



Revisions
Issued For Rezoning, Development Permit
January 28, 2021
Issued For Advisory Design Panel
May 12, 2021
Re-Issued For Rezoning, Development Permit
September 02, 2021
Re-Issued For Rezoning, Development Permit
February 04, 2022
Re-Issued For Rezoning, Development Permit
May 31, 2022

Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Crystal Apartments Ltd. - Rental Housing

124 W 20th Street, North Vancouver, BC

May 31, 2022

Crystal Apartments Ltd. is applying to develop a 6 storey wood frame residential project with 57 rental units. This new purpose built rental housing project will replace an aging 22 unit building and will provide 35 additional rental units to the much needed rental housing stock in North Vancouver. With a mix of efficiently designed units, we are proposing : 5 Studio units at 426 sf, 23 one bedroom units ranging from 560sf to 585sf, 22 two bedroom units ranging from 748sf to 881sf and 7 three bedroom units ranging from 989sf to 1014sf. 17 of these units (30%) will be Level 2 Adaptable and 6 units (10%) will be below market housing. We are also proposing the addition of several amenity spaces for the residents that includes a roof top deck. This proposal provides a complete mix of housing opportunities for North Vancouver's diverse community.

Upon completion, 90% of these units will be rented at market rates and will provide an attractive and financially viable option for housing to those who are unable to bear the high cost of condominium ownership in today's real estate market. With the project located close to transit, services, employment opportunities, and civic amenities, the provision of 94 secured bicycle spaces and 6 short term spaces is intended to help reduce the reliance on the automobile for the residents of this building. With the current shortage of supply of rental opportunities, and the increase in demand, it is important to the City's social and economic sustainability that new rental product is provided that will extend the life of the City's rental stock. This project will help ensure that rental opportunities will remain into the future for new residents instead of the unaffordable alternative of condominium ownership.

We look forward to working with The City of North Vancouver to bring this much needed rental housing to realisation.

DRAWING LIST:

ARCHITECTURAL

- A-0.00 Cover Sheet
- A-0.01 Index & Design Rationale
- A-0.41 Development Summary & Zoning Map
- A-0.42 Context Plan
- A-0.43 Context Site Plan
- A-0.45 Renderings
- A-1.01 Site Plan
- A-1.02 Survey Plan
- A-1.03 Site Section A
- A-1.04 Site Section B
- A-1.05 Site Section C
- A-2.01 Parking Level 2
- A-2.02 Parking Level 1
- A-2.03 Main Floor Plan
- A-2.04 Level 2 Plan
- A-2.05 Level 3 Plan
- A-2.06 Level 4 Plan
- A-2.07 Level 5 Plan
- A-2.08 Level 6 Plan
- A-2.09 Roof Plan
- A-2.10 Elevator and Stair Roof Plan
- A-3.00 South Elevation
- A-3.01 East Elevation
- A-3.02 North Elevation
- A-3.03 West Elevation
- A-3.10 Color and Material Board
- A-3.11 Shadow Analysis
- A-5.00 Studio and 1 Bedroom Unit Plans
- A-5.01 2 Bedroom Unit Plans
- A-5.02 3 Bedroom Unit Plans
- A-9.00 Area Overlay Level 1 & Level 2
- A-9.01 Area Overlay Level 3 & Level 4
- A-9.02 Area Overlay Level 5 & Level 6
- A-9.03 Area Overlay Roof Level
- A-10.01 Adjacent Lot Study Plan
- A-10.02 Adjacent Lot Study Elevation
- A-10.03 Adjacent Lot Study Elevation

LANDSCAPE

- L-1.0 Cover Sheet
- L-1.1 Ground Level: Material & Grading
- L-1.2 Ground Level: Planting Plan
- L-1.3 Roof Level: Landscape Plan
- L-2.1 Landscape Sections
- L-2.2 Landscape Details
- L-2.3 Landscape Details

CIVIL

- Creus Engineering Ltd.
- 610 - 221 Esplanade West
- North Vancouver, BC V7M 3G7
- 604.987.9070
- Contact: Fred Ciambrelli

Project Team:

OWNER

Crystal Apartments Ltd
102-2455 Dollarton Hwy
North Vancouver, BC V7M 0A2
604.787.3984
Contact: Andrew Statham

ARCHITECTURAL

RLA Architects
250 - 970 Homer Street
Vancouver, BC V6B 2W7
604.669.3339
Contact: Mark Pickrell

LANDSCAPE

Durante Kreuk Landscape Architecture
102 - 1637 West 5th Avenue
Vancouver, BC V6J 1N5
604.648.4611
Contact: Peter Kreuk



ARCHITECTS INCORPORATED
250 - 970 HOMER STREET, VANCOUVER, BC V6B 2W7
Copyright. All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the office. Within dimensions shall have precedence over related dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

Revisions

Issued For Rezoning, Development Permit
January 28, 2021

Issued For Advisory Design Panel
May 12, 2021

Re-issued For Rezoning, Development Permit
September 02, 2021

Re-issued For Rezoning, Development Permit
February 04, 2022

Re-issued For Rezoning, Development Permit
May 31, 2022

Project

Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Index

Scale: NTS
May 31, 2022

A-0.01

Crystal Apartments - Residential Rental Development

124 W 20th Street, North Vancouver

January 20, 2021
updated

Legal Address: Lots 21 to 24 Inclusive, All of Lots 2 and 3, Block 6, District Lot 548, Plan 1241

ZONING: RM1

SETBACKS: Front Yard South 5.94 meters
Rear Yard North 6.10 meters
Side Yard East 3.51 meters
Side Yard West 3.51 meters

BUILDING HEIGHT: 23.19 meters

ENERGY PERFORMANCE: CBC6 2018 STEP CODE LEVEL 3

SITE AREAS			
TOTAL AREA	0.4166 acres	1,886.5 sqm	10,154 sqft

SITE COVERAGE			
AREA	18,154 sqft	Permitted 94%	Proposed 44.9%

DEVELOPMENT SUMMARY													
Room Type	Parking	Main	2nd floor	3rd floor	4th floor	5th floor	6th floor	Roof	Total	Unit Area	Total Area	Unit Mix	%
A Studio	n/a	0	1	1	1	1	1	0	5	426 SF	2,130 SF	9%	
B 1 Bedroom	Adaptable	n/a	1	2	2	2	2	0	11	576 SF	6,336 SF	19%	
B1 1 Bedroom	n/a	1	1	1	1	1	1	0	6	585 SF	3,510 SF	10.5%	
B2 1 Bedroom	n/a	1	1	1	1	1	1	0	6	592 SF	3,552 SF	10.5%	
C 2 Bedroom	n/a	1	1	1	1	1	1	0	6	801 SF	5,206 SF	10.5%	
C1 2 Bedroom	Adaptable	n/a	1	1	1	1	1	0	6	864 SF	5,184 SF	10.5%	
C2 2 Bedroom	n/a	0	1	1	1	1	1	0	5	879 SF	4,395 SF	9%	
C3 2 Bedroom	n/a	0	1	1	1	1	1	0	5	748 SF	3,740 SF	9%	
D 3 Bedroom	n/a	1	1	1	1	1	1	0	6	1,014 SF	6,084 SF	11%	
D1 3 Bedroom	n/a	1	0	0	0	0	0	0	1	889 SF	889 SF	2%	
#UNIT / FLOOR		7	9	9	9	9	9	0	57	UNITS	41,614 SF	100%	
UNIT AREA/FLOOR		6,489 SF	7,109 SF	7,109 SF	7,109 SF	7,109 SF	7,109 SF	0 SF					
Common Area		1,250 SF	942 SF	942 SF	942 SF	942 SF	942 SF	360 SF			6,300 SF		
Lobby		243 SF	SF	SF	SF	SF	SF	136 SF			377 SF		
Amenity/ Admin Office		1,076 SF	SF	SF	SF	SF	SF	SF			1,076 SF		
Adaptable Units Excl. *		48 SF	60 SF	60 SF	60 SF	60 SF	60 SF	0 SF			248 SF		
Wall Thickness		110 SF	105 SF	91 SF	82 SF	82 SF	82 SF	23 SF			575 SF		
GROSS FLOOR AREA		8,148 SF	8,156 SF	8,142 SF	8,133 SF	8,133 SF	8,133 SF	517 SF			49,262 SF	Gross	
* Not included in Gross Floor Area													
NET EFFICIENCY		87.1 %	87.2 %	87.3 %	87.4 %	87.4 %	87.4 %	0.0 %			83.1 %		
FAR CALCULATIONS		FSR & AREA - PROPOSED EXCLUSIONS											
		Lobby	377 SF										
		Adaptable Units Excl.	1,076 SF										
		Wall Thickness	360 SF										
			575 SF										
			2,358 SF	Total Excluded									
FAR - NET BUILDING AREA											45,904 SF	Net	
FAR											2.59 FAR	Target FAR 2.60	

UNIT SUMMARY			
UNIT MIX	Studio	5	9%
	1 Bedroom	23	40%
	2 Bedroom	22	39%
	3 Bedroom	7	12%
		57	100%
ADAPTABLE UNIT MIX	Studio	0	0%
	1 Bedroom	11	19%
	2 Bedroom	6	11%
	3 Bedroom	0	0%
		17	30%

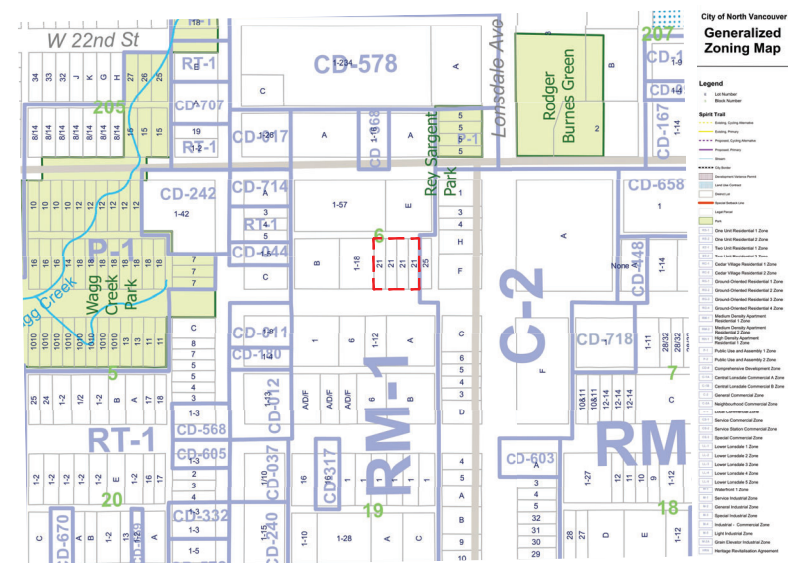
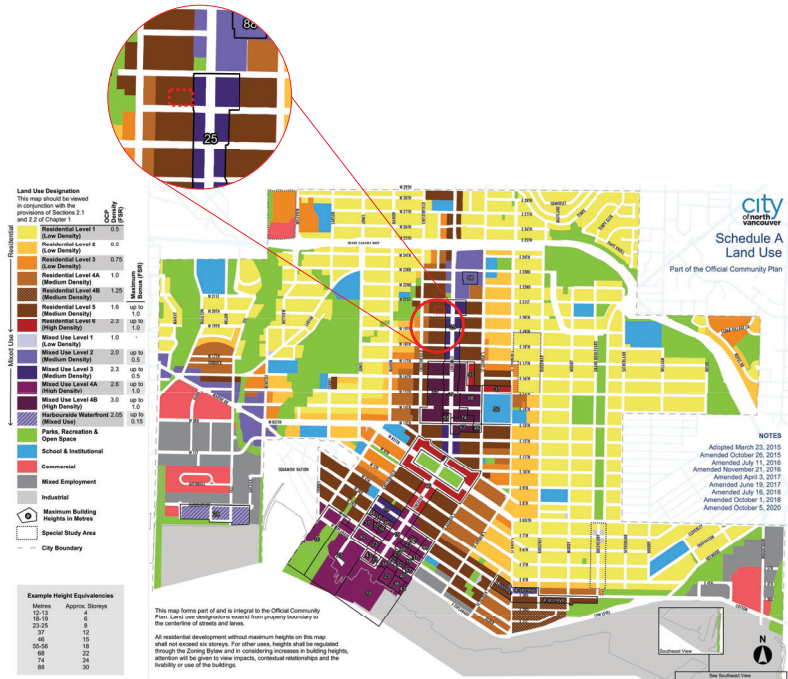
REQUIRED PARKING			
REQUIRED PARKING	Residential Parking	0.60 /Unit	34 stalls
	Visitor Parking	0.10 /Unit	6 stalls
	Disability Parking	0.038 /Unit	2 stalls

PROPOSED VEHICLE PARKING						
Regular	Small Accessible	Passenger	Car Share	Totals	47 resident spaces provided	34 req'd
Resident Spaces	41	4	2		6 visitor/passenger spaces provided*	6 req'd
Visitor Spaces	5	1				
					9% Small Cars (35% max)	
					Ratio: 0.82 spaces/unit (0.6 target) - Accessible counted as 1 st. including visitors	

REQUIRED BICYCLE STALLS:			
Secure	1.5 Spaces per unit	86 Spaces	
Secure	Standard 0.6m x 1.8m	86 Secure Standard spaces	
Secure	Vertical 0.6m x 1.0m	30 Secure Vertical spaces (35% max)	
0.6m(2)/0.6m - Max vertical stack = 35%			
Short Term	0-15 units: no requirements	6 Spaces	
	16-59 units: 6 spaces		
	60 or more units: 6 spaces per every 60 units		

PROPOSED BICYCLE PARKING			
Secure	Standard	Vert.	Total Stalls
Short Term	6	0	6
			86 Secure
			6 Short Term

GARBAGE/ RECYCLING			
Required Garbage/Recycling	5.23 SF per unit	298.1 SF	
Proposed Garbage/Recycling	6.05 SF per unit	345.0 SF	



ARCHITECTS INCORPORATED
200-1000 West Broadway, Vancouver, BC V6H 2R7

Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions and notes shall be based on the information provided in the drawing. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

Issued For Rezoning, Development Permit
January 28, 2021

Issued For Advisory Design Permit
May 12, 2021

Re-issued For Rezoning, Development Permit
September 02, 2021

Re-issued For Rezoning, Development Permit
February 04, 2022

Re-issued For Rezoning, Development Permit
May 31, 2022

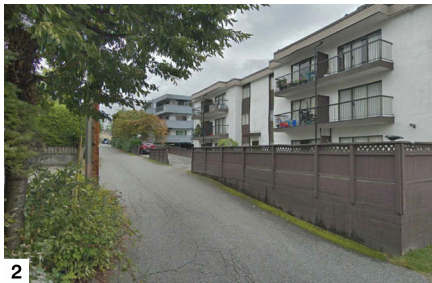
Project
Crystal Apartments Ltd.
124 W 20th Street
North Vancouver

Zoning Map Plan
Scale: NTS
May 31, 2022

A-0.41



1 Earth



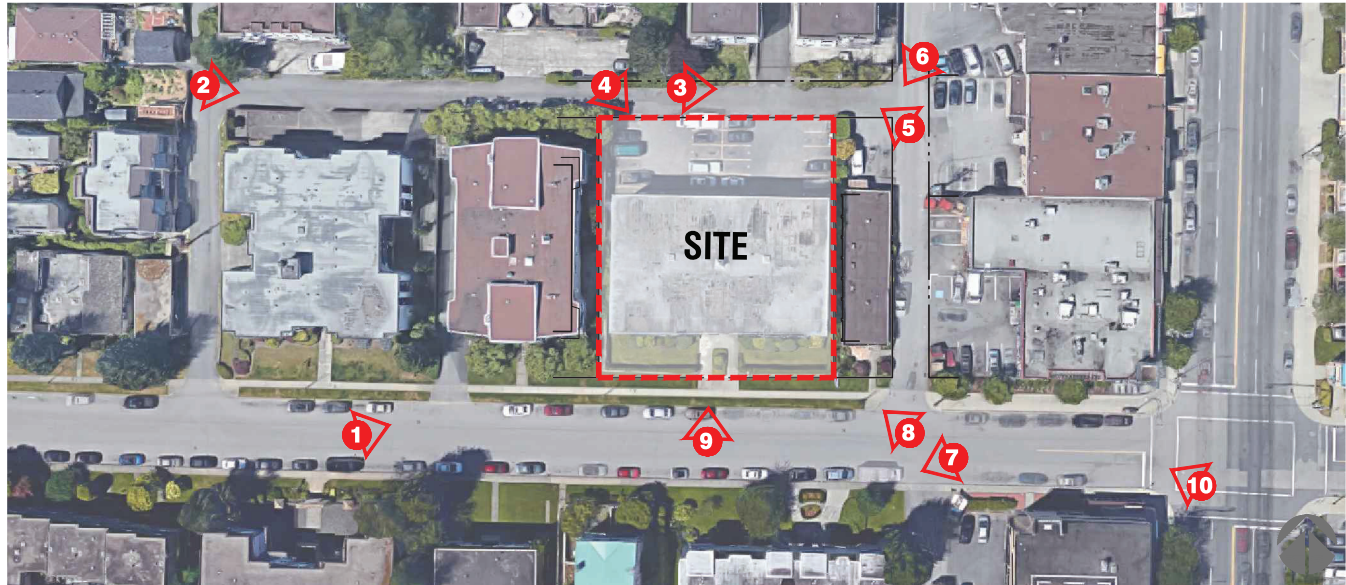
2



3



4 Earth



5



7 Earth



9



6



8 Earth



10



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions, notes, studies, elevations. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or violations from the dimensions and conditions on the drawing.

