



AGENDA FOR THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON MONDAY, FEBRUARY 6, 2023 AT 6:00 PM

“Live” Broadcast via City Website www.cnv.org/LiveStreaming
Complete Agenda Package available at www.cnv.org/CouncilMeetings

The City of North Vancouver acknowledges that this Council meeting is held on the traditional territories of the Squamish and Tsleil-Waututh Nations.

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, February 6, 2023

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, January 16, 2023

PROCLAMATIONS

Black History Month – February 2023

Heart Month – February 2023

PUBLIC INPUT PERIOD

CONSENT AGENDA

Items *3 and *4 are listed in the Consent Agenda and may be considered separately or in one motion.

BYLAWS – ADOPTION

- *3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935” (Scott Mitchell / METRIC Architecture, 328 West 14th Street, CD-756)
- *4. “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC Architecture, 328 West 14th Street)

PUBLIC MEETING – 1311 Lonsdale Avenue

MOTION

5. Temporary Use Permit No. PLN2022-00031 (1311 Lonsdale Avenue)

BYLAW – FIRST, SECOND AND THIRD READINGS

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8956”
(Bharati Shrestha / Maple Building Design, 229 East 22nd Street, RT-1)

REPORTS

7. Renewal of Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre
8. Rezoning for Lands Under Land Use Contracts

NOTICE OF MOTION

9. Eastview Park Safety Review – Councillor Bell, Councillor Girard and
Councillor Valente

PUBLIC CLARIFICATION PERIOD

COUNCIL INQUIRIES / REPORTS

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

RECESS TO CLOSED SESSION

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

ADJOURN

CALL TO ORDER

APPROVAL OF AGENDA

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PROCLAMATIONS

Black History Month – February 2023

Heart Month – February 2023

PUBLIC INPUT PERIOD

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.” The time allotted for each speaker addressing Council during the Public Input Period is 2 minutes, with the number of speakers set at 5 persons. Speakers’ comments will be audio recorded, as well as live-streamed on the City’s website, and will form part of the public record.

Speakers during the Public Input Period are permitted to join the meeting electronically via Webex or in person in the Council Chamber.

There are 2 ways to sign up to speak during the Public Input Period:

- 1) Speakers participating electronically must pre-register by 12:00 noon on the day of the Council meeting by completing the online form at cnv.org/PublicInputPeriod, or by phoning 604-990-4230 to provide contact information. Pre-registrants will receive instructions via email or phone on the afternoon of the Council meeting, including a request to connect to the meeting 15-30 minutes before the meeting start time.
- 2) Speakers participating in person must sign the speaker list located outside the Council Chamber between 5:30 and 5:55 pm on the day of the Council meeting. No late speakers will be added to the list.

If a speaker has written material to accompany their comments, the material must be sent to the Corporate Officer at clerks@cnv.org no later than 12:00 noon on the day of the Council meeting.

The Public Input Period offers an opportunity to express comments only; Council is there to listen and questions will not be responded to. Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items listed in section 12.25(2).

Speakers are not to address matters from a concluded Public Hearing or Public Meeting. When a Public Hearing / Meeting is scheduled on the same evening’s agenda, speakers are asked to only provide input when that item comes forward for discussion on the agenda in order for the comments to be considered and form part of the official record.

Please address the Mayor as “Your Worship” or “Mayor, followed by his/her surname”.
Councillors should be addressed as “Councillor, followed by their surname”.

CONSENT AGENDA

Items *3 and *4 are listed in the Consent Agenda and may be considered separately or in one motion.

RECOMMENDATION:

THAT the recommendations listed within the “Consent Agenda” be approved.

START OF CONSENT AGENDA

BYLAWS – ADOPTION

- *3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935”
(Scott Mitchell / METRIC Architecture, 328 West 14th Street, CD-756)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935”
(Scott Mitchell / METRIC Architecture, 328 West 14th Street, CD-756) be
adopted, signed by the Mayor and Corporate Officer and affixed with the
corporate seal.

- *4. “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC
Architecture, 328 West 14th Street)

RECOMMENDATION:

THAT “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC
Architecture, 328 West 14th Street) be adopted, signed by the Mayor and
Corporate Officer and affixed with the corporate seal.

END OF CONSENT AGENDA

PUBLIC MEETING – 1311 Lonsdale Avenue – 6:00 pm

Temporary Use Permit No. PLN2022-00031 would permit a real estate leasing/sales office at 1311 Lonsdale Avenue, operated by Three Shores, for marketing of their various development projects. The permit would allow the business to operate at the address for a period of up to 3 years.

Temporary Use Permit No. PLN2022-00031 to be considered under Item 5.

AGENDA

Staff presentation

Representations from the public

Questions and comments of Council

Motion to conclude the Public Meeting

MOTION

5. Temporary Use Permit No. PLN2022-00031 (1311 Lonsdale Avenue)
– File: 09-4520-20-0005/2022

RECOMMENDATION:

THAT Temporary Use Permit No. PLN2022-00031 (1311 Lonsdale Avenue) be issued to Hollyburn Legacy Properties Ltd., Inc. No. BC0791622, in accordance with Section 493 of the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign Temporary Use Permit No. PLN2022-00031.

BYLAW – FIRST, SECOND AND THIRD READINGS

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8956”
(Bharati Shrestha / Maple Building Design, 229 East 22nd Street, RT-1)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8956”
(Bharati Shrestha / Maple Building Design, 229 East 22nd Street, RT-1) be given first, second and third readings.

Application considered by Council on January 16, 2023; notice published on January 25 and February 1, 2023.

No Public Hearing held.

REPORTS

7. Renewal of Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre
– File: 09-4520-20-0005/2022

Report: Development Planner, January 25, 2023

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated January 25, 2023, entitled “Renewal of Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre”:

THAT Temporary Use Permit No. PLN2022-00030 (renewal of Temporary Use Permit No. TUP2019-00001), to permit a sales centre at 658 East 3rd Street, be renewed for an additional term expiring on October 27, 2025, in accordance with Section 497 of the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the renewal of the Temporary Use Permit.

8. Rezoning for Lands Under Land Use Contracts – File: 06-2210-10-0004/1

Report: Planner 2, January 25, 2023

RECOMMENDATION:

PURSUANT to the report of the Planner 2, dated January 25, 2023, entitled “Rezoning for Lands Under Land Use Contracts”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8952” (Land Use Contract Legacy Regulations and New RG-2A Zone) be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

AND THAT notification be circulated in accordance with the *Local Government Act*.

NOTICE OF MOTION

9. Eastview Park Safety Review – File: 12-6130-20-0014/1

Submitted by Councillor Bell, Councillor Girard and Councillor Valente

RECOMMENDATION:

WHEREAS a key priority for the City of North Vancouver is to be a City for people that is welcoming, inclusive, safe, accessible, and supports the health and wellbeing of all;

WHEREAS City parks are natural areas of ecological diversity that allow community members to enjoy active lifestyles year round and are critical components of a healthy and complete community;

WHEREAS City parks must be adapted to changing demographics, environmental conditions and evolving patterns of community needs;

WHEREAS the City's Parks Master Plan requires the continued monitoring of impacts of use on environmental resources and adjustment of design and operations practices, as needed, to minimize these impacts;

WHEREAS the City's Parks Master Plan designates Eastview Park as a "Natural Area" that includes lands that are environmentally sensitive areas (for example, creeks, forests, etc.);

AND WHEREAS residents in the vicinity of Eastview Park and park users have communicated concerns about ongoing conflicts in park uses that are impacting the inclusivity, accessibility, and safety of this park, as well as concerns of degradation of soil and Indigenous plants and trees in the park;

THEREFORE BE IT RESOLVED that staff be directed to evaluate options that ensure the long-term sustainability of Eastview Park as a welcoming and safe place for people of all ages and abilities by addressing the potential for conflict between Eastview Park uses, including disc golf users, through the possible relocation of disc golf to another City or Metro Vancouver park.

PUBLIC CLARIFICATION PERIOD

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for the public to ask a question regarding process or clarification on an item on the Regular Council Agenda. The Public Clarification Period concludes after 10 minutes and the Regular Council Meeting reconvenes.

COUNCIL INQUIRIES / REPORTS

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

RECESS TO CLOSED SESSION

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Sections 90(1)(a) [personal information], 90(1)(k) [proposed service] and 90(2)(b) [contract negotiations].

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

ADJOURN



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

PUBLIC HEARING / PUBLIC MEETING GUIDELINES

The purpose of **Public Hearings** is to provide members of the public an opportunity to make representations to Council regarding proposed changes to zoning bylaws, heritage designations or the Official Community Plan. Public Hearings are included as part of a Regular Council agenda and governed by the provisions of the *Local Government Act*.

The purpose of **Public Meetings** is to provide members of the public an opportunity to make representations to Council regarding various issues and/or proposed changes that do not require a Public Hearing, such as a Development Variance Permit or Temporary Use Permit. North Vancouver residents can participate in the civic process of a Public Meeting that may affect their community, property and interests.

All persons who believe their interest in property is affected by a proposed bylaw or permit are afforded a reasonable opportunity to be heard, voice concerns or present written submissions regarding matters contained within the bylaw/permit.

All written submissions and representations made at a Public Hearing or Public Meeting will form part of the official public record. Minutes of the Public Hearing/Public Meeting and a video recording of the proceedings will be posted on the City's website at cnv.org.

To provide written input: All written submissions must include your name and address. If this information is not provided, it cannot be included as part of the public record. Email submissions sent to the Corporate Officer at input@cnv.org are preferred, and hand-delivered or mailed submissions will also be accepted. **The deadline to submit written submissions is 12:00 noon on the day of the Public Hearing/Public Meeting.**

To speak at a Public Hearing or Public Meeting:

In person at City Hall: On the day of the meeting, a sign-up sheet will be available in the lobby, outside the Council Chamber, from 5:30pm. Enter City Hall through the doors at the southwest corner of the building (off 13th Street) after 5:30pm.

Via Webex/phone: Pre-register by completing the online form at cnv.org/PublicHearings, or by phoning 604-990-4230 to provide contact details, so call-in instructions can be forwarded to you. **All Webex/phone pre-registration must be submitted no later than 12:00 noon on the day of the Public Hearing/Public Meeting.**

Non-registered speakers: Speakers who have not pre-registered will also have an opportunity to provide input. Once all registered speakers have spoken, the Mayor will call for a recess to allow time for additional speakers to phone in or speak in person. Call-in details will be displayed on-screen during the livestream at cnv.org/LiveStreaming.

Continued...



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

PUBLIC HEARING / PUBLIC MEETING GUIDELINES – Continued

Comments from the public must specifically relate to the proposed bylaw/permit or subject of the Public Hearing/Public Meeting. Speakers are asked to avoid repetitive comments and not to divert to other matters.

Speakers will be asked to confirm their name and address for the record and will be provided one 5-minute opportunity to present their comments. Everyone will be given a reasonable opportunity to be heard and no one should feel discouraged or prevented from making their views known.

Procedural rules for the conduct of a Public Hearing/Public Meeting are set at the call of the Chair. Council's main function is to listen to the views of the public regarding the change of land use in the proposed bylaw/permit. It is not the function of Council to debate the merits of an application with speakers. Questions from members of the public and Council must be addressed through the Chair.

Once the Public Hearing/Public Meeting concludes, no further information or submissions can be considered by Council.

Following adjournment of the Public Hearing/Public Meeting, the Regular meeting reconvenes and the bylaw/permit is discussed and debated by members of Council, followed by consideration of third reading of the bylaw or approval of the permit.



**MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON
MONDAY, JANUARY 16, 2023**

PRESENT

COUNCIL MEMBERS

Mayor L. Buchanan
Councillor H. Back
Councillor D. Bell
Councillor A. Girard
Councillor J. McIlroy
Councillor S. Shahriari
Councillor T. Valente

STAFF MEMBERS

L. McCarthy, CAO
K. Graham, Corporate Officer
C. Baird, Deputy Corporate Officer
B. Pearce, Deputy CAO / Director, Strategic and Corporate Services
H. Granger, City Solicitor
L. Sawrenko, Chief Financial Officer
J. Draper, Acting Director, Planning and Development
R. Basi, Manager, Development Planning
E. Elliot, Manager, Transportation Planning
B. Underhill, Planner
L. Maultsaid-Blair, Planner
K. Magnusson, Director, Engineering, Parks and Environment
B. Willock, Senior Manager, Engineering Planning and Design
J. Hall, Manager, Public Realm Infrastructure
L. Orr, Acting Director, Community and Partner Engagement
J. Robertson, Senior Manager, Communications and Engagement
G. Schalk, Public Safety Director and Fire Chief
J. Peters, Assistant City Clerk

The meeting was called to order at 6:00 pm.

APPROVAL OF AGENDA

Moved by Councillor Bell, seconded by Councillor Girard

1. Regular Council Meeting Agenda, January 16, 2023

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Moved by Councillor Shahriari, seconded by Councillor Back

2. Regular Council Meeting Minutes, December 12, 2022

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES – Continued

Moved by Councillor Shahriari, seconded by Councillor Back

3. Special Regular Council Meeting Minutes, December 15, 2022

CARRIED UNANIMOUSLY

PROCLAMATION

Mayor Buchanan declared the following proclamation:

Alzheimer's Awareness Month – January 2023

PUBLIC INPUT PERIOD

- Derrick Daniels, 1651 Westover Road, North Vancouver, spoke regarding St. Andrew's road safety.
- Raymond Dennis, 126 East 12th Street, North Vancouver, spoke regarding St. Andrews bike path.
- Wendy Nielsen, 725 St. Andrews Avenue, North Vancouver, spoke regarding St. Andrew's road safety improvements.
- Joanne Laubach, 1352 Grand Boulevard, North Vancouver, spoke regarding St. Andrews bike lane.
- Alex Choi, BC Medical Health Officer, 132 West Esplanade Avenue, North Vancouver, spoke regarding the importance of active transportation for population health.

DELEGATION

Dennis Hilton and Bradley Hodson, Members, Residents' Alternative Design Plan for St. Andrews Avenue

Re: St. Andrews Safety Improvements Project

Dennis Hilton and Bradley Hodson, Members, Residents' Alternative Design Plan for St. Andrews Avenue, provided a PowerPoint presentation regarding the "St. Andrews Safety Improvements Project" and responded to questions of Council.

CORRESPONDENCE

4. Dennis Hilton, Member, Residents' Alternative Design Plan for St. Andrews Avenue, November 16, 2022 – File: 16-8480-20-0034/1

Re: St. Andrews Safety Improvements Project

Moved by Councillor McIlroy, seconded by Councillor Back

THAT the correspondence from Dennis Hilton, Member, Residents' Alternative Design Plan for St. Andrews Avenue, dated November 16, 2022, regarding the "St. Andrews Safety Improvements Project", be received with thanks.

CARRIED UNANIMOUSLY

Mayor Buchanan declared a recess from 6:58 to 7:00 pm.

PRESENTATION

Winter 2023 Mobility Strategy Implementation Update – Manager, Transportation Planning and Manager, Public Realm Infrastructure

The Manager, Transportation Planning and Manager, Public Realm Infrastructure provided a PowerPoint presentation regarding the “Winter 2023 Mobility Strategy Implementation Update” and responded to questions of Council, along with the Director, Engineering, Parks and Environment.

REPORT

5. Zoning Bylaw Amendment for 229 East 22nd Street (Bharati Shrestha, Maple Building Design) – File: 08-3400-20-0080/1

Report: Planner 1, January 4, 2023

Moved by Councillor McIlroy, seconded by Councillor Back

PURSUANT to the report of the Planner 1, dated January 4, 2023, entitled “Zoning Bylaw Amendment for 229 East 22nd Street (Bharati Shrestha, Maple Building Design)”:

THAT the application submitted by Bharati Shrestha / Maple Building Design, to rezone the property located at 229 East 22nd Street from a RS-1 Zone to a RT-1 Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*,

AND THAT notification be circulated in accordance with the *Local Government Act*.

CARRIED UNANIMOUSLY

PUBLIC CLARIFICATION PERIOD

Mayor Buchanan declared a recess at 8:05 pm for the Public Clarification Period and reconvened the meeting immediately after.

COUNCIL INQUIRIES / REPORTS

Nil.

NEW ITEMS OF BUSINESS

Nil.

NOTICES OF MOTION

Nil.

RECESS TO CLOSED SESSION

Moved by Councillor Back, seconded by Councillor McIlroy

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Sections 90(1)(e) [land matter], 90(1)(i) [legal advice] and 90(1)(k) [proposed service].

CARRIED UNANIMOUSLY

The meeting recessed to the Committee of the Whole, Closed Session, at 8:05 pm and reconvened at 10:07 pm.

REPORT OF THE COMMITTEE OF THE WHOLE

6. Legal and Land Matter – File: 10-4710-01-0001/2023

Report: Chief Administrative Officer, January 16, 2023

Moved by Councillor Valente, seconded by Councillor Back

PURSUANT to the report of the Chief Administrative Officer, dated January 16, 2023, regarding a legal and land matter:

THAT the action taken by the Committee of the Whole (Closed Session) be ratified;

AND THAT the report of the Chief Administrative Officer, dated January 16, 2023, remain in the Closed session.

CARRIED UNANIMOUSLY

ADJOURN

Moved by Councillor Bell, seconded by Councillor Back

THAT the meeting adjourn.

CARRIED UNANIMOUSLY

The meeting adjourned at 10:08 pm.

“Certified Correct by the Corporate Officer”

CORPORATE OFFICER



Office of the Mayor

CITY OF NORTH VANCOUVER
BRITISH COLUMBIA

Proclamation

BLACK HISTORY MONTH

Whereas

the City of North Vancouver is a culturally diverse place where all people are welcomed, included, and celebrated;

Whereas

the City of North Vancouver supports Black History Month with the intent of advancing equality for Black Canadians, by opposing anti-Black racism and intolerance, and by listening to and learning from Black histories of continued injustices;

Whereas

the City's efforts in advancing a more inclusive community coincides with the United Nations' declaration of the International Decade for People of African Descent (2015-2024) which encourages countries to promote the human rights of people of African descent; and

Whereas

Canada's 2023 theme for Black History Month, "The Black Family: Source of Perseverance and Resilience" reminds us that the support structures and relationships formed out of strong family bonds make us stronger and are an aspect of success in navigating the complexities of society's racial inequities;

Now Therefore

I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **February 2023** as **Black History Month** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, February 6, 2023

Linda C. Buchanan

Mayor Linda Buchanan



Office of the Mayor

CITY OF NORTH VANCOUVER
BRITISH COLUMBIA

Proclamation

HEART MONTH

Whereas

the Heart & Stroke Canvassing Campaign takes place in February of each year to raise awareness and raise funds to support life-saving research on heart disease and stroke and share vital health information with the public;

Whereas

heart disease or stroke takes a Canadian life every seven minutes; and the Heart & Stroke's mission is to improve the health of Canadians by preventing and reducing disability and death from heart disease and promoting recovery of heart disease and stroke;

Whereas

heart disease is on the rise in women, some risk factors for and symptoms of heart disease are different for women than for men, and Wear Red Canada Day on February 13 is an opportunity to raise awareness of women's cardiovascular health issues and to show support for women at risk of and suffering from heart disease; and

Whereas

we commend the thousands of volunteers, staff and researchers for their dedication and commitment and wish them continued success;

Now Therefore

I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **February 2023** as **Heart Month** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, February 6, 2023

Linda C. Buchanan

Mayor Linda Buchanan

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8935

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935**” (Scott Mitchell / METRIC Architecture, 328 West 14th Street, CD-756).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-756 (Comprehensive Development 756 Zone):

Lots	Block	D.L.	Plan	
19	47	271	1658	from RS-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following section to Section 1100, thereof, after the designation “CD-755 Comprehensive Development 755 Zone”:

“CD-756 Comprehensive Development 756 Zone”

- B. Adding the following to Section 1101, thereof, after the “CD-755 Comprehensive Development 755 Zone”:

“CD-756 Comprehensive Development 756 Zone”

In the CD-756 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RT-1 Zone, except that:

- (1) Three Principal Buildings shall be permitted on one Lot;
- (2) The permitted Principal Use on the Lot shall be limited to:
 - (a) Two Principal Dwelling Units in the southernmost heritage building;
 - (i) One Accessory Lock-Off Unit is permitted for each Dwelling Unit;
 - (b) Two Principal Dwelling Units in the two northernmost infill buildings;
- (3) The Principal Buildings shall not exceed a combined Gross Floor Area of 0.69 times the Lot Area. For the purposes of CD-756 the following areas shall be excluded from Gross Floor Area calculations:

- (a) The attached carport area connected to the northernmost infill buildings;
 - (b) Bicycle parking storage;
 - (c) Garbage and recycling enclosure area;
- (4) The Principal Buildings shall not exceed a combined Lot Coverage of 48 percent;
- (5) The Principal Buildings shall be sited as follows:
- (a) The southernmost Principal Building (heritage home) shall be not less than:
 - (i) 4.9 metres (15.9 feet) from the Front Lot Line;
 - (ii) 23.8 metres (78.1 feet) from the Rear Lot Line;
 - (iii) 3.0 metres (9.9 feet) from the western Interior Lot Line;
 - (iv) 1.9 metres (6.2 feet) from the eastern Interior Lot Line;
 - (b) The northernmost Principal Buildings (infill buildings) shall be not less than:
 - (i) 29.8 metres (97.8 feet) from the Front Lot Line;
 - (ii) 3.0 metres (10.0 feet) from the Rear Lot Line;
 - (iii) 1.2 metres (4.0 feet) from the Interior Lot Line;
 - (iv) 2.4 metres (8.0 feet) from another infill building;
- (6) The attached carport shall be sited not less than 0.6 metres (2.0 feet) from the Rear Lot Line
- (7) The southernmost Principal Building (heritage home) shall not exceed a Height of 10.3 metres (33.7 feet) (maximum geodetic height of 260.5 feet)
- (8) The northernmost Principal Buildings (infill buildings) shall not exceed a Height of 8.2 metres (27.0 feet) (maximum geodetic height of 253.7 feet)
- (9) Each Dwelling Unit shall have access to 2 secure Bicycle Parking Spaces and a total of 8 shall be provided;

- (10) Section 10A02(1)(c) shall be varied to permit Bicycle Parking Space overhead clearance height of no less than 1.5 metres (5.0 feet).

READ a first time on the 20th day of June, 2022.

READ a second time on the 20th day of June, 2022.

READ a third time on the 11th day of July, 2022.

ADOPTED on the <> day of <>, 2022.

MAYOR

CORPORATE OFFICER

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8932

A Bylaw to Designate a Municipal Heritage Site

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Heritage Designation Bylaw, 2022, No. 8932**” (Scott Mitchell / METRIC Architecture, 328 West 14th Street).
2. Pursuant to the *Local Government Act*, the following lands, buildings and structures are, in their entirety, designated as a protected heritage property:

Street Address: 328 West 14th Street, North Vancouver

Common Name / Description: Knowles Residence

Legal Description: LOT 19, BLOCK 47, DISTRICT LOT 271, PLAN 1658 PID 014-493-004

3. Pursuant to the *Local Government Act*, this bylaw requires adherence to the City of North Vancouver’s “Heritage Conservation Procedures Bylaw, 2013, No. 8292”.

READ a first time on the 20th day of June, 2022.

READ a second time on the 20th day of June, 2022.

READ a third time on the 11th day of July, 2022.

ADOPTED on the <> day of <>, 2022.

MAYOR

CORPORATE OFFICER

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Huy Dang, Planner 1

Subject: TEMPORARY USE PERMIT – 1311 LONSDALE AVE – TEMPORARY SALES OFFICE

Date: November 30, 2022 File No: 08-3400-20-0103/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated November 30, 2022, entitled “Temporary Use Permit – 1311 Lonsdale Ave – Temporary Sales Office”:

THAT Temporary Use Permit No. PLN2022-00031 (Three Shores) to permit a sales office at 1311 Lonsdale Avenue for a three-year term, be considered;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a Public Meeting be held.

ATTACHMENTS

1. Context Map (CityDocs [2296007](#))
2. Applicant’s Proposal Letter (CityDocs [2296938](#))
3. Architectural Plans, dated October 2022 (CityDocs [2240643](#))
4. Temporary Use Permit No. PLN2022-00031 (CityDocs [2296177](#))

SUMMARY

This application from Three Shores, proposes the temporary use of a sales office within one of the building’s ground level commercial-retail units at 1311 Lonsdale Avenue, which fronts onto the street. The proposed sales office is intended for the sale and marketing of residential units operated by Three Shores throughout the City. The mixed-use building has two storeys of existing and operating commercial and office units

starting at the ground level, with the remaining storeys above dedicated to rental residential use.

Table 1. Request for 1311 Lonsdale Ave

	Current Designation/Regulation	Proposed Designation/Regulation
Zone	CD-677	CD-677/TUP

POLICY FRAMEWORK

The subject site has a land use designation in the Official Community Plan (OCP) of Mixed Use Level 4B (MU4B), which allows for a mix of higher density residential and commercial uses, including retail and office uses.

The Temporary Use Permit (TUP) is required as the use of a general sales office is not permitted within the Retail Service Group 1A provision for ground level units, as per the property’s Comprehensive Development 677 (CD-677) Zone. The OCP allows for a TUP to be issued in accordance with the policy below:

Table 2. Temporary Use Permits

Official Community Plan	
Policy 2.7 Temporary Use Permits	<p>The OCP grants the ability for Temporary Use Permits (TUP) to be issued for short-term uses to site-specific locations that are otherwise not permitted under current zoning.</p> <p>The OCP designates all areas of the City to be a TUP area where TUP’s can be granted, should the temporary use be in the interest of the public in general and the public has been advised of, and allowed to comment on, through a public meeting.</p> <p>Temporary Use Permits are valid for three years when approved by Council and can only be renewed by Council once for another three year term. The permit can not exceed the combined six year term.</p>

PLANNING ANALYSIS

The proposed sales office would occupy the vacant 167.4 square metre (1801.7 square feet) commercial ground level unit at 1311 Lonsdale Avenue, otherwise identified as “CRU #2” as outlined within the Architectural Plans (Attachment 3). The sales office would include a reception desk, display models, seating areas, and a replica suite. The applicant has submitted a Building Permit to construct the described works, and staff will resume their reviews should this TUP be approved by Council.

As per the CD-677 zone, only Retail Service Group 1A and Childcare uses are permitted within ground level commercial units of the building. Staff note that the Retail Service Group 1A definition in the Zoning Bylaw generally includes more active commercial and retail business uses that would facilitate more foot traffic and frequent drop-in services, such as retail stores, service shops, and restaurants. These uses

would help facilitate a more activated street frontage along Lonsdale Avenue and West 13th Street, which is the desired intent behind the property's CD-677 zoning. Less active uses such as standard business and professional offices, and by definition, a sales office, are not included in this definition. However, staff note that they are included within the Retail Service Group 1 use definition, which is currently permitted in the commercial units above the ground level, under the same zone.

The applicant has expressed a desire to occupy a ground level unit as it would provide more convenient access for commercial foot traffic and have provided additional clarity to staff that the use would continue to facilitate an active street frontage alongside its neighbouring commercial units. This includes maintaining fully transparent window glazing and locating the interactive models and seating areas towards the storefront as shown on the Architectural Plans (Attachment 3). The TUP (Attachment 4) will include conditions to maintain the active street interface throughout the duration of the permit as well. Given that this is not a standard office use, and is anticipated to generate more activity similar in scale to other permissible uses within the Retail Service Group 1A definition, staff are supportive of the temporary use.

Within the period of the TUP if approved, the applicant plans on utilizing the space to showcase various Council or staff-approved Three Shores projects at various properties that they own, and the unit will be converted back to a standard commercial unit once the TUP expires, not including a potential renewal.

CONCLUSION

Staff are supportive of the TUP proposal for the subject sales office use, which appears to serve the desired intent of the zone in regards to maintaining an active street frontage, and is supported through the OCP's mixed-use land use designation.

RESPECTFULLY SUBMITTED:

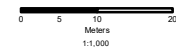


Huy Dang
Planner 1

City of North Vancouver
1311 Lonsdale Ave

Legend

- Subject Site
- Legal_Parcels



DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
City of North Vancouver

PLOTTED: 11/20/2012

SOURCE: Various

COORDINATE SYSTEM: NAD 83 UTM Zone 18





November 10, 2022

Mr. Huy Dang
City of North Vancouver
Planning & Development
141 W 14th Street
North Vancouver, BC | V7M 1H9

**RE: 1311 Lonsdale Avenue
Temporary Use Permit**

Dear Mr. Dang:

As per your request, please find below some additional information regarding our Temporary Use Permit application for 1311 Lonsdale Avenue.

Ground Floor Unit

Three Shores had been looking for a marketing centre in Central Lonsdale for some time. As you can appreciate, the opportunity to have an appropriately sized space has been challenging. When 1311 Lonsdale became available, it met all of our criteria, including being on the ground floor. Knowing that the ground floor use was vital to the success of a marketing centre, we confirmed the use with CNV staff prior to entering into a lease. Unlike other office uses, a marketing centre relies on a street front presence that encourages and fosters walk in traffic especially on the weekends. Upper level commercial space does not lend itself to walk by traffic or weekend use.

Visibility and Street Activation

As shown on our Tenant Improvement Application, we are maximizing the visibility into the commercial unit in order to promote walk-in traffic. We are not proposing any window graphics that would restrict or impede the visibility of the space. Through the use of interactive monitors, models and neighbourhood renderings, the space is meant to promote neighbourhood character as well as the North Shore lifestyle. It is designed to encourage and explore the benefits of living in the City of North Vancouver. To encourage an active storefront, all of the business functions have been placed at the back of the unit.

