

PUBLIC NOTICE

Regular Council Meeting

Monday, June 19, 2023 at 6:00pm

First Readings of "Zoning Amendment Bylaw No. 8892" and "Housing Agreement Bylaw No. 8893"

1536-1550 Eastern Avenue

Proposal: To rezone the subject property from a Medium Density Apartment Residential 1 (RM-1) Zone to a new Comprehensive Development 743 (CD-743) Zone, to permit the development of a 13-storey building with 118 residential rental units (including 13 mid-market rental units) and a child care facility with up to 81 spaces on the ground level.

Provide written input: All persons who believe their interest in property may be affected by the proposed bylaws will be afforded an opportunity to be heard by written or email submission. **All submissions must include your name and address** and should be sent to the Corporate Officer at input@cnv.org, or by mail or delivered to City Hall, **no later than noon on Monday, June 19, 2023**, to ensure their availability to Council at the meeting. **No Public Hearing will be held.**

Watch the meeting online at cnv.org/LiveStreaming or in person at City Hall, 141 West 14th Street. Enter City Hall from 13th Street after 5:30pm.

View the documents online at cnv.org/PublicHearings

Questions? Matthew Menzel, Planner, mmenzel@cnv.org / 604-982-8337



MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON **MONDAY, MAY 15, 2023**

REPORT

9. Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)
– File: 08-3400-20-0094/1

Report: Planner 2, May 3, 2023

Moved by Councillor Bell, seconded by Councillor Shahriari

PURSUANT to the report of the Planner 2, dated May 3, 2023, entitled “Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT the application submitted by Kenwood Apartments Ltd. / Rafii Architects Inc., to rezone the property located at 1536-1550 Eastern Avenue from a RM-1 Zone to a Comprehensive Development Zone, be considered and referred to a Public Hearing, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the “Density Bonus and Community Benefits” section of the report be secured, through legal agreements at the applicant’s expense and to the satisfaction of staff.

DEFEATED

Acting Mayor Back, Councillor Girard and Councillor McIlroy are recorded as voting in opposition to the motion.

Moved by Councillor Girard, seconded by Councillor McIlroy

PURSUANT to the report of the Planner 2, dated May 3, 2023, entitled “Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT the application submitted by Kenwood Apartments Ltd. / Rafii Architects Inc., to rezone the property located at 1536-1550 Eastern Avenue from a RM-1 Zone to a Comprehensive Development Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the “Density Bonus and Community Benefits” section of the report be secured, through legal agreements at the applicant’s expense and to the satisfaction of staff.

CARRIED

Councillor Bell and Councillor Shahriari are recorded as voting in opposition to the motion.



 R.B. Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Matthew Menzel, Planner 2

Subject: REZONING APPLICATION: 1536-1550 EASTERN AVENUE (KENWOOD APARTMENTS LTD. / RAFII ARCHITECTS INC.) AND TEXT AMENDMENT FOR 1629 ST. GEORGES AVENUE (CD-603)

Date: May 3, 2023 File No: 08-3400-20-0094/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 2, dated May 3, 2023, entitled “Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT the application submitted by Kenwood Apartments Ltd. / Rafii Architects Inc., to rezone the property located at 1536-1550 Eastern Avenue from a RM-1 Zone to a Comprehensive Development Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the “Density Bonus and Community Benefits” section of this report be secured, through legal agreements at the applicant’s expense and to the satisfaction of staff.

ATTACHMENTS

1. Context Map (CityDocs [2324812](#))
2. Resolution from Council meeting minutes of March 28, 2022 (CityDocs [2306604](#))
3. City Policy Overview (CityDocs [2309506](#))
4. Architectural Plans dated May 1, 2023 (CityDocs [2360791](#))
5. Landscape Plans, dated July 19, 2022 (CityDocs [2361086](#))
6. Public Consultation Summary (CityDocs [2112010](#))

7. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892" (CityDocs [2219508](#))
8. "Housing Agreement Bylaw No. 8893" (CityDocs [2337347](#))

SUMMARY

The purpose of this report is to present a rezoning application for 1536-1550 Eastern Avenue to amend the Zoning Bylaw to permit a 13-storey building to accommodate 118 residential rental units (including 13 mid-market rental units), and a child care facility with up to 81 spaces on the ground level.

Included is a proposal to transfer density from a private property at 1629 St. Georges Avenue to the subject site to facilitate the proposed development, which requires a parallel text amendment to CD-603 in the Zoning Bylaw.

The proposal would replace two apartment buildings containing a total of 34 one and two bedroom rental units that were built in the 1960s.

BACKGROUND

Council previously considered a proposal for this site in the spring of 2022. At the time, the proposal was for a 13 storey building, which included 107 residential rental units and a 180 space child care facility on the bottom two floors of the building. Council denied the application at the March 28, 2022 Council meeting (Attachment #2).

Subsequently, the applicant has submitted a new rezoning application with a revised development concept to reduce the number of child care spaces to 81, and increase the number of rental units to 118. The appearance, design elements and orientation of the proposed building remains largely unchanged.

Applicant:	Kenwood Apartments Ltd.
Architect:	Rafii Architects Inc.
Official Community Plan Designation:	Residential Level 6 (R6)
Existing Zoning:	Medium Density Residential 1 (RM-1)
Applicable Policies:	<ul style="list-style-type: none">• 2014 Official Community Plan• City's Strategic Plan• Zoning Bylaw, 1995, No. 6700• Density Bonus and Community Benefits Policy• Residential Tenant Displacement Policy• Housing Action Plan• Child Care Action Plan• Active Design Guidelines

DISCUSSION

Site Context and Surrounding Uses

The subject site is located in the Central Lonsdale area of the City, along the eastern side of Eastern Avenue between East 17th Street to the north, and East 15th Street to the south (Attachment #1). The area consists of high density residential and mixed-use buildings, and one- and two-storey commercial buildings along the east side of Lonsdale Avenue.

Two lanes border the site with an east/west lane along the southern edge of the site and a north/south lane to the east. To the north of the site is the forthcoming 1600 Eastern Park which is an amenity contribution from the recently completed development at 143 East 17th Street.

The buildings and uses immediately surrounding the subject site are described in Table 1 below.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	143 East 17 th Street	13 storey apartment building, separated by a public park.	CD-403
South	136 East 15 th Street	7 storey mixed-use building	CD-176
South	150 East 15 th Street	12 storey apartment building	CD-111
East	1565 St. Georges Avenue	3 storey apartment building	RM-1
East	1549 St. Georges Avenue	4 storey apartment building	CD-660
East	1535 St. Georges Avenue	3 storey townhouse building	RM-1
West	1555 Eastern Avenue	14 storey apartment building	CD-172
West	112 East 15 th Street	14 storey mixed-use building	CD-039

Project Description

The proposal is for a 13-storey residential rental development that includes a child care facility for up to 81 children on the ground level and a total of 118 rental residential units in the tower above. The building includes two levels of underground parking for residents, visitors and the child care use (Attachment #4).

Table 2: Development proposal overview

Element	Proposal
Density	3.45 FSR
Child Care Facility	Maximum number of children = 81 Indoor space – 874 square metres (9,407 square feet) Outdoor space – 475 square metres (5,112 square feet)
Unit Mix	118 residential rental units, including: <ul style="list-style-type: none"> • 24 studio units; • 65 one-bed units; • 14 two-bed units; and • 15 three-bed units (12.7%).
Mid Market Rental	13 units (11%), including: <ul style="list-style-type: none"> • 2 studio units; • 8 one-bed units; • 1 two-bed units; and • 2 three-bed units.
Adaptable Units	34, Level 2 adaptable units (28.8%)
Residential Amenity	Indoor – 417 square metres (4,488.5 square feet) Outdoor – 742 square metres (7,987 square feet)
Storage Lockers	122

13 of the units (11%) are proposed as mid-market rental units and 34 of the units (28%) are proposed to meet Level 2 of the Adaptable Design guidelines. All units will be secured through the Housing Agreement for the life of the building.

Additionally, two units are intended to be allocated for child care staff housing and offered at the same rental rates as the mid-market rental units. These will also be secured in the Housing Agreement and would be in addition to the 13 mid-market rental units.

PLANNING ANALYSIS

Policy Context

The subject site is designated Residential Level 6 – High-Rise Apartment in the Official Community Plan (OCP). The purpose of this designation is to provide well-designed high density development in the Lonsdale Regional City Centre with a maximum density of 3.3 FSR (including 1.0 bonus FSR) and maximum building height of 37 metres.

A description of how the proposed development meets the City’s policy objectives can be found in Attachment #3.

Built Form and Urban Design

The proposed built form is consistent with the character of the neighbourhood. The proposed height at 37 metres (and 13 storeys) complies with the OCP and ensures the building integrates with existing and future developments on adjoining lots, as well as establishes an appropriate street wall along Eastern Avenue. Tower positioning has been considered to ensure an appropriate separation to other nearby towers.

Positioning of the residential and child care lobbies, along with orientation of upper level roof decks and balconies creates a positive interface with Eastern Avenue. The primary stairs leading to the upper floors are visible from the lobby to encourage active use.

A high level of laneway activation and casual surveillance is achieved through delivery of five ground-oriented rental units with private recreation areas overlooking the southern laneway and orienting the communal outdoor amenity area and upper level private balconies towards the two laneways.

The proposal will also deliver several on-site amenity areas including two large indoor amenity rooms and two roof-level decks, as well as a pet play and relief area on Level 4, to encourage social interaction amongst the residents of the building.

Density

The proposed density is 3.45 FSR and consists of two components:

1. OCP maximum density of 3.3 FSR (including 1.0 FSR bonus density) for the Residential Level 6 land use designation; and
2. Transfer density of 0.15 FSR equaling 338.7 square metres (4,184 square feet).

The applicant is proposing a density transfer of 338.7 square metres (4,184.0 square feet) from a nearby site to increase the allowable FSR to 3.45. The available density is being held in a transfer bank within the CD-603 Zone that is tied to 1629 St. Georges Avenue. This would enable the delivery of additional rental units, including mid-market rental units and family friendly units.

Section 2.3 of the OCP gives Council the ability to authorize a density transfer. For this proposal, the transfer is through a private arrangement where the available density can only be sold to another development site, preferably in the immediate area. This transfer is done by a parallel text amendment to the CD-603 zoning for the donor site to reduce the allowable density on that site.

The subject site is able to accommodate the small amount of additional density without the resultant building form exceeding the maximum 37 metre height limit established in the OCP. The building can also accommodate all required vehicle and bicycle parking.

The total proposed density is supported by staff given that the built form and urban design elements of the project fit within the context of the neighbourhood.

Child Care Facility

Demand for child care is increasing with both the increase in population, as well as new initiatives from both the Federal and Provincial governments aimed at increasing supply and affordability. The subject site is identified within the Lonsdale Regional City Centre which is envisaged to accommodate regional-scale employment, services, business and commercial activities, along with high density housing. It is located within walking distance to two existing frequent transit routes, along Lonsdale Avenue and East 15th Street. It's central location in a higher density neighbourhood make it ideal for the development of a child care facility. It offers convenience for families who live or work

nearby, encourages walking and cycling, and the facility will be more attractive to potential employees by providing access to transportation alternatives.

Alignment with the Child Care Action Plan 2021-2031

The City of North Vancouver's *Child Care Action Plan 2021-2031* (December 2020) identified a shortage of child care spaces throughout the City.

As of 2019, there were only 25 child care spaces for every 100 children in the City (0-12 years of age). The child population in the City of North Vancouver is projected to grow 23% by 2030, which equates to an additional 1,541 children. In order to maintain the current child care access rate, a total of 674 new child care spaces would need to be created by 2031. To improve the City's child care access rates, the City set a target to create 1,063 new spaces over by 2031, as detailed in *Table 3*:

Table 3: CNV targets for new licence child care spaces

Program Type	Target for Average Access Rate by 2031	Number of Spaces needed to meet target by 2031
Infant and Toddler	33 spaces per 100 children	299 new spaces
Preschool (3-5 year olds)	50 spaces per 100 children	300 new spaces
School age (6-9 year olds)	33 spaces per 100 children	464 new spaces

Under the *Child Care Action Plan 2021-2031* the subject site is located within the 'Central Planning Area'. The area is home to approximately 39% of the City's child population and is projected to continue to increase, but has child care access rates well below the above noted targets:

- Age 0-2: 16 spaces / 100 children
- Age 3-5: 34 spaces / 100 children
- School Age: 9 spaces / 100 children

Proposed Operation:

The applicant is proposing a privately operated child care facility for up to 81 children, including both infant/toddler and pre-school programs. The facility would be contained on the first floor of the development, with access via Eastern Avenue. Approximately 22 staff members will be required to operate the facility, which will be confirmed as part of Vancouver Coastal Health's childcare licensing process.

Design Guidelines

When Council considered the previous application for this site in 2022, Council directed staff to develop a policy regarding the appropriate scale and capacity of child care facilities to align with the neighbourhood context. Staff are including this work in the upcoming Community Wellbeing Strategy.

As noted, the Province is developing new policy as well as design guidelines for child care facilities, which are expected to be approved in spring 2024. In the meantime, the Province is recommending using the City of Richmond Child Care Design Guidelines as best practice. Once the guidelines are made available, staff will review and consider if any other policy measures should be explored in alignment with Council's priorities.