Revisions
 Issued For Rezoning, Development Permit
 January 28, 2021
 Issued For Advisory Design Panel
 May 12, 2021
 Re-Issued For Rezoning, Development Permit
 September 02, 2021
 Re-Issued For Rezoning, Development Permit
 February 04, 2022
 Re-Issued For Rezoning, Development Permit
 May 31, 2022

Project
 Crystal
 Apartments Ltd.
 124 W 20th Street
 North Vancouver

Context Plan
 Scale: NTC
 May 31, 2022

Legend

Transit Corridor

- 1 Lonsdale Avenue

Parks and Amenities

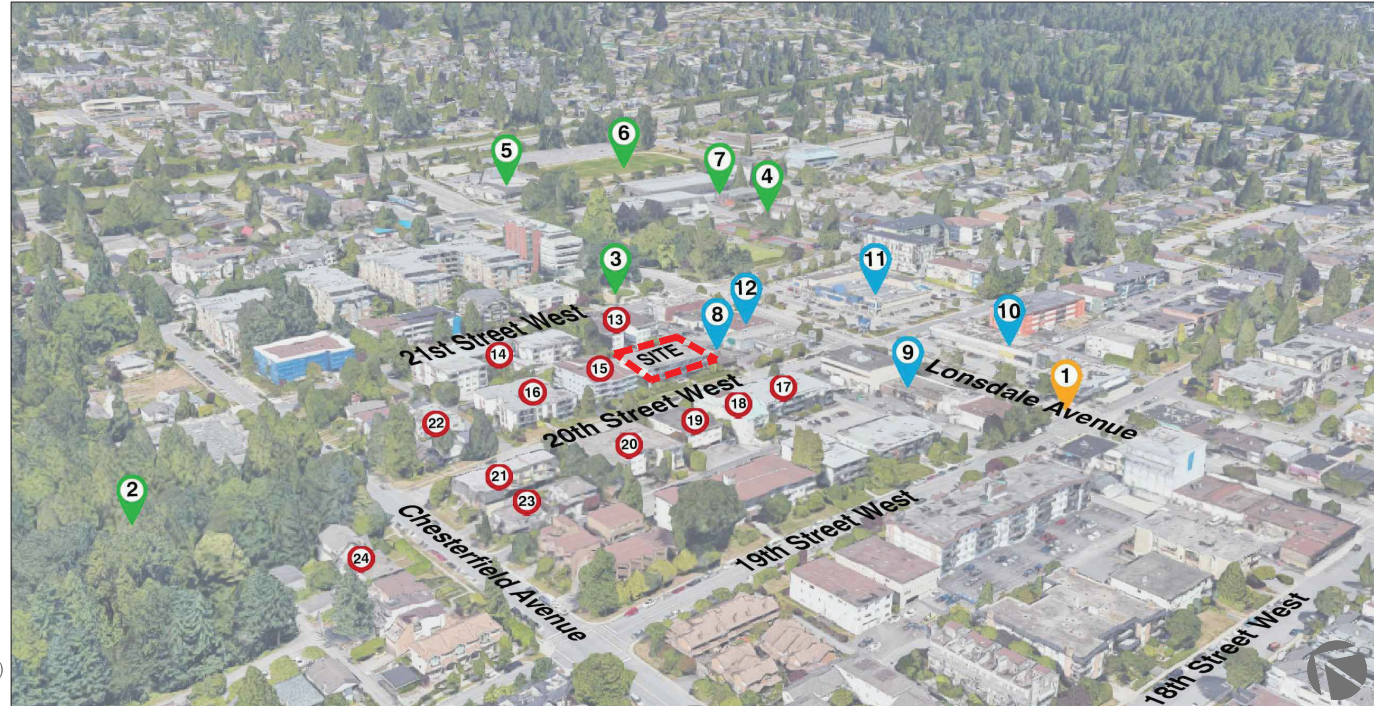
- 2 Wagg Creek Park
- 3 Rey Sargent Park
- 4 Harry Jerome Community Centre
- 5 Centennial Theatre
- 6 Norseman Park
- 7 Memorial Community Recreation Centre

Businesses

- 8 Lonsdale Veterinary Hospital
- 9 Health & Beauty and Restaurants
- 10 LifeLabs Medical Laboratory Services
- 11 London Drugs
- 12 Grocery Markets / Restaurants / Sports Stores

Residential

- 13 121 21st Street West (3 Storeys)
- 14 135 21st Street West (3 Storeys)
- 15 134 20th Street West (4 Storeys)
- 16 144 20th Street West (3 Storeys)
- 17 121 20th Street West (3 Storeys)
- 18 131 20th Street West (3 Storeys)
- 19 137 20th Street West (3 Storeys)
- 20 149 20th Street West (3 Storeys)
- 21 Townhome Complex
- 22 2006 Chesterfield Avenue (2 Storeys)
- 23 1940 Chesterfield Avenue (Townhome Complex)
- 24 1953 Chesterfield Avenue (Single Family Homes)

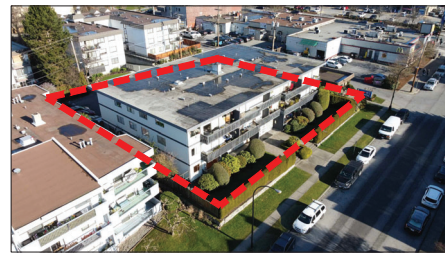


Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the professional. Dimensions shall be based on conditions, notes, studies, etc. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

Revisions
 Issued For Rezoning, Development Permit
 January 28, 2021
 Issued For Advisory Design Panel
 May 12, 2021
 Re-Issued For Rezoning, Development Permit
 September 02, 2021
 Re-Issued For Rezoning, Development Permit
 February 04, 2022
 Re-Issued For Rezoning, Development Permit
 May 31, 2022

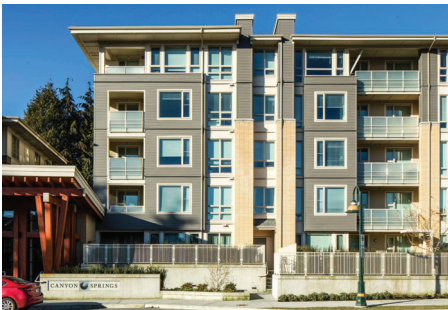


Project
 Crystal
 Apartments Ltd.
 124 W 20th Street
 North Vancouver



Context Plan
 Scale: NTC
 May 31, 2022

A-0.43



DESIGN RATIONALE

SITE

This proposed rental development is located on a 0.4 acre site in the Central Lonsdale neighborhood on West 21st Street between Chesterfield Avenue and Lonsdale Avenue. An aging, 3-storey wood frame building comprised of 22 rental suites currently occupies the site. The site slopes consistently 1% down from east to west and has an increasing north to south down slope from approx. 1% to 2% as one travels westward.

The adjacent buildings to the North and West are townhouse/apartment developments of 2 or 3-storeys in height. The neighboring eastern building is a 1 storey Veterinary Clinic. A lane running north off 21st Street bounds its east side and connects to the rear lane running along the northern boundary of the site. The eastern lane also serves the parking lot of the MacDonald's restaurant that fronts the urban centre running along the Lonsdale commercial corridor.

Attempts were made by the Owner to acquire the Veterinary site, however the existing Owners were reluctant to part with their property that had been in their family for approximately 30 years.

ZONING

The City of North Vancouver's 2014 Official Community Plan permits the intensification of this site to Land Use Designation of Residential Level 5 (medium density) with an allowable density of 1.6 FSR. Further, the 2018 Bonus Density and Community Benefits Policy permits an additional 1.0 FSR within the framework of the OCP.

This residential project proposes the replacement of the 22 existing rental units plus development of an additional 35 rental units. This helps meet the much needed regional housing demand and as it is recognized public benefit, the project is designed to the 2.6 allowable FSR with a Gross Floor Area of approximately 47,000 SF.

PROPOSED DEVELOPMENT

The intended project is for 57 rental units in a six-storey wood frame building over 1 1/2 levels of underground concrete parking garage.

The compact square nature of the site imposed a challenge for the proposed 6 storey massing. Care was taken to comply as much as possible with the existing RM1 zoning setbacks. The building is situated within the existing 3 storey building outline and is approximately 12 foot side yard setbacks are twice those of the existing 3 storey building providing ample room for the east paths with a planted buffer to the patios running along 21st Street.

Noting the sloping nature of the site, the building's main floor elevation is set to meet the existing grade along 21st Street as close as possible. Access to the underground parking is located at the lowest portion of the rear lane at the NW corner of the site. The building Entry is placed close to the SE corner on W21st Street. Front yard access is provided to the patios for ground floor units facing the new public realm off 21st framed within a double row of street trees. The public realm is connected visually, but physically separated from the ground floor units with a 5' wide boulevard and grade transition to the raised patios.

The 6-storey massing is articulated by several repetitive design elements to break down the overall scale and harmonize the building form. A simple palette of materials is intended to produce a clean, contemporary building appearance. White composite panels comprise the main building facade, accentuated by two contrasting colour variations strategically placed on the building composition. Dark brick is introduced at the ground level units as 2-storey framing elements forming a rhythmic cadence along 21st street to provide scale and interest at the pedestrian level. This rhythm is accentuated by the uniform balcony and glazing system of the stacking units overhead. Composite lap siding panels in a natural wood tone are introduced between the brick frames to link the brick and add a continuous warm texture at this level. The ground level privacy fences are also comprised of this durable 'wood' panel to reinforce this warm, tactile feeling.

The repeating brick frames step up to a third level to emphasize the building entrance. A glazed, metal canopy extends out at the 1st-storey and over the entry path for further emphasis and to provide critical rain cover.

The 3-storey brick frame is designed to wrap the southeast corner of the building as a feature element and welcoming gesture from the nearby urban commercial street. The upper floors at this corner change to a contrasting, but complementary colour and the natural 'wood' panels are reintroduced to further accentuate this corner building feature. Wood posts and beams of the same natural colour highlight the corner balconies. These are repeated at all corner balconies of the building.

The brick continues along the east elevation to match the scale of the adjacent Veterinary building and is intended to accentuate the eastern indoor amenity space. This elevation is carefully treated with a second colour variation at the northeast corner and reintroduction of wood panels in anticipation of long term visibility to adjacent streets.

The building is capped with a flat roof to minimize the overall height of the building. Generous 4 foot overhangs serve as weather protection and along with their black fascia to contrast with the clean white paneling below and further stop the eye from wandering further upward. The exception occurs at the feature corner, where, following the profile of the 3 storey brick frame below, the roof pops up, breaking the overall plane to add variety and further interest.

The existing rental building has only 1 and 2-bedroom typical suites, while the proposed building has a mix of unit types including Studios, 1, 2 and 3-bedroom units, with much consideration given to the comfort and efficiency of each of the plan layouts. Six (10.3%) of the 57 units are designated as below market units and are provided in a mix of 1, 2 and 3 bedroom types at the ground floor level. Seventeen (30%) units are designed to meet the Adaptable Design Level 2 Guidelines.

1 1/2 levels of underground parking is provided to house all the residential parking, some visitor parking and bicycle secure storage, as well as storage locker rooms for all the suites. Six Visitor spaces are located on-surface at the rear lane. These spaces are well shielded from the rear facing ground units by privacy fencing and a grade change to the lowered patios.

ACTIVE DESIGN FEATURES

The primary staircase (Stair #2) has been located at a prominent location adjacent the elevator core and across from the entry lobby to encourage its use. This stair also has direct access to one of the provided indoor amenity spaces. The secondary stair at the west side of the building exists to pathway that links directly to the public realm along W21st Street. Both stairwells will include large signage and fully glazed fire-rated doors for clear visibility and safety. Both stairs exit directly at ground level and connect with the parking garage (garbage & recycling facilities and unit storage/bicycle lockers).

Two indoor amenity rooms are included at the ground level of the building for the common use of all tenants. Both spaces are located adjacent the elevator core and primary stair. Each space is intended as a place for meetings and social gatherings or for use by people who work from home. They also provide the option for having multiple activities to occur at one time should one space already be reserved. Each amenity room is provided with accessible washroom facilities and a small kitchenette.

Due to the compactness of the site and limited outdoor space, a third outdoor amenity is proposed as an outdoor terrace at the roof level. The central elevator shaft and primary stair will extend to the roof level. This outdoor terrace will provide opportunity for fresh air and great views, especially to the north shore mountains. The terrace will be partially covered with a wood trellis to provide rain protection or shade cover on hot sunny days.



ARCHITECTS INCORPORATED
200-1000 West Broadway, Vancouver, BC V6H 2Y7

Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service and the property of the architect and may not be used in any way without the written permission of this office. Dimensions and conditions shall be as shown on the drawings. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawings.

REVISED

Issued For Rezoning, Development Permit
January 28, 2021

Issued For Advisory Design Panel
May 12, 2021

Re-issued For Rezoning, Development Permit
September 02, 2021

Re-issued For Rezoning, Development Permit
February 04, 2022

Re-issued For Rezoning, Development Permit
May 31, 2022

Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Design Rationale

Scale: NTS
May 31, 2022

A-0.44



View from South East



View from South West



South West - Bird's eye



View of Residential Entrance

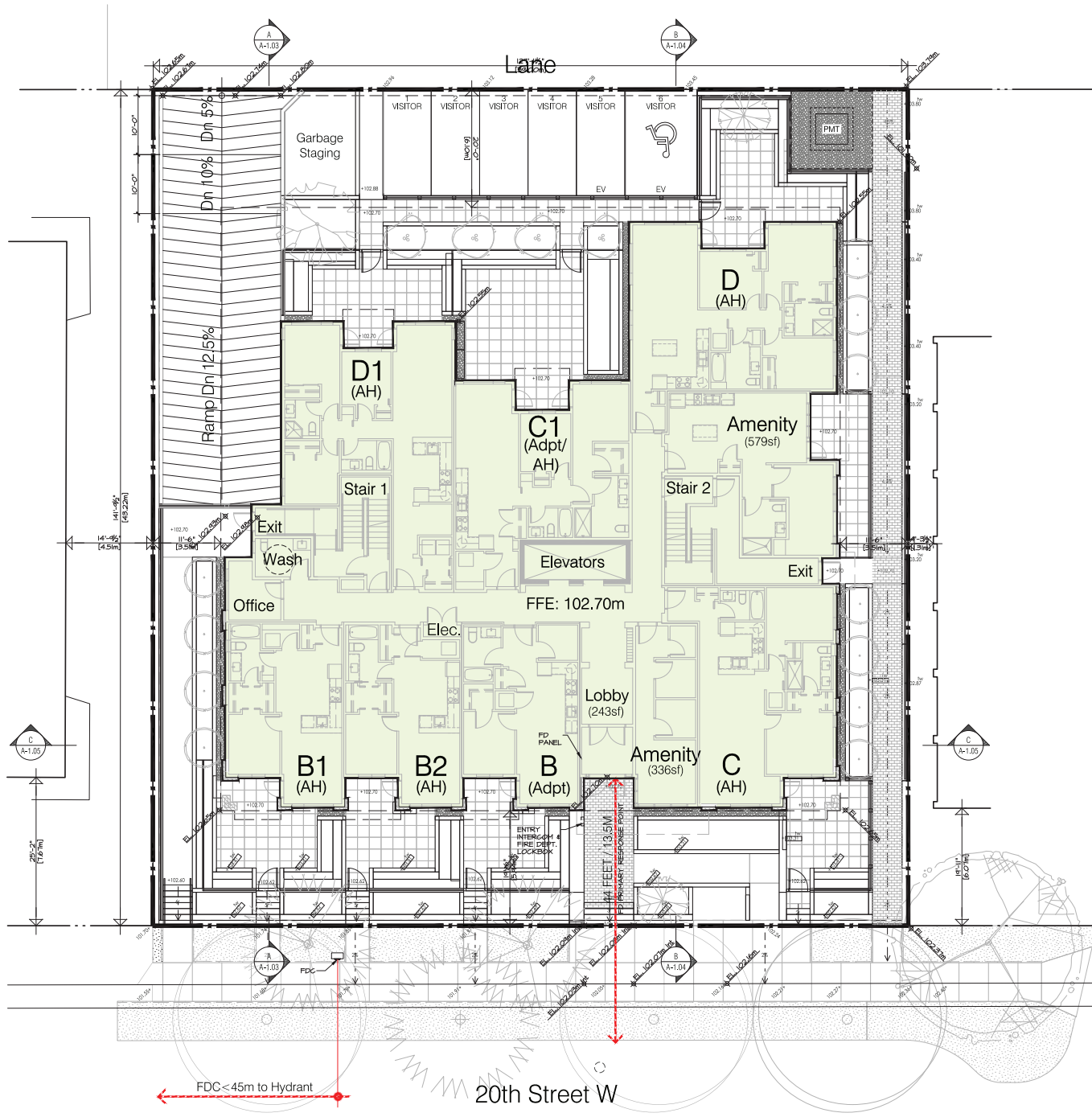


ARCHITECTS INCORPORATED
 200-1000 West Broadway, Vancouver, BC V6H 2Y7

Revisions:
 Issued For Rezoning, Development Permit
 January 28, 2021
 Issued For Advisory Design Panel
 May 12, 2021
 Re-Issued For Rezoning, Development Permit
 September 02, 2021
 Re-Issued For Rezoning, Development Permit
 February 04, 2022
 Re-Issued For Rezoning, Development Permit
 May 31, 2022

Project
**Crystal
 Apartments Ltd.**
 124 W 20th Street
 North Vancouver

Renderings
 Scale: NTS
 May 31, 2022



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions, notes, and schedules. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

- Revisions:
- Issued For Rezone, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezone, Development Permit September 02, 2021
 - Re-issued For Rezone, Development Permit February 04, 2022
 - Re-issued For Rezone, Development Permit May 31, 2022

Project
Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

Site Plan
 Scale: 1/8" = 1'-0"
 May 31, 2022



A-1.01



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions and conditions on this job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

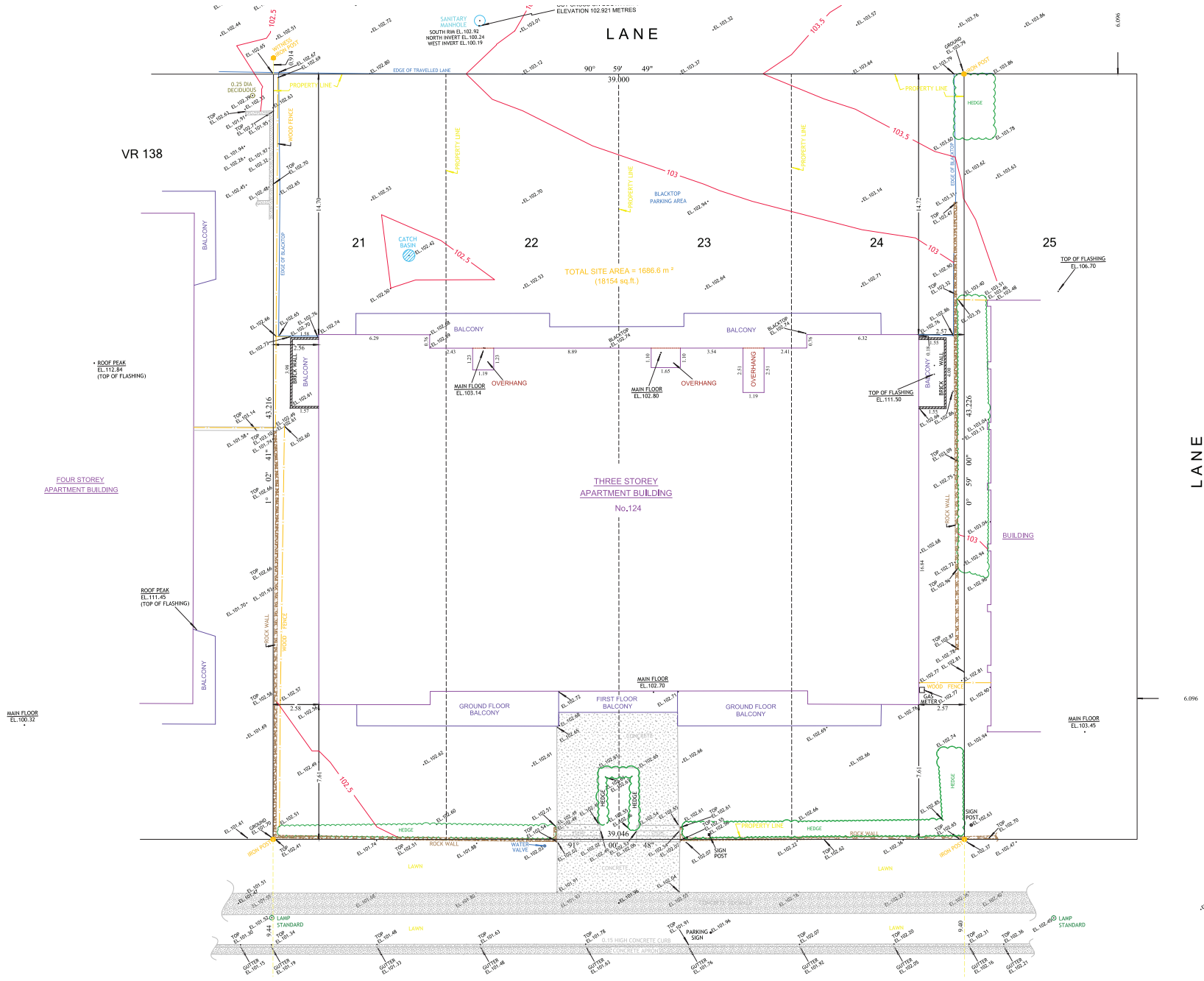
- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Permit February 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022