Business Operations

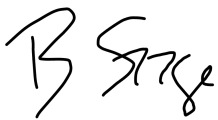
As outlined in our TUP application, Three Shores has a number of residential projects in the City of North Vancouver that are at various stages of redevelopment. We are a North Vancouver based company that is investing in our community and it is important that we have once central location within the City to serve our various projects. We have 2 rental projects that will be completing in in the next 9 months and we are going to begin the lease up program in early 2023. We have another 2 projects that are going through the development process and if we are successful in their approvals then these projects will also use the space.

Long Term Plans

Three Shores has entered into a 2 year lease with the option to extend for up to another 2 years. Once our lease expires the commercial unit will revert back to the owner to be leased by a third party. It is our expectation that the TUP will only be required for 3 years.

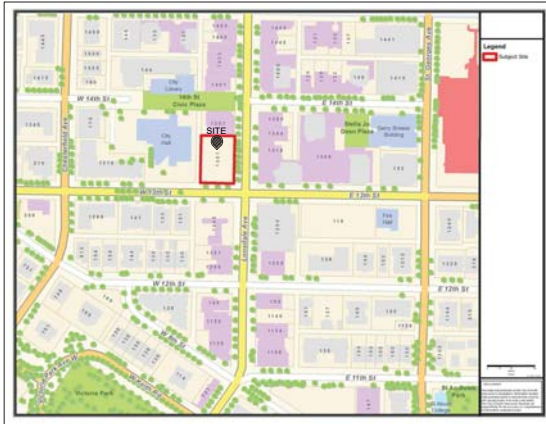
Please let me know if you have any questions or if you require any additional information. We look forward to working with the City.

Yours truly,

A handwritten signature in black ink, appearing to read 'B Savage'.

Barry Savage
Principal

VICINITY MAP



PROJECT DATA

CIVIC ADDRESS:
1311 Lonsdale Avenue, North Vancouver BC

PID: 031-128-351

LEGAL ADDRESS:
Plan EPP99828 District Lot 548 Land District 1
Land District 36 & DL 549 Air Space Parcel 1

ZONING: CD-677

BUILDING CODES:
BC Building Code 2018
Part 3 – Group D – Business and Personal Services

FLOOR AREA:
Existing Floor Area:
CRU: 1,831 ft² / 170.1 m²

TYPE OF PROJECT: TENANT IMPROVEMENT

NUMBER OF STOREYS: 1 STOREY – Ground Floor Retail

SPRINKLER: Yes – Existing

WASHROOMS:
1 Existing Male and 1 Female Washrooms for
Commercial Tenants. (See Path Diagram on A0.1)

SCOPE OF WORK:
CRU Tenant Improvement for a temporary condo sales
center. Scope of project is to create a display suite to
act as a representation of a typical unit plan for the
condo development. The display suite will have
non-functioning plumbing fixtures and kitchen appliances
for representational purposes only.

PROJECT DIRECTORY

CLIENT:
Three Shores Developments

ARCHITECT:
Advent Architecture Inc.
5545 Deerhorn Lane, North
Vancouver, V7R 4S8
Phone: 604.866.5555

DESIGNER/PROJECT MANAGER:
Shawn Rassekh
RAAF PROJECTS
3102-1111 Richards St
Vancouver, BC V6B 3E1
Phone: 236-558-4452

PLUMBING & MECHANICAL:
Fluid Mechanical Engineering Ltd.
2401-1188 Quebec Street
Vancouver, B.C. V6A 4B3
Phone: 604-263-3834

ELECTRICAL:
VT Engineering
6742 Fulton Ave
Burnaby, BC V5E 3H1
Phone: 604-771-5543

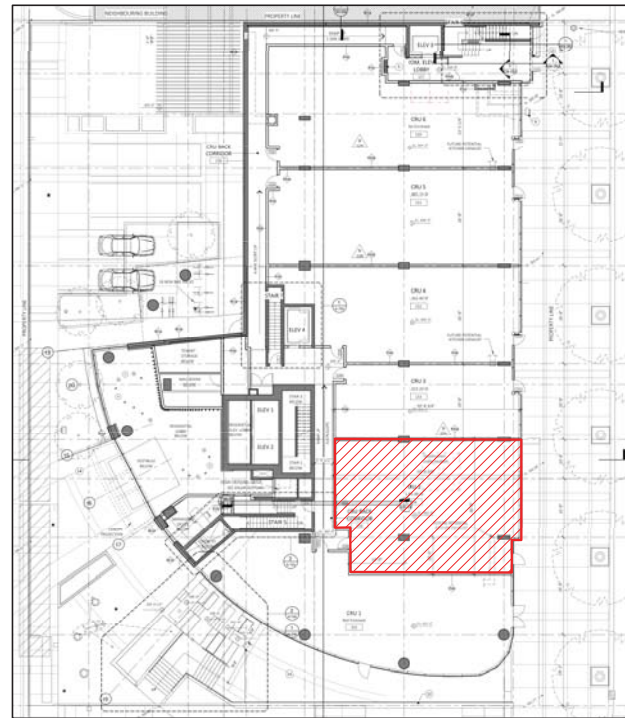
ABBREVIATIONS

AL	ALUMINUM	FC	FACE OF CONCRETE	OV	OVERALL
AN	ANCHOR BOLT	FM	FEET PER MINUTE	PF	PLATE, PROPERTY LINE
AR	AIR HANGLER UNIT	FT	FOOT, FEET	PL	PLATE, PROPERTY LINE
BLK(G)	BLOCKING	FTZ	SQUARE FOOT (FEET)	PLYD	PLYWOOD
BO	BOARD	CF	CUBIC FEET	PSF	POUNDS PER SQ. FOOT
BR	BUILDING	FRG	FURNISHING	PR	POWDER ROOM
CB	CABINET	GA	GALV	R	RANGE
CB	CATCH BASIN	GL	GALVANIZED IRON	RD	ROOF DRAIN
CD	CERAMIC	GR	GROUT	REF	REFRIGERATOR
CHNL	CHANNEL	GV	GALVANIZED	RM	ROOM
CL	CENTER LINE	HD	HARD WOOD	SC	SOLID CORE
CLP	CLEAR	HW	HARDWARE	SEC(ECT)	SECTION
CO	CONCRETE OPENING	HC	HOLLOW CORE	SHF	SHIELDING
CONC	CONCRETE	HDW	HARDWARE	SHR	SHROUD
CONSTR	CONSTRUCTION	HORZ	HORIZONTAL	S & P	SHELF & POLE
CONTR	CONTRACTOR	HR	HANDRAIL	SO	SQUARE
CP	COPY	HW(H)	HOT WATER HEATER	SS	STAINLESS STEEL
DB	DECK DRAIN	ID	INSIDE DIAMETER	STD	STANDARD
DBL	DOUBLE	INCH(")	INCH	STOR(AGE)	STORAGE
DET	DETAIL	INSL	INSULATION	STR	STRIP
DIA	DIAMETER	INT	INTERIOR	STL	STEEL
DSP	DISPOSAL	IRR	IRRIGATION	SW	SWITCH
DN	DOWN	KIT	KITCHEN	SVS(SYST)	SYSTEM
DS	DOWNSPOUT	LAV	LAVATORY	TB	TOWEL BAR
DWG	DRAWING	LB(L)	POUND	TAC	TONGUE AND GROOVE
EA	EACH	MAX	MAXIMUM	THK	THICK
EL	ELEVATION	MCH	MECHANICAL	TPH	TUBE PAPER HOLDER
ELECT	ELECTRICAL	MED CAB	MEDICINE CABINET	TP	TOP OF WALL
EQ	EQUAL	MET	METAL	TY	TYPICAL
EXT	EXTERIOR	MIN	MINIMUM	U.O.N.	UNLESS OTHERWISE NOTED
FA	FIRE ALARM	MISC	MISCELLANEOUS	V	VENT
FAU	FIRE ALARM UNIT	MFR (MFG)	MANUFACTURER	VERT	VERTICAL
FD	FLOOR DRAIN	NC	NOT IN CONTACT	W/	WITH
FHC	FIRE HOSE CABINET	NO(L)	NUMBER	WC	WATER CLOSET
FUR(PL)	FLOOR	N/S	NOT TO SCALE	WH	WATER HEATER
FIB	FACE OF BLOCK	OC	ON CENTER	WP	WATERPROOF
FOS	FACE OF STUD	OD	OUT TO OUT	WT	WEIGHT

SYMBOLS

	SECTION MARKER		SMOKE & CARBON MONOXIDE DETECTOR
	ELEVATION MARKER		MECHANICAL VENTILATION
	INTERIOR ELEVATION MARKER		FIRE EXTINGUISHER
	NORTH ARROW		HOSE BIB
	WALL TYPE		WATER STUB OUT
	KEYNOTE		GAS STUB OUT
	WINDOW MARKER		FLOOR LEVEL CHANGE
	DOOR MARKER		WATER CURTAIN
	MATERIAL KEYNOTE		FIRE DEPARTMENT CONNECTION

KEY PLAN - 1/16" = 1'-0"



SHEET INDEX

ARCHITECTURAL
A0.0 Cover Sheet
A0.1 Bathroom Pathway Diagram
A1.0 Existing & Proposed Plan
A2.0 RCP & Wall Details



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Three Shores Development
Owner

120 E14th Sales Center
Project

1311 Lonsdale Ave
North Vancouver, BC
Location

10.06.2022 BP Application Rev 1
07.05.2022 BP Application
Date (m/d/y): Submittal

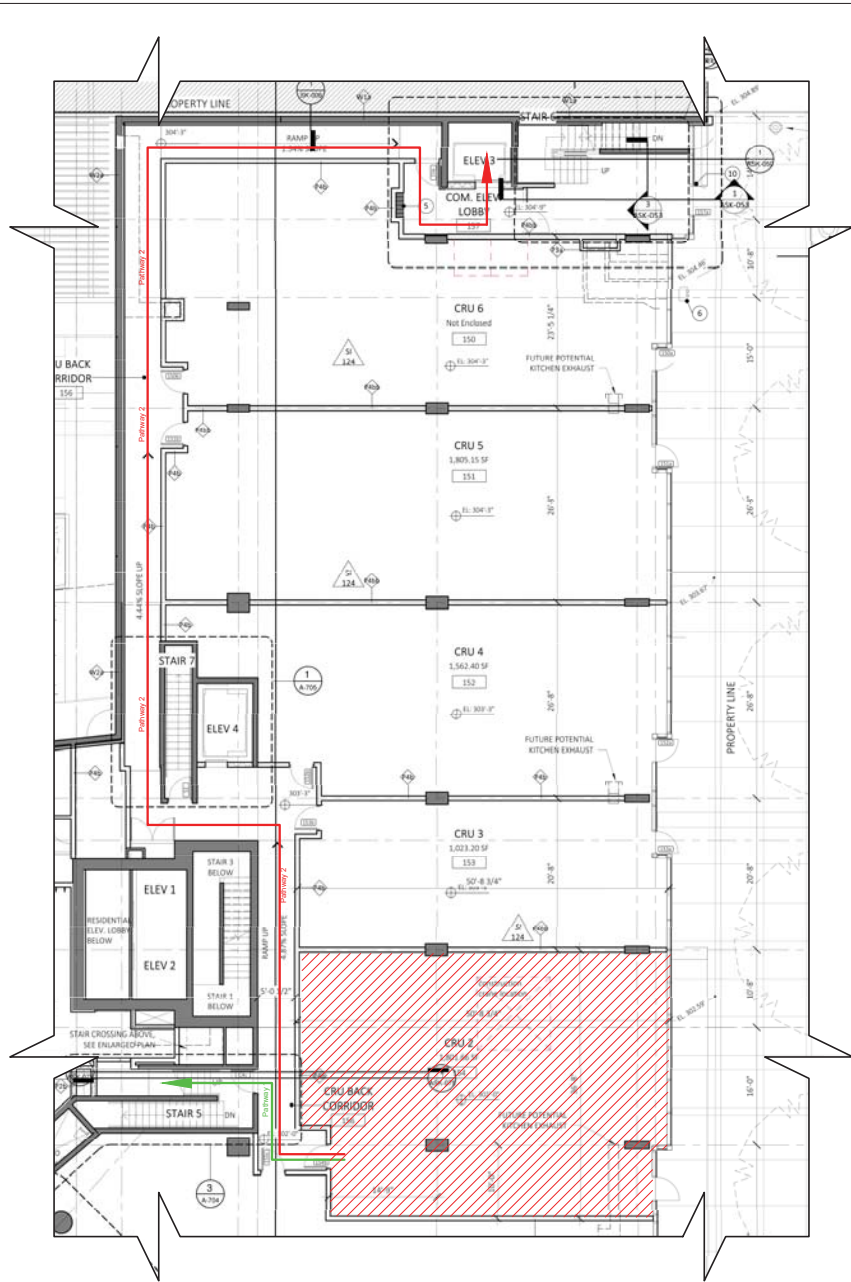
Scale

Project Data

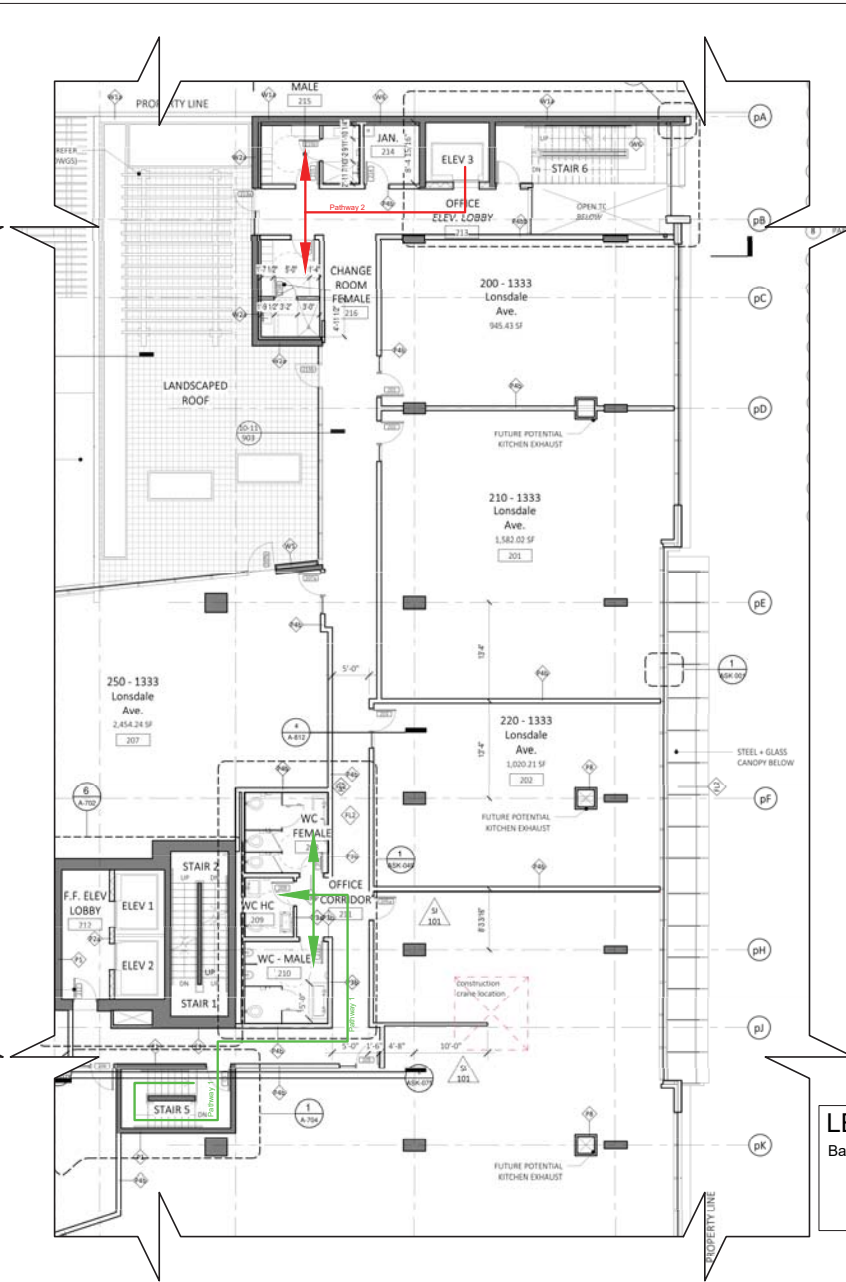
Content

A0.0

Sheet



Ground Floor CRU Plan
1/8" = 1'-0"



Second Floor Plan
1/8" = 1'-0"

LEGEND:
 Bathroom Pathways:
 Pathway 1 ———→
 Pathway 2 ———→

Bathroom Path



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1/4" = 1'-0"
 Scale

Bathroom Path
 Content

A0.1
 Sheet

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7. FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL STRUCTURAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS.
8. ALL STRUCTURAL STEEL MEMBERS AND BASE PLATES TO BE PROTECTED BY ONE COAT OF ANTI-CORROSIVE PRIMER, APPLIED BY FACTORY.
9. GENERAL CONTRACTOR TO VERIFY BEFORE THE START OF CONSTRUCTION THE LOCATION AND DIMENSIONS OF ALL ROUGH OPENINGS AND COORDINATE WITH THE DIMENSIONS OF THE MANUFACTURER.
10. IN CASE OF DISPUTE, THE MOST RESTRICTIVE PRESCRIPTION WILL APPLY.
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12. CONTRACTORS TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC.
13. PROVIDE DOUBLE STUDS, BLOCKING, BRACING AND BACK-UP PLATES WHERE REQUIRED TO SUPPORT EQUIPMENT, MISCELLANEOUS ITEMS (I.E. TYPICAL CASEWORK, CABINETS, GRAB BARS, TOILET ACCESSORIES, ETC)
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18. THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN

19. ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES. WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND MUNICIPAL BY-LAW REQUIREMENTS AND HANDICAPPED ACCESSIBILITY REQUIREMENTS IN EFFECT AT THE TIME OF SUBMITTAL FOR BUILDING PERMITS.
20. THOROUGHLY REVIEW THESE PLANS, VISIT THE SITE, VERIFY ALL DIMENSIONS BEFORE SUBMITTING A BID, AND NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.
21. ITEMS SHOW AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS TO THE BUILDING DEPT. FOR APPROVALS AND PERMITS. INSTALLING CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING EACH REQUIRED PERMIT.
22. ALL TENANT SIGNAGE SHOWN REQUIRES A SEPARATE PERMIT AND APPROVAL PRIOR TO CONSTRUCTION.
23. ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
24. PROVIDE AND INSTALL BACKING AS REQUIRED AT ALL INDICATED FIXTURE, SIGN, HAND RAILING, ETC.

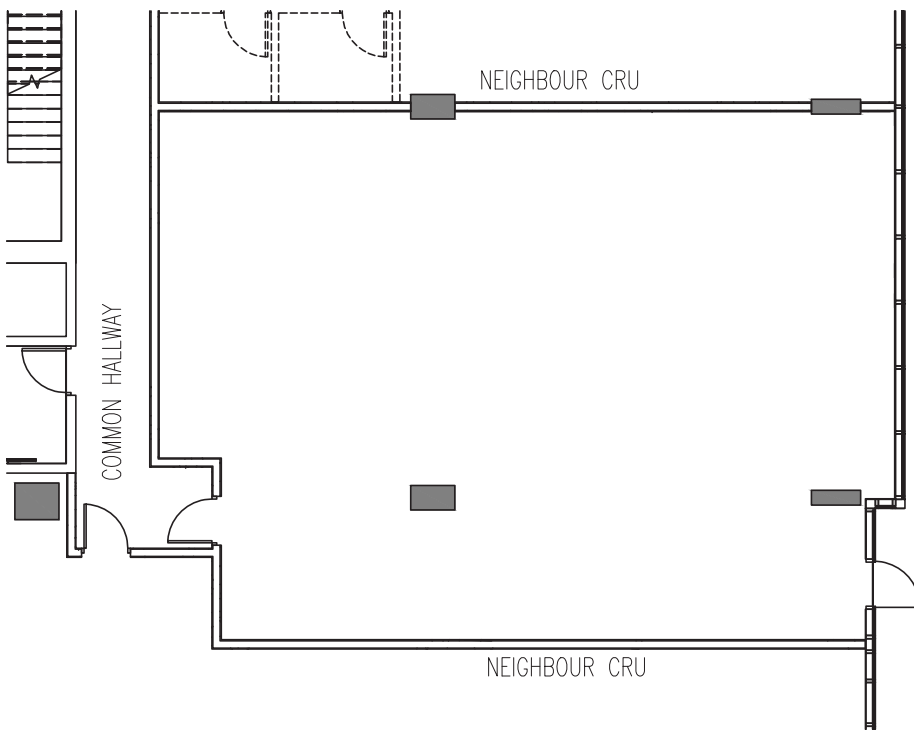
25. PROVIDE LAYER OF CONTINUOUS BUILDING PAPER DAMP PROOFING COURSE TO U/S OF ALL INTERIOR METAL STUD PARTITIONS AND METAL STUD WALLS (TYPICAL).
26. CONTRACTOR TO SUPPLY ALL BUILDING SIGNAGE AS REQUIRED BY AUTHORITY HAVING JURISDICTION. SUBMIT SAMPLES TO DESIGN CONSULTANT FOR APPROVAL.
27. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES (EXISTING OR NEW) TO BE FIRE SEALED IN ACCORDANCE WITH FIRE SEPARATION DESIGN.
28. ANY FIRE SEPARATIONS DAMAGED DUE TO CONSTRUCTION ACTIVITIES TO BE REPAIRED IN ACCORDANCE WITH INSTALLATION/DESIGN REQUIREMENTS FOR TESTED ASSEMBLIES. CONTRACTOR TO REPORT ALL SUCH INSTANCES TO DESIGN CONSULTANT FOR INSPECTIONS.

1. THE LOCAL AUTHORITY, IF DEEMED NECESSARY BY THE CLIENT, THE CONTRACTOR WILL PICK-UP BUILDING PERMIT FROM CITY HALL.
2. ALL MATERIALS SHALL BE INSTALLED AND/OR APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION, AND PHASING OF CONSTRUCTION TO MEET THE CLIENT'S CONSTRUCTION COMPLETION DEADLINE.
4. THE CONTRACTOR SHALL WARRANT, FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, ALL MATERIAL AND WORKMANSHIP EXCEPT OTHERWISE NOTED.
5. DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOUR (SEE SCHEDULE)
6. ALL CONSTRUCTION TO BE CARRIED OUT IN COMPLIANCE WITH APPLICABLE BUILDING AND ACCESSIBILITY CODES.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ORDER ALL LONG LEAD AND DELIVERY ITEMS AT THE PROJECT START TO ENSURE TIMELY INSTALLATION.
8. ANY DISCREPANCIES BETWEEN PLANS AND

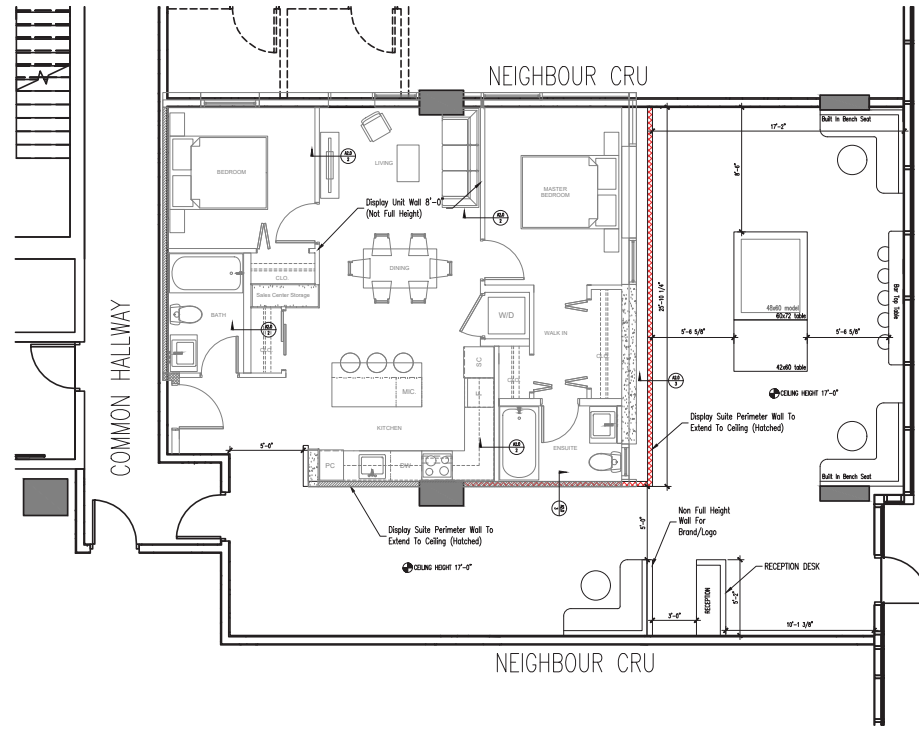
9. EXISTING CONSTRUCTION TO BE SITE MEASURED AND VERIFIED PRIOR TO CONTINUATION OF WORK. DESIGN CONSULTANT TO BE NOTIFIED OF DISCREPANCIES.
10. ALL WORK SHALL CONFORM WITH THE BC BUILDING CODE 2018.
11. MEASURES SHALL BE TAKEN TO CONTAIN ALL CONSTRUCTION DEBRIS, TRASH, AND MATERIALS ON-SITE UNTIL DISPOSAL OFF-SITE CAN BE ARRANGED.
12. GENERAL CONTRACTOR TO OPEN UP BASE BUILDING WALLS AND PROVIDE PLY. BACKING AS REQUIRED ON SITE FOR ELECTRICAL, SECURITY, FIXTURES, ACCESSORIES AND MILLWORK. GC TO MAKE GOOD ALL FINISHES.
13. CONTRACTOR TO PROVIDE ENGINEERED DRAWINGS FOR ALL SEISMIC AND ANCHORING OF ARCHITECTURAL ELEMENTS INCLUDING AND NOT LIMITED TO: GUARDRAIL AND HANDRAIL CONNECTION DETAILS, SUSPENDED CEILING CONNECTIONS AND RESTRAINTS, WALL CONNECTION DETAILS, ETC. SIGNED AND SEALED SCHEDULES S-B AND S-C REQUIRED PRIOR TO FINAL OCCUPANCY DOCUMENTS BEING ISSUED.

GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMIT FEES (EXCEPT BUILDING PERMIT) AND APPLICATIONS REQUIRED BY



Existing CRU Plan 1
1/4" = 1'-0"



Proposed CRU Plan 2
1/4" = 1'-0"



Advent Architecture Inc.
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North Vancouver
V7R 4S8
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PLANS
Content

A1.0
Sheet

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20. THOROUGHLY REVIEW THESE PLANS, VISIT THE SITE, VERIFY ALL DIMENSIONS BEFORE SUBMITTING A BID, AND NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.
21. ITEMS SHOW AS M.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS TO THE BUILDING DEPT. FOR APPROVALS AND PERMITS. INSTALLING CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING EACH REQUIRED PERMIT.
22. ALL TENANT SIGNAGE SHOWN REQUIRES A SEPARATE PERMIT AND APPROVAL PRIOR TO CONSTRUCTION.
23. ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
24. PROVIDE AND INSTALL BACKING AS REQUIRED AT ALL INDICATED FIXTURE, SIGN, HAND RAILING, ETC.

25. PROVIDE LAYER OF CONTINUOUS BUILDING PAPER DAMP PROOFING COURSE TO U/S OF ALL INTERIOR METAL STUD PARTITIONS AND METAL STUD WALLS (TYPICAL).
26. CONTRACTOR TO SUPPLY ALL BUILDING SIGNAGE AS REQUIRED BY AUTHORITY HAVING JURISDICTION. SUBMIT SAMPLES TO DESIGN CONSULTANT FOR APPROVAL.
27. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES (EXISTING OR NEW) TO BE FIRE SEALED IN ACCORDANCE WITH FIRE SEPARATION DESIGN.
28. ANY FIRE SEPARATIONS DAMAGED DUE TO CONSTRUCTION ACTIVITIES TO BE REPAIRED IN ACCORDANCE WITH INSTALLATION/DESIGN REQUIREMENTS FOR TESTED ASSEMBLIES. CONTRACTOR TO REPORT ALL SUCH INSTANCES TO DESIGN CONSULTANT FOR INSPECTIONS.

2. ALL MATERIALS SHALL BE INSTALLED AND/OR APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION, AND PHASING OF CONSTRUCTION TO MEET THE CLIENT'S CONSTRUCTION COMPLETION DEADLINE.
4. THE CONTRACTOR SHALL WARRANT, FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, ALL MATERIAL AND WORKMANSHIP EXCEPT OTHERWISE NOTED.
5. DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOUR (SEE SCHEDULE)
6. ALL CONSTRUCTION TO BE CARRIED OUT IN COMPLIANCE WITH APPLICABLE BUILDING AND ACCESSIBILITY CODES.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ORDER ALL LONG LEAD AND DELIVERY ITEMS AT THE PROJECT START TO ENSURE TIMELY INSTALLATION.
8. ANY DISCREPANCIES BETWEEN PLANS AND

9. ALL WORK SHALL CONFORM WITH THE BC BUILDING CODE 2018
10. MEASURES SHALL BE TAKEN TO CONTAIN ALL CONSTRUCTION DEBRIS, TRASH, AND MATERIALS ON-SITE UNTIL DISPOSAL OFF-SITE CAN BE ARRANGED.
11. GENERAL CONTRACTOR TO OPEN UP BASE BUILDING WALLS AND PROVIDE PLY. BACKING AS REQUIRED ON SITE FOR ELECTRICAL, SECURITY, FIXTURES, ACCESSORIES AND MILLWORK. GC TO MAKE GOOD ALL FINISHES.
12. CONTRACTOR TO PROVIDE ENGINEERED DRAWINGS FOR ALL SEISMIC AND ANCHORING OF ARCHITECTURAL ELEMENTS INCLUDING AND NOT LIMITED TO: GUARDRAIL AND HANDRAIL CONNECTION DETAILS, SUSPENDED CEILING CONNECTIONS AND RESTRAINTS, WALL CONNECTION DETAILS, ETC. SIGNED AND SEALED SCHEDULES S-B AND S-C REQUIRED PRIOR TO FINAL OCCUPANCY DOCUMENTS BEING ISSUED.

GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMIT FEES (EXCEPT BUILDING PERMIT) AND APPLICATIONS REQUIRED BY



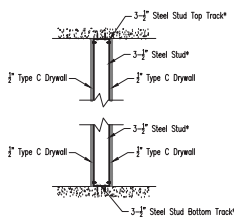
Advent Architecture Inc.
5545 Deerhorn Lane
North Vancouver
V7R 4S8
Phone: 604.866.5555



RAAF PROJECTS
3102-1111 Richards Street
Vancouver, BC, V6B 3E1
Canada
e: shawn@raafprojects.com
t: +1 206 568 4482
w: www.raafprojects.com

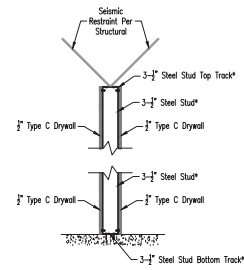
All ideas, designs, arrangements, and plans (including or represented by this drawing) are owned by and the property of Shawn RAAF and shall not be used on other projects, or for any other purpose, without the prior written consent of and appropriate compensation to Shawn RAAF. No part thereof shall be reproduced, copied, adapted, published, sold, distributed or otherwise used without the prior written consent of and appropriate compensation to Shawn RAAF.

*Steel Stud Connection Details to be Confirmed by Structural Engineer

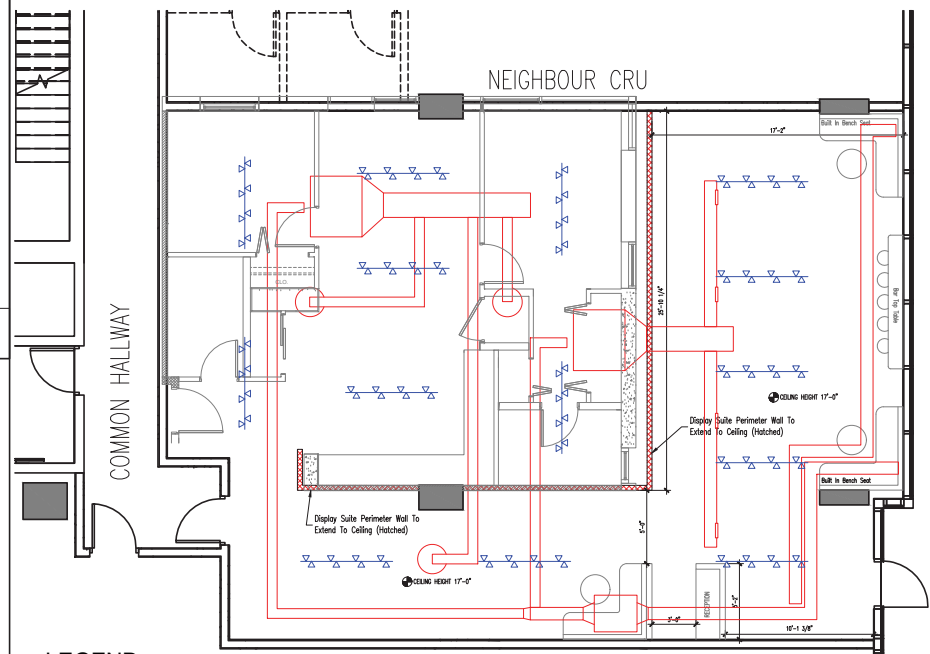


Wall 2: Full Height Wall Detail
1" = 1'-0" **3**

*Steel Stud Connection Details to be Confirmed by Structural Engineer



Wall 1: Partial Height Wall Detail
1" = 1'-0" **2**



LEGEND:

- Lighting
- HVAC
- *Lighting and Mechanical to be confirmed by others. Locations for general representation only.

Proposed RCP Plan
1/4" = 1'-0" **1**

Three Shores Development
Owner

120 E14th Sales Center
Project

1311 Lonsdale Ave
North Vancouver, BC
Location

10 06 2022 BP Application Rev 1
07 05 2022 BP Application
Date (m/d/y) Submittal

1/4" = 1'-0"
Scale

RCP & Details
Content

A2.0
Sheet



Public Meeting

1311 Lonsdale Avenue

Temporary Use Permit No. PLN2022-00031

Presented February 6, 2023

Development Planning



Agenda

- Proposal
 - Official Community Plan (OCP) provisions for Temporary Use Permits
- Site Context
- Proposed Plans
- Planning Assessment

Proposal

- Temporary Use Permit (TUP) application to permit a **real estate marketing office** at 1311 Lonsdale Ave
 - Operated by Three Shores
 - Office intended for marketing of various Three Shores approved development projects
 - The TUP would allow the proposed business to operate at the address for a period of up to 3 years



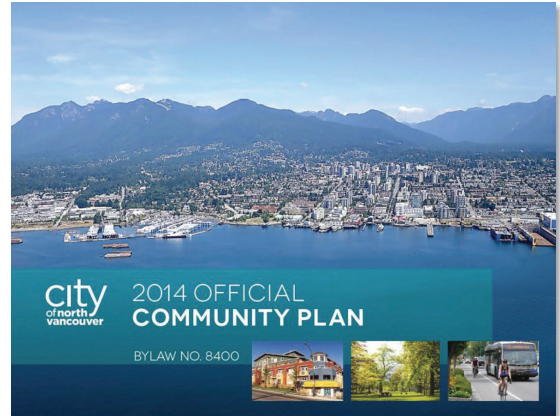
Zoning

- Comprehensive Development 677 Zone (CD-677) only permits **Retail Service Group 1A** uses along ground floor
 - General office uses are not permitted under this definition

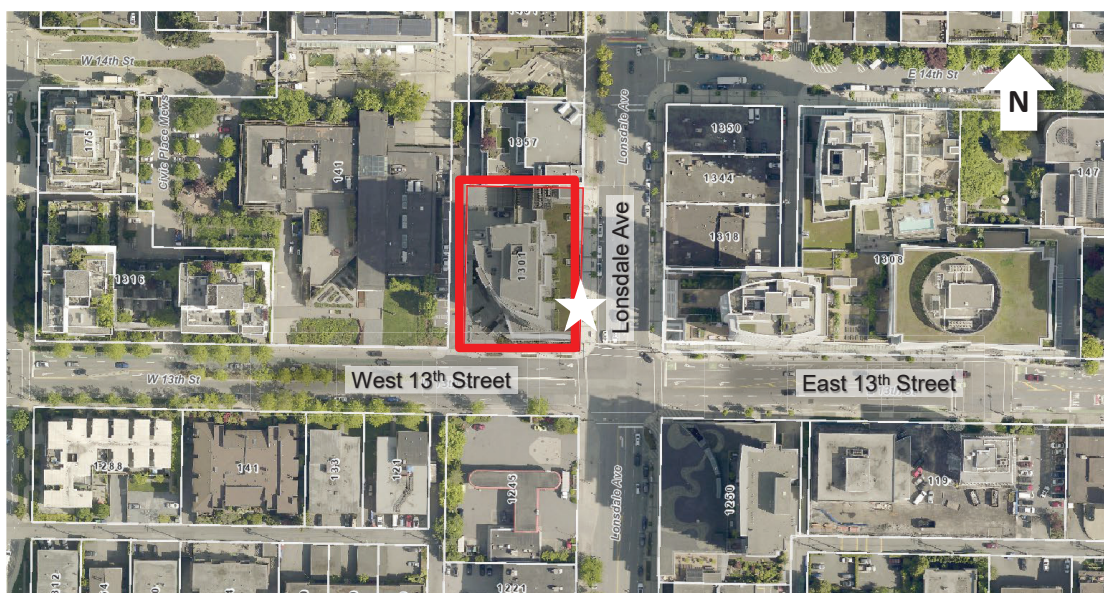


OCP Provisions for TUPs

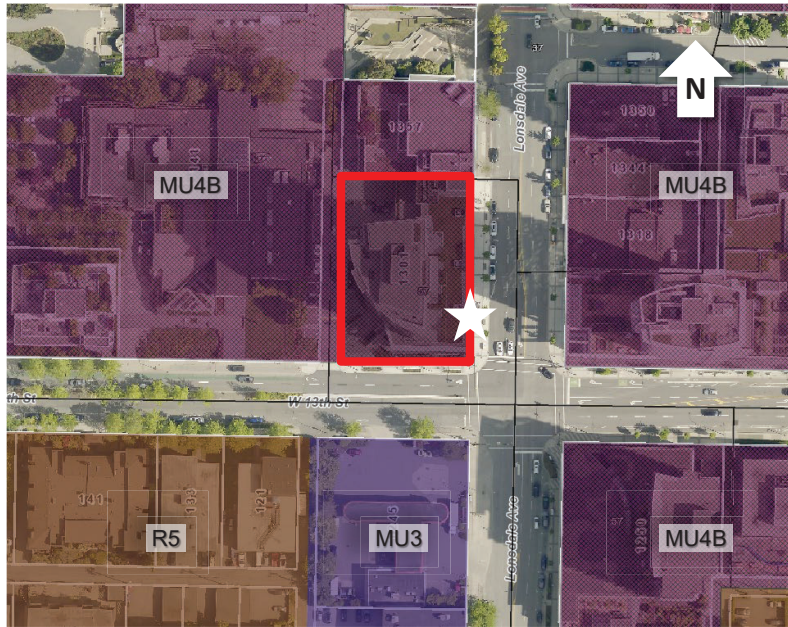
- The OCP allows Council to issue TUPs for short-term uses to site-specific locations that are otherwise not permitted under the zoning
- All areas in the City are designated to allow for TUPs
- TUPs are valid for a period of up to three years, and may be renewed once by Council



Site Context

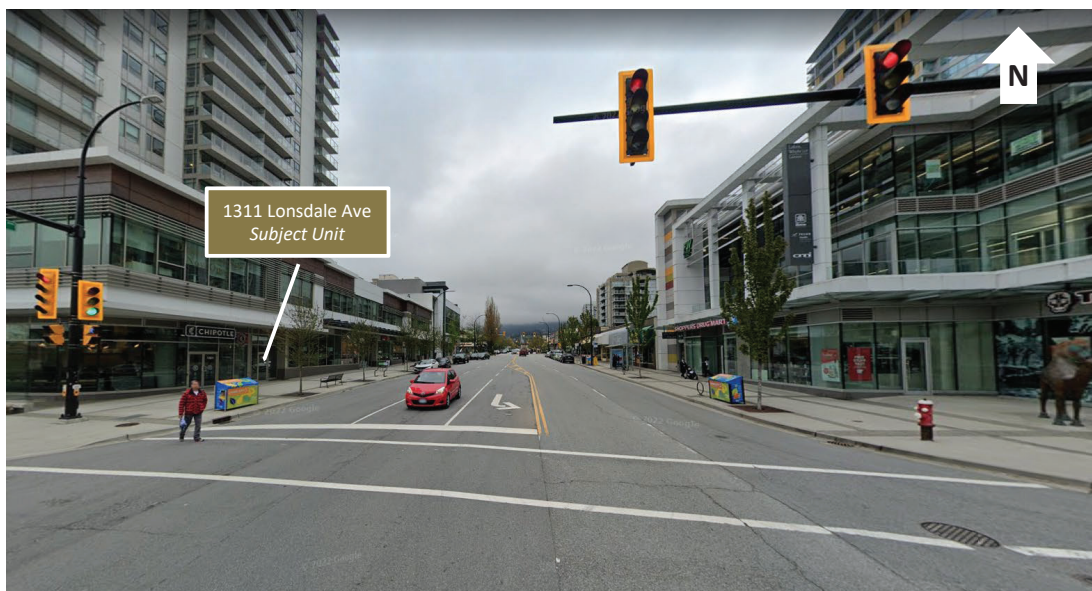


Site Context

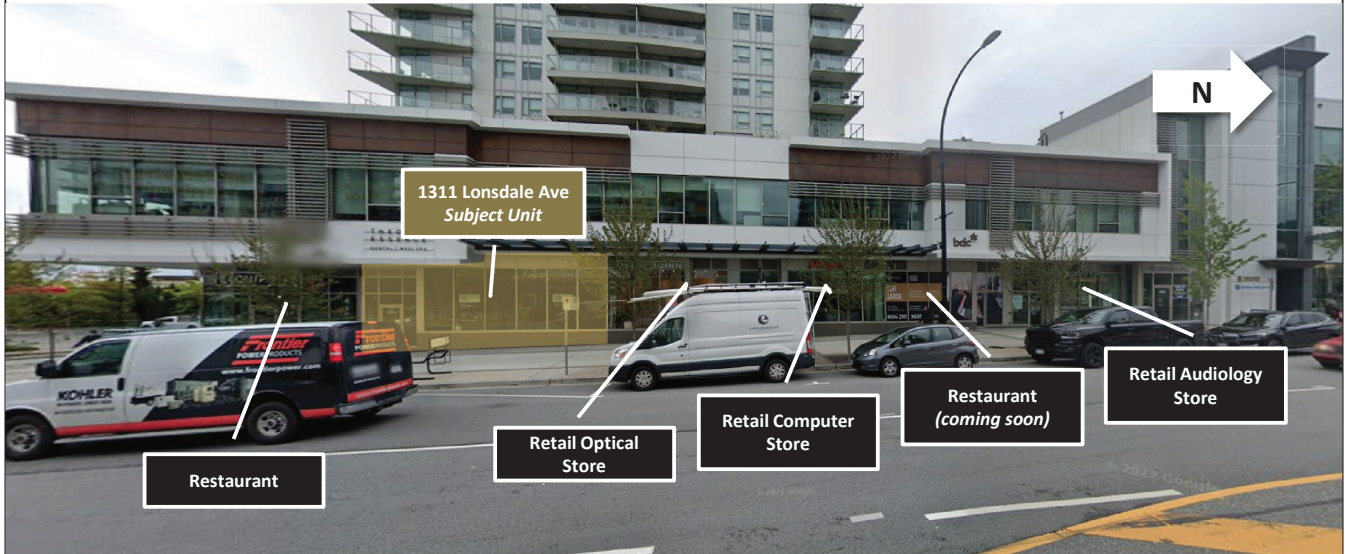


- Mixed Use Level 4B (MU4B) OCP designation allows for commercial uses including retail and office space

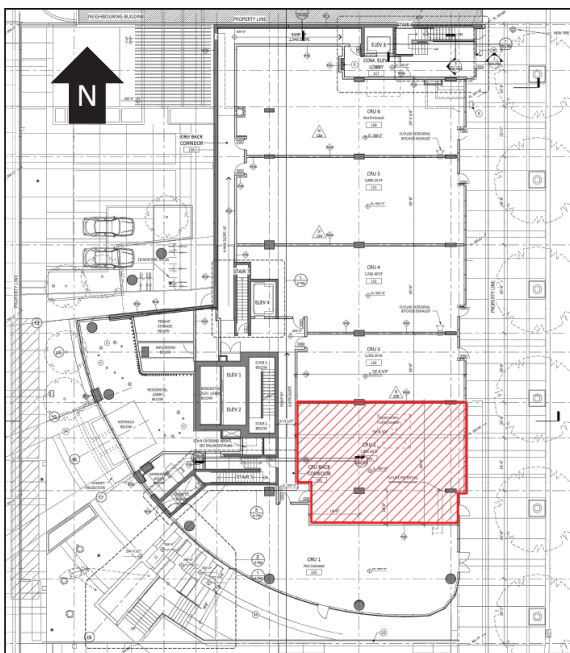
Lonsdale Ave



Neighbouring Groundfloor Units

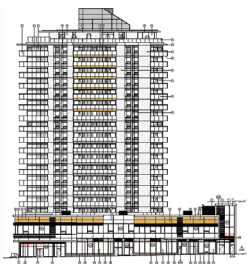


Proposed Unit

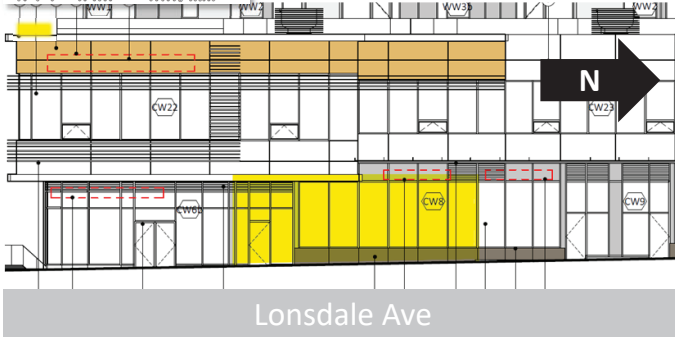


- Will occupy vacant CRU
- Interior renovations:
 - Model display and seating areas fronting onto Lonsdale Ave
 - Replica suite in the back
 - No plumbing fixtures
 - Unit to return to original state after TUP expires

Unit Frontage & Activation



- Clear glazing will be maintained along storefront windows
 - Ensures that the interior activity areas interface well with the walkway, similar to adjacent storefronts



Planning Assessment

- The proposed use is anticipated to generate a consistent level of street activity
 - Similar to adjacent businesses and other potential Retail Service Group 1A permissible uses
- Planning staff are comfortable with the existing level of street activity along this immediate stretch of Lonsdale Avenue
- The TUP will impose particular conditions to ensure an active street frontage is maintained for the unit

TUP Conditions

- The aforementioned TUP conditions include:
 - i. Maintenance of clear window glazing*
 - ii. Any proposed window advertising and decals to be reviewed first by staff prior to installation.*
 - i. Must also conform with the Sign Bylaw No. 6363*
 - iii. Unit to be restored to original state after TUP expires*



Thank you.

From: Amir Kaveie
Sent: January-26-23 10:49 AM
To: Submissions
Subject: Temporary permit at 1311 Lonsdale Avenue

Hi Corporate Officer

We recently received your notice regarding another development in the central lonsdale at 1311 lonsdale avenue. We know the city is going to give lots of permit in next 1 or two years.

If you are asking us if we are affected, then we will tell you yes definitely we are affected.

You have given another one permit in 14th street exactly in front of our building (125 14th) and we have heard the city has given another one in lonsdale and 15th.

We are not satisfied at all with these fast permits for huge numbers of buildings going to be built or already built in this central area of north vancouver.

We know you are not listen to us and your aim is to give as much as possible more permit without understanding how would be the fate of this area in term of population, very crowded, pollution, disappearing the views and many other disadvantages to residents already bought the unit hoping having better style of living but now all is gone.

Why are you not giving permits in other areas such as upper lonsdale or far from this very intense area of north vancouver. We are not satisfied at all.

Amir Kaveie & Raha Mostafavi
1209 – East 14th Street
North Vancouver



PUBLIC MEETING

Monday, February 6, 2023 at 6:00pm

Temporary Use Permit PLN2022-00031 for **1311 Lonsdale Avenue**

Watch the meeting online at cnv.org/LiveStreaming
or in person at City Hall, 141 West 14th Street

Proposal: Temporary Use Permit application to permit a real estate leasing/sales office at 1311 Lonsdale Avenue, operated by Three Shores, for marketing of their various development projects. The permit would allow the business to operate at the address for a period of up to 3 years.

To provide written input: All persons who believe their interest in property may be affected by the proposed permit will be afforded an opportunity to speak at the Public Meeting and/or by written or email submission. **All submissions must include your name and address** and should be sent to the Corporate Officer at input@cnv.org, or by mail or delivered to City Hall, **no later than 12:00 noon on Monday, February 6, 2023**, to ensure their availability to Council at the Public Meeting.

To speak at the Public Meeting in person OR by Webex/phone:

In person at City Hall: On the day of the Public Meeting, a sign-up sheet will be available in the lobby, outside the Council Chamber, between 5:30 and 6:00pm. Enter City Hall through the doors at the southwest corner of the building (off 13th Street) after 5:30pm.

Via Webex/phone: Pre-register by completing the online form at cnv.org/PublicMeetings, or by phoning 604-990-4230 to provide contact details, so call-in instructions can be forwarded to you. **All Webex/phone pre-registration must be submitted no later than 12:00 noon on Monday, February 6, 2023.**

Non-registered speakers: Speakers who have not pre-registered will also have an opportunity to provide input. Once all registered speakers have spoken, the Mayor will call for a recess to allow time for additional speakers to phone in or speak in person. Call-in details will be displayed on-screen during the livestream at cnv.org/LiveStreaming.

To view the documents: The proposed permit, background material and presentations can be viewed online at cnv.org/PublicMeetings.

Questions? Huy Dang, Planner, hdang@cnv.org / 604-990-4216



141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9

T 604 985 7761 / F 604 985 9417 / [CNV.ORG](https://cnv.org)



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THE CORPORATION OF THE CITY OF NORTH VANCOUVER
TEMPORARY USE PERMIT

Permit No. PLN2022-00031

File: 09-4520-20-0005/2022

Issued to owner(s): **HOLLYBURN LEGACY PROPERTIES LTD., INC. NO. BC0791622**

Respecting the lands located at **1311 Lonsdale Avenue**, North Vancouver, BC, legally described as:

**LOT A DL 548 AND 549 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP47132
EXCEPT AIR SPACE PLAN EPP99828 PID: 029-988-969**

(the “Lands”)

List of Attachments:

Schedule “A”: List of Plans

Authority to Issue:

1. This Temporary Use Permit is issued pursuant to Section 493 of the *Local Government Act*.
-

Bylaws Supplemented or Varied:

2. The provisions of the City of North Vancouver “Zoning Bylaw, 1995, No. 6700” Comprehensive Development 677 (CD-677) Zone are hereby varied as follows:
 - A. This permit temporarily allows the Lands to be used for the purposes described below:
 - i. To permit Three Shores to occupy the subject ground level commercial unit at 1311 Lonsdale Avenue for the purpose of a temporary sales office (business office).
-

Special Terms and Conditions of Use:

3. Development upon or use of the Lands shall conform to the following specifications:
 - A. This permit is subject to the following conditions, completed to the satisfaction of City staff:
 - i. All windows facing onto Lonsdale Avenue shall not include any visual obstructions and shall be maintained at all times with clear, transparent glazing.
 - ii. Any proposed window advertising or decals throughout the tenure of the subject use shall be reviewed by staff for approval prior to installation.
 - iii. The subject unit shall be restored to a standard commercial-retail unit once this particular use and permit expires.
-

General Terms and Conditions:

4. This Temporary Use Permit is issued by the City of North Vancouver subject to compliance with all the applicable bylaws of the City except as specifically varied or supplemented by this Permit. No variances other than those specifically set out in this permit are implied or to be construed.
5. The Lands shall be used in accordance with the terms and conditions of this Permit. All terms and conditions are subject to any changes required by the Building Inspector or other officials of the City where such specifications do not comply with any bylaw or statute, and such non-compliance is not specifically permitted through the issuance of this Temporary Use Permit.
6. This Permit expires: three years from date of issuance.
7. The Permit holder acknowledges that a Building Permit or other City Permits may be required. This is not a Building Permit.
8. Nothing in this Permit shall in any way relieve Land Owner/Business Owners obligation to ensure that the use complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.

9. Nothing in this Permit shall in any way relieve the Land Owner/Business Owners obligation to comply with regulations for construction of structures or provision of on-site services pursuant to the Health Act, the Fire Services Act, the Electrical Energy Inspection Act, and any other provincial statutes.

Authorized by Council: _____
Year / Month / Day

Expiry Date: _____
Year / Month / Day

Linda C. Buchanan, Mayor

Karla Graham, City Clerk

Date Signed: _____
Year / Month / Day

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Temporary Use Permit No. PLN2022-00031.

Notice filed the _____ day of _____, 20_____.

THIS IS NOT A BUILDING PERMIT

Schedule A
List of Plans – 1311 Lonsdale Avenue

Author	Sheet Name	Sheet No.	Date Received	CityDocs File Number
Advent Architecture Inc.	Project Data	A0.0	October 6, 2022	2240643
Advent Architecture Inc.	Bathroom Path	A0.1	October 6, 2022	2240643
Advent Architecture Inc.	Plans	A1.0	October 6, 2022	2240643
Advent Architecture Inc.	RCP & Details	A2.0	October 6, 2022	2240643



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Linden Maultsaid-Blair, Planner 1

Subject: ZONING BYLAW AMENDMENT FOR 229 EAST 22ND STREET
(BHARATI SHRESTHA, MAPLE BUILDING DESIGN)

Date: January 4, 2023 File No: 08-3400-20-0080/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated January 4, 2023, entitled "Zoning Bylaw Amendment for 229 East 22nd Street (Bharati Shrestha, Maple Building Design)":

THAT the application submitted by Bharati Shrestha / Maple Building Design, to rezone the property located at 229 East 22nd Street from a RS-1 Zone to a RT-1 Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

AND THAT notification be circulated in accordance with the *Local Government Act*.

ATTACHMENTS

1. Context Map (CityDocs [#2235043](#))
2. Architectural and Landscape Plans, dated November 17, 2022 (CityDocs [#2299538](#))
3. Public Consultation Summary (CityDocs [#2189220](#))
4. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8956" (CityDocs [#2301340](#))

SUMMARY

This report presents a rezoning application to allow a duplex development consisting of two principal units with two accessory dwelling units in the basement level.

BACKGROUND

Applicant:	Bharati Shrestha, Maple Building Design
Designer:	Maple Building Design & Consulting (MBDC)
Official Community Plan Designation:	Residential Level 2 (R2)
Existing Zoning:	RS-1 (one-unit residential)
Applicable Guidelines:	N/A

DISCUSSION

Site Context

The subject site is located in the Central Lonsdale neighbourhood, on the south side of East 22nd Street between St. Georges and St. Andrews Avenues. The buildings and uses immediately surrounding the subject site are described in Table 1 below.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	228 East 22 nd St	Duplex	RT-1
South	228 East 21 st St	Duplex	RT-1
East	232 East 22 nd St	Duplex	RT-1
West	223 East 22 nd St	Singe-family development	RS-1

Policy Context

The site and surrounding area have Official Community Plan (OCP) land use designation Residential Level 2 (R2) which allows for low density attached residential development. The intent of this designation is to provide a range of ground-oriented housing, including duplexes with secondary suites. The R2 designation allows for a maximum density of 0.5 FSR.

Project Description

The site currently contains a single-family home with no secondary suite. The proposal is to replace the existing building with a new duplex building, which will contain two principal dwelling units and two accessory dwelling units in the basement. The proposal conforms to all the standard zoning requirements for the RT-1 zone, including height, density, setbacks, and lot coverage.

Planning Analysis

Use

The policy framework applicable to the site supports the proposed development. The site is located in proximity to transit, recreation facilities, commercial areas, and schools. Additionally, the increase in units will contribute to additional housing supply through the provision of 'missing middle' development, as well as adding to the City's stock of rental suites.

Intensity

The proposal represents no increase in permitted maximum density, and only a moderate increase in the number of units. The density (floor area) permitted on the site will remain the same, at 0.5 times the lot area. The total number of permitted units will increase from three to four. Many of the surrounding properties are already zoned for duplexes. The proposal is consistent with the OCP and the planned character of the neighbourhood.

Parking

The proposed parking is one stall for each unit (principal and accessory), for a total of four. This is consistent with the requirements in the Zoning Bylaw and appropriate for this site, given its location.

Building Form

The proposed form of the development complies with all requirements in the RT-1 zone.

Landscape & Trees

There are no existing trees on the site. The proposal includes new landscaping with native species, including 6 small trees on site. Two new street trees will be installed as part of the development.

ADVISORY BODY INPUT

This small scale application is not subject to Advisory Design Panel (ADP) review.

COMMUNITY CONSULTATION

A Developer Information Session was held on July 2nd, 2022. There were three (3) attendees. Three (3) comment forms were submitted after the session. Comments received during and after the session included:

- Concerns over excavation, foundation, and grading; and
- Suggestions for energy efficiency and sustainability features.

In response, the applicant clarified the grading and retaining wall strategy for the excavation and foundation, and will be incorporating all required sustainable features, such as BC Building Code and City energy efficiency requirements, as well as electric vehicle charging. Therefore, staff are satisfied that the concerns have been appropriately addressed.