As part of the review of the proposed rezoning application, Vancouver Coastal Health is required to undertake a review of the proposed child care facility, specifically in relation to licensing requirements, as well as the design of the proposed facility. Vancouver Coastal Health's review and requirements for the rezoning stage have been completed as being satisfactory. A more comprehensive review of the proposal will be undertaken at the building permit stage of development by a qualified third party.

Design Features

The proposed child care facility has been located within the northern portion of the ground level. Access to the facility would be via a designated pedestrian entrance extended from Eastern Avenue, to the north of the main residential entrance. The proposed elevators will be shared between the residential rental units and the child care operator, ensuring secure and equitable access to the proposed car parking spaces within the P1 Level (discussed further below).

An indoor amenity room is proposed to be shared amongst the different programs. The proposal has provided outdoor play space adjacent to the north end of the facility and the forthcoming urban park.

Co-location of the outdoor play area with the future urban park will ensure that potential noise impacts on sensitive land uses are mitigated to the extent possible. The outdoor space and the future urban park is separated by a six-foot-tall timber fence, which will sit on top of a two-foot-high retaining wall. The facility will not have direct access to the park to the north.

The applicant's architect has provided a preliminary assessment of the proposal against the provisions in the City of Richmond's Child Care Design Guidelines.

During the review of the Building Permit application, the applicant will be required to submit a professionally prepared analysis and report on the alignment of the detailed child care plans with the City of Richmond design guidelines. Staff will review the report for alignment with the guidelines including provision of shared/common areas, indoor activity areas, support spaces and outdoor activity areas. The final number of child care spaces will be determined by the capacity of the facility, up to the proposed maximum of 81 spaces.

Staff Accommodation:

The applicant is proposing two of the residential units to be used for child care staff accommodation and is accessed from the south lane. The intent is to improve access to housing options for staff and to help reduce commuting time. The applicant is proposing each unit to be fully furnished, offered at below-market rental rates and would accommodate two staff members each. Tenancy of these units would be conditional of employment by the child care facility. Should the units not fit with the plans of the child care provider, they may be placed in the general rental pool. These units would not affect the number of MMR units being proposed.

Pick-up and Drop-off

The proposal includes 9 car parking spaces within the P1 Level, for exclusive access by the child care facility, consistent with the requirements of the Zoning Bylaw. It is also proposed that the thirteen residential visitor parking spaces be shared between residential and child care users, which will increase the availability of parking spaces for use during peak pick up/drop off (further commentary regarding this arrangement is provided below).

The location is close to many high-density residential buildings and is also close to a main public transit intersection at 15th Street and Lonsdale Avenue. It is anticipated that many users would be arriving from nearby residential buildings on foot or using public transit. Those using private vehicles can access the designated pick-up and drop-off areas on the P1 level of the underground parkade. The location of the parking is intended to mitigate noise and street disruption during these times.

Proposed Zoning Changes

The proposed Comprehensive Development Zone will be based off of the High Density Apartment Residential 1 (RH-1) zone, consistent with the proposed use types and recent developments within proximity to the site, including 245 East 16th Street & 250-252 East 15th Street (CD-726). To allow the massing, the proposed bylaw would include the following modifications to the RH-1 zone base:

Table 4. Summary of Proposed Zoning Compliance and Changes

	BASE RH-1 ZONE	PROPOSED CD-749 ZONE
Permitted Principal Uses	Apartment Residential Use Child Care Use Accessory Residential and Parking Uses	Rental Apartment Residential Use Child Care Use Accessory Residential and Parking Uses
Density Maximum	2.6 FSR	3.45 FSR
Lot Coverage Maximum	50 percent	58.25 percent
Height Maximum	30.48 metres (100 feet)	13 storeys and 37 metres (in accordance with OCP)
Siting	7.62 metres (25 feet) from a Lot line.	Northern boundary: <ul style="list-style-type: none"> • 9.75 metres; • 0 metres for the second floor deck, up to a maximum width of 5.75 metres (18.9 feet). Southern boundary: <ul style="list-style-type: none"> • 4.6 metres (15.1ft) Eastern Boundary: <ul style="list-style-type: none"> • 2.48 metres (8.10 feet)

BASE RH-1 ZONE		PROPOSED CD-749 ZONE
		Western Boundary (Eastern Ave): <ul style="list-style-type: none"> • 2.0 metres (6.56 feet) at podium level.
Tower Separation	All portions of Principal Building exceeding four storeys shall be sited at least 24.38 metres (80 feet) from all other portions of Principal Buildings exceeding four Storeys.	Minimum of 23.7m (77.75 feet)
Building Width & Length	Maximum 30.48 metres (100 feet) above the third storey	Maximum of 33 metres (108.3 feet) above the third storey
Child Care Spaces	20 spaces	Up to a maximum of 81 spaces

Child Care Spaces

The proposed development will result in an increase the number of children in a Child Care Use from 20, to a maximum of 81 children on the subject site.

The 20 space limit was intended to restrict the size of child care facilitates in low density residential areas. As outlined above, the proposed variance to allow up to 81 children is supported given the need for new child care spaces, particularly within the Regional City Centre which contains high density residential uses, and large scale employment generating uses.

Tower Separation

The development proposes a minor variation to the tower separation requirement of 24.38 metres (80 feet). Specifically, a very small portion of the building will be separated by a minimum of 23.7 metres (77.75 feet) from the nearby tower on the site at 134-140 East 15th Street.

The proposed variation to tower separation is limited to a very small portion of the building in the south-west portion of the building. The proposed variance is considered minor, and will not result in any additional overlooking impacts to nearby residents in comparison to a compliant building. The positioning of the tower element towards the southern portion of the site has been requested to minimize potential shadow impacts on the future park to the north.

It is anticipated that a future redevelopment of the nearby site at 134-140 East 15th Street can be designed to meet the required tower separation distance. The proposed variance to tower separation is generally consistent with similar developments within the vicinity, including 245 East 16th Street & 250-252 East 15th Street (CD-726).

Lot Coverage, Siting and Building Length and Width

The proposed development has provided a suitable built form outcome, given the high density context defining the subject site.

The proposed elevations have been designed with appropriate articulation along the length of the building, including steps in the building line, and inclusion of attached and recessed balconies. The building adopts a contemporary design, which utilizes a variety of façade materials. These built form elements appropriately break up the form of the building and reduce the perceived building bulk, despite the minor variances proposed.

The site has been designed with appropriate landscaping treatments throughout the site and within the streetscape, to soften the built form elements and enhance amenity for residents. These landscaping treatments and streetscape upgrades will ensure the development positively contributes to the streetscape.

Parking, Loading and Transportation

The proposal is located within the Lonsdale Regional City Centre and is within walking distance to nearby shops and amenities. The site is less than a block away from a key public transit intersection with bus routes on the Frequent Transit Network: Lonsdale Avenue, providing a frequent link along Lonsdale and to the SeaBus; and 15th Street providing a link to Lynn Valley, Marine Drive and Downtown Vancouver. The site is located a block away from the 17th Street bike route, which is part of the City’s developing AAA bicycle network. Residents and child care users will have multiple active transportation and transit options to access the site.

Generally, the application meets the requirements of the Zoning Bylaw.

Table 5: Proposed Vehicle and Bicycle Parking

Car Parking	Total of 93 spaces, comprised of: <ul style="list-style-type: none"> • 71 Resident parking spaces (including 4 accessibility spaces); <ul style="list-style-type: none"> ○ 0.6 spaces per unit; • 13 Residential Visitor spaces; and • 9 day care spaces (including one disability space). Note: The 13 residential visitor parking spaces are to be shared with users of the proposed child care facility.
Bicycle Parking	Residential: <ul style="list-style-type: none"> • Secure – 183 spaces; • Short Term – 12 spaces. Child Care: <ul style="list-style-type: none"> • Short Term – 2 spaces. Shared Residential & Child Care: <ul style="list-style-type: none"> • 15 e-bike spaces.
Loading Spaces	One at-grade loading bay.

Shared Residential Visitor and Child Care Vehicle Parking

The development involves a variation to the usage of the proposed residential visitor car parking. Specifically, it is proposed that the 13 residential visitor car parking spaces provided will be shared with the users of the child care facility.

Given the child care facility and residential visitor parking will have different peak use times, the shared arrangement for these spaces will make better use of the overlapping parking demands generated by the child care users and residential visitors. Use of these car parking spaces will be jointly managed by the child care operator and rental

manager of the building, and the terms can be specified in the development covenant. Appropriate signage will be installed and maintained to manage this arrangement. The residential visitor and child care facility parking provided will help reduce on-street parking pressure.

The subject site is located in a centralized location, within proximity to frequent transit corridors with inbound and outbound bus stops located within walking distance of the site. On this basis, it is anticipated that the majority of visitor trips to the site will be by transit and active transportation modes. The proposed development has provided 14 bicycle parking spaces for residential visitors and child care users adjacent to the lobby, to promote use of active transportation. Additionally, a bike room containing 15 e-bike parking spaces will be available for residents, residential visitors and child care staff.

Given the expected reduced demand for parking on the site, the proposed variance is supported.

Off-Site Works and Infrastructure Upgrades

The proposed development will provide appropriate off-site streetscape upgrades consistent with the Subdivision and Development Control Bylaw. Frontage works along Eastern Avenue will improve the pedestrian environment through the installation of a wider sidewalk, a grassed boulevard with street trees, and street lighting.

The lane to the south will also be improved through provision of a dedicated sidewalk fronting the townhouse units facing the lane. A public walkway will be provided along a portion of the east lane from the northern end of the parkade access to the northern property line, to facilitate a public walkway that would connect with the new park to the north of the site. These public walkways will be secured through provision of a statutory right of way.

In addition to the bylaw required infrastructure upgrades, works will also be undertaken to improve pedestrian crossings at the intersection of Eastern Avenue and East 15th Street. The applicant has also agreed to provide a financial contribution of \$220,000 towards the installation of a new traffic light at the St. Georges and East 17th Street intersection.

These requirements will be secured through a Servicing Agreement with the City.

Residential Tenant Displacement Policy

The applicant has obtained a private company to manage the relocation of existing tenants and submitted their relocation plan that will be an appendix to the Housing Agreement (Attachment #8).

When the first application was received, a letter was sent out to the tenants prior to the application being filed with the City on September 21, 2020, to introduce the plans for the property. Further information was provided to the tenants on June 30, 2021 that included a possible timeline of events occurring and outlined one-on-one meetings with the relocation coordinator, as well as information on the applicant's VDIS meeting and

most recent updates on how they could participate. Communication with tenants has been ongoing since this re-application.

With the submission of the current application, the applicant has updated their Tenant Relocation Plan to meet with the current Residential Tenant Displacement Policy that was amended in July 2021. Letters have been sent to all tenants describing the current application and the new compensation packages. The new compensation package includes the following:

Length of Tenancy	Financial Compensation Amount
Less than 5 years	4 months' rent
More than 5 years	4 months' rent plus (total tenancy length in months -60) x \$25

Moving expenses will also be modified with a flat rate payment based on the number of bedrooms according to the following:

- \$1,000 for one bedroom units; and
- \$1,250 for two bedroom units.

These rates will be adjusted to meet annual Consumer Price Index (CPI) from the date of the policy.

At the time of this report, the applicant informed staff that since 2020, eight of the existing 34 tenancies have relocated. One of the tenants moved prior to this application and used the relocation assistance to move within the city. Others have relocated on their own based on each individual circumstance, such as relocated out of the region or country due to work, or family situations. The tenant using the relocation service was done prior to this application and was subject to the relocation plan based on the 2015 policy at the time. An update on the status of tenant relocation can be provided should Council move the application forward.

Since making the current application, the applicant has temporarily rented out the vacant eight units at below market rates with the understanding that this is a temporary tenancy and that the relocation services offered to the existing tenants prior to the application being made would not be applied.

Under the provincial *Residential Tenancy Act*, the earliest the applicant may issue notice to end tenancy is when all permits have been issued for the development. The notice shall be a minimum of four months' notice.

Density Bonus and Community Benefits

The City's Density Bonus and Community Benefits Policy, in conjunction with the Official Community Plan, allows for density bonuses beyond 2.3 FSR as listed in the Residential Level 6 land use designation, up to a maximum of 3.3 FSR.

The policy enables applicants seeking additional density to provide community benefits to the City. To achieve the desired 1.0 FSR bonus density, the applicant has agreed to secure, through the registration of a Housing Agreement (Attachment #8), all proposed

118 units as rental units in perpetuity, as well as to provide 13 of these units at Mid-Market rates (i.e. units that are set at 10% below Canada Mortgage and Housing Corporation average market rents for the City, based on unit type) in perpetuity.

In addition to secured market and mid-market rental units, staff are seeking Council direction to secure the following items as conditions of this rezoning:

- A financial contribution of \$220,000 towards the future traffic light installation at St. Georges and East 17th Street as determined by the developer's consultant and confirmed by staff;
- public access right-of-way along part of the eastern and southern boundaries, to provide public access to the proposed plaza areas; and
- Public Art to a value of \$125,000.

Legal Agreements

Should Council support this rezoning, the following legal agreements will be prepared prior to final adoption:

- Development Covenant;
- Housing Agreement;
- Servicing Agreement;
- Flooding Covenant;
- Crane Swing and Shoring Agreement;
- Community Good Neighbour Agreement; and
- Community Energy Agreement.

