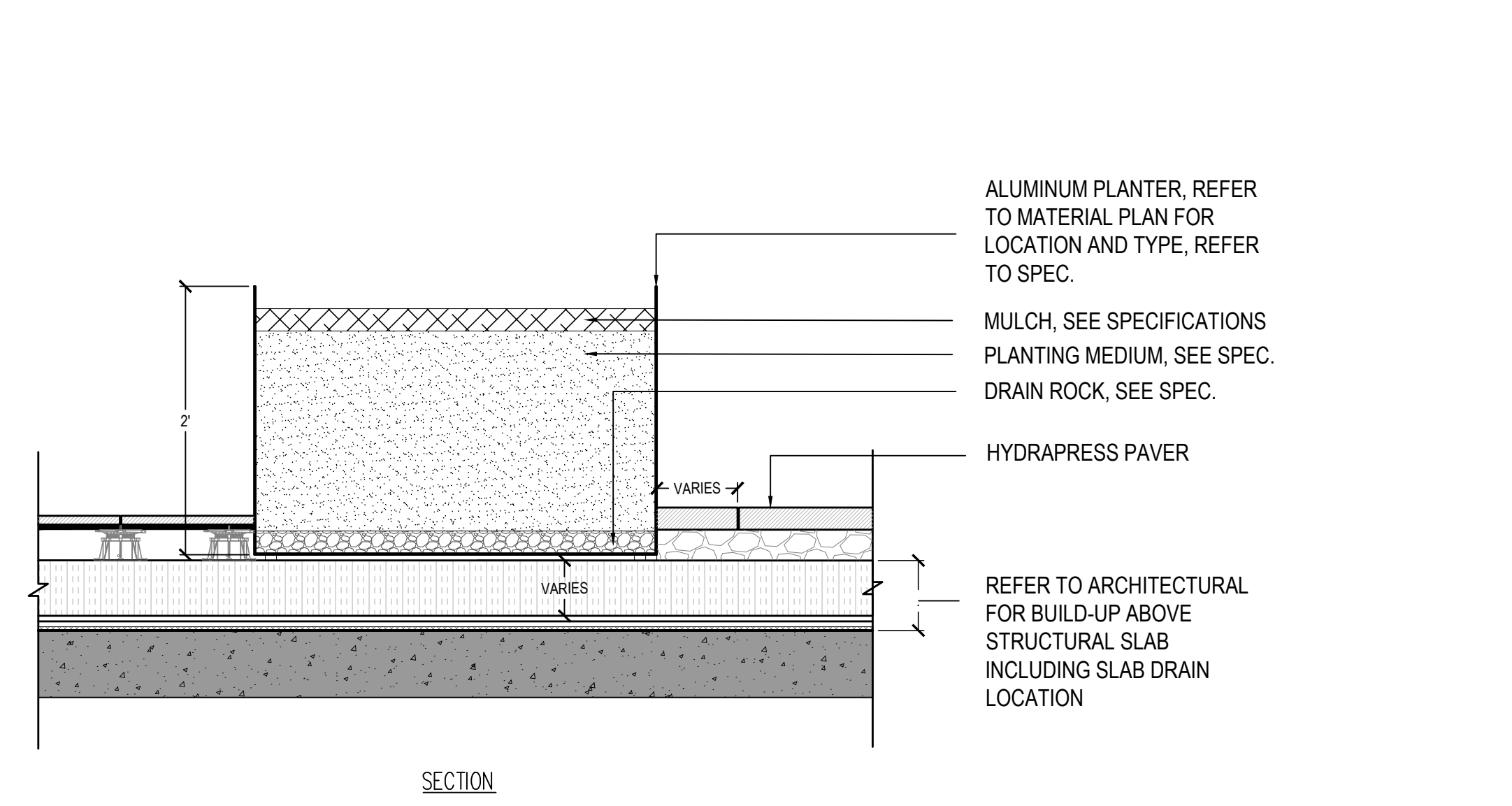
NOTES:
 1. INSTALL PER MANUFACTURER'S INSTRUCTION, UNLESS OTHERWISE NOTED ON DRAWING



4 EQUIPARC 3990 BIKE RACK
 SCALE: 1"=1'



6 LIGHTING BOLLARD (HESS LINEA)
 SCALE: 1"=1'



7 ALUMINUM PLANTER
 SCALE: 1"=1'



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV | DATE | DESCRIPTION: BP Amendment

SCALE: 3/32" = 1'-0" | DATE: 21.08.03 | DRAWN: GF

PROJECT NUMBER | 17063

FILE PATH: | PLOT DATE: 08/03/2021

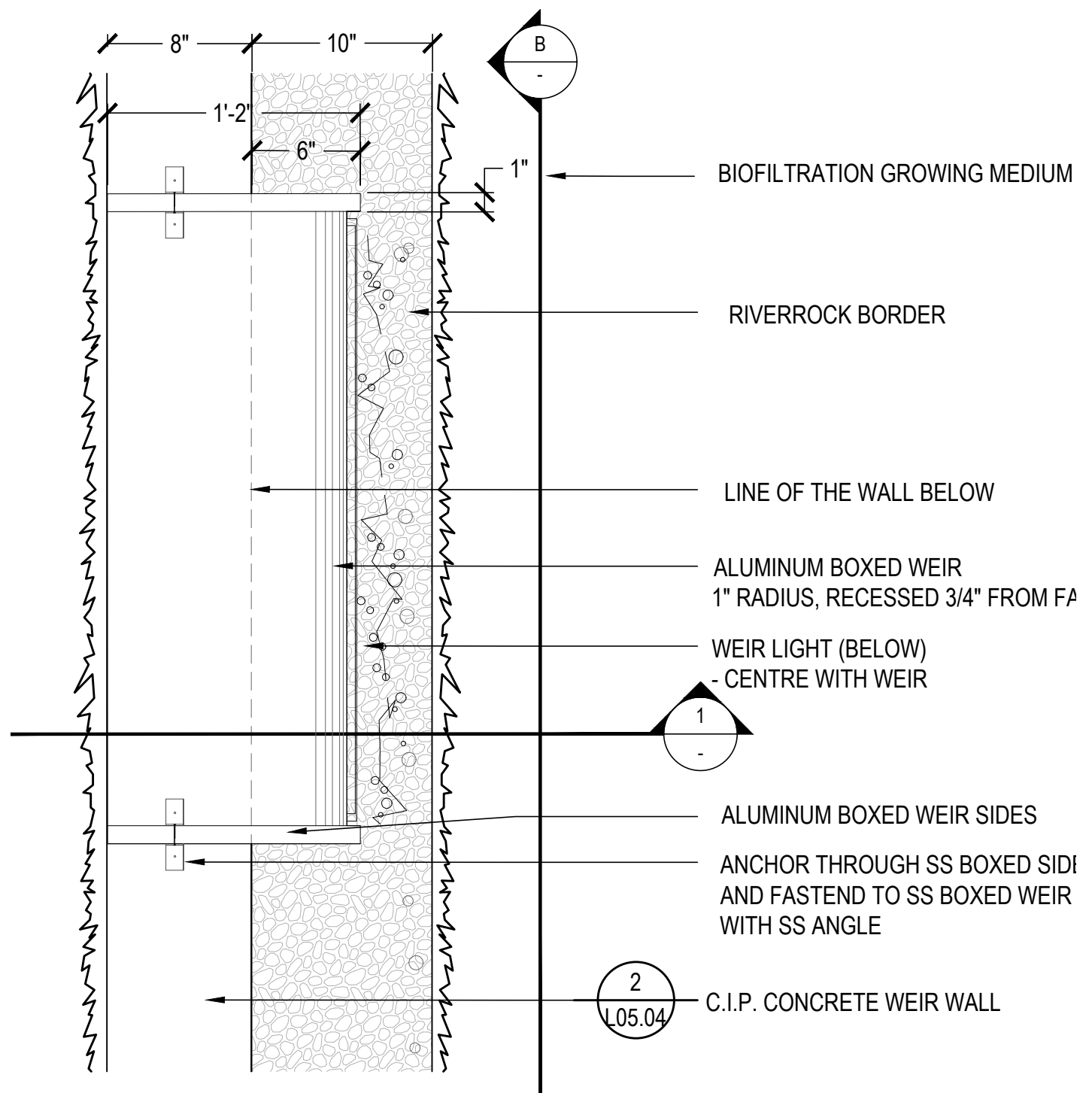
DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LIMITED PARTNERSHIP

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

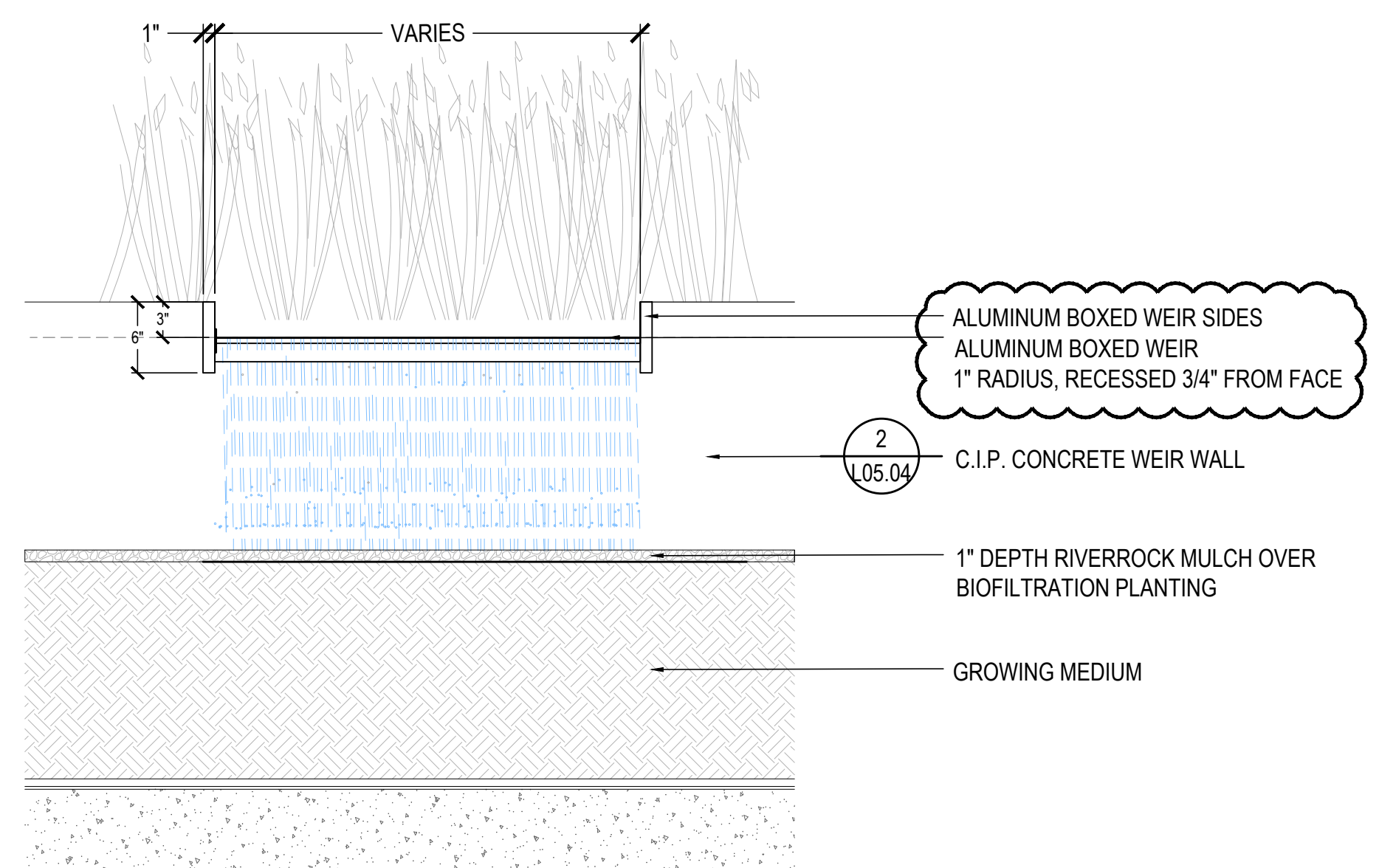
LONSDALE SQUARE
 City of North Vancouver

