



McKIBBIN-McLARTY RENOVATION / ADDITION

1253 Sutherland Ave. North Vancouver, BC

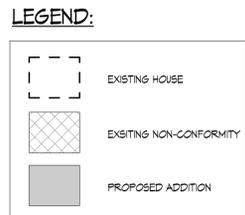
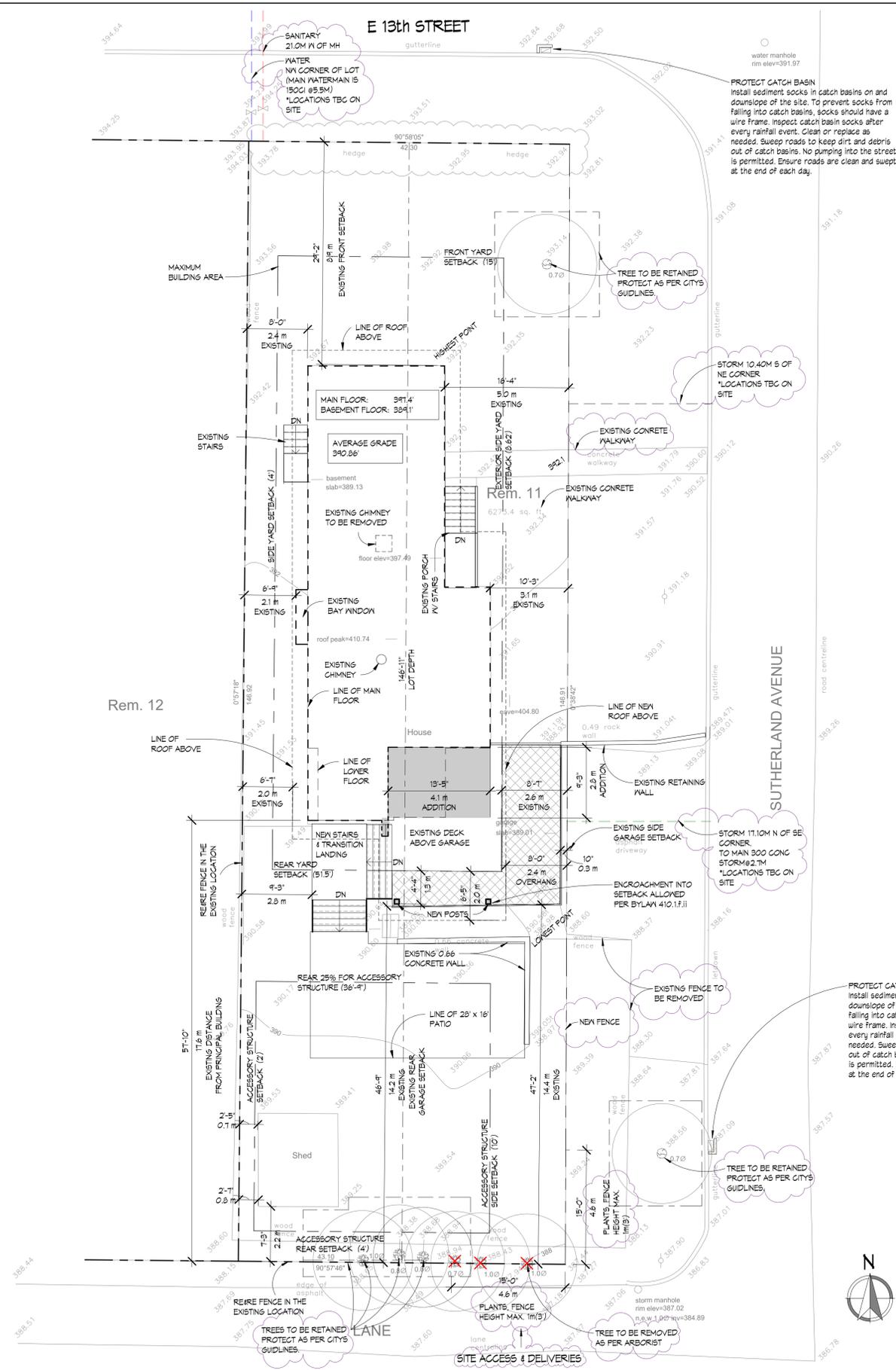
1.03.2023

**SYN
THE
SIS**
DESIGN

synthesis design inc.
256 east 1st street
north vancouver, bc
canada v7l 1b3
tel. (604) 960-2087
www.synthesdesign.ca

SITE PLAN

1/8" = 1'-0"



SHAPING AND SITING ANALYSIS - RS-1 ZONING

LOT ADDRESS: 1253 Sutherland Ave, North Vancouver
 LOT AREA: 582.8 m² (6,273.4 sq.ft.)

PRINCIPAL BUILDING	ALLOWED	EXISTING	PROPOSED	CONFORMS
MAIN FLOOR AREA		105.35 m ² (1,134 sqft)	11.6 m ² (125 sqft)	
LOWER FLOOR AREA (Including garage)		148.9 m ² (1,582 sqft)		
FLOOR AREA EXCLUSIONS (Basement built prior to 2019) *		-110.5 m ² (-1190 sqft)		
TOTAL GROSS FLOOR AREA *	267.7 m ² (2,882 sqft)	141.77 m ² (1,526 sqft)	153.3 m ² (1,651 sqft)	Y
LOT COVERAGE (Lot Area x 0.3)	174.8 m ² (1,882 sqft)	151.8 m ² (1,634 sqft)	151.8 m ² (1,634 sqft)	Y
PRINCIPAL BUILDING HEIGHT	33.1	20.7	20.7	Y
PRINCIPAL BUILDING SETBACKS				
Front Lot Line	4.6m (15')	8.9m (29.2')	8.9m (29.2')	Y
Rear Lot Line **	15.69m (51.5')	14.2m (46.75')	14.2m (46.75')	Y
Left (east) Side Lot Line (Exterior)***	2.62m (8.6')	0.26m (0.85')	0.26m (0.85')	ENC
Right (west) Side Lot Line (Interior)	1.2m (4')	2.4m (8.0')	2.4m (8.0')	Y
COACH HOUSE				
FLOOR AREA ****	58.27 m ² (627.3 sqft)	-	-	N/A
HEIGHT *****	4.6m (15')	-	-	N/A
ACCESSORY BUILDING SETBACK				
Shall be sited behind the front face of the Principal Building, and when exceeding 107.6 sq. ft. in area, shall be sited in the rear 25% of the lot depth				
Rear Lot Line	1.2m (4')	2.2m (7.23')	EXISTING	Y
Exterior Left Side Lot Line	3.05m (10')	9.1m (29.92')	EXISTING	Y
From Principal Building	3.05m (10')	8.29m (27.2')	EXISTING	Y
Right Side Lot Line (Interior)	0.6m (2')	2.4m (8.0')	EXISTING	Y
From intersection of the Lot lines along 2 streets/lanes/street & lane	4.6m (15')			Y
AVERAGE GRADE	HIGHEST 392.73'	LOWEST 388.98'		AVERAGE 390.86'

* 0.5 x lot area or 0.3 x lot area + 1000, whichever is less. 0.5 including Coach House. Basement was built prior to 2019 so it will be excluded from GFA.
 ** 26.2' or 0.35 x lot depth, whichever is greater. 0.4 including Coach House
 *** 10' or 0.2 x lot width, whichever is less.
 **** 600 or lot area x 0.1, whichever is less.
 ***** 12' from building grade or 15' (roof slope exceeds a 4 in 12 pitch).

EROSION AND SEDIMENT REQUIREMENTS

- No water leaving the site shall meet or exceed the criteria for "Excessive Suspended Solids Discharge" as described in the Stream and Drainage System Protection Bylaw, No. T541, 2003.
- Install a sediment trap or tank to treat sediment-laden water prior to discharging offsite. Check sediment trap or tank regularly and remove built-up sediment as needed.
- Collect and dispose of concrete or cement wash-water appropriately or take off-site for disposal. Concrete wash-water must not be discharged into the storm drainage system. It is toxic and can alter the pH of the surrounding environment and result in the death of aquatic life.

TREE PROTECTION

- Ensure trees that will remain on site to be protected as per the city's guidelines.
- Fencing to be 1.2m tall above grade.
- Fencing to be 50mmx100mm wooden frame with cross braces to dimensions. Ensure posts are 450mm min. in to ground.
- Completed with orange plastic snow fencing securely fastened to wood frame.
- Tree protection signage on fencing:

TREE PROTECTION AREA
 Do not remove or relocate fencing during construction
 No material or equipment to be stored within protected area.

CONSTRUCTION

- Area to be affected by construction is mostly interior.
- Exterior area affected by construction will take place on the deck, above the garage. In addition a patio and landscaping at the rear yard only.
- Site Access to be allocated through the lane.
- Materials to be kept on site. Any deliveries should be through the rear lane.
- Contractor must park on site.

LEGAL DESCRIPTION

TOPOGRAPHIC SURVEY PLAN OF:
 PLAN OF LOT 11, EXCEPT THE SOUTH 10 FEET NOW LANE,
 BLOCK 74, DISTRICT LOT 950, PLAN 1904
 CIVIC ADDRESS:
 1253 Sutherland Ave, North Vancouver
 P.I.D. 005-960-951

FOR ADDITIONAL SITING INFORMATION REFER TO SURVEY PRODUCED BY:

PAPOVE
 Professional Land Survey Inc.
 202-1120 Westwood St, Coquitlam, BC
 tel: (604)464-5199
 fax: (604)464-6509

JOB DIRECTORY:
 FB: 7860 P: - M: -
 MUNICIPALITY: CNV

REVISIONS	#	BY
City Eng. Comments	2	PGS
01.06.2023		

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 All dimensions shall be verified on site prior to commencement of work.