ADVISORY BODY INPUT

Advisory Design Panel

This application is a revised development concept for the same site that Council saw in March 2022. The application is largely the same, with the exception of a significantly smaller child care facility. The resulting change in the overall design of the proposal did not warrant another review of the Advisory Design Panel, who supported the previous review along with the requested revisions to the satisfaction of staff.

COMMUNITY CONSULTATION

The applicant held their Developer Information Session (DIS) during their previous application on July 22, 2021, which was attended by 11 people. Twenty-three comment forms were received and there was a mixture of support and opposition (Attachment #6).

With the submission of their recent application, it was decided that given the minor changes to the application, a new DIS was not required. Instead, updated notifications to the neighbouring area were sent out on October 17, 2022 to highlight the proposed changes. No comments have been received from this notification.

Overall, those who support the proposal liked the design of the building, the inclusion of mid-market units and a child care facility.

The comments that were opposed to the application expressed concerns about the amount of construction in the area over the past several years, and the noise that occurs during the day when people are working from home more often. There have been concerns received about the existing trees on the site, in particular a cedar tree fronting Eastern Avenue.

Construction Impact Management

In addition to the City's *Construction Regulation Bylaw* and *Noise Control Bylaw*, the City has implemented the construction ambassador program, which assigns a bylaw officer that specifically monitors construction sites, and does hands-on work with construction crews on mitigating neighbour disruptions during the construction phase.

A Traffic Management Plan, Erosion and Sediment Control Plan and Construction Management Plan will be developed and reviewed by Development Services, to lower anticipated impact on the neighborhood during construction.

A Good Neighbor Agreement will be executed prior to adoption to manage potential impacts associated with the construction phase, and create clear communication between the contractor and the surrounding community regarding major construction disturbances. This process includes the developer appointing a Communications Officer, who can respond to potential complaints and enquiries from nearby residents.

Tree Removal

While the application is subject to the requirements of the Tree Bylaw, staff have resolved to continue with review of the current development scheme, which will result in the removal of all of the existing trees on the subject site (i.e. 21 trees). This is based on the fact that the built form of current development is substantially the same as the previous proposal which, at the time, was not subject to the requirements of the Tree Bylaw.

With that said, staff have worked to ensure a suitable outcome has been facilitated, which appropriately offsets and compensates the City for any removal of existing trees.

Staff considered that the existing Cedar tree along Eastern Avenue represented the most suitable tree for retention. However, upon further investigation by the applicant's architect, it was determined that its retention would require a substantial redesign of the building, resulting in the following impediments to the development:

- Conflict with the current location of the parade ramp;
- Impact on the functionality, design and configuration of the child care facility;
- A substantial reduction of parking stalls; and
- Impact to the design and configuration upper level residential units.

To offset the removal of the existing trees on the site, the applicant is proposing 33 replacement trees to be provided throughout the new development and within the City's

boulevard. This will include provision of two conifer tree specimens within a deep planting area adjacent to the northern boundary.

Additionally, the Tree Bylaw will require an estimated cash contribution of \$30,000 to cover the relevant Ecological Compensation Fee and Tree Replacement Cash-in-lieu to compensate the City for the removal of the trees. This money will be used by the Parks Department to increase the tree canopy throughout the City's public realm and park networks. The final amount will be determined through assessment of a Tree Removal Permit, subsequent to the rezoning phase.

PROCESS WHEN NO PUBLIC HEARING HELD

The *Local Government Act* assumes no Public Hearing is held for proposed zoning bylaw amendments if the bylaw is consistent with the OCP. A local government must pass a resolution if it wishes to hold a public hearing.

Given the proposal's consistency with the OCP, and minimal feedback from the public during the consultation period, staff recommend that no public hearing be held for this application.

Should Council wish to refer the application to a Public Hearing, the first active clause in the resolution should be amended to read as follows:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892" (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be considered and referred to a Public Hearing;

THAT "Housing Agreement Bylaw, 2023, No. 8893" (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be considered and referred to the same Public Hearing;

CONCLUSION

This proposal is consistent with the Official Community Plan and will deliver 118 new rental apartment units, including 13 below market units for the life of the building, 2 units that would be offered to childcare staff at below market rates and address childcare needs within the Lonsdale Regional City Centre through the provision of a private child care facility with up to 81 spaces. The subject site's proximity to existing amenities, commercial areas, and public transit makes it an appropriate site for this type of proposal.

RESPECTFULLY SUBMITTED:



Matthew Menzel
Planner 2



MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON **MONDAY, MARCH 28, 2022**

REPORT

14. Rezoning Application for 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Zoning Text Amendment for 1629 St. Georges Avenue (CD-603) – File: 08-3400-20-0038/1

Report: Development Planner, March 16, 2022

Moved by Councillor Girard, seconded by Mayor Buchanan

PURSUANT to the report of the Development Planner, dated March 16, 2022, entitled “Rezoning Application for 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Zoning Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be considered and referred to a Public Hearing;

THAT “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be considered;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the report, in the section “Density Bonus and Community Benefits” be secured, through agreements at the applicant’s expense and to the satisfaction of staff.

DEFEATED UNANIMOUSLY

BYLAWS – FIRST AND SECOND READINGS

Moved by Councillor Bell, seconded by Councillor Back

15. THAT Item 15 – “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be removed from the agenda.

CARRIED UNANIMOUSLY

Moved by Councillor Bell, seconded by Councillor Back

16. THAT Item 16 – “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be removed from the agenda.

CARRIED UNANIMOUSLY

**Policy Objectives for:
1536-1550 Eastern Avenue
PLN2022-00022**

The project is in keeping with the goals and objectives of the following City policies:

Official Community Plan	
<p><u>Policy 1.1.1</u> <i>Plan for growth in the City's population, dwelling units and employment in keeping with the projections in Metro Vancouver's Regional Growth Strategy.</i></p>	<ul style="list-style-type: none"> • Intensification of the existing site supports the use of local amenities, including the new urban park to the north of the site. • Nearby services and public transit are nearby along both Lonsdale Avenue and 15th Street. • The site is close to Lions Gate Hospital.
<p><u>Policy 1.1.3</u> <i>Balance the number of jobs to number of residents employed in the labour force in the City, reducing the need for longer commute distances for City residents.</i></p>	<ul style="list-style-type: none"> • The proposed child care would employ approximately 22 staff and provide on-site housing for up to 4 child care staff. This would result in less commuting time and more staff being housed in North Vancouver.
<p><u>Policy 1.1.4</u> <i>Support the role of the Lonsdale Regional City Centre as the urban core of the City, reducing the need for longer commute distances for City residences.</i></p>	<ul style="list-style-type: none"> • The subject site is located in Central Lonsdale, close to many services and employment opportunities along the Lonsdale Avenue corridor and Lions Gate Hospital.
<p><u>Policy 1.1.7</u> <i>Allow for accessory uses, such as home-based businesses and childcare, in residential areas.</i></p>	<ul style="list-style-type: none"> • The proposal would supply a child care facility for up to 81 children from infant to pre-school, and would be zoned to allow desk and computer style home-based businesses in this residential area.
<p><u>Policy 1.2.1</u> <i>Ensure the location, density, design and durability of developments and their infrastructure are informed by the best available science on climate impacts.</i></p>	<ul style="list-style-type: none"> • The proposed development is located close to the Lonsdale Avenue corridor and is utilizing an existing site and infrastructure to densify, while proposing to achieve an energy level of Step 3 in the BC Building Code.
<p><u>Policy 1.3.1</u> <i>Ensure that new development is compatible with the established urban form of the City, reflecting primacy of the Lonsdale Regional City Centre and the transition through mid and low-rise buildings to lower-density residential neighbourhoods.</i></p>	<ul style="list-style-type: none"> • The proposal includes high-quality materials and design in a location that is one block east of Lonsdale Avenue. • The scale of the proposed building provides a good example for higher density buildings found and permitted in the Central Lonsdale area.

<p><u>Policy 1.3.6</u> <i>Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner.</i></p>	<ul style="list-style-type: none"> • Design and materials are consistent with those found in the local context. • Landscaping utilizes native plant species.
<p><u>Policy 1.3.9</u> <i>Explore ways to activate laneways in the City including opportunities for varied uses, pedestrian and cycling activity, as well as stormwater management and urban agriculture.</i></p>	<ul style="list-style-type: none"> • The proposed townhouse units fronting off the south lane helps activate the lane for pedestrian use.
<p><u>Policy 1.3.10</u> <i>Encourage active, healthy lifestyles and the opportunity for more social connections through planning and active design principles that encourage physical activity and contribute to enhanced walkability and active streets, sidewalks and public spaces.</i></p>	<ul style="list-style-type: none"> • The proposal includes several common amenities, such as a gym, games room and an outdoor rooftop terrace on the fourth level, and an additional indoor amenity room and outdoor terrace on the rooftop. • The location is close to local services along both Lonsdale Avenue, East 15th Street, Lions Gate Hospital and a new urban park.
<p><u>Policy 1.4.1</u> <i>Consider the needs of households with children in the design of multi-family developments.</i></p>	<ul style="list-style-type: none"> • The proposal would provide fifteen 3-bedroom units and is located next to a new urban park.
<p><u>Policy 1.4.3</u> <i>Consider recreational, cultural and other community spaces as aspects of informal community living rooms and essential ‘social infrastructure’, particularly in high-density neighbourhoods like Central/Lower Lonsdale.</i></p>	<ul style="list-style-type: none"> • Two outdoor amenity spaces, a games room, a gym and a multi-purpose room are proposed to increase opportunities for social interaction.
<p><u>Policy 1.4.4</u> <i>Incorporate active design principals in new development that encourage physical movement and social interaction, thereby contributing to a healthier community.</i></p>	<ul style="list-style-type: none"> • The application is proposing arrangements for active movement throughout the building, as well as proposing several common amenity areas to encourage active social interaction.
<p><u>Policy 1.4.5</u> <i>Focus amenity and infrastructure investments in the Lonsdale Regional City Centre and Frequent Transit Development Areas.</i></p>	<ul style="list-style-type: none"> • The proposed child care at this location would attract children within the same high density neighbourhood. • The location is one block away from an active public transit intersection that would allow a convenient option to access the facility.
<p><u>Policy 1.5.1</u> <i>Provide opportunities for a range of housing densities, diversified in type, size and location.</i></p>	<ul style="list-style-type: none"> • The proposal would provide 118 new rental units with a range of unit types from studio to fifteen 3-bedroom units and ranging in sizes from 403 to 1,427 sq. feet.

<p><u>Policy 1.5.4</u> <i>Prioritize the development and revitalization of affordable rental housing and use density bonusing and density transfers to incentivize the retention, renewal and/or replacement of rental units as a public benefit.</i></p>	<ul style="list-style-type: none"> • 118 residential rental units are proposed, including 13 mid-market units, will be secured by a Housing Agreement for the life of the building.
<p><u>Policy 1.5.6</u> <i>Ensure a sufficient number of new apartment buildings provide accessible units and that these accessible units are represented across various unit sizes.</i></p>	<ul style="list-style-type: none"> • The proposal exceeds the minimum number of Adaptable Level 2 units, in accordance with the Zoning Bylaw, and the distribution of which will reflect the overall unit mix. • The remaining units will be Adaptable Level 1.
<p><u>Policy 2.1.1</u> <i>Invest in cycling and pedestrian networks and facilities to make these more attractive, safe, and convenient transportation choices for all ages and abilities with and aim to increase these ways of travelling over single-occupant vehicle use.</i></p>	<ul style="list-style-type: none"> • The proposal includes secured bike storage, including a room for the provision of 15 e-bikes for tenant and child care staff use. • The subject site is close to a proposed AAA bike route along East 17th Street.
<p><u>Policy 2.2.3</u> <i>Encourage higher and medium density residential area uses near jobs and services.</i></p>	<ul style="list-style-type: none"> • The subject site is located one-half block east of Lonsdale Avenue, near many services and employment opportunities. Lions Gate Hospital is also close by. • The applicant is proposing staff housing for up to four employees of the child care facility to help with providing accommodations.
<p><u>Policy 2.3</u> <i>Density Transfer</i></p>	<ul style="list-style-type: none"> • A proposed density transfer of 388.7 square meters (4,184 square feet) from a nearby site would support a small increase in the development without increasing the overall density within the City.
Strategic Plan	
<p>City for People</p>	<ul style="list-style-type: none"> • The proposal supports the Strategic Plan vision and priority to be a City for People by using an existing site to increase the number of rental units. Providing employment opportunities and services within close walking distance. • The application is also proposing a private child care facility and on-site housing for up to 4 staff.

