



S T R E E T . E L E V A T I O N S

STREET ELEVATIONS (JONES AVE.)

SUBDIVISION & REZONING APPLICATION

HOMES ON JONES

1357 JONES, NORTH VANCOUVER

Legal Address: LOT B, BLK. 65, DL 271, GROUP 1, PLAN 750

PID: 077-943-784

OWNER: 1357 JONES LTD.

APPLICANT: VERNACULAR STUDIO INC.

ISSUED FOR:

SUBDIVISION & DP RESUBMISSION:

Sep/30/2021

DRAWING INDEX:

ARCHITECTURAL DRAWINGS

- A-01 SITE PLAN FOR BOTH LOTS
- A-02 FLOOR PLANS - BASEMENT BOTH LOTS
- A-03 FLOOR PLANS - MAIN BOTH LOTS
- A-04 FLOOR PLANS - UPPER BOTH LOTS
- A-05 ROOF PLANS - BOTH LOTS
- A-06 FRONT & REAR ELEVATIONS -LOT A (SOUTH)
- A-07 FRONT & REAR ELEVATIONS -LOT B (NORTH)
- A-08 EAST & WEST ELEVATIONS - LOT A (SOUTH)
- A-09 EAST & WEST ELEVATION - LOT B (NORTH)
- A-10 BUILDING SECTIONS - LOT A (SOUTH)
- A-11 BUILDING SECTIONS - LOT B (NORTH)
- L-01 LANDSCAPE PLAN FOR BOTH HOUSES



VERNACULAR STUDIO INC



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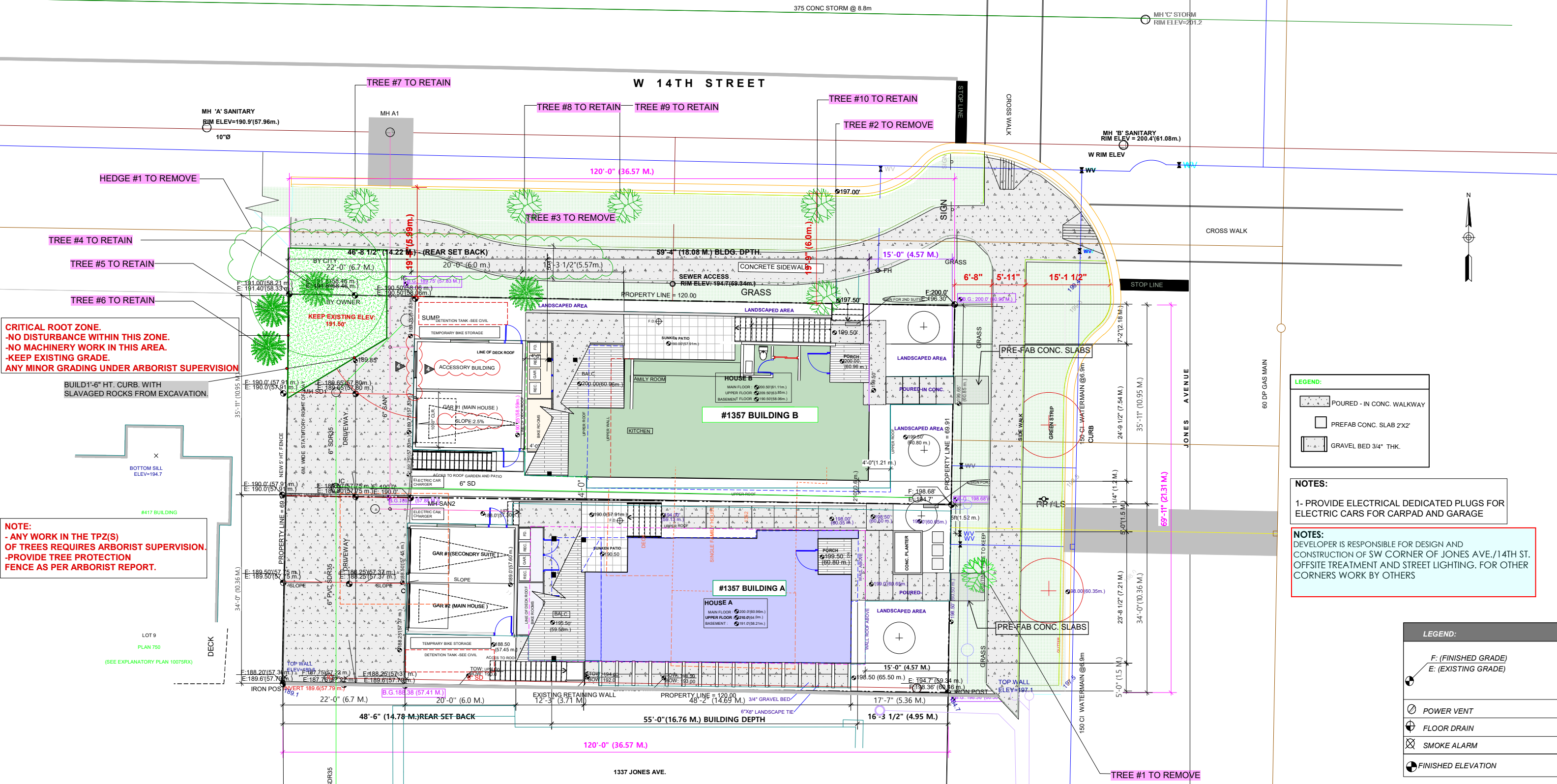
VERNACULAR STUDIO INC

CRITICAL ROOT ZONE.
-NO DISTURBANCE WITHIN THIS ZONE.
-NO MACHINERY WORK IN THIS AREA.
-KEEP EXISTING GRADE.
-ANY MINOR GRADING UNDER ARBORIST SUPERVISION

NOTE:
- ANY WORK IN THE TPZ(S) OF TREES REQUIRES ARBORIST SUPERVISION.
-PROVIDE TREE PROTECTION FENCE AS PER ARBORIST REPORT.

BUILD 1'-6" HT. CURB WITH SLAVAGED ROCKS FROM EXCAVATION.

LOT 9
PLAN 750
(SEE EXPLANATORY PLAN 10075RX)



LEGEND:

- POURED - IN CONC. WALKWAY
- PREFAB CONC. SLAB 2'X2'
- GRAVEL BED 3/4" THK.

NOTES:
1- PROVIDE ELECTRICAL DEDICATED PLUGS FOR ELECTRIC CARS FOR CARPAD AND GARAGE

NOTES:
DEVELOPER IS RESPONSIBLE FOR DESIGN AND CONSTRUCTION OF SW CORNER OF JONES AVE./14TH ST. OFFSITE TREATMENT AND STREET LIGHTING. FOR OTHER CORNERS WORK BY OTHERS

LEGEND:

- F: (FINISHED GRADE)
- E: (EXISTING GRADE)
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM
- FINISHED ELEVATION

REVISION:

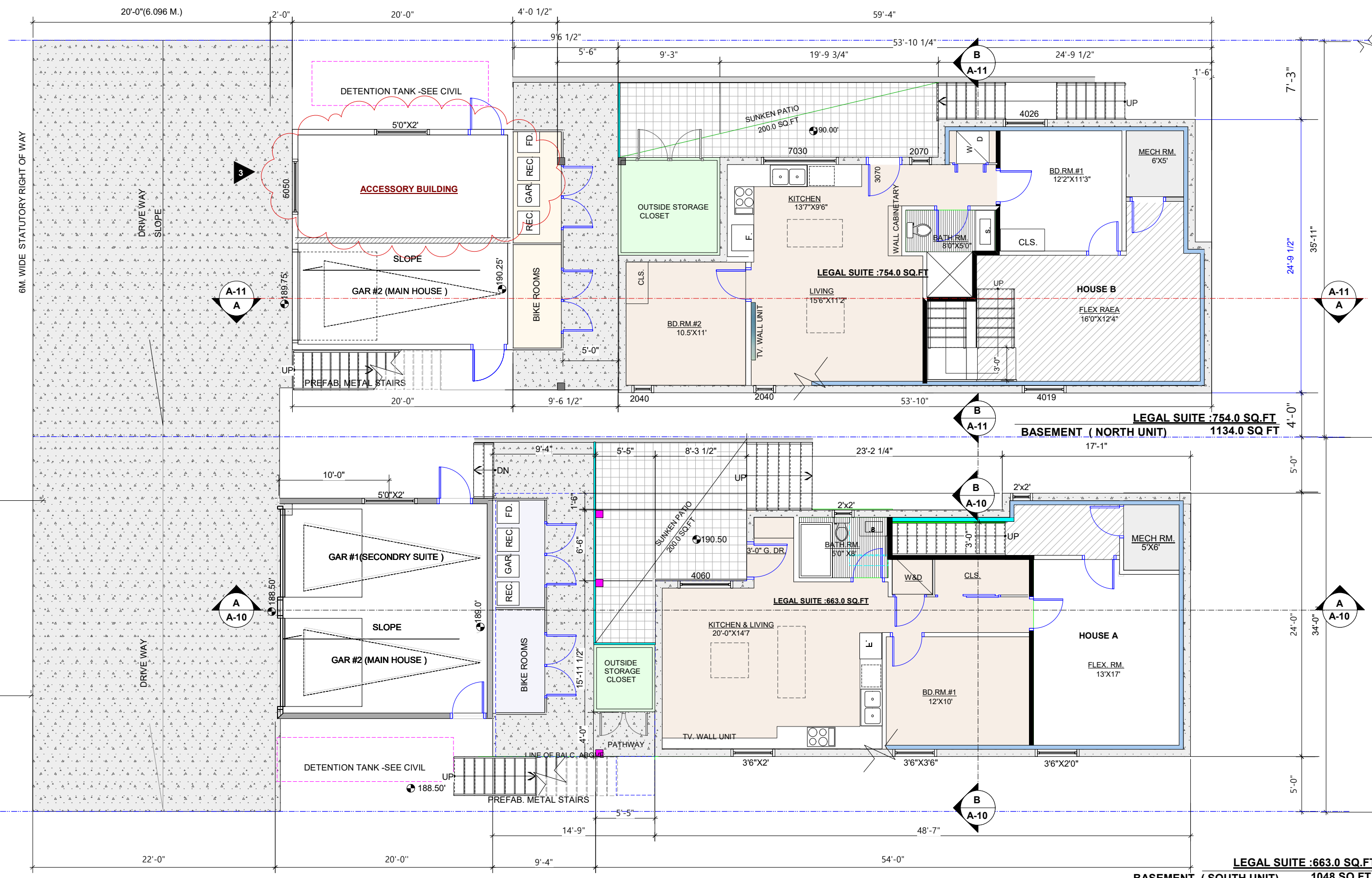
| No. | ISSUE FOR | DATE |
|-----|-------------------|--------------|
| 8 | | |
| 7 | | |
| 6 | | |
| 5 | | |
| 4 | SUBDIVIREZ (SITE) | SEP 08, 2021 |
| 3 | SUBDIVIREZ (SITE) | FEB 16, 2021 |
| 2 | SUBDIVIREZ | FEB 05, 2021 |
| 1 | PRE APP SUB. | MAY 01, 2020 |