Project
 Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

Survey Plan
 Scale: 1/8" = 1'-0"
 May 31, 2022



A-1.02



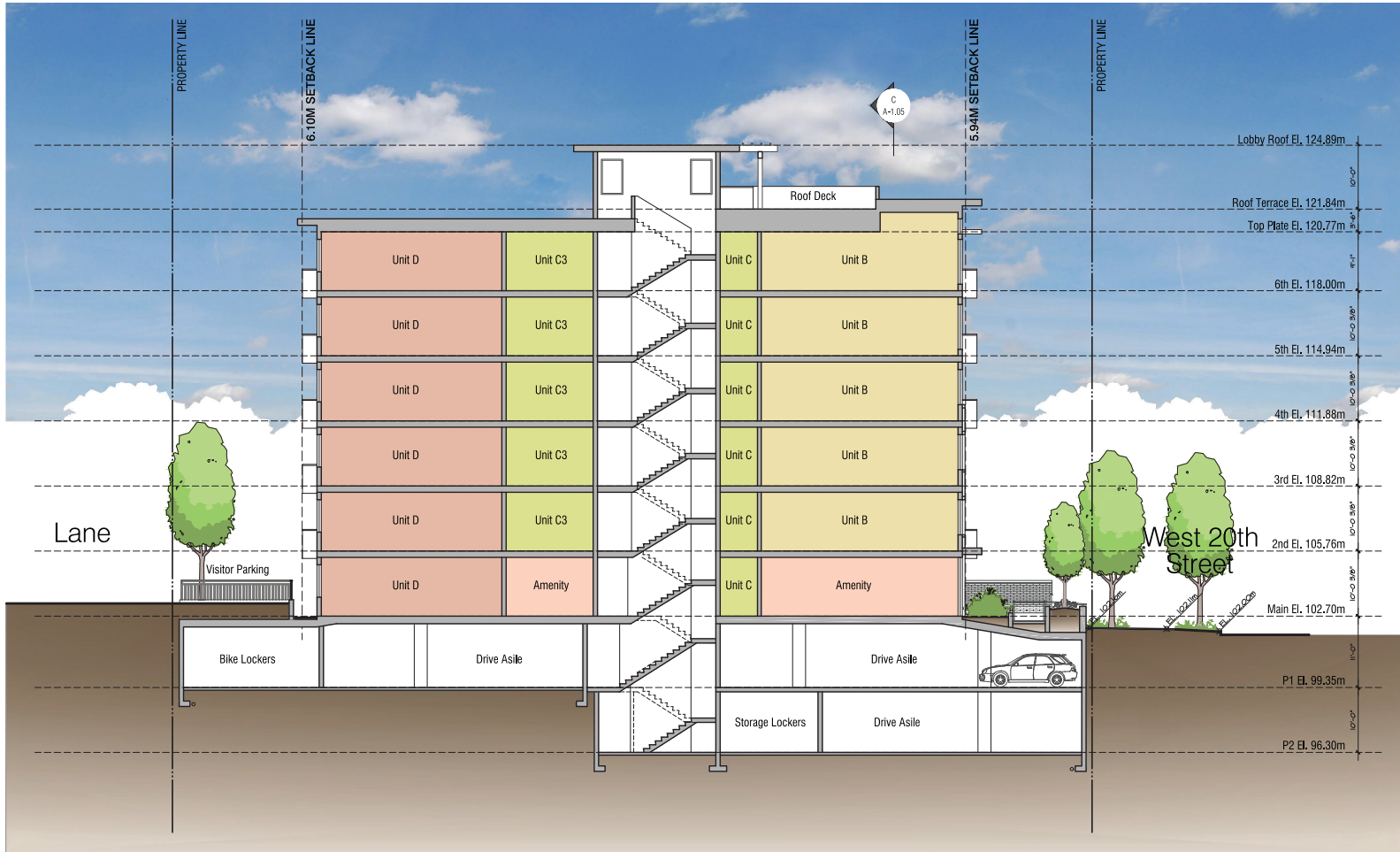
'H'

'F'

LANE

6.096

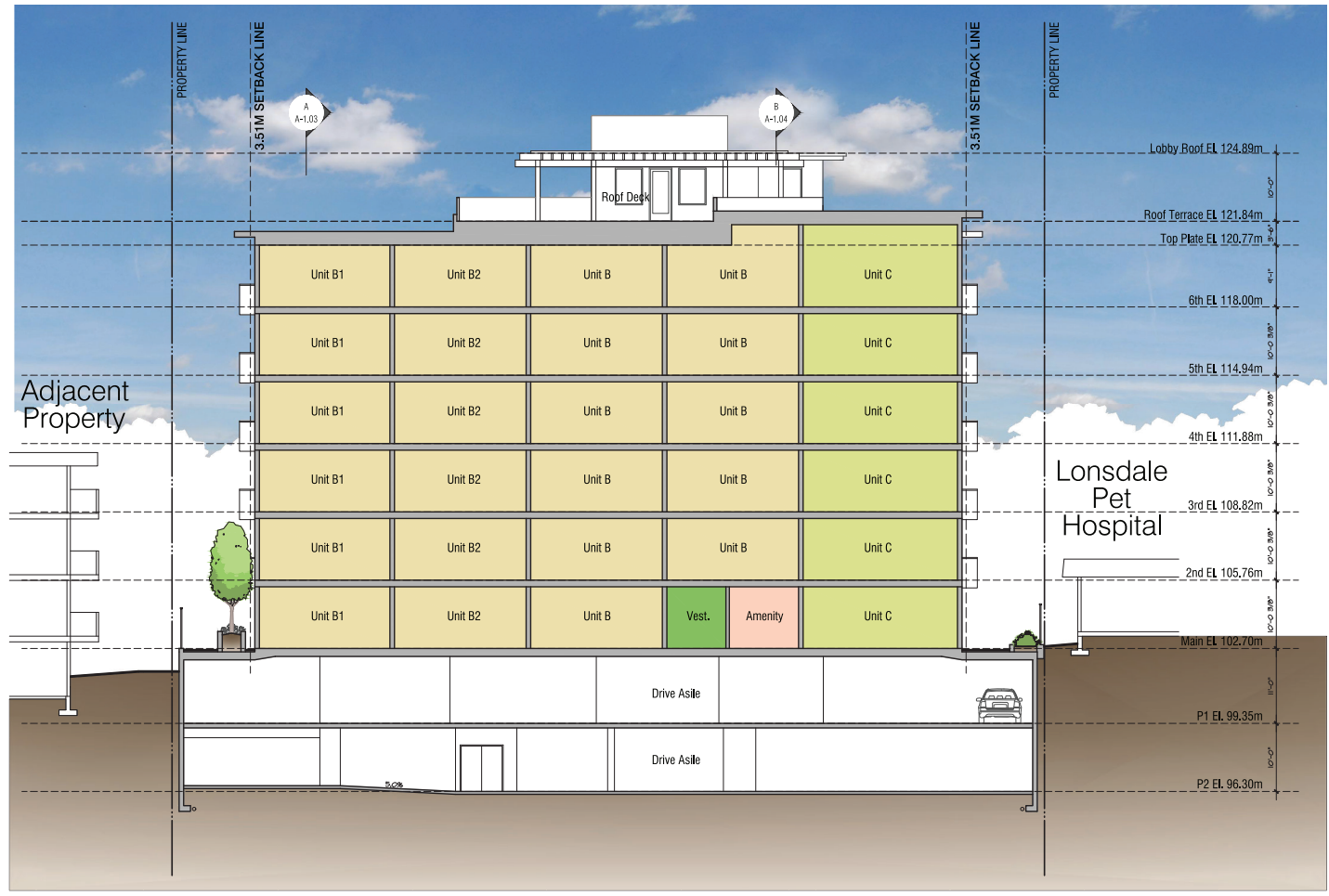
EL. 102.41



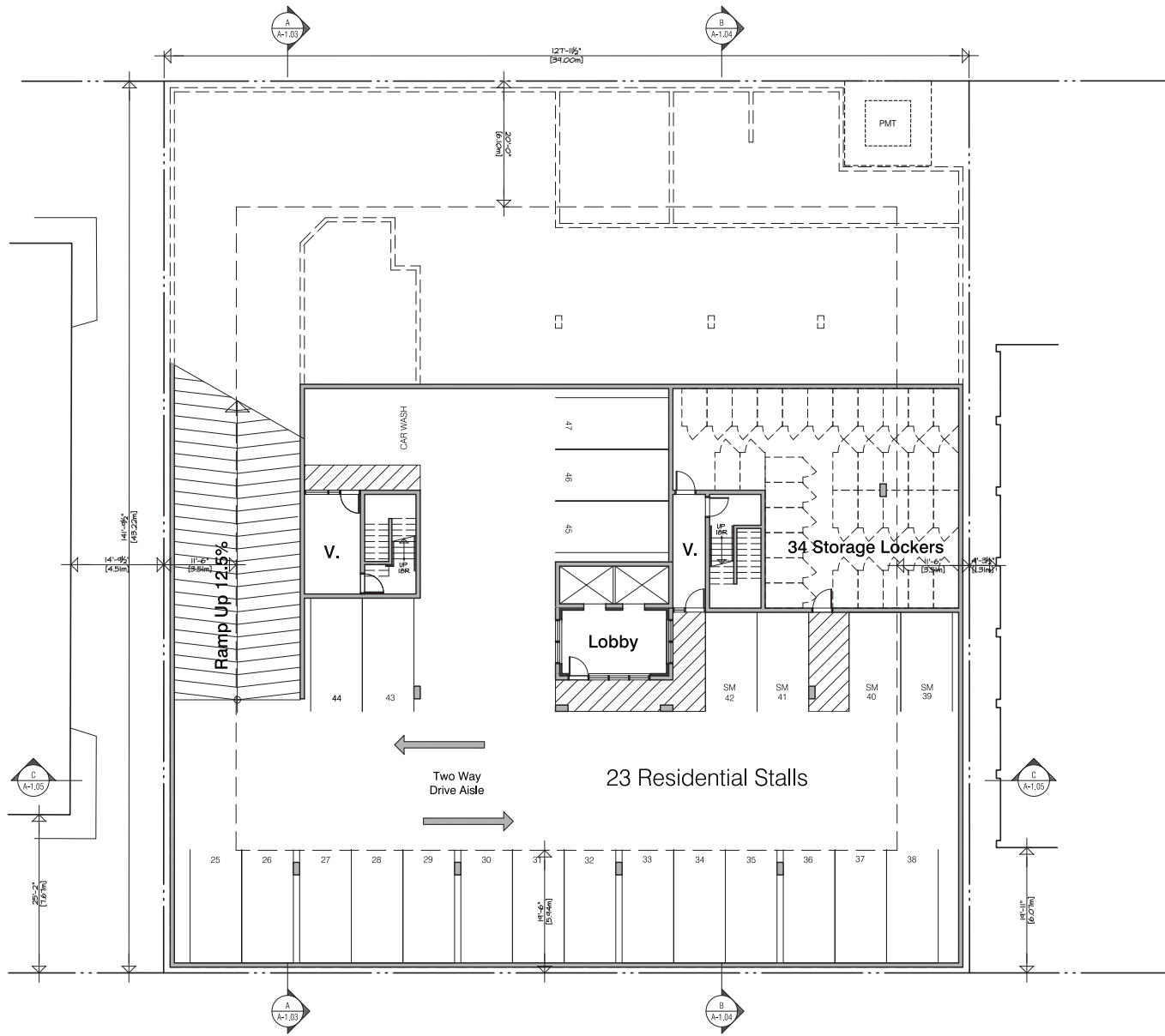
SECTION B

Project
 Crystal
 Apartments Ltd.
 124 W 20th Street
 North Vancouver

Site Section B
 Scale: 1/8" = 1'-0"
 May 31, 2022



SECTION C



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on the face of the wall unless otherwise indicated. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

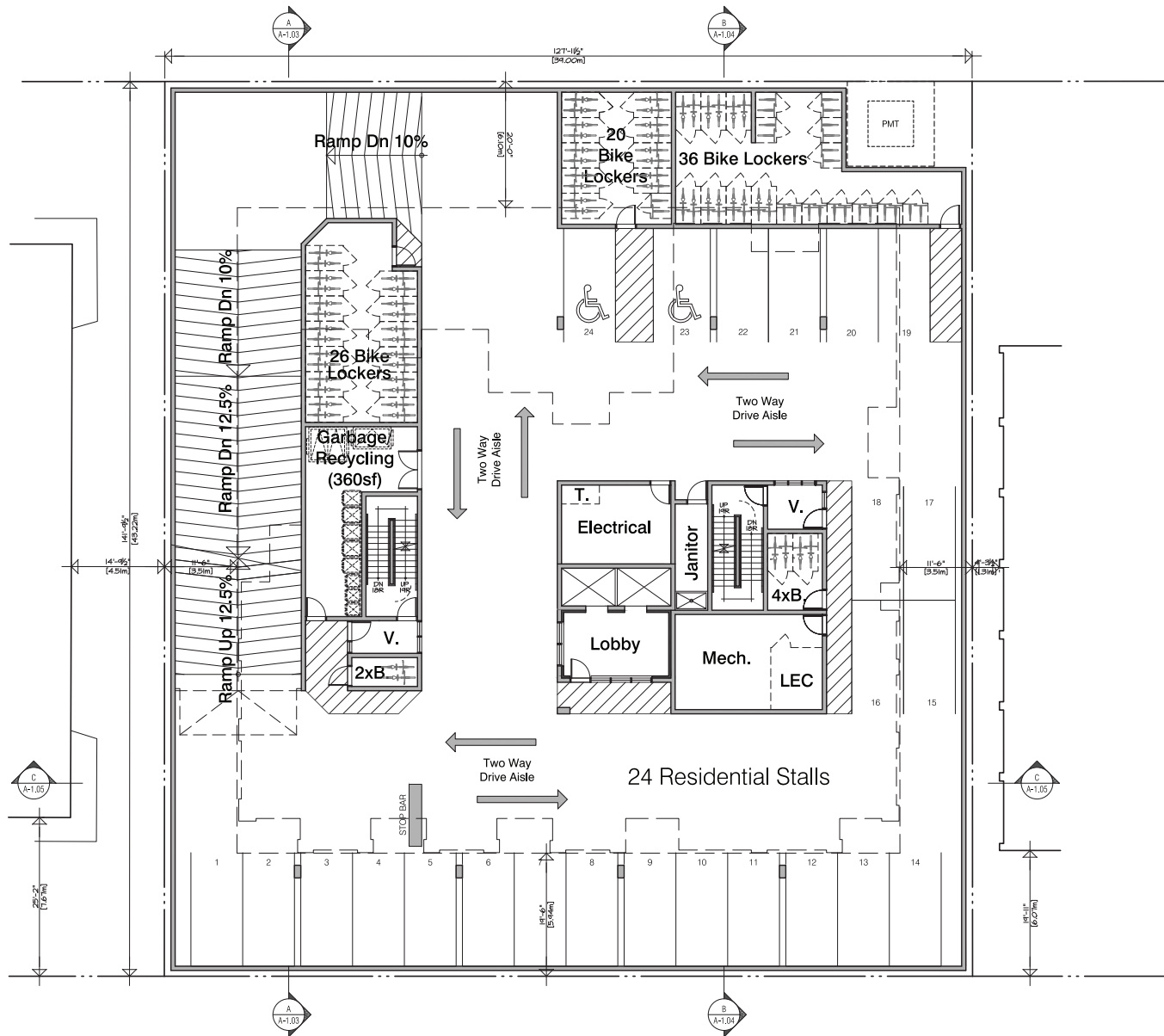
- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-Issued For Rezoning, Development Permit September 02, 2021
 - Re-Issued For Rezoning, Development Permit February 04, 2022
 - Re-Issued For Rezoning, Development Permit May 31, 2022

Project
 Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

Parking Level 2
 Scale: 1/8" = 1'-0"
 May 31, 2022



A-2.01



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions, not marked otherwise. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
- Issued For Advisory Design Panel May 12, 2021
- Re-Issued For Rezoning, Development Permit September 02, 2021
- Re-Issued For Rezoning, Development Permit February 04, 2022
- Re-Issued For Rezoning, Development Permit May 31, 2022

Project
 Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

Parking Level 1

Scale: 1/8" = 1'-0"
 May 31, 2022



A-2.02



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions, notes, and/or electronic. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

- Revisions:
- Issued For Rezone, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-Issued For Rezone, Development Permit September 02, 2021
 - Re-Issued For Rezone, Development Permit February 04, 2022
 - Re-Issued For Rezone, Development Permit May 31, 2022

Project
Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

Main Floor

Scale: 1/8" = 1'-0"
 May 31, 2022



A-2.03



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions noted on the drawing. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022

Project
Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

Level 2 Plan
 Scale: 1/8" = 1'-0"
 May 31, 2022



A-2.04



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions noted on the drawing. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or violations from the dimensions and conditions on the drawing.

- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022

Project
 Crystal
 Apartments Ltd.
 124 W 20th Street
 North Vancouver

Level 3 Plan
 Scale: 1/8" = 1'-0"
 May 31, 2022



A-2.05



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the professional dimensions shall be based on conditions, notes, schedules, etc. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022

Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Level 4 Plan
Scale: 1/8" = 1'-0"
May 31, 2022



A-2.06



ARCHITECTS INCORPORATED
 200-7000 Highway 10, Vancouver, BC V6P 1K7

- Revisions:
- Issued For Rezoning, Development Permit
January 28, 2021
 - Issued For Advisory Design Panel
May 12, 2021
 - Re-issued For Rezoning, Development Permit
September 02, 2021
 - Re-issued For Rezoning, Development Permit
February 04, 2022
 - Re-issued For Rezoning, Development Permit
May 31, 2022

Project
**Crystal
 Apartments Ltd.**
 124 W 20th Street
 North Vancouver

Level 5 Plan
 Scale: 1/8" = 1'-0"
 May 31, 2022



A-2.07



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions - roof finished - dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

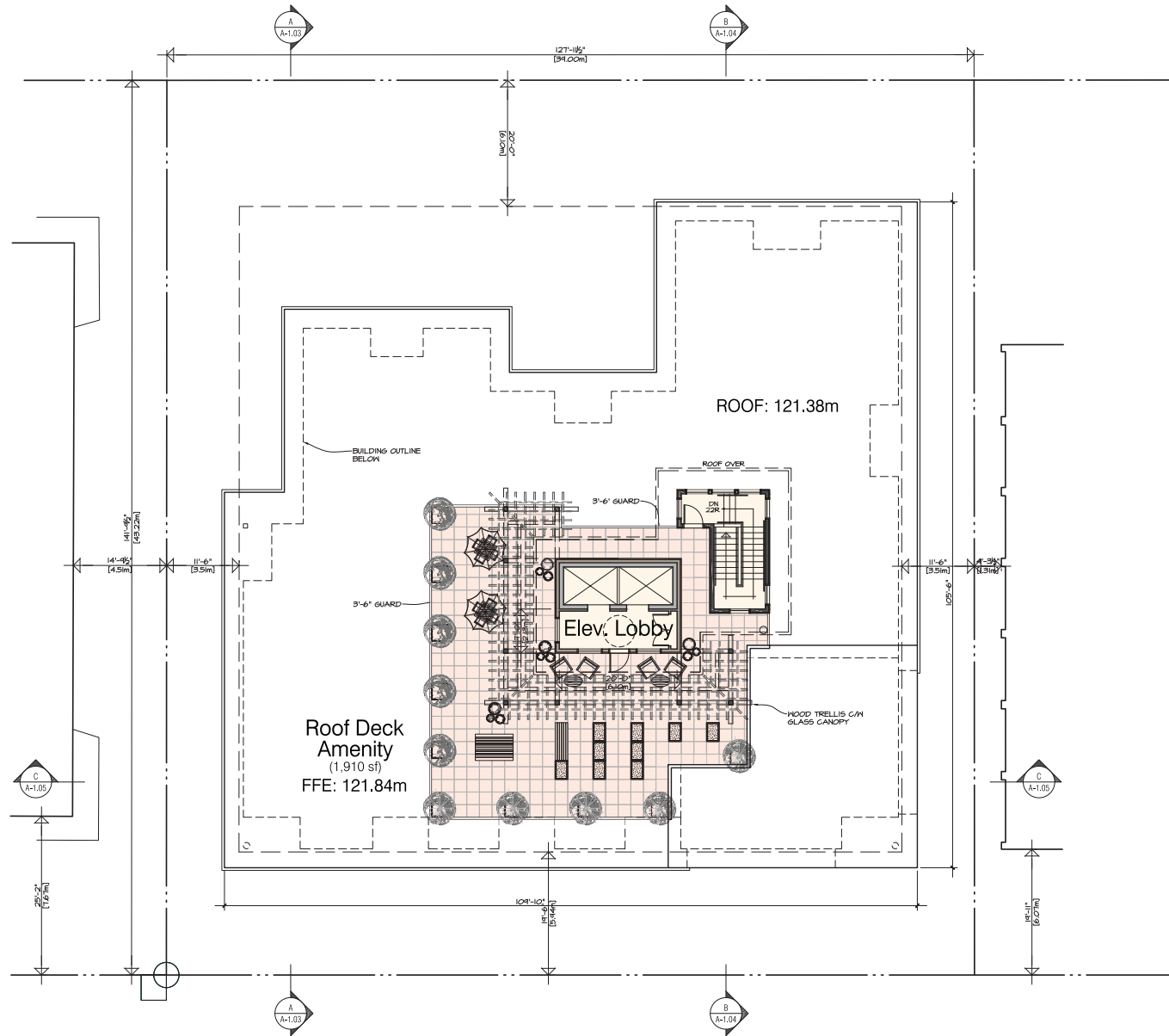
- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022