Housing Action Plan	
<u>Action #3:</u> <i>Mid-Market Rental Units</i>	<ul style="list-style-type: none"> The project will provide 13 mid-market units, to be secured by a Housing Agreement for the life of the building.
<u>Action #4:</u> <i>Family-Friendly Housing</i>	<ul style="list-style-type: none"> The project includes 15 three-bedroom units to support families.
Sustainable Development Guidelines	
<u>Natural Systems</u> <i>The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.</i>	<ul style="list-style-type: none"> The landscaping plan would provide for green space on the ground level to benefit the local natural systems and help mitigate the storm water runoff from the site. The planting plan includes several native species.
<u>Physical Structures/Infrastructure</u> <i>The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications and energy efficiency and conversion including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.</i>	<ul style="list-style-type: none"> The project will use high-performance and environmentally friendly building materials and will achieve Step 3 of the Step Code. Energy Star and water-efficient appliances will be installed in the dwelling units The proposal will be connecting to the LEC network. An on-site stormwater management system will be provided and secured through the Servicing Agreement.
<u>Local Economy</u> <i>The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.</i>	<p>The proposal anticipates the child care will employ approximately 22 full-time staff.</p>
<u>Human Potential</u> <i>The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.</i>	<p>The development provides Market Rental and Mid-Market Rental housing at a range of unit types and sizes.</p> <p>The subject site is close to several public transit routes and the services along Lonsdale Avenue and is close to a number of local bike routes.</p>

<p>Social Connections <i>The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and matters specific to children, youth, seniors and people with disabilities.</i></p>	<p>The project includes both indoor and outdoor amenity areas that are well-programed with multiple opportunities for activities.</p>
<p>Cultural Diversity <i>The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.</i></p>	<p>The proposed design includes various informal gathering spaces for tenants both within the building and in the public realm.</p>
<p>Active Design Guidelines</p>	
<p>Proposed Amenities</p>	<ul style="list-style-type: none"> • Indoor weight room and separate games room on the fourth floor. • Fourth floor outdoor common area for residents on the norther side that includes: <ul style="list-style-type: none"> - Lounge area; - Exercise area; and - Pet relief area; • Individual outdoor rooftop deck space for all residents. Adjacent multi-use indoor amenity room.
<p>Enhanced bicycle facilities</p>	<p>Provision for 15 e-bikes to be available for tenants and child care staff residents.</p>
<p>Child Care Action Plan</p>	
<p>Target to create 1063 new licensed childcare spaces by 2031.</p>	<p>The proposal includes a private childcare facility that would provide up to 81 new spaces in the City.</p>

MAY 01-2023 RE-ISSUED FOR REZONING

1536 + 1550 EASTERN AVENUE
NORTH VANCOUVER, BC

KENWOOD APARTMENTS

 RAFI ARCHITECTS INC.



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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
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2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

R A F F I A R C H I T E C T S I N C .



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Client

KENWOOD APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

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1 Introduction

1.1 Purpose

The purpose of this document is to describe a Rezoning application to develop a new 13-storey rental residential building that will contain 118 rental suites and a R1 daycare at 1536 – 1550 Eastern Avenue North Vancouver.



1.2 Project Team

Kenwood Apartments

The project is led by Brad Nelson, President of Kenwood Apartments. Kenwood Apartments (Kenwood) and the Nelson family have been proud owners of rental buildings on Eastern Avenue in the City of North Vancouver (CNV) for nearly 30 years. These include the two existing, 34 suite, three-story wood frame rental buildings on the site.

Core Consulting Team:

Developer:	Kenwood Apartments Ltd.	Code:	McAuley Architectural
Architect:	Rafii Architects, Inc.	Electrical:	Nemetz Electrical
Services:		Structural:	Glotman Simpson
Landscape Architect:	Connect Landscape Architects		
Civil Engineer:	Cruis Engineering		
Traffic Consultant:	CTS Traffic Consultants		

1.3 Why Redevelop?

The site currently contains two, three-story walk-up, wood frame rental buildings. They are more than 50 years old, and in original condition. Major renovations and updates are required to extend the lifespan of these buildings. This work will take at least one year to finish and require a vacant building to complete. The land use designation for the site has now been changed in the 2014 OCP to Residential Level 6 (high-rise) density. These three-story buildings now underutilize the development potential of this site and a new redevelopment may create significant community benefits. As a result, Kenwood is now applying for a rezoning to construct a new building and increase the rental stock in the CNV by 84 suites and add a significant new daycare rather than retrofitting the existing 34 suites. Both options will require termination of all existing tenancies. Kenwood will provide tenant relocation services, compensation packages and first rights to re-rent in the new rental building to all the existing tenants as required in the CNV Residential Tenancy Displacement Policy H18.



1550 Eastern Avenue
Kenwood seeks to redevelop the property and continue to be long-time rental property owners in the City of North Vancouver.

1.4 Overview

The site is located at 1536 – 1550 Eastern Avenue in the Core Center of the CNV. The property consists of three lots and is bordered by lanes on the east and south side, and a new park to the north. The site is relatively flat.



Kenwood Apartments seeks to rezone this site to develop an OCP compliant 3.45 FSR, 13-storey rental/daycare development. This new building will include 118 rental suites and a 874 m² daycare that will accommodate 81 children including 40 much needed infant/toddler spaces. Kenwood will provide 92m² of lands for a new laneway pathway to access the new adjacent urban park. The lane pathway will be provided at no cost to the City. All the daycare and tenant parking will be accommodated in a two-level underground parkade with access from the lane east of the site.

2 Context

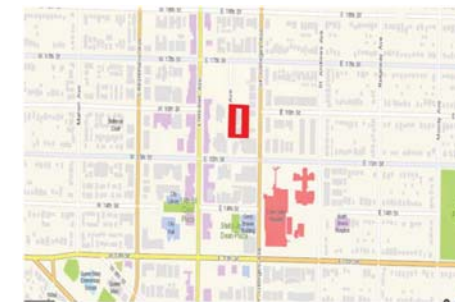
The property is located in the City of North Vancouver, which is one of the 7 Regional City Centres in Metro Vancouver. Regional City Centres are designated by Metro Vancouver and are intended to serve as important activity hubs for transportation, employment, and housing.

The site is located 1/3 block east of Lonsdale Avenue, between East 15th and East 17th Streets. Lonsdale Avenue is the primary north-south arterial road in the city, with high frequency transit stops also one-half block away.

The site is bordered by older 13- and 7-storey residential buildings to the south, 3- to 6-storey apartment buildings to the east, a new urban park, a 13-storey rental tower to the north, and three 13- to 19-storey residential towers to the west.

This high-density site has a 37-meter height maximum and is in a zoning and height transition area, linking the high-density 68-meter zones to the west and south and the medium density 18-meter zoning to the east.

Many important local amenities are nearby. Two blocks south-east are Lions Gate Hospital, the RCMP Station, and a Fire Hall and two blocks south-west are the CNV City Hall and Public Library. One half block to the west is Lonsdale Avenue with major retail, banking and rapid transit stops.



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Client

KENWOOD APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

PROPOSAL & DESIGN RATIONAL

Date:	Project No:
AUG. 01 - 2019	17-55
Scale:	Drawing No.
	A0-02
Drawn By:	File name:
HR	Rev:

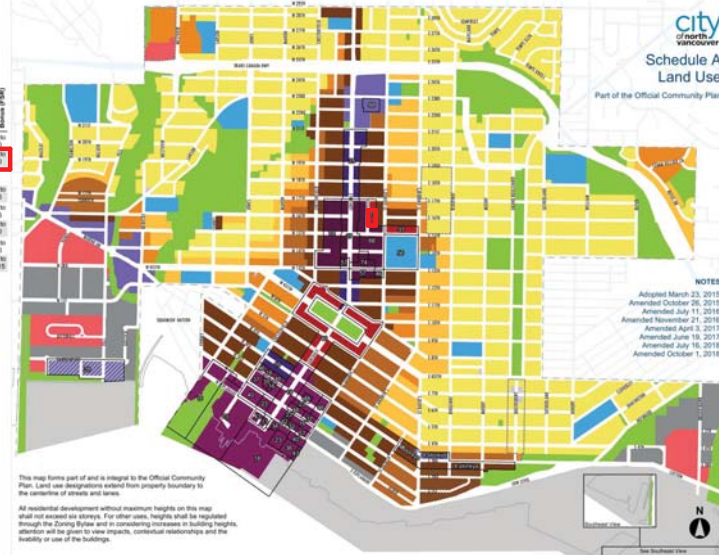
Land Use Designation
This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 2.

Designation	Maximum Height (Metres)	Maximum Storeys	Maximum Density (Units/ha)
Residential Level 1 (Low Density)	1.0	3	0.5
Residential Level 2 (Low Density)	1.5	4	0.75
Residential Level 3 (Low Density)	2.0	5	1.0
Residential Level 4A (Medium Density)	2.5	6	1.25
Residential Level 4B (Medium Density)	3.0	7	1.5
Residential Level 5 (Medium Density)	3.5	8	1.75
Residential Level 6 (High Density)	4.0	9	2.0
Residential Level 7 (High Density)	4.5	10	2.25
Mixed Use Level 1 (Low Density)	2.0	5	0.5
Mixed Use Level 2 (Medium Density)	2.5	6	0.75
Mixed Use Level 3 (Medium Density)	3.0	7	1.0
Mixed Use Level 4A (High Density)	3.5	8	1.25
Mixed Use Level 4B (High Density)	4.0	9	1.5
Mixed Use Level 5 (High Density)	4.5	10	1.75
Multi-Use Path	2.0	5	0.5
Parks, Recreation & Open Space	-	-	-
School & Institutional	-	-	-
Commercial	-	-	-
Mixed Employment	-	-	-
Industrial	-	-	-

Example Height Equivalences

Metres	Approx. Storeys
12-13	4
15-16	5
20-25	6
27	7
30	8
33-36	9
36	10
42	12
48	14
54	16
60	18
66	20
72	22
78	24
84	26

Notes:
This map forms part of what is integral to the Official Community Plan. Land use designations extend from property boundary to the terminus of streets and lanes.
All residential development without maximum heights on this map shall not exceed six storeys. For other uses, heights shall be regulated through the Zoning Bylaw and in considering increases in building heights, attention will be given to new proposals, contextual relationships and the usability or use of the buildings.



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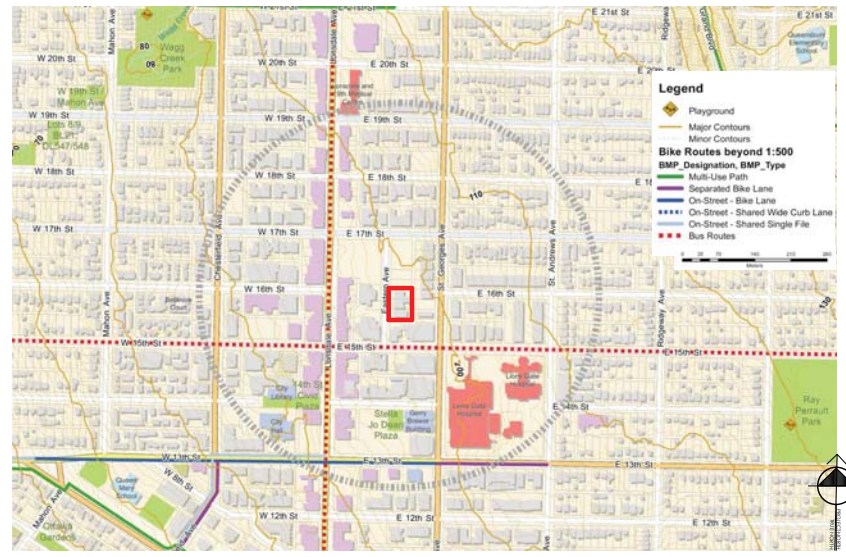
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**NEIGHBOURHOOD AMENITIES & LOCATIONS
800 m CONTEXT**



**NEIGHBOURHOOD AMENITIES & LOCATIONS
400 m CONTEXT**

Client
KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
LAND USE MAP, 800m &
400m CONTEXT MAPS

Date: AUG. 01 - 2019	Project No: 17-55
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Drawn By: HR	Rev:
File name:	

2.1 Official Community Plan and Density Bonusing Policy Compliance
 The site is designated Residential Level 6 (high density) in the 2014 Official Community Plan. This designation allows for a base density of 2.3 FSR. The City's Community Amenity and Density Bonus policy allows for a bonus density of 1.0 FSR for a total of 3.3 FSR if the development includes 100% rental housing.
 The CNV Zoning Bylaw and the OCP also allow daycare facilities to be located within residential zones. To support the residential uses on site and in the neighbourhood, this application seeks to utilize a portion of the 3.3 FSR to introduce a daycare use.
 Density transfers from one parcel of land to another are also permitted within the OCP with Council approval. This proposal includes a request to purchase unused density of 389m² from a nearby property for daycare use. This transfer of density will increase the total density on the site by 4.5% from 3.3 FSR to 3.45 FSR.



Official Community Plan (2014) Land Use Designation Map (Citymap GIS)

2.2 Building Height
 The OCP designates the maximum height of the site to be 37m. The proposed 13-storey building is also 37m tall. This height is consistent with the newly approved 13-storey building north of the site on Eastern Avenue.

2.3 Development Permit Areas
 Lands designated as R6 in the OCP are in Development Permit Areas that guide the form and character of development, that reduce greenhouse gases and water use and promote energy conservation. While the lands are located within a Development Permit Area, the City has not yet produced design guidelines for R6-designated lots, and prefers to regulate development through Comprehensive Development Zones, instead.