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McKIBBIN-McLARTY RENOVATION / ADDITION
 1253 Sutherland Ave.
 North Vancouver, BC

Drawing Title
SITE PLAN

Date 1.03.2023
 Scale 1/8" = 1'-0"
 Drawn PGS
 Job No. 22011
 Sheet **A-1**
 Of 10 Sheets

2023-02-06
 9:15:24 AM

OUTLINE SPECIFICATIONS

Div. 0 Contract Documents

Contract Documents

The Contract Documents refer to:

- The Contract between the Owner and General Contractor.
-Construction Documents (all drawings, specifications and surveys).
-Consultant's Drawings and Reports.
-SYNTHESIS DESIGN, INC. will not be responsible for any costs incurred by Owner or Contractor through errors or omissions in the Contract Documents after building permit is issued.
-SYNTHESIS DESIGN, INC. will not be responsible for any alterations or changes during the construction process that are not documented in the Contract Documents.
-All Contract Documents assume existing structures are built to current Municipal and British Columbia Building Code (BCBC) standards, unless otherwise noted. Any existing deficiencies or deteriorated areas are not the responsibility of SYNTHESIS DESIGN, INC., but will be addressed upon their discovery, at the Owners expense.

Div. 1 General Requirements

Summary of Work

- The General Contractor, herein referred to as the Contractor, shall provide all labour, products, plants, equipment and materials required to complete the project as described in the Contract Documents.
-The Contractor is to be responsible for all taxes, licenses, bonds, insurance for fire and liability, WCB coverage and all municipal and engineering inspections.
-The building permit shall be posted in a prominent location and the municipally approved drawings protected from the elements and on site at all times.
-The Owner retains the right of access and occupancy during construction and / or prior to final completion but will maintain the Contractor's ability to execute the prescribed work.
-Care must be taken to ensure safety of the public and adjoining properties at all times.

Coordination and Supervision

- PAPOVE PROFESSIONAL LAND SURVEYING, INC. (604-464-5199) will be retained as the Surveyors, unless otherwise noted.
-FNG STRUCTURAL ENGINEERING (604) 902-0311 will be retained as the Structural Engineers, unless otherwise noted.
-All construction, materials and workmanship shall conform to current WCB & BCBC Standards.
-The Contractor shall take adequate and reasonable precautions to protect the public from hazards and dangers arising from all operations.
-The Contractor will ensure that all trades observe all local construction and noise regulations; ensure also that all preceding or adjacent work enables continuation or subsequent trade work can be undertaken properly.
-The Contractor shall distribute all Consultants' reports, drawings, schedules, etc., upon receipt.
-The Contractor shall ensure fulfilment of all requirements within the Consultants' reports, drawings, schedules, etc., and arrange appropriate municipal inspections.

Field Engineering

- The Contractor will verify all grades and property lines as established by the Owner and report any errors or inconsistencies to SYNTHESIS DESIGN, INC. before commencing work.
-The Contractor is to check and verify all dimensions and conditions on the drawings and job site prior to construction and report any discrepancies to SYNTHESIS DESIGN, INC. - written dimensions have precedence over scaled dimensions.

Quality Control

- The Contractor shall arrange all inspections, municipal and provincial, obtain form work and foundation surveys, and advise the Engineers of construction progress, specifically enabling them to view form work 24 hours before pouring concrete.
-The Contractor shall coordinate all storm, sanitary and water main work with the Municipal Works Department, as required by the Municipal Engineering Department.
-The Contractor shall issue a one-year warranty against defective materials and workmanship plus an additional five years against major structural defects.
-All materials, species, grades, colours, and finishes are to be approved by SYNTHESIS DESIGN, INC. and / or Owner, with samples to be provided on request, prior to ordering.

Construction Facilities & Temporary Controls

- The Contractor shall provide municipal water and sewer connections as required by the Municipality, as well as temporary water, power, light, heat, telephone, sanitary facilities and first aid as may be required during construction.

Material and Equipment

- The Contractor shall protect all materials, executed work and the site from damage by the elements, the public or any other source and shall repair or replace an item or work so damaged.

Contract Close-Out Procedures

- The Contractor shall maintain a continuously clean work site and provide a final professional clean up of glass, painted surfaces, floors and fixtures. All stains are to be removed and scratched or broken glass replaced.
-All ducts, furnaces and air exchange systems to be professionally cleaned.
-Deficiencies and defects are to be corrected within 30 days of Substantial Performance. Those items incomplete will be undertaken by the Owner with costs deducted from the final payment.
-All bid and construction sets of contract documents are to be returned to SYNTHESIS DESIGN, INC. at completion of work.

Div. 2 Sitework

Subsurface Investigation

- Standard penetration tests such as drilling and subsurface investigations are the responsibility of the Contractor and are to be carried out by trades experienced in such work.

Demolition

- The Contractor shall remove and dispose of all materials pertaining to the work, including a masonry chimney.
-The Contractor shall remove and store on site any items as indicated by the Owner.
-The Contractor shall ensure that the alteration or removal of existing structures and services will not alter or endanger those to remain which may require shoring, underpinning and / or bracing.
-The job site must be clean, and any debris left on site must be placed in locations (as approved by the Owner) to maintain safe conditions for the Owners, Contractor, and Sub Trades.

Site Preparation

- Site preparation, tree cutting, excavation, trenching for services, backfill and rough grading are the responsibility of the Contractor and are to be carried out by trades experienced in such work and performed in a manner that avoids unnecessary loss, damage, or disturbance to the site proper.
-Materials shall be handled and stored according to local regulations.

De-watering (if applicable)

- The Contractor will provide trenches, piping and holding ponds necessary to control site drainage during construction.
-The Contractor shall provide concrete sump(s) as required by the Municipal Engineering Department and / or Geotechnical Engineer to deal with existing and added perimeter drainage and rainwater run off.
-The Contractor shall provide a rock pit as required by the Municipal Engineering Department and / or Geotechnical Engineer to deal with existing and added perimeter drainage and rainwater run off.

Earthwork

- Contractor to follow municipal regulations for dealing with sediment and erosion (refer to sediment and erosion plan where applicable).
-Excavation for footings is to be at least 18" below grade to solid bearing and remain so until the concrete is in place.
-Unexpected soil conditions are to be reported to the Engineer before start of form work.
-Excavate to required levels for footings and finish grades as required, making allowance for perimeter drains, required form work, wall coatings and thickness of base and surfacing material specified.
-Footing base shall be firm, clean and free of mud and water; rock bases to be washed and dirt free with grouted pins as per Engineer and / or BCBC.
-Excavate to required dimension and pitch of any trenches and pits for all mechanical, plumbing, sewage, electrical, communication and gas services.
-No backfilling shall be done until all form work has been removed, walls coated, and drain lines viewed by the Engineer, and approved by the Municipal Inspector.
-Backfill against cast-in-place concrete only after 14 days with joists in place and coatings dry.
-Backfill material shall be frost free and contain no discarded building or organic material which might deteriorate.
-Provide and place any additional subsoil, fill or gravel required to bring existing grades to finish grades indicated.
-Exposed wood beams shall be of acceptable low moisture content, applied in 1' (300 mm) layers, and consolidated.
-Provide continuous positive slope around the entire building.

Paving and Surfacing

- Sub grade under paved areas is to be well drained and compacted to 95% standard proctor density.
-Sand base courses to be clean and free of deleterious material and compacted.
-Broom finish surfaces are to be poured as 100 mm (4") reinforced slab or 50 mm (2") topping. Use 10 mm (3/8") maximum round washed aggregate and distribute evenly.
Retarding and / or water wash, as required.

Landscaping

- Finished landscaping - including screened topsoil, sod, and plants - are not included in contract.
-All finished landscape work to be coordinated by the Owner following the completion of the job and final grading.
-Existing plants and topsoil are to be stripped from the construction area, stored in an Owner approved protected area.
-All trees and shrubs outside the essential excavation shall be preserved and protected against damage.

Div. 3 Concrete

Form work

- Form work shall be constructed to dimension and profiles shown, properly braced to maintain position and shape during and after pour to prevent leakage of concrete.
-Forms shall be moistened just prior to concrete pour.
-Maximum deflection permitted: 6 mm (1/4") for columns, or as per Engineer.

Concrete Reinforcement

- Reinforcing steel shall comply with CSA specifications for intermediate grade (40) bars. All bars shall be deformed according to ASTM A305.
-All reinforcing steel shall be firmly positioned and secured against displacement, by chairs, spacers and fangers.

Cast-in-place Concrete

- Standard concrete shall be machine mixed from clean and properly graded aggregates, clean water and Portland Cement, and shall have a strength at 28 days of 21 MPa (3000 psi) min. for reinforced concrete, or as per Engineer.
-Concrete shall be deposited, vibrated and compacted so as to prevent honeycombing or segregation.
-Plain and reinforced cast in place concrete for foundations and building structure shall conform to CAN3-A23.1 & A23.3.
-Top of sills to be true and level surface; grouting as required.
-Pod footings are required as per Structural Engineer.
-Notice shall be given prior to the pouring of slabs to allow trades to position their work.
-Lay concrete slabs, reinforced as shown, with necessary expansion and control joints, screed to level surface.
-Thoroughly float before final set, steel trowel to a hard, smooth finish. (Do not dust with cement before troweling).

Concrete Accessories (as per Structural Engineer)

- Embed 1/2" anchor bolts for sills at 1.2M, 4'-0" o.c., unless noted, minimum two bolts per straight plate length.
-Ancor posts to footings to resist uplift, as per the Structural Engineer.
-Other concrete reinforcing, dowels, shoes and connections for columns etc. shall be supplied and installed as detailed.

Concrete Curing

- Ensure that weather conditions will not alter concrete mixture or curing.
-All concrete shall be left in forms for three days and kept moist for seven days.

Div.4 Masonry

Thin Stone Veneer

- All thin stone veneer to be installed as per manufacturer's specifications.
-Provide thin stone veneer as per elevations.
-Thin stone veneer to be applied on existing brick masonry as per manufacturer's specifications, confirm with Owner.
-Provide concrete cap as per elevations and sections.
-Provide wall flashings at all horizontal intersections of differing materials.

Masonry Removals

- Existing utility room chimney to be removed from lower and main floors.