Given the compliance with the OCP, as well as the small scale and compatibility with local context, staff recommend that no Public Hearing be held. Should Council wish to refer the application to a Public Hearing, the first active clause in the resolution should be amended to read:

“THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8956”
(Bharati Shrestha / Maple Building Design, 229 East 22nd Street, RT-1) be
considered and referred to a Public Hearing;”

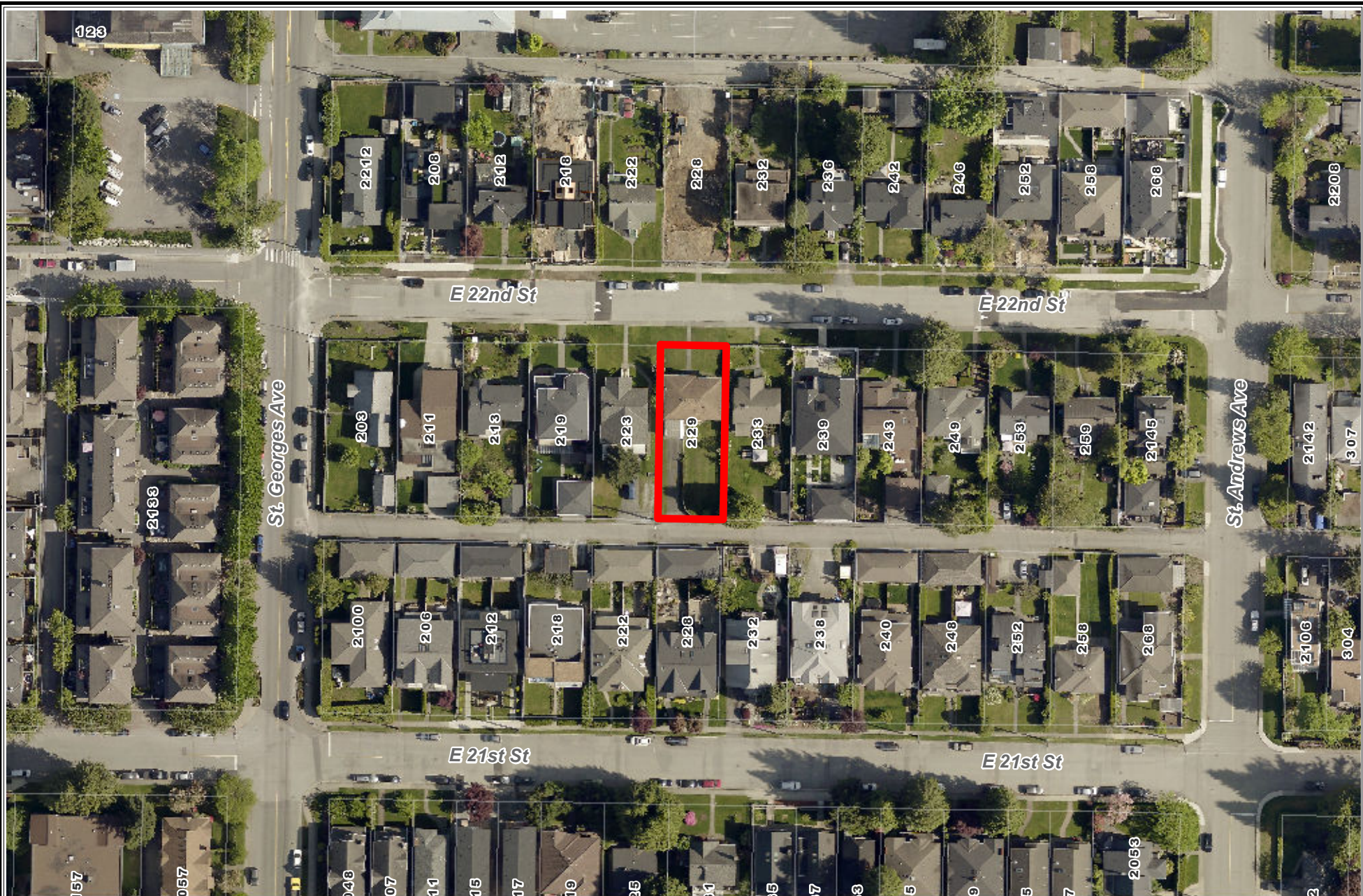
CONCLUSION

The proposal would allow for the development of a new duplex and suites, allowing a diversification of the residential housing stock in the city. Development of this type and scale is anticipated for this area. Staff support the application.

RESPECTFULLY SUBMITTED:



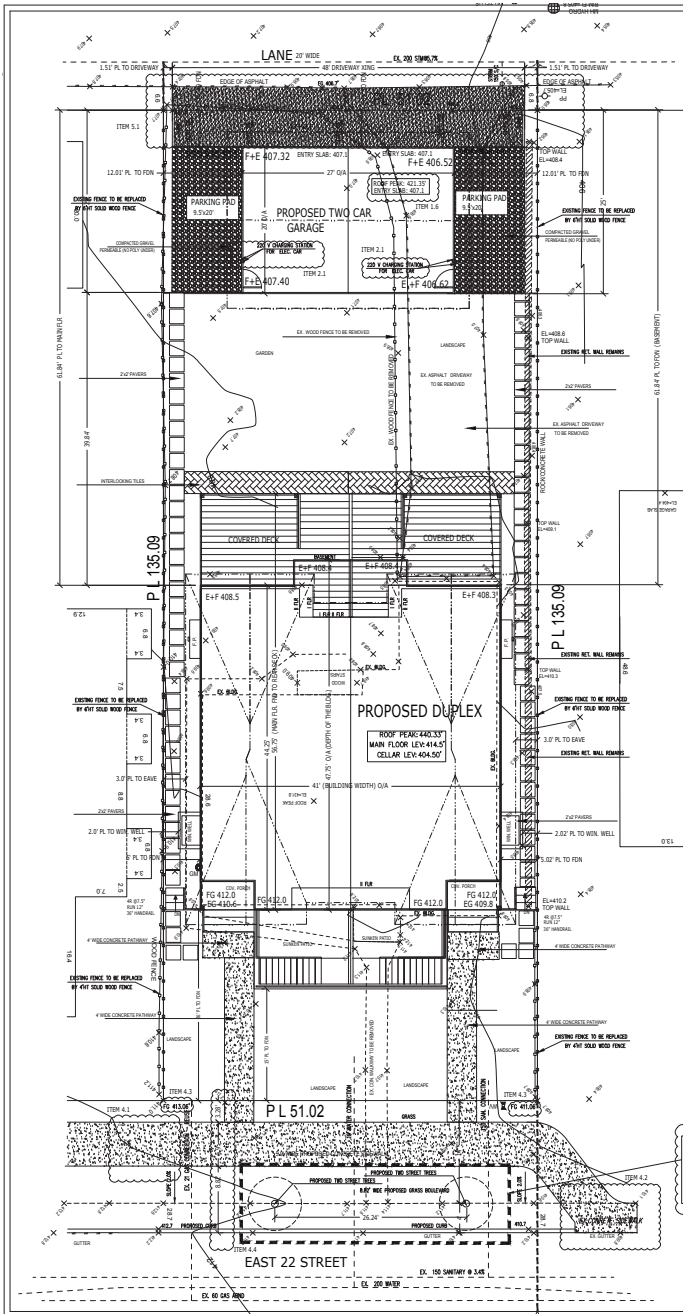
Linden Maultsaid-Blair
Planner 1



Context Map: 229 East 22nd Street

- Subject Site
- Legal_Parcels





TOPOGRAPHIC SURVEY PLAN OF LOT 32 BLOCK 208 DL 546 GROUP 1 NWD PLAN 5481

CIVIC ADDRESS: 229 22ND ST EAST, NORTH VANCOUVER
PID: 011-144-939

SITE DEVELOPMENT DATA

EXISTING ZONING: AS-1
PROPOSED ZONING: RT-1
AREA = 6892 Sq. Ft.

	ALLOWED	PROPOSED
GFA (35%+1000 SFT)	3412.2	3411.24
IMPERV. 60%	4135.2	3799.25
LOT COVERAGE (35%)	2412.2	2394.71
GARAGE	591.37	590.0

IMPERVIOUS SITE COVERAGE	
DWELLING:	1814.71
GARAGE	580.0
FRONT PORCH AND STAIR	95.96
REAR DECKS AND STAIR	512.5
SIDE WALKS	240.0
DRIVEWAY ASPHALT	240.0
SUNKEN PATIOS	289.74
TOTAL COVERAGE:	3772.91

PARKING:	
PARKING REQUIREMENT:	4 STALLS
PARKING PROVIDED:	4 STALLS
REFERENCE GRADE:	
AVERAGE FRONT GRADE =	$(411+409.7)/2 = 410.35'$
AVERAGE REAR GRADE =	$(407.7+406)/2 = 406.85'$
REFERENCE GRADE =	$410.35+(406.85-410.35)/0.4 = 408.95'$
MAX. WALL HEIGHT =	435.15'
MAX. ROOF RIDGE =	442.85'
MAX. ROOF RIDGE FOR GARAGE =	$406.85 + 15 = 421.85'$
PROPOSED FOR GARAGE =	421.35'
(ROOF SLOPE: 5/12)	



SITE PLAN
1/4\"/>

ITEM 4.5

NOTES:

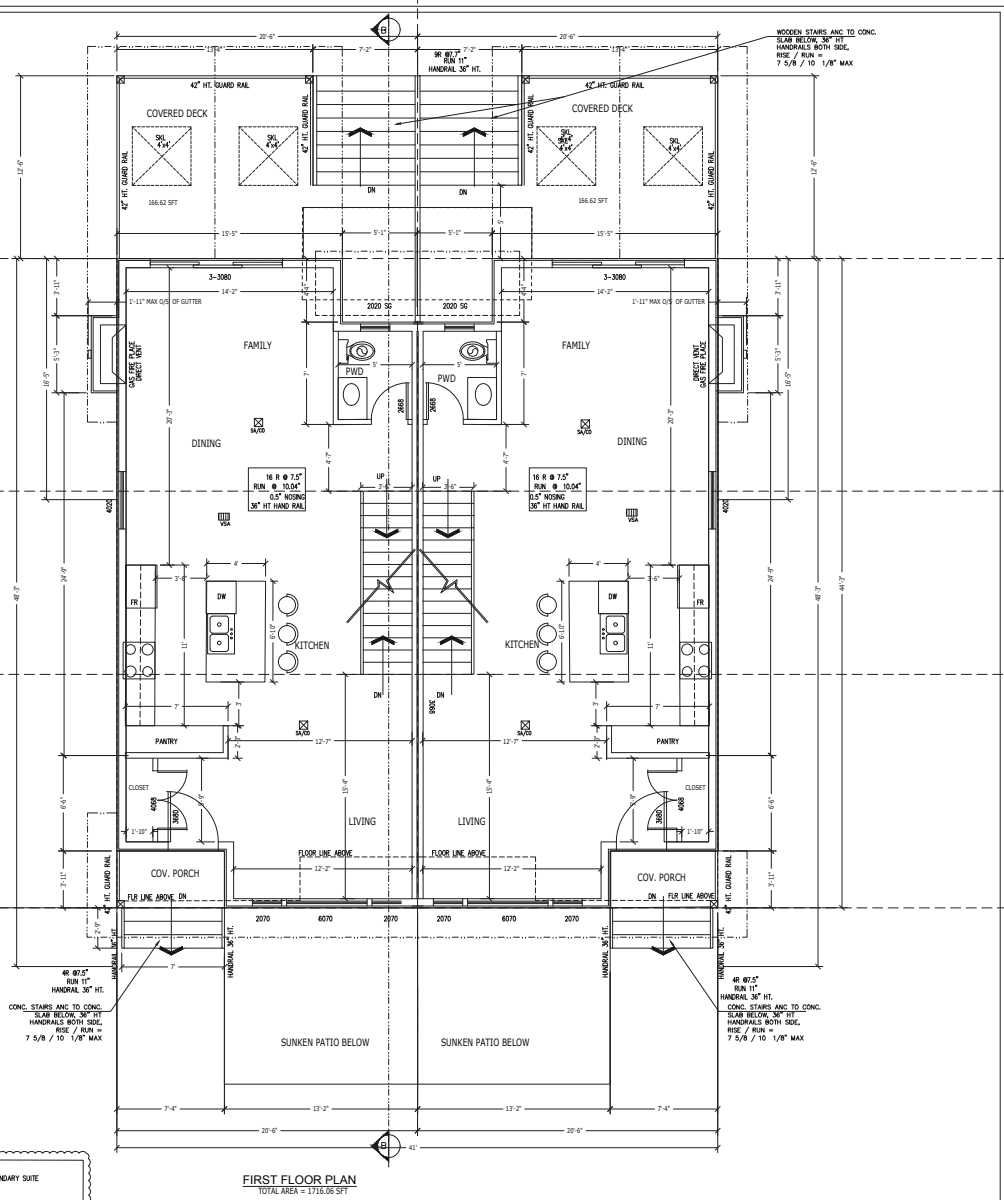
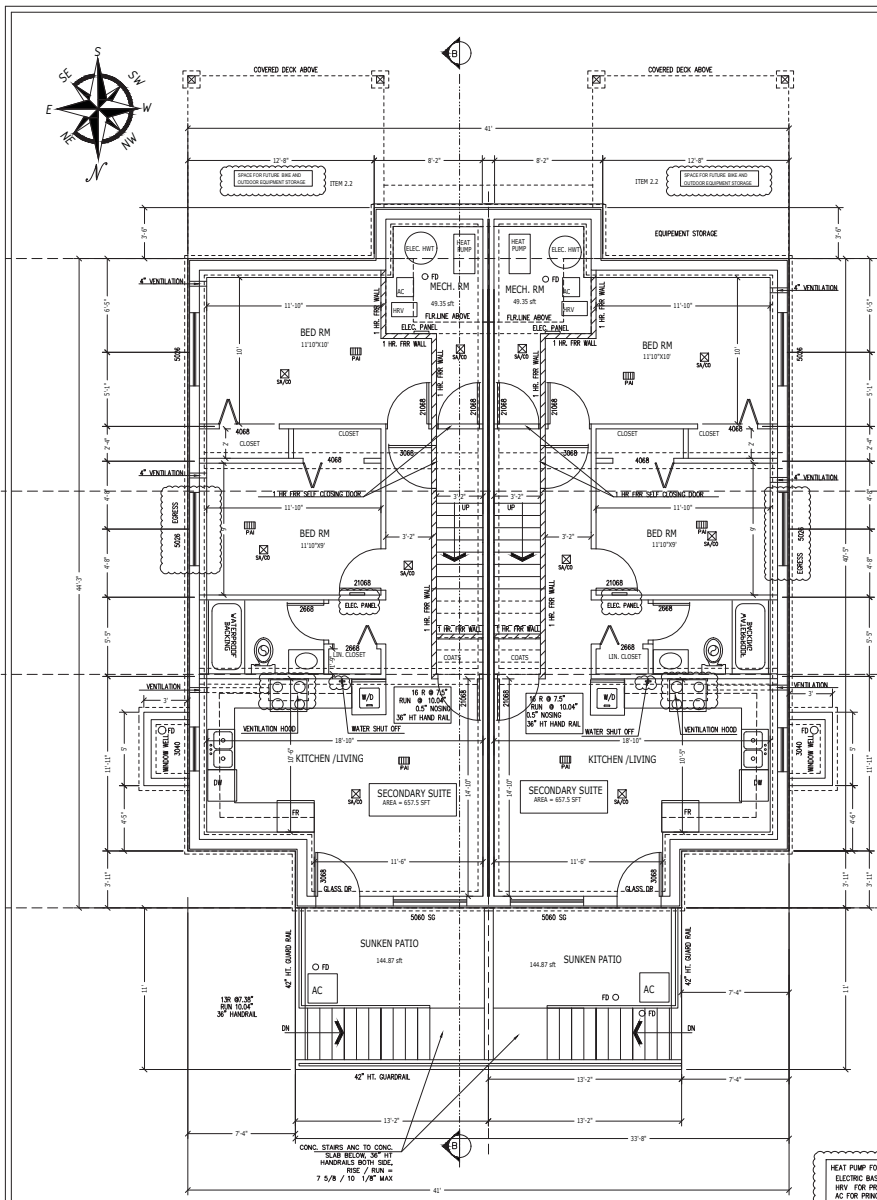
- * 18\"/>

ITEM 4.6

NOTES:

- * ON A 10\"/>

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	SCALE: AS NOTED		



PERMISSIBLE FSR = 3412.2 SFT
PROPOSED FSR = 3411.24 SFT

CELLAR PLAN
FOOTPRINT = 1814.71 SFT
UTILITIES AREA = 98.70 SFT
TOTAL AREA = 1716.05 SFT

- CARBON MONO OX. DEVICE/SMOKE ALARM
- FAN
- VENTILATION SUPPLY AIR
- PASSIVE AIR INLET

HEAT PUMP FOR PRINCIPLE BUILDING
ELECTRIC BASE BOARD HEATING FOR SECONDARY SUITE
HWV FOR PRINCIPLE BUILDING
AC FOR PRINCIPLE BUILDING
DIRECT VENTILATION FOR SECONDARY SUITE

FIRST FLOOR PLAN
TOTAL AREA = 1716.05 SFT

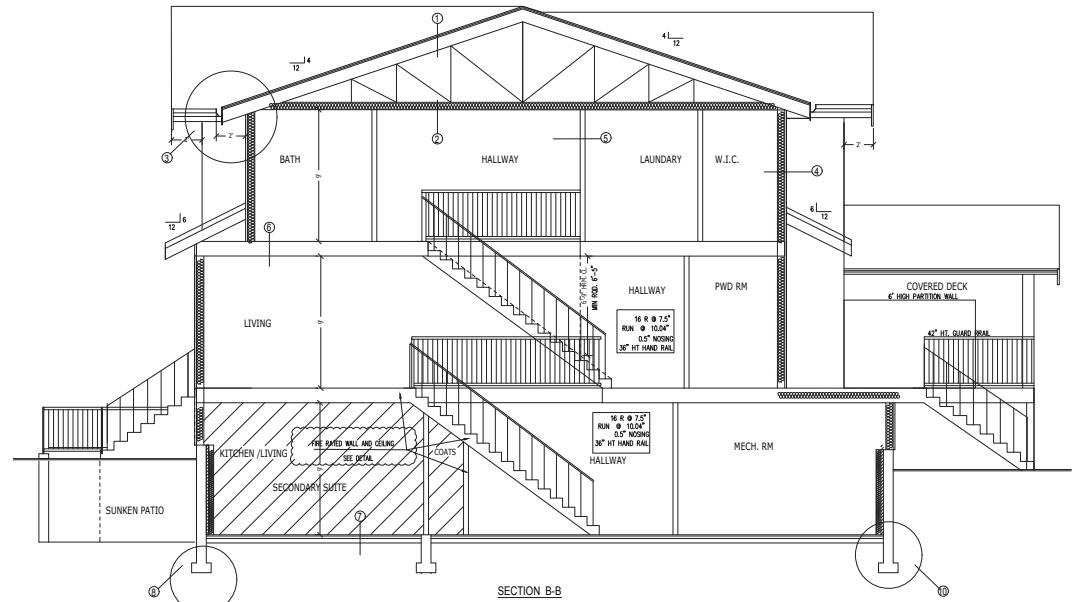
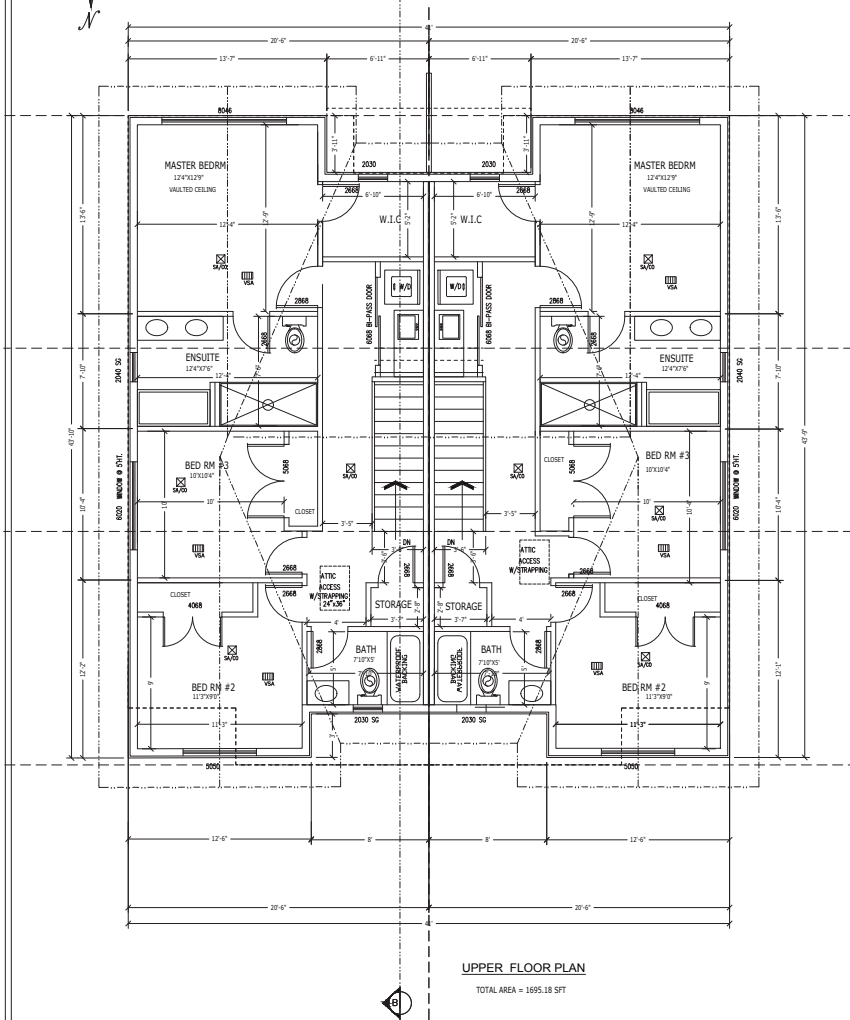


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6669 MAIN STREET, VANCOUVER, B.C./V6K 3K7
Phone/Fax: 604-771-6650 / 604-324-2572
FAX: 604-324-2572
E-mail: catl@shaw.ca

SITE ADDRESS: 229 EAST 22ND STREET, NORTH VANCOUVER

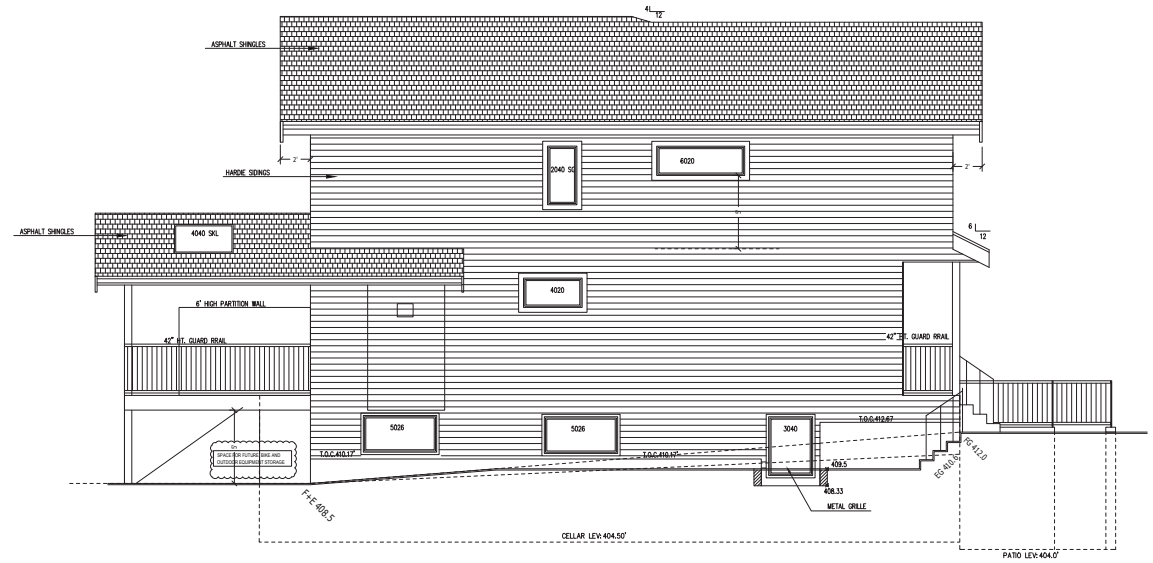
DRAWING TITLE: CELLAR AND MAIN FLOOR PLAN	DRAWN BY: ASIT	DATE: 14 NOV 2022
BUILDER: SUKEY S. MEHAT	SCALE: 1/4"=1'-0"	DRAWING NUMBER: A 002
PHONE: 604-924-4663		



SPECIFICATIONS

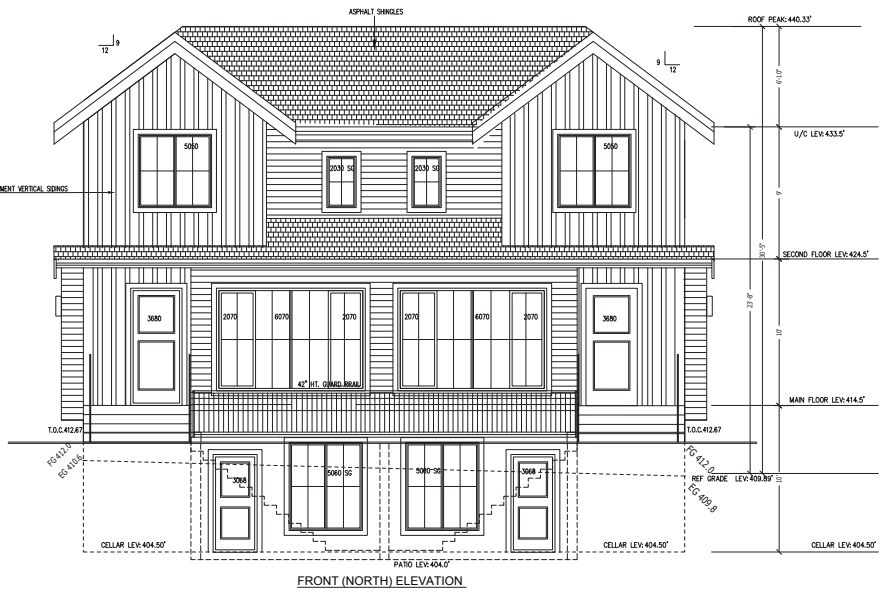
1. ROOF:
 - ASPHALT SHINGLE ROOF
 - ROOF FELT UNDERLAY
 - 1/2" PLYWOOD EX.
 - ENGINEERED ROOF TRUSSES @ 24" O/C
2. CEILING:
 - RSD DOWN CEILING
 - 6 MIL POLY AIR BARRIER
 - MIN. 20'x28' ATTIC ACCESS
 - MIN. 1/2" JOIST
 - 5/8" CEILING GYPROC
3. FASCIA/SOFFIT:
 - EDGE PROTECTION
 - ALUMINUM GUTTER
 - INSULATED SOFFITS (NORTH AND SOUTH ELEV.)
 - UNINSULATED SOFFITS (EAST AND WEST ELEV.)
4. EXTERIOR WALL:
 - HARDBOARD SIDING / FIBRE CEMENT VERTICAL SIDING
 - 1/2" ROOF SHEATHING
 - 2 LAYERS 30 MIL BUILDING PAPER W/OVERLAPPED JOINTS
 - 1/2" PLYWOOD SHEATHING
 - 2"x4" STUDS @ 16" O/C
 - HIGH DENSITY R-22 BATT INSULATION
 - 6 MIL POLY AIR BARRIER
 - 1/2" ORIGINAL WALLBOARD / CULTURAL STONE
 - PAINT FINISH
5. INTERIOR PARTITION:
 - 1/2" GYPROC EACH SIDE
 - 2"x4" STUDS @ 16" O/C
6. SECOND FLOOR:
 - 5/8" TAG PLYWOOD SUBFLOOR
 - FLOOR JOISTS AS PER ENGINEERING SPECIFICATIONS
 - 2"x2" BRANDED CROSS BRACING @ 7' O/C
 - 5/8" CEILING GYPROC
7. FLOOR SLAB ON GRADE:
 - 1" CONCRETE FLOOR SLAB W/ WIRE MESH
 - 6 MIL POLY VAPOR BARRIER
 - R14 STYROFOAM INSULATION
 - MIN. 5" GRANULAR FILL ON COMPACT GROUND
 - GRANULAR FILL COMPACTION MAX. 18 LAYERS
8. EXTERIOR FOUNDATION:
 - 2 COATS KERAPAL EMULSION
 - 5/8" DIA. ANCHOR BOLTS @ 4' O/C
 - 8" CONCRETE FOUNDATION WALL
 - 2" XPS-R-10, 2400#/O.C. R-14 BATT INSULATION, 1/2" DRY WALL
 - 20'x20' CONT. CONC. STRIP FOOTINGS ON FIRM UNDISTURBED SOIL
9. INTERIOR FOUNDATION:
 - 4" FORMBATED DRAIN PIPE
 - 8" CONCRETE FIN
 - 18" CONC. FOOTINGS TO DRMS. SPEC.
 - 2"x6" STUDS @ 16" O/C 5/8" DIA. ANCHOR BOLTS @ 4' O/C
 - MIN. 6" DRAIN ROCK
 - 1/2" GYPROC BOTH SIDES
 - 2x4 BOTTOM PLATE
10. DRAINAGE:
 - 4" P.V.C. SOLID DRAIN PIPE
 - 60' ABS W/ 1/2" MIN. DRAIN COVER

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	SCALE: 1/4"=1'-0"		




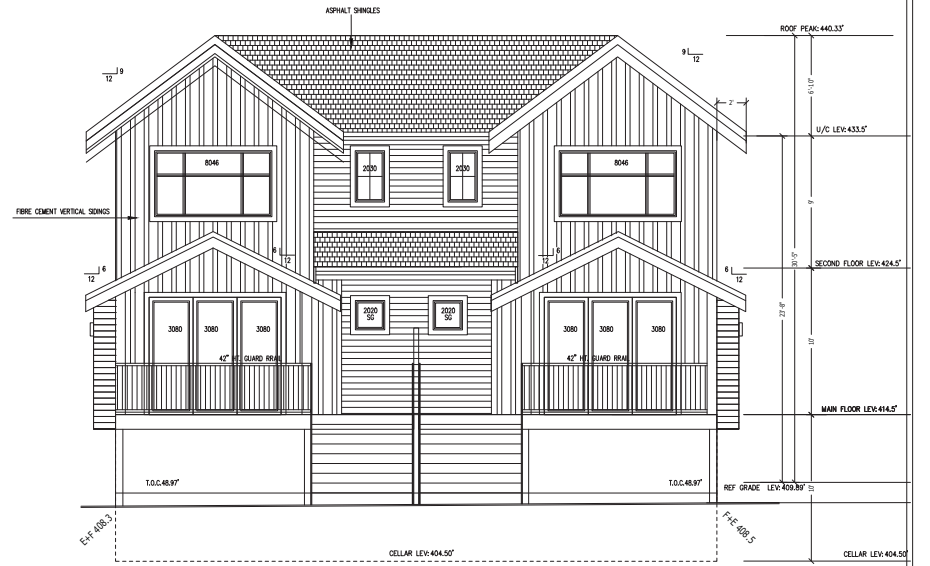
EAST ELEVATION

LIMITING DISTANCE: 5.0'
 EXPOSED WALL AREA: 972.11 SFT
 PERMITTED UNPROTECTED OPENINGS: 67.5% = 72.91 SF
 PROPOSED OPENINGS: 65.0 SF
 11/09/11