FURNISHING DETAILS
 PLOT DATE: 08/03/2021

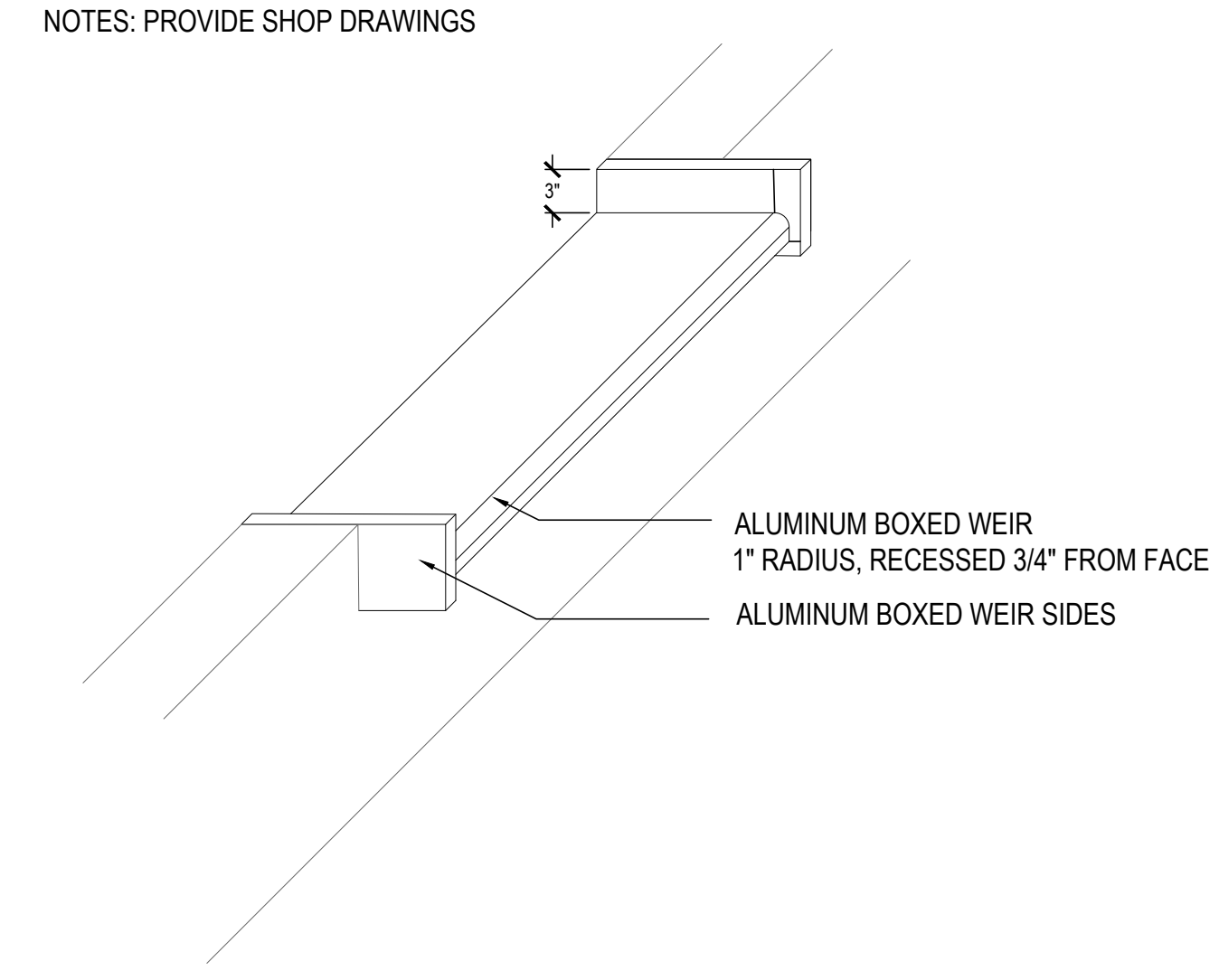
L10.03



PLAN VIEW
 SCALE 1 1/2"=1'-0"



SECTION B
 SCALE 1"=1'-0"

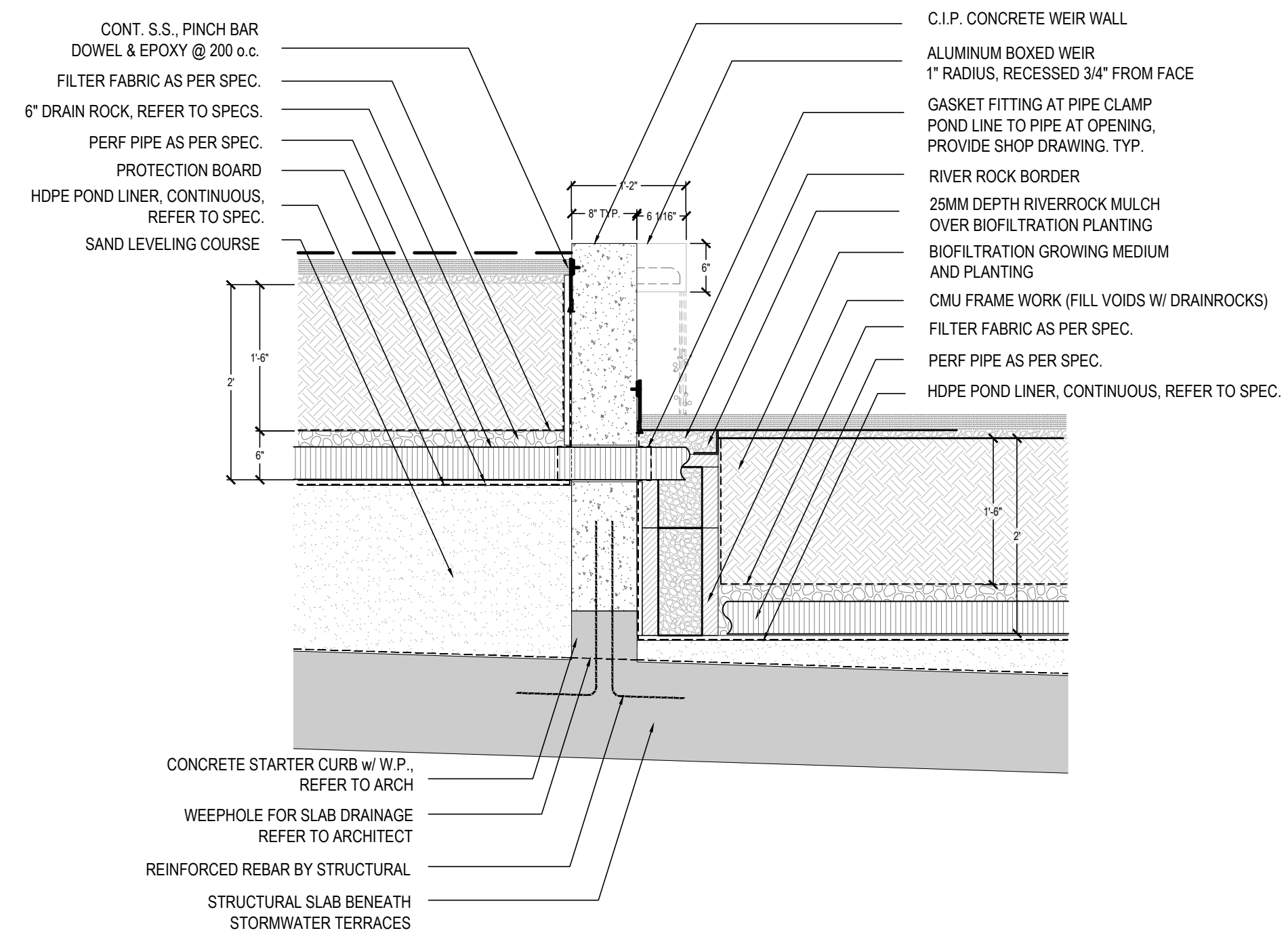


AXONOMETRIC VIEW
 SCALE 1"=1'-0"