Masonry Flues & Chimneys

- Chimney height must conform to BCBC #9.21.4.4 - A chimney flue shall extend not less than 3'-0" above the highest point at which the chimney comes in contact with the roof, and not less than 2'-0" above the highest roof surface or structure within 10'-0" of the chimney.
-Provide a minimum of 2" clearance between chimney and combustible framing. Refer to BCBC #9.21.5.
-Provide a minimum of 4" clearance between fireplace and combustible framing. Refer to BCBC #9.22.9.
-Masonry fireplace hearths to conform to BCBC #9.22.5.1
-Fireplaces shall have a non-combustible hearth extending not less than 1'-4" in front of the fireplace opening and not less than 8" beyond each side of the fireplace opening except; where the hearth floor is elevated more than 6" above the hearth extension, the width of the hearth extension shall be increased by 2" for an elevation above 6" and not more than 12" and an additional 1" for every 2" in elevation above 1'-0".
-The walls of any chimney or fire pipe shall be constructed to be smoke tight and flame tight.

Div. 5 Metals

Structural Steel

- All nails, spikes, screws, bolts, plates, fasteners, and brackets to be in accordance with BCBC.
-All hangers and saddles to be sized to suit the intended load.
-Shop drawings are to be submitted for all metal work and other specified work upon request of SYNTHESIS DESIGN, INC.
-Structural hardware to be shop primed or hot dipped if in contact with water.
-All point metal work to be coated with rust proof paint or powder coating.
-See Structural Drawings for steel beam sizes and details, if necessary.

Fabricated Metal & Aluminium Roils

- Supply and install 42" high aluminium guardrails c/w tempered glass panels (see drawings for locations).
-Exterior guard rails to be minimum 42" -. Refer to BCBC 9.8.8.3.
-Guard rail protrusions must be greater than 17.75" apart horizontally and vertically to prevent climbing - Refer to BCBC 9.8.8.6(1).

Div. 6 Woods & Plastics

Rough Carpentry

- The Contractor shall provide lumber, plywood, fasteners etc. for framing and coordination of work of other trades.
-Techniques, fastening, blocking, fire stops, bracing and sheathing to BCBC Residential Standards.
-All lumber to be SPF and all sheathing shall be plywood - grades shall conform to BCBC and local codes.
-Supporting wood posts to be 6x6 minimum as per Structural Engineer.
-Exposed wood columns shall have concealed knife blade style post base connectors c/w minimum 1" standoff height above concrete, as per Structural Engineer.
-Exposed wood beams shall be connected to columns with internal metal connectors (Timberlink® by Beere Timber Co, or equivalent), as per Structural Engineer.
-All subfloor sheathing to be 3/4" tongue and groove plywood, glued and screwed to joists.
-Twisted, misaligned or structurally inadequate framing members to be replaced prior to finish as per Engineer.
-Provide cross bridging at maximum of 7'-0" o.c. for roof and floor joists.
-Provide blocking, backing and bracing for doors, stairs, railings, cabinets, wall fittings and attachments.
-Stair handrails to be located between 34" & 38" above the nosing of each tread.
-Sked stairs and stairs 43" in width or greater require two handrails as per BCBC #9.8.7.1.

Vinyl Decking

- Provide min. 30 mil vinyl decking, as per Interior Design specifications.

Glue-Laminated Structural Units

- Provide as per Structural Drawings.

Manufactured Wood Trusses

- Provide as per Truss Manufacturer's drawings (c/w 9" raised heel, as required) confirm slope and heel depth on site.
-Contractor to note placement of new skylights, bulkheads, coffers and peaks prior to ordering trusses.
-Truss layout to be confirmed by SYNTHESIS DESIGN, INC. and Owner prior to ordering.

Finish Carpentry - Refer to Interior Design specifications

- Provide moldings, as specified on Finish Schedule (if applicable).
-All added door and window frames are to be within 1/16" of finish wall to accept casings.
-Installed moldings to be caulked with appropriate coloured, paintable latex caulk and receive two finish coats of semi-gloss latex paint.

Millwork - Refer to Interior Design specifications

- Provide kitchen cabinets, built in units, washroom vanities as indicated on drawings.
-All cabinets to be approved by SYNTHESIS DESIGN, INC. and installed in a professional manner.
-Do not deliver, store, or install finish cabinets or trim until building is fully enclosed, heated, and lockable.
-Coordinate work of kitchen, bathroom and storage cabinets / organizers with related trade.

Counter Tops - Refer to Interior Design specifications

- All counter tops and backsplashes to be approved by SYNTHESIS DESIGN, INC. and installed in a professional manner.

Wood Treatment

- Any lumber likely to come into contact with water shall be pressure treated with approved preservative and bear on rolled foam gasket.
-Protect exposed beams and structural elements from water damage; clean or replace as per Engineer.
-Provide treated studs - c/w 0.5" air space - when furring out concrete walls in Basement.
-Provide treated sleepers when adding sub floors in Basements and crawlspaces.

Railings and Guards

- Railings to be supplied and installed by Optimum Studios Architectural Glasses (604) 321-8321. Contact Scott at scott@optimumstudios.com
-Provide railings / guards for exterior decks - see drawings for details.
-Guard rails to be minimum 42" exterior (where the walking surface served by the guard is more than 6 feet above the finished ground level) & 36" interior.
-Guard rails to be minimum 36" exterior (where the walking surface served by the guard is not more than 6 feet above the finished ground level). Refer to BCBC 9.8.8.3.
-Guard rail protrusions must be greater than 17.75" apart horizontally and vertically to prevent climbing - Refer to BCBC 9.8.8.6(1).

Div. 7 Thermal & Moisture Protection

Waterproofing

- Ceramic / slate tile or equivalent required to bathroom floors.

Damp Proofing

- Provide rolled foam sill gaskets between wood sill plates and concrete sills.

Insulation

- Thermal insulation located and sized as per drawings; use mineral wool batts for roof, walls and floors as per local municipal codes.
-Provide continuous fully caulked 6 mil UV poly vapour barrier around entire building envelope, including below all concrete slabs as per BCBC #9.25.4.
-Provide minimum 1" clearance between top of roof joist and insulation BCBC #9.19.1.2.
-Provide minimum 2.5" clearance between roof sheathing and insulation BCBC #9.19.1.3.

1. Attic Space:

- Uniformly distribute roof ventilation to 1/300 of insulated ceiling area with minimum 50% at top of roof and minimum 50% in soffit vents.
-Attic or roof spaces to receive R-50 insulation.
-Fire separation required for attic spaces exceeding 65' maximum length for a concealed space as per BCBC #9.10.16.1. (6)

2. New Exterior Walls:

- All exterior 2x6 wood framed walls are to receive R-24 insulation.

3. Renovation of Existing Walls:

- If drywall is removed from an existing exterior wall, the wall assembly and insulation may be required to be brought to current building code requirements. Existing 2x4 walls shall be re-framed or furred out to 2x6 with minimum R-24 insulation. Report to SYNTHESIS DESIGN, INC. and / or Owner prior to commencement of the work.

Shingles and Roofing

- Supply and install architectural series fiberglass laminate shingles on roof - match existing.
-Existing roofing material to remain and all new overhangs to match existing conditions, c/w soffits and venting as required.
-All added roofing to be installed over approved roofing underlay, in a professional manner, by an established, licensed, bonded, and insured (including WCB) roofing Contractor.
-Contractor to ensure that roofing contractor will provide Owner with copies of all warranties, including:
1) Manufacturer's Material; 2) Roofing Contractor's Labour, and; 3) Third Party Association Guarantee.

Soffits

- Provide vented, closed, flat soffits, as per drawings.
-Provide vinyl venting soffits strips to run parallel to exterior walls.
-Provide tight knot stain grade 1&g v-groove cedar soffits.
-Soffits to have two coats of oil-based stain.

Cladding and Siding

- Provide tight knot vertical cedar cladding c/w exposure to match existing, as required. See drawings for locations.
-All wood cladding to be pre-primed (4 sides) with one coat primer and installed over 2 layers of approved 30-minute building wrap.
-Be sure to stagger the joints of all added cladding that abut existing cladding and cut all joints @ 45 degrees.
-All horizontal siding corner joints to be mitred (NO CORNER BOARDS).
-Caulk unprotected beams and openings with appropriate coloured latex or silicone.
-Provide two finish coats of exterior paint to cladding following installation and caulking.
-All acrylic stucco cladding to be installed over two layers of approved 30-minute building wrap, c/w expansion joints as required.
-Provide 8" clearance between grade and siding or acrylic stucco.
-Rep & re any wood cladding portion which is rotten or in poor condition, to match existing.

Rain Screen

- Provide approved rain screen assembly for all new cladding applications (see drawings for details). Confirm assemblies with municipal regulations.

Exterior Trim

- Provide pre-primed (4 sides) combed faced spruce 2x8's @ facias.
-Provide pre-painted (4 sides) 3x5 cedar: 2x door and window trims c/w canted sill and aprons to match existing.
-Pre-primed exterior trim to have one finish coat of enamel.

Flashing and Sheet Metal

- Provide continuous flashing: at all edges for wind and watertight installation; over all exterior windows and doors and at all horizontal intersections of differing cladding materials.
-All roof flashings, caps and fittings to match colour of roofing as close as possible.

Roof Specialties and Accessories

- All new gutters are to be c/w screened rainwater leaders, unless noted. Locations to be confirmed by Owner.

Div. 8 Doors, Windows, Glazing & Mirrors

Doors

- Before the door order is placed, the Contractor is to measure on site to confirm whether or any existing or proposed openings require a custom sized door.
-Ensure that every door has 2.5" minimum of framing material around the entire door jamb.
-Install exterior doors to have solid blocking (vertical and horizontal), for two stud spaces, both sides at locking height so that the jambs will resist spreading by force.
-All exterior wood doors to be stain grade solid core c/w weather stripping.
-All interior doors and frames with wood screws providing a minimum 25 mm penetration into wood studs on all exterior swinging doors, and locking passage sets on interior bathroom doors.
-Operable glass wall systems to be supplied by NanaWall Systems, (604) 897-8444. Contact Stewart at stewart@nanawall.com
-Glazing in all added doors to be tempered and double glazed (exterior doors only), as per municipal codes - ensure that tempered glass displays manufacturer's authentications.
-All new exterior doors to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pa as per BCBC #9.7.4.3. (1).
-See 'Door Schedule' on drawings.