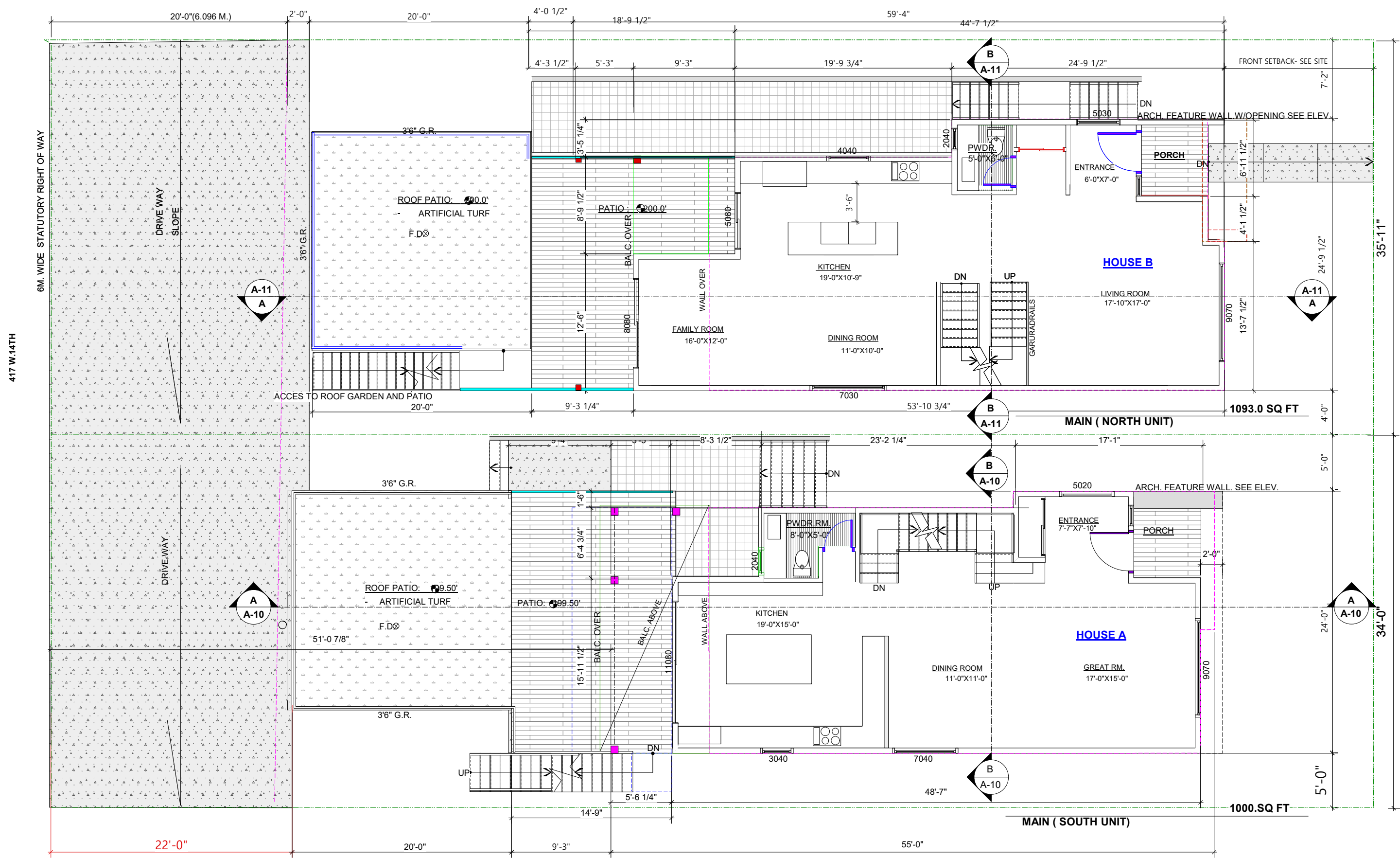
**137 JONES AVE.
NORTH VANCOUVER**

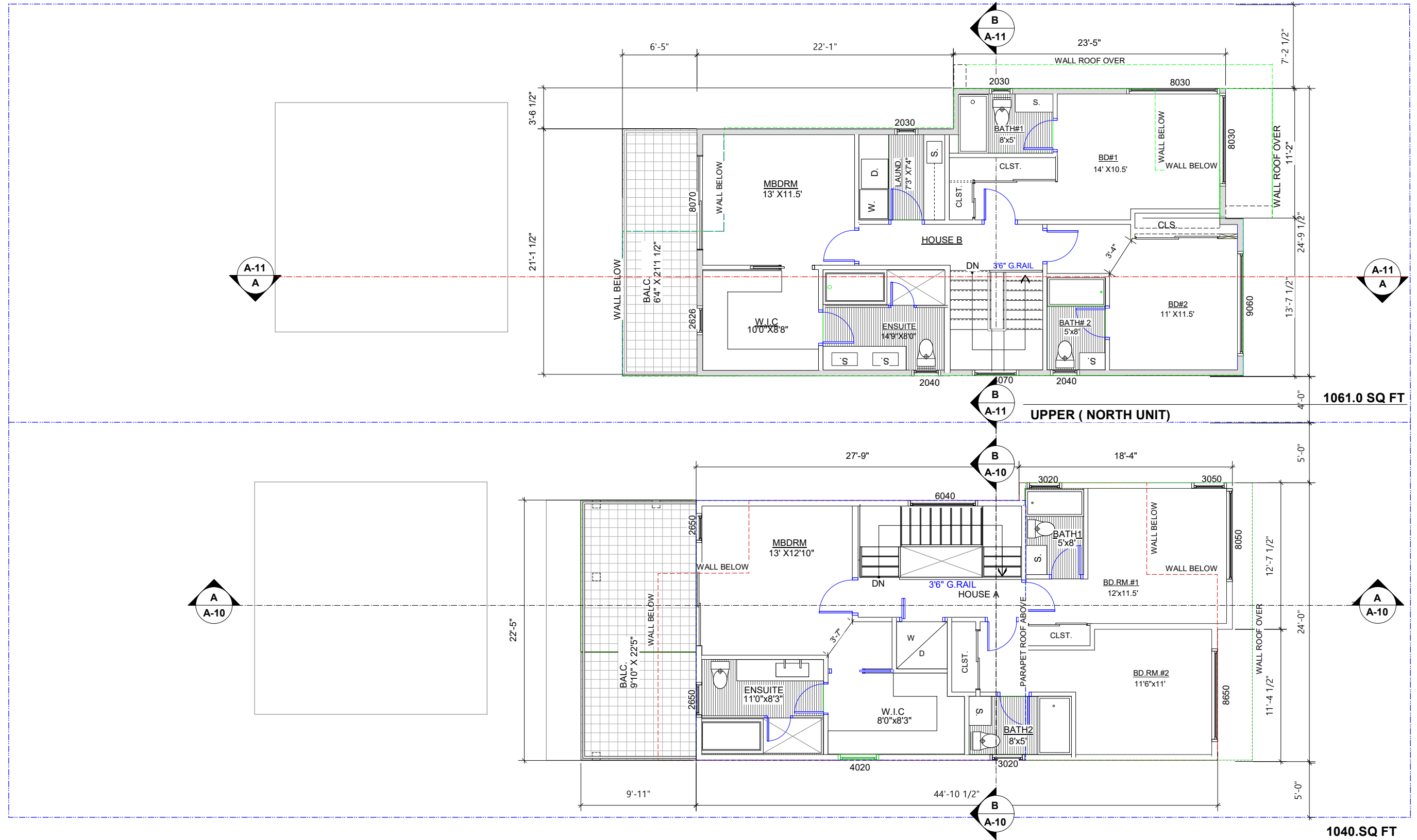
SITE PLAN

DATE:
MAY 2014
DRAWN BY:
G.A.
CHECKED BY:
M.R.
R.CH
SCALE: 1/8" = 1 ft

DRAWING NO.:
A-01







LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- ⊗ SMOKE ALARM



REVISION:

| No. | ISSUE FOR | DATE |
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| 4 | | |
| 3 | SUBDIV/REV | SEP. 08.2021 |
| 2 | SUBDIV/REV | FEB. 05.2021 |
| 1 | PRE APP SUB. | MAY 01.2020 |

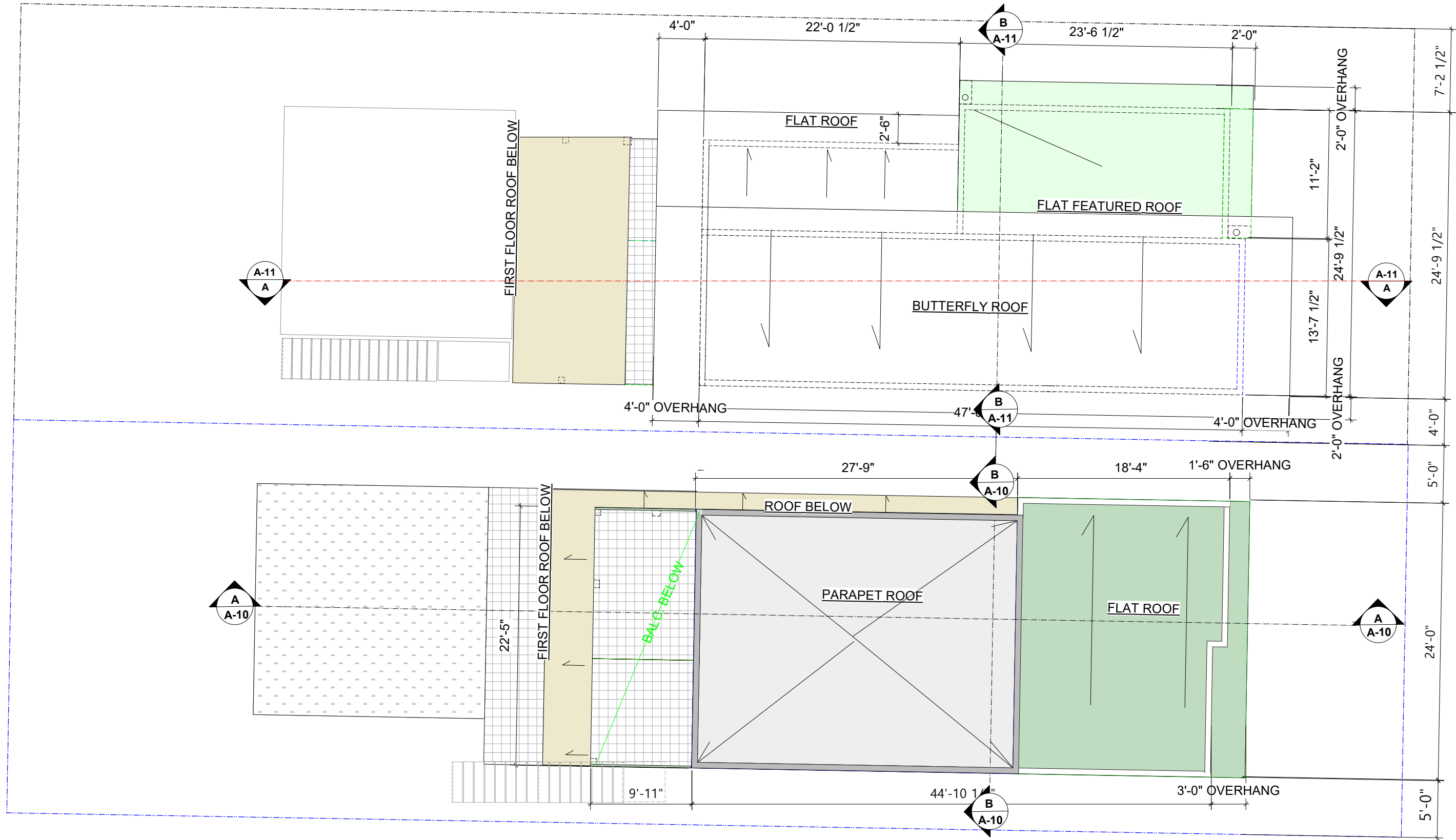
**1357 JONES AVE.
NORTH VANCOUVER**

**UPPER FLOOR
PLANS**

DATE:
DRAWN BY:
C.A.
CHECKED BY:
M.R.
SCALE: 1/4" = 1 ft

DRAWING NO.:

A-04



PROPOSAL FOR SUBDIVISION & REZONING
1357 JONES AVE

COLOUR PALETTES

COLOURS

- NORTH HOUSE- MAIN HOUSE and GARAGE - Fiber cement panels (Stone - BM)
- NORTH & HOUSE ACCENT WALL - ACM panels (Chili pepper - BM)
- SOUTH HOUSE- MAIN HOUSE and GARAGE - Fiber cement panels (Iron Mountain - BM)
- BOTH HOUSES - CEDAR SONG DOORS, SOLID LUMBER & FRONT DOORS - Cedar (BM)
- BOTH HOUSES - WINDOW SASH & STL. COLUMN - powder coated Dark Charcoal - ACM Panels
- BOTH HOUSES - FASCIA, FLASHING - Dark Charcoal (to match Iron Mountain - B.M.)