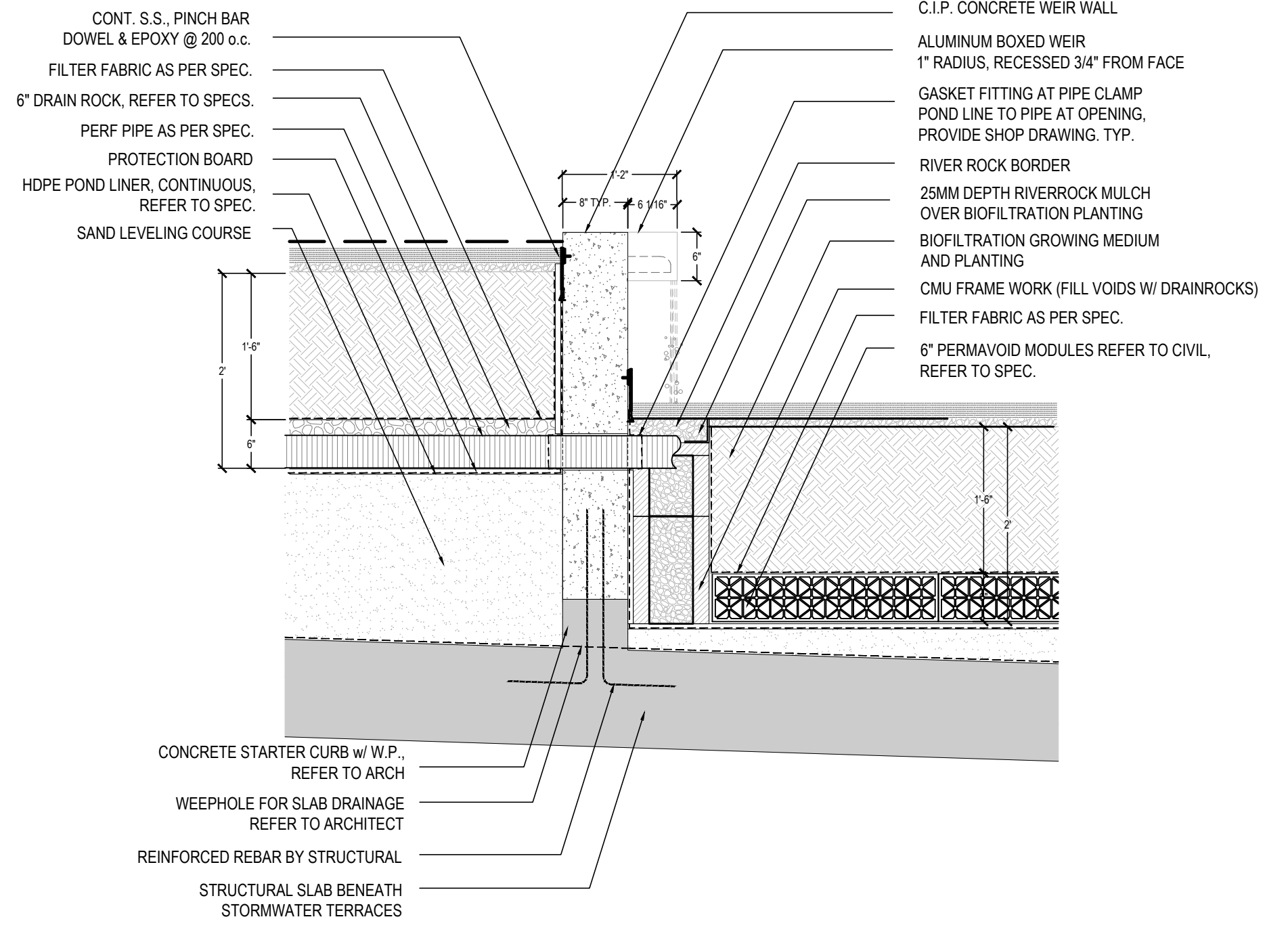
NOTES: PROVIDE SHOP DRAWINGS

1 WEIR
 SCALE: AS SHOWN

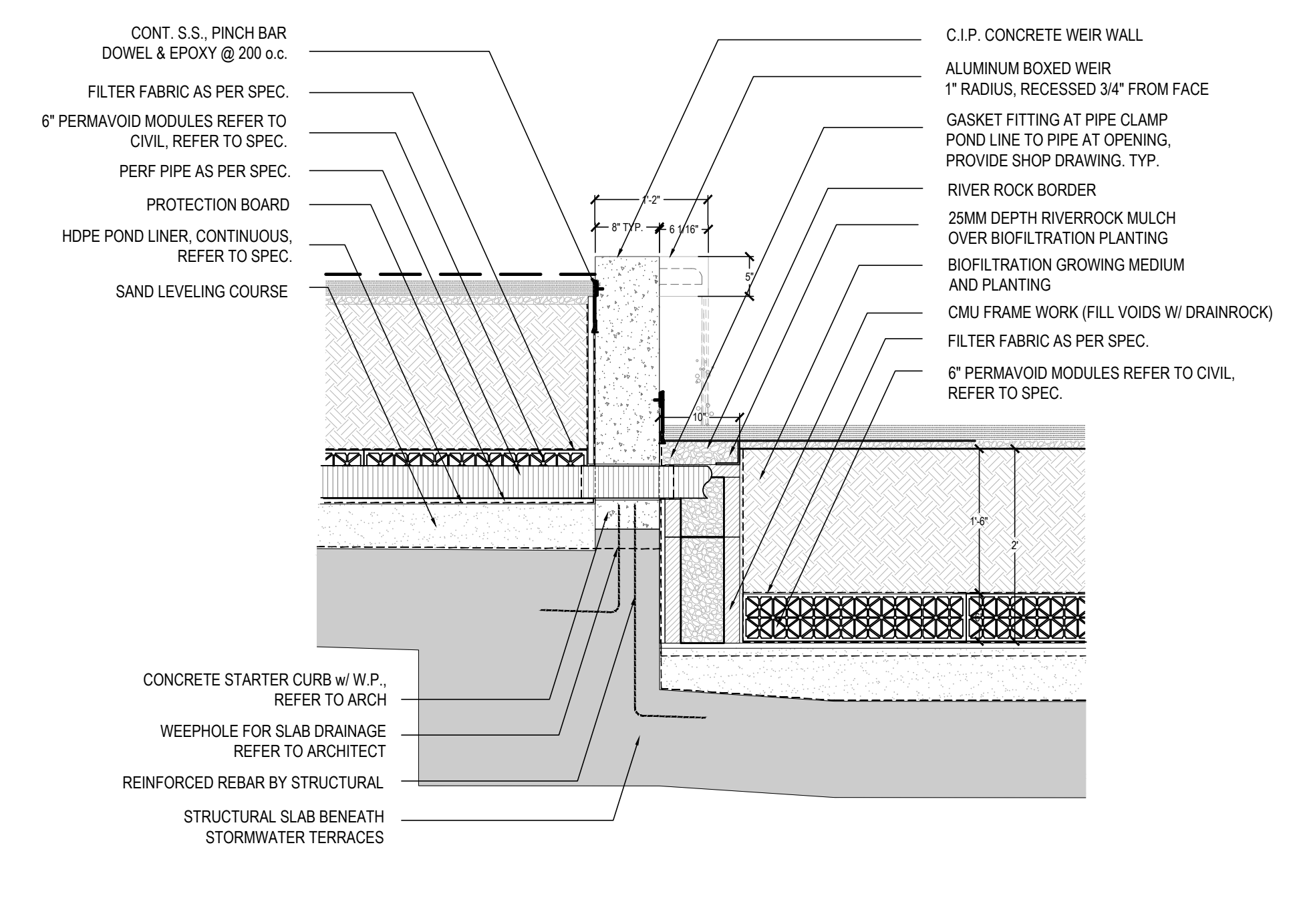
NOTES:
 1. MAINTAIN 1" SEPARATION BETWEEN HDPE POND LINER AND SLAB WATERPROOFING MEMBRANE, USE LEVELLING SAND COURSE AS REQUIRED.
 2. PROVIDE SHOP DRAWINGS OF ALL POND LINER ELEMENTS, INCLUDING WELDS, PINCH BARS, AND CLAMPS



2 C.I.P. CONCRETE WEIR WALL TYP.
 SCALE: 3/4"=1'



3 C.I.P. CONCRETE WEIR WALL TYP. (DRAINROCK TO PERMAVOID)
 SCALE: 3/4"=1'



4 C.I.P. CONCRETE WEIR WALL TYP. (PERMAVOID TO PERMAVOID)
 SCALE: 3/4"=1'



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV DATE DESCRIPTION: BP Amendment
 SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF
 PROJECT NUMBER 17063
 FILE PATH: PLOT DATE: 08/03/2021

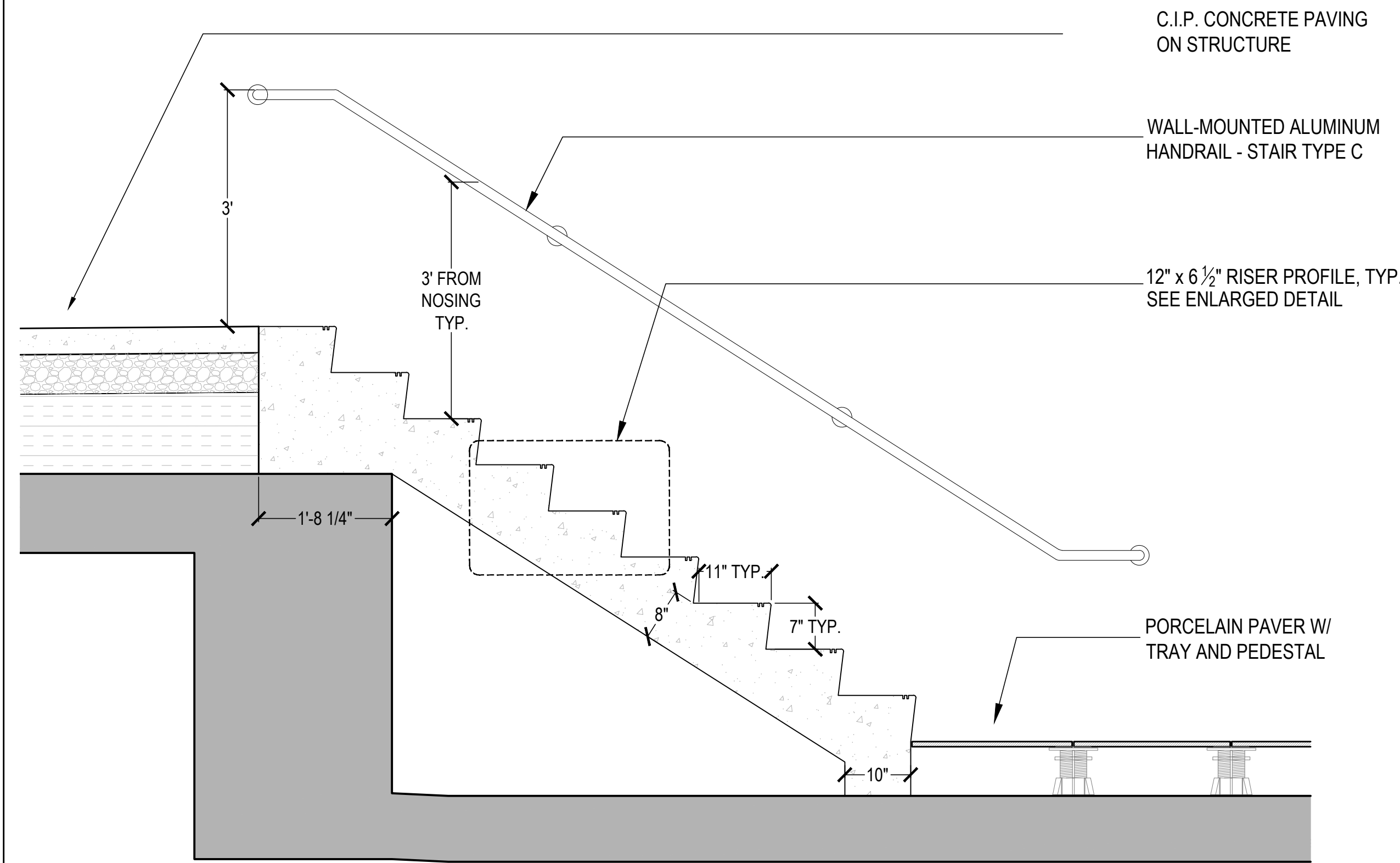
**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