Windows

- Contractor is not to order windows until all rough openings are approved by Owner.
-Final style, colour and material of windows are to be approved by Owner.
-All vinyl windows shall be double glazed with double thermal break or as per municipal codes unless noted.
-All windows to be supplied with exterior sills to match existing and pre-painted on both sides with one coat of red oxide, solid core. Owner to approve style.
-Glazing to be float, in windows, with oversized windows to conform to BCBC #9.7.3.2. - provide manufacturer's specifications.
-Install new windows to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pa as per BCBC #9.7.4.3. (1).
-See 'Window Schedule' on drawings.

Glazing & Mirrors - Refer to Interior Design specifications

- All mirrors to be approved by Owner and to be installed by a qualified glazier.
-Glass doors and partitions around showers are to be tempered glass.

Div. 9 Finishes

Gypsum Board

- GWB to walls to be 1/2" (screwed to walls) and installed in a professional manner with a minimum of 3 coats of mud.
-All ceilings to be smooth painted finish, unless otherwise noted.
-5/8" or C.D. 1/2" drywall required to ceiling members at 24" o.c.

Tile - Refer to Interior Design specifications

- All ceramic/slate tiles to be approved by Owner and installed in a professional manner.
-Ceramic/slate tile flooring to be set on minimum 1.25" (3/4"+1/2") 1&g plywood subfloor c/w thin set base, unless noted.
-Ceramic tile tub and shower surrounds to be mounted on 1/2" Dens Shield Tile Backer, or equivalent.

Wood Flooring - Refer to Interior Design specifications

- Refinish all flooring throughout the main floor.
-Supply and install hardwood flooring where floor needs to be patched, match existing. See finish schedule for locations (if applicable).

Painting - Refer to Interior Design specifications

- All interior paint to be BENJAMIN MOORE (or equal) - colours approved by Owner and applied in a professional manner.
-All interior walls to have one primer coat and two finish coats of eggshell latex - provide water-based enamel in Kitchens, Bathrooms and Laundry Rooms.
-All pre-primed interior trims and doors to have two finish coats of semi gloss latex.

Wall Coverings - Refer to Interior Design specifications

- All wall coverings to be approved by SYNTHESIS DESIGN, INC. and installed in a professional manner.

Div. 10 Specialties

Fireplaces and Stoves

- Supply and install gas fireplace c/w thermostat and trim - See drawings for specifications.
-Install gas fireplace and flue to conform to #9.22.8 of NBC and to be installed in accordance with manufacturer's installation instructions and CAN / ULC S 610 standard for factory-built fireplaces.
-Manifest height and width to conform with fireplace unit's installation instructions.
-Maintain minimum 2" clearance between metal flue and combustible framing.
-Provide 1/2" fibre cement board as protection under non-combustible hearth finish.

Storage Shelving

- All shelving as per closet organizer supplier.

Wardrobe and Closet Specialties

- All shelving as per closet organizer supplier.

Div. 11 Equipment

Appliances

- Allow for Owner supplied kitchen appliances (if required).
-Provide required ducting for range hood vents and dryers where necessary.

Div. 12 Furnishings

Bookshelves - Refer to Interior Design specifications

- All bookshelves to be approved by SYNTHESIS DESIGN, INC and installed in a professional manner.

Div. 14 Plumbing

Water Supply & Drainage Waste

- Supply and install copper piping / PEX tubing for water supply as required.
-Supply and install copper water supply piping to Owner supplied Refrigerator in Kitchen.
-Supply and install plastic drainage waste and vent piping as required.
-Install plumbing drops and venting within the walls, ceilings, and designated bulkheads if applicable. If additional bulkheads or dropped ceilings are required for the drops and venting that are not shown on the drawings, please report to SYNTHESIS DESIGN, INC. prior to installation.

Plumbing Fixtures - Refer to Interior Design specifications

- Supply and install fixtures (to be confirmed with Owner). See drawings for locations.

Toilet and Bath Accessories

- Install Owner supplied bathroom accessories including toilet paper holders, soap dish and grab bars, towel rails (minimum 1 per room).

Div. 15 Mechanical (as per Mechanical Contractor)

HVAC

- Replace gas forced air mechanical for: 2 stage electrical high efficiency forced air system.
-Replace gas water heater for: high efficiency electric hot water tank.
-HRV system to be installed as per manufacturer.
-Verify the adequacy of the heating system to accommodate the proposed residence.
-The Contractor shall ensure that all heating systems are functioning, adjusted, and balanced with the operation, maintenance, and warranty documents provided to the Owner. A list of trades, suppliers and material order numbers will be included wherever possible (if applicable)
-Supply and install grilles, registers and diffusers, as required.
-Install HVAC ducting and venting within the designated bulkheads if applicable. If additional bulkheads or dropped ceilings are required for the ducting / venting that are not shown on the drawings, please report to SYNTHESIS DESIGN, INC. prior to installation.

Air Distribution

- Provide continuous or intermittent exhaust fans in all bathrooms and Kitchens as per #9.32.3.3 c/w ducting as required, to be vented directly outside - all washrooms are to be fitted with "silent" NU-TONE 10130 fans (or equivalent) sized to suit.
-Allow for Owner supplied hood vent / OTR micro in kitchen c/w ducting as required, to be vented directly outside.
-Ensure HVAC system, gas fireplaces, washroom exhaust fans, kitchen hood vents, etc. are all balanced and sized to enable the proper exhausting of carbon monoxide and other toxic gases.

Div. 16 Electrical

Basic Electrical Materials & Methods

- Refer to electrical drawings / reflected ceiling plans where applicable.
-All receptacles, switches, and plates as per Owner (or match existing conditions).
-Ground fault interrupter circuits required for kitchens, bathrooms, laundry rooms, and all outdoor outlets.

Service & Distribution

- Verify the adequacy of the power supply to accommodate the entire house.

Lighting

- Confirm lighting layout on site with Owner prior to installation.
-Separate breakers required for outdoor lighting.

Heating

- Provide NU-HEAT electric heating pad under tiled floors c/w thermostats as indicated on Electrical Drawings.

Table with columns: REVISIONS, #, BY. Multiple empty rows for revisions.

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REVISIONS	#	BY
Citys Comments	1	PGS
11.18.2022		
City Eng. Comments	2	PGS
01.06.2023		

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McKIBBIN-McLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
LOWER FLOOR PLAN

Date 1.03.2023

Scale 1/4" = 1'-0"

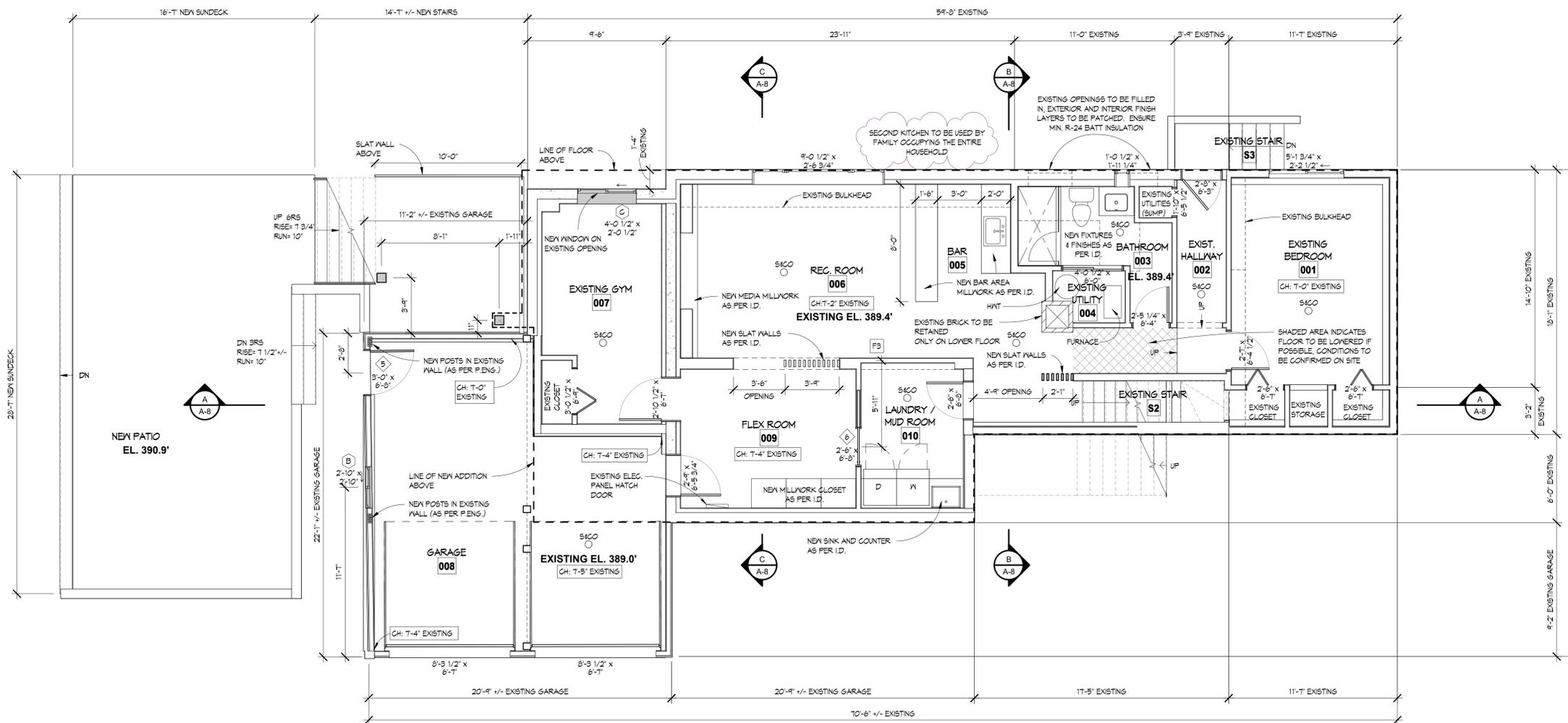
Drawn PGS

Job No. 22011

Sheet **A-4**

Of 10 Sheets

2023-02-06
9:15:31 AM



LEGEND

- EXISTING WALL
- EXISTING WALL OR STRUCTURE TO BE REMOVED
- NEW INTERIOR WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- RELOCATED OR NEW DOOR
- EXISTING WINDOW
- EXISTING WINDOW TO BE REMOVED
- NEW WINDOW
- NEW POST
- EXISTING POST

NOTES:

- ALL NEW DOOR & WINDOW HEADER HEIGHTS ON LOWER FLOOR TO BE 6'-0" (MATCH EXISTING) EXCEPT WINDOW 'B' TO BE 6'-1".
- IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION.
- IF DRYWALL IS REMOVED FROM AN EXISTING EXTERIOR WALL, THE WALL ASSEMBLY & INSULATION MAY BE REQUIRED TO BE BROUGHT TO CURRENT CODE STANDARDS. PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO THE COMMENCEMENT OF WORK.