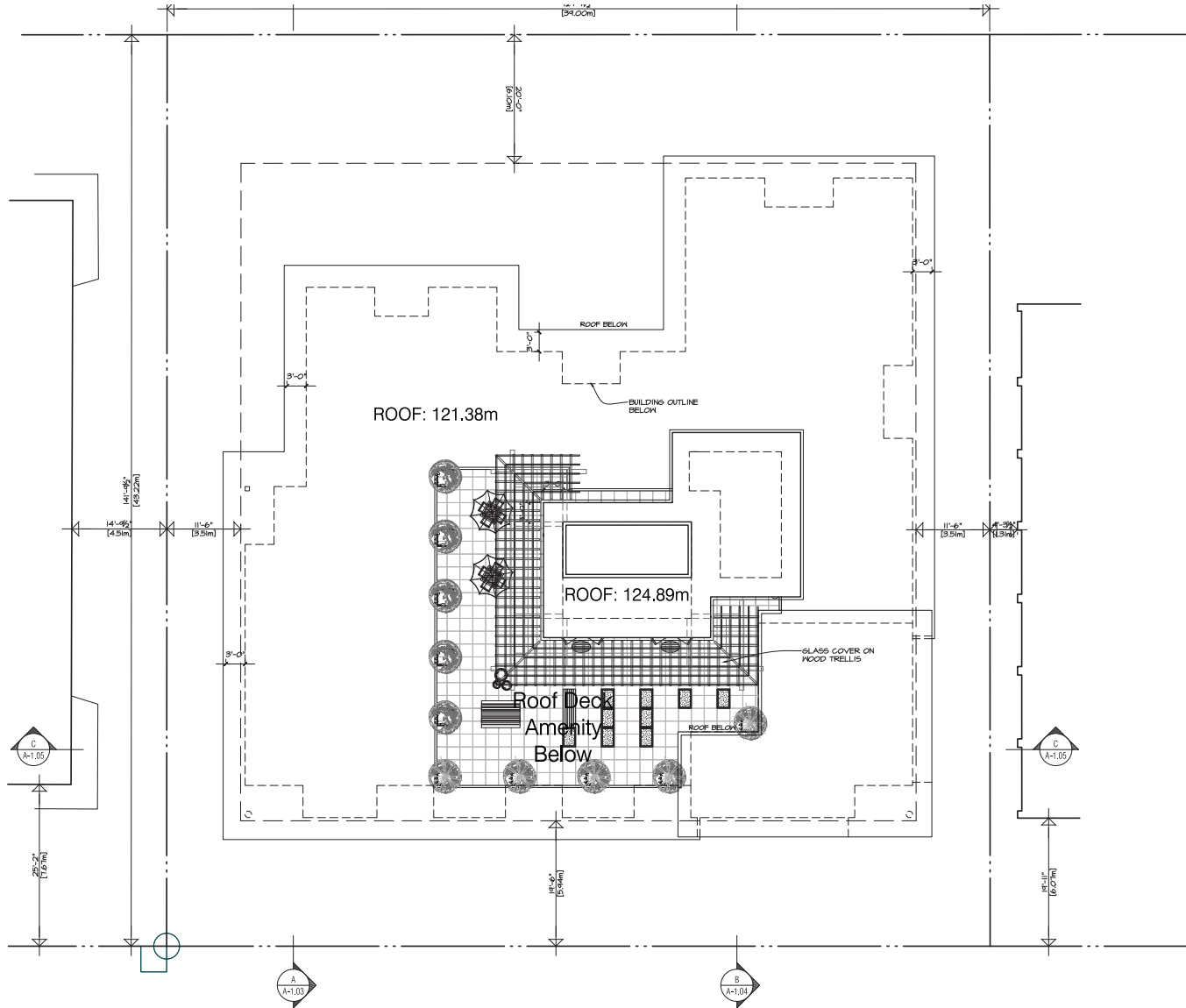
Project
 Crystal
 Apartments Ltd.
 124 W 20th Street
 North Vancouver

Level 6 Plan
 Scale: 1/8" = 1'-0"
 May 31, 2022



A-2.08





Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions, notes, specifications, and conditions on the job. Architect shall be responsible for any discrepancies or variations from the dimensions and conditions on the drawing.

- Revisions:
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-Issued For Rezoning, Development Permit September 02, 2021
 - Re-Issued For Rezoning, Development Permit February 04, 2022
 - Re-Issued For Rezoning, Development Permit May 31, 2022

Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Elevator and Stair
Roof Plan

Scale: 1/8" = 1'-0"
May 31, 2022



A-2.10



SOUTH ELEVATION (W 20TH STREET)

Exterior Finish Legend

1 Roof	2-ply SBS Membrane, Light Grey	7 Concrete Copings	Caps, Headers, Lintels and Sills Colour to match brick	14 Balcony Fascia	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
2 Soffit	Hardie Panel Benjamin Moore AF-680 Wish	8a Vinyl Window	Vinyl Frame Black	15 Columns	Wood, Colour: Broda Stain, Natural 111
3 Roof Fascia	Fiber Cement Trim Board Benjamin Moore 2132-10 Black	8b Vinyl Window	Vinyl Frame White	16 Beams	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
4a Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore OC-S7 White Heron	9 Guardrails	Aluminum Frames, Powder Coated, Makin Metals, Iron Ore	17 Trellis	Wood, Colour: Broda Stain, Natural 111
4b Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-104 Copley Gray	10 Guardrail Glazing	Tempered Glass Panels, Vitrum Glass, Colour: Pewter	18 Feature Soffit	Longboard Soffit, V-groove, 6" Exposure, Colour: Light Cherry
4c Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-87 Ashley Gray	11 Curtain Wall	Smooth, Matt Finish, Black	19 Window Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
5 Wood Cladding	HardiePlank Lap Siding, 6" Exposure, Colour:	12 Curtain Wall Spandrel	Vitrum Glass, Opac-coat #3-0586 Medium Gray	20 Fascia Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
6 Brick Vener	Yankee Hill Brick, Smooth Standard Running Bond, Dark Iron Spot	13 Metal Canopy	Powder Coated Steel, Benjamin Moore 2132-10 Black	21 Gutter & RWL	Prefinished Aluminum, Colour: See Supplementary Colour Board

Spatial Calculations

Fire Compartment	Limiting Distance	Actual			BC96 9118 - Table 3.2.3.1 a						
		Total Façade Area	Area Unprotected Opening	% Unprotected Opening	Limiting Distance (m)	Exposing Building Face Max Area Category	% Unprotected Opening	Min. Req. F.R.R.	Construction (non-combustible or combustible)	Cladding (non-combustible or combustible)	
	m	m ²	m ²	%	m	m ²	%	min.	N/C or C	N/C or C	
North Façade	> 9m	N/A	N/A				100%*		C	C	
East Façade	11.00	7.0	3.53	(6,358 / 990.7)	1,854	153.7	26.0%	3.53	> 150	C	C
South Façade	> 9m	N/A	N/A				100%*		C	C	
West Façade	11.00	9.0	3.58	(6,255 / 981.1)	1,084	100.7	17.3%	3	> 150	C	C

*Per 3.2.3.10 (2) Unlimited unprotected openings allowed
 Notes:
 1. Results based on table 3.2.3.1 a and 3.2.3.7 for Group C buildings. Where the Limiting Distance and Max Area category do not fall on a table value, the results have been interpolated through linear interpolation.
 2. All limiting distances are measured to property lines (PL) or to the centre line of a street.
 3. Per 3.2.3.14(3), unprotected openings do not apply to fire compartments within the same building that are sprinklered



EAST ELEVATION

Exterior Finish Legend

1 Roof	2-ply SBS Membrane, Light Grey	7 Concrete Copings	Caps, Headers, Lintels and Sills Colour to match brick	14 Balcony Fascia	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
2 Soffit	Vinyl Panel Benjamin Moore AF-680 Wish	8a Vinyl Window	Black	15 Columns	Wood, Colour: Broda Stain, Natural 111
3 Roof Fascia	Fiber Cement Trim Board Benjamin Moore 2132-10 Black	8b Vinyl Window	Vinyl Frame White	16 Beams	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
4a Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore UC-57 White Heron	9 Guardrails	Aluminum Frames, Powder Coated, Makin Metals, Iron Ore	17 Trellis	Wood, Colour: Broda Stain, Natural 111
4b Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-104 Copley Gray	10 Guardrail Glazing	Tempered Glass Panels, Vitrum Glass, Colour: Pewter	18 Feature Soffit	Longboard Soffit, V-groove, 6" Exposure, Colour: Light Cherry
4c Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-87 Ashley Gray	11 Curtain Wall	Smooth, Matt Finish, Black	19 Window Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
5 Wood Cladding	HardiePlank Lap Siding, 6" Exposure, Colour:	12 Curtain Wall Spandrel	Vitrum Glass, Opac-coat #3-0586 Medium Gray	20 Fascia Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
6 Brick Venner	Yankee Hill Brick, Smooth Standard Running Bond, Dark Iron Spot	13 Metal Canopy	Powder Coated Steel, Benjamin Moore 2132-10 Black	21 Gutter & RWL	Prefinished Aluminum, Colour: See Supplementary Colour Board

Spatial Calculations

Fire Compartment	Actual				BCBC 2018 - Table 3.2.3.1 a								
	Limiting Distance	Total Façade Area	Area Unprotected Opening	% Unprotected Opening	Limiting Distance (m)	Exposing Building Face Max Area Category	% Unprotected Opening	Min. Req. F.R.R.	Construction (non-combustible or combustible)	Cladding (non-combustible or combustible)			
North Façade	> 9m	N/A	N/A				100%*		c	c			
East Façade	11.00	7.0	3.53	6,358	599.7	1,854	13.7	28.0%	3	> 150	26%	c	c
South Façade	> 9m	N/A	N/A				100%*		c	c			
West Façade	11.00	9.0	3.58	6,255	581.1	1,084	10.7	17.3%	3	> 150	22%	c	c

*Per 3.2.3.10 (2) Unlimited unprotected openings allowed
Notes:
1. Results based on table 3.2.3.1 a and 3.2.3.7 for Group C buildings. Where the Limiting Distance and Max Area category do not fall on a table value, the results have been interpolated through linear interpolation.
2. All limiting distances are measured to property lines (PL) or to the centre line of a street.
3. Per 3.2.3.14(3), unprotected openings do not apply to fire compartments within the same building that are sprinklered



NORTH ELEVATION (LANE)

Exterior Finish Legend

1 Roof	2-ply SBS Membrane, Light Grey	7 Concrete Copings	Caps, Headers, Lintels and Sills Colour to match brick	14 Balcony Fascia	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
2 Soffit	Hardie Panel Benjamin Moore AF-680 Wish	8a Vinyl Window	Vinyl Frame Black	15 Columns	Wood, Colour: Broda Stain, Natural 111
3 Roof Fascia	Fiber Cement Trim Board Benjamin Moore 2132-10 Black	8b Vinyl Window	Vinyl Frame White	16 Beams	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
4a Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore UC-57 White Heron	9 Guardrails	Aluminum Frames, Powder Coated, Makin Metals, Iron Ore	17 Trellis	Wood, Colour: Broda Stain, Natural 111
4b Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-104 Copley Gray	10 Guardrail Glazing	Tempered Glass Panels, Vitruim Glass, Colour: Pewter	18 Feature Soffit	Longboard Soffit, V-groove, 6" Exposure, Colour: Light Cherry
4c Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-87 Ashley Gray	11 Curtain Wall	Smooth, Matt Finish, Black	19 Window Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
5 Wood Cladding	HardiePlank Lap Siding, 6" Exposure, Colour:	12 Curtain Wall Spandrel	Vitrum Glass, Opac-coat #3-0586 Medium Gray	20 Fascia Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
6 Brick Venner	Yankee Hill Brick, Smooth Standard Running Bond, Dark Iron Spot	13 Metal Canopy	Powder Coated Steel, Benjamin Moore 2132-10 Black	21 Gutter & RWL	Prefinished Aluminum, Colour: See Supplementary Colour Board

Spatial Calculations

Fire Compartment	Limiting Distance	Actual			BCBC 2018 - Table 3.2.3.1 a							
		Total Façade Area	Area Unprotected Opening	% Unprotected Opening	Limiting Distance (m)	Exposing Building Face Max Area Category	% Unprotected Opening	Min. Req. F.R.R.	Construction (non-combustible or combustible)	Cladding (non-combustible or combustible)		
	m	m ²	m ²	%	m	m ²	%	min.	n/c or c	n/c or c		
North Façade	> 9m	N/A	N/A				100%*		c	c		
East Façade	11.00	7.0	3.53	6,358	599.7	1,854	13.7	3.53	> 150	26%	c	c
South Façade	> 9m	N/A	N/A				100%*		c	c		
West Façade	11.00	9.0	3.58	6,255	581.1	1,084	10.7	3	> 150	22%	c	c

*Per 3.2.3.10 (2) Unlimited unprotected openings allowed
Notes:
1. Results based on table 3.2.3.1 a and 3.2.3.7 for Group C buildings. Where the Limiting Distance and Max Area category do not fall on a table value, the results have been interpolated through linear interpolation.
2. All limiting distances are measured to property lines (PL) or to the centre line of a street.
3. Per 3.2.3.14(3), unprotected openings do not apply to fire compartments within the same building that are sprinklered



WEST ELEVATION

Exterior Finish Legend

1 Roof	2-ply SBS Membrane, Light Grey	7 Concrete Copings	Caps, Headers, Lintels and Sills Colour to match brick	14 Balcony Fascia	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
2 Soffit	Hardie Panel Benjamin Moore AF-680 Wish	8a Vinyl Window	Vinyl Frame Black	15 Columns	Wood, Colour: Broda Stain, Natural 111
3 Roof Fascia	Fiber Cement Trim Board Benjamin Moore 2132-10 Black	8b Vinyl Window	Vinyl Frame White	16 Beams	Fibre Cement Trim Board, Benjamin Moore 2132-10 Black
4a Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore OC-S7 White Heron	9 Guardrails	Aluminum Frames, Powder Coated, Makin Metals, Iron Ore	17 Trellis	Wood, Colour: Broda Stain, Natural 111
4b Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-104 Copley Gray	10 Guardrail Glazing	Tempered Glass Panels, Vitrum Glass, Colour: Pewter	18 Feature Soffit	Longboard Soffit, V-groove, 6" Exposure, Colour: Light Cherry
4c Wall Panel	Hardie Reveal Panel System, Smooth Benjamin Moore HC-87 Ashley Gray	11 Curtain Wall	Smooth, Matt Finish, Black	19 Window Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
5 Wood Cladding	HardiePlank Lap Siding, 6" Exposure, Colour:	12 Curtain Wall Spandrel	Vitrum Glass, Opac-coat #3-0586 Medium Gray	20 Fascia Flashing	Prefinished Aluminum Colour: See Supplementary Colour Board
6 Brick Vener	Yankee Hill Brick, Smooth Standard Running Bond, Dark Iron Spot	13 Metal Canopy	Powder Coated Steel, Benjamin Moore 2132-10 Black	21 Gutter & RWL	Prefinished Aluminum, Colour: See Supplementary Colour Board

Spatial Calculations

Fire Compartment	Limiting Distance ft in m	Total Façade Area ft ² m ²	Area Unprotect Opening ft ² m ²	% Unprotected Opening	BCBC 2018 - Table 3.2.3.1 a				
					Limiting Distance (m)	Exposing Building Face Max Area Category	% Unprotected Opening	Min. Req. F.R.R. min.	Construction (non-combustible or combustible)
North Façade	> 9m	N/A	N/A			100%*		c	c
East Façade	11.00 7.0 3.53	6,358 590.7	1,854 153.7	26.0%	3.53	>150	26%	c	c
South Façade	> 9m	N/A	N/A			100%*		c	c
West Façade	11.00 9.0 3.58	6,255 581.1	1,084 100.7	17.3%	3	>150	22%	c	c

*Per 3.2.3.10 (2) Unlimited unprotected openings allowed
 Notes:
 1. Results based on table 3.2.3.1 a and 3.2.3.7 for Group C buildings. Where the Limiting Distance and Max Area category do not fall on a table value, the results have been interpolated through linear interpolation.
 2. All limiting distances are measured to property lines (PL) to the centre line of a street.
 3. Per 3.2.3.14(3), unprotected openings do not apply to fire compartments within the same building that are sprinklered

- 1 Typical Roofing
IKO Cambridge Dual Grey
- 3 Fascias
Fibre Cement Trim Board
Colour: BM 2132-10 Black
- 2 Soffits
Hardie Panel System
Colour: BM AF-680 Wish
Colour-Matched, Embedded
Screws
- 15 Metal Canopy
Powder Coated Steel,
Colour: BM 2132-10 Black
- 18 Feature Soffit
Soffit: Longboard V-groove,
Colour: Light Cherry
- 86 Exterior Wall Panel
Hardie Reveal Panel System
Colour: BM HC-104
Copley Gray
Colour-Matched, Embedded
Screws
- 40 Exterior Wall Panel
Hardie Reveal Panel System
Colour: BM HC-87 Ashley Gray
Colour-Matched, Embedded
Screws
- 86 Exterior Wall Panel
Hardie Reveal Panel System
Colour: BM OC-57
White Heron
Colour-Matched, Embedded
Screws
- 5 Feature Siding
Longboard V-groove,
Colour: Light Cherry
- 9 Railings
Colour: Makin Metals - Iron Ore
- 10 Balcony Glazing
Vitrum Glass Group
Colour: Pewter
- 11 Curtain Wall
Frames
Colour: Black
- 12 Curtain Wall Spandrel
Vitrum Glass Group
Colour: Opaci-coat #3-0586
Medium Gray
- 6 Brick Veneer
Yankie Hill
Colour: Dark Iron Spot Smooth
Running Bond
- 84 Vinyl Windows
Feature: Black
Standard: White



- 2 Soffit - Typical
Hardie Panel
Colour: Benjamin Moore AF-680 Wish
Wood, Colour: Broda Stain, Natural 111
- 17 Trellis
Colour: Black
- 1 Roofing
2-Ply SBS Membrane,
Cap Sheet, Min 2% Slope, Light Grey
- 3 Roof Fascia
Fiber Cement Trim Board
Colour: Benjamin Moore 2132-10 Black
- 18 Soffit - Feature
Longboard Soffit, V-groove, 6" Exposure
Colour: Light Cherry
- 16 Feature Drop Beam
Fiber Cement Trim Board
Colour: Benjamin Moore 2132-10 Black
- 86 Feature Vinyl Windows
Colour: Black
- Glazed Guardrail
Aluminum Frames Powder Coated
Colour: Iron Ore
Tempered Glass Panels Vitrum Glass
Colour: Pewter
- Feature Balcony Fascia
Fiber Cement Trim Board
Colour: Benjamin Moore 2132-10 Black
- 15 Wood Columns
Colour: Broda Stain, Natural 111
- 84 Vinyl Windows
Colour: White
- 86 Wall Panel - Feature
Fiber Cement Panels, HardiePanel Smooth
Hardie Reveal Panel System
Colour: Benjamin Moore HC-104 Copley
- 5 Feature Wood Cladding
Aluminum Horizontal Siding, 6" Exposure
Longboard Siding, Wood Colour
- 86 Wall Panel - Light
Fiber Cement Panels, HardiePanel Smooth
Hardie Reveal Panel System
Colour: Benjamin Moore OC-57 White Heron
- 7 Concrete Copings
Caps, Headers, Lintels & Sills
Colour to Match Brick
- 13 Metal Canopy
Powder Coated Steel
Colour: Benjamin Moore 2132-10 Black
Soffit: Longboard, V-groove, 6" Exposure,
Colour: Light Cherry
- Soffit - Feature
Longboard Soffit, V-groove, 6" Exposure
Colour: Light Cherry
- 11 Curtain Wall
Colour: Black
Anodized, Vitrum Glass
- 12 Curtain Wall - Spandrel
Vitrum Glass
Colour: Opaci-coat #3-0586 Medium Gray
- 6 Brick Veneer
Yankie Hill Brick
Standard: Modular, Running Bond
Colour: Dark Iron Spot, Smooth
- 22 Feature Guardrailing
Perforated Metal Panel
Colour: Makin Metals, PVDF Weathered Zinc
- 19 Window Flashing
Prefinished Aluminum
Colour: Colour-Matched to Window
- 20 Fascia Flashing
Prefinished Aluminum
Colour:
- 21 Gutter & RWL
Dark Colour



ARCHITECTS INCORPORATED

Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions, not marked otherwise. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or violations from the dimensions and conditions on the drawing.