2.4 Other Relevant OCP Policies
 The following OCP policies and guidelines are applicable to this site:

OCF Policy, Plan or Guideline	Application Response
The Active Design Guidelines encourage and promote the use of primary stair travel, to support indoor amenity areas for social gatherings and indoor physical fitness and support outdoor play areas for children.	To encourage stairwell travel (rather than by elevator), the primary stairs have been widened and lengthened to accommodate two-way travel and the stairwell doors placed in a direct line of sight from the main lobby entry doors. Signs and stairwell door windows will be added to each floor to further encourage stairwell travel. These stairs will be located adjacent to all the indoor and outdoor amenity areas within the building to further encourage stairwell travel.
The 2018 Density Bonus policy allows consideration of density transfers between nearby properties.	This application includes a density transfer from a nearby property on the same block. This density transfer will not increase the density within the City but relocate it from one site to another.
The 2016 Housing Action Plan encourages new developments to provide a range of housing options, such as a diverse mix of housing sizes, inclusion of mid-market rental units, and additional lower-income supportive housing types.	Affordable daycare staff housing will be offered to the daycare staff to provide incentives to live and work in the City. Commuting will cease for these employees. Twelve mid-market rental units will also be provided in perpetuity. Nearly 80% of the new units will be small, affordable one and one + den suites.
1.1.3 Reduce the commute distances for City residents	A daycare is proposed on the site providing 81 childcare spaces for infants, toddlers and 3-5 year olds.
1.1.4 Locate high-density and commercial uses in the urban core of the City	
1.1.7 Allow for child care in residential areas	
1.3.1 Ensure the new development is compatible with established urban form and reflects the Lonsdale Regional Town Centre	The 37m tower fits within the context of the Central Lonsdale neighbourhood and will act as a transition site between the 48 m zoned sites to the west and south and the 18 m sites to the east.
1.3.2 Avoid Zoning cliffs	
1.3.9 and 1.3.10 Encourage more social connections through the pedestrian use of the laneways	A new east laneway walkway will be provided to the CNV to allow public access to the new urban park. Ground level laneways will face a south lane path.
1.4.1 Encourage designs and amenities that consider households with children	The large podium deck will accommodate a kid's play area, a pet retreat area, and separate family gathering and adult exercise areas.
1.4.3 and 1.4.4 Encourage recreational area in new developments that will provide a social infrastructure and create a healthier community	Adjacent to the 4 th floor podium deck will be a large games/recreation room and large separate gym. Both facilities have outdoor areas that overlook the podium deck. The close proximity of these recreational areas will

	provide more opportunities for tenant social interactions. The rooftop deck contains many family amenities including: a communal lounge, BBQ stations, covered eating areas, numerous garden planting areas, family gathering areas and adult social areas. These amenities will allow tenants to invite outside guests and encourage community health and social interactions.	The site is adjacent to a new urban park located to the north which provides an ideal interface for the daycare's outdoor play area. The location of the daycare, oriented towards the park, means that neighbouring buildings will not be impacted by outside daycare play noise. The site's proximity to Lonsdale provides access to frequent public transit making it highly accessible for families from the neighbourhood and for daycare employees. Tower design and Outside play areas: These lots on Eastern Avenue combine to form a large, residential zoned, high-rise site in the City Centre. A 13-story tower can be built on this site and all the proposed density in this application can fit within this high-rise. A large area of land will remain undeveloped next to the tower. These lands in this location have provided a unique opportunity to create a purpose-built daycare with a large ground floor playground in an area surrounded by residential towers. Large outside daycare play areas are very difficult to find, particularly in dense urban areas. This opportunity is not possible in a 6-story zoned residential site in the CNV. New developments in these zoned areas typically fill the entire site and no other on-site lands are available for a daycare playground. Economic Impact: New daycare spaces, means that local families will have improved childcare options, supporting parents to return to the workforce. The daycare will also create nearly 19 full time jobs, with some affordable staff housing provided on-site. Costs: Daycares are costly to build and operate and require specialized financing. To qualify for a childcare development loan, a larger facility was necessary to create improved operating efficiencies. Daycare fees: New Provincial legislation has recently been introduced placing limits on the fees that new daycares who receive Provincial funding may charge for providing daycare services. As a result, parental fees charged at this new daycare will closely resemble fees charged at City owned Central Lonsdale daycares. This legislation will also significantly impact the financial viability of these types of new daycares and may suppress new daycare development. To include a daycare in this proposal and respond to these lower fees, a large childcare center is essential to create economies of scale. Previous Daycare Proposal: The original daycare concept for this rezoning application included a 180-space daycare occupying the first floor and second floor. Revised Daycare Proposal: This new daycare proposal will offer 81 new ground floor childcare spaces. This size of daycare is consistent with two other Central Lonsdale daycares which have 72 and 80 spaces respectively. An even mix of infant/toddler spaces and 3-5-year-old spaces will be provided. Many young families will now find comfort with the ability to have their children remain at the same daycare for 4 years from the 1/7 years to kindergarten. Over 5000 of outdoor area has been provided next to the new CNV park for outdoor play activities for all the children. A large indoor gym is also available for play activities during inclement weather days.
1.5.1, 1.5.2 and 1.5.4 Provide housing diversities, including accommodations for low-income households and non-market housing units	12 mid-market rental suites will be created to this project. Below market accommodations for daycare employees will also be provided.	
1.5.7 Encourage housing diversity to be located in transit-accessible areas. Encourage independent living options near transit accessible areas.	Accommodations will be provided for daycare staff, creating housing diversity and independent living/work options for these employees. All suites in the building will be well-serviced by the high frequency transit routes on nearby Lonsdale Avenue and 15 th Street.	
2.1.1 Prioritize walking and cycling by investing in facilities to promote these means of transit	An assortment of e-bikes will be provided to the rental tenants and daycare staff at a nominal fee as an affordable alternative to vehicular traffic use.	
2.2.1 Council may consider approving additional floor area if new developments create only new rental housing, provide amenity spaces and create new employment	This proposal will increase the number of rental units from 34 to 118 suites, will generate 19 new full time daycare related jobs and will allow many parents the opportunity to return to the workforce.	
7.1.1 Encourage innovation and development of small business	The daycare will provide 19 new jobs, helping to stimulate the economy.	
7.2.2 Increase the concentration of jobs in the frequent transit areas in the Town Centre	Affordable housing will be provided for some of the daycare staff, allowing them to remain in the City and not to commute. This will add to the recovery of the CNV economy.	
7.2.8 Encourage the increase in floor area for employment generating uses	Retractable frameless glass balcony enclosures are also being proposed in this application. These will enable all year use of the balconies and may invite some live/work opportunities for tenants rather than everyday commuters to work.	
7.2.14 Encourage new employment opportunities to create a diverse economy.		

3 Use
 Kenwood is applying for a rezoning to develop their properties with a new rental residential building that will include a daycare facility.

3.1 Zoning
 The site is currently zoned RM-1. This application is requesting a rezoning and applying for a Comprehensive Development Zone to accommodate this proposal.

3.2 Multifamily Residential Use
 A range of housing options is being proposed that will be suitable for a diverse group of residents, ranging from smaller studio units to family-oriented 3-bedroom suites. Nearly 28% of the units (34) are proposed to meet the Adaptable Level 2 design guidelines.

Residential Unit Count

Unit Type	Regular Units	Adaptable Units	Total Units
3 Bedroom + Den	2	0	2
3 Bedroom	13	0	13
2 Bedroom + Den	0	0	0
2 Bedroom	1	13	14
1 Bedroom + Den	11	12	25
1 Bedroom	33	9	42
Studio	24	0	26
Total	84	34	118

As per City policy, 12 of the units are proposed to be affordable mid-market rental units in perpetuity.

4 Daycare
4.1 Why include a new large daycare?
 The proposal includes a new daycare facility that can accommodate 81 children ranging from infant to five years old.
OCF compliant: The current zoning on this site allows for the opportunity to include childcare density in lieu of rental density.
Need: The City, and Central Lonsdale in particular, requires more daycare spaces which has been identified as a priority need and essential service by the City Council and City Planning Staff. Today, daycare wait lists in North Vancouver are nearly one year for 3-5-year-old spaces and nearly two years for infant/toddler spaces. In the last 4 years in Central Lonsdale, over 1500 new homes have been built and 110 new daycare spaces have been created. Many more daycare spaces will be needed to support this new population.
Site Context: This site is ideally situated to include a new daycare facility. The surrounding area includes many mid- and high-rise residential buildings and shopping options along Lonsdale Avenue. The introduction of a large daycare facility will contribute to the completeness of the neighbourhood and allow even more families to meet their daily needs close to home.
 The existing roads to the east and south are relatively quiet with only two traffic lanes. Eastern Avenue is a local road only two blocks long and does not receive through-traffic.

4.2 Daycare Location
Impact on Nearby Park: A new urban park will be located north of the outside daycare play areas. While the Park provides an ideal interface to the daycare outdoor space, visits to the park by daycare children during care hours are anticipated to be minimal. A six-foot-high secure fence and adjacent hedge will separate these two areas and no direct access will be provided through this fence to the park to ensure the safety and security of all daycare children. The outside daycare play areas will be furnished with an extensive array of play equipment and structures to meet their needs.
Walkability: Many of the new residents occupying these 1500 new homes chose to live in this area for the convenience and proximity to walk to the nearby shops and walk to the excellent public transit opportunities nearby. They will also prefer to walk their children to a nearby daycare. As a result, vehicular travel will be significantly reduced with the addition of this new daycare facility in this neighbourhood.
Proximity to Lions Gate Hospital: Lions Gate Hospital is only one block away from this daycare. With VCH and CNV permission, flexible daycare hours can be added to accommodate shift worker families and emergency personnel with immediate childcare needs. The daycare will also offer some fee reductions and bursaries to families in need.

4.3 On-Site Amenities
 Several significant resident amenities are included in this proposal:
Amenity rooms: A full-size workout gym and a games room will be provided on the 4th floor for use by the rental tenants. A smaller indoor gym will be available for the daycare children.
Podium deck: A large 180m² podium deck will also be located on the 4th floor. It will include a children's play area, a pet retreat area, and separate family gathering and exercise areas. These facilities will be for use by the rental tenants only.
Tower deck: The roof top tower deck will provide amenities for all the tenants including an indoor communal lounge, outdoor family BBQ and eating areas, multiple gardening/planting areas and adult lounge areas.
E-bikes: An assortment of e-bikes will be provided for the rental tenants' and daycare employees' use. A separate secured e-bike parking room will be located in the parkade.

4.4 Parking
Underground parking: 93 parking stalls will be provided in two levels of underground parking. Access to the parkade will be from the lane east of the site. 13 stalls will be for Visitor parking, 9 stalls for daycare use and 71 stalls are available for the rental tenants in the building. The daycare staff tenants may continue to park in the daycare spaces after daycare hours creating more stalls available for the other tenants. It is anticipated that many tenants will locate in this area for the ability to access and use the excellent nearby high frequency public transit facilities. As such, Kenwood has elected to reduce the parking count in the building to further encourage public transit use, car share and e-bike use. All parking stalls will be roughed in for e-car charging capabilities.

Daycare Parking: To accommodate families who will use vehicular transport to access this daycare, 9 dedicated daycare parking stalls have been provided in Level 1 of the parkade. All of these stalls will be located at or near the parkade entrance for ease of access and two stairwells will provide access to the ground floor daycare.

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E-bike Parking: The site is flat and is in proximity to CNV bike routes. Biking will be encouraged. Low-cost E-bikes will be made available for use by daycare staff and the rental tenants. A 15-stall dedicated e-bike room has been provided in the parkade. Bike racks and stroller storage areas will be located at the daycare entries to encourage walking and bike use.

Construction parking: This development will include a large outside daycare play area at the north end of the site. During the construction stage, these lands will accommodate the construction outbuildings and some construction parking. This will lessen the construction parking demands on the CNV streets.

4.5 Bike Storage

This proposal meets the City's bicycle storage requirements for bikes by providing 183 secure, indoor bicycle parking stalls. 15 additional E-bike stalls are also being provided in a separate e-bike room.

4.6 Storage Lockers

All suites have the use of one individual full height storage locker. Some Council members may appreciate this.

4.7 Solid Waste and Recycling

A large solid waste and recycling room is located on the east side of the building with direct access from the lane. This room will accommodate all the solid waste and recycling bin pickups for both the daycare and rental tenants use. The daycare will also have a separate smaller garbage pickup facility with access from the rear lane.

5 Form & Intensity

5.1 Height

This application proposes a 13-story tower that fits within the 37m maximum height stipulated by the OCP. This responds to the existing urban context and matches the height of the new 13-story tower currently under construction north of the site.

5.2 Density

Consistent with the R-6 High Density land use designation in the OCP and the CNV Density Bonus Policy, a total rental FSR of 3.3 is achievable. With Council approval, density transfers may also be approved. This application seeks Council approval to transfer of 388 sq meters of available density from a nearby site to the Kenwood site. This transfer density will be used to create new daycare classrooms. Infant/toddler spaces require more Staffing and are more expensive to provide. Less are built and the waiting lists grow longer. This density will be used to provide more infant/toddler daycare spaces.

5.3 Building Form

This development consists of a thirteen-story residential tower with a small three-story podium attached. The tower contains only rental suites, and the ground floor accommodates the daycare and the daycare housing units. The 4th floor of the podium is a large communal deck containing many of the building's proposed recreational amenities.

5.4 Tower Location

The residential tower has been moved to the southern end of the site to reduce any shadow impacts on the new urban park and positioned across the street between the two residential towers on Eastern Avenue to reduce any view or privacy concerns for those building residents. This tower location also maintains the required 24-meter separation distance from the neighbouring hi-rise to the south of the site.

5.5 Building Facade

The sides of the building have been articulated to allow additional fenestration to all the tower suites and glazing has been enhanced to lighten the building and increase the building texture. The ground floor townhome facades all include architectural elements to provide articulation and visual diversity to these townhome entries.