LOWER FLOOR PLAN

1/4" = 1'-0"
TOTAL LOWER FLOOR: 1582 (146.9M2)
EXCLUSIONS: 1190 SQ.FT (110.5 M2)
TOTAL: 392 SQ.FT (36.4 M2)

REVISIONS	#	BY
City Comments	1	PGS
11.18.2022		
City Eng. Comments	2	PGS
01.06.2023		

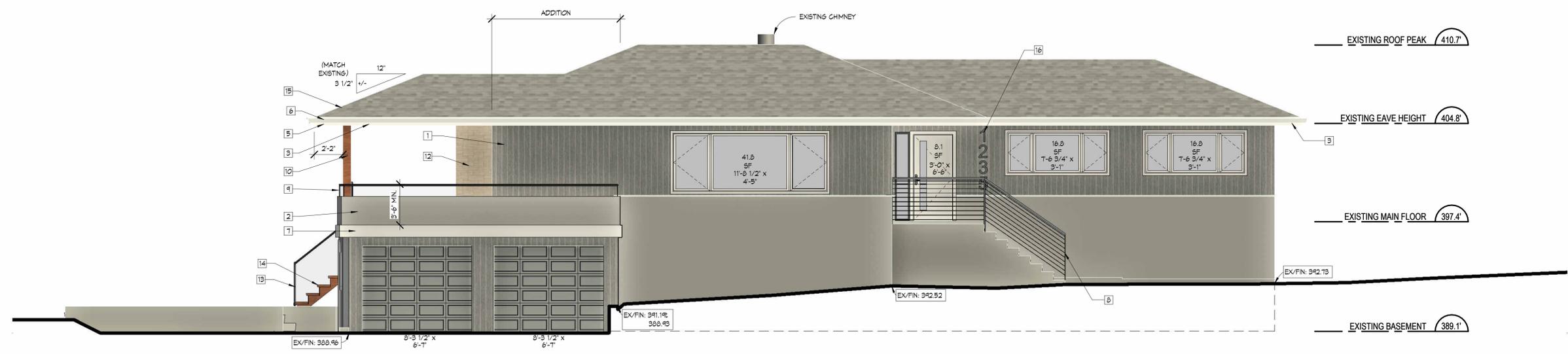
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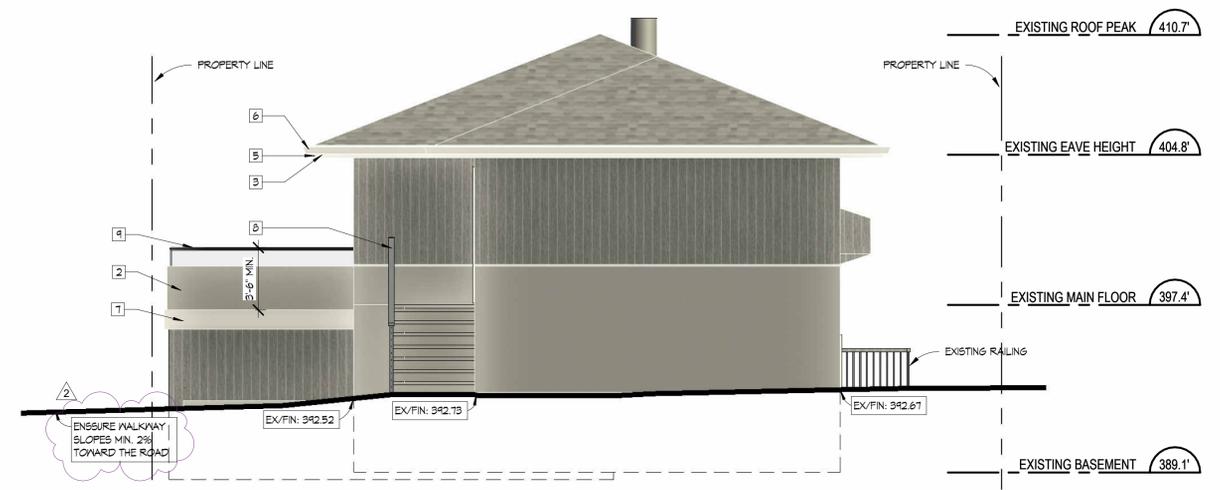
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McKIBBIN-McLARTY RENOVATION / ADDITION
 1253 Sutherland Ave.
 North Vancouver, BC



EAST ELEVATION
1/4" = 1'-0"

EAST SPATIAL SEPARATION	
AREA OF FACE	90.6 sq.ft. (8.42 m ²)
LIMITING DISTANCE	33.6 ft. (10.2 m)
ALLOWABLE OPENINGS	84% x 90.6 ft.sq. = 761 sq.ft.
AREA OF OPENING	83.5 sq.ft.
CONFORMS	YES



NORTH ELEVATION
1/4" = 1'-0"

MATERIAL LEGEND	
1	NEW T&G PAINTED VERTICAL WOOD SIDING (MATCH EXISTING)
2	NEW PAINTED STUCCO (MATCH EXISTING)
3	NEW 1x4 TIGHT KNOT T&G STAIN GRADE CEDAR SOFFIT (STYLE AS PER OWNER)
4	NEW 2 1/2" PAINTED WOOD TRIM AROUND ALL NEW OPENINGS INCLUDING HEAD AND SILL FLASHING (MATCH EXISTING)
5	NEW 2x6 PAINTED COMB FACED SPRUCE FASCIA BOARD THROUGHOUT
6	NEW 5" GUTTER THROUGHOUT
7	NEW 2x12 PAINTED COMB FACED SPRUCE TRIM BOARD (FLASH TOPS)
8	NEW 2x2 ALUMINUM POSTS C/M HORIZONTAL METAL CABLE RAILING (STYLE AS PER OWNER) (CONFIRM WITH BUILDING INSPECTOR)
9	NEW SEMI-FRAMELESS GLASS RAILING C/M ALUMINUM POSTS AND TEMPERED GLASS PANELS (STYLE AS PER OWNER)
10	NEW 2x3 STAIN GRADE CEDAR COLUMN (AS PER P.ENG.)
11	NEW 2x4 CEDAR SLAT WALL, WITH 1" SPACING, PAINTED TO MATCH SOFFIT (AS PER OWNER)
12	NEW STONE VENEER FEATURE WALL (STYLE AS PER OWNER)
13	NEW VINYL FLOORING OVER EXISTING DECK (STYLE AS PER OWNER)
14	NEW STAIR C/M 3" THICK STAIN GRADE CEDAR TREADS AND 3x12 CEDAR STRINGERS & OPEN RISERS (STYLE AS PER OWNER)
15	NEW FIBRE GLASS LAMINATE SHINGLES (MATCH EXISTING)
16	NEW 12" ANODIZED ALUMINUM NUMBERS C/M STAND-OFFS (STYLE AS PER OWNER)

Drawing Title
NORTH & EAST ELEVATIONS

Date 1.03.2023
Scale 1/4" = 1'-0"
Drawn PGS
Job No. 22011
Sheet **A-6**

REVISIONS	#	BY
City Comments	1	PGS
11.18.2022		
City Eng. Comments	2	PGS
01.06.2023		

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McKIBBIN-McLARTY RENOVATION / ADDITION
 1253 Sutherland Ave.
 North Vancouver, BC

Drawing Title
SOUTH & WEST ELEVATIONS

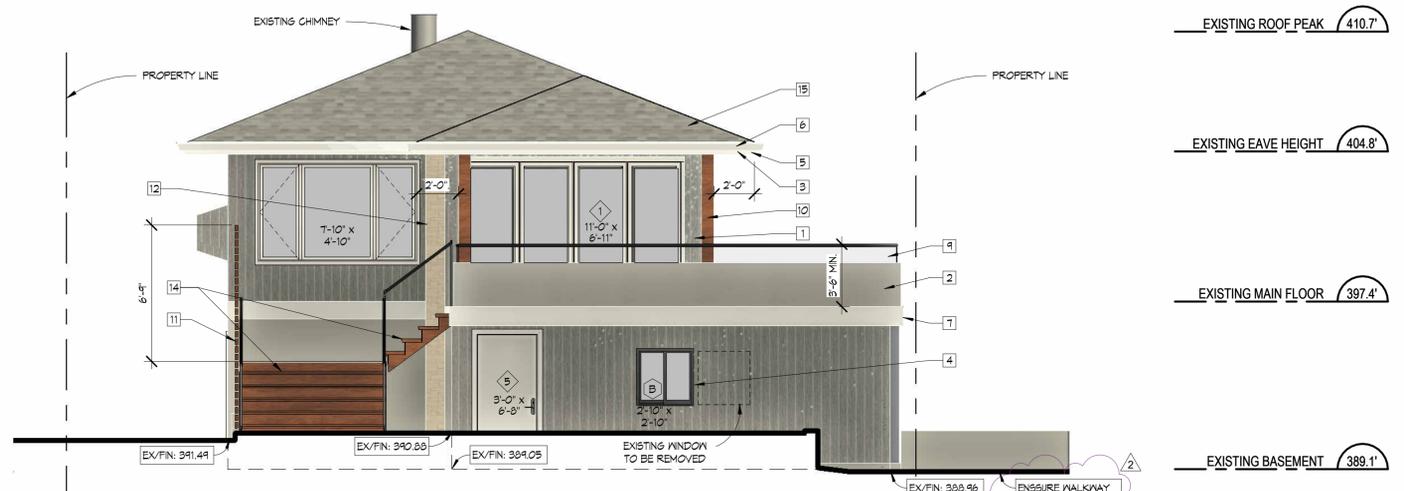
Date 1.03.2023
 Scale 1/4" = 1'-0"
 Drawn PGS
 Job No. 22011
 Sheet **A-7**