Revisions:

Issued For Rezoning, Development Permit
January 28, 2021

Issued For Advisory Design Panel
May 12, 2021

Re-Issued For Rezoning, Development Permit
September 02, 2021

Re-Issued For Rezoning, Development Permit
February 04, 2022

Re-Issued For Rezoning, Development Permit
May 31, 2022



March 21st, 9:00 A.M.



March 21st, 12:00 P.M.



March 21st, 3:00 P.M.



June 21st, 9:00 A.M.



June 21st, 12:00 P.M.



June 21st, 3:00 P.M.



December 21st, 9:00 A.M.



December 21st, 12:00 P.M.



December 21st, 3:00 P.M.

Project

Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Shadow Analysis

Scale: NTC
May 31, 2022

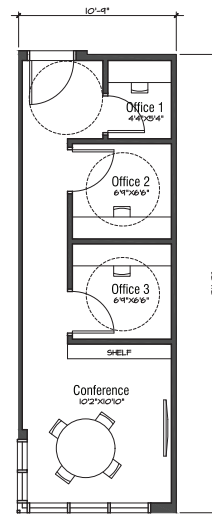


A-3.11

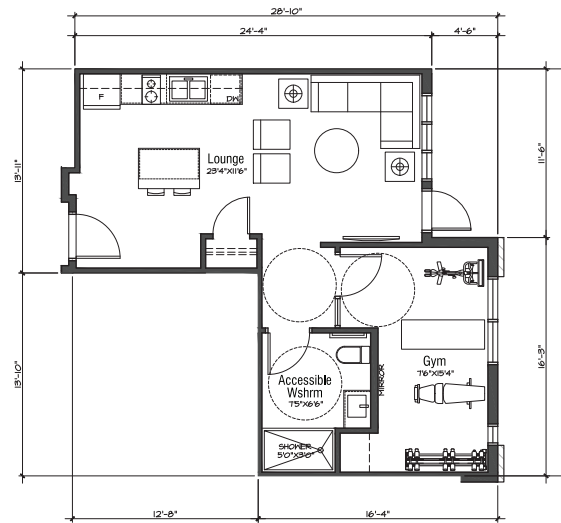


ARCHITECTS INCORPORATED
 200-2000 Superior Street, V6C 1V7
 Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall have precedence over marked dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancy or variation from the dimensions and conditions on the drawing.

Revisions:
 Issued For Rezoning, Development Permit
 January 28, 2021
 Issued For Advisory Design Panel
 May 12, 2021
 Re-issued For Rezoning, Development Permit
 September 02, 2021
 Re-issued For Rezoning, Development Permit
 February 04, 2022
 Re-issued For Rezoning, Development Permit
 May 31, 2022



Amenity Space 1
 Area: 336sf

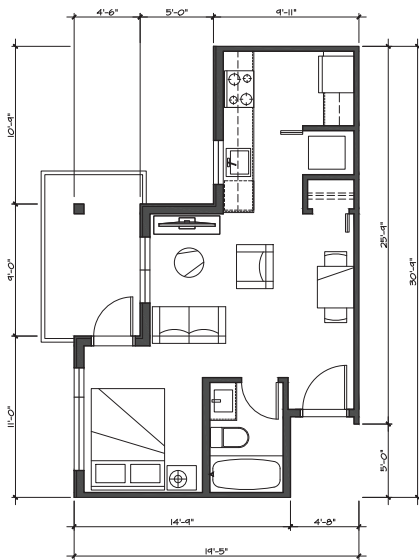


Amenity Space 2
 Area: 579sf

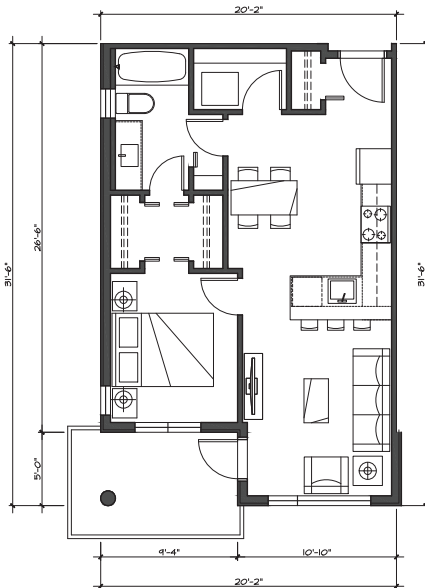
Project
Crystal
 Apartments Ltd.
 124 W 20th Street
 North Vancouver

Amenity Plans
 Scale: 1/4" = 1'-0"
 May 31, 2022

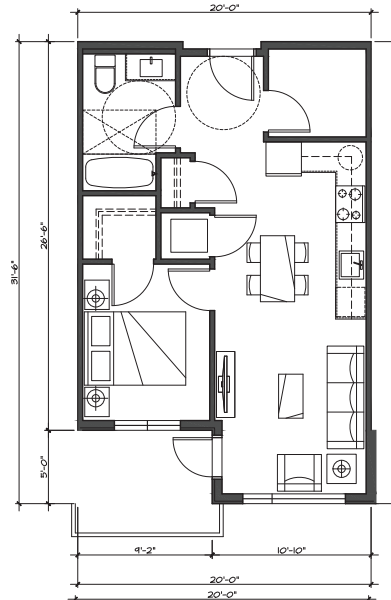
A-4.00



Unit A: Studio
 Area: 426 sf
 Units: 5 of 57



Unit B1: 1 Bed
 Area: 585 sf
 Units: 6 of 57

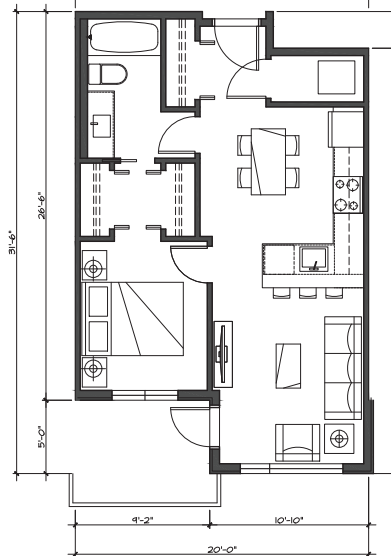


ADAPTABILITY REQUIREMENTS FOR LEVEL 2 UNITS

- A. SUMMARY OF LEVEL 2 DESIGN ELEMENTS**
- 3x6 SUITE ENTRY DOOR MINIMUM
 - ROUGH-IN WIRING FOR AUTO OPENER OF SUITE ENTRY DOOR
 - FLUSH THRESHOLDS 1/2" MAX INCLUDING BALCONY DOOR
 - 9x2 TURNING RADIUS INSIDE & OUTSIDE SUITE ENTRY DOOR
 - 2x7 CLEAR WALL ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USERS
 - 3x7 DOORS FOR ONE BEDROOM, ONE BATHROOM & PATIO DOOR
 - 3x2 TURNING RADIUS ON BALCONY
 - WINDOW OPENING MEASUREMENT 46" AFF MAXIMUM
 - 8x7 WINDOW (MINIMUM) IN LIVING/DINING & 2x5 SILLS (MINIMUM) IN ONE BEDROOM
 - CONTINUOUS COUNTERTOP BETWEEN SINK & STOVE
 - TOILET LOCATED ADJACENT TO 3x6" LONG WALL FOR GRABBAR
 - 2x4" CLEARANCE ALONG THE FULL LENGTH OF BATHTUB
- B. FEATURES & FINISHES**
- LEVER HANDLES ON ALL DOORS
 - ADJUSTABLE DOOR CLOSERS ON SUITE ENTRY DOORS (22N MAX. FORCE)
 - SUITE ENTRY DOOR HANDLES TO BE 40" AFF & DB DIRECTLY ABOVE
 - NON-SLIP FLOORING IN KITCHENS & MIN. ONE BATHROOM
 - HIGH DENSITY, LOW LEVEL LOOP CARPET & UNDERLAY
 - OUTDOOR LIGHT & RECEPTACLE ON BALCONIES REQUIRED
 - FURTHER ELECTRICAL REQUIREMENTS ON ELEC. DWGS.
 - LEVER HANDLE KITCHEN FAUCETS & KITCHEN CABINET HANDLES
 - ADJUSTABLE KITCHEN CABINET SHELVES
 - KITCHEN PULL-OUT WORK SHELF AT 2x8" AFF
 - SOLID BLOCKING IN BATHROOM WALLS OF TUB/SHOWER & TOILET AREAS & BEHIND TOWEL BARS
 - PRESSURE BALANCED TUB/SHOWER VALVES
 - FURTHER MECHANICAL REQUIREMENTS ON MECH. DWGS

ALL UNITS NOT DEFINED AS ADAPTABLE LEVEL 2 ARE REQUIRED TO BE ADAPTABLE LEVEL 1
 SOLID BLOCKING IN BATHROOM WALLS OF TUB/SHOWER & TOILET AREAS & BEHIND TOWEL BARS

Unit B: 1 Bed Level 2-Adaptable
 Area: 576 sf
 Units: 11 of 57



Unit B2: 1 Bed
 Area: 560 sf
 Units: 6 of 57



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall show conditions, note marked dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

Issued For Rezonning, Development Permit
 January 28, 2021

Issued For Advisory Design Panel
 May 12, 2021

Re-issued For Rezonning, Development Permit
 September 02, 2021

Re-issued For Rezonning, Development Permit
 February 04, 2022

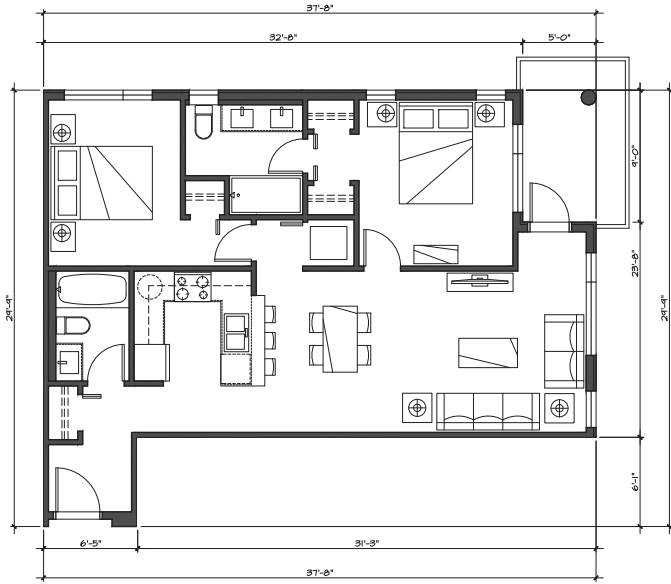
Re-issued For Rezonning, Development Permit
 May 31, 2022

Project
Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

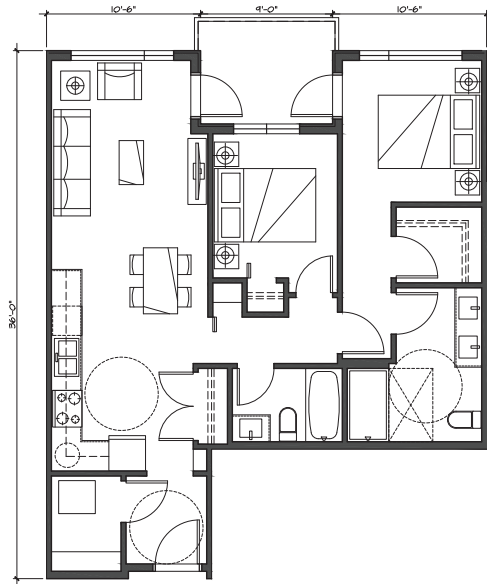
Unit Plans
 Studio & 1 Bedroom

Scale: 1/4"=1'-0"
 May 31, 2022

A-5.00



Unit C: 2 Bed
 Area: 881 sf
 Units: 6 of 57



ADAPTABILITY REQUIREMENTS FOR LEVEL 2 UNITS

- A. SUMMARY OF LEVEL 2 DESIGN ELEMENTS**
- 3/4" SUITE ENTRY DOOR MINIMUM.
 - ROUGH IN WIRING FOR AUTO OPENER OF SUITE ENTRY DOOR.
 - FLOOR THRESHOLDS 1/2" MAX INCLUDING BALCONY DOOR.
 - 3/4" TURNING RADIUS INSIDE & OUTSIDE SUITE ENTRY DOOR.
 - 2x4" CLEAR WALL ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER.
 - 3" DOORS FOR ONE BEDROOM, ONE BATHROOM & PATIO DOOR.
 - 3/4" TURNING RADIUS ON BALCONY.
 - WINDOW OPENING MECHANISM 45" AFF MAXIMUM.
 - 8-5/8" WINDOW (MINIMUM) IN LIVING DINING & 2x4" SILLS (MINIMUM) IN ONE BEDROOM.
 - CONTINUOUS COUNTER BETWEEN SINK & STOVE.
 - TOILET LOCATED ADJACENT TO 3x4" LONG WALL FOR GRABBAR.
 - 2x4" CLEARANCE ALONG THE FULL LENGTH OF BATHUB.
- B. FIXTURES & FINISHES**
- LEVER HANDLES ON ALL DOORS.
 - ADJUSTABLE DOOR CLOSERS ON SUITE ENTRY DOORS (22N MAX. FORCE).
 - SUITE ENTRY DOOR HANDLES TO BE 40" AFF & 08 DIRECTLY ABOVE.
 - NON-SLIP FLOORING IN KITCHENS & W/IN ONE BATHROOM.
 - HIGH DENSITY, LOW LEVEL LOOP CARPET & UNDERLAY.
 - OUTDOOR LIGHT & RECEPTACLE ON BALCONES REQUIRED.
 - FURTHER ELECTRICAL REQUIREMENTS ON ELEC. DWGS.
 - LEVER HANDLE KITCHEN FAUCETS & KITCHEN CABINET HANDLES.
 - ADJUSTABLE KITCHEN CABINET SHELVES.
 - KITCHEN PULL-OUT WORK SHELF AT 2x4" AFF.
 - SOLID BLOCKING IN BATHROOM WALLS OF TUBSHOWER & TOILET AREAS & BEHIND TOWEL BARS.
 - PRESSURE BALANCED TUBSHOWER VALVES.
 - FURTHER MECHANICAL REQUIREMENTS ON MECH. DWGS.

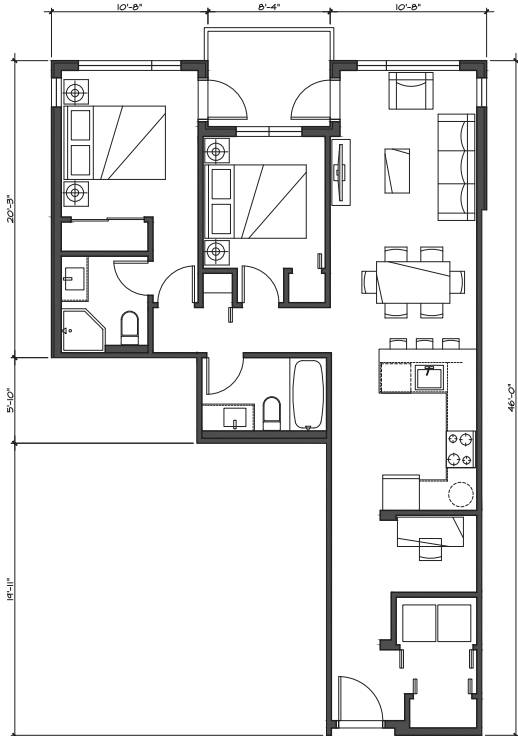
ALL UNITS NOT DERIVED AS ADAPTABLE LEVEL 2 ARE REQUIRED TO BE ADAPTABLE LEVEL 1 - SOLID BLOCKING IN BATHROOM WALLS OF TUBSHOWER & TOILET AREAS & BEHIND TOWEL BARS.

Unit C1: 2 Bed Level 2-Adaptable
 Area: 864 sf
 Units: 6 of 57

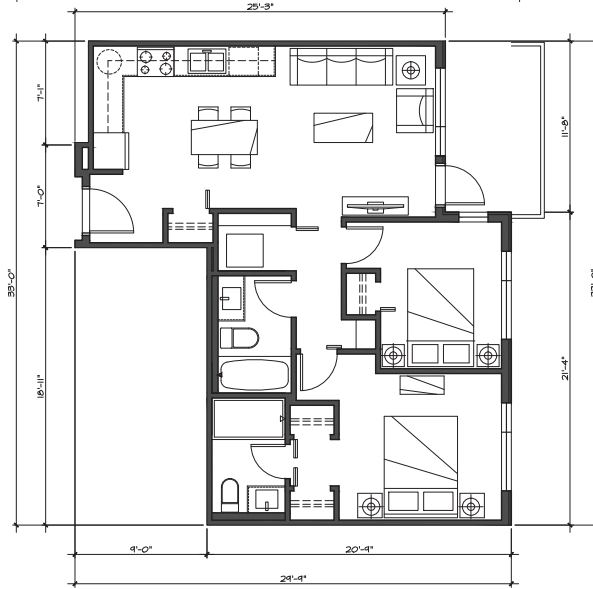


Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shall be based on conditions, note marked dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancy or variations from the dimensions and conditions on the drawing.