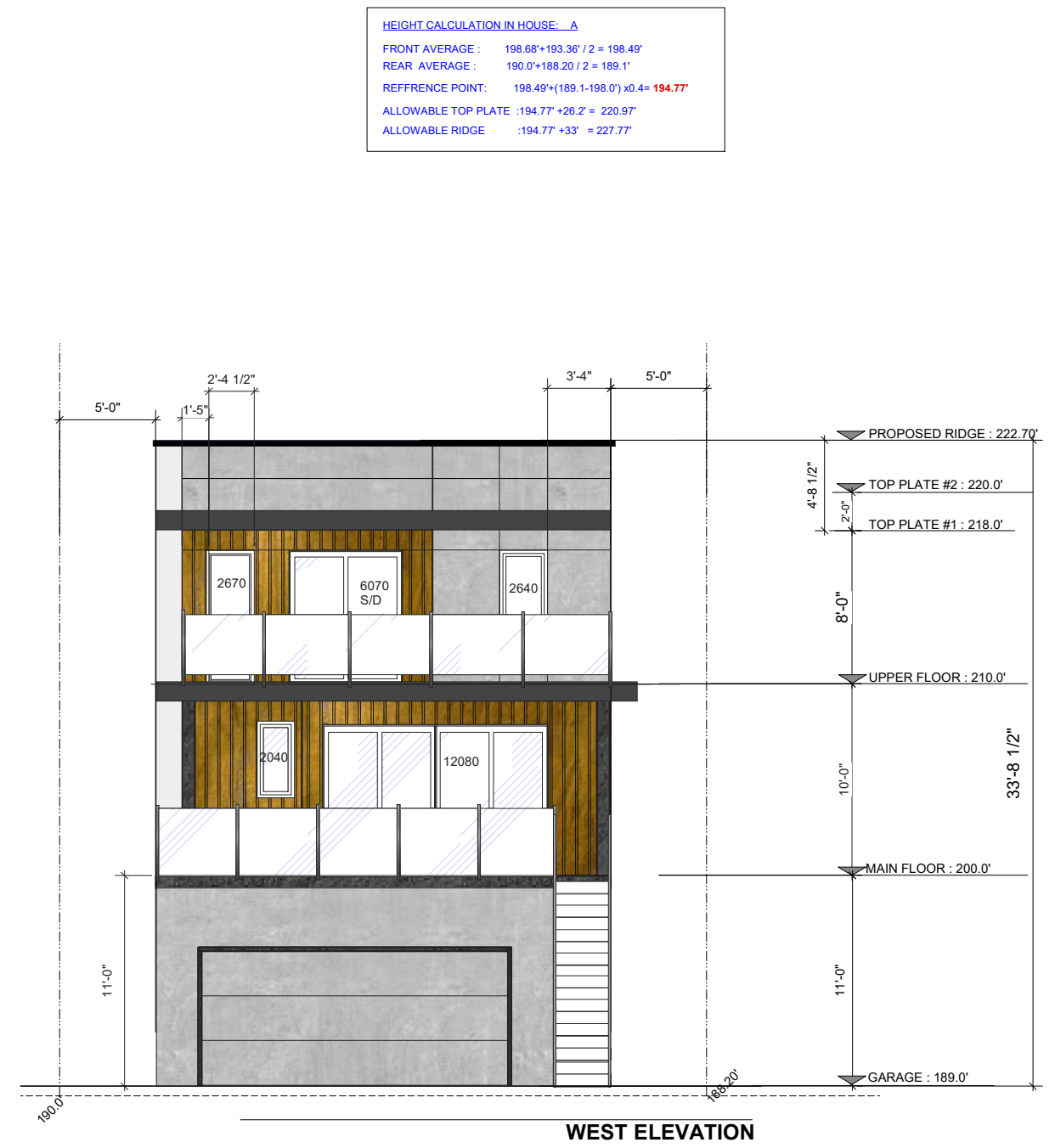
MATERIALS

- Roof, Door trim
- Window sills
- Fascia board
- Flashing on fascia
- Flashing on roof
- WALL PANELS
- ACM PANELS
- 3.5" WIDE CEDAR BOARDS
- .25" Thick, FIBER CEMENT SIDING
- Flat board sliding
- Entry Doors
- Lowvets
- Exposed beams

MATERIALS

- 3 LAYERS APPROVED MEMBRANE
- 1.5" X 1.5" PAINTED TO MATCH WALLS
- 2X8 OR 2X10 PAINTED CEDAR, Dark Charcoal
- PREPARED STEEL PROFILE TO MATCH FASCIA COLOUR
- ALUMINUM, DARK CHARCOAL
- ACM PANELS
- 3.5" WIDE CEDAR BOARDS
- .25" Thick, FIBER CEMENT SIDING
- SOLID WOOD OR INSULATED FIBERGLASS
- CLEAR STAIN
- CLEAR STAIN

STREET ELEVATION (OUTR)





STREET ELEVATION

STREET ELEVATION (SOUTH)

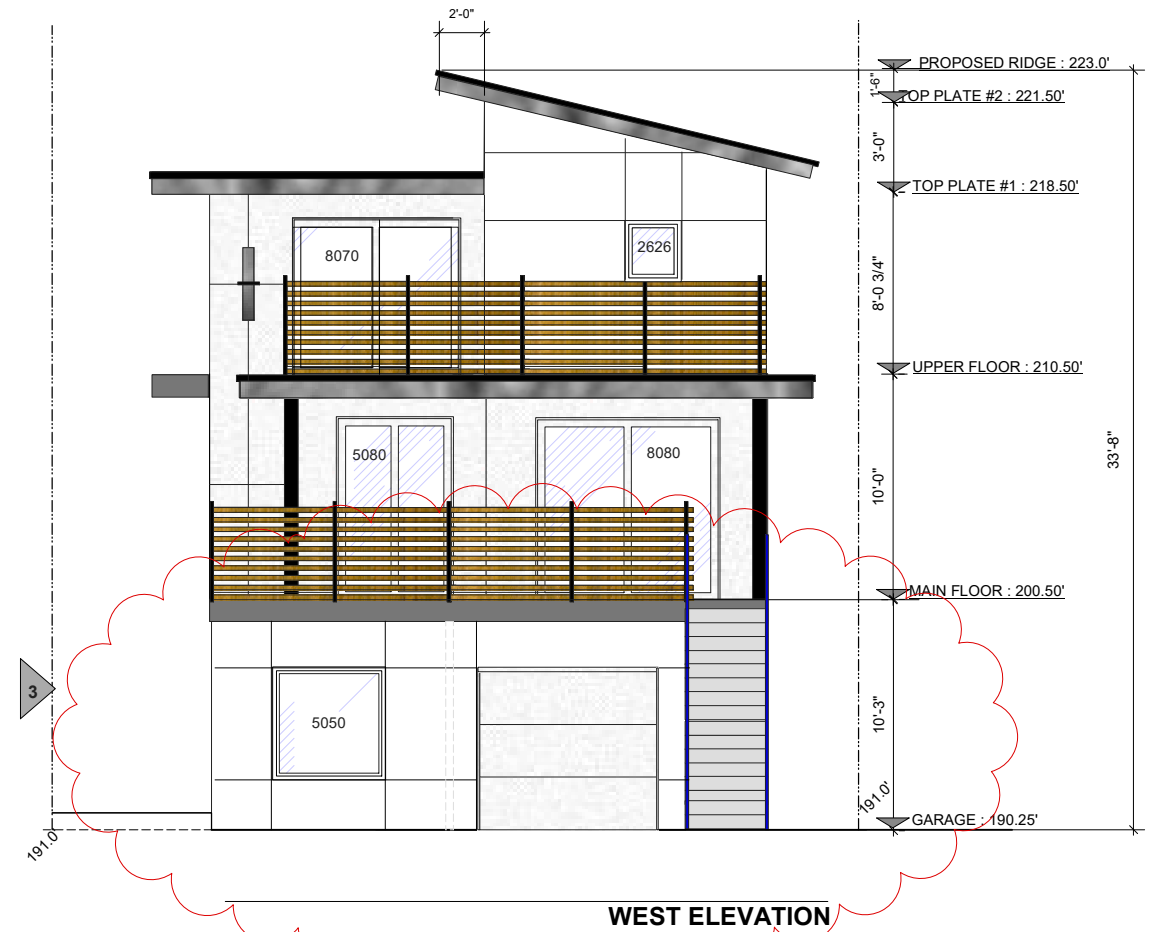
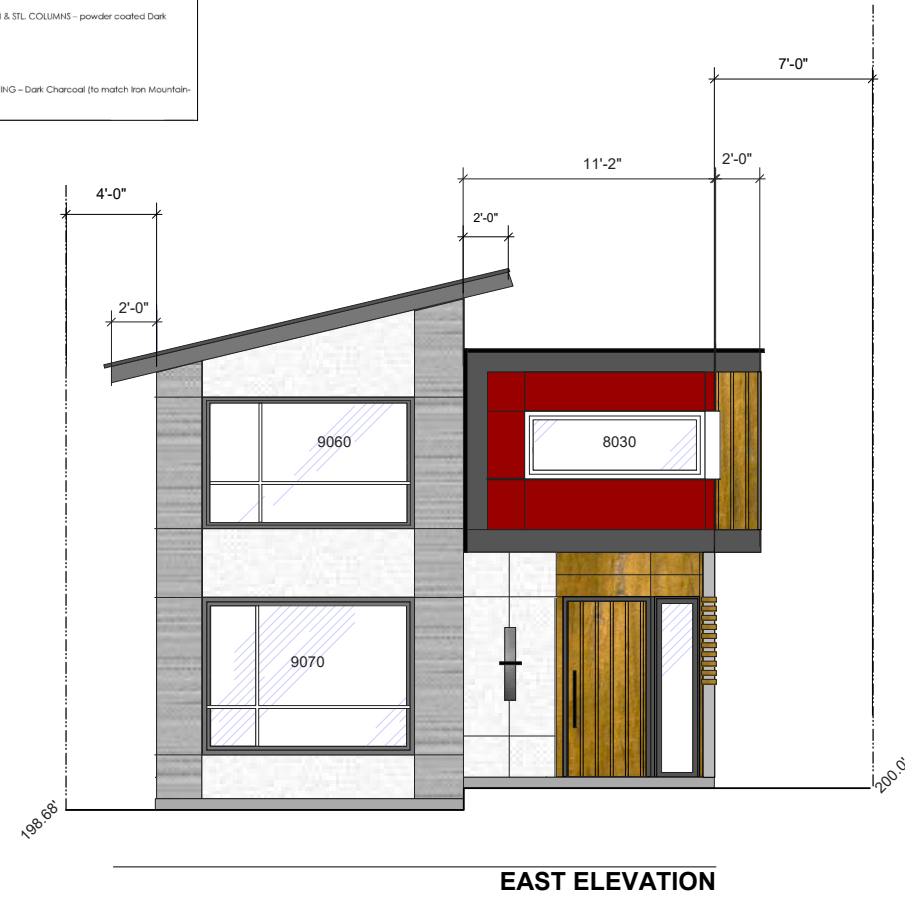
MATERIALS