Of 10 Sheets



WEST ELEVATION
 1/4" = 1'-0"

WEST SPATIAL SEPARATION	
AREA OF FACE	876.5 sq.ft. (81.4 m ²)
LIMITING DISTANCE	6.75 ft. (2.1 m)
ALLOWABLE OPENINGS	4.5% x 876.5 ft. sq. = 39.4 sq.ft.
AREA OF OPENING	66.7 sq.ft.
CONFORMS	YES



SOUTH ELEVATION
 1/4" = 1'-0"

MATERIAL LEGEND	
1	NEW T&S PAINTED VERTICAL WOOD SIDING (MATCH EXISTING)
2	NEW PAINTED STUCCO (MATCH EXISTING)
3	NEW 1x4 TIGHT KNOT T&S STAIN GRADE CEDAR SOFFIT (STYLE AS PER OWNER)
4	NEW 2 1/2" PAINTED WOOD TRIM AROUND ALL NEW OPENINGS INCLUDING HEAD AND SILL FLASHING (MATCH EXISTING)
5	NEW 2x8 PAINTED COMB FACED SPRUCE FASCIA BOARD THROUGHOUT
6	NEW 5" GUTTER THROUGHOUT
7	NEW 2x12 PAINTED COMB FACED SPRUCE TRIM BOARD (FLASH TOPS)
8	NEW 2x2 ALUMINUM POSTS C/W HORIZONTAL METAL CABLE RAILING (STYLE AS PER OWNER) (CONFIRM WITH BUILDING INSPECTOR)
9	NEW SEMI-FRAMELESS GLASS RAILING C/W ALUMINUM POSTS AND TEMPERED GLASS PANELS (STYLE AS PER OWNER)
10	NEW 6x8 STAIN GRADE CEDAR COLUMN (AS PER P. ENG.)
11	NEW 2x4 CEDAR SLAT WALL, WITH 1" SPACING, PAINTED TO MATCH SOFFIT (AS PER OWNER)
12	NEW STONE VENEER FEATURE WALL (STYLE AS PER OWNER)
13	NEW VINYL FLOORING OVER EXISTING DECK (STYLE AS PER OWNER)
14	NEW STAIR C/W 3" THICK STAIN GRADE CEDAR TREADS AND 3x12 CEDAR STRINGERS & OPEN RISERS (STYLE AS PER OWNER)
15	NEW FIBRE GLASS LAMINATE SHINGLES (MATCH EXISTING)
16	NEW 12" ANODIZED ALUMINUM NUMBERS C/W STAND-OFFS (STYLE AS PER OWNER)

REVISIONS	#	BY
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11.18.2022		

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McKIBBIN-McLARTY RENOVATION / ADDITION
 1253 Sutherland Ave.
 North Vancouver, BC

Drawing Title
SECTIONS & ASSEMBLIES

Date 1.03.2023
Scale 1/4" = 1'-0"
Drawn PGS
Job No. 22011
Sheet **A-8**

WALL ASSEMBLIES	
Exterior	
W1	- EXISTING VERTICAL CEDAR SIDING, BUILDING PAPER, AND EXTERIOR SHEATHING TO REMAIN IF POSSIBLE, CONDITIONS TO BE CONFIRMED ON SITE - EXISTING 2x4 STUDS TO BE FURRED OUT TO 2x6 - NEW R-24 BATT INSULATION - NEW 6 MIL. CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - NEW 1/2" G/MB
W2	- VERTICAL CEDAR SIDING (MATCH EXISTING) - VERTICAL 1 1/2" x 1/2" TREATED PLYWOOD VERTICAL FURRING STRIPS @ 12" O/C - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C, R-24 BATT INSULATION - 6 MIL. CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB
W3	- THIN STONE VENEER (FLAMED AND BRUSHED BASALT, "GRIGIO" OR "BASALTINA" / STYLE AS PER I.D.) (PROVIDE VENTING HOLES AT TOP & BOTTOM) - MORTAR - WIRE MESH - 3/8" PT PLYWOOD - VERTICAL 1 1/2" x 1/2" TREATED PLYWOOD VERTICAL FURRING STRIPS @ 12" O/C - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PT PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - VERTICAL 1 1/2" x 1/2" TREATED PLYWOOD VERTICAL FURRING STRIPS @ 12" O/C - 3/8" PT PLYWOOD - WIRE MESH - MORTAR - THIN STONE VENEER (FLAMED AND BRUSHED BASALT, "GRIGIO" OR "BASALTINA" / STYLE AS PER I.D.) (PROVIDE VENTING HOLES AT TOP & BOTTOM)
W4	- ACRYLIC STUCCO - WIRE MESH - KEENE DRYWALL (OR EQUIVALENT) TO PROVIDE 10mm AIR GAP - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x4 STUDS @ 16" O/C - 1/2" PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - KEENE DRYWALL (OR EQUIVALENT) TO PROVIDE 10mm AIR GAP - WIRE MESH - ACRYLIC STUCCO
Interior	
P1	- 1/2" G/MB - 2x4 STUDS @ 16" O/C - 1/2" G/MB
P2	- 1/2" G/MB - 2x4 STUDS @ 16" O/C

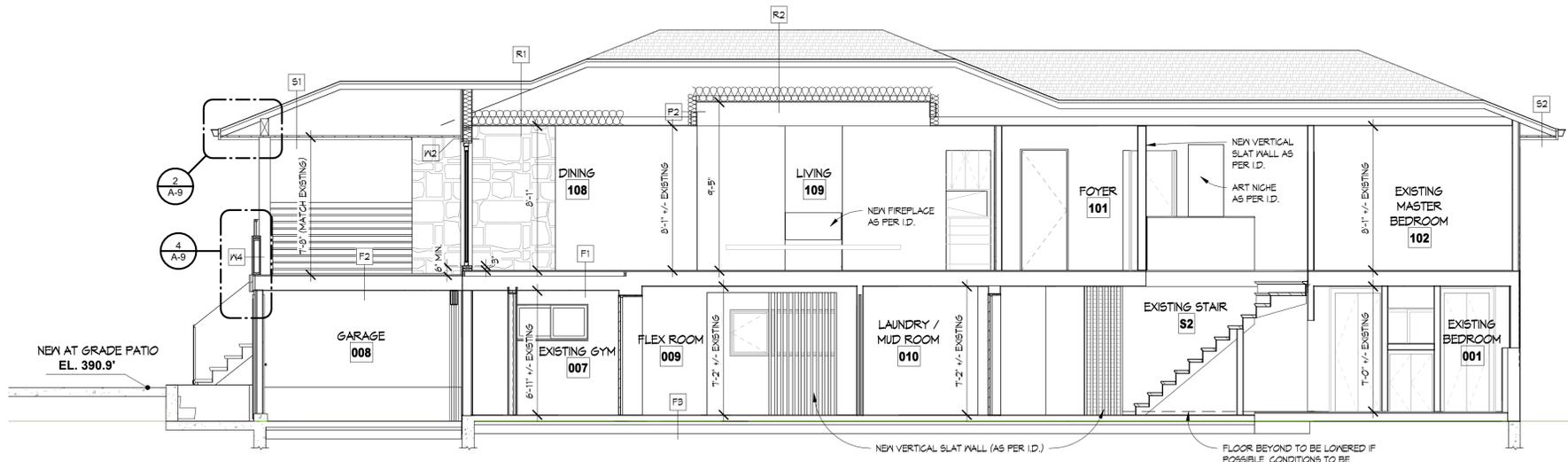
FLOOR ASSEMBLIES	
F1	- NEW FLOOR FINISH (STYLE AS PER I.D.) - NEW 3/4" T&G PLYWOOD - G/MB & SCREWED - EXISTING DECK JOISTS TO BE FURRED OUT TO MATCH HEIGHT OF EXISTING FLOOR JOISTS - EXISTING FLOOR JOISTS TO REMAIN IF POSSIBLE, CONDITIONS TO BE CONFIRMED ON SITE BY P.ENG.
F2	- EXISTING INTERIOR FINISH LAYER TO REMAIN - NEW VINYL DECKING (STYLE AS PER I.D.) - EXISTING DECK SHEATHING AND JOISTS TO REMAIN IF POSSIBLE, CONDITIONS TO BE CONFIRMED ON SITE BY P.ENG.
F3	- EXISTING INSULATION TO REMAIN - EXISTING INTERIOR FINISH LAYER TO REMAIN - NEW FLOOR FINISH (STYLE AS PER I.D.) - EXISTING CONCRETE SLAB, WIRE MESH, SAND, AND GRAVEL TO REMAIN IF POSSIBLE, CONDITIONS TO BE CONFIRMED ON SITE BY P.ENG.

ROOF ASSEMBLIES	
Roof	
R1	- FIBREGLASS LAMINATE SHINGLES (MATCH EXISTING) - APPROVED ROOFING UNDERLAY - 1/2" PLYWOOD SHEATHING G/M 1" CLIPS - RAFTERS PER STRUCTURAL ENGINEER - R-50 BATT INSULATION - CEILING JOISTS AS PER STRUCTURAL ENGINEER - 6 MIL. CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB
R2	- EXISTING FIBREGLASS LAMINATE SHINGLES, ROOFING UNDERLAY, SHEATHING, AND RAFTERS TO REMAIN IF POSSIBLE, CONDITIONS TO BE CONFIRMED ON SITE BY P.ENG. - NEW R-50 BATT INSULATION - NEW CEILING JOISTS AS PER STRUCTURAL ENGINEER - NEW 6 MIL. CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - NEW 1/2" G/MB
Skirt Roof/Overhang	
S1	- FIBREGLASS LAMINATE SHINGLES (MATCH EXISTING) - APPROVED ROOFING UNDERLAY - 1/2" PLYWOOD SHEATHING G/M 1" CLIPS - RAFTERS PER STRUCTURAL ENGINEER - BACK FRAMING AS REQUIRED - 1x4 TIGHT KNOT STAIN GRADE T&G V-GROOVE CEDAR SOFFIT (PROVIDE CONTINUOUS VENTING PARALLEL TO THE EXTERIOR WALL)
S2	- EXISTING FIBREGLASS LAMINATE SHINGLES, ROOFING UNDERLAY, SHEATHING, RAFTERS, AND BACK FRAMING TO REMAIN IF POSSIBLE, CONDITIONS TO BE CONFIRMED ON SITE BY P.ENG. - NEW 1x4 TIGHT KNOT STAIN GRADE T&G V-GROOVE CEDAR SOFFIT (PROVIDE CONTINUOUS VENTING PARALLEL TO THE EXTERIOR WALL)