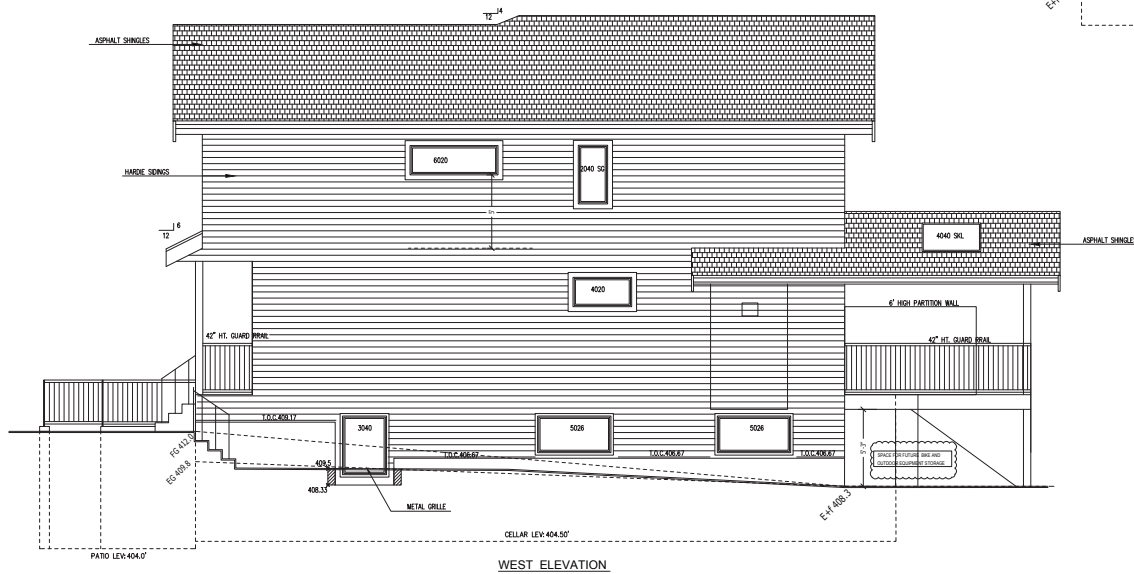


FRONT (NORTH) ELEVATION

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	SCALE: 1/4"=1'-0"		




REAR (SOUTH) ELEVATION



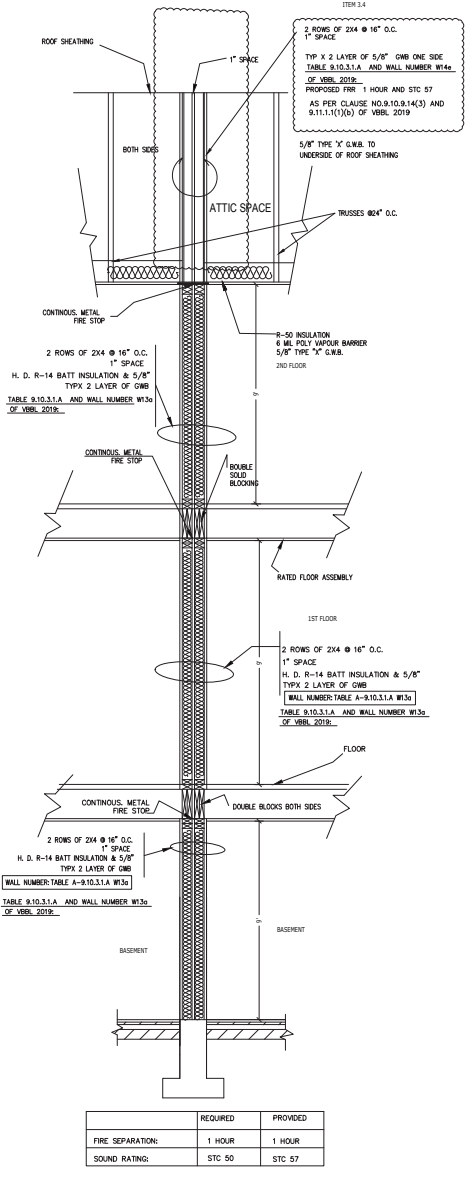
WEST ELEVATION

LIMITING DISTANCE: 5.0'
 EXPOSED WALL AREA: 965.8 SF
 PERMITTED UNPROTECTED OPENINGS: 7.5 % = 74.23 SF
 PROPOSED OPENINGS: 65.0 SF

ITER 3.1

 MAPLE BUILDING DESIGN & CONSULTING (MBDC) <small>THIS DRAWING/DESIGN IS AT ALL TIMES THE EXCLUSIVE PROPERTY OF MAPLE BUILDING DESIGN AND CONSULTING. IT MAY NOT BE USED OR DUPLICATED WITHOUT WRITTEN CONSENT.</small>	6669 MAIN STREET, VANCOUVER, B.C., V5X 3H1 Phone/Fax: 604-771-6650 604-324-2572 FAX: 604-324-2572 E-mail: ast@mbdc.ca	SITE ADDRESS: 229 EAST 22ND STREET, NORTH VANCOUVER DRAWING TITLE: ELEVATIONS-2 BUILDER: SUKEY S MEHAT PHONE: 604 924 4663	DRAWN BY: DATE: AST 14 NOV 2022 DRAWING NUMBER: A 005
	SCALE: 1/4"=1'-0"		

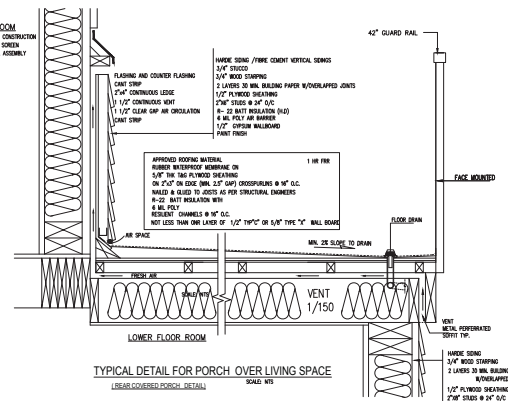
ITEM 3.4



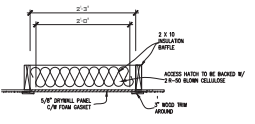
	REQUIRED	PROVIDED
FIRE SEPARATION:	1 HOUR	1 HOUR
SOUND RATING:	STC 50	STC 57

WALL NUMBER: TABLE A-9.10.3.1.A W136
PARTY WALL DETAIL
 SCALE: 1/2"=1'-0"

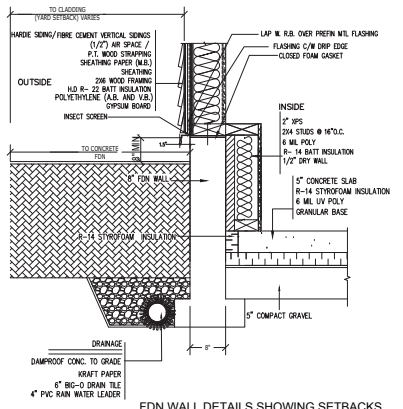
AS PER CLAUSE NO.9.10.14(3) AND 9.11.1(1)(b) OF VEBL 2019



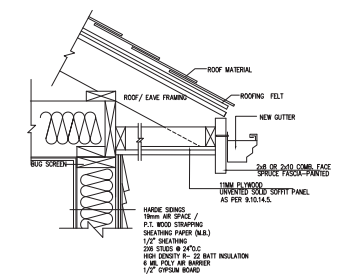
TYPICAL DETAIL FOR PORCH OVER LIVING SPACE
 (SEAR COVERED PORCH DETAIL)
 SCALE: 3/8"



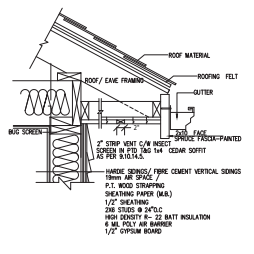
ATTIC ACCESS SECTION
 SCALE: 3/8"



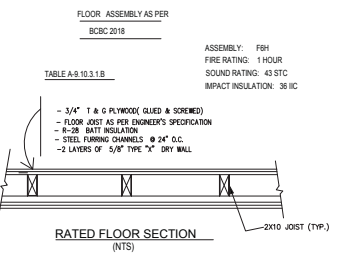
FDN WALL DETAILS SHOWING SETBACKS
 SCALE: 3/8"



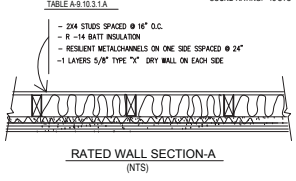
EAVE DETAIL FOR EAST AND WEST ELEVATIONS



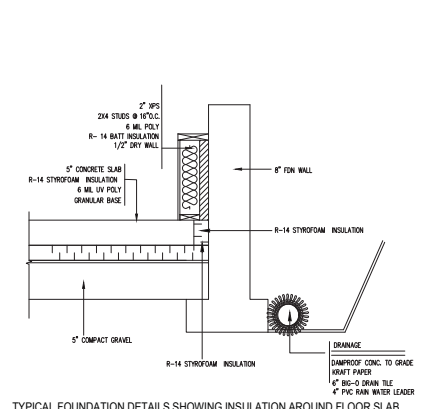
EAVE & CLADDING DETAIL FOR NORTH AND SOUTH ELEVATIONS



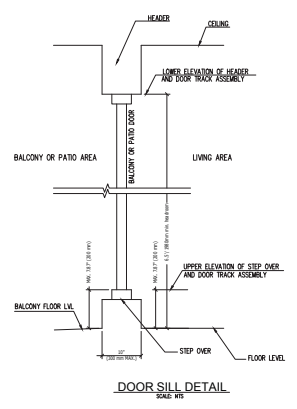
RATED FLOOR SECTION (NTS)



RATED WALL SECTION-A (NTS)

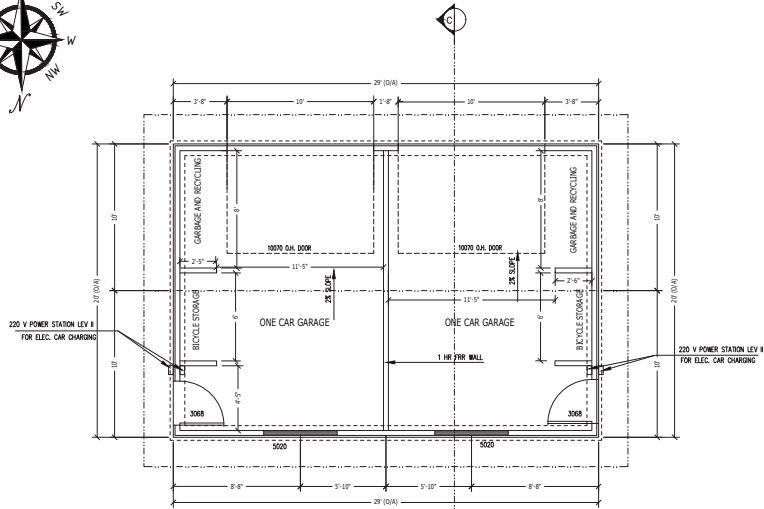


TYPICAL FOUNDATION DETAILS SHOWING INSULATION AROUND FLOOR SLAB
 SCALE: 3/8"

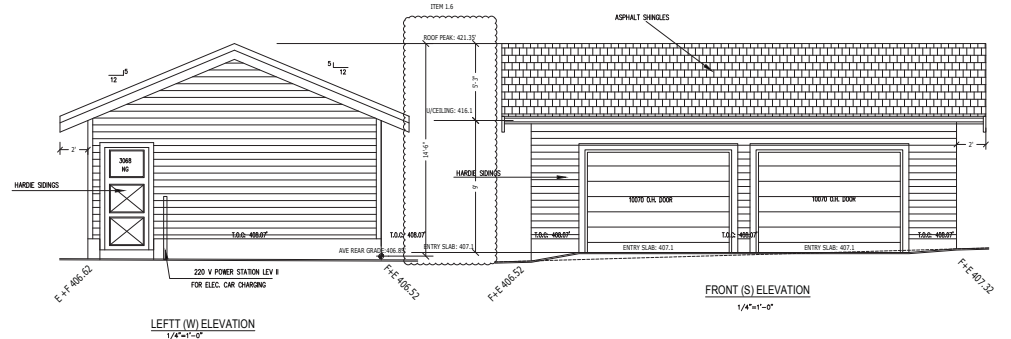


DOOR SILL DETAIL
 SCALE: 3/8"

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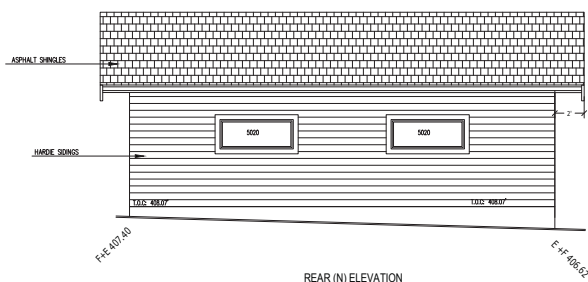


GARAGE PLAN
TOTAL AREA = 580.0 SFT

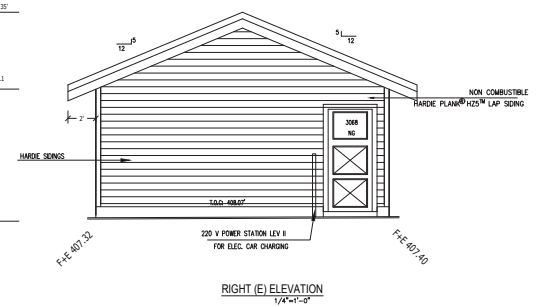


LEFT (W) ELEVATION
1/4"=1'-0"

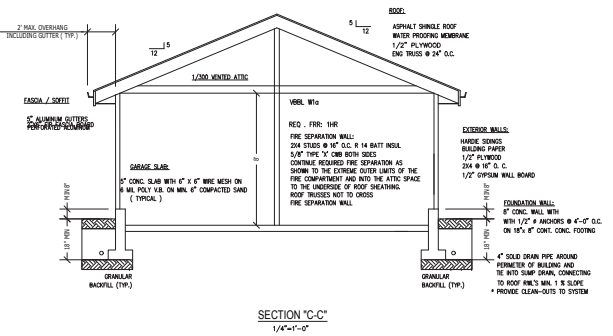
FRONT (S) ELEVATION
1/4"=1'-0"



REAR (N) ELEVATION
1/4"=1'-0"

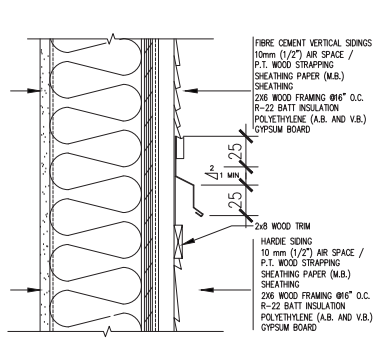


RIGHT (E) ELEVATION
1/4"=1'-0"



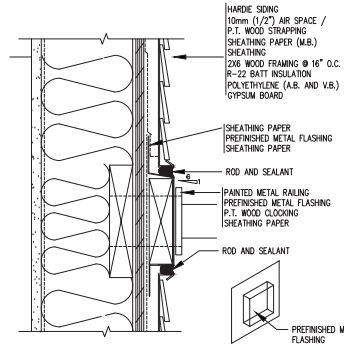
SECTION C-C
1/4"=1'-0"

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	<p>DRAWING TITLE: GARAGE PLAN, SECTION AND ELEVATIONS</p>	<p>DRAWN BY: DATE: AST 6 SEPT 2022</p>
<p>BUILDER: SUKEY S MEHAT PHONE: 604 924 4663</p>	<p>SCALE: 1/4"=1'-0"</p>	<p>DRAWING NUMBER: A 007</p>

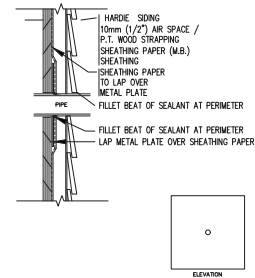


SECTION DETAIL

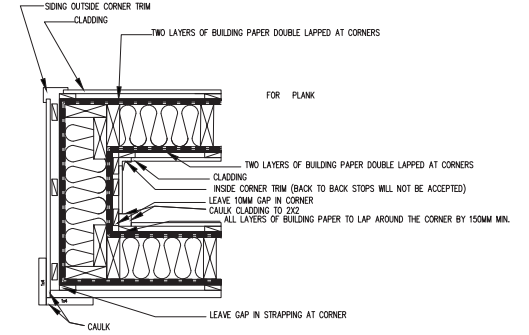
CLADDING TRANSITION SEALED POLYETHYLENE APPROACH 10SPA



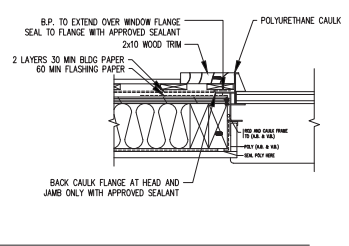
RAILING ATTACHMENT AT WALL SEALED POLYETHYLENE APPROACH 21SPA



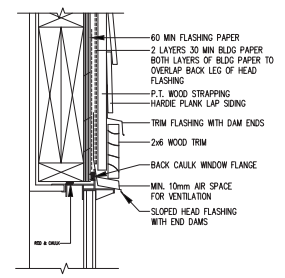
PIPES 29



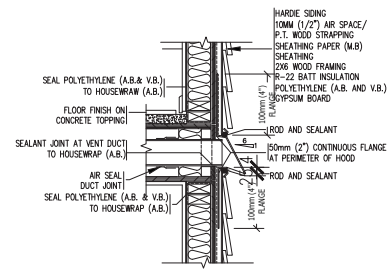
TYPICAL CORNERS SCALE: NTS



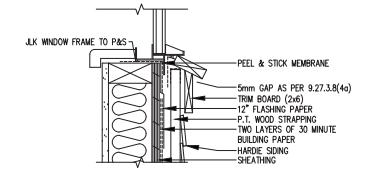
WINDOW JAMB WITH 2x6 TRIM



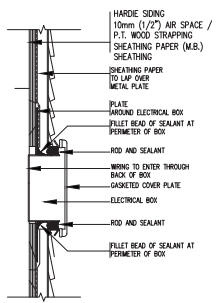
WINDOW HEAD WITH 2x6 TRIM



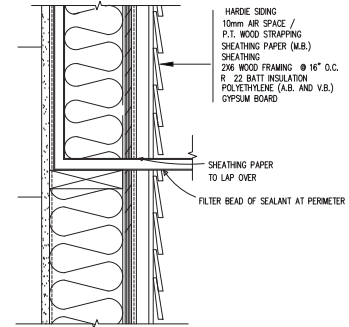
WALL EXHAUST VENT SEALED POLYETHYLENE APPROACH 27SPA



WINDOW SILL WITH 2x6 TRIM



ELECTRICAL FIXTURES



HOSE BIB CONNECTION

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	<p>DRAWING TITLE: RAINSCREEN DETAILS</p>	<p>DRAWN BY: DATE: AST 24 JUN 2022</p>
	<p>BUILDER : SUKEY S MEHAT PHONE: 604 924 4663</p>	<p>SCALE: 1/4"=1'-0"</p>
	<p>DRAWING NUMBER: A 008</p>	



CONTEXT MAP

N.T.S.



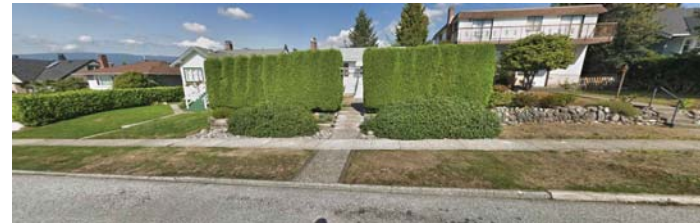
EXISTING ZONING MAP

N.T.S.


229 EAST 22ND STREET



STREETSCAPE ALONG 22ND EAST STREET TOWRDS SOUTH



STREETSCAPE ALONG 22ND EAST STREET TOWARDS NORTH

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		DRAWING TITLE: CONTEXT MAP	DRAWN BY: ASIT DATE: NOV 30, 2021
BUILDER : SUKEY S MEHAT PHONE: 604 924 4663		SCALE: AS NOTED	DRAWING NUMBER: A 009



229



223



229



223

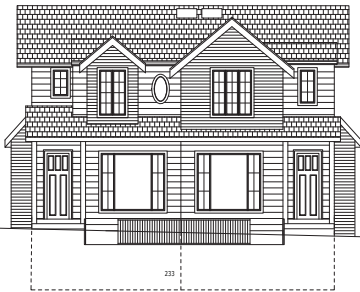


229

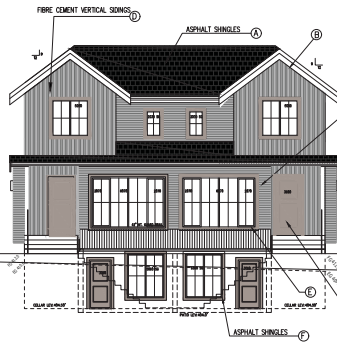
EXISTING STREETScape



229



223



223




229

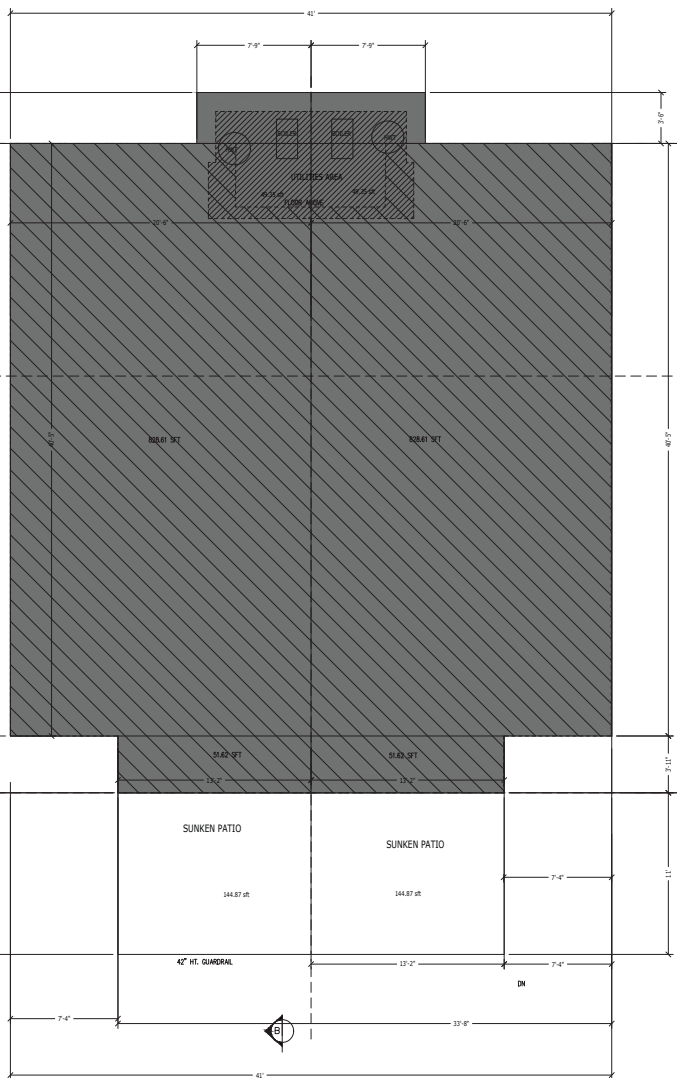
STREET SCAPE WITH PROPOSED DUPLEX

MATERIALS AND COLORS LEGEND (ALL ARE TYPICAL)		
① ROOF-ASPHALT SHINGLE DARK GREY	② FIBRE CEMENT VERTICAL SIDINGS BEN. MOORE CSP-95 SEA SALT	③ FRONT DOOR HIGH QUALITY WOOD FINISH FRONT DOOR BEN. MOORE CSP-126 (WORN LEATHER SHOES)
④ 2X6 ON TOP 2X12 FASCIA 2X10 TRIM BOARD PAINTED BEN. MOORE CSP-90 CITY SHADOW	⑤ 42" HIGH WOOD GUARD RAIL BEN. MOORE CSP-90 (COACHMAN'S CAPE)	⑥ 2X6 WINDOW TRIM BEN. MOORE CSP-65 (OLD SOUL)
⑦ HARDIE SIDINGS BEN. MOORE CSP-95 SEA SALT		

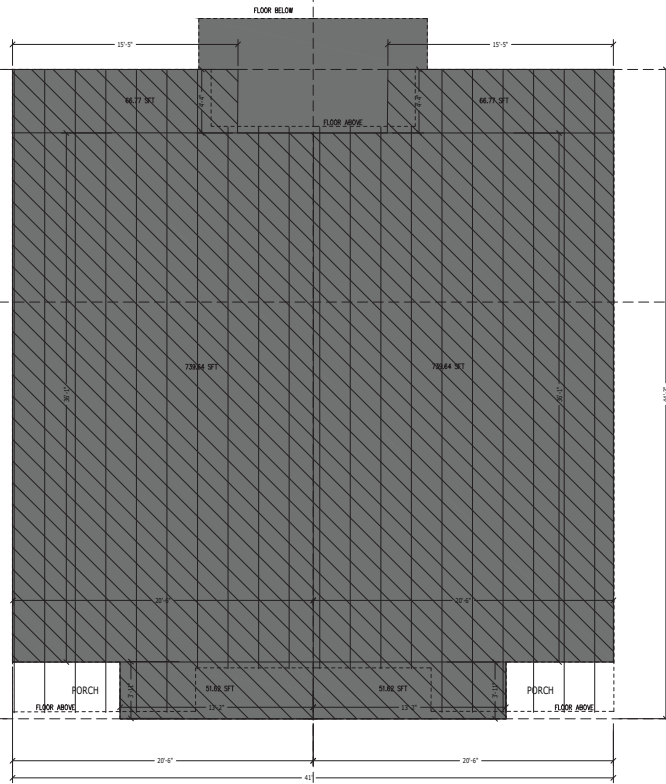
<p>MAPLE BUILDING DESIGN & CONSULTING (MBDC)</p> <p>THIS DRAWING/DESIGN IS AT ALL TIMES THE EXCLUSIVE PROPERTY OF MAPLE BUILDING DESIGN AND CONSULTING. IT MAY NOT BE USED OR DUPLICATED WITHOUT WRITTEN CONSENT.</p>	<p>6669 MAIN STREET, VANCOUVER, B.C. V6X 3H1</p> <p>Phone/Fax 604-771-8650 604-324-2572</p> <p>FAX 604-324-2572</p> <p>E-mail as1@shaw.ca</p>	<p>SITE ADDRESS: 229 EAST 22ND STREET, NORTH VANCOUVER</p>
	<p>DRAWING TITLE: STREET SCAPE</p> <p>BUILDER :SUKEY S MEHAT PHONE: 604 924 4663</p>	<p>DRAWN BY: DATE: ASIT 6 SEPT 2022</p> <p>SCALE: 1/8"=1'-0"</p> <p>DRAWING NUMBER: A 010</p>







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	BUILDER :SUKEY S MEHAT PHONE: 604 924 4663	SCALE: 1/8"=1'-0"




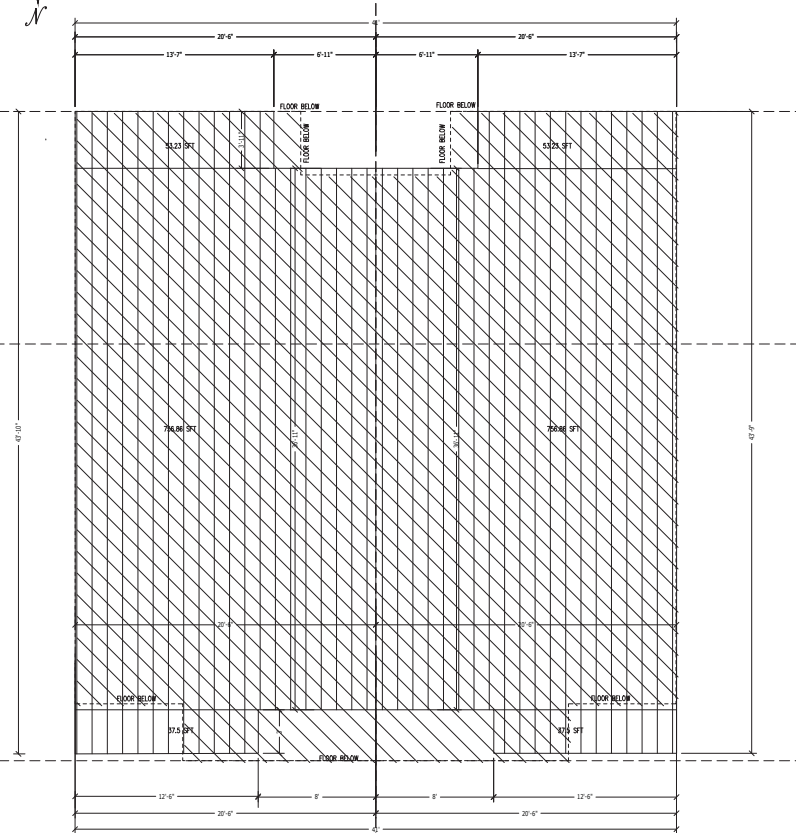
CELLAR PLAN
 FOOTPRINT = 1214.71 SFT
 UTILITIES AREA = 98.70 SFT
 TOTAL AREA = 1716.01 SFT