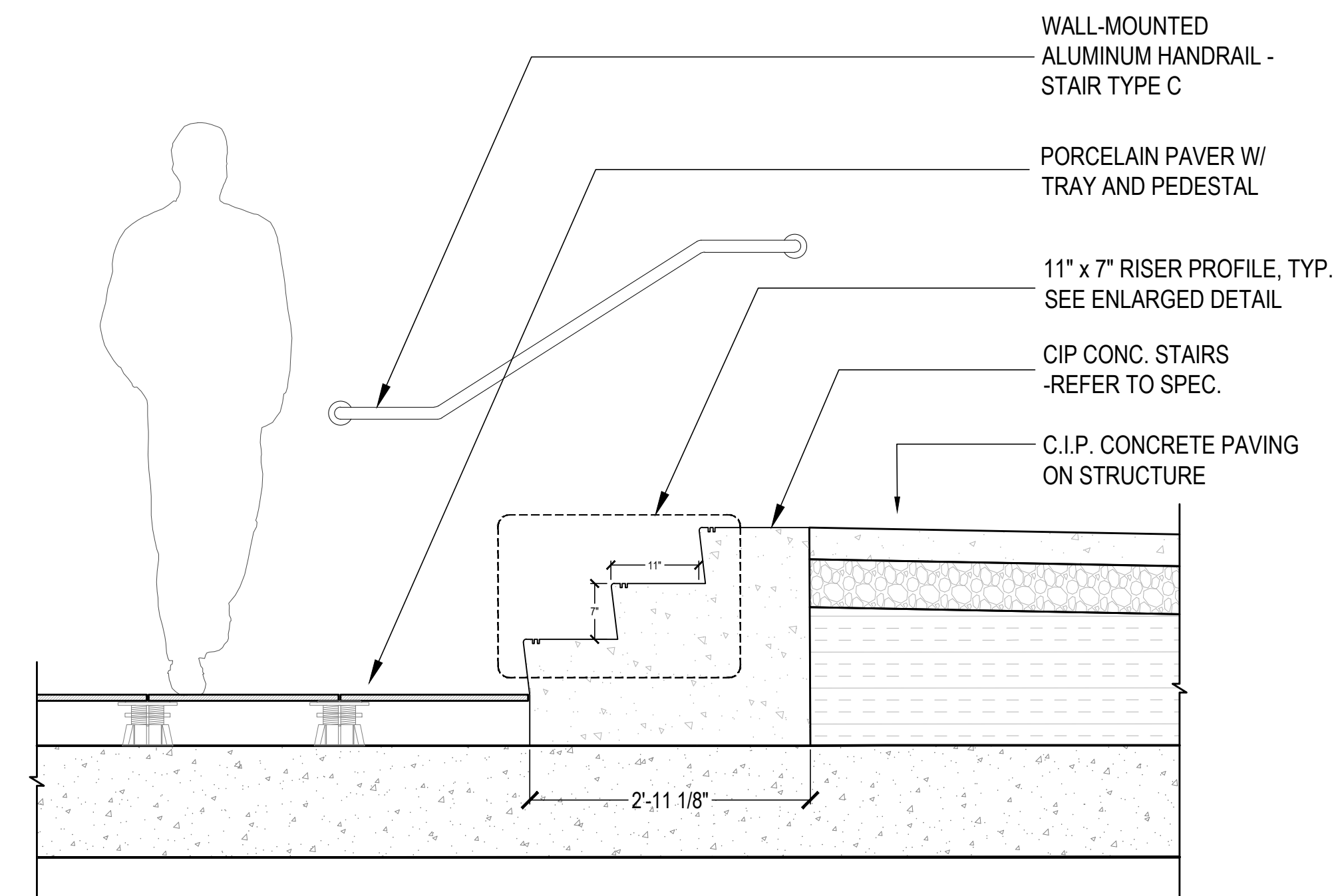
LONSDALE SQUARE
 City of North Vancouver

PLANTER DETAILS
 PLOT DATE: 08/03/2021

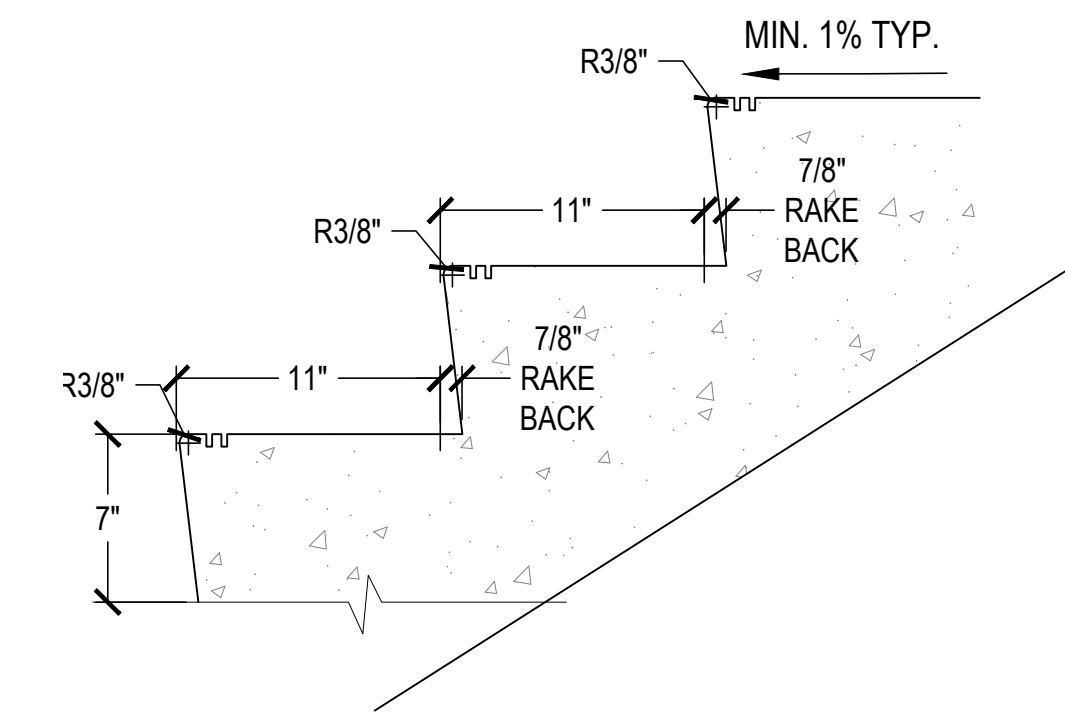
L10.04



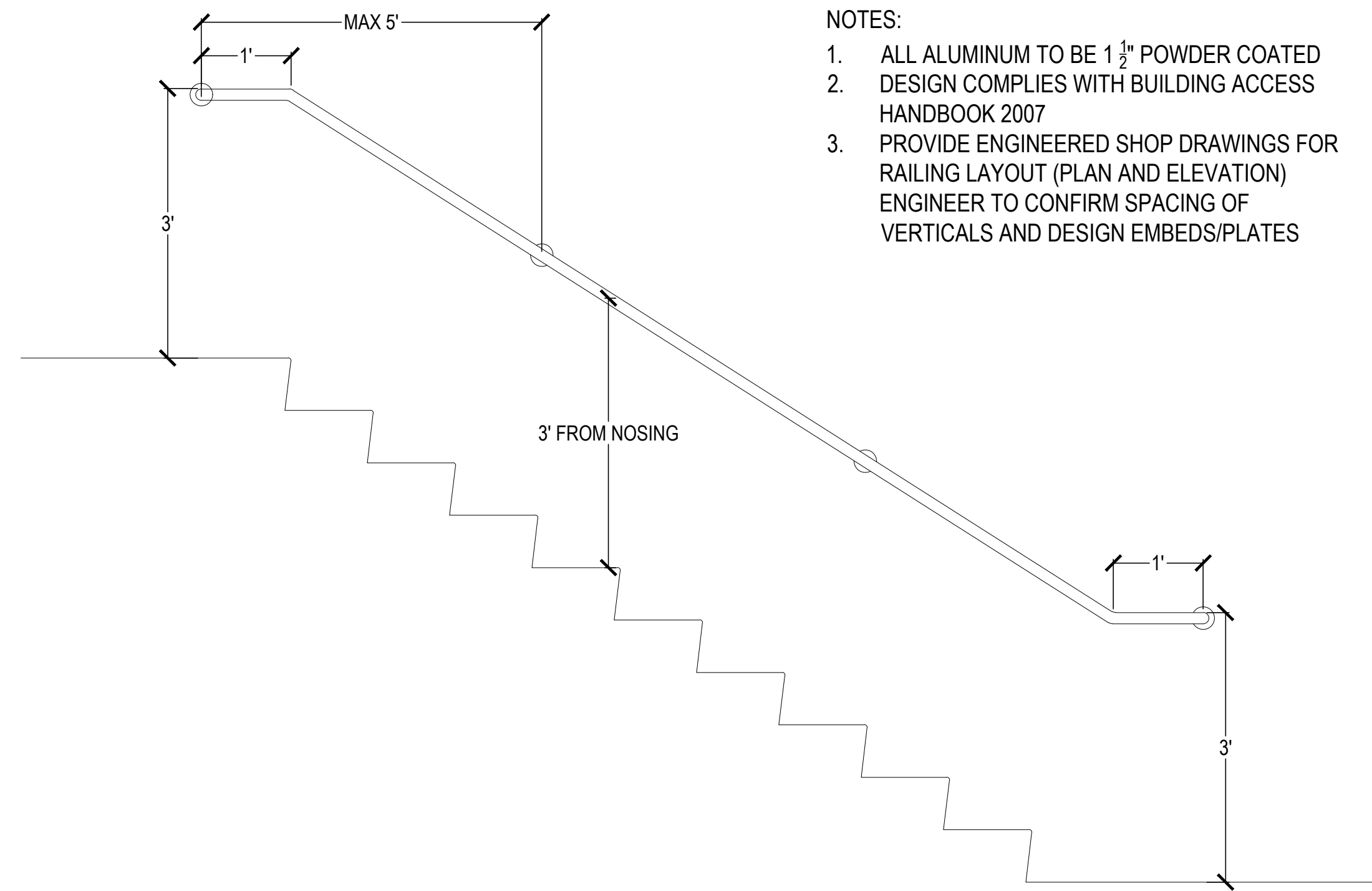
1 C.I.P. STAIRS - TYPE B (7"x11" RISERS)
 SCALE: 3/4"=1'