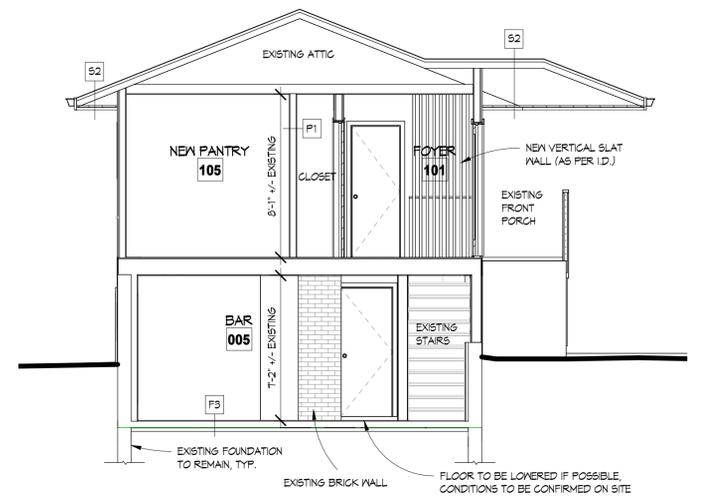
Exterior Walls - W2	Effective Thermal Resistance
Exterior Air	0.03
Cedar Siding	0.14
1/2 Air Cavity	0.16
2 Layers of Building Paper	0
1/2 Plywood	0.109
2x6 Studs @ 16" o/c	4.2
R-24 Batt Insulation	0.07
1/2 GWB	0.12
Interior Air	0.12
Total	4.829
Minimum Required	2.78
Conforms	Yes

Roofing - R1	Effective Thermal Resistance
Exterior Air	0.03
Fibreglass Shingles	0
1/2 Plywood	0
2x4 Purlins	0
1.5" Air Gap	0
Floor Joists (as per P.Eng)	7
R-50 Batt Insulation	0
6 Mil Poly Vapour	0.07
1/2 GWB	0.12
Interior Air	0.12
Total	7.22
Minimum Required	4.67
Conforms	Yes

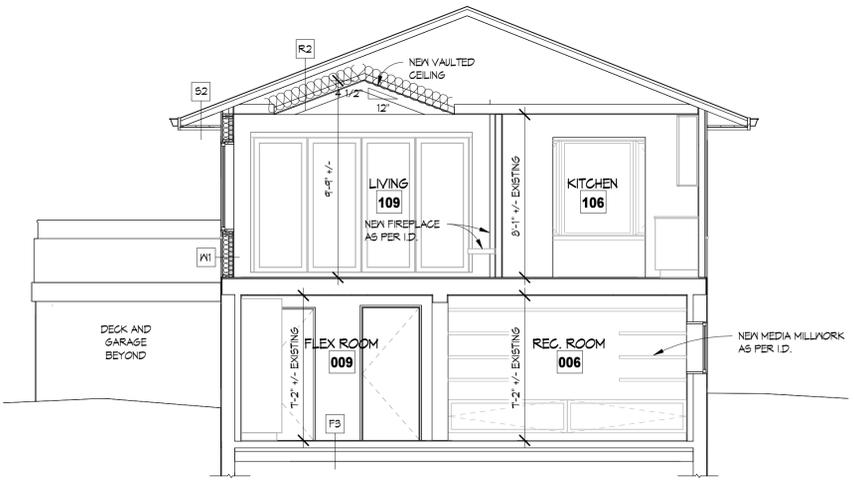
EFFECTIVE INSULATION REQUIREMENTS (MINIMUM)
DOORS / WINDOWS U-VALUE: 1.0
NA-WALL U-VALUE: 0.29
(CONFIRM WITH MANUFACTURER SPECIFICATIONS)



SECTION A
1/4" = 1'-0"

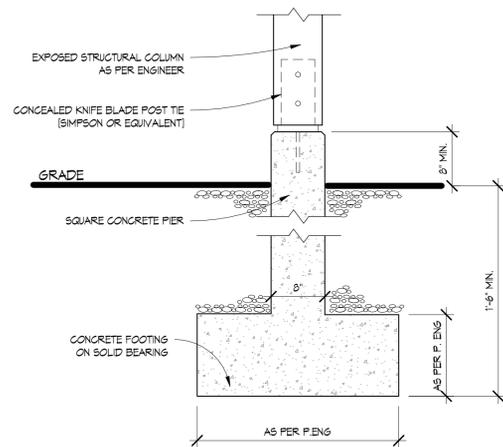


SECTION B
1/4" = 1'-0"

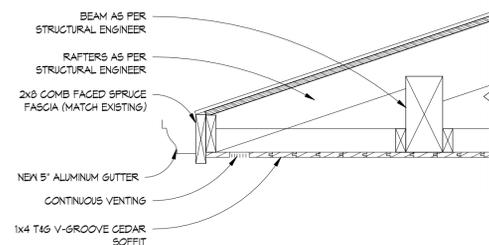


SECTION C
1/4" = 1'-0"

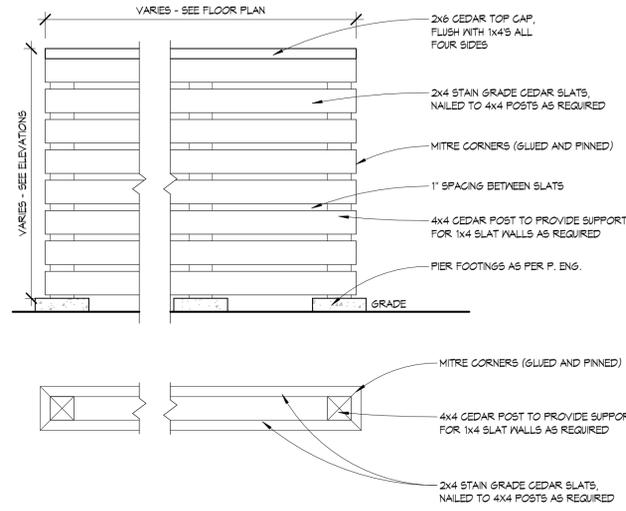
NOTE: ALL RAIN SCREEN DETAILS TO BE CONFIRMED ON SITE WITH BUILDING INSPECTOR



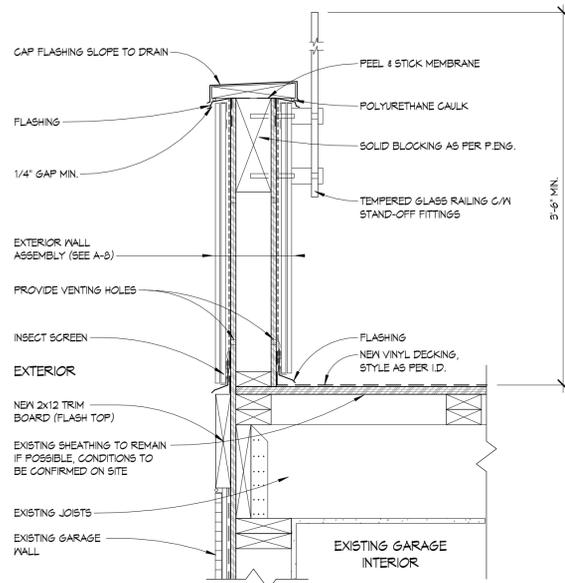
1 PIER FOOTING DETAIL
1" = 1'-0"



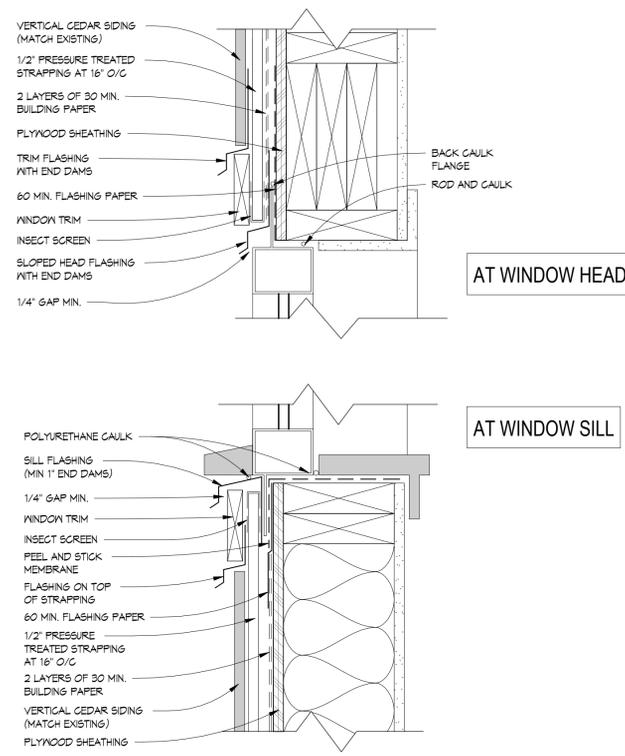
2 ROOF VENT DETAIL
A-8 1" = 1'-0"



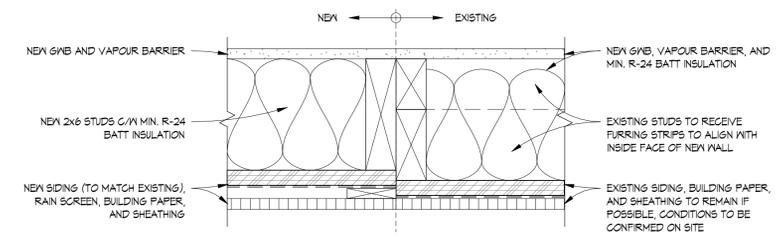
3 SLAT WALL DETAIL
1" = 1'-0"