- | | |
|----------------------|--|
| 1 Roof | 3 LAYERS APPROVED MEMBRANE |
| 2 Wind, Door Lims | 1.5" X1.5" PAINTED TO MATCH WALLS |
| 3 Fascia Board | 2X8 OR 2X10 PAINTED CEDAR, Dark Charcoal |
| 4 Flashing on Fascia | PRE-PAINTED STEEL PROFILE TO MATCH FASCIA COLOUR |
| 5 Fascia + Gutter | PRE-PAINTED ALUM. DARK CHARCOAL |
| 6 WALL PANELS | ACM PANELS |
| 7 Cedar board siding | 3.5" WIDE CEDAR BOARDS |
| 8 Flat board Siding | .25" thick, FIBER CEMENT BOARDS |
| 9 Windows | VINYL - DARK CHARCOAL |
| 10 Entry Doors | SOLID WOOD OR INSULATED FIBERGLASS |
| 11 Louvers | CLEAR STAIN |
| 12 Exposed beams | CLEAR STAIN |

COLOURS

- | | |
|--|---|
| | NORTH HOUSE- MAIN HOUSE and GARAGE - Fiber cement panels (Stone -BM) |
| | NORTH & HOUSE ACCENT WALL - ACM panels (CHI pepper -BM) |
| | SOUTH HOUSE - MAIN HOUSE and GARAGE - Fiber cement panels (Iron Mountain -BM) |
| | BOTH HOUSES - CEDAR SIDING SOFFITS, SOLID LUMBER & FRONT DOORS - Cedar (BM) |
| | BOTH HOUSES - WINDOW SASH & STL. COLUMNS - powder coated Dark Charcoal - ACM Panels |
| | BOTH HOUSES - FASCIA, FLASHING - Dark Charcoal (to match Iron Mountain -BM.) |

HEIGHT CALCULATION IN HOUSE: B
 FRONT AVERAGE : $200.4 + 198.68 / 2 = 199.34'$
 REAR AVERAGE : $191.0 + 190.0 / 2 = 190.50'$
 REFERENCE POINT : $199.34 + (190.50 - 199.34) \times 0.4 = 195.76'$
 ALLOWABLE TOP PLATE : $195.76 + 26.2' = 221.96'$
 ALLOWABLE RIDGE : $195.76 + 33' = 228.76'$

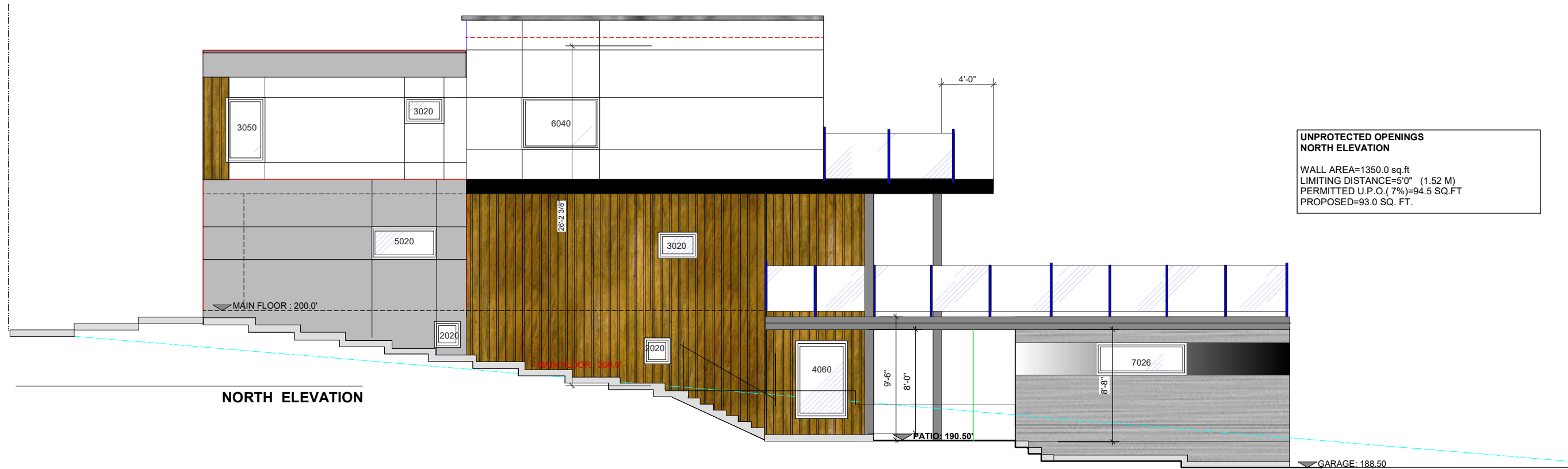


LEGEND:

| | |
|--|--------------|
| | FINISH ELEV. |
| | POWER VENT |
| | FLOOR DRAIN |
| | SMOKE ALARM |

REVISION:

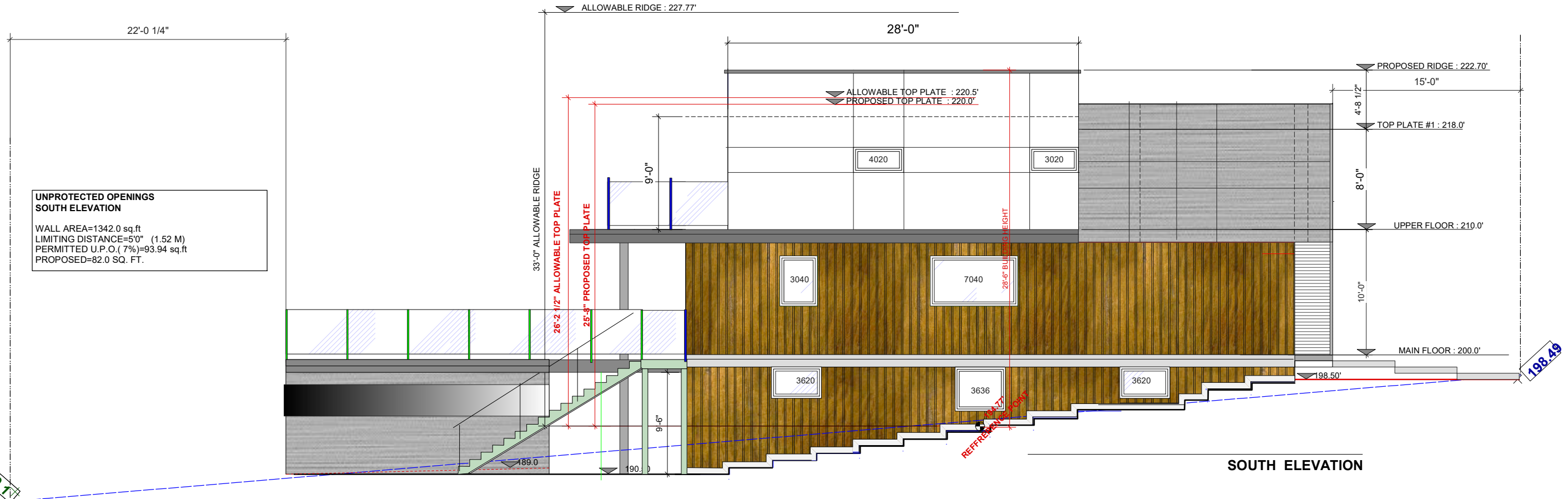
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| 3 | SUBDIV/REZ | SEP. 08, 2021 |
| 2 | SUBDIV/REZ | FEB. 05, 2021 |
| 1 | PRE APP SUB. | MAY 01, 2020 |



**UNPROTECTED OPENINGS
NORTH ELEVATION**

WALL AREA=1350.0 sq.ft
 LIMITING DISTANCE=5'0" (1.52 M)
 PERMITTED U.P.O. (7%)=94.5 SQ.FT
 PROPOSED=93.0 SQ. FT.