5.6 Frameless Retractable Balcony Enclosures

This application seeks Council approval to install frameless, retractable glass balcony enclosures on the building balconies and for these enclosed balconies to be excluded from the density calculations. These glass facades will create year-round balcony living spaces, reduce suite heat loss and energy consumption, lower building carbon emissions, minimize suite noise transference and provide inclement weather protection.

These retractable balcony systems have been in use in various parts of the world for many years and recently have been included in some new developments in various Municipalities in the Lower Mainland. Many social and economic benefits will accrue from the ability of the rental tenants to use their balconies all year round.



5.7 Setbacks

The proposed building setbacks are:

North: 12.8m, and 9.75m at the narrowest point

South: 4.6m

East: 4.6m, and 2.5m at the daycare entrance

West: 4.6m, and 2.0m at the narrowest point.

6 Site Planning

6.1 Landscape

The ground floor of the building relates to the outdoors and public realm. The outdoor play space for daycare on the north edge of the building, creates a transition between the building and the adjacent park. A secure six-foot-high wooden fence and hedge will separate the daycare outside play area and the new urban park. No gate access is available from the daycare to the new urban park.

Townhouses with raised patios and planters are proposed on the south edge of the building. A communal pathway on this lane will allow public access and the landscape planters will provide distinction from the south lane.

Planters are proposed along the west and east perimeters of the building. Three trees are proposed on-site, at the south-west, and north-west corners.

The large 4th floor multi-purpose podium deck will include significant landscape treatments to separate the pet retreat area and the kids play area from the family and recreational lounge areas. The child deck play area will include landscape furniture to engage the rental children while the parents lounge in the adjacent family. A selection of privacy trees will help provide separation of eating areas.

The roof top deck features soft unobtrusive landscape treatments surrounding the perimeter of the deck providing privacy barriers for the neighbours. A large communal garden/planting area is also proposed. Providing opportunities for tenant social interactions and opportunities to reduce the carbon footprint of the building.

Visitor bike racks will be included near the daycare drop-off entrance and residential entrances on the west side of the building.



6.2 Lane Pathway

Kenwood will dedicate over 92m² of lands to the City to create a new east lane pathway to access the new urban park. The pedestrian use of this laneway will also encourage more social connections and promote active lifestyles.

6.3 Lane Loading Bay

Kenwood is providing access to a loading bay via the east lane to accommodate moving vans and commercial delivery vehicles. These vehicles will not require loading on any public street or lane.

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File name:

Rev:

7 Active Design Guidelines

Kenwood believes in contributing to a healthy community. The building has been designed to promote an active lifestyle through adherence to the City's Active Design Guidelines.

7.1 Stairways

Stairway use will be encouraged. The lobby stairwell doors have been positioned to allow a direct line of sight from the front lobby entrance to these stairwell doors and directional signs will be installed in the lobby promoting stairwell travel. All the stairwell doors on each floor will have viewing windows and signs to promote and attract stairwell travel. All the stairs on each floor have been widened and lengthened to facilitate two-way stair travel.

7.2 Amenity Rooms

The games room and gym area entrances are both located on the fourth floor and adjacent to the fourth-floor podium deck and next to the stairwell entrances. These proximities should encourage the residents to use stairwell travel rather than elevator travel to access these amenities.

7.3 Communal Podium Deck

The fourth-floor podium deck will have separate areas for parents with children, tenants with pets, and lounge and recreational areas. All these sections of the podium deck will encourage social interactions between tenants and their guests, provide physical activity opportunities for different age groups and are open, visual and bright. Access to the podium deck leads directly to the visible primary stair entries which will also encourage stair travel as the primary method to access this amenity deck.

7.4 Communal rooftop deck

The rooftop design will promote opportunities for tenant interactions and encourage active lifestyles. The deck lounge and covered BBQ areas will attract social gatherings in inclement weather conditions and the large common garden/planting areas will require co-operation and organization to create a healthy common rooftop garden.

7.5 E-bikes

An e-bike system will also be provided in the building. For a nominal fee, all tenants and daycare staff can access these bikes and cargo bikes. This will provide an economically viable and active alternative to vehicle travel. A separate, secure 15 stall e-bike room has been provided in the parkade.

8 Community Benefits

Approval and construction of this project will bring many community benefits:

16th and St Georges Intersection Improvements: Kenwood will provide a financial contribution of \$200,000 to the CNV for intersection improvements at the corner of St Georges and 16th Street.

Lane Pathway: Kenwood will dedicate lands, at no cost to the City, to create a new east lane pathway to access the new urban park. The pedestrian use of this laneway will also encourage more social connections and promote active lifestyles. The new pathway will further contribute to the neighbourhood walkability and pedestrian realm.

New Rental Housing: This application will increase the rental stock in the City by 84 additional rental suites.

Below Market Housing: 12 suites in the rental building will be new mid-market rental suites. They will include a variety of suite sizes and will be secured by a covenant for the life of the building as required in the Housing Action Plan.

Daycare Staff Housing: To encourage daycare staff to relocate to the City, to create City jobs and to reduce commuting and pollution, two rental suites will be dedicated for daycare staff accommodation at below market rents. These low cost housing suites will be in addition to the mid-market rental units required under the Housing Action Plan.

Large Group Daycare Facility: Daycare vacancy waits in the City average over one year! Providing this new, multi-age group daycare will help reducing these wait times and will encourage new families to move to the area for the convenience and availability of this new large daycare.

Parental Job Creation: Providing a new large daycare in the City will allow many parents to re-enter the work force creating more wealth and jobs in the City.

Construction Job Creation: Many new jobs will be created during the two-year construction period of the new building. This has special significance as the economy recovers from covid-related impacts.

Daycare Job Creation: Nineteen new full-time daycare jobs will be required to manage and operate the new daycare. The economic spin-offs from these new jobs will provide a financial stimulus to the City.

Balcony Enclosures: Balcony enclosures will create year-round balcony use, will provide more live/work opportunities for the tenants and will reduce the carbon emissions from the building.

After hour daycare use: With VCH and CNV approvals, the daycare operator will investigate opportunities to provide after hour daycare use for hospital staff with children and for non-profit and social group activities. The daycare will provide all the necessary cleaning and security required for any of these services.

Child Minding: Also, with CNV and VCH approvals, the daycare operator will provide some free weekend child minding services for single parents to attend to grocery shopping or personal matters.

Infrastructure Renewal: If approved, this project will provide new sidewalks, curbs, gutters, streetlights, street trees, and stormwater drainage. Payment of Development Cost Charges will also contribute financially to new roads, parks, and other civic and regional infrastructure.

Lonsdale Energy Corporation Utility: This project will create another significant customer for the City-owned Lonsdale Energy Corporation utility.

Population Growth: Redevelopment of this site will support further population growth in the City. Using land more intensively to support population growth will support local businesses and expand the tax base.



1ST FLOOR WITH DAYCARE



4th FLOOR SPORTS WITH POOL DECK

ACTIVE DESIGN GUIDELINES

Checklist

Primary Stairs

• Provide a clear visual path into and out of the stairs by leaving the stairs open to two or more floors.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the stairs in a prominent location near the building's main entrance.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Visually emphasize the stairs while maintaining elevator access for those with mobility limitations.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide stairs that have daylight and views before common areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Select high-quality, inviting, and visually appealing materials and finishes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide visible signage to encourage and direct stair use at the elevators and.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Design stair widths that can accommodate graceful walking in two directions.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Secondary Stairs

• Provide a clear visual path into and out of the stairs by:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Leaving the stairs open to the environment while still providing overhead rain protection.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Enclosing the stairs within a three-sided glass enclosure with exterior views.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Enclosing the stairs within a three-sided glass enclosure with exterior views.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Enclosing the stairs within a three-sided glass enclosure with exterior views.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide stairs that have daylight and views before common areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Select high-quality, inviting, and visually appealing materials and finishes, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide visible signage to encourage and direct stair use at the elevators.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Outdoor Circulation

• Provide an outdoor circulation area that is held in common ownership with the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• All providing overhead rain protection.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Providing the corridor with daylight and views before indoor and outdoor common areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Select high-quality, inviting, and visually appealing materials and finishes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Visually highlight and articulate the building entrance, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide signage to access, look onto outdoor amenity areas and meet neighbours naturally.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Indoor Amenity

• Provide an indoor amenity area that is held in common ownership with the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide at a minimum, the lesser of 1.4 sqm (15 sqft) per unit or 2% of Gross Floor Area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A location at the amenity area required may be considered when an adjacent outdoor amenity is provided but at no time shall the indoor amenity room size be less than 37 sqm (400 sqft).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide a generally accessible workstation, small kitchenette, and storage near seating.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the area in a central, above grade location with universal access.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the amenity room nearby other common areas with views before these areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide sufficient bond profiling between the area and adjacent residential units, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Partner with a community-based organizations that can offer programming support for the space.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

IN SUPPORT OF ACTIVE LIFESTYLES AND SOCIAL INTERACTION 13

ACTIVE DESIGN GUIDELINES

Outdoor Recreation

• Provide an outdoor recreation area that is held in common ownership with the following considerations:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Include physical activity opportunities for multiple age groups.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Incorporate natural and unstructured play areas for children.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Encourage the use of the area during winter months by providing protection from the sun, including sun through design elements, and co-locating other indoor/outdoor amenity areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the area in a central, above grade location with universal access.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the amenity nearby other common areas with views before these areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Partner with a community-based organizations that can offer programming support for the space, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Consideration will be given to designs that utilize adjacent city boulevards and engage the surrounding public realm.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Outdoor Gardens

• Provide a community garden area that is held in common ownership for building occupants:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide one garden plot (2.2 sqm (24 sq ft)) for every four dwelling units.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Encourage the use of the space during winter months by providing protection from the sun, including sun through design elements, and co-locating other indoor/outdoor amenity areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide a nearby hose kit, water-resistant compost bin and storage room.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide a nearby seating area for rest and socializing.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the area in a central, above grade location with universal access.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Partner with a community-based organizations that can offer programming support for the space, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Consideration will be given to designs that utilize adjacent city boulevards and engage the surrounding public realm.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Other Elements

• Enhanced bicycle facilities for commercial / office / institutional development:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Incorporate bicycle pump/repair stands, tools, air.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Include enhanced change facilities with clothes dryers, laundry facilities and other facilities.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Consider prominent location of bicycle facilities and highlight these areas using signage and painting.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Use automatic door systems, hold open devices, bicycle integrated door ramps and other features to facilitate bicycle circulation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: A design element not captured in this document? We want to hear how it encourages daily physical activity or social interaction.

* LABEL WILL BE PROVIDED TO TENANTS - SKETCHES READY FOR A MODEL ONLY USE. THE BILL BOARD THESE OR AVAILBLE TRAVEL THROUGH THE CARPOOL LANSIONS.
 * PROVIDING THE TENANTS WITH A CLEAR AND EASY TO UNDERSTAND GUIDE TO ACCESSIBILITY FEATURES WITHIN THE BUILDING - LABEL WITH ORANGE ARROWS TO VISIBILITY.
 * PROVIDING THE TENANTS WITH A CLEAR AND EASY TO UNDERSTAND GUIDE TO ACCESSIBILITY FEATURES WITHIN THE BUILDING - LABEL WITH ORANGE ARROWS TO VISIBILITY.

IN SUPPORT OF ACTIVE LIFESTYLES AND SOCIAL INTERACTION 14

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Drawing Issue Date	

Revision Schedule		
Rev #	Date	Description
1	DOCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
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6	MAY 01-2023	RE-ISSUED FOR REZONING

Client	

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Kenwood Apartments

1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title	
PROPOSAL & DESIGN RATIONAL	
Date:	Project No.
AUG. 01 - 2019	17-55
Scale:	Drawing No.
	A0-06
Drawn By:	
HR	
File name:	Rev:

9 Sustainability Statement

9.1 Environmental Sustainability
9.1.1 Walkable Community

One of the primary ways this project contributes to environmental sustainability is through provision of rental residential housing in a dense, well-served neighbourhood. This project will offer an opportunity for residents and businesses to meet their daily needs by walking, cycling and transit.

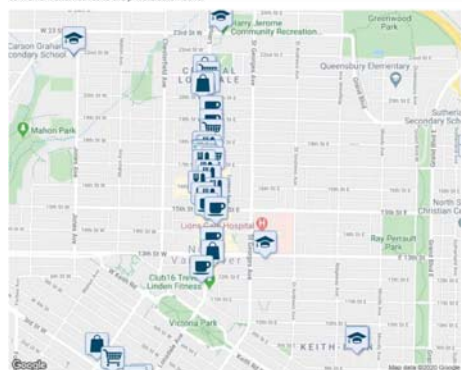
An online planning utility called "Walkscore" assesses sites according to walkability, convenience for cyclists, and transit service.

Walkscore rates the site as 89/100 for walkability. This high rating reflects the ease of walking from this location to the nearby tight cluster of complementary uses and destinations close to the site. A new public lane pathway will be created to access the new urban park. This pathway will encourage active lifestyles and provide a clean viable alternative to car travel.

For cycling, the site scores 84/100 or "Very Bikeable" because biking is convenient for many local trips. The availability of on-site e-bikes will encourage hill travel within the City, rather than motorized vehicles.

For public transit, the site scores 54/100, or "Good Transit" due to excellent transit service in the Lonsdale corridor and other transit routes along 15th Street.

These indicators show that the site has excellent attributes for sustainable transportation, offering future residents convenient alternatives to the private automobile.



Above: Walkability Map. Source: "Walkscore" online utility.