4 DECK PARAPET WALL DETAIL
A-8 1 1/2" = 1'-0"



5 RAIN SCREEN DETAIL
3" = 1'-0"



6 WALL JOINT DETAIL
3" = 1'-0"

DO NOT ORDER DOORS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE

DOOR SCHEDULE							
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	ASSEMBLY	NOTES
1	1	11'-0"	6'-11"	Exterior, Nana Wall	Wood & tempered glass	Solid core	Stain grade, weather stripping, style as per I.D.
2	2	2'-6"	6'-8"	Interior, Single Swing	Wood	Solid core	Paint grade, style as per I.D. (match existing)
3	1	2'-4"	6'-8"	Interior, Single Swing	Wood	Solid core	Paint grade, style as per I.D. (match existing)
4	1	2'-5"	6'-6"	Interior, Single Swing	Wood	Solid core	Existing door in new opening
5	1	3'-0"	6'-8"	Exterior, Swing, Single	Fibreglass	Solid core	Weather stripping, style as per I.D. (match existing)
6	1	2'-6"	6'-8"	Interior, Pocket, Single	Wood	Solid core	Paint grade, style as per I.D. (match existing)
TOTAL: 7							

DO NOT ORDER WINDOWS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE
DO NOT SCALE DRAWINGS
WINDOWS SUPPLIER TO ENSURE ALL APPLICABLE WINDOWS MEET EGRESS REQUIREMENTS

WINDOW SCHEDULE							
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	ASSEMBLY	NOTES
A	1	2'-4"	2'-10"	Single Hung, Single	Vinyl		Obscure glass, style as per I.D. (match existing)
B	1	2'-10"	2'-10"	Sliding, Double	Vinyl		Style as per I.D. (match existing)
C	1	4'-0 1/2"	2'-0 1/2"	Sliding, Double	Vinyl		Style as per I.D. (match existing)(Use existing opening)
TOTAL: 3							

EFFECTIVE INSULATION REQUIREMENTS (MINIMUM)
DOORS / WINDOWS U-VALUE: 1.8
NANAWALL "I": 0.34
(CONFIRM WITH MANUFACTURER SPECIFICATIONS)

REVISIONS	#	BY
Citys Comments	1	PGS
11.18.2022		

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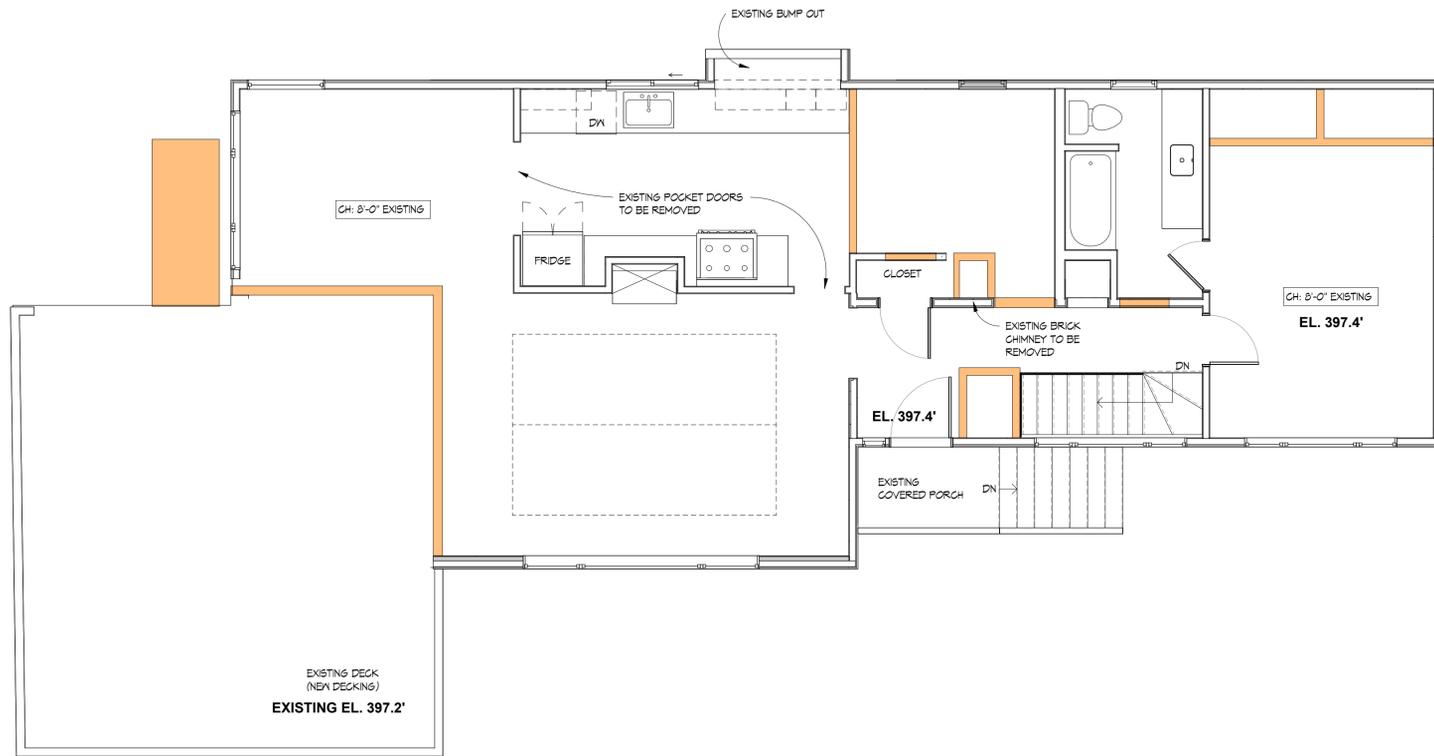


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McKIBBIN-McLARTY RENOVATION / ADDITION
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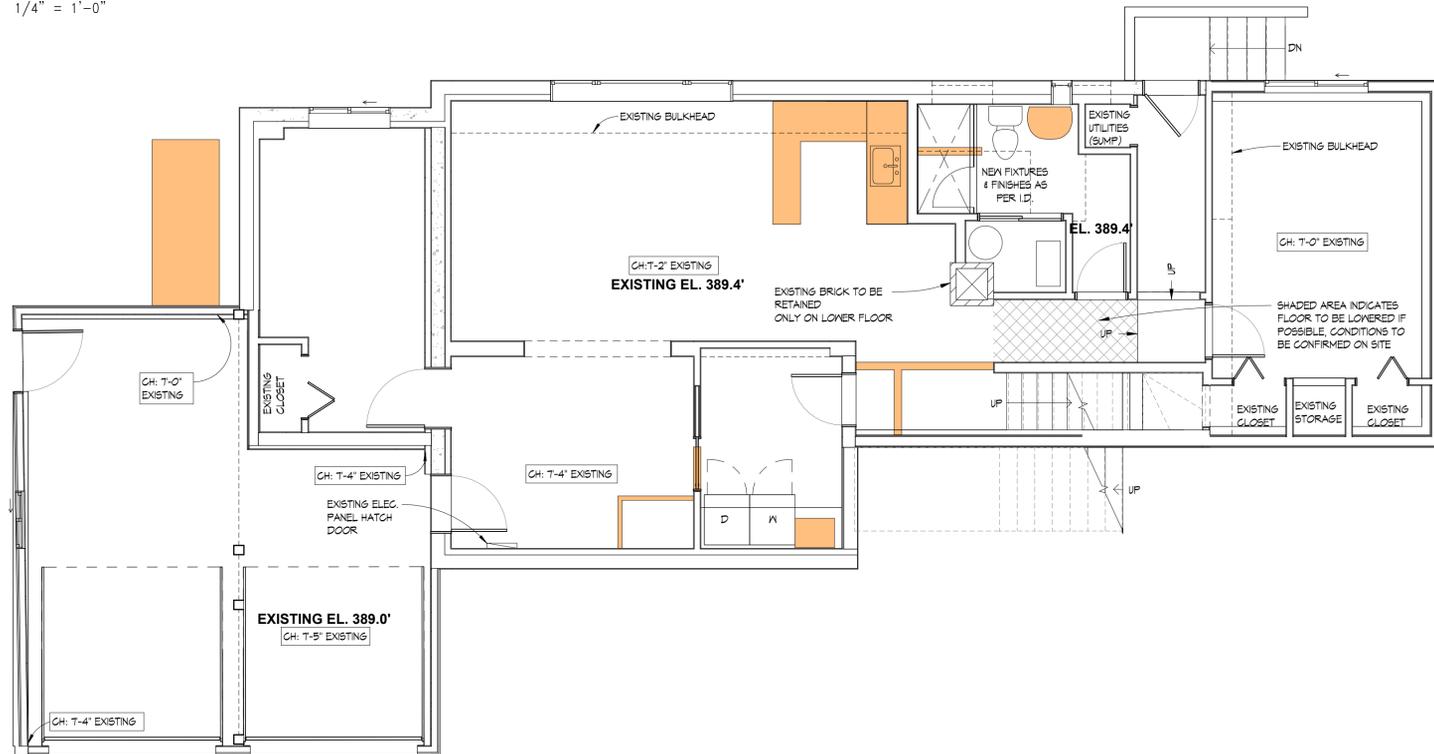
Drawing Title
DETAILS & SCHEDULES

Date: 1.03.2023
Scale: As indicated
Drawn: PGS
Job No: 22011
Sheet: **A-9**



MAIN FLOOR PLAN

1/4" = 1'-0"



LOWER FLOOR PLAN

1/4" = 1'-0"

LEGEND

	EXISTING WALL
	EXISTING WALL, STRUCTURE, ITEM TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW PROPOSED DOOR TO REMAIN
	EXISTING WINDOW
	EXISTING WINDOW TO BE REMOVED
	EXISTING POST
	EXISTING POST TO BE REMOVED

- NOTES:**
- IF DRYWALL IS REMOVED FROM AN EXISTING EXTERIOR WALL, THE WALL ASSEMBLY & INSULATION MAY BE REQUIRED TO BE BROUGHT TO CURRENT CODE STANDARDS. PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO THE COMMENCEMENT OF WORK.

REVISIONS	#	BY
City Comments	1	PGS
11.18.2022		

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All dimensions shall be verified on site prior to commencement of work.



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McKIBBIN-McLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
MAIN FLOOR DEMO

Date 1.03.2023

Scale 1/4" = 1'-0"

Drawn PGS

Job No. 22011

Sheet **A-10**

Of 10 Sheets

2023-02-06
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