FIRST FLOOR PLAN
 TOTAL AREA = 1716.05 SFT

- LEGEND:**
-  BASEMENT COVERAGE
 -  UTILITY AREA
 -  MAIN FLOOR COVERAGE
 -  UPPER FLOOR COVERAGE





 MAPLE BUILDING DESIGN & CONSULTING (MBDC) <small>THIS DRAWING/DESIGN IS AT ALL TIMES THE EXCLUSIVE PROPERTY OF MAPLE BUILDING DESIGN AND CONSULTING. IT MAY NOT BE USED OR DUPLICATED WITHOUT WRITTEN CONSENT.</small>	6669 MAIN STREET, VANCOUVER, B.C. V6X 3R7 Phone/Fax: 604-771-6650 604-324-2572 FAX: 604-324-2572 E-mail: ast@mbdc.ca	SITE ADDRESS: 229 EAST 22ND STREET, NORTH VANCOUVER DRAWING TITLE: BASEMENT AND MAIN FLOOR OVERLAY PLAN BUILDER: SUKEY S. MEHAT PHONE: 604 924 4663	DRAWN BY: DATE: AST 6 SEPT 2022 DRAWING NUMBER: A 012
	SCALE: 1/4"=1'-0"		

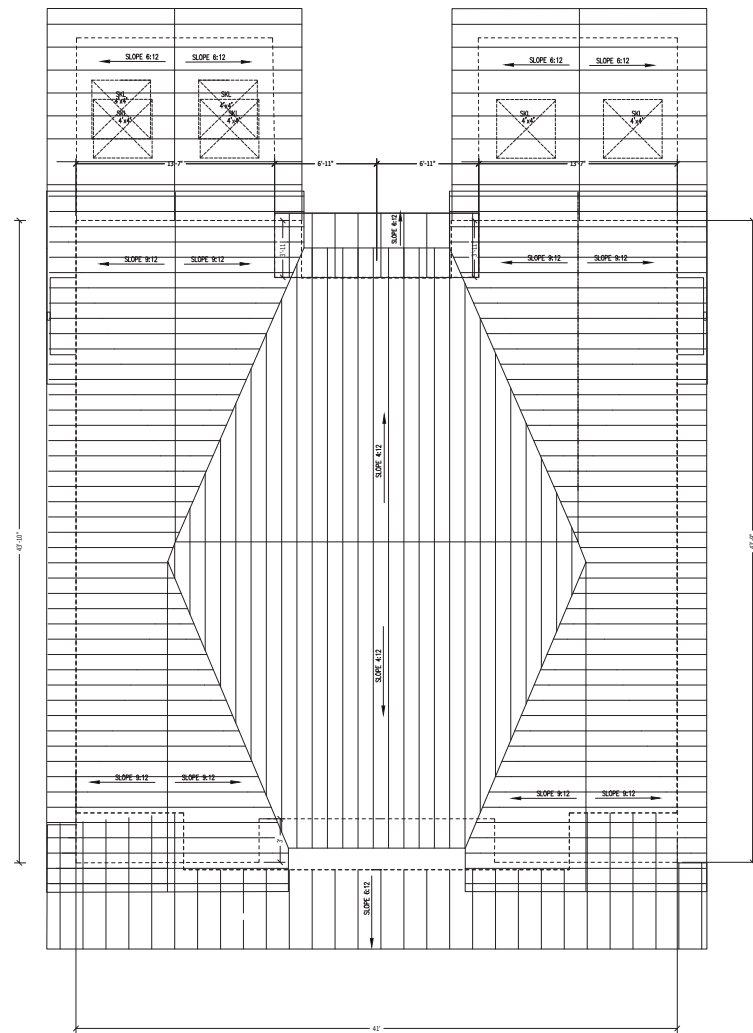


UPPER FLOOR PLAN

TOTAL AREA = 1695.18 SFT

LEGEND:


-  BASEMENT COVERAGE
-  UTILITY AREA
-  MAIN FLOOR COVERAGE
-  UPPER FLOOR COVERAGE



ROOF PLAN

TOTAL AREA = 1694.77 SFT



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		<p>DRAWING TITLE: UPPER FLOOR OVER LAY PLAN AND ROOF PLAN</p>	<p>DRAWN BY: ASH</p> <p>DATE: 6 SEPT 2022</p>
<p>BUILDER : SUKEY S MEHAT</p> <p>PHONE: 604 924 4663</p>	<p>SCALE: 1/4"=1'-0"</p>	<p>DRAWING NUMBER: A 013</p>	

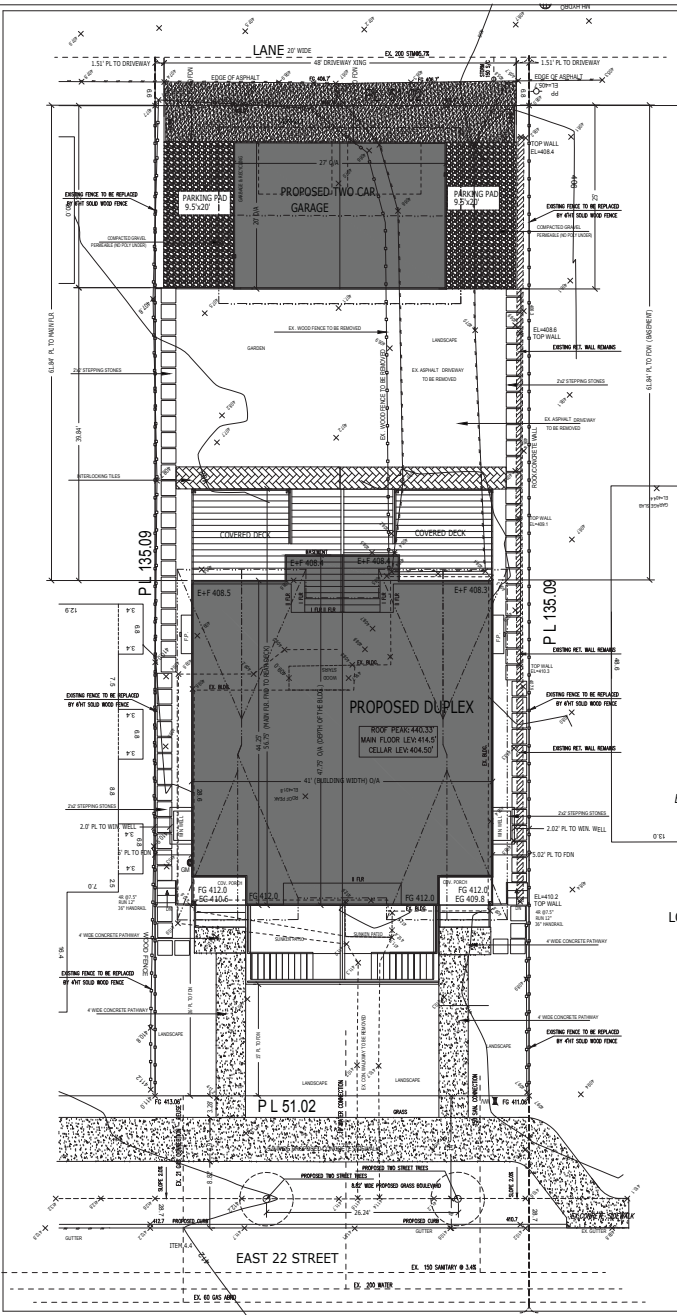
TOPOGRAPHIC SURVEY PLAN OF LOT 32 BLOCK 208 DL 546
GROUP 1 NWD PLAN 5481


CIVIC ADDRESS: 229 22ND ST EAST, NORTH
VANCOUVER
PID: 011-144-939

	LOT AREA: 6892 SFT	
	ALLOWED	PROPOSED
GFA (35%+1000 SFT)	3412.2	3411.24
IMPERV. 80%	4135.2	3799.25
LOT COVERAGE (35%)	2412.2	2394.71
GARAGE	591.37	580.0



LOT COVERAGE OVERLAY PLAN



 <p>MAPLE BUILDING DESIGN & CONSULTING (MBDC)</p> <p>THIS DRAWING/DESIGN IS AT ALL TIMES THE EXCLUSIVE PROPERTY OF MAPLE BUILDING DESIGN AND CONSULTING. IT MAY NOT BE USED OR DUPLICATED WITHOUT WRITTEN CONSENT.</p>	<p>6669 MAIN STREET, VANCOUVER, B.C. V6X 3H3</p> <p>Phone/Fax: 604-771-6650 604-324-2572</p> <p>FAX: 604-324-2572</p> <p>E-mail: os@mbdc.ca</p>	<p>SITE ADDRESS: 229 EAST 22ND STREET, NORTH VANCOUVER</p>
	<p>DRAWING TITLE: LOT COVERAGE OVERLAY PLAN</p>	<p>DRAWN BY: DATE: AST 8 SEPT 2022</p>
<p>BUILDER: SUKEY S MEHAT PHONE: 604 924 4663</p>	<p>SCALE: AS NOTED</p>	<p>DRAWING NUMBER: A 014</p>

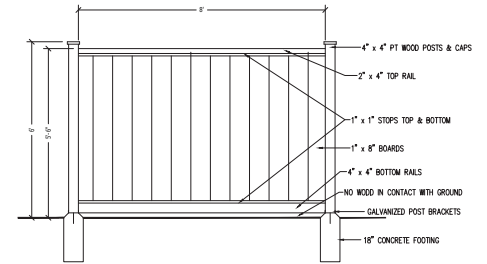
CIVIC ADDRESS: 229 22ND ST EAST, NORTH VANCOUVER

PLANT LIST				
NUMBER	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
10	hb	1.5-1.8m	Nandina domestica	Heavenly Bamboo
38	bs	#2 POT	Blechnum spicant	Deer Fern
20	vi	1.2m B & B	Thuja occidentalis	Smaragad Hrdging Cedar
19	aj	#1 pot	Astilbe Japonica	Astilbe
4	vd	#3 POT	Viburnum Davidi	David's Viburnum
6	AC	#2 POT	Acer circinatum	Vine Maple

LIGHTING LEGEND	
	LOW VOLTAGE GROUND MOUNTED LANDSCAPE LIGHTING
	WALL MOUNTED LOW VOLTAGE LIGHTING FIXTURE



LANDSCAPE PLAN
1/8" = 1'-0"



FENCE DETAIL
1/2" = 1'-0"

NOTES:
 *18" DEEP CONTINUOUS SOIL TRENCH TO ACCOMMODATE "FLUFF" MEDIUM GROWING MEDIUM
 *ALL SOIL TO BE CHAPER BEETLE RESISTANT OR SEEDED USING A CHAPER BEETLE RESISTANT MIX (6" AT LEAST TALL TURF TYPE FESCUE AND AT LEAST 4" MIXED CLOVER BY WEIGHT)
 *INSTALL 30" WIDE BEETLE BARRIER ALONG FULL LENGTH OF FRONT OF PROPOSED BULKHEAD
 *PROVIDE A MINIMUM OF 35 CUBIC METERS OF SOIL PER TREE
 *18" DIA CALIFORNIAN REDWOOD
 *30" DIA CALIFORNIAN REDWOOD
 *30" DIA CENTRE BRACING CENTRE ON LOT FRONTAGE AND OVER WIDTH OF GRASS BOULEVARD
 *TALL TREE SPECIES TO BE CHOSEN (4M OR TALLER)

NOTES:
 *ONV ARBORIST TO INSTALL 2 STREET TREES
 *18" DIA CALIFORNIAN REDWOOD
 *30" DIA CALIFORNIAN REDWOOD
 *30" DIA CENTRE BRACING CENTRE ON LOT FRONTAGE AND OVER WITH THE GRASS BOULEVARD
 *TALL TREE SPECIES TO BE CHOSEN (4M OR TALLER)

<p>MAPLE BUILDING DESIGN & CONSULTING (MBDC)</p> <p>THIS DRAWING/DESIGN IS AT ALL TIMES THE EXCLUSIVE PROPERTY OF MAPLE BUILDING DESIGN AND CONSULTING. IT MAY NOT BE USED OR DUPLICATED WITHOUT WRITTEN CONSENT.</p>	6669 MAIN STREET, VANCOUVER, B.C. V6X 3A3 Phone/Fax: 604-771-8650 / 604-324-2572 FAX: 604-324-2572 E-mail: asf@hbc.ca	SITE ADDRESS: 229 EAST 22ND STREET, NORTH VANCOUVER DRAWING TITLE: LANDSCAPE PLAN BUILDER: SUKEY S MEHAT PHONE: 604 924 4663	DRAWN BY: ASIT DATE: 8 SEPT 2022 DRAWING NUMBER: A 015
	SCALE: AS NOTED		



Meeting Minutes of Virtual Developer Information Session Rezoning Application from RS -1 to RT-1 for 229 East 22nd Street

Applicants: Bharati Shrestha, Asit Biswas

Meeting Information:

Date and Time of Virtual DIS: July 2, 2022, 6PM -8PM

Total no of Attendees: 8

Description of virtual DIS format: The Applicant (design team) conducted the virtual DIS using the video conferencing platform “Webex,” connecting all interested attendees. Besides the design team, in attendance were the Planner from the City of North Vancouver, the developer and three residents from the neighbourhood in question.

The project proposal, presented in PDF format, included the site plan, context plan, elevation of proposed duplex and streetscape. After the meeting had concluded, a comment form was sent to all to collect remarks and suggestions regarding the proposed rezoning application.

Summary of Key Concerns:

1. The excavation of the basement in the proposed site may be unsafe.
2. The height of the fence and the grade at the front of the neighboring lot, 233 East 22nd Street, is higher than those of the proposed site. This has resulted in an obstruction in vision from the neighbouring lot to the walkway towards the east.
3. Following #2, the existing retaining walls on both sides of the property line of 233 East 22nd Street were discussed.

Summary of proposal to resolve:

1. A low-fence wall was proposed in order to increase visibility on the neighboring lot.
2. The front yard grade of the proposed site will be raised to match the neighbouring lot.
3. As this is only the rezoning application, detail design is of later concern.

Messages from Comment Form:

The following are direct quotes received from the comment form.

1. Overall design looks good and in the context with the surrounding neighbourhood.
2. No objection to the Rezoning
3. Open for communication
4. Upgrade the lot by adding more hard and soft landscape
5. Support the project proposal
6. Use LEC or air source heat pump
7. Use low carbon cement
8. Solar Installation on roof
9. Provide Electric vehicle charging outlets

Conclusion:

All attendees were respectful, participatory, and welcome to criticism throughout the entire session. Everyone supported the rezoning of the proposed site, but each individual had varying opinions of the design of supporting structures (e.g., retaining wall, fence, grade, heating system, low carbon cement).

All recommendations made will be considered during the structural design phase of the project.



PUBLIC NOTICE

Regular Council Meeting

Monday, February 6, 2023 at 6:00pm

Zoning Amendment Bylaw No. 8956
for **229 East 22nd Street**

Proposal: To rezone the subject property from a One-Unit Residential (RS-1) Zone to a Two-Unit Residential (RT-1) Zone to allow for the development of a duplex.

To provide written input: All persons who believe their interest in property may be affected by the proposed bylaw will be afforded an opportunity to be heard by written or email submission.

All submissions must include your name and address and should be sent to the Corporate Officer at input@cnv.org, or by mail or delivered to City Hall, **no later than 12:00 noon on Monday, February 6, 2023**, to ensure their availability to Council at the meeting. No Public Hearing will be held.

Watch the meeting online at cnv.org/LiveStreaming or in person at City Hall, 141 West 14th Street. Enter City Hall through the doors at the southwest corner of the building (off 13th Street) after 5:30pm.

To view the documents: The proposed bylaw and background material can be viewed online at cnv.org/PublicHearings.

Questions? Linden Maultsaid-Blair, Planner,
lmaultsaidblair@cnv.org / 604-990-4217



141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9
T 604 985 7761 / F 604 985 9417 / CNV.ORG



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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8956

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8956**” (Bharati Shrestha / Maple Building Design, 229 East 22nd Street, RT-1).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 229 East 22nd Street and legally described below as henceforth being transferred, added to and forming part of RT-1 (Two-Unit Residential 1 Zone):

PID: 011-144-939	LOT 32 BLOCK 208 DISTRICT LOT 546 PLAN 5481
------------------	---------------------------------------------

from zone RS-1 (One-Unit Residential 1 Zone).

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: RENEWAL OF TEMPORARY USE PERMIT – 658 EAST 3RD STREET –
TEMPORARY SALES CENTRE

Date: January 25, 2023 File No: 09-4520-20-0005/2022

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Development Planner, dated January 25, 2023, entitled “Renewal of Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre”:

THAT Temporary Use Permit No. PLN2022-00030 (renewal of Temporary Use Permit No. TUP2019-00001), to permit a sales centre at 658 East 3rd Street, be renewed for an additional term expiring on October 27, 2025, in accordance with Section 497 of the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the renewal of the Temporary Use Permit.

ATTACHMENTS

1. Context Map (CityDocs [#2302615](#))
2. Architectural and Landscape Plans, dated April 2019 (CityDocs [#1818425](#))
3. Temporary Use Permit No. PLN2022-00030 (CityDocs [#2302621](#))

PURPOSE

The City has received an application from Creo Developments to renew a lapsed Temporary Use Permit for a sales centre located at 658 East 3rd Street (Attachment #1). The single story sales trailer has been in use since mid-2020.. The intent of this

application is to have the sales centre continue in operation for a renewal term expiring on October 27, 2025, with no further options to renew.

BACKGROUND

The previous Temporary Use Permit (TUP2019-00001) was approved by Council on October 28, 2019 for a three-year term. The permit expired on October 27, 2022 and the applicant made their renewal application on October 28, 2022. The extension would support the sales of units in the projects currently under construction, as well as one currently under review. The applicant has no further projects planned for the area.

PROJECT DESCRIPTION

The purpose of the sales centre is for the applicant's development projects south of East 3rd Street. The building is a one-storey modular structure approximately 185 square meters (2,000 square feet) in size and has been in operation since June 2020. Off-street parking and short-term bike parking are provided on site and accessed off the rear lane, as shown in the approved plans dated April 2019 (Attachment #2). No adjustments to the plans are being proposed with this renewal application.

When the TUP expires, the modular building will be removed from the site and the site reclaimed to a vacant state.

SITE CONTEXT

The subject site is located on the north side of East 3rd Street, one lot west of the intersection of East 3rd Street and Moody Avenue (Attachment #1), within the Moodyville Development Permit area. The subject site is one of the remaining single detached lots that have not been subject to redevelopment.

POLICY FRAMEWORK

The operation of a sales centre within the RG-3 Zone requires a Temporary Use Permit (TUP), as it is not a permitted use. On October 28, 2019, Council determined that the original TUP was in the interest of the public, in general, and met the conditions set out in the OCP and approved its issuance. Council may choose to renew a TUP for an additional three year term and the TUP may not exceed a combined six year term.

LAND USE

The proposed modular building was placed on the site in accordance with the Zoning Bylaw's building site requirements for the RG-3 Zone.

Four off-street parking stalls are accessed from the rear lane, along with bike racks for short-term bike parking. The proposed number of off-street parking stalls and short term bike parking is in conformance with the commercial parking requirements of the Zoning Bylaw.

The proposed hours of operation of the sales centre renewal is unchanged from the previous TUP (Attachment #3). To date, Bylaw Services have received no complaints to the operation of the sales centre since it opened.

The TUP renewal is supported, as the location is directly across the street from the development sites, and it gives the land short-term flexibility to support the buildout of the Moodyville neighbourhood.

As the temporary sales centre use has proven to be a public benefit since the issuance of the original TUP, staff are recommending the renewal for an additional term to expire October 27, 2025. No further renewals will be permitted.

PUBLIC CONSULTATION

The applicant notified the immediate area of the renewal application and placed a notification sign on the property to invite feedback. Two comments were received with one in support, and the other expressing concern that the temporary use in a residential area for six years is too long. As this is a renewal application, no Developer Information Session was held.

CONCLUSION

The proposed TUP renewal provides short-term flexibility to a site to support the build-out of the Moodyville area. Given there have been no complaints since the operation of the sales centre and a limited amount of public feedback for the renewal application, it is anticipated that the location across from the applicant's development sites will continue to have a minimal impact on neighbouring properties.

RESPECTFULLY SUBMITTED:



David Johnson
Development Planner



NOTES

NO	DESCRIPTION

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Temporary Use Permit	190507

Morrison on the Park Sales Centre

658 E 3rd St, North Vancouver, BC

Site Plan

DATE	APRIL 2019
DRAWN BY	AZ
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1815

CONTEXT PLAN



DRAWING LIST

A101	Site Plan
A401	Sections + Elevations

BUILDING CODE ANALYSIS

Relevant Code:	BC BC 2012
Tenant Occupancy & Type:	Group D Personal & Business
Subject Property Floor Area:	185.5 m ² (1,997 sq.ft.)
Occupant Load:	20 People
Occupant Load / Person:	9.30 m ² / Person
Number of Exits:	2
Max. allowable Travel Distance to single exit:	40 m
Building Height:	1 Storey
Fire Protection:	Not required
Fire Alarm Required:	Not required
Exit Sign Required:	Yes
Emergency Lighting Required:	Yes
Construction Type:	Combustible

LEGAL ADDRESS

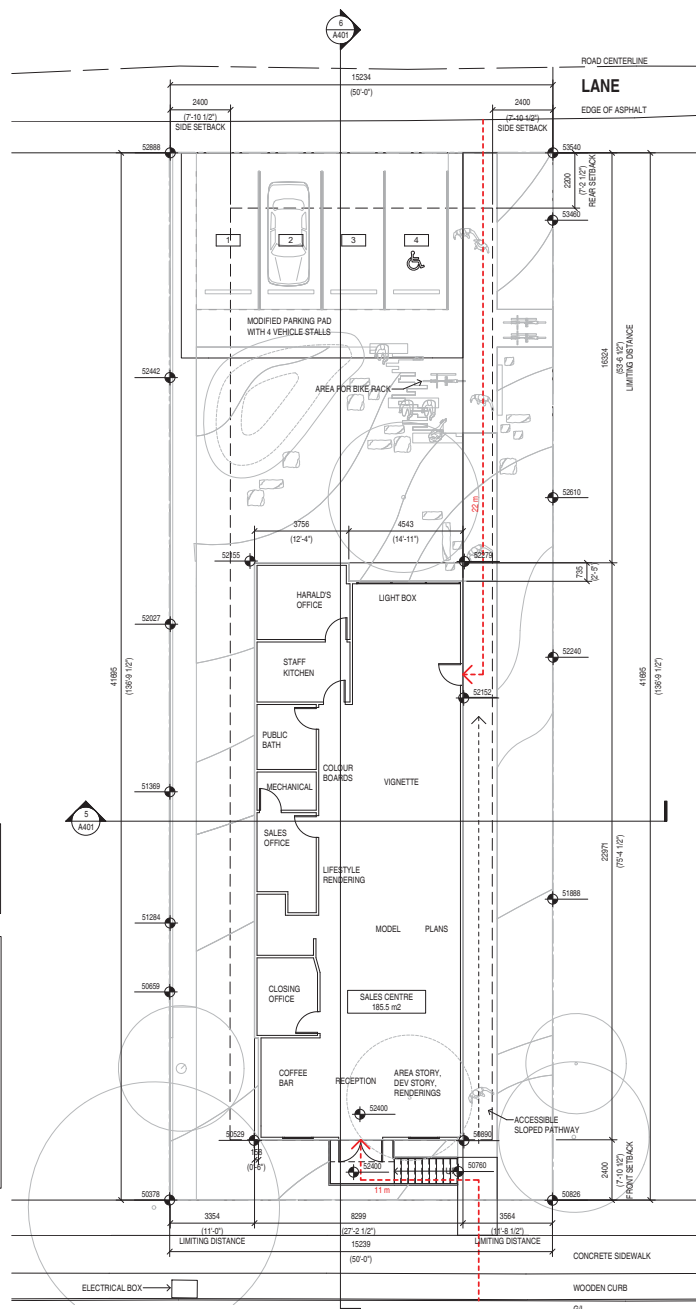
Lot 15, Block 22, District Lot 273, Plan 1063

CIVIC ADDRESS

658 E 3rd Street, North Vancouver, BC, V7L 1G7

PROJECT DATA

SITE AREA:	635.3m ² (8838ft ²)	
ZONING:	RG-3	
	PERMITTED	PROPOSED
GROSS FLOOR AREA:	0.5	0.29
BUILDING HEIGHT:	12m (39.4 ft.)	6.1m (20.0 ft.)
LOT COVERAGE:	60%	29%
SETBACKS:		
FRONT	2.4m (7.83 ft.)	2.4m (7.83 ft.)
EAST SIDE	2.4m (7.83 ft.)	3.6m (11.67 ft.)
WEST SIDE	2.4m (7.83 ft.)	3.4m (11.0 ft.)
REAR	2.2m (7.17 ft.)	16.3m (53.5 ft.)
PARKING	4	
BICYCLE PARKING		3

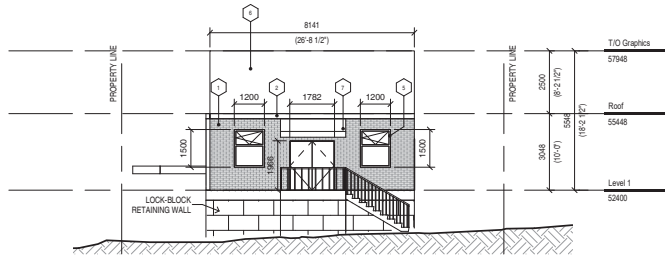


1 Site Plan
1:100

EAST 3RD STREET

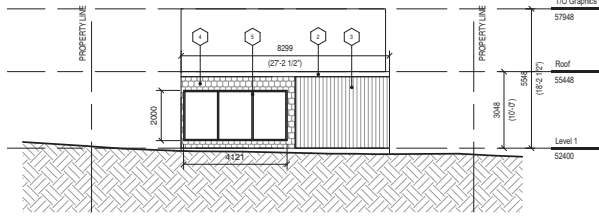


A101



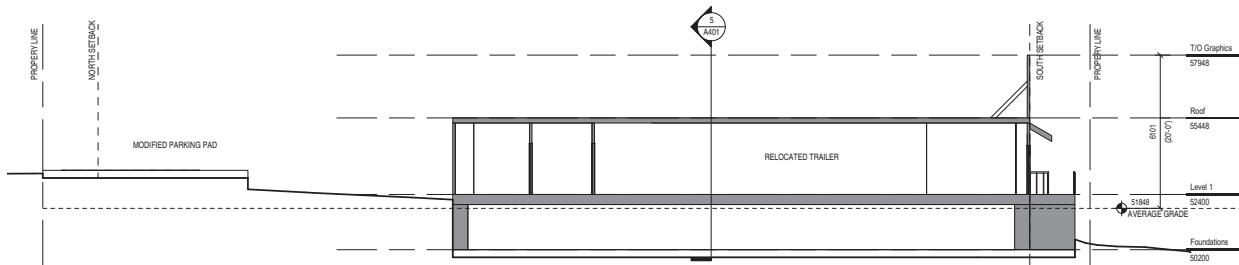
1 South
1:100

45.16 m² = AREA OF EXPOSED BUILDING FACE
7.32 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
16.2 % = PROPOSED OPENING
8.5 m = LIMITING DISTANCE
100 % = ALLOWED UNPROTECTED OPENING

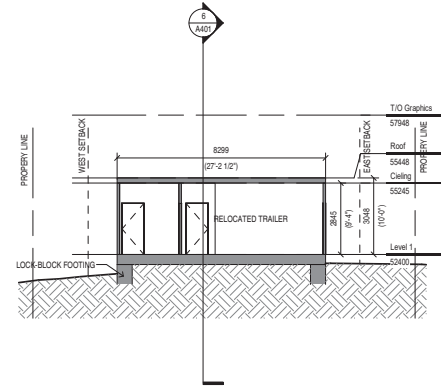


2 North
1:100

24.8 m² = AREA OF EXPOSED BUILDING FACE
8.24 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
33.2 % = PROPOSED OPENING
16.32 m = LIMITING DISTANCE
100 % = ALLOWED UNPROTECTED OPENING



6 Section B
1:100



5 Section A
1:100

NOTES

NO	DESCRIPTION

MATERIAL LEGEND

- GREY BRICK - WESTPORT USED
- WOOD TONED NON-COMBUSTIBLE TRIM
- HARDE SIDING - IRON GRAY
- HARDE SHINGLES - LIGHT MIST
- BLACK MULLIONS AND DOOR
- NON-COMBUSTIBLE GRAPHICS
- CANOPY - BLACK

ISSUED / REVISIONS

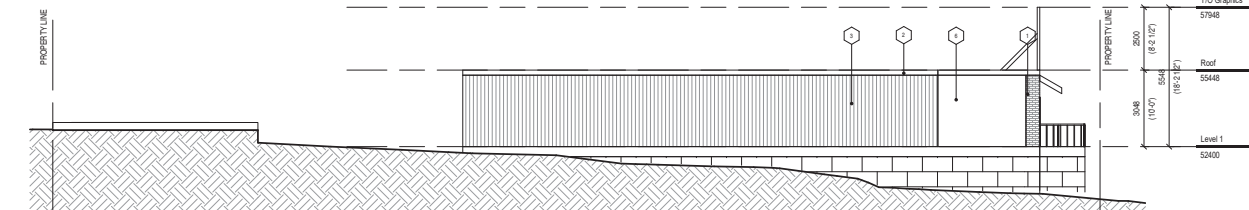
NO	DESCRIPTION	DATE
1	Issued for Temporary Use Permit	190507

**Morrison on the Park
Sales Centre**

658 E 3rd St, North Vancouver, BC

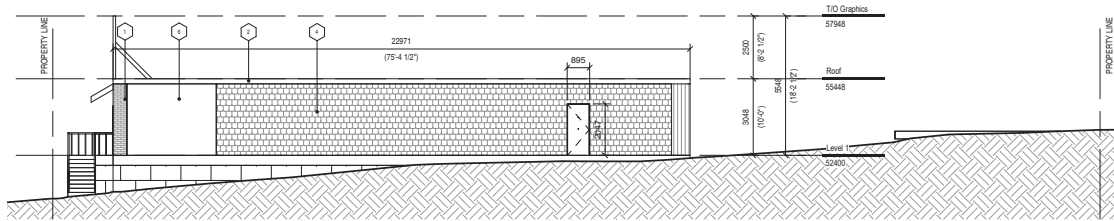
Sections + Elevations

DATE	APRIL 2019
DRAWN BY	AZ
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1815



3 West
1:100

69.78 m² = AREA OF EXPOSED BUILDING FACE
0 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
0 % = PROPOSED OPENING
3.35 m = LIMITING DISTANCE
9 % = ALLOWED UNPROTECTED OPENING



4 East
1:100

69.78 m² = AREA OF EXPOSED BUILDING FACE
1.96 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
2.8 % = PROPOSED OPENING
3.35 m = LIMITING DISTANCE
9 % = ALLOWED UNPROTECTED OPENING

MORRISON ON THE PARK SALES CENTRE

ISSUED FOR TEMPORARY USE PERMIT

**CLIENT:
CREO DEVELOPMENT LTD**

HARALD SINOW
harald@creodevelopments.ca
778.938.6227

**ARCHITECTURAL DRAWING CONSULTANTS:
SHAPE ARCHITECTURE**

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604.687.4457

BEN FISHER
b.fisher@shapearchitecture.ca
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ENNS GAUTHIER LANDSCAPE ARCHITECTS**

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604.763.2886

JAZMÍN CEDERÑO
jazzmin@ennsgauthier.com
778.710.1819

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L1.0	LAYOUT PLAN
L2.0	MATERIALS PLAN
L3.0	GRADING PLAN
L4.0	LIGHTING PLAN
L5.0	PLANT LIST



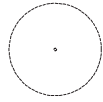
A Issue for Temporary Use Permit: 19-05-01

Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.