9.1.2 Green Building

The building is designed to meet the ASHRAE 90.1 2010 plus 15% thresholds and will exceed Step Code Level 3 requirements.

The complete building, including the daycare, will connect to the Lonsdale Energy Corporation's district energy utility. The daycare will include an HVAC system to create a healthier environment for the daycare children.

The design of this compact residential tower will create a lower environmental impact by allowing more natural light and ventilation to all the suites. The energy consumption will also be reduced from the installation of the thermally efficient windows and a metal insulated cladding system.

Balcony enclosures will significantly reduce the carbon footprint of the building and contribute to meeting High Level 3 requirements.

9.2 Social Sustainability

This project contributes to community social sustainability in several ways.

The project offers a much-needed daycare in the community and low-cost housing for daycare staff which will allow some daycare workers to live in the community where they work.

Amenity room areas are proposed for family gatherings, communal recreation areas, and adult lounges, allowing for diverse households to congregate.

The podium deck features a dog walk area and recreational areas providing an opportunity for tenants to gather with neighbours, friends and family.

9.2.1 Crime Prevention through Environmental Design

The project design has embraced the principles of CPTED, through natural surveillance, natural access control, and natural territorial enforcement.

The large two-level front lobby has an open glass facade for clear, unobstructed observation. The south side lane pathway is gated at each entrance and fronted by the ground patios and full height glass windows of the ground floor townhomes. The other ground level windows and doors surrounding the site have been minimized to enhance ground floor security. Security cameras will be installed in all common areas, at all entrances, and in the elevators.

The new daycare has secured drop-off rooms at both the street and laneway entries. Only pedestrian drop-off services will be available at the lane entry. All vehicle drop-offs will only have access from the front entrance or parkade areas. Cameras will be installed at all entrances and in the outside play areas. Secure, six-foot high fencing and play area equipment will form the security barrier between the outside daycare play areas and the new urban park.

The daycare and the rental areas of the building all have completely independent entrance doors, hallway corridors, and areas of use. The main elevator and the main lobby entrance will be for the private use of the rental tenants only.

9.3 Economic Sustainability

This proposal will contribute to community economic sustainability in several ways.

This project will take two years to build, and many construction jobs will be created. The economic spinoff from these jobs will help the CNV recover from the current financial crisis. Additional rental suites will be added to the CNV rental stock. This will create job stimulation and additional consumer spending within the City.

Filling 81 new child daycare vacancies will create opportunities for many parents to return to the workforce. Many long-term economic spinoffs will result from the creation of these new jobs.



SUSTAINABILITY DEVELOPMENT CHECKLIST

1. Natural Systems: The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.



	Y	N	N/A	Please Provide Comments:
LANDSCAPE				
Private Trees Retained or Added in proposal (indicate number of each)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	20 ADDED (33 NEW - 13 EXISTING)
Green Roof / Wall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Majority Native Species Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NATIVE AND ADAPTIVE SPECIES
Habitat Restoration (butterfly, bird-friendly, naturalized areas)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Community Gardens*	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
50% or More Edible Landscaping for Common Space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Irrigation System (drip hose, low-flow nozzles)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Rainwater Collection (rain barrel)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Reuse of Wastewater	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
HARDSCAPE				
Permeable Paving for Hardscape	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
40%+ Open Site Space (see Zoning Bylaw definition)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements:				

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

2. Physical Structures/Infrastructure: The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications, and energy efficiency and conservation including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.



	Y	N	N/A	Please Provide Comments:
HIGH PERFORMANCE CONSTRUCTION				
Durable Building (modular / deconstructable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building Reuse / Recycled Content / Use of Repurposed Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Majority Use of Environmentally Friendly Materials (non-toxic, wood)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NATIVE AND ADAPTIVE SPECIES
Certified by a Third Party Green Building Rating System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
ENERGY EFFICIENCY AND HEALTHY BUILDINGS				
Energy Performance (per building type)	Min.		Exceeding (if so, specify Step)	
Part 3 Commercial (Step 2 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEP 3
Part 3 Residential (Step 3 min.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 8 Commercial (BCBC min.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 9 Residential (Step 3 min.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 9 Residential < 1,200 ft ² (Step 1 min.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Superior Insulation (thick wall exclusion in Zoning Bylaw sought for insulation above BC Building Code)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Airtightness (1.5+ blower door test and appropriate ventilation strategy)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
High-performance Windows e.g. Energy-Star, Passive House Certified (whole project)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Heat Recovery Ventilator (75% or better recovery)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	60% STEP 3, 80% STEP 4
LED Lighting (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Energy-Star Appliances (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Renewable Energy Fixtures Installed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Fixtures (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Greywater Reuse	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TRANSPORTATION				
End of Trip Bicycle Infrastructure (beyond Zoning Bylaw requirements)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Car-Share Program	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Electric Vehicle Readiness:				
A minimum of 20% of all commercial parking spaces include an energized outlet capable of providing Level 2 or higher charging level for an electric vehicle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100% OF PARKING STALLS TO BE EV READY
A minimum of 20% of all residential visitor parking spaces include an energized outlet capable of providing Level 2 or higher charging level for an electric vehicle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100% OF PARKING STALLS TO BE EV READY
Other Sustainability Achievements:				

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Drawing Issue Date

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6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

CPTED & SUSTAINABILITY CHECKLIST 1/2

Date: AUG. 01 - 2019
Scale:

Project No: 17-55

Drawn By: HR

Drawing No: A0-07

File name:

Rev:

Building new rental units close to Lions Gate Hospital will provide nearby housing opportunities for hospital workers to remain and live in the City. With VCH approval, temporary childcare services will be provided to hospital employees with children in the event of an emergency.

Replacing an older building and refreshing the landscape and civil improvements will have a positive impact on local property values. Increasing property values will increase property taxes.

Providing this residential tower within walking, cycling and transit distance of the Louisa corridor will contribute to local economic development while reducing reliance upon private auto transit.

Providing balcony enclosures will reduce suite heat loss, reduce heating costs and reduce the costs to rent. All year-round balcony use may support live home/work environments, create more tenant disposable income, and contribute to the economic recovery of the City.

The introduction of this rental residential building with a daycare will attract young families seeking in-house daycare facilities and opportunities for a quicker return to the workforce.

New jobs and more incomes will also contribute to the economic recovery of the City.

9.3.1 Affordability Statement

Affordability in new housing projects is typically difficult to provide and becomes more of a reality as the buildings age. High rents in newer buildings eventually become average rents with the passage of time.

Increasing the supply of rental suites produces more rental choices for tenants, creates more competition for rental providers and eventually results in lower rental rates offered to attract tenants. This is happening in the City today.

Affordability in daycare rates is similar to rental market rates. Both are rents to occupy spaces. As more daycare spaces are provided, more choices and less waiting times will result, and daycare fees will also fall.

Kenwood is providing: 1) affordable mid-market rental units in perpetuity 2) low-cost e-bikes to reduce travel costs, 3) live/work suites to provide smaller, low-cost, efficient housing 4) suite balcony enclosures to create energy efficient home/work opportunities that will lower commuting and off-site office costs.

9.3.2 Smaller Affordable Suites

The proposal replaces 34 existing rental suites with 118 new rental suites. Nearly 80% of the suites will be smaller, more affordable studio, one-bedroom and one + den suites.

9.3.3 Live/work Opportunities

As suites become smaller the balconies become more important. The proposed retractable balconies will allow all year balcony use. More people now work at home rather than commute to work each day. In inclement weather some tenants may elect to use these balconies as home office spaces. Commuting costs and traditional office costs will be reduced. These suites will become more affordable for renters.



9.3.4 Mid-Market Rental Suites

Twelve suites will be mid-market rental units in perpetuity.

9.3.5 Daycare Staff Housing

Low-cost accommodations will be provided for daycare employees. For these employees: daily commuting is reduced, vehicular use reduced, transportation costs reduced, tenant affordability increased and environmental impacts lessened. All these factors will contribute to the economic recovery of the City.

9.4 Tenant Relocation Plan

As a redevelopment application with existing rental tenancies, Kenwood will provide tenant support as stipulated by the City's Residential Tenant Displacement Policy. Kenwood has hired Trimark Property Management to act as a Tenant Relocation Coordinator to communicate with tenants and administer the program, as per the City's Residential Tenant Displacement Policy. Following City policy, tenant compensation will include 3-months' rent and the right of first refusal for existing tenants to return to the new building.

10 Conclusion

Kenwood Apartments is proud to propose this comprehensive redevelopment project. The project meets City rental housing objectives, creates additional low cost non-market housing, addresses current daycare shortages, provides new balcony opportunities, enhances active lifestyles, contributes to environmental responsibility and will generate significant economic benefits to the City.

In the event that the CNV Council cannot support this daycare in this location and would prefer an all-rental application, Kenwood could remove the daycare and redevelop the ground floor with rental suites only. The net result would be to add 7 more rental suites on the main floor and delete the 81 space daycare and the two daycare staff housing suites.

This rental/daycare development is Kenwood's preferred mix of uses to develop this site.

Kenwood Apartments looks forward to working with City staff, the Public, and Council to bring this vision to reality.

SUSTAINABILITY DEVELOPMENT CHECKLIST

3. Local Economy: The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.



	Y	N	N/A	Please Provide Comments:
Net New Jobs Generated (long term, full time)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19 FULL TIME DAYCARE STAFF 5 FULL TIME RENTAL APT. STAFF
Commercial floor space (net increase, indicate area)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Neighbourhood-Scale Commercial (unit frontages <=6m (20ft))	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Non-Market / Lower-End of Market Commercial	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Commercial Relocation Strategy	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other Sustainability Achievements:				

4. Human Potential: The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.



	Y	N	N/A	Please provide comments:
Market Rental Housing (net increase, indicate number of units)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	118-34=84 ADDITIONAL RENTAL SUITES
Non-Market / Lower-End of Market Rental Housing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12 MID MARKET UNITS
10%+ Three+ Bedroom Units (in multi-unit residential buildings)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11%
Micro-units <=37, 16m² (<=400 ft²)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Childcare Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	81 CHILDREN
Community Space for Food Preparation, Storage and Processing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Green Building Educational / Interpretive Features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Primary and Secondary Stair Design*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PRIMARY STAIRS TO FULLY MEET ACTIVE DESIGN REQUIREMENT
Outdoor Circulation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Storage space for residents in units and storage rooms (multi-unit residential buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ALL SUITES HAVE STORAGE LOCKER IN STORAGE LOCATIONS PLUS FEW SUITES HAVE IN UNIT STORAGES
Other Sustainability Achievements:	E-BIKE AVAILABILITY			

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

5. Social Connections: The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and matters specific to children, youth, seniors and people with disabilities.



	Y	N	N/A	Please provide comments:
Design Features for People with Disabilities (beyond Zoning Bylaw requirement)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Communal Cooking Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rooftop deck BBQ + Eating areas
Indoor Amenities*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gym, Games room
Outdoor Recreation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rooftop deck communal child play area + pet play areas
Amenities for Senior Users	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Crime Prevention Through Environmental Design	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements	Large communal outdoor garden plots + garden shed			
Outdoor Gardening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

6. Cultural Diversity: The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.



	Y	N	N/A	Please provide comments:
Formal and Informal Gathering Spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rooftop deck family eating + gathering areas + Pet play areas
Retention of Heritage Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Public Art Reflecting Local Culture	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Streetscape Improvements (benches, planters, lighting)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements:				

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KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE. NORTH VANCOUVER, BC

Drawing Title

CPTD & SUSTAINABILITY CHECKLIST 2/2

Date:

AUG. 01 - 2019

Project No.

17-55

Scale:

Drawing No.