2 C.I.P. STAIRS - TYPE C (7"x11" RISERS)
 SCALE: 3/4"=1'

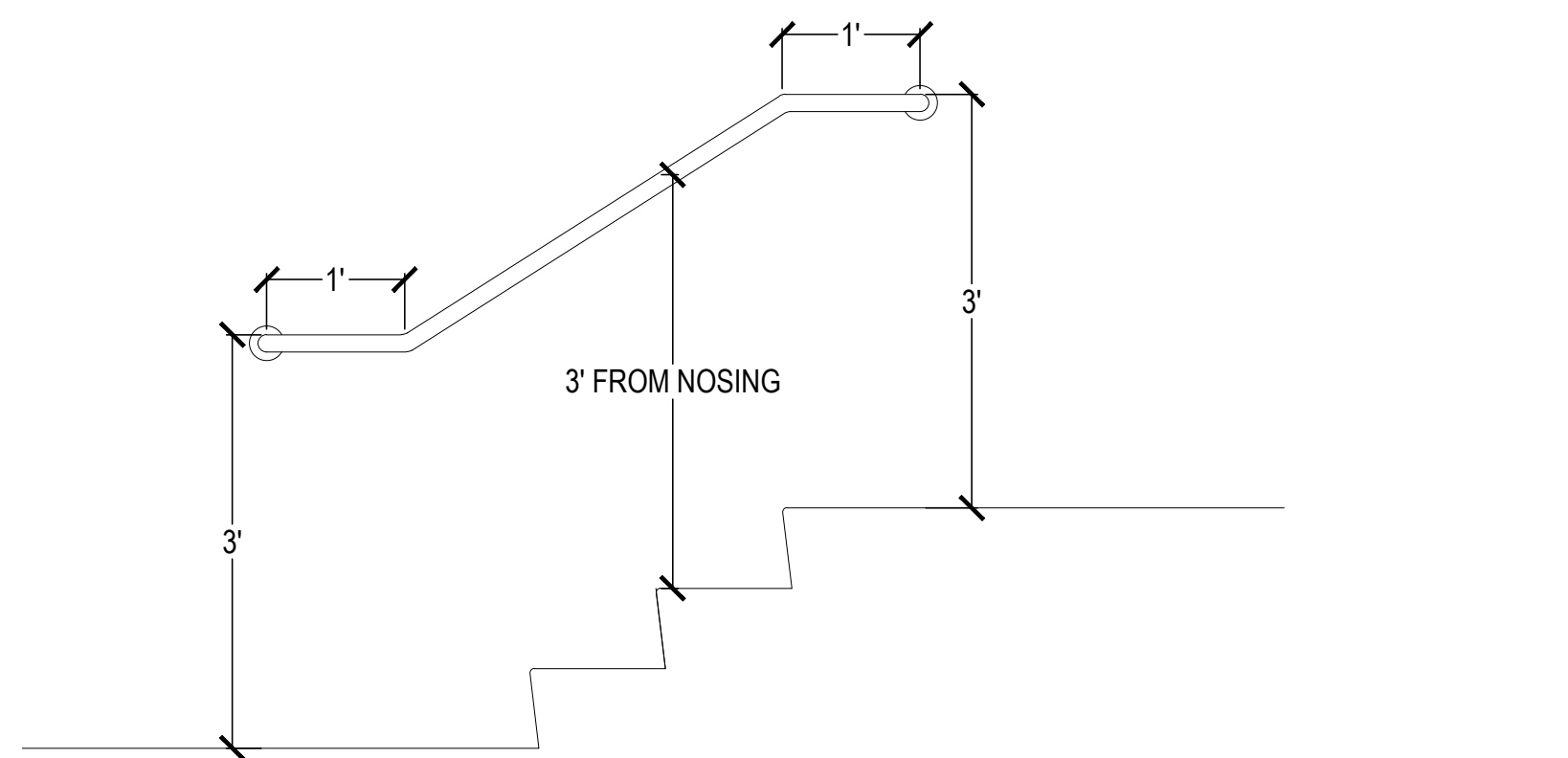


3 11" x 7" RISER PROFILE
 SCALE: 3/4"=1'

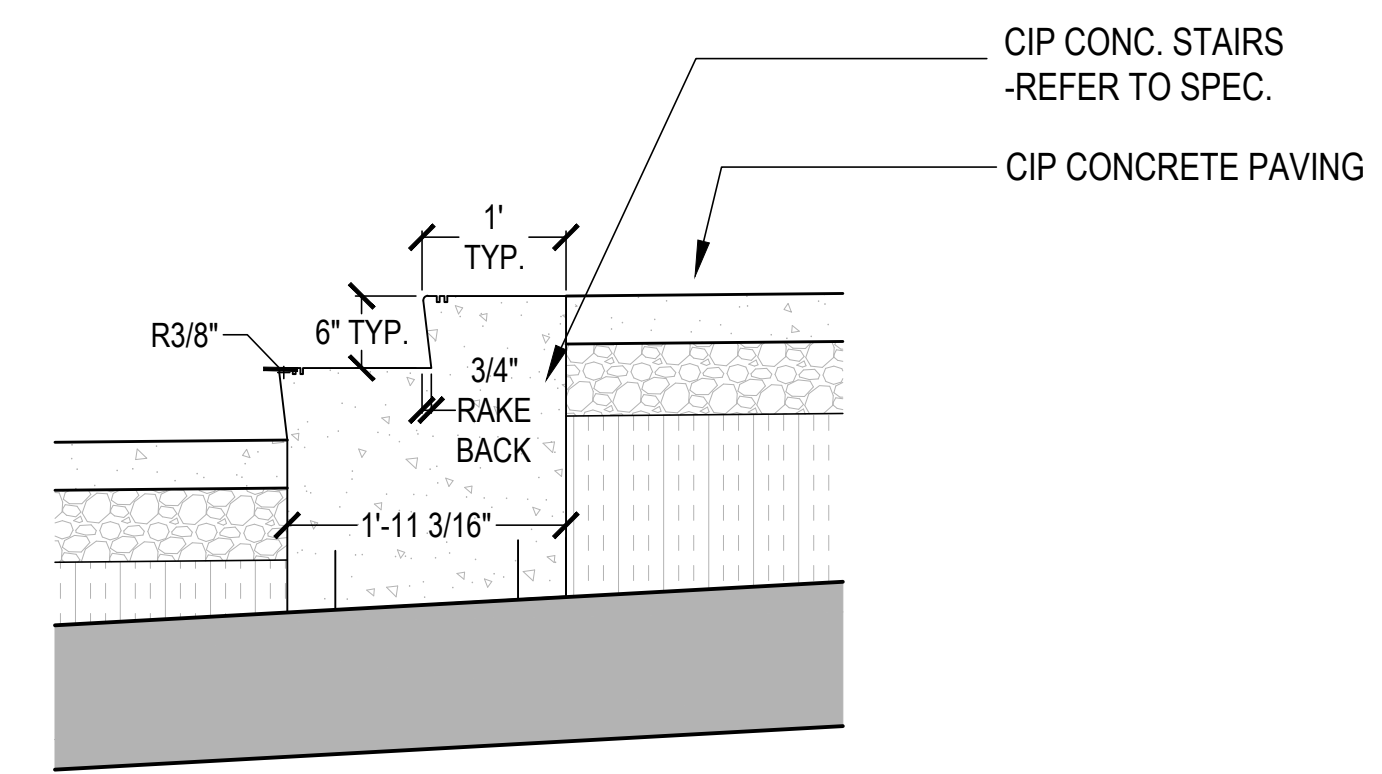


4 WALL MOUNTED ALUMINUM HANDRAIL - STAIR TYPE B
 SCALE: 3/4"=1'

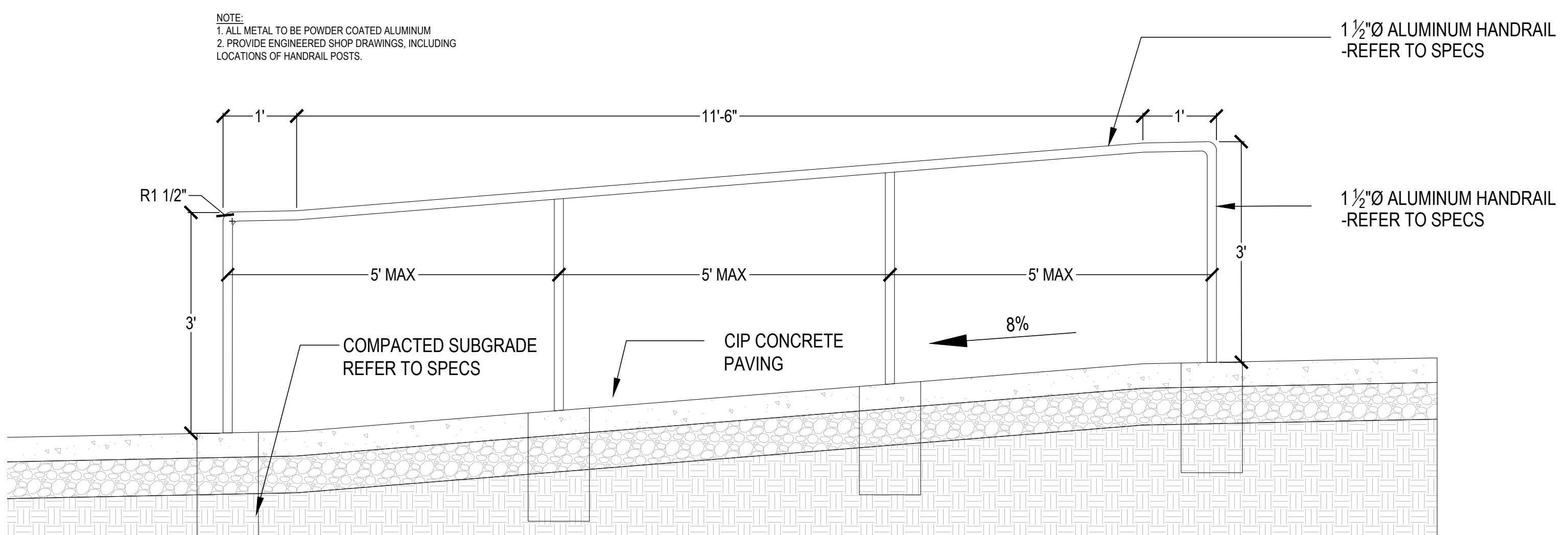
- NOTES:
1. ALL ALUMINUM TO BE 1 1/2" POWDER COATED
 2. DESIGN COMPLIES WITH BUILDING ACCESS HANDBOOK 2007
 3. PROVIDE ENGINEERED SHOP DRAWINGS FOR RAILING LAYOUT (PLAN AND ELEVATION) ENGINEER TO CONFIRM SPACING OF VERTICALS AND DESIGN EMBEDS/PLATES