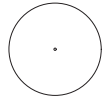
Creo Development
19101
19-05-01

L0.0
COVER SHEET

LEGEND



TREE TO REMOVE



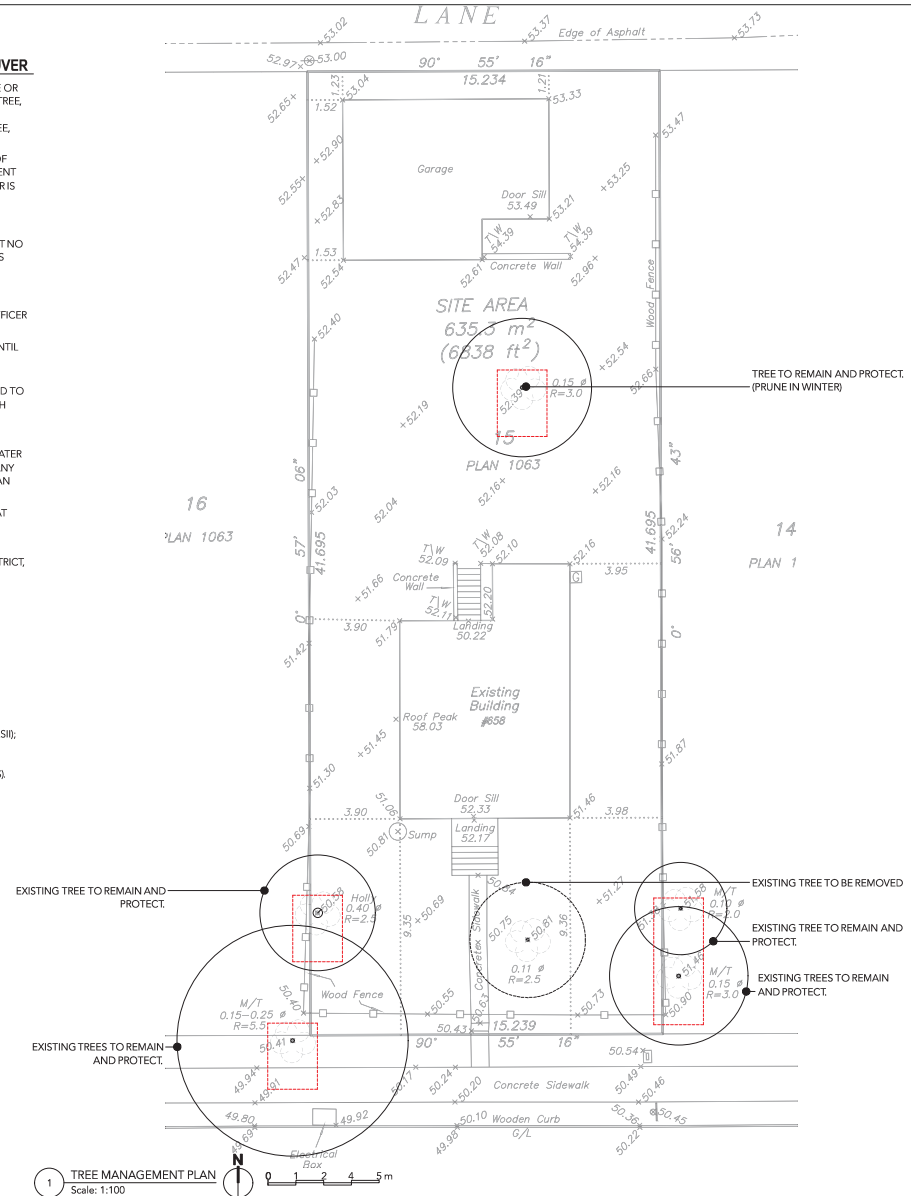
TREE TO REMAIN AND PROTECT AS PER CITY OF NORTH VANCOUVER STANDARDS.



TREE PROTECTION BARRIER AS PER CITY OF NORTH VANCOUVER TREE PROTECTION BYLAW.

TYPICAL TREE PROTECTION FOR NORTH VANCOUVER

1. INSTALL A TREE PROTECTION BARRIER AROUND ANY RETAINED TREE OR GROUP OF RETAINED TREES AT THE DRIP LINE OF THE OUTERMOST TREE, THE OUTSIDE BOUNDARY OF THE CRITICAL ROOT ZONE OF THE OUTERMOST TREE, OR 5M FROM THE STEM OF THE OUTERMOST TREE, WHICHEVER IS GREATEST;
2. ENSURE THAT SUCH TREE PROTECTION BARRIER IS CONSTRUCTED OF CHAIN LINK OR PLYWOOD FASTENED TO SOLID WOOD OR EQUIVALENT FRAMING WITH RAILINGS ALONG THE TOPS, SIDES AND BOTTOM, OR IS CONSTRUCTED OF MATERIALS OTHERWISE SATISFACTORY TO THE ENVIRONMENTAL PROTECTION OFFICER;
3. DISPLAY SIGNAGE INDICATING THAT THE AREA WITHIN THE TREE PROTECTION BARRIER IS A "PROTECTION ZONE," AND STATING THAT NO ENCROACHMENT, STORAGE OF MATERIALS OR DAMAGE TO TREES IS PERMITTED WITHIN THE "PROTECTION ZONE;"
4. ARRANGE FOR INSPECTION BY THE ENVIRONMENTAL PROTECTION OFFICER BEFORE ANY WORK COMMENCES, AND REFRAIN FROM COMMENCING WORK UNTIL THE ENVIRONMENTAL PROTECTION OFFICER HAS APPROVED THE TREE PROTECTION BARRIER; AND
5. ENSURE THAT THE TREE PROTECTION BARRIER REMAINS IN PLACE UNTIL WRITTEN APPROVAL OF ITS REMOVAL IS RECEIVED FROM THE ENVIRONMENTAL PROTECTION OFFICER.
6. NO WORK IS PERMITTED WITHIN THE "PROTECTION ZONE" REFERRED TO IN SECTION 11(C) OF THE BYLAW 7671 EXCEPT IN ACCORDANCE WITH PLANS AND PROCEDURES AUTHORIZED BY A TREE PERMIT.
7. BYLAW APPLIES TO ALL PRIVATE PROPERTY AND CITY LANDS.
8. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE IF GREATER THAN 75CM (EXCEPT YEW GREATER THAN 25CM), HERITAGE TREES, ANY SIZE TREE ON STEEP SLOPES, WILDLIFE TREES, STUMPS GREATER THAN 1.5M, COVENANTED TREES, TREES ON CITY LAND
9. REPLACEMENT TREES ARE REQUIRED, UNLESS PROPERTY STILL HAS AT LEAST 20% TREE COVER
10. PROTECTED TREES INCLUDE:
 11. ANY TREE ON LAND OWNED BY OR IN THE POSSESSION OF THE DISTRICT, INCLUDING, WITHOUT LIMITATION, A TREE IN A PARK OR ON A BOULEVARD, ROAD OR LANE ALLOWANCE;
 12. ANY TREE WITHIN A PROTECTED AREA;
 13. ANY TREE ON SLOPING TERRAIN;
 14. ANY REPLACEMENT TREE;
 15. ANY RETAINED TREE;
 16. ANY HERITAGE TREE;
 17. ANY WILDLIFE TREE;
 18. ANY TREE LOCATED ON WETLAND OR WATERFRONT;
 19. ANY TREE OF THE FOLLOWING SPECIES: ARBUTUS (ARBUTUS MENZIESII); GARRY OAK (QUERCUS GARRYANA); OREGON ASH (FRAXINUS SPP); PACIFIC YEW (TAXUS BREVIFOLIA); WESTERN WHITE PINE (PINUS MONTICOLA); OR YELLOW CEDAR (CHAMAECYPARIS NOOTKATENSIS).



A Issue for Temporary Use Permit: 19-05-01

Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.

Creo Development
19101
19-05-01

L0.1
TREE MANAGEMENT PLAN

LANDSCAPE DESIGN RATIONALE

THE LANDSCAPE CONCEPT FOR THE SALES CENTRE FOCUSES ON A MAIN ENTRANCE/GATHERING SPACE ALONG AN EXISTING TREE USING MATERIALS AND PLANTING TO SHOWCASE THE EAST COAST LANDSCAPE.

RAINWATER MANAGEMENT IS TAKEN INTO CONSIDERATION THROUGHOUT THIS SITE AND BY CREATING A RIVER ROCK GARDEN FOR A PERMEABLE LANDSCAPE.

A WOODEN PATHWAY FLOATS ON TOP OF A SUCCESSION OF PERENNIALS AND GRASSES CREATING AN EXPERIENCE OF COLOR AND TEXTURE THROUGHOUT THE SITE.

THE MATERIALS AND PLANTING PALETTE REFLECT THE LANDSCAPE DESIGN FOR THE PROPOSED "MORRISON ON THE PARK" PROJECT.

KEY AREAS

- 1 ENTRY CORRIDOR TO THE SALES CENTRE: SEATING, FEATURE PAVERS WITH STAGGERED EDGES, BIKE RACKS AND SIGNAGE.
- 2 "THE WEST COAST GARDEN": MOUND, RIVER ROCK, BOULDERS AND NATIVE PLANTING.
- 3 CURVILINEAR PLANTING: PERENNIALS AND GRASSES.
- 4 MAIN ENTRANCE. REFER TO ARCHITECTURAL DRAWINGS.
- 5 ACCESSIBLE SECONDARY ENTRANCE. WOOD PATHWAY TO ENTRANCE.
- 6 PRIVACY PLANTING AND SCREENS.



1 ENTRY CORRIDOR TO THE SALES CENTRE: SEATING, FEATURE PAVERS WITH STAGGERED EDGES, BIKE RACKS AND SIGNAGE.



2 "THE WEST COAST GARDEN": PLANTED MOUND, RIVER ROCK, BOULDERS AND NATIVE PLANTING.



3 CURVILINEAR PLANTING: PERENNIALS AND GRASSES.



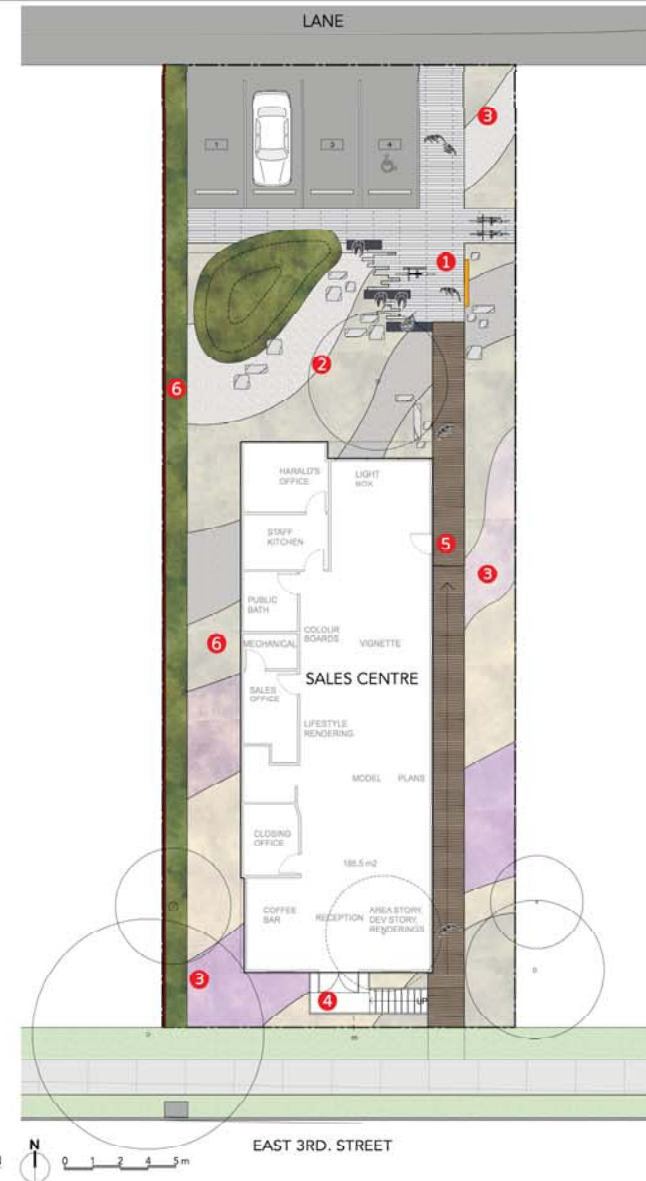
4 MAIN ENTRANCE. WOOD PATHWAY TO ENTRANCE. REFER TO ARCHITECTURAL DRAWINGS FOR ENTRANCE STAIRS.



5 ACCESSIBLE SECONDARY ENTRANCE: WOOD PATHWAY TO ENTRANCE.



6 PRIVACY PLANTING AND SCREENS.



MATERIALS LEGEND

SYMBOL	QTY	DESCRIPTION
	P1	PAVING TYPE 1 3 15/16" x 23 5/8" x 3 15/16" Theo Bloc pavers. Smooth Finish. Colour: Grey Nickel.
	P2	THERMALLY MODIFIED WOOD PATHWAY Dimension varies c/w steel frame, surface mounted to paving.
	P3	RIVER ROCK 1 2" - 6" dia. washed river rock.
	P4	RIVER ROCK 2 2" dia. washed mexican river rock.
	P5	ASPHALT-See civil.
		PERENNIAL BED 18" min. soil depth for shrubs 3' min. soil depth for trees
		FOUNDATION/ HEDGE PLANTING 18" min. soil depth for shrubs 3' min. soil depth for trees
		MULCH Bark mulch as specified.
		GRANITE BOULDERS Sizes varies. Refer to layout plan for location and sizes.
		BASALT BOULDER BENCH Sawn top with chamfer edges. Natural, weathered appearance on all exposed sides. Sizes varies. Refer to layout plan for location and sizes. Supplier: Northwest Landscape Supply
		SIGNAGE- 6' HT. By owner
		U-BIKE RACK Madrax U-bike rack. Capacity 2 bikes. Surface mounted. 1 7/8" dia. tube. Powdercoated colour platinum. Supplier: Madrax

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ESURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.



Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.

Creo Development
19101
19-05-01

A Issue for Temporary Use Permit: 19-05-01

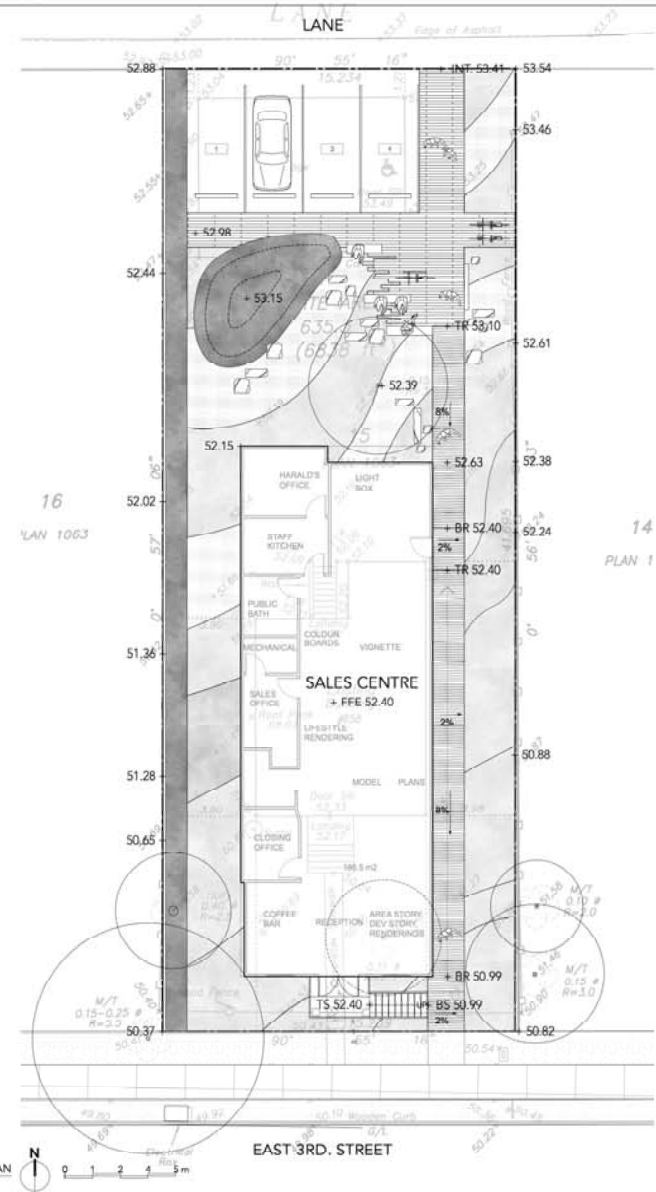
L2.0
MATERIALS PLAN

GRADING LEGEND

SYMBOL	DESCRIPTION
	EXISTING SPOT ELEVATION (AS PER SURVEY)
	SLOPE DIRECTION (SEE ARCH.)
	PROPOSED SPOT ELEVATION
	FINISHED FLOOR ELEVATION (SEE ARCH.)
	TOP OF RAMP (SEE ARCH.)
	BOTTOM OF RAMP (SEE ARCH.)

GENERAL GRADING NOTES:

1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
2. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
11. FINAL GRADING SHALL BE REVIEWED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING. SEE ARCHITECTURE DRAWINGS FOR FINAL RAMP/PATHWAY GRADES, AND FOR CODE COMPLIANCE.



A Issue for Temporary Use Permit: 19-05-01

Morrison in the Park Sales Centre
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North Vancouver B.C.

Creo Development
19101
19-05-01

L3.0
GRADING PLAN

LIGHTING LEGEND

QTY	TYPE	MANUFACTURER	DESCRIPTION
3	Path Light	BK Lighting	Glowl Star Series Style K (BZW) stake mounted
27	Spot Flood	BK Lighting	Nite Star LED Floodlight with 12" power pipe stake. Model # NS-LED-E22-AR-BLP-9-11-B/PP-S-12-B (Requires remote magnetic transformer)
11'	lin. ft. LED Strip	Bruck	Orion Belt narrow beam spread LED's mounted underneath wood pathway.



A Type A-BK Lighting Path Light



B Type B- BK Lighting Spot Flood

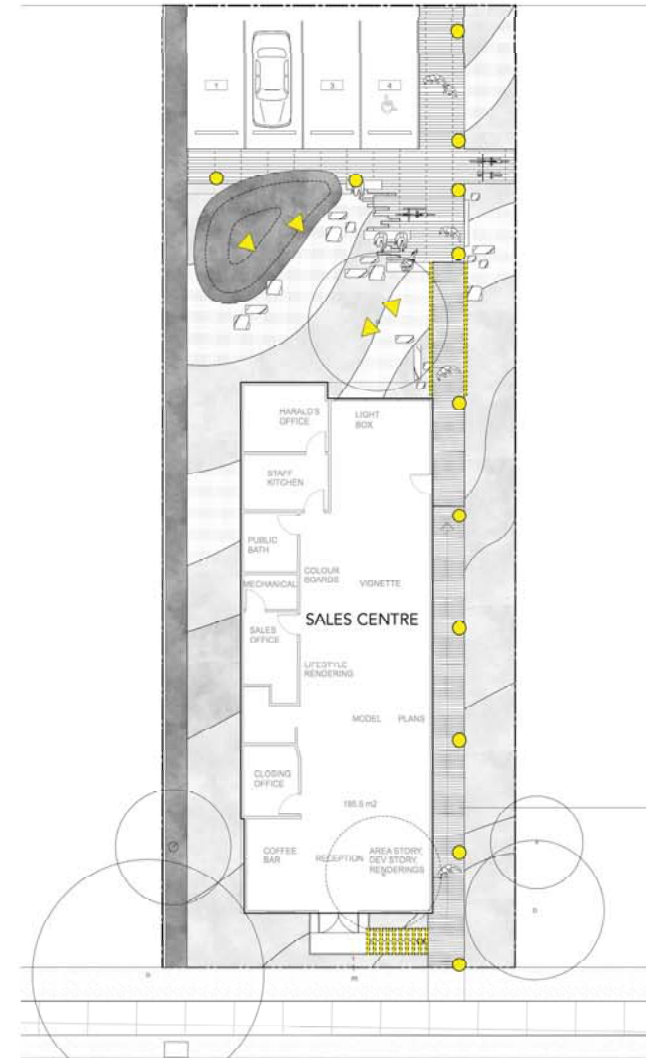


C Type C-Bruck LED Strip

GENERAL LIGHTING NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL ELECTRICAL WORK FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY LICENSED ELECTRICAL ENGINEER, OR MASTER ELECTRICIAN, PRIOR TO WORK COMMENCING/INSTALLATION.
2. ALL FIXTURE TYPES, SPACING, AND QUANTITIES TO BE CONFIRMED.
3. PRICE BASED ON LED LIGHT SOURCE FOR APPLICABLE LUMINAIRES
4. REFER TO ELECTRICAL ENGINEER FOR SERVICING REQUIREMENTS
5. THE LIGHTING CONTRACTOR IS OBLIGATED TO REFER TO THE LANDSCAPE PLANS AND DETAILS FOR LOCATIONS OF FIXTURES RELATIVE TO THE PROPOSED HARDSCAPE AND PLANTING PLANS. NOTED DIMENSIONS ARE APPROXIMATE. REFER TO NOTE OR ENLARGEMENT, FOR FINAL PLACEMENT. CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION, IF NEEDED.
6. THE LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE SHALL APPROVE THE FLAGGED LAYOUT OF THE FIXTURES AND ELECTRICAL SYSTEM PRIOR TO TRENCHING AND/OR FOUNDATION PREPARATION.
7. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PLACEMENT OF SI FEES PRIOR TO PAVING. SI FEES MATERIAL SHALL BE SCHEDULE 40 AND AT A MINIMUM DEPTH TO MEET ALL ELECTRICAL CODES.
8. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES, AND ASSOCIATED FEES REQUIRED TO INSTALL THE SYSTEMS INCLUDING ALL ELECTRICAL CONDUIT, LIGHT FIXTURES, WIRE, PANELS, JUNCTION BOXES AND NECESSARY EQUIPMENT FOR THE COMPLETION OF THE WORK.
9. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES, COMMUNICATIONS PROVIDERS AND OTHERS TO IDENTIFY AND MARK LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN THE SCOPE OF WORK. KNOWN UTILITIES WHICH MAY BE ENCOUNTERED INCLUDE: ELECTRICAL, STORM SEWER, WATER, AND SANITARY SEWER.
10. VERIFY IN FIELD, ALL LOCATIONS OF FIXTURES, ELECTRICAL LINES OR OTHER LIGHTING SYSTEM ELEMENTS WITHIN THE DRIP LINE OF ANY EXISTING TREES. NOTIFY LANDSCAPE ARCHITECT OF SUCH OCCURRENCES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE WITHIN THE DRIPLINE OF ANY TREE, REFER TO SPECIFICATIONS.
11. ELECTRICAL CONDUIT LAYOUT IS DIAGRAMMATIC ON DOCUMENTS. ADJUST LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE MINIMAL IMPACT TO IN PLACE AND FUTURE ELEMENTS. AVOID INSTALLATIONS UNDER TREES.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ELECTRIC POWER, AND PROPOSED CONNECTIONS AND METERS IN THE FIELD FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS, AND PHOTO CELL CONTACTORS FOR ACTIVATION OF LIGHTING CIRCUITS.
14. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS AND ASTRONOMIC TIME CLOCK FOR DE-ACTIVATION ON LIGHTING CIRCUITS.
15. THE LIGHTING SYSTEM SHALL BE PHOTOCELL ON, TIMER OFF.

LANE



1 LIGHTING PLAN Scale: 1:100

EAST 3RD. STREET



A Issue for Temporary Use Permit: 19-05-01

Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.




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19101
19-05-01

L4.0
LIGHTING PLAN












PLANTING LIST

Botanical Name **Common Name**

SHRUBS

	<i>Arbutus unedo</i> 'Compacta'	Compact Strawberry Bush
	<i>Ribes sanguineum</i>	Red Flowering Currant
	<i>Rosa nutkana</i>	Nootka Rose

ORNAMENTAL GRASSES, PERENNIALS, AND FERNS

	<i>Calamagrostis x scutiflora</i> 'Karl Foerster'	Foerster's Feather Reed Grass
	<i>Carex testacea</i> 'Prairie Fire'	Orange New Zealand Sedge
	<i>Festuca 'Idahoensis'</i>	Idaho fescue
	<i>Stipa tenuissima</i>	Mexican Feather Grass
	<i>Blechnum spicant</i>	Deer Fern
	<i>Euphorbia characias</i> subsp. <i>wulfenii</i>	Spurge
	<i>Gaultheria shallon</i>	Salal
	<i>Hemerocallis x 'Stella de Oro'</i>	Daylily
	<i>Lavandula angustifolia</i> 'Hidcote'	Hidcote Lavender
	<i>Polystichum munitum</i>	Western sword fern
	<i>Rubicecia hirta</i> 'Goldatum'	Black-eyed Susan

NOTE: Irrigation to be done manually. Location of hosebids by contractor.

SHRUBS



Arbutus unedo 'Compacta' **Compact Strawberry Bush**
Ribes sanguineum **Flowering Currant**
Rosa nutkana **Nootka Rose**

ORNAMENTAL GRASSES, PERENNIALS AND FERNS



Calamagrostis scutiflora 'Karl Foerster' **Feather Reed Grass**
Stipa tenuissima **Mexican Feather Grass**
Gaultheria shallon **Salal**
Hemerocallis 'Stella d'Oro' **Stella d'Oro Daylily**
Lavandula angustifolia **English Lavender**
Polystichum munitum **Western Sword Fern**



Carex testacea 'Prairie Fire' **New Zealand Hair Sedge**
Euphorbia characias subsp. *wulfenii* **Mediterranean Spurge**
Rubicecia hirta 'Goldatum' **Black-eyed Susans**
Festuca Idahoensis **Idaho Fescue**
Blechnum spicant **Deer Fern**



A Issue for Temporary Use Permit 19-05-01

Morrison in the Park Sales Centre
 658 E 3rd St.
 North Vancouver B.C.

Creo Development
 19101
 19-05-01

L5.0
 PLANT LIST



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
TEMPORARY USE PERMIT

Permit No. PLN2022-00030

File: 09-4520-20-0005/2022

Issued to owner(s): **1072555 B.C. Ltd., Inc. No. BC1072555**

Respecting the lands located at **658 East 3rd Street**, North Vancouver, BC, legally described as:

LOT 15 BLOCK 22 DL 273 PLAN 1063 PID: 015-013-073

(the “**Lands**”)

List of Attachments:

Schedule “A”: List of Plans

Authority to Issue:

1. This Temporary Use Permit is issued pursuant to Section 493 of the *Local Government Act*.
-

Bylaws Supplemented or Varied:

2. The provisions of the City of North Vancouver “Zoning Bylaw, 1995, No. 6700” Ground-Orientated Residential 3 (RG-3) Zone are hereby varied as follows:
 - A. This permit temporarily allows the Lands to be used for the purposes described below:
 - i. To permit Creo Developments Ltd. to install and occupy a trailer up to a maximum of 185.0 square metres (2,000 square feet) for the purpose of a temporary sales centre (business office).
-

Special Terms and Conditions of Use:

3. Hours of operation shall be limited to:
 - 11:00 am to 6:00 pm Saturday to Thursday;
 - Closed Friday; and
 - Any special event may exceed closing hours listed in this permit but not beyond two hours.