Drawn By:

HR

A0-08

File name:

Rev:

ADAPTABLE DESIGN

ILLUSTRATIONS: ADAPTABLE DESIGN GUIDELINES

A. Building Access	
1. Disability Parking Spaces	page 1
Building Lobby Access from Parking – Levels One, Two and Three	
2. Accessible Buttons and Pulls – Levels One, Two and Three	page 2
B. Common Areas	
1. Accessible Mailboxes – Levels Two and Three	page 3
C. Circulation	
1. Corridors and Doorways – Levels One, Two and Three	page 4
D. Doors	
1. Pocket Doors – Levels Two and Three	page 5
E. Kitchen Layouts	
1. Level Two: Design Elements and Fixture and Finishes	page 6
2. Level Three: Design Elements and Fixture and Finishes	page 7
F. Bathroom	
1. Wall Reinforcement and Plumbing Fixtures – Levels One, Two and Three	page 8
2. Level Two: Design Elements and Fixture and Finishes	page 9
3. Level Three: Design Elements and Fixture and Finishes	page 10
G. Bedroom	
1. Level Three: Design Elements	page 11

A. BUILDING ACCESS

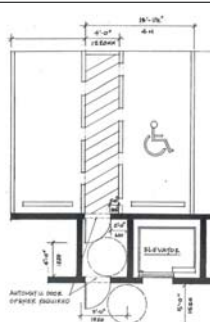
- Disability Parking Spaces
- Building Lobby Access from Parking

Levels One, Two and Three

- Unobstructed access from parking levels containing accessible parking (2' or 1520mm Corridor, 2' or 610mm clear wall space adjacent to door latch)

- Disability Parking Spaces 12' 11/2" or 4m wide stall achieved by utilizing an adjoining hallway 4'7" or 1300m wide

Disability Parking and Accessible Lobby Access



A. BUILDING ACCESS

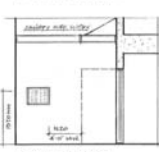
- Accessible Buttons and Pulls

Levels One, Two and Three

- Accessible building entrance, call buttons, and where provided, suite door bells



Pedestal Enterphone
Highest function to be no higher than 4'2" or 1270mm above the floor
Recommended height 3'6" or 1100mm



Accessible Call Buttons

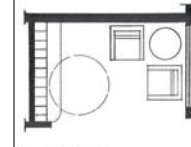
Wall Mounted Enterphone

B. COMMON AREAS

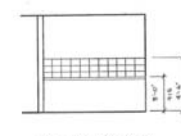
- Accessible Mailboxes

Levels Two and Three

- Accessible mailboxes for all Adaptable Design Level 2 and 3 units and 5' or 1520mm turning radius in front



Accessible Mailboxes



Accessible Mailboxes Heights

C. CIRCULATION

- Corridors and Doorways

Level One

- Corridors minimum 4' or 1200mm wide (except for service access areas)

Levels Two and Three

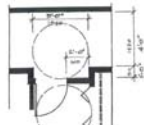
- Corridors minimum of 4' or 1200mm wide (except for service access areas)

- Provide 5' or 1520mm turning radius inside and outside the entry corridor at each dwelling unit

- Provide automatic door opener or 2' or 610mm clear wall space adjacent to door latch where door swings toward user (entry doors, bathroom bedrooms, patio / balcony, storage)



Entry, 4' or 1200mm Corridor



Entry, 4' or 1200mm Corridor with 1' or 305mm Door Recessed

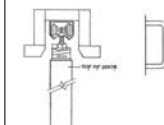
D. DOORS

- Pocket Doors

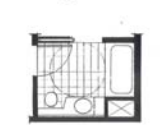
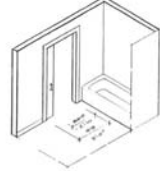
Levels Two and Three

- Pocket doors in small spaces (provide 2' 11/2" or 860mm clear opening, heavy duty, double-gated hardware and D-handle)

Heavy Duty Hardware D-Handle



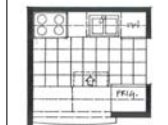
Provide door step to ensure handle is graspable



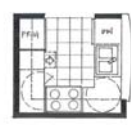
E. KITCHEN LAYOUTS

- Level Two: Design Elements and Fixture and Finishes

- Continuous Counter between stove and sink
- Pull-out work boards



Corridor Kitchen 8' 2 1/2" x 88 sq. ft.

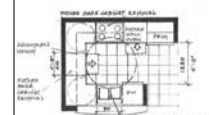


U-shaped Kitchen 8' 2 1/2" x 88 sq. ft.

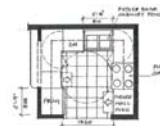
E. KITCHEN LAYOUTS

- Level Three: Design Elements and Fixture and Finishes

- Continuous counter between stove and sink
- Sink cabinet minimum 2'0" or 610mm wide
- Provide sufficient space for future installation of cook top and wall oven
- Provide potential 2'0" or 610mm wide removable base cabinet to provide knee space
- Minimum 4' or 1200mm floor space between base cabinet / walls (possible with removal of sink cabinet)
- Pull-out work boards at 2'0" or 610mm height



U-shaped Kitchen 8' 2 1/2" x 88 sq. ft.



U-shaped Kitchen



U-shaped Kitchen 8' 2 1/2" x 88 sq. ft.

F. BATHROOM

- Levels One, Two and Three: Design Elements and Fixture and Finishes

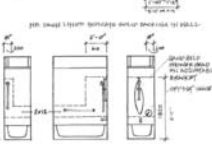
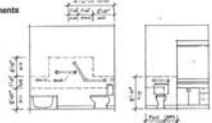
Wall Reinforcement and Plumbing Fixtures

- Reinforcing for towel bar and future grab bars

- Solid backing provided in walls of tub / shower, toilet area and behind towel bars

- Tub control valve placed at outer edge of tub, with tub spout and shower diverter remaining in central position

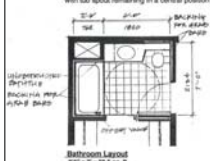
- Adjustable height shower head of handheld shower head on adjustable bracket



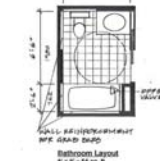
F. BATHROOM

- Level Two: Design Elements and Fixture and Finishes

- Toilet located adjacent to wall
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in a central position



Bathroom Layout 8' 2 1/2" x 7' = 58.3 sq. ft.

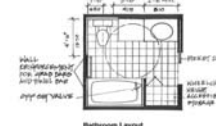


Bathroom Layout 8' 2 1/2" x 7' = 58.3 sq. ft.

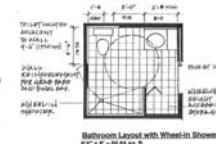
F. BATHROOM

- Level Three: Design Elements and Fixture and Finishes

- Toilet located adjacent to wall
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in a central position
- Accessible storage - height accessible from seated position
- Provide door swing out, or pocket door
- Space under sink minimum 2'0" or 610mm wide
- Provide for installation of shower accessible to wheelchair user (min. 12" or 305mm threshold)



Bathroom Layout 8' 2 1/2" x 8' = 66.5 sq. ft.

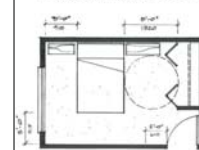


Bathroom Layout with Wheel-in Shower 8' 2 1/2" x 8' = 66.5 sq. ft.

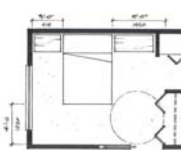
G. BEDROOM

- Level Three: Design Elements

- Sufficient maneuvering room between closet and double bed
- Provide 3' or 915mm access to window opening



Bedroom Layout 10' x 10' = 100 sq. ft.



Bedroom Layout 10' x 10' = 100 sq. ft.

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Drawing Issue Date

Revision Schedule

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KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
ADAPTABLE DESIGN

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-10
Drawn By: HR	Rev:
File name:	



VIEW FROM NORTH WEST

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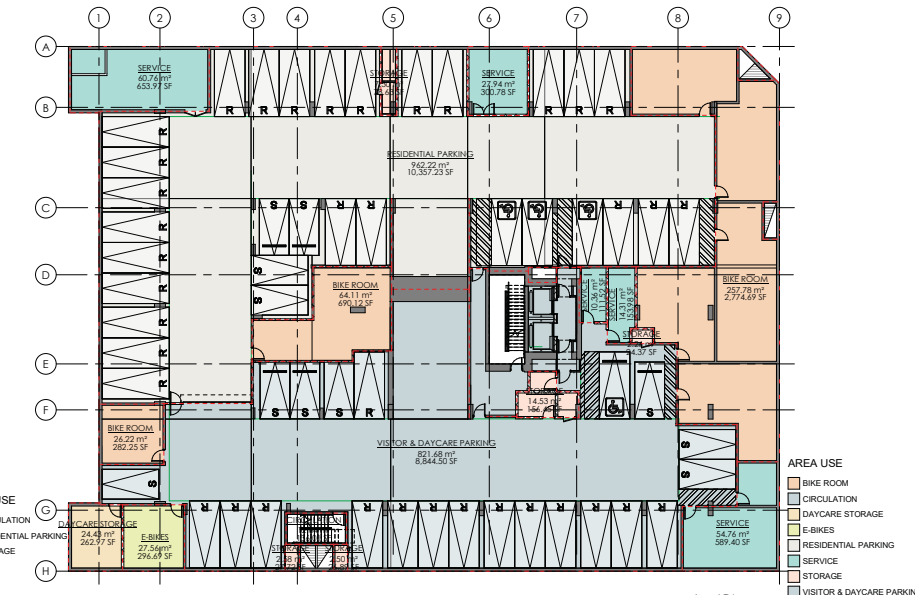
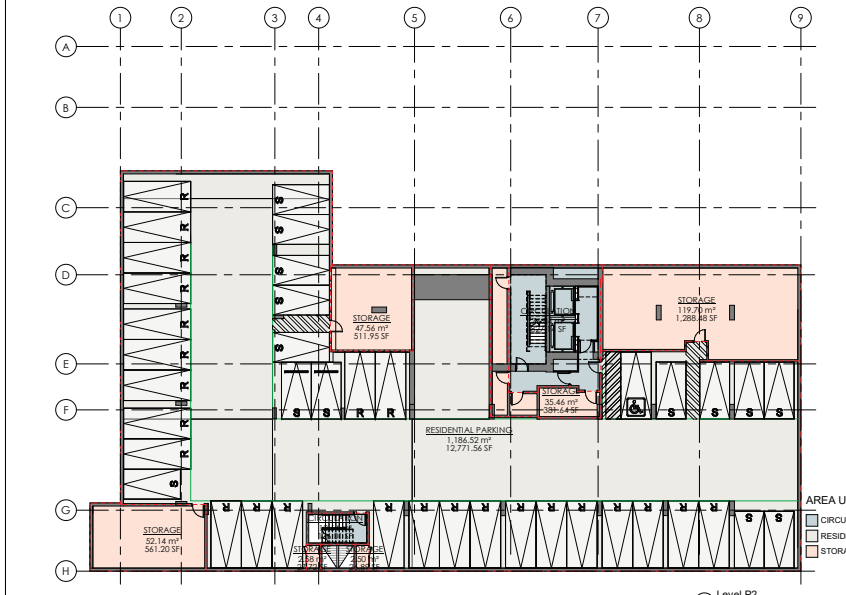
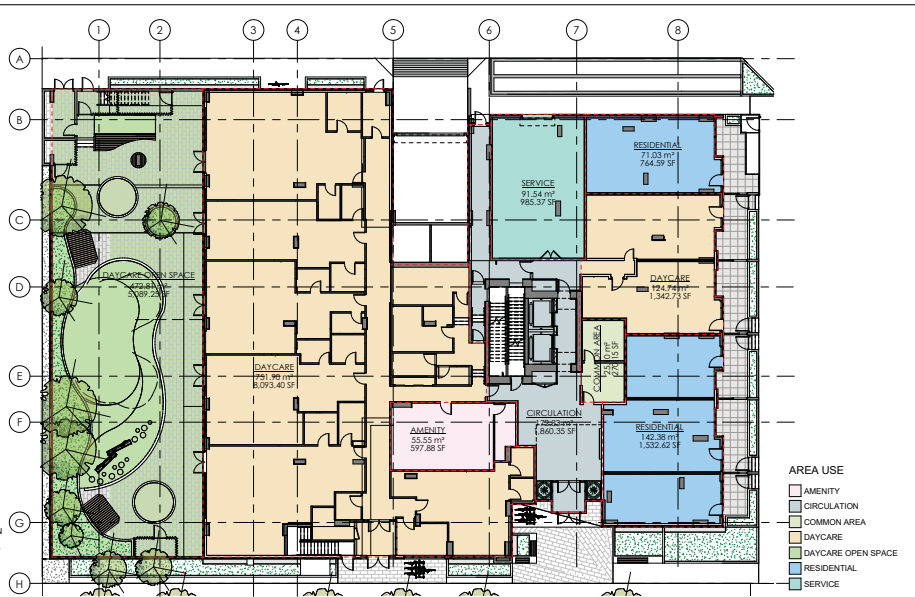
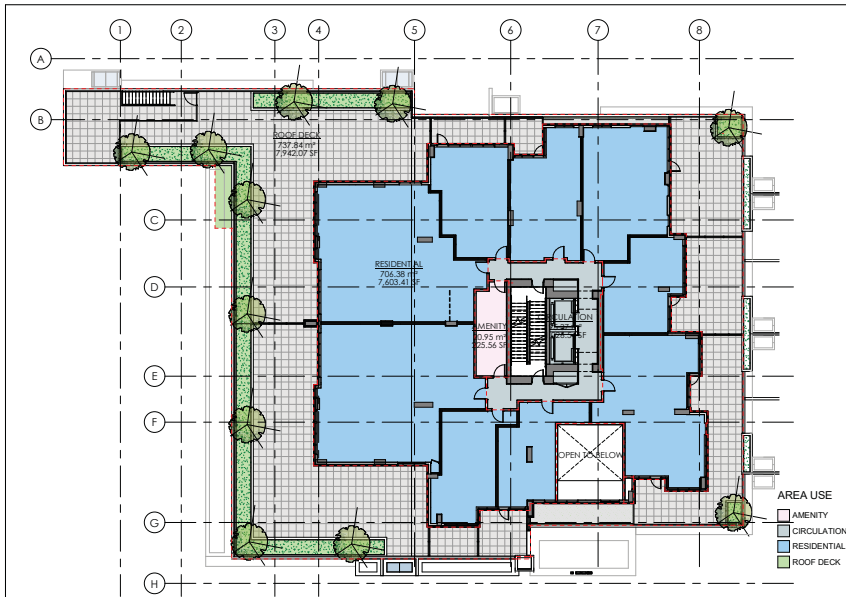
Project

1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

NORTH WEST 3D VIEW

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-11
Drawn By: HR	Rev:
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NORTH VANCOUVER, BC

Drawing Title

SPACE PLANNING (GROSS)

Date: AUG. 01 - 2019
Scale: 1:200
Drawn By: HR
File name:

Project No: 17-55
Drawing No: A0-13
Rev:

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Drawing Title

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Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 200

Drawing No.