5 WALL MOUNTED ALUMINUM HANDRAIL - STAIR TYPE C
 SCALE: 3/4"=1'



6 C.I.P. STAIRS - TYPE D (6"x12" RISERS)
 SCALE: 3/4"=1'



7 CIP CONCRETE RAMP
 SCALE: 3/4"=1'



REV	DATE	DESCRIPTION
6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

SCALE: 3/32" = 1'-0" | DATE: 21.08.03 | DRAWN: GF
 PROJECT NUMBER: 17063
 FILE PATH: PLOT DATE: 08/03/2021

DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

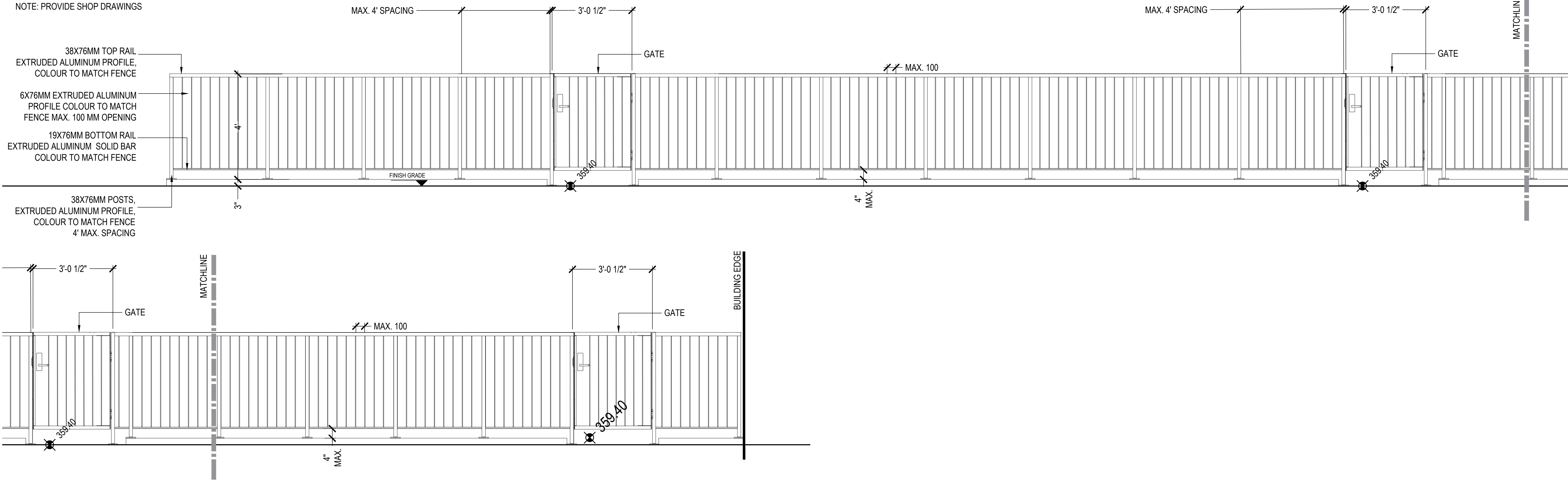
KAD ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

WALLS, STAIRS, & RAILINGS
 DETAILS
 PLOT DATE: 08/03/2021

L10.06

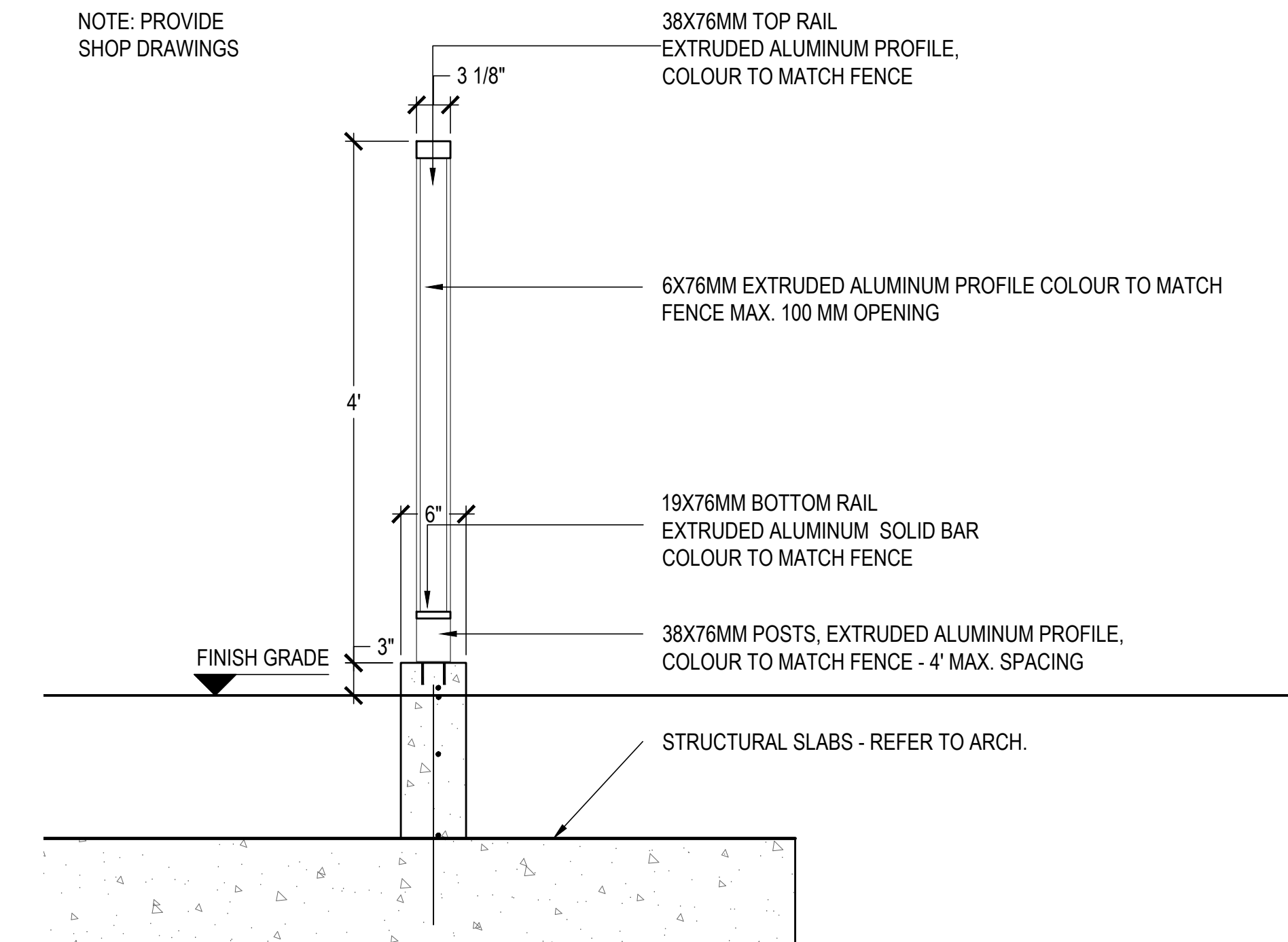
NOTE: PROVIDE SHOP DRAWINGS



1 ALUMINIUM FENCE - ELEVATION

SCALE: 1/2"=1'

NOTE: PROVIDE SHOP DRAWINGS



2 ALUMINIUM FENCE - SECTION

SCALE: 1"=1'



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV	DATE	DESCRIPTION: BP Amendment
SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF		
PROJECT NUMBER: 17063		
FILE PATH:	PLOT DATE:	08/03/2021

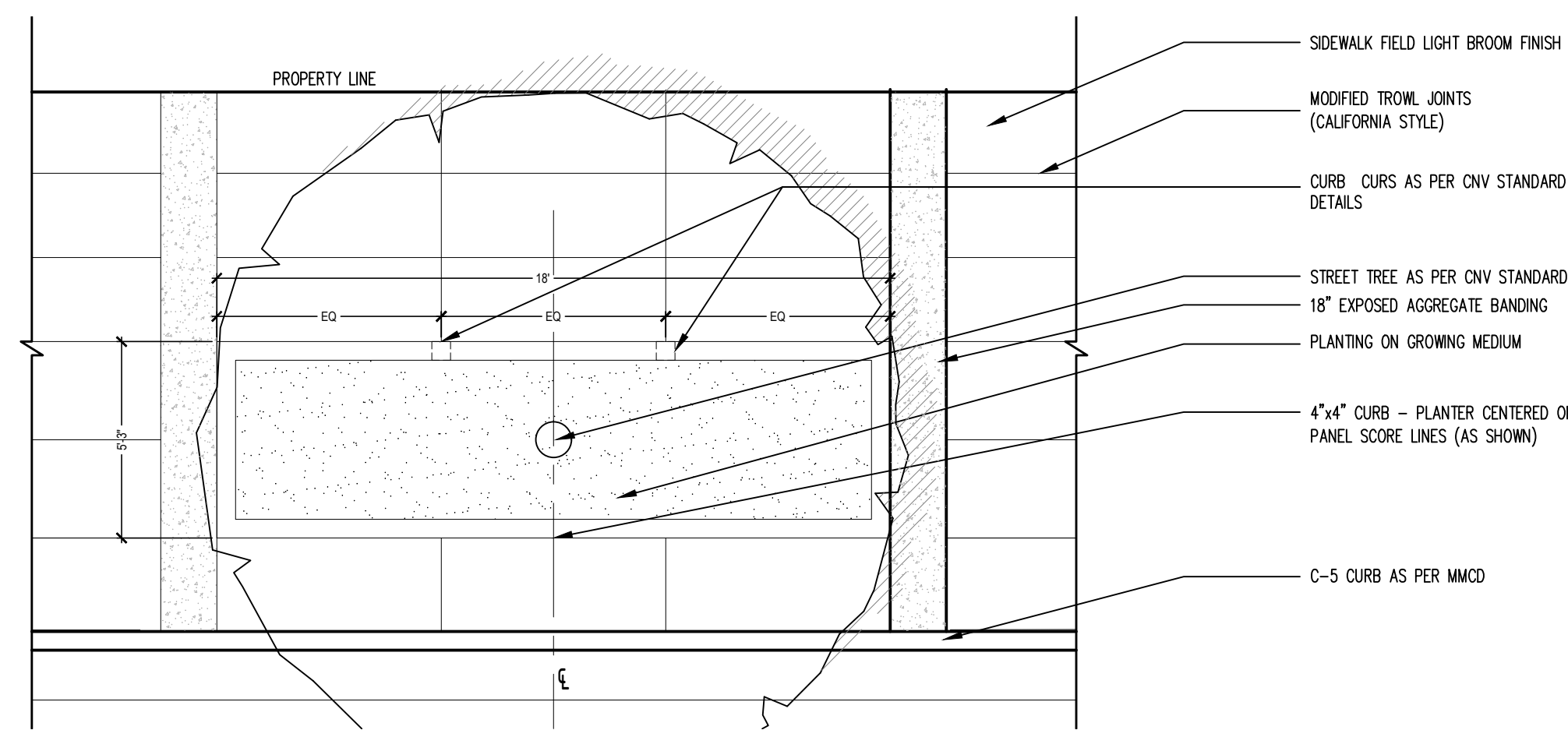
DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP

KA ARCHITECTURE + DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

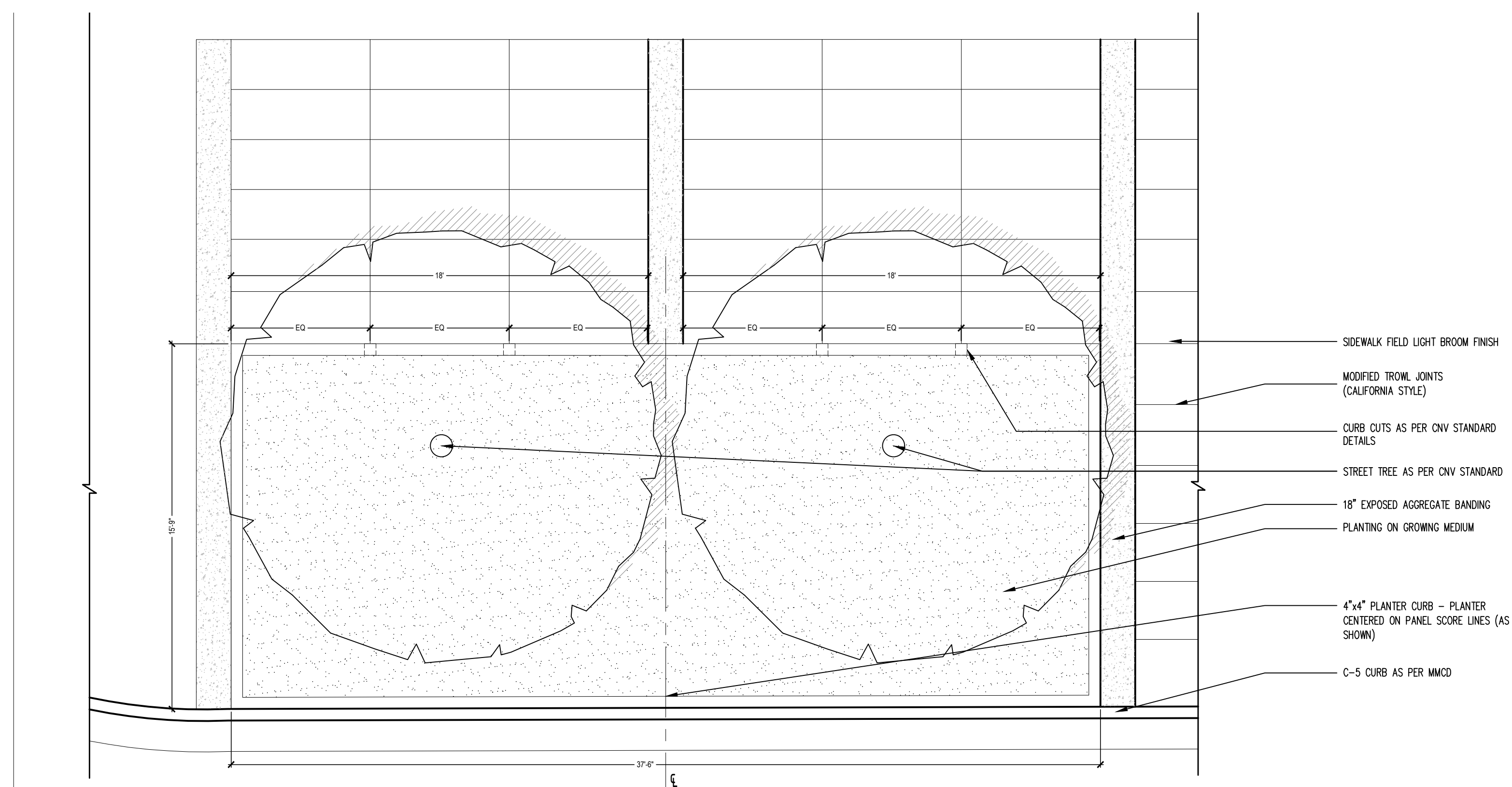
LONSDALE SQUARE
 City of North Vancouver

FENCE DETAILS
 PLOT DATE: 08/03/2021

L10.07



1 LONSDALE STREETSCAPE STANDARD CIP CONCRETE PAVING TYP.
 SCALE: 1"=1'



2 LONSDALE STREETSCAPE STANDARD CIP CONCRETE PAVING @PLANTER
 SCALE: 1"=1'



6	21.08.03	Issue for DP Amendment
5	21.07.19	Issue for BP Amendment
4	21.06.04	Issue for DP Amendment
3	21.02.05	Issue for Building Permit
2	20.10.26	DP Prior-to Response
1	20.08.17	Issue for Development Permit

REV	DATE	DESCRIPTION	BP Amendment
SCALE: 3/32" = 1'-0" DATE: 21.08.03 DRAWN: GF			
PROJECT NUMBER			17063
FILE PATH:	PLOT DATE:	08/03/2021	

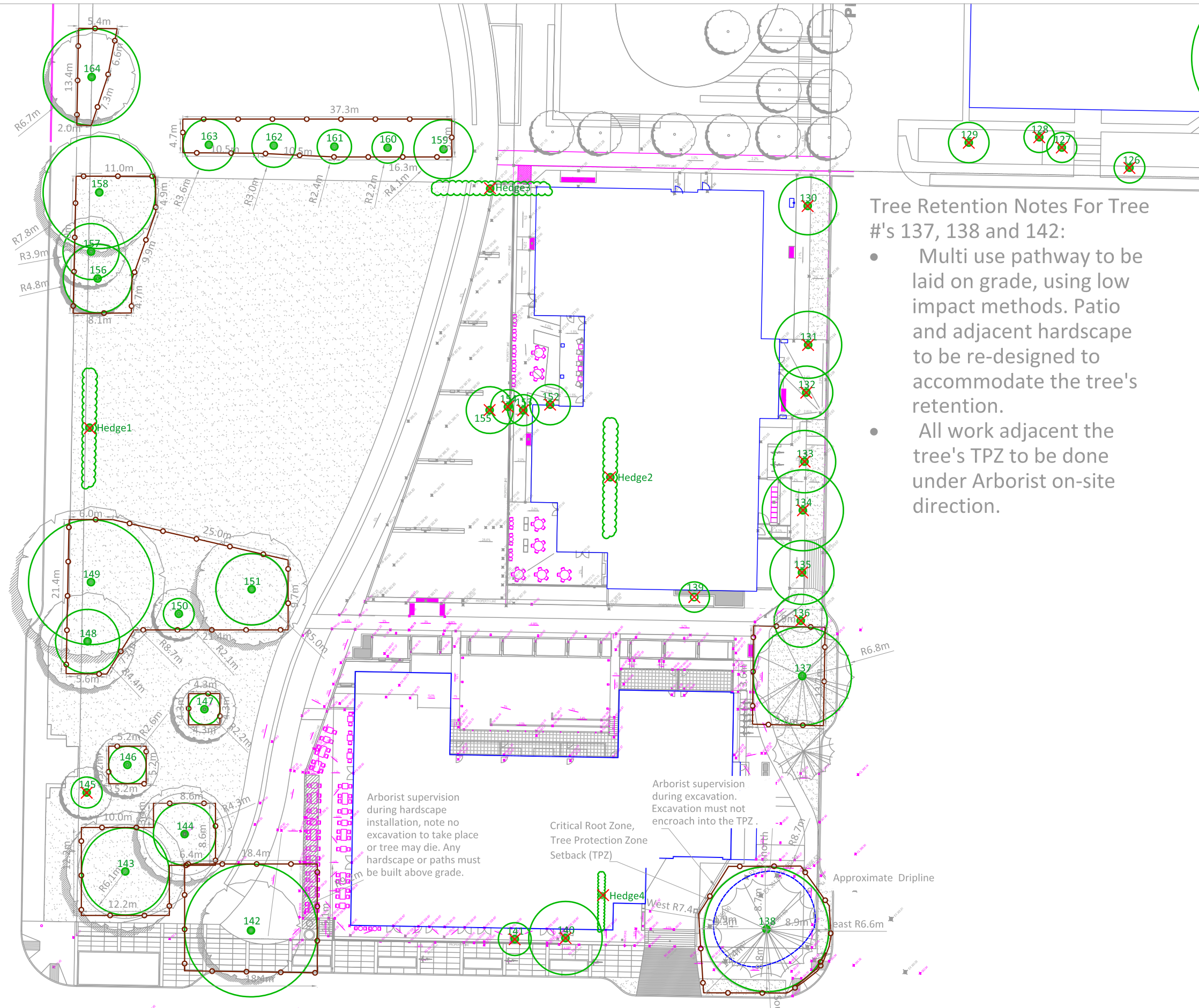
**DARWIN/MINTO PROPERTIES
 (M4 AT LONSDALE SQUARE)
 LIMITED PARTNERSHIP**

KAD ARCHITECTURE+DESIGN INC
 305 - 1930 PANDORA STREET - VANCOUVER - V5L 0C7 - P 604 569 3499

LONSDALE SQUARE
 City of North Vancouver

STREETSCAPE DETAILS
 PLOT DATE: 08/03/2021

L10.08



LEGEND

- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE AND FENCING
- TREE TO BE RETAINED
- UN-SURVEYED TREE
- ✕ TREE TO BE REMOVED

NOTES

1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. ($\frac{1}{2}$ the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
4. Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
5. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
6. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

REFERENCE DRAWINGS

Base Plan Provided by:
Darwin Construction

Tree Retention Notes For Tree #'s 137, 138 and 142:

- Multi use pathway to be laid on grade, using low impact methods. Patio and adjacent hardscape to be re-designed to accommodate the tree's retention.
- All work adjacent the tree's TPZ to be done under Arborist on-site direction.