General Terms and Conditions:

4. This Temporary Use Permit is issued by the City of North Vancouver subject to compliance with all the applicable bylaws of the City except as specifically varied or supplemented by this Permit. No variances other than those specifically set out in this permit are implied or to be construed.
5. The Lands shall be used in accordance with the terms and conditions of this Permit. All terms and conditions are subject to any changes required by the Building Inspector or other officials of the City where such specifications do not comply with any bylaw or statute, and such non-compliance is not specifically permitted through the issuance of this Temporary Use Permit.
6. This Permit expires October 27, 2025.
7. The Permit holder acknowledges that a Building Permit or other City Permits and Licenses may be required. This is not a Building Permit.
8. Nothing in this Permit shall in any way relieve Land Owner/Business Owners obligation to ensure that the use complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.

9. Nothing in this Permit shall in any way relieve the Land Owner/Business Owners obligation to comply with regulations for construction of structures or provision of on-site services pursuant to the Health Act, the Fire Services Act, the Electrical Energy Inspection Act, and any other provincial statutes.

Authorized by Council: _____
Year / Month / Day

Expiry Date: _____
Year / Month / Day

Linda C. Buchanan, Mayor

Karla Graham, Corporate Officer

Date Signed: _____
Year / Month / Day

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Temporary Use Permit No. TUP2022-00030.

Notice filed the _____ day of _____, 20_____.

THIS IS NOT A BUILDING PERMIT

Schedule A
List of Plans – 658 East 3rd Street

Architect	Sheet Name	Sheet No.	Date	CityDocs File Number
Shape Architecture	Site Plan	A101	May 7, 2019	1818425
Shape Architecture	Sections + Elevations	A401	May 7, 2019	1818425
Enns Gauthier Landscape Architecture	Cover Sheet	L0.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Tree Management Plan	L0.1	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Layout Plan	L1.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Materials Plan	L2.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Grading Plan	L3.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Lighting Plan	L4.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Plant List	L5.0	May 1, 2019	1818425

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R.B. Department Manager	JP Director	M CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council
From: Emma Chow, Planner 2
Subject: REZONING FOR LANDS UNDER LAND USE CONTRACTS
Date: January 25, 2023 File No: 06-2210-10-0004/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 2, dated January 25, 2023, entitled "Rezoning for Lands Under Land Use Contracts":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8952" (Land Use Contract Legacy Regulations and New RG-2A Zone) be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

AND THAT notification be circulated in accordance with the *Local Government Act*.

ATTACHMENTS

1. Report to Council dated June 1, 2022 entitled "Termination of Land Use Contracts" (CityDocs [2196532](#))
2. Context Map (CityDocs [2231045](#))
3. Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8952 (CityDocs [2229899](#))

PURPOSE

The purpose of this report is to present, for Council consideration, a zoning amendment bylaw to rezone the lands identified in a previous staff report (Attachment 1) to general zones that are most similar to the provisions of the respective Land Use Contracts (LUCs).

BACKGROUND

LUCs were used as a land regulation tool in the 1970’s. LUCs that were adopted and registered on title continue to be in effect as the de facto zoning for a site. However, the rezoning process was subsequently established, which rendered the need for new LUCs obsolete and LUCs have not been used for many years. In 2014, the Province adopted legislation, Bill 17, which stipulates that all LUCs will automatically terminate on June 30, 2024.

Upon the automatic LUC termination, the subject lands will be effectively regulated by the *Zoning Bylaw*. Several LUC terminations are anticipated to result in significant variance between the LUC provisions and the underlying site zoning in terms of permitted land uses and densities (Table 1).

At the June 13, 2022 Council meeting, a motion was passed directing staff to bring forward a zoning amendment bylaw to help resolve the variance described above.

Table 1: Land Use Contracts with Expected Non-Conforming Uses

LUC#	ADDRESS	ZONE	LUC PROVISIONS	NOTES
1	F86699 214-236 W Esplanade; 60 Semisch Ave	M-1	Similar to C-1A	Non-conforming uses expected, may consider rezoning
2	E66608 202 W 4th St 204 W 4th St 407 Chesterfield Ave 405 Chesterfield Ave 409 Chesterfield Ave	RT-1	Similar to RG-2	
3	F54513 220 E 11th St			
4	G3560 213 E 17th St 215 E 17th St 217 E 17th St		Similar to RG-1	

DISCUSSION

The proposed zoning amendment bylaw involves one commercial property and three stratified residential parcels containing a total of 31 strata lots. The commercial property currently has *M-1 Industrial* zoning, but is developed under LUC provisions that are similar to *C-1A Central Lonsdale Commercial* zoning.



Figure 1: Streetview of 214-236 W Esplanade/60 Semisch Avenue

The residential strata properties currently all have *RT-1 Two-Unit Residential 1* zoning, but are developed under LUC provisions that are similar to *RG Ground-Oriented Residential* zoning. However, the *RG* zones were written to apply to the Moodyville Development Permit Area (DPA) with regulations that are specific to this DPA. Since the subject properties are not within the Moodyville DPA, a modified *RG* zone (*RG-2A*) with the DPA-specific regulations removed is proposed for this rezoning.



Figure 2: Streetview of 220 East 11th Street

Table 2: Land Use Contracts and Zoning Comparison

REGULATION	LAND USE CONTRACT				ZONES	
	F86699	E66608	F54513	G3560	C-1A	RG-2A
Permitted Principal Uses	Retail-Service Group 1	Ground-Oriented Apartment Residential	Ground-Oriented Apartment Residential	Comprehensive Residential (3+ units/lot)	Retail-Service Group 1; Tourist Accommodation	Ground-Oriented Apartment Residential
Density (FSR)	2.38	0.62	0.71	-	2.6 (min. 1.0 below 3 rd storey)	0.75
Lot Coverage (%)	90% (40% above 2 nd storey)	35%	36%	35%	90% (35% above 2 nd storey)	40%
Height (m)	-	7.62	8.23	8.23	24.4	8.23

For the *RG-2A* zone, the following DPA-specific regulations have been removed:

- Requirements for density exceeding 0.5 FSR:
 - Amenity share
 - Special setback dedication
 - Passive house certification or highest step of BC Energy Step Code or second highest step with noise mitigation
- Minimum requirement for lock-off units

COMMUNITY CONSULTATION

As part of meeting the requirements set out in Bill 17, notification of the pending June 30, 2024 automatic termination was sent to owners of all LUC lands by June 30, 2022.

For the LUC lands listed in Table 1, the notice also informed owners of potential legal non-conforming uses at time of automatic termination and further communications have been sent to provide information on the purpose, details and timeline of this rezoning. Staff have followed up with each affected property to help address any questions or concerns from owners.

Owners have also been informed that if a more complex rezoning were desired that would entail variances or a CD zone, then a separate owner-initiated rezoning application would be required. Owners have not expressed any interest in pursuing a separate rezoning at time of correspondence. If the proposed bylaw is adopted, then this zoning would be in effect upon the automatic termination of the LUCs in June 2024. Until that time, the LUCs will be in place unless the owners wish to agree to early termination of the LUC.

PROCESS WHEN NO PUBLIC HEARING HELD

Bill 26 - Municipal Affairs Statutes Amendment Act (No. 2), 2021, enacted in November 2021, included a change to the Local Government Act to provide that a local government is not required to hold a public hearing on a proposed zoning bylaw if the bylaw is consistent with the OCP. This replaced the former provision that allowed local governments to waive a public hearing. Local governments now have to make a positive decision to have a public hearing as opposed to deciding to waive a public hearing.

Given the proposal's consistency with the OCP, and minimal feedback from the public during the consultation period, staff recommend that no public hearing be held for this application.

Should Council wish to refer the application to Public Hearing, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8952"
(Land Use Contract Legacy Regulations and New RG-2A Zone) be considered
and referred to a Public Hearing;

FINANCIAL IMPLICATIONS

As directed by Council, to minimize non-conformities at time of automatic termination of LUCs, this is a City-initiated rezoning application where no fees are being collected. The equivalent application fees for a rezoning of this scope, if each property applied separately, would total approximately \$82,000. Cost efficiencies may be realized by combining the rezonings in a single process and public consultation requirements are anticipated to be minimal, as the rezonings would seek to replicate similar provisions for land uses already existing on-site without increasing density entitlements.

CONCLUSION

The strategy of rezoning these four properties subject to LUCs to zones which closely match the existing development would resolve the use of this outdated (and expiring) planning tool in the City without changing development rights. The changes outlined in this report do not have any significant impact on owners or development.

RESPECTFULLY SUBMITTED:



Emma Chow
Planner 2

MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON **MONDAY, JUNE 13, 2022**

REPORT

11. Termination of Land Use Contracts – File: 06-2210-10-0004/1

Report: Planner 2, June 1, 2022

Moved by Councillor Bell, seconded by Councillor Back

PURSUANT to the report of the Planner 2, dated June 1, 2022, entitled “Termination of Land Use Contracts”:

THAT staff be directed to bring forward a zoning amendment bylaw to rezone the lands identified in Table 1 of the report to existing zones that are most similar to the provisions of the respective Land Use Contracts.

CARRIED UNANIMOUSLY



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Emma Chow, Planner 2

Subject: TERMINATION OF LAND USE CONTRACTS

Date: June 1, 2022

File No: 06-2210-10-0004/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 2, dated June 1, 2022, entitled "Termination of Land Use Contracts":

THAT staff be directed to bring forward a zoning amendment bylaw to rezone the lands identified in Table 1 of this report to existing zones that are most similar to the provisions of the respective Land Use Contracts.

PURPOSE

To inform Council of Land Use Contracts (LUCs) that are still active within the city and present options to clean up existing LUCs by converting to similar zoning controls or allowing them to expire in order to meet legislated requirements for the phasing out of LUCs (Bill 17).

BACKGROUND

LUCs were used as a land regulation tool in British Columbia from the years of 1972 to 1978. These agreements were between municipalities and landowners to address various aspects of land development that are now generally regulated through zoning, development permits and subdivision approvals. LUCs that were adopted continue to be in effect as the de facto zoning for a site, unless discharged by bylaw with the agreement of the City and the landowner.

In 2014, the Province adopted legislation, Bill 17, to support the phasing out of all LUCs by June 30, 2024. Bill 17 stipulates that:

- Local government must have zoning in place for all properties that are subject to an LUC by June 30, 2022.
- All LUCs will automatically terminate by legislative fiat on June 30, 2024. Local government must provide notice of this pending auto-termination to all owners of LUC lands by June 30, 2022.

There are 15 LUCs currently in effect within the City (Tables 1 & 2). The *Zoning Bylaw* provides zoning for the whole city, including all lands subject to LUCs. LUCs supersede the *Zoning Bylaw* and Official Community Plan (OCP) until they are terminated, at which point the subject lands are effectively regulated by the *Zoning Bylaw*.

Table 1: Land Use Contracts with Expected Non-Conforming Uses

LUC#	ADDRESS	ZONE	LUC PROVISIONS	NOTES
1	F86699 214-236 W Esplanade; 60 Semisch Ave	M-1	Similar to C-1A	Non-conforming uses expected, may consider rezoning
2	E66608 202 W 4th St	RT-1	Similar to RG-2	
	204 W 4th St			
	405 Chesterfield Ave			
	409 Chesterfield Ave			
3	F54513 220 E 11th St		Similar to RG-1	
4	G3560 213 E 17th St			
	215 E 17th St 217 E 17th St			
5	C66413 95 St. Andrews Ave	M-4	Similar to RM-2	Non-conforming to zoning and OCP

Table 2: Land Use Contracts/Development Similar to Zoning

LUC#	ADDRESS	ZONE	LUC PROVISIONS	NOTES
6	C80747 121 E 12th St	CD-401 (RM-1)	Similar to C-2	Existing development generally complies with current zoning
7	A2949 144 E 22nd St	CD-703 (C-1A)	Permits assembly use in addition to those in zoning (zone not specified)	
8	E70426 360 E 2nd St	RM-1	Similar to RM-1	
9	A84607 1124-1130 Lonsdale Ave	C-2	Similar to C-2	
10	D58032 145 W 17th St	C-1B	Similar to C-1B	
11	F57204 225 W 14th St	RG-1	Similar to RG-1	
12	F54512 251 W 14th St	RG-1	Similar to RG-1	
13	L50004/E6 255-277 W 1st St; 252 Esplanade	CD-649 (LL-3)	Similar to C-1A	LUC discharge in progress
14	F57202 818-858 W 15th St	CS-1	Similar to C-1A	
15	567712M 119-149 E 13th St	CD-004 (C-1A)	N/A	

The City has relatively few LUCs compared to other jurisdictions. As replacing existing LUCs with comparable zoning would not introduce new development rights or substantially alter existing development rights, the changes outlined in this report do not have any significant impact on owners or development.

DISCUSSION

Upon the termination of LUCs on June 30, 2024, any uses and structures on LUC lands that are lawful pursuant to the LUC, may continue as legal non-conforming uses. Under section 533 of the *Local Government Act*, legal non-conforming uses will be allowed to remain unless discontinued for a continuous period of 6 months. At that time, any subsequent use of land or structure must comply with the applicable zoning under the *Zoning Bylaw*.

Of the 15 LUCs, five are anticipated to result in legal non-conforming uses upon LUC termination (Table 1). These sites contain developments that conform with LUC provisions, but differ significantly from the site zoning in terms of permitted land uses and densities. One of these LUCs (C66413) also deviates from the land use designation in the Official Community Plan (OCP).

All remaining LUC lands either have LUC provisions similar to the respective zoning or have existing development that complies with current zoning (Table 2). Three LUCs are in the process of being discharged.

As part of meeting the requirements set out in Bill 17, notification of the pending June 20, 2024 auto-termination will be sent to owners of all LUC lands by June 30, 2022. For the LUC lands listed in Table 1, the notice will inform owners of potential legal non-conforming uses at time of auto-termination.

Options

To help avoid creation of significant legal non-conforming uses from auto-termination of LUCs (the first four LUCs listed in Table 1), staff recommend that Council direct staff to work with landowners to explore rezoning options that better accommodate existing development permitted under an LUC through a City-led application to rezone LUC lands to an existing zone that best aligns with the provisions of the respective LUCs. This process would also entail a termination of the LUC with the consent of the owner, similar to what Council recently contemplated for 818-858 West 15th Street (see Table 2).

For the one LUC (C66413) that does not conform with OCP, staff does not recommend rezoning as an OCP amendment would first be required. Rather, staff recommend the existing development on this site continue as a lawful non-conforming use after LUC termination.

If a landowner desires more complex zoning provisions that would entail variances or a CD zone, then a separate owner-initiated rezoning application would be required.

Alternatively, Council may wish to proceed without initiating a City-led rezoning application as described above. Consequently, some non-conforming uses will likely result from auto-termination of LUCs. Should Council wish to leave the onus on the individual property owners to pursue rezoning to avoid non-conformity, no further action or resolution is necessary: the existing uses will become non-conforming effective June 30, 2024 and the property owners can apply to rezone any time prior or thereafter.

Council is under no obligation to rezone LUC lands.

FINANCIAL IMPLICATIONS

If all landowners associated with the first four LUCs in Table 1 choose to pursue a rezoning to an existing zone, the equivalent application fees would total approximately \$82,000. Cost efficiencies may be realized by combining the rezonings in a single process initiated by the City and public consultation requirements are anticipated to be minimal, as the rezonings would seek to replicate similar provisions for land uses already existing on-site.

CONCLUSION

The recommended strategy of reverting the majority of the properties under LUC to their existing base zone, and rezoning four properties under LUC to zones which closely match the existing development would resolve the use of this outdated (and expiring) planning tool in CNV without changing development rights.

Should staff be directed by Council, staff will work with landowners where the termination of LUCs may result in non-conformity with the *Zoning Bylaw* and bring forward a bylaw to rezone the four properties to a zone that permits what is currently on-site.

RESPECTFULLY SUBMITTED:







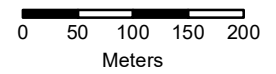
Emma Chow
Planner 2

City of North Vancouver

Proposed Zoning Change

Legend

-  City Boundary
-  Squamish Nation
-  Legal Parcel
-  Proposed Zoning Change

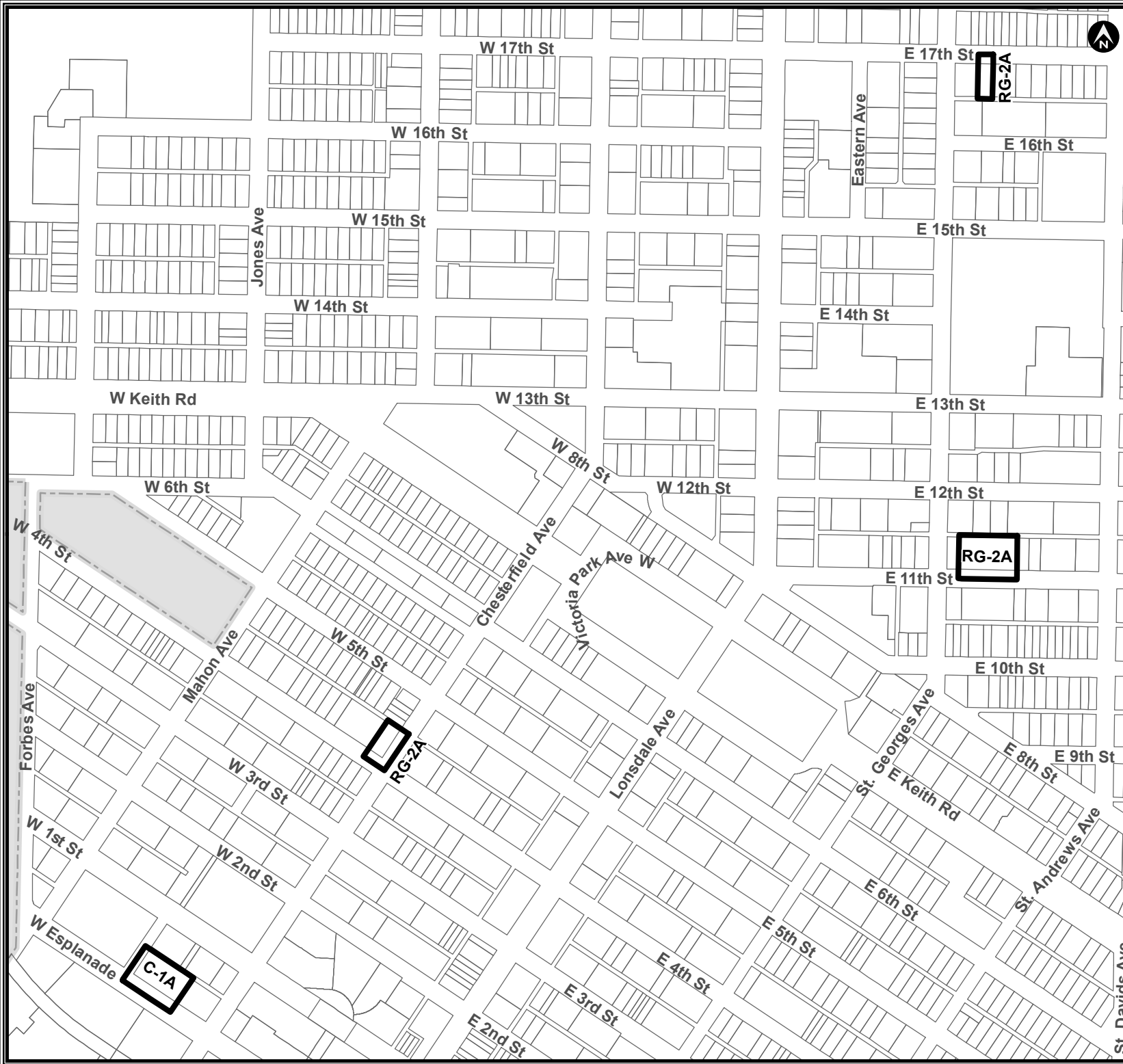


DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

**GIS Division, Information Technology,
City of North Vancouver**

PUBLISHED: October 05, 2022
 FILE: Rezoning
 PATH: H:\CNV_Maps\Comm_Devel\Zoning\Zoning_Amendment_Maps\RG-2A\
 COORDINATE SYSTEM: NAD 1983 UTM Zone 10N



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8952

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8952” (Land Use Contract Legacy Regulations and New RG-2A Zone)**.
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having civic addresses of:
 - 214-236 West Esplanade; and
 - 60 Semisch Avenue,

and legally described below as henceforth being transferred, added to and forming part of C-1A (Central Lonsdale Mixed Use A Zone) in accordance with Schedule A:

PID: 007-187-459	LOT C BLOCK 163 DISTRICT LOT 271 PLAN 18418
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from zone M-1.

3. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having civic addresses of:
 - 202-204 West 4th Street;
 - 405-409 Chesterfield Avenue;
 - 220 East 11th Street;
 - 213 East 17th Street;
 - 215 East 17th Street; and
 - 217 East 17th Street,

and legally described below as henceforth being transferred, added to and forming part of RG-2A (Ground-Oriented Residential 2A Zone) in accordance with Schedule A:

202-204 West 4th Street and 405-409 Chesterfield Avenue:	
PID: 002-747-138	STRATA LOTS 1-5, DISTRICT LOTS 271 AND 274 STRATA PLAN VR. 550, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1.
PID: 005-442-974	
PID: 005-442-991	
PID: 005-443-016	
PID: 005-443-032	

220 East 11th Street (Units 1-23):	
PID: 004-581-555	STRATA LOTS 1-23, DISTRICT LOT 549 STRATA PLAN VR. 628, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1.
PID: 005-589-070	
PID: 005-589-088	
PID: 005-589-096	
PID: 005-589-118	
PID: 005-381-690	
PID: 005-589-126	
PID: 005-589-134	
PID: 005-589-169	
PID: 004-392-817	
PID: 003-894-720	
PID: 005-589-177	
PID: 005-589-185	
PID: 005-589-207	
PID: 005-412-200	
PID: 002-400-952	
PID: 005-589-223	
PID: 005-589-231	
PID: 004-205-928	
PID: 005-260-451	
PID: 005-589-240	
PID: 005-589-266	
PID: 005-589-274	
213, 215 and 217 East 17th Street:	
PID: 005-829-143	STRATA LOTS 1-3, DISTRICT LOT 549 STRATA PLAN VR. 762, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1.
PID: 005-829-178	
PID: 005-829-224	

from zone RT-1.

4. Part 3 of Division I: Administration of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by adding the following to Section 302(4), after the Short Form and Designation of “RG-2 Ground Oriented Residential 2”:

“RG-2A Ground Oriented Residential 2A”

5. Division II: General Zoning Standards of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by replacing, in Part 4: General Regulations, subsection 410(2), as follows:

- (2) Siting Exceptions for Special Residential Zones

For developments in the RS-4B, RG-2, RG-2A, RG-3, RG-4 and RM-2 zones, the following siting exceptions shall apply:

- (a) where Exterior Wall thickness is in excess of 0.165 metres (6.5 inches) provided that the wall thickness is utilized for the provision of insulating materials and/or

protection against wind, water and vapour, the minimum distance to an abutting Lot Line as permitted elsewhere in this Bylaw may be reduced by 0.25 metres (9.8 inches);

- (b) where eaves, cornices, leaders, gutters, canopies or Sunlight Control Projections project beyond the face of the Principal Building, the minimum distance to an abutting Lot Line as permitted elsewhere in this Bylaw may be reduced by 0.92 metres (3 feet) from any Lot Line;
 - (c) where Bay Windows project beyond the face of the Principal Building, the minimum distance to an abutting Lot Line as permitted elsewhere in this Bylaw may be reduced by 0.61 metres (2 feet) from any Lot Line;
 - (d) where Unenclosed balconies project beyond the face of the Principal Building, the minimum distance to an abutting Lot Line as permitted elsewhere in the Bylaw may be reduced by 0.3 metres (1 foot) from any Lot Line;
 - (e) where Unenclosed Porches or steps project beyond the face of the Principal Building, the minimum distance to an abutting Lot Line as permitted elsewhere in this Bylaw may be reduced by:
 - (f) 0.76 metres (2.5 feet) from an abutting Interior Side Lot Line or Exterior Side Lot Line; and
 - (g) 1.22 metres (4 feet) from an abutting Front Lot Line or Rear Lot Line;
 - (h) where eaves project beyond the face of an Accessory Building, the minimum distance to an abutting Lot Line as permitted elsewhere in this Bylaw may be reduced by:
 - (i) 0.76 metres (2.5 feet) from an abutting Interior Side Lot Line or Exterior Side Lot Line; and
 - (j) 1.22 metres (4 feet) from an abutting Front Lot Line or Rear Lot Line;
 - (k) an Underground Structure may be sited in any portion of a Lot with the exception of any portion of the Lot within a Special Setback scheduled in Section 411 of this Bylaw; and
 - (l) where a Green Wall or a Solar Collector projects beyond the face of the Principal Building or Accessory Building, the minimum distance to an abutting Lot Line as permitted elsewhere in this Bylaw may be reduced to that required by the British Columbia Building Code, as amended from time to time, but may not project into any portion of the Lot within a Special Setback scheduled in Section 411 of this Bylaw.
6. Division III: Zone Standards of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by adding, in Part 5A: Special Residential Zone Regulations, after section 562, as follows:

562A RG-2A Ground-Oriented Residential 2A

(1) Purpose

To permit a range of ground-oriented housing types, including Townhouses, with densities up to 0.75 FSR.

(2) Principal and Accessory Uses

Subject to the regulations contained in this Bylaw, the Principal and Accessory Uses permitted in the RG-2A Ground-Oriented Residential 2A shall be as indicated by the shaded area in Figure 562A-1.

(3) Minimum Dwelling Unit size

A Dwelling Unit shall have a minimum Gross Floor Area of 37.2 square metres (400 square feet).

(4) Density

The combined and in total Gross Floor Area shall at no time exceed 0.75 times the Lot Area, where:

(a) Gross Floor Area (One-Unit and Two-Unit Residential)

(i) Gross Floor Area (One-Unit and Two-Unit Residential) shall not exceed the lesser of:

- a. 0.50 times the Lot Area; or
- b. 0.35 times the Lot Area plus 92.9 square metres (1,000 square feet);

(ii) Notwithstanding subsection 562A(5)(a)(i) above:

- a. Basement (One-Unit and Two-Unit Residential) may be excluded from Gross Floor Area (One-Unit and Two-Unit Residential); and
- b. of the total allowed in subsection 562A(5)(a)(i), the maximum Gross Floor Area (One-Unit and Two-Unit Residential) for Accessory Coach House Use shall not exceed the lesser of 92.9 square metres (1,000 square feet).

(5) Lot Coverage

Principal Buildings together with Accessory Buildings shall not exceed a Lot Coverage of 40 percent.

(6) Building Height

Principal Buildings shall not exceed a Building Envelope of 8.23 metres (27.0 feet) as measured from average Building Grades:

- (a) from the Street for the Lot Area between the Front Lot Line and the Mid Lot Line; and
- (b) from the Lane for the remainder of the Lot.

(7) Building Siting

Principal Buildings shall not be sited less than:

- (a) 3 metres (9.8 feet) from a Front Lot Line or Exterior Side Lot Line;
- (b) 1.6 metres (5.2 feet) from an Interior Side Lot Line;
- (c) 2.4 metres (7.9 feet) from an Exterior Side Lot Line; and
- (d) 1.6 metres (5.2 feet) from a Rear Lot Line.

Figure 562A-1 Principal and Accessory Uses in RG-2A Zone

Principal Use	Accessory Use										
(1) One-Unit Residential Use											
(2) Two-Unit Residential Use											
(3) Townhouse Residential Use											
(4) Rental Apartment Residential Use											
(5) Child Care Use subject to subsection 507(4)											
(6) Residential Care Facility Use											
	(a)	(b)	(c)	(d)	(e)	(f)	(g)	(h)	(i)	(j)	(k)
	Accessory Secondary Suite Use subject to subsection 507(10)	Accessory Coach House Use subject to subsection 507(12)	Accessory Bed and Breakfast Use subject to subsection 507(9)	Accessory Hen Keeping subject to Sections 412 and 514	Accessory Boarding Use subject to subsection 507(8)	Accessory Dwelling Unit Use subject to subsection 507(13)	Accessory Lock-Off Unit Use subject to subsection 507(14)	Accessory Home Occupation Use subject to subsections 507(5), (6) and (7)	Accessory Home Office Use	Accessory Off-Street Parking Use	Accessory Off-Street Loading Use

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

C-1A and RG-2A

Amending Bylaw No. 8952

SCHEDULE A

Page 1 of 1

TITLE: Rezoning Map



NOTICE OF MOTION

9. Eastview Park Safety Review – File: 12-6130-20-0014/1

Submitted by Councillor Bell, Councillor Girard and Councillor Valente

RECOMMENDATION:

WHEREAS a key priority for the City of North Vancouver is to be a City for people that is welcoming, inclusive, safe, accessible, and supports the health and wellbeing of all;

WHEREAS City parks are natural areas of ecological diversity that allow community members to enjoy active lifestyles year round and are critical components of a healthy and complete community;

WHEREAS City parks must be adapted to changing demographics, environmental conditions and evolving patterns of community needs;

WHEREAS the City's Parks Master Plan requires the continued monitoring of impacts of use on environmental resources and adjustment of design and operations practices, as needed, to minimize these impacts;

WHEREAS the City's Parks Master Plan designates Eastview Park as a "Natural Area" that includes lands that are environmentally sensitive areas (for example, creeks, forests, etc.);

AND WHEREAS residents in the vicinity of Eastview Park and park users have communicated concerns about ongoing conflicts in park uses that are impacting the inclusivity, accessibility, and safety of this park, as well as concerns of degradation of soil and Indigenous plants and trees in the park;

THEREFORE BE IT RESOLVED that staff be directed to evaluate options that ensure the long-term sustainability of Eastview Park as a welcoming and safe place for people of all ages and abilities by addressing the potential for conflict between Eastview Park uses, including disc golf users, through the possible relocation of disc golf to another City or Metro Vancouver park.