Revised:
 Issued For Rezoning, Development Permit January 28, 2021
 Issued For Advisory Design Panel May 12, 2021
 Re-Issued For Rezoning, Development Permit September 02, 2021
 Re-Issued For Rezoning, Development Permit February 04, 2022
 Re-Issued For Rezoning, Development Permit May 31, 2022



Unit C2: 2 Bed
 Area: 879 sf
 Units: 5 of 57

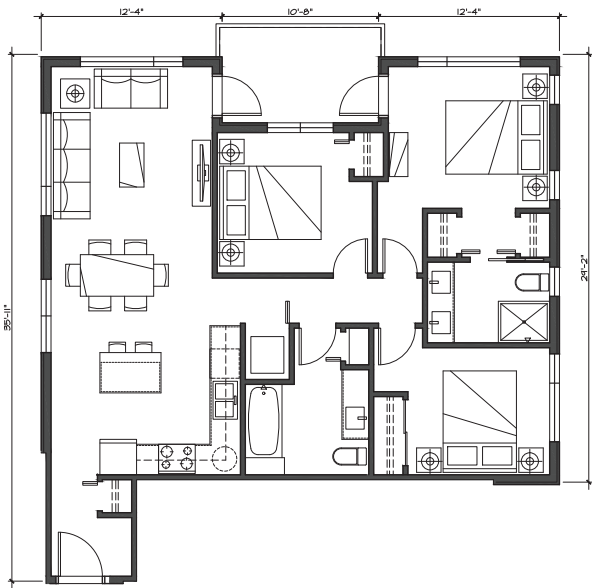


Unit C3: 2 Bed
 Area: 748 sf
 Units: 5 of 57

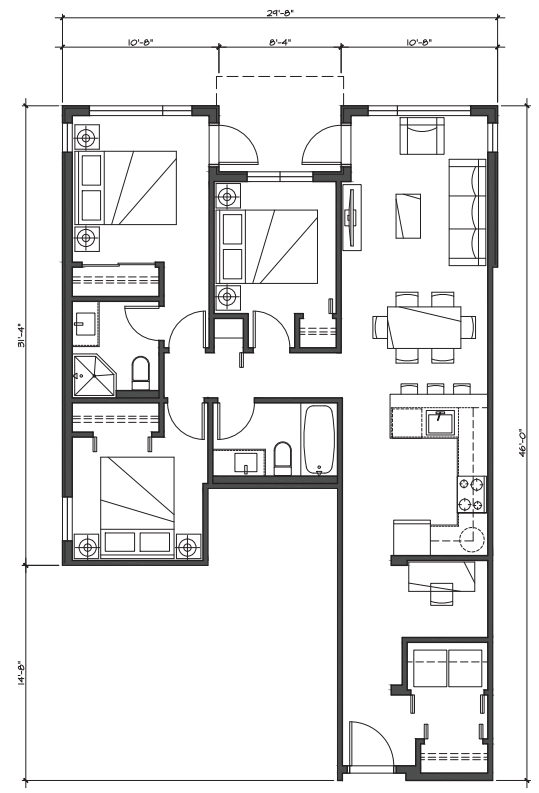
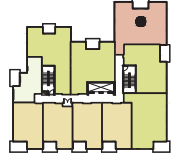


Project
Crystal Apartments Ltd.
 124 W 20th Street
 North Vancouver

Unit Plans
 2 Bedroom
 Scale: 1/4"=1'-0"
 May 31, 2022



Unit D: 3 Bed
 Area: 1,014 sf
 Units: 6 of 57



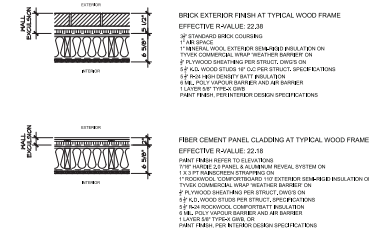
Unit D1: 3 Bed
 Area: 989 sf
 Units: 1 of 57



Main Floor	
Gross Bldg Area	8,148 SF
Residential Area	7,072 SF
Amenity Exclusions	
Amenity Rooms & Rental Office	1,076 SF
Lobby Exclusion	243 SF
Wall Exclusion	110 SF
Adaptable Unit Exclusion (20%/unit)	40 SF
FSR Area	6,679 SF

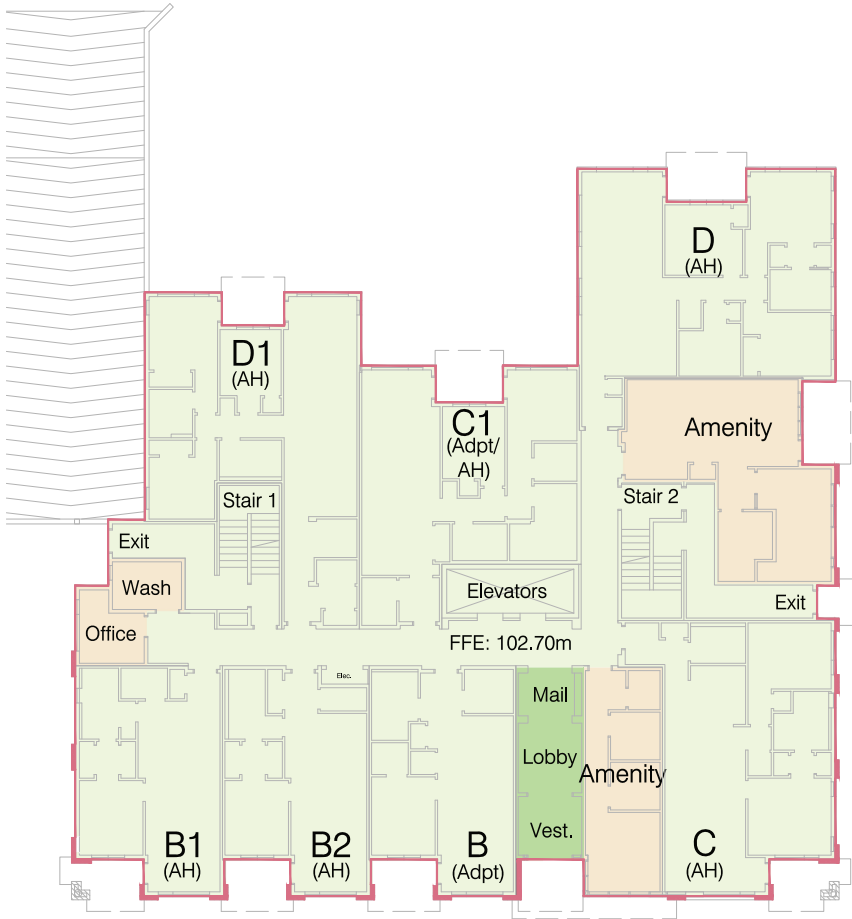
Level 2	
Gross Bldg Area	8,156 SF
Residential Area	8,156 SF
Amenity Exclusions	
n/a	- SF
Lobby Exclusion	- SF
Wall Exclusion	105 SF
Adaptable Unit Exclusion (20%/unit)	60 SF
FSR Area	7,991 SF

Project Area Summary	
Gross Bldg Area	49,362 SF
Residential Units/Corridor	48,286 SF
Amenity Exclusion	1,076 SF
Lobby Exclusion	377 SF
Wall Exclusion	575 SF
Adaptable Unit Exclusion (20%/unit)	340 SF
FSR Area	46,994 SF

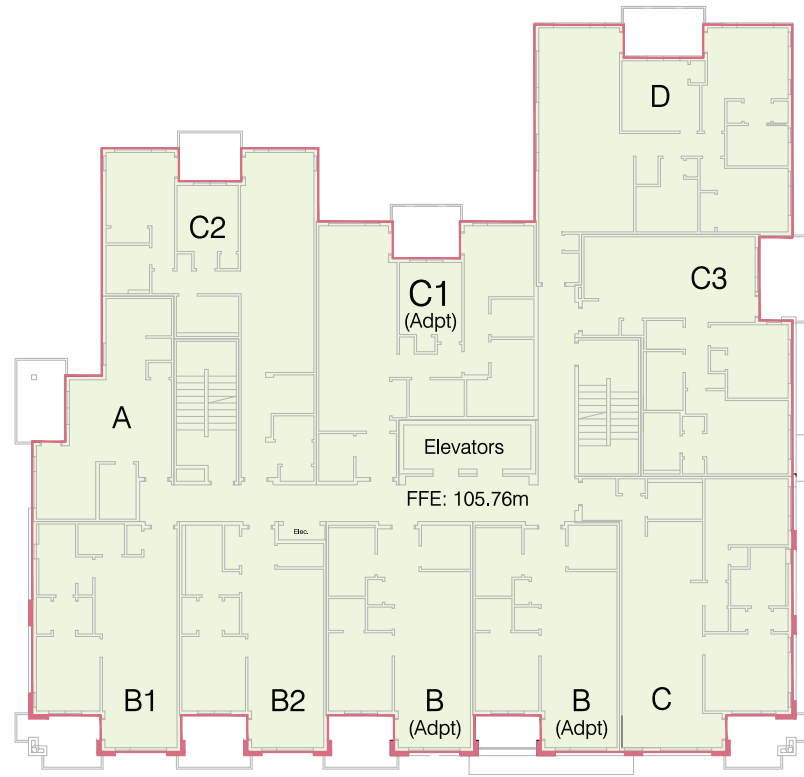


Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions and conditions on this drawing shall prevail over any other drawings. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on this drawing.

- Revisions
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022



Main Floor Area Overlay
SCALE: 1/8" = 1'-0"



Level 2 Area Overlay
SCALE: 1/8" = 1'-0"

Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Main & Level 2
Area Overlay
Scale: 1/8" = 1'-0"
May 31, 2022

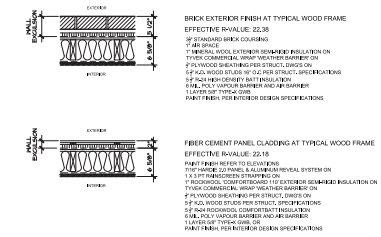


A-9.00

Level 3	
Gross Bldg Area	8,142 SF
Residential Area	8,142 SF
Amenity Exclusions	- SF
Lobby Exclusion	- SF
Wall Exclusion	91 SF
Adaptable Unit Exclusion (20k/unit)	60 SF
FSR Area	7,991 SF

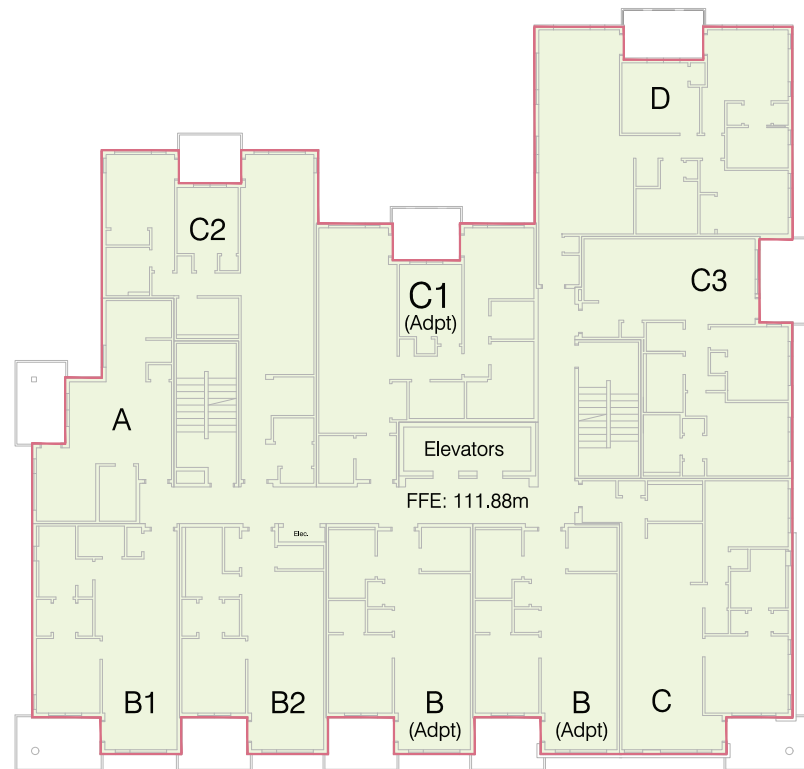
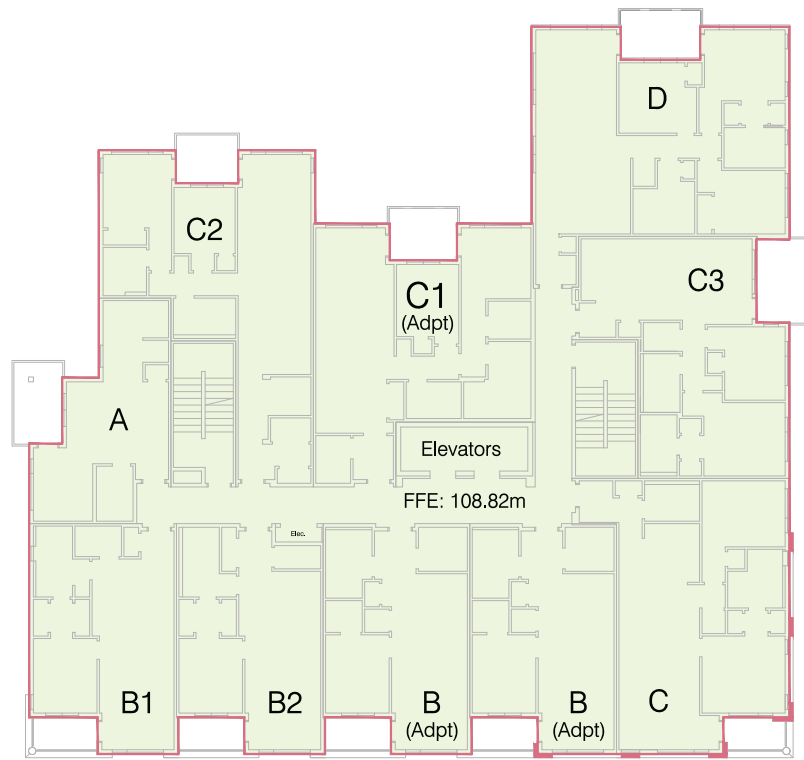
Level 4	
Gross Bldg Area	8,133 SF
Residential Area	8,133 SF
Amenity Exclusions	- SF
Lobby Exclusion	- SF
Wall Exclusion	82 SF
Adaptable Unit Exclusion (20k/unit)	60 SF
FSR Area	7,991 SF

Project Area Summary	
Gross Bldg Area	49,362 SF
Residential Units/Corridor	48,286 SF
Amenity Exclusion	1,076 SF
Lobby Exclusion	377 SF
Wall Exclusion	575 SF
Adaptable Unit Exclusion (20k/unit)	340 SF
FSR Area	46,994 SF



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service and is the property of the architect and may not be used in any way without the written permission of the professional. Dimensions shall be based on conditions, notes, schedules, elevations, sections and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

- Revisions
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022



Level 3 Area Overlay
SCALE: 1/8" = 1'-0"

Level 4 Area Overlay
SCALE: 1/8" = 1'-0"

Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Level 3 & 4
Area Overlay

Scale: 1/8" = 1'-0"
May 31, 2022

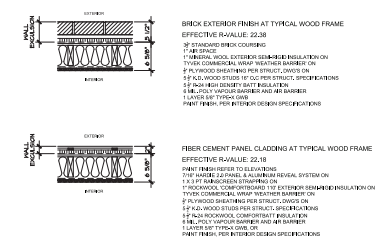


A-9.01

Level 5	
Core Bldg Area	8,133 SF
Residential Area	8,133 SF
Amenity Exclusions	- SF
n/a	- SF
Lobby Exclusion	- SF
Wall Exclusion	82 SF
Adaptable Unit Exclusion (20x/unit)	60 SF
FSR Area	7,991 SF

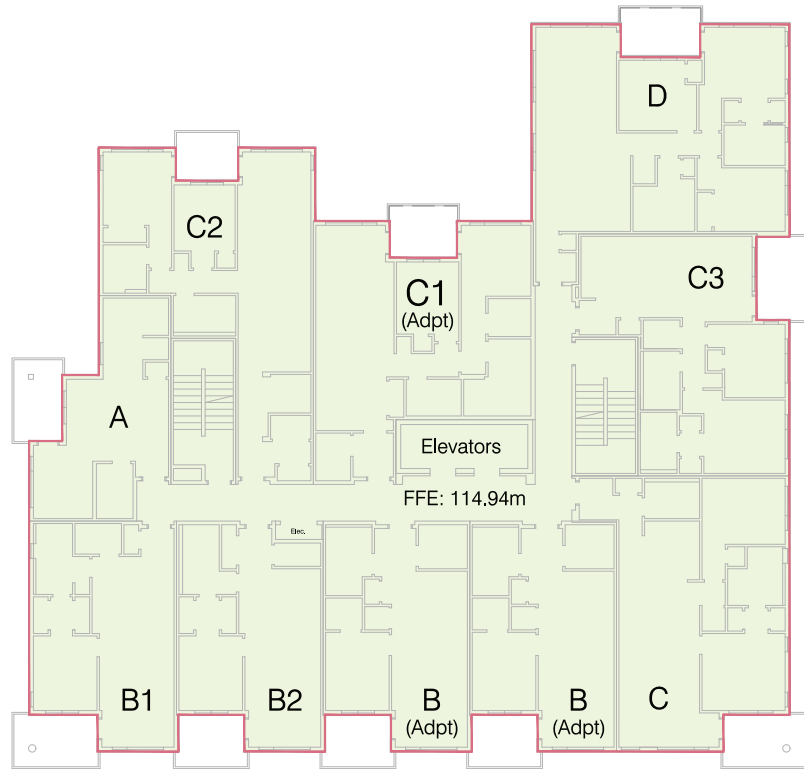
Level 6	
Core Bldg Area	8,133 SF
Residential Area	8,133 SF
Amenity Exclusions	- SF
n/a	- SF
Lobby Exclusion	- SF
Wall Exclusion	82 SF
Adaptable Unit Exclusion (20x/unit)	60 SF
FSR Area	7,991 SF

Project Area Summary	
Core Bldg Area	49,362 SF
Residential Units/Corridor	48,286 SF
Amenity Exclusion	1,076 SF
Lobby Exclusion	377 SF
Wall Exclusion	575 SF
Adaptable Unit Exclusion (20x/unit)	340 SF
FSR Area	46,994 SF

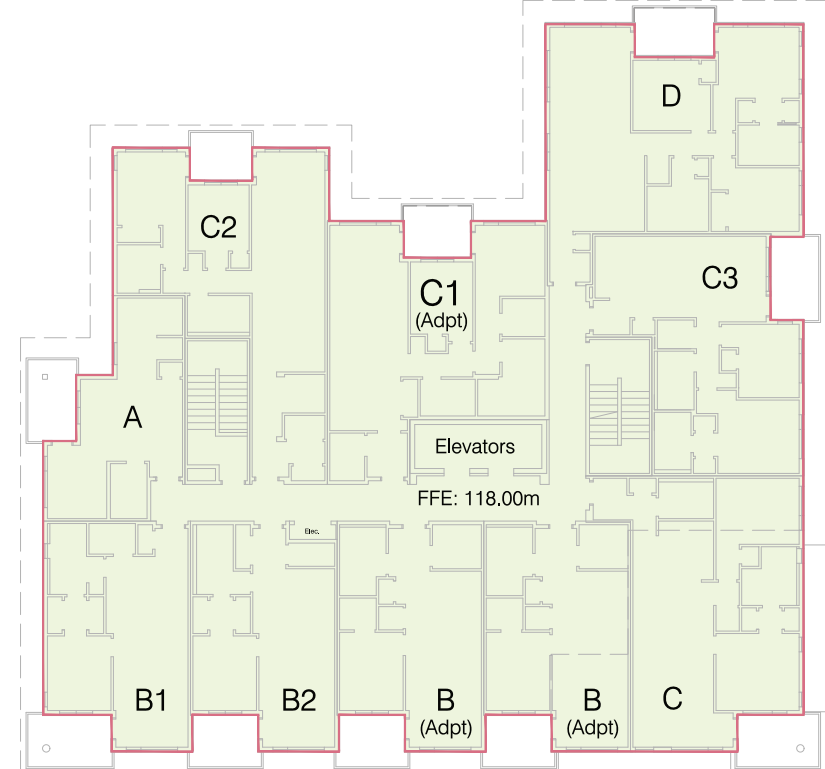


Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service and is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions and conditions on this job. Architect shall be responsible for any discrepancies or variations from the dimensions and conditions on this drawing.