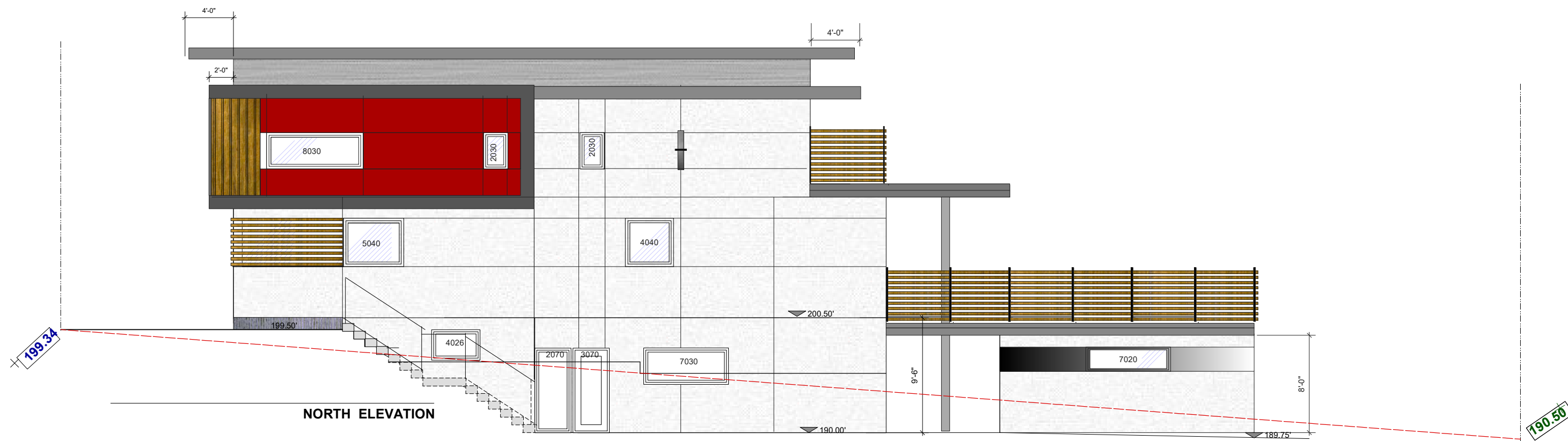
NORTH ELEVATION



**UNPROTECTED OPENINGS
SOUTH ELEVATION**

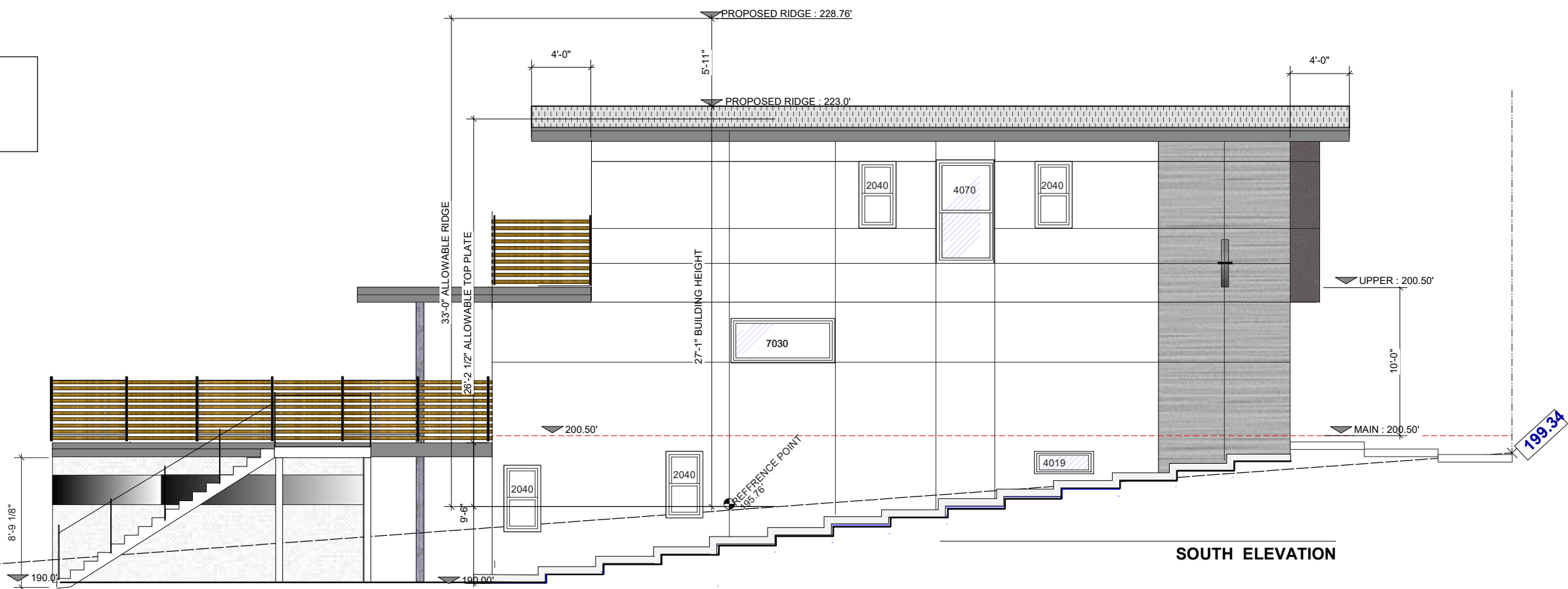
WALL AREA=1342.0 sq.ft
 LIMITING DISTANCE=5'0" (1.52 M)
 PERMITTED U.P.O. (7%)=93.94 sq.ft
 PROPOSED=82.0 SQ. FT.

SOUTH ELEVATION

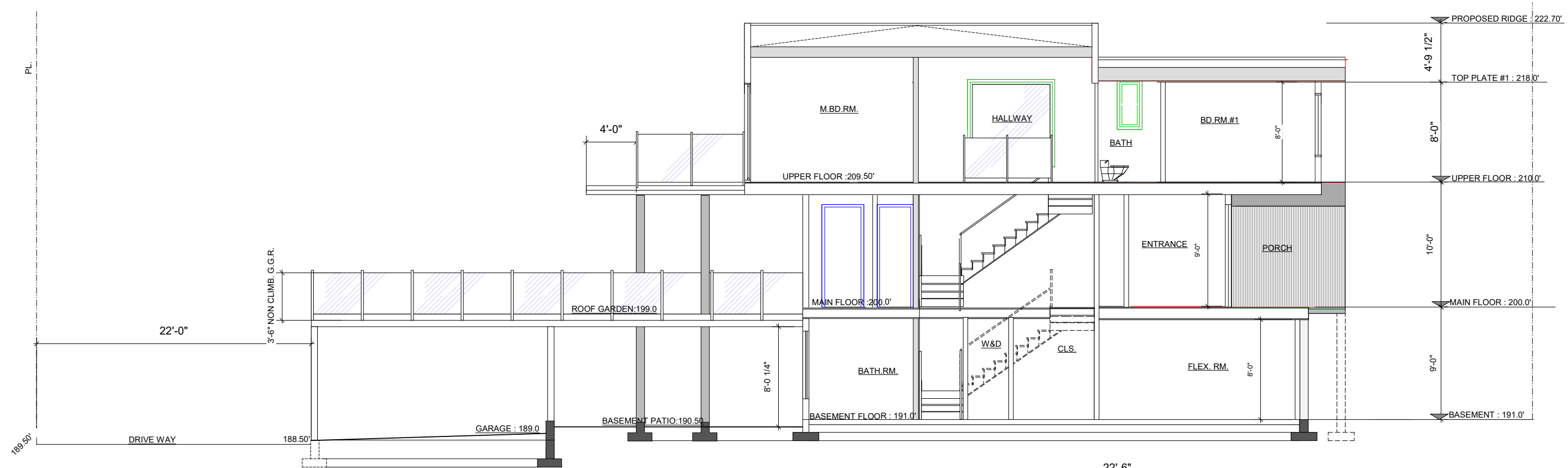


NORTH ELEVATION

UNPROTECTED OPENINGS SOUTH ELEVATION
 WALL AREA=1330.0 sq.ft
 LIMITING DISTANCE=4'0" (1.2 M)
 PERMITTED U.P.O. (7%)=93.1 sq.ft
 PROPOSED=89.0 SQ. FT.



SOUTH ELEVATION



SECTION AA

HEIGHT CALCULATION IN HOUSE: A

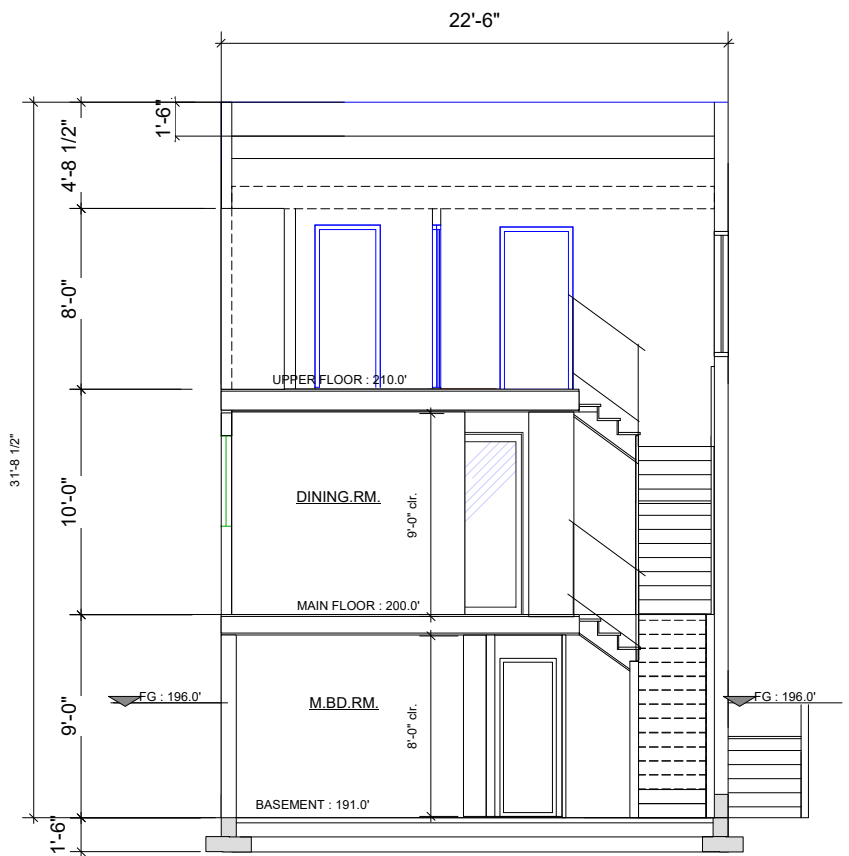
FRONT AVERAGE : $198.68 + 193.36 / 2 = 196.49'$