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan
Project address: Harry Jerome M4
Client: Darwin Construction Ltd

Drawing No: 01
Date: 2021/04/23
Drawn by: MR
Page Size: TABLOID 11"x17"

Page #
1 of 1

TITLE SEARCH PRINT

2021-08-20, 11:00:44

File Reference:

Requestor: Julie Peters

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under SECTION 98 LAND TITLE ACT

Land Title District VANCOUVER
Land Title Office VANCOUVER

Title Number CA8128579
From Title Number R116829

Application Received 2020-04-07

Application Entered 2020-04-30

Registered Owner in Fee Simple
Registered Owner/Mailing Address: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
141 WEST 14TH STREET
NORTH VANCOUVER, BC
V7M 1H9

Taxation Authority North Vancouver, The Corporation of the City of

Description of Land
Parcel Identifier: 031-080-383
Legal Description:
LOT 2 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP87495

Legal Notations
NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8297032
FILED 2020-07-13

HERETO IS ANNEXED RESTRICTIVE COVENANT CA8604323 OVER LOT 3 PLAN EPP87495, LOT 1 PLAN LMP17639, THAT PART OF DL 545 GP 1 NWD SHOWN AS PARCEL 1 ON PLAN EPP84879, THAT PART OF DL 545 GP 1 NWD SHOWN AS PARCEL 2 ON PLAN EPP84879, LOT A PLAN 11876 EXCEPT PLAN EPP87495, AND THE CLOSED PART OF EASTERN AVENUE IN PLAN 8308 OF LOT 2 BLK 207 PLAN 5481

THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 14 OF THE LOCAL GOVERNMENT ACT, SEE CA8604976
AMENDED BY CA9282864

TITLE SEARCH PRINT

2021-08-20, 11:00:44

File Reference:

Requestor: Julie Peters

NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8614502
FILED 2020-12-01

NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8614503
FILED 2020-12-01

Charges, Liens and Interests

Nature: COVENANT
Registration Number: CA8128581
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA

Nature: RENT CHARGE
Registration Number: CA8128582
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA

Nature: COVENANT
Registration Number: CA8128583
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA
MODIFIED BY CA8604305

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8128584
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA

Nature: MODIFICATION
Registration Number: CA8604305
Registration Date and Time: 2020-11-27 14:55
Remarks: INTER ALIA
MODIFICATION OF CA8128583

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8604309
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: PART IN PLAN EPP106371

TITLE SEARCH PRINT

2021-08-20, 11:00:44

File Reference:

Requestor: Julie Peters

Nature: COVENANT
Registration Number: CA8604310
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8604319
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: PART IN PLAN EPP106373

Nature: COVENANT
Registration Number: CA8604320
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604322
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604325
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604329
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604330
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8604331
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: LEASE
Registration Number: CA8610790
Registration Date and Time: 2020-12-01 08:23
Registered Owner: DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LTD.
INCORPORATION NO. 1186885

TITLE SEARCH PRINT

2021-08-20, 11:00:44
Requestor: Julie Peters

File Reference:

Nature:	MORTGAGE
Registration Number:	CA8611671
Registration Date and Time:	2020-12-01 10:38
Registered Owner:	BANK OF MONTREAL
Remarks:	OF CA8610790
Nature:	ASSIGNMENT OF RENTS
Registration Number:	CA8611672
Registration Date and Time:	2020-12-01 10:38
Registered Owner:	BANK OF MONTREAL
Remarks:	OF CA8610790
Nature:	OPTION TO PURCHASE
Registration Number:	CA8611673
Registration Date and Time:	2020-12-01 10:38
Registered Owner:	MINTO APARTMENT GP INC. INCORPORATION NO. 002633506
Remarks:	OF CA8610790
Nature:	MORTGAGE
Registration Number:	CA8611674
Registration Date and Time:	2020-12-01 10:38
Registered Owner:	MINTO APARTMENT GP INC. INCORPORATION NO. 002633506
Remarks:	OF CA8610790
Nature:	ASSIGNMENT OF RENTS
Registration Number:	CA8611675
Registration Date and Time:	2020-12-01 10:38
Registered Owner:	MINTO APARTMENT GP INC. INCORPORATION NO. 002633506
Remarks:	OF CA8610790
Nature:	PRIORITY AGREEMENT
Registration Number:	CA8612116
Registration Date and Time:	2020-12-01 11:36
Remarks:	GRANTING CA8611671 PRIORITY OVER CA8611674 AND CA8611675
Nature:	PRIORITY AGREEMENT
Registration Number:	CA8612117
Registration Date and Time:	2020-12-01 11:36
Remarks:	GRANTING CA8611672 PRIORITY OVER CA8611674 AND CA8611675

Duplicate Indefeasible Title

NONE OUTSTANDING

TITLE SEARCH PRINT

2021-08-20, 11:00:44

File Reference:

Requestor: Julie Peters

Transfers

NONE

Pending Applications

NONE

TITLE SEARCH PRINT

2021-08-17, 11:53:57

File Reference:

Requestor: Elita Fung

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under SECTION 98 LAND TITLE ACT

Land Title District VANCOUVER
Land Title Office VANCOUVER

Title Number CA8128579
From Title Number R116829

Application Received 2020-04-07

Application Entered 2020-04-30

Registered Owner in Fee Simple
Registered Owner/Mailing Address: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
141 WEST 14TH STREET
NORTH VANCOUVER, BC
V7M 1H9

Taxation Authority North Vancouver, The Corporation of the City of

Description of Land
Parcel Identifier: 031-080-383
Legal Description:
LOT 2 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP87495

Legal Notations
NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8297032
FILED 2020-07-13

HERETO IS ANNEXED RESTRICTIVE COVENANT CA8604323 OVER LOT 3 PLAN EPP87495, LOT 1 PLAN LMP17639, THAT PART OF DL 545 GP 1 NWD SHOWN AS PARCEL 1 ON PLAN EPP84879, THAT PART OF DL 545 GP 1 NWD SHOWN AS PARCEL 2 ON PLAN EPP84879, LOT A PLAN 11876 EXCEPT PLAN EPP87495, AND THE CLOSED PART OF EASTERN AVENUE IN PLAN 8308 OF LOT 2 BLK 207 PLAN 5481

THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 14 OF THE LOCAL GOVERNMENT ACT, SEE CA8604976

NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8614502
FILED 2020-12-01

TITLE SEARCH PRINT

2021-08-17, 11:53:57

File Reference:

Requestor: Elita Fung

NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE CA8614503
FILED 2020-12-01

Charges, Liens and Interests

Nature: COVENANT
Registration Number: CA8128581
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA

Nature: RENT CHARGE
Registration Number: CA8128582
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA

Nature: COVENANT
Registration Number: CA8128583
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA
MODIFIED BY CA8604305

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8128584
Registration Date and Time: 2020-04-07 12:41
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: INTER ALIA

Nature: MODIFICATION
Registration Number: CA8604305
Registration Date and Time: 2020-11-27 14:55
Remarks: INTER ALIA
MODIFICATION OF CA8128583

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8604309
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: PART IN PLAN EPP106371

Nature: COVENANT
Registration Number: CA8604310
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

TITLE SEARCH PRINT

2021-08-17, 11:53:57

File Reference:

Requestor: Elita Fung

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8604319
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Remarks: PART IN PLAN EPP106373

Nature: COVENANT
Registration Number: CA8604320
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604322
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604325
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604329
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: COVENANT
Registration Number: CA8604330
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: STATUTORY RIGHT OF WAY
Registration Number: CA8604331
Registration Date and Time: 2020-11-27 14:55
Registered Owner: THE CORPORATION OF THE CITY OF NORTH VANCOUVER

Nature: LEASE
Registration Number: CA8610790
Registration Date and Time: 2020-12-01 08:23
Registered Owner: DARWIN/MINTO PROPERTIES (M4 AT LONSDALE SQUARE) LTD.
INCORPORATION NO. 1186885

TITLE SEARCH PRINT

2021-08-17, 11:53:57

File Reference:

Requestor: Elita Fung

Nature: MORTGAGE
Registration Number: CA8611671
Registration Date and Time: 2020-12-01 10:38
Registered Owner: BANK OF MONTREAL
Remarks: OF CA8610790

Nature: ASSIGNMENT OF RENTS
Registration Number: CA8611672
Registration Date and Time: 2020-12-01 10:38
Registered Owner: BANK OF MONTREAL
Remarks: OF CA8610790

Nature: OPTION TO PURCHASE
Registration Number: CA8611673
Registration Date and Time: 2020-12-01 10:38
Registered Owner: MINTO APARTMENT GP INC.
INCORPORATION NO. 002633506
Remarks: OF CA8610790

Nature: MORTGAGE
Registration Number: CA8611674
Registration Date and Time: 2020-12-01 10:38
Registered Owner: MINTO APARTMENT GP INC.
INCORPORATION NO. 002633506
Remarks: OF CA8610790

Nature: ASSIGNMENT OF RENTS
Registration Number: CA8611675
Registration Date and Time: 2020-12-01 10:38
Registered Owner: MINTO APARTMENT GP INC.
INCORPORATION NO. 002633506
Remarks: OF CA8610790

Nature: PRIORITY AGREEMENT
Registration Number: CA8612116
Registration Date and Time: 2020-12-01 11:36
Remarks: GRANTING CA8611671 PRIORITY OVER CA8611674 AND CA8611675

Nature: PRIORITY AGREEMENT
Registration Number: CA8612117
Registration Date and Time: 2020-12-01 11:36
Remarks: GRANTING CA8611672 PRIORITY OVER CA8611674 AND CA8611675

Duplicate Indefeasible Title NONE OUTSTANDING

TITLE SEARCH PRINT

File Reference:

2021-08-17, 11:53:57

Requestor: Elita Fung

Transfers

NONE

Pending Applications

NONE