- Revisions
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022



Level 5 Area Overlay
SCALE: 1/8" = 1'-0"



Level 6 Area Overlay
SCALE: 1/8" = 1'-0"

Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

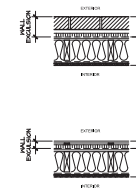
Level 5 & 6
Area Overlay
Scale: 1/8" = 1'-0"
May 31, 2022



A-9.02

Roof	
Cross Bldg Area	517 SF
Residential Area	517 SF
Amenity Exclusions	- SF
Area	- SF
Lobby Exclusion	134 SF
Wall Exclusion	23 SF
Adaptable Unit Exclusion (10d/unit)	- SF
FSR Area	360 SF

Project Area Summary	
Cross Bldg Area	49,362 SF
Residential Units/Corridor	48,296 SF
Amenity Exclusion	1,076 SF
Lobby Exclusion	375 SF
Wall Exclusion	575 SF
Adaptable Unit Exclusion (20d/unit)	340 SF
FSR Area	46,994 SF



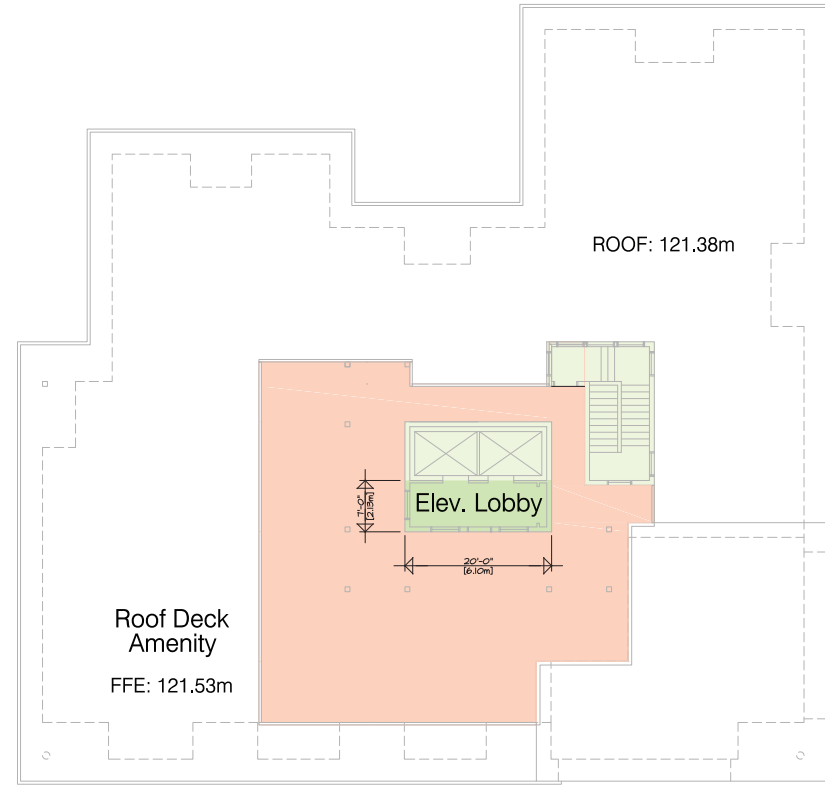
BRICK EXTERIOR FINISH AT TYPICAL WOOD FRAME
EFFECTIVE R-VALUE: 22.38
R-13 INSULATION/OSB SHEATHING
FIBER CEMENT PANEL EXTERIOR SHEATHING/INSULATION ON
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS

FIBER CEMENT PANEL CLADDING AT TYPICAL WOOD FRAME
EFFECTIVE R-VALUE: 22.38
R-13 INSULATION/OSB SHEATHING
FIBER CEMENT PANEL EXTERIOR SHEATHING/INSULATION ON
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS
2x4 WOOD STUDS PER STRUCTURAL SPECIFICATIONS



Copyright, All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service and is the property of the architect and may not be used in any way without the written permission of the architect. Dimensions and conditions shall be as shown on this drawing. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on this drawing.

- Revisions
- Issued For Rezoning, Development Permit January 28, 2021
 - Issued For Advisory Design Panel May 12, 2021
 - Re-issued For Rezoning, Development Permit September 02, 2021
 - Re-issued For Rezoning, Development Permit February 04, 2022
 - Re-issued For Rezoning, Development Permit May 31, 2022



Project
Crystal
Apartments Ltd.
124 W 20th Street
North Vancouver

Roof
Area Overlay
Scale: 1/8" = 1'-0"
May 31, 2022

Roof Area Overlay
SCALE: 1/8" = 1'-0"



A-9.03

MATERIALS KEY

KEY	MATERIAL	KEY	MATERIAL
SURFACING			
	SODDED LAWN		PERMEABLE VEHICULAR PAVERS AQUAPAVE OR APPROVED EQUAL, REFER TO CIVIL FOR BUILD UP DETAILS
	CONCRETE PAVERS HYDRAPRESSED NATURAL GREY, 24"x24"		RIVER ROCK DRAINAGE STRIP
	CIP CONCRETE BROOM FINISHED, 100mm THICK, SAWCUT AS PER PLAN - REFER TO CIVIL FOR OFFSITE INFO		CONCRETE PAVERS HYDRAPRESSED NATURAL GREY, 24"x24"
	CONCRETE ENTRY PAVERS 4"x8" STANDARD CONCRETE PAVERS, CHARCOAL GREY, RUNNING BOND PATTERN		ARTIFICIAL TURF *PAW PRO* SUPPLIED BY PRECISION GREENS, AT DOG-RUN AREA
HARDSCAPE		FURNISHING	
	CIP CONCRETE WALLS/CURBS *REFER TO PLAN FOR TW *REFER TO ARCH FOR DETAILS		ADVANTAGE HI-LO BIKE RACK * 6 STALLS, POWDER COAT BLACK
	CIP CONCRETE STEPS *REFER TO PLAN FOR TOP & BOTTOM OF STEP GRADES		POWDER COATED METAL PLANTER *55" x15" x24" - GROUND LEVEL *30"x30" x42" - ROOF LEVEL *TAPERED, VARIED HEIGHT/SIZE
	BRICK/STONE FACE ARCHITECTURAL WALL *REFER TO PLAN FOR TW *REFER TO ARCH FOR DETAILS *TO MATCH ARCH MATERIAL PALETTE		SUN LOUNGERS
	METAL FENCING & GATE *BLACK ALUMINUM PICKET		PICNIC TABLE *VICTOR STANLEY, PT-2, UMBRELLA OPTION - OR APPROVED EQUAL
	METAL FENCE - SOLID *HEIGHT VARIES - REFER TO PLAN NOTES, SOLID PANELS FOR PRIVACY		TABLE & CHAIRS *DUO CAFE LINE, BROUGHAM INTERIORS - OR APPROVED EQUAL
LIGHTING			
	BOLLARD LIGHTING	LOUNGE FURNISHING *KNOT LOUNGE CHAIR, BROUGHAM INTERIORS - OR APPROVED EQUAL	
	RECESSED STEP LIGHTING		

GRADING KEY

	FINISHED GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING GRADE
	SPOT ELEVATION
	STAIR RUN
	SLOPE (DOWN) DIRECTION

CNV IRRIGATION NOTES

IRRIGATION STANDARDS FOR OFFSITE DEVELOPMENTS REQUIREMENTS
All development applicants are to provide an automatic irrigation system to establish and maintain all off-site vegetation on the City boulevard. Maintenance of this irrigation system and all vegetation will be the responsibility of the Strata - except for maintenance of street trees (pruning, mulching, fertilizing, pest management, etc.). The Strata must maintain a supply of water to all vegetation in the boulevard to ensure that it remains healthy and that the permanent watering point is never reached. This means that during times of drought or intense heat, the system may need to be adjusted by the Strata to compensate. All work must be performed by a Certified Irrigation Technician.

The automatic irrigation system is to be designed by a Certified Irrigation Designer. A full set of irrigation plans and details are to be provided as part of a Building Permit submission.

SCOPE OF WORK
Provide the following components:

- Water Connection to the Strata's on-site irrigation system - Strata must maintain constant volume and pressure
- Isolation & Blow out Point for winterization - to be installed within a meter box
- Control System
 - If less than 6 zones are required, use of a battery-operated control box is acceptable
 - If more than 6 zones are required, the Control box must be hard-wired and located in a stand-alone kiosk
- Provide separate zones for each vegetation type
- Lawn, trees, planting beds, rain gardens
- Irrigation type to match vegetation types
 - Pop-up Heads for Lawn and Rain Gardens
 - Drip for Planting Beds
 - Root Watering System for Street Trees (2 per tree)
- Placement of all Control & Valve Boxes &/or Kiosks
 - Set boxes within lawn areas for easy access
 - Confirm proposed location of any kiosk
- Irrigation Enclosure Box
 - Please note that CNV requires DFW Heavy Duty Polymer Rectangular Meter Box or approved equal (Product number shown in table on page 2) instead of the valve box specified in IABC. All valve boxes shall be in new condition.
- Refer to IABC (Irrigation Industry Association of BC) irrigation standards for installation specifications.

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
	1	<i>Acer palmatum</i> 'Bihou'	Bihou Japanese Maple	5cm cal. Min 15G pot
	4	<i>Acer palmatum</i> 'Scolopendrifolium'	Fingerleaf Japanese Maple	5cm cal. Min 15G pot
	11	<i>Acer sylvatica</i> 'Dawycck Gold'	Dawycck Gold Beech	6cm cal. B&B
	5	<i>Magnolia grandiflora</i> 'Little Gem' (Container - Root)	Dwarf Evergreen Magnolia	10-15G Pot
	5	<i>Pinus thuenbergii</i> 'Thunderhead' (Container - Root)	Thunderhead Japanese Black Pine	10-15G Pot
	1	<i>Prunus sargentii</i> 'Kwanzan'	Kwanzan Flowering Cherry	6cm cal. B&B
Street Trees				
	3	<i>Acer x freemanii</i> 'Jeffersred'	Jeffersred Freeman Maple	7cm cal B&B, 2m ht. Std
	1	<i>Pinus nigra</i>	Austrian Pine	3m HT
	1	<i>Quercus bicolor</i> 'American Dream'	American Dream Oak	7cm cal B&B, 2m ht. Std
	2	<i>Taxodium ascendans</i> 'Caroline Malone'	Green Feather Pond Cypress	2.5m ht std
FERNS & SHRUBS				
AN	8	<i>Athyrium niponicum</i>	Japanese Painted Fern	#2 pot, 18" o.c.
az	31	<i>Azalea</i> 'Hino White'	Hino White Azalea	#3 pot, 18" o.c.
AZ	18	<i>Azalea</i> 'Hino Pink'	Hino Pink Azalea	#3 pot, 18" o.c.
Bx	67	<i>Buxus micro</i> , Green Beauty	Green Beauty Boxwood	#2 pot, 18" o.c.
Ct	15	<i>Choisya ternata</i>	Mexican Mock Orange	#3 pot, 24" o.c.
Pm	50	<i>Polystichum munium</i>	Western Sword Fern	#2 pot, 24" o.c.
PAN	5	<i>Picea abies nidiformis</i>	Nest Spruce	#5 pot, 36" o.c.
RN	22	<i>Rosa nutkana</i>	Nootka Rose	#5 pot, 36" o.c.
Sh	62	<i>Sarcococca hookeriana humilis</i>	Dwarf Sweet Box	#2 pot, 18" o.c.
Sj	14	<i>Skimmia japonica</i> 'rubella'	Japanese Skimmia	#3 pot, 18" o.c.
SP	15	<i>Spiraea japonica</i> 'Gold Flame'	Goldflame Spiraea	#3 pot, 24" o.c.
Vd	23	<i>Viburnum davidii</i>	David's Viburnum	#2 pot, 18" o.c.
⊙	171	<i>Thuga occidentalis</i> 'smaragd'	Cedar Hedge	4.5' ht, 18" o.c.
PERENNIALS & GRASSES				
a	108	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#1 pot, 15" o.c.
cv	103	<i>Calluna vulgaris</i> 'Gold Haze'	Gold Haze Erica	#1 pot, 12" o.c.
cm	18	<i>Carex morrowii</i> 'Variegata'	Japanese Sedge	#1 pot, 12" o.c.
f	24	<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue	#1 pot, 12" o.c.
ha	25	<i>Heuchera</i> 'Amberwaves'	Amberwaves Coral Bells	#1 pot, 12" o.c.
hg	38	<i>Heuchera</i> 'Green Spice'	Green Spice Coral Bells	#1 pot, 12" o.c.
li	67	<i>Liriope muscari</i> 'Big Blue'	Lily Turf	#2 pot, 20" o.c.
Ms	15	<i>Miscanthus sinensis</i> 'Gracillimus'	Japanese Silvergrass	#3 pot, 20" o.c.
pt	184	<i>Pachysandra terminalis</i>	Japanese spurge	#1 pot, 12" o.c.

GENERAL NOTES

Item	Brand/Make/Model	Comments/Alternates
Valves	Reinforced PE8 or PIGA	PIGA to be used when there is a need to apply the valve from the bottom of the pipe.
Rain Gauge / Sensor	Reinforced	
Controls	Reinforced T-Box (Battery operated)	Standardly T-Box to be used when Hardwired. Aquant is to be used for DC timing schedule
Back Flow Preventer	Watts	
Pressure Reducing Valve	Swire	
Flow Sensor	TRIS 2000 (2000)	
Quick Couplers	Two-20, 30, 100/15	
Shut-Off	Reinforced	For Planting Beds
Valve Boxes	DFW - 200/100/100 (2-10-100) METER BOX with LED	
Rotor Heads	Two 640	For Sports Fields
Rotor Heads	Reinforced PIPERLINE 800, 800A, 800B, 800C, 800D, 800E, 800F, 800G, 800H, 800I, 800J, 800K, 800L, 800M, 800N, 800O, 800P, 800Q, 800R, 800S, 800T, 800U, 800V, 800W, 800X, 800Y, 800Z	For Lawn Areas in Parks
Rotor Heads	Reinforced 1800 series	For Planting Beds & Rain Gardens (Reinforced Propagator Bins)
Root Watering System	Reinforced 1800S-1402 (200 per tree - made up approx. 90 litres of root feed)	For Street Trees
Wire (Conventional)	14 gauge white wire	Multi-Strand
Wire (Two wire system)	14 gauge wire	All systems with potential to expand must use the Two-Wire system
PIG Pipe	Class 200 HDPE/CSA	
Quick Printer	IP68 on Cable	Temp print system to be used

DRAWING LIST

L0.0	COVERSHEET
L1.1	GROUND: HARDSCAPE
L1.2	GROUND: PLANTING
L1.3	ROOF: LANDSCAPE PLAN
L2.1	LANDSCAPE SECTIONS
L2.2	LANDSCAPE SECTIONS
L2.3	LANDSCAPE DETAILS
L2.4	LANDSCAPE DETAILS
T1.0	TREE MANAGEMENT PLAN

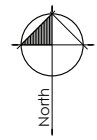
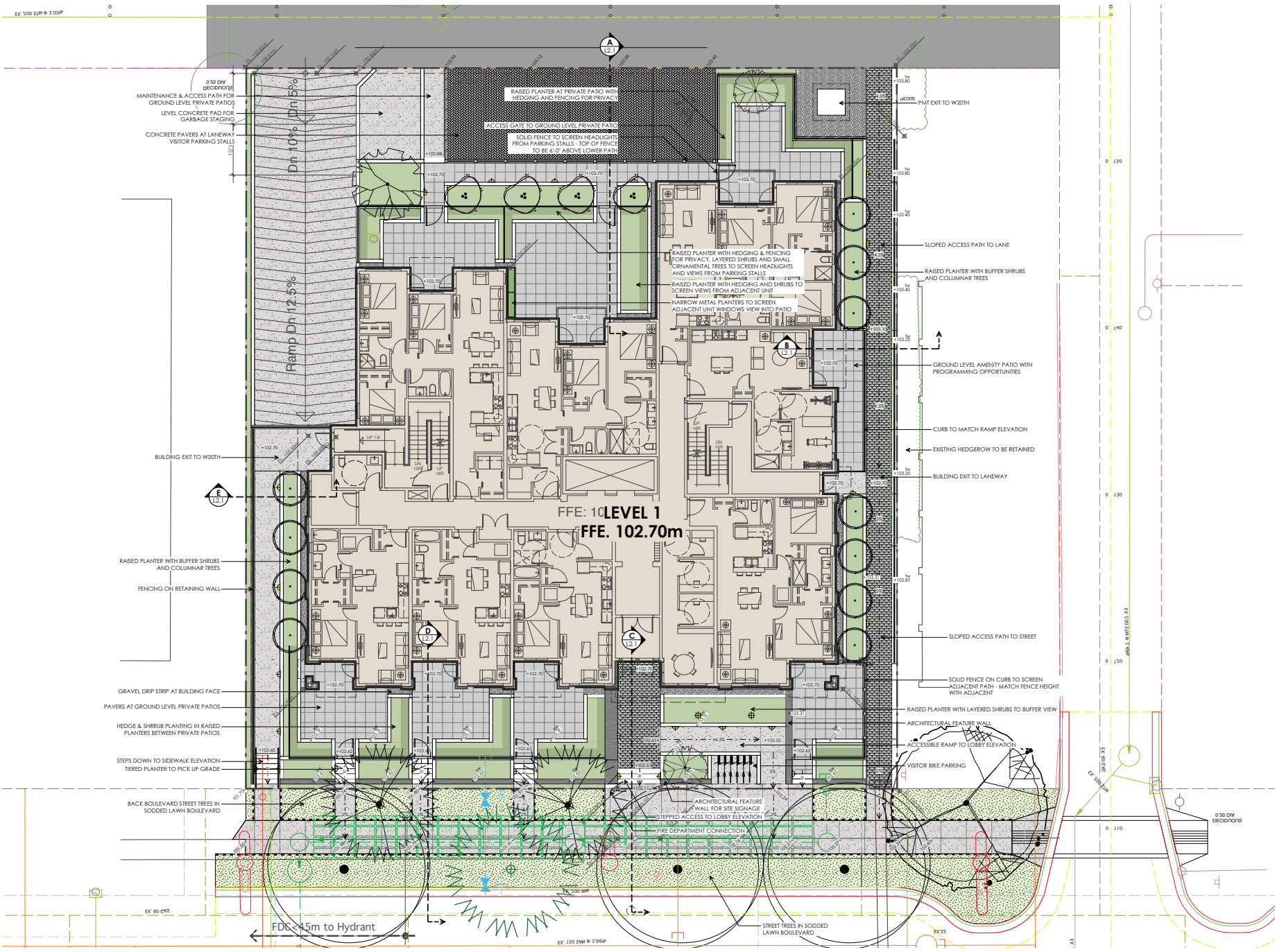
5	MAY 19-22	RE-ISSUED FOR RESPONSE TO R2
4	FEB 4-20	RE-ISSUED FOR RESPONSE TO R2
3	AUG 24-21	ISSUED FOR RESPONSE TO R2
2	MAY 12-21	ISSUED FOR ADP
1	JAN 26-21	ISSUED FOR RZ/DP
no.	date:	Item:
Revisions:		

Durante Kresak Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1H5
T: 604 684 4611
F: 604 684 0577
www.dk.bc.ca

Project:	CRYSTAL
	124 W. 20th
	North Vancouver, BC

Drawn by:	AG
Checked by:	AG
Date:	JANUARY 2021
Scale:	1/8" = 1'-0"
Drawing Title:	COVERSHEET

Project No.:	20065
Sheet No.:	L0.0



- 5 MAY 19-22 RE-ISSUED FOR RESPONSE TO R2
 - 4 FEB 4-20 RE-ISSUED FOR RESPONSE TO R2
 - 3 AUG 24-21 ISSUED FOR RESPONSE TO R2
 - 2 MAY 12-21 ISSUED FOR ADP
 - 1 JAN 26-21 ISSUED FOR RZ/DP
- no.: | date: | item:
- Revisions:



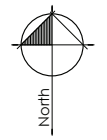
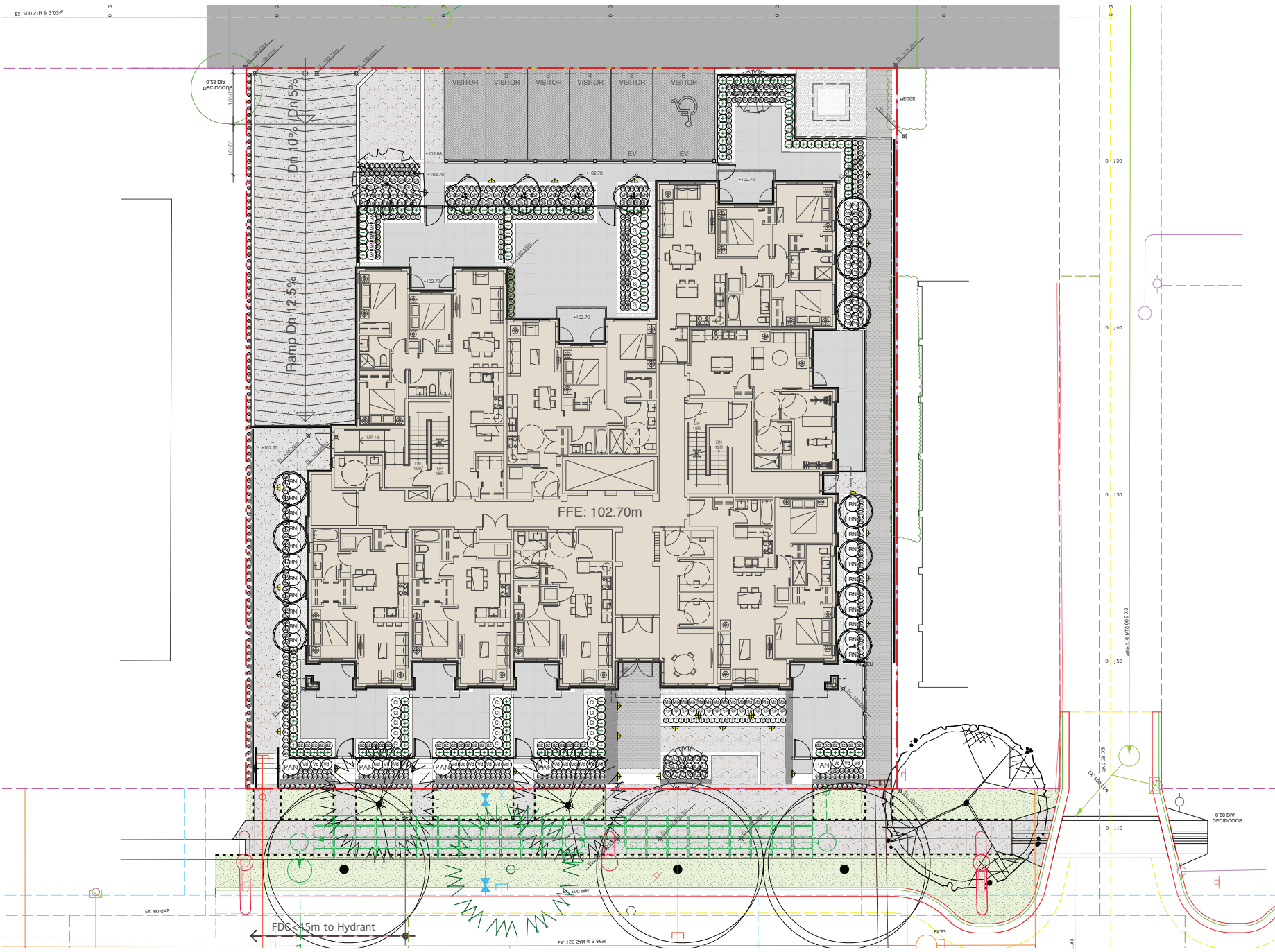
Project:
CRYSTAL
 124 W. 20th
 North Vancouver, BC

Drawn by: AG
 Checked by: AG
 Date: JANUARY 2021
 Scale: 1/8" = 1'-0"
 Drawing Title:

**GROUND LEVEL:
 MATERIAL & GRADING**

Project No.:
 20065
 Sheet No.:

L1.1



5	MAY 19-22	RE-ISSUED FOR RESPONSE TO R2
4	FEB 4-20	RE-ISSUED FOR RESPONSE TO R2
3	AUG 24-21	ISSUED FOR RESPONSE TO R2
2	MAY 12-21	ISSUED FOR ADP
1	JAN 26-21	ISSUED FOR R2/DP
no.:	date:	item:
Revisions:		


 Durante Kresuk Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1H5
 T: 604 684 4611
 F: 604 684 0577
 www.dk.bc.ca

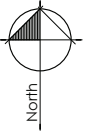
Project:
CRYSTAL
124 W. 20th
 North Vancouver, BC

Drawn by: AG
 Checked by: AG
 Date: JANUARY 2021
 Scale: 1/8" = 1'-0"

Drawing Title:
**GROUND LEVEL:
 PLANTING PLAN**

Project No.:
20065
 Sheet No.:

L1.2



5	MAY 19-22	RE-ISSUED FOR RESPONSE TO R2
4	FEB 4-20	RE-ISSUED FOR RESPONSE TO R2
3	AUG 24-21	ISSUED FOR RESPONSE TO R2
2	MAY 12-21	ISSUED FOR ADP
1	JAN 26-21	ISSUED FOR R2/DP
no.:	date:	item:

Revisions:



Project:

CRYSTAL
124 W. 20th
North Vancouver, BC

Drawn by: AG

Checked by: AG

Date: JANUARY 2021

Scale: 1/8" = 1'-0"

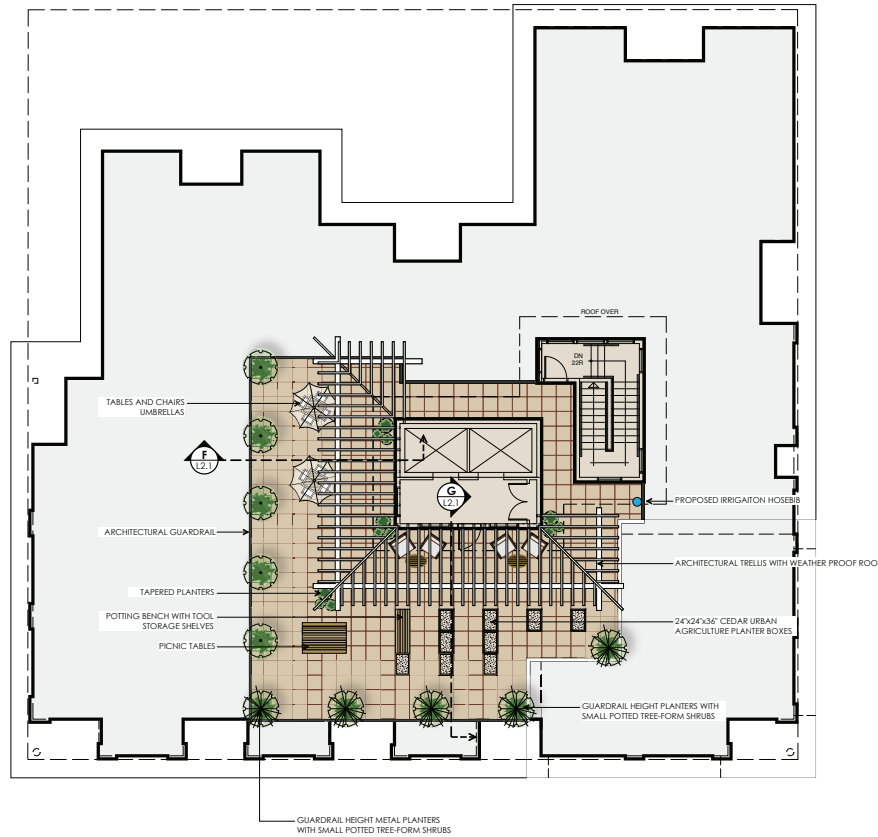
Drawing Title:

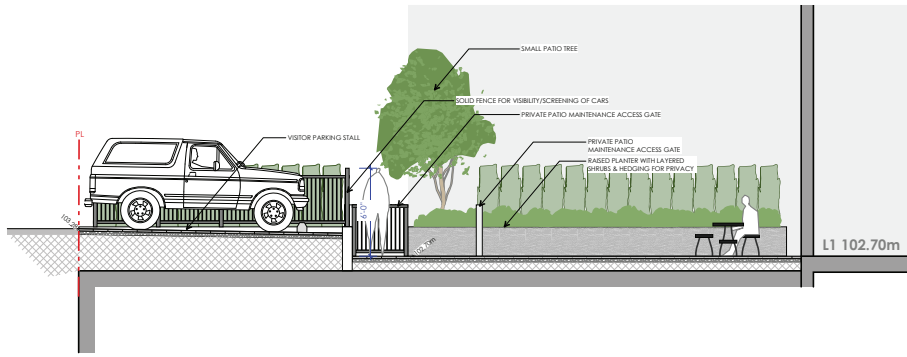
**ROOF LEVEL:
LANDSCAPE PLAN**

Project No.:
20065

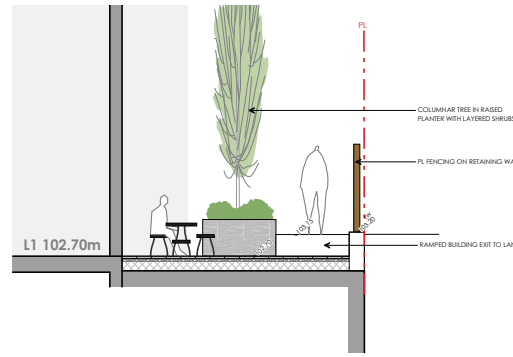
Sheet No.:

L1.3

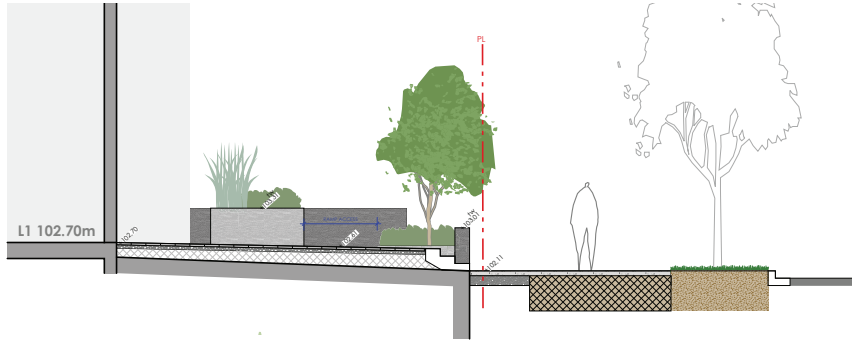




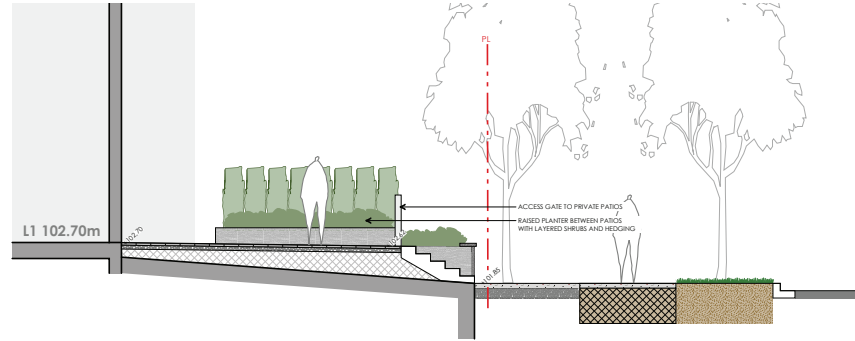
SECTION A: PRIVATE PATIO @ NORTH PL
SCALE 1/4" = 1'-0"



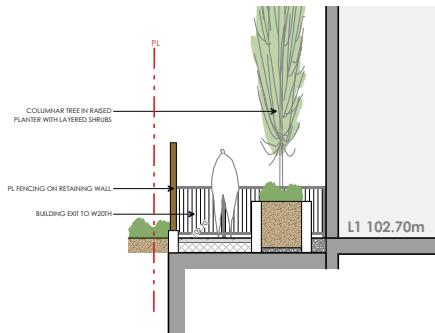
SECTION B: AMENITY PATIO & BLDG EXIT AT EAST PL
SCALE 1/4" = 1'-0"



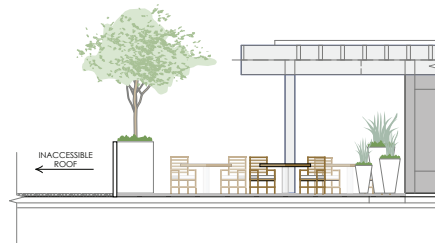
SECTION C: LOBBY ENTRY ON W20TH
SCALE 1/4" = 1'-0"



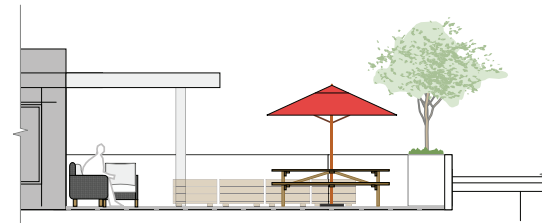
SECTION D: PRIVATE GROUND LEVEL PATIO AT W20TH
SCALE 1/4" = 1'-0"



SECTION E: AMENITY PATIO & BLDG EXIT AT EAST PL
SCALE 1/4" = 1'-0"



SECTION F: ROOF TOP AMENITY PATIO - WEST
SCALE 1/4" = 1'-0"



SECTION G: ROOF TOP AMENITY PATIO - SOUTH
SCALE 1/4" = 1'-0"

5	MAY 19-22	RE-ISSUED FOR RESPONSE TO R2
4	FEB 4-22	RE-ISSUED FOR RESPONSE TO R2
3	AUG 28-21	ISSUED FOR RESPONSE TO R2
2	MAY 12-21	ISSUED FOR ADP
1	JAN 26-21	ISSUED FOR R2/DP
no.:	date:	item:

Revisions:

dk Durante Kresak Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1H5
T: 604 684 4611
F: 604 684 0577
www.dk.bc.ca

Project:
CRYSTAL
124 W. 20th
North Vancouver, BC

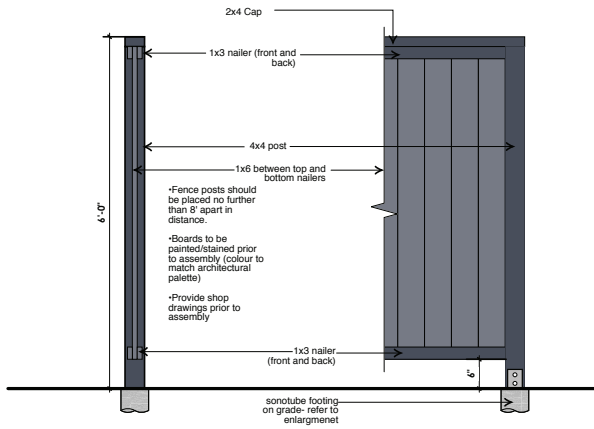
Drawn by:	AG
Checked by:	PK
Date:	JANUARY 2021
Scale:	AS SHOWN

Drawing Title:
LANDSCAPE SECTIONS

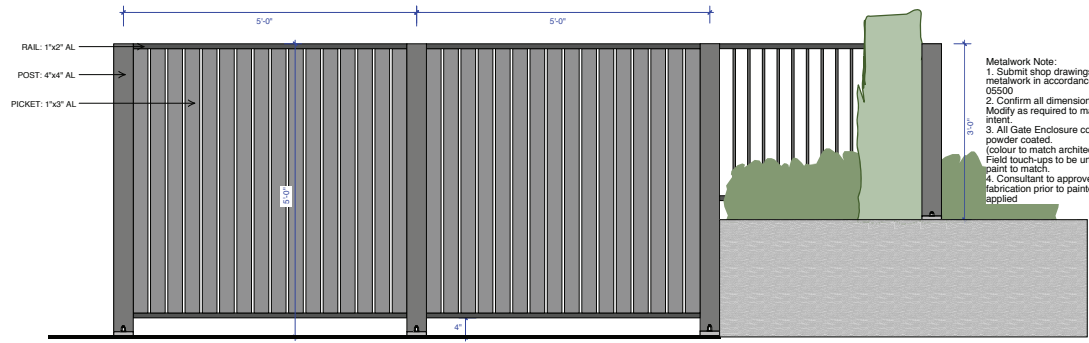
Project No.:
20065

Sheet No.:

L2.1

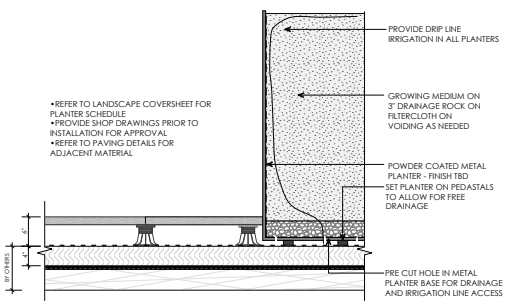


LD-12 GROUND LEVEL PROPERTY LINE - PRIVACY FENCE
Scale: 1" = 1'-0"

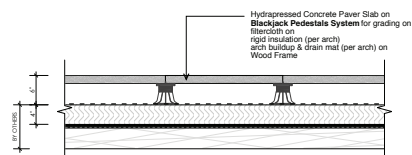


LD-13 METAL PRIVACY SCREEN
Scale: 1" = 1'-0"

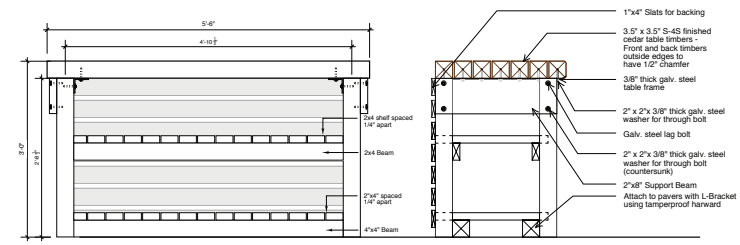
Metalwork Note:
 1. Submit shop drawings for all metalwork in accordance with Section 05500
 2. Confirm all dimensions on site. Modify as required to maintain design intent.
 3. All Gate Enclosure components to be powder coated. (colour to match architectural palette). Field touch-ups to be uniform, smooth paint to match.
 4. Consultant to approve all panels at fabrication prior to painted finish being applied.



LD-14 UNIT CONCRETE PAVERS ON WOOD FRAME TRANSITION TO METAL PLANTER
Scale: 1" = 1'-0"



LD-15 UNIT CONCRETE PAVERS ON WOOD FRAME
Scale: 1" = 1'-0"



LD-16 WOOD POTTING BENCH WITH TOOL STORAGE
Scale: 1" = 1'-0"

no.	date:	item:
5	MAY 19-22	RE-ISSUED FOR RESPONSE TO R2
4	FEB 4-22	RE-ISSUED FOR RESPONSE TO R2
3	AUG 26-21	ISSUED FOR RESPONSE TO R2
2	MAY 12-21	ISSUED FOR ADP
1	JAN 26-21	ISSUED FOR R2/DP

Durante Kresak Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1H5
 T: 604 684 4611
 F: 604 684 0577
 www.dk.bc.ca

Project:
CRYSTAL
 124 W. 20th
 North Vancouver, BC

Drawn by: AG
 Checked by: PK
 Date: JANUARY 2021
 Scale: 1/8" = 1'-0"
 Drawing Title:

LANDSCAPE DETAILS

Project No.:
 20065
 Sheet No.:

L2.3