REAR AVERAGE : $190.0 + 188.20 / 2 = 189.1'$

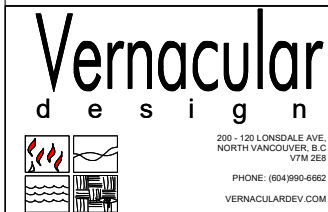
REFERENCE POINT : $198.49 + (189.1 - 198.0) \times 0.4 = 194.77'$

ALLOWABLE TOP PLATE : $194.77 + 26.2' = 220.97'$

ALLOWABLE RIDGE : $194.77 + 33' = 227.77'$



SECTION BB



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GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR DESIGN INC.

LEGEND:

- FINISH ELEV.
- POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

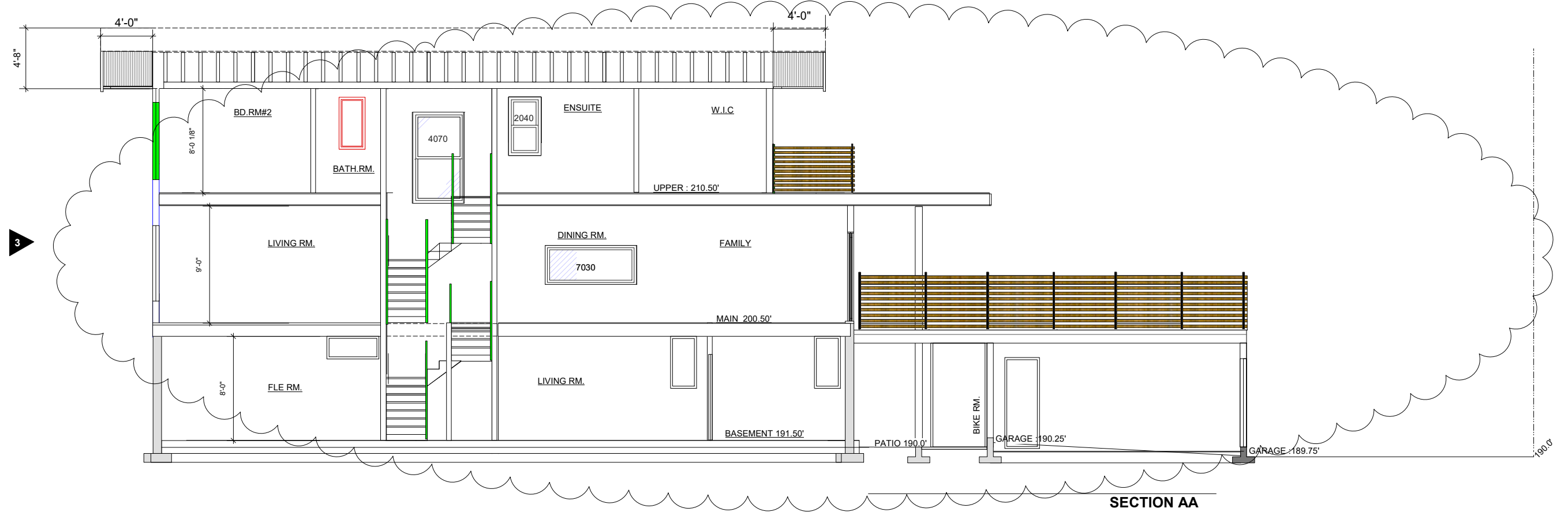
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| 2 | SUBDIV/REVZ | FEB 05 2021 |
| 1 | PRE APP SUB. | MAY 01 2020 |

**1357 JONES AVE.
NORTH VANCOUVER**

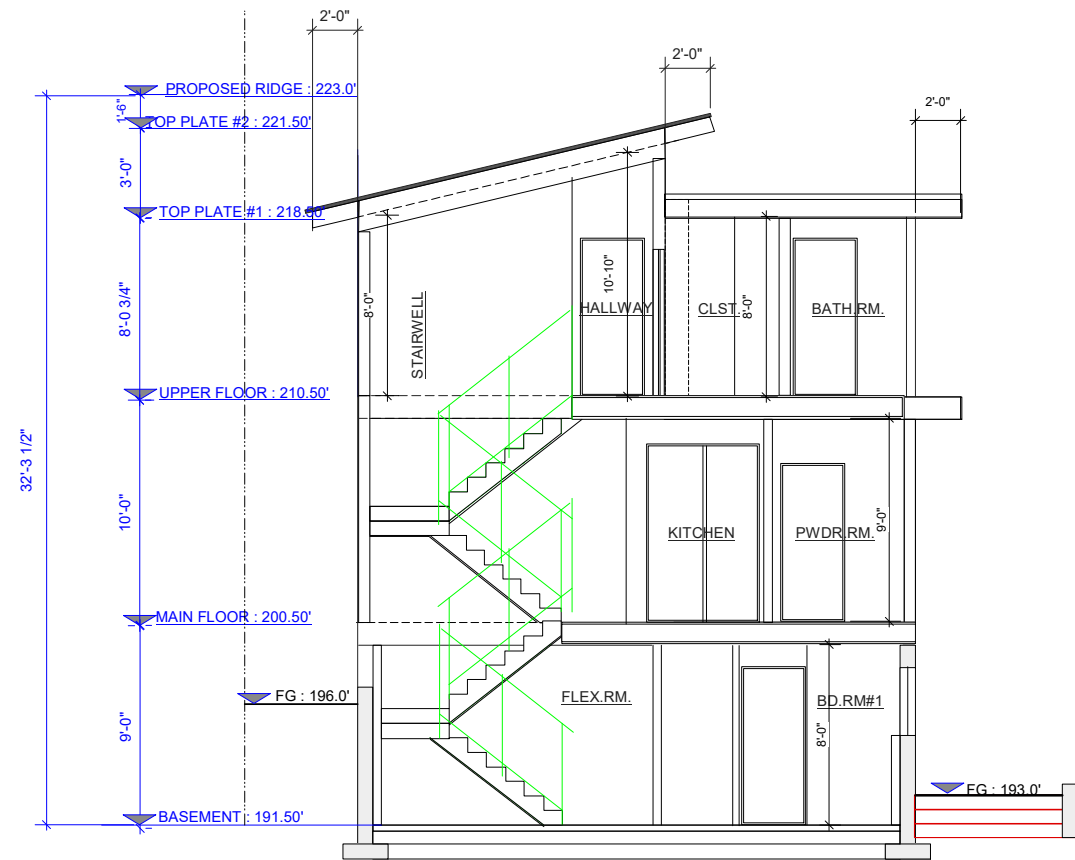
HOUSE A
SECTIONS

DATE:
DRAWN BY :
G.A.
CHECKED BY :
M.R.
R.CH
SCALE: 1/4" = 1 ft

A-10

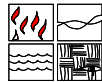


SECTION AA



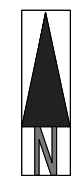
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 REAR AVERAGE : $191.0' + 190.0' / 2 = 190.50'$
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 ALLOWABLE TOP PLATE : $195.76' + 26.2' = 221.96'$
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SECTION BB



- LEGEND:**
- ⊙ FINISH ELEV.
 - ⊙ POWER VENT
 - ⊙ FLOOR DRAIN
 - ⊙ SMOKE ALARM

| No. | REVISION: | ISSUE FOR | DATE |
|-----|--------------|-----------|-------------|
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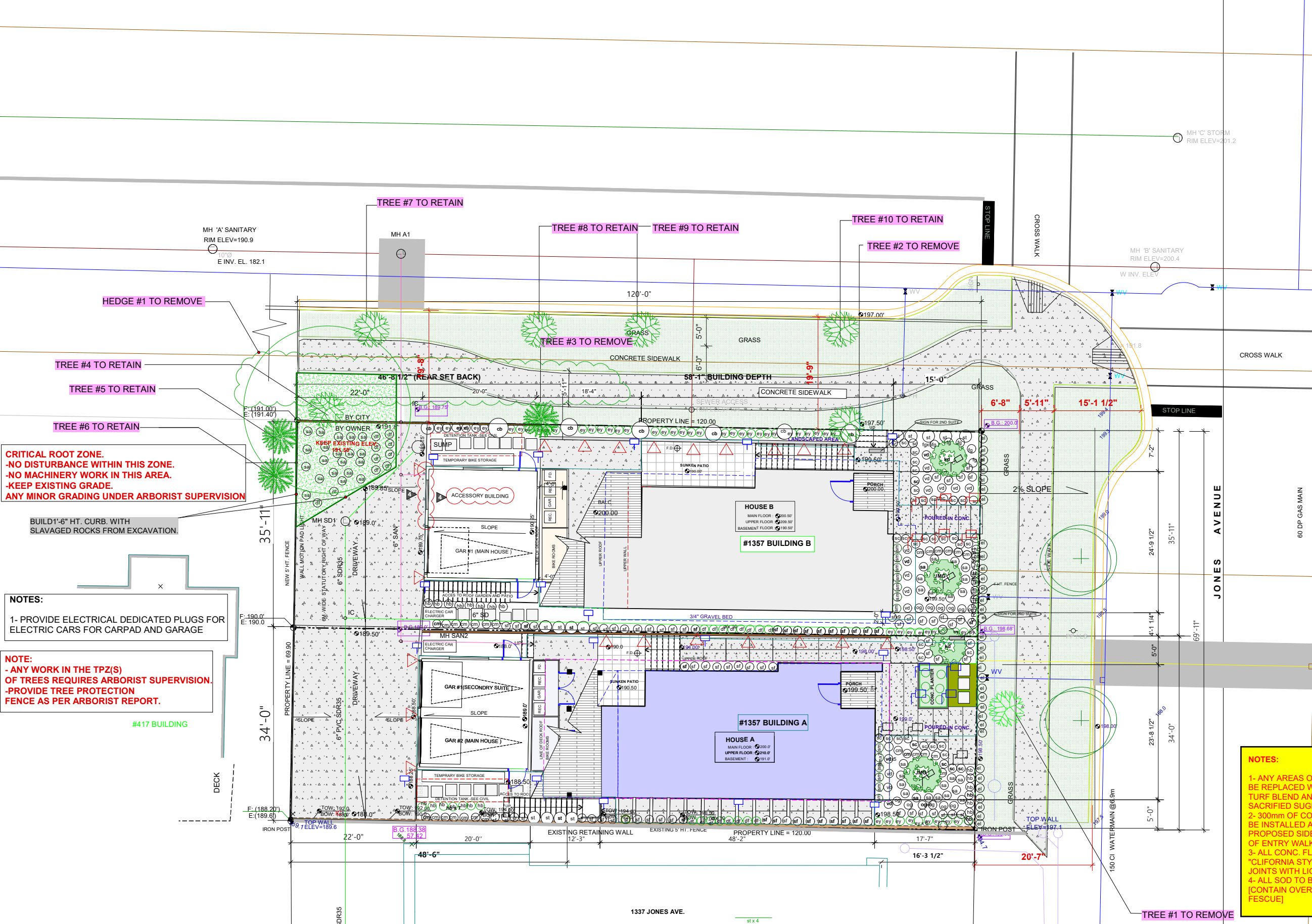
| REVISION: | |
|-----------|--------------------------------|
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| 8 | |
| 7 | |
| 6 | |
| 5 | |
| 4 | SUBDIVIREZ (SITE) SEP 08, 2021 |
| 3 | SUBDIVIREZ (SITE) FEB 16, 2021 |
| 2 | SUBDIVIREZ FEB 05, 2021 |
| 1 | PRE APP SUB. MAY 01, 2020 |
| | ISSUE FOR DATE |

**1357 JONES AVE.
NORTH VANCOUVER**

LANDSCAPE PLAN

DATE:
MAY 2014
DRAWN BY:
G.A.
CHECKED BY:
M.R.
R.CH
SCALE: 1/8" = 1 ft

DRAWING NO.:
L-01



CRITICAL ROOT ZONE.
-NO DISTURBANCE WITHIN THIS ZONE.
-NO MACHINERY WORK IN THIS AREA.
-KEEP EXISTING GRADE.
-ANY MINOR GRADING UNDER ARBORIST SUPERVISION

NOTES:
1- PROVIDE ELECTRICAL DEDICATED PLUGS FOR ELECTRIC CARS FOR CARPAD AND GARAGE

NOTE:
- ANY WORK IN THE TPZ(S) OF TREES REQUIRES ARBORIST SUPERVISION.
-PROVIDE TREE PROTECTION FENCE AS PER ARBORIST REPORT.

NOTES:
1- ANY AREAS OF COMPACTED SOIL TO BE REPLACED WITH 600mm DEPTH OF TURF BLEND AND SOD OVER 150mm OF SACRIFICED SUBGRADE.
2- 300mm OF CONTIN. ROOF BARRIER TO BE INSTALLED AT FRONT EDGE OF PROPOSED SIDEWALKS AND BOTH SIDES OF ENTRY WALKS
3- ALL CONC. FLATWORK TO RECEIVE "CALIFORNIA STYLE" TOOLED CONTROL JOINTS WITH LIGHT BROOM FINISH
4- ALL SOD TO BE CHAFFER-RESISTANT [CONTAIN OVER 70% TALL TURF-TYPE FESCUE]

NOTES:
1- PROVIDE ELECTRICAL DEDICATED PLUGS FOR ELECTRIC CARS FOR CARPAD AND GARAGE

LIGHTING LEGEND:

| | |
|--|---------------------|
| | STEP LIGHT |
| | PATH LIGHT |
| | UPLIGHT |
| | MOTION SENSOR LIGHT |

LEGEND:

| | |
|--|---------------------------|
| | POURED - IN CONC. WALKWAY |
| | PREFAB CONC. SLAB 2'X2' |
| | GRAVEL BED 3/4" THK. |

LEGEND:

| | |
|--|---------------------|
| | F: (FINISHED GRADE) |
| | E: (EXISTING GRADE) |
| | POWER VENT |
| | FLOOR DRAIN |
| | SMOKE ALARM |
| | FINISHED ELEVATION |

1357 Jones Ave

| Type | Code | Common Name | Scientific Name | Size | Qty | Origin |
|---------------|------|-------------------------|-----------------------------------|------------|-----|------------|
| Tree/Hedge | kd | Kousa Dogwood/white fl. | <i>Cornus kousa</i> | 2.0 m. ht. | 2 | non-native |
| Deciduous | cb | Cherry Blossom/columnar | <i>Prunus amurata</i> | 2.5 m. ht. | 7 | non-native |
| Deciduous | fmj | Coral bark Jap. Maple | <i>Acer palmatum Sango-Kaku</i> | 5 cm. cal | 1 | non-native |
| Deciduous | fmr | Japanese maple red | <i>Acer rubrum</i> | 5 cm. cal | 1 | non-native |
| Conifer | ec | Emerald cedar | <i>Thuja occidentalis Smaragd</i> | 1.8 m. ht | 40 | non-native |
| SHRUBS | sc | Sweet box | <i>Sarcococa</i> | #2 pot | 50 | non-native |
| Shrub | vd | Viburnum | <i>Viburnum davidii</i> | #2 pot | 18 | non-native |
| Shrub | st | Strawberry tree | <i>Arbutus unedo</i> | #2 pot | 15 | native |
| Shrub | og | Oregon grape | <i>Mahonia</i> | #2 pot | 15 | native |
| Shrub | el | English Lavender | <i>Lavandula angustifolia</i> | #2 pot | 30 | native |
| Shrub | jm | Japanese skimmia-male | <i>Skimmia japonica</i> | #2 pot | 20 | non-native |
| Shrub | jm | Japanese skimmia-female | <i>Skimmia japonica</i> | #2 pot | 20 | non-native |
| Shrub | ey | English yew | <i>Taxus baccata</i> | #3 pot | 36 | non-native |
| Shrub | hb | Heavenly bamboo | <i>Nandina domestica</i> | #2 pot | 34 | non-native |
| GROUND COVERS | cm | Creeping Mahonia | <i>Mahonia repens</i> | #1 pot | 20 | native |
| Ground covers | lg | Feather red Grass | <i>Calamagrostis</i> | #2 pot | 4 | native |
| Ground covers | df | Deer fern | <i>Blechnum spicant</i> | #2 pot | 80 | native |
| Ground covers | st | Swamp fern | <i>Cyatium munitum</i> | #1 pot | 40 | native |
| Ground covers | sa | Sisal | <i>Calanthe station</i> | #2 pot | 80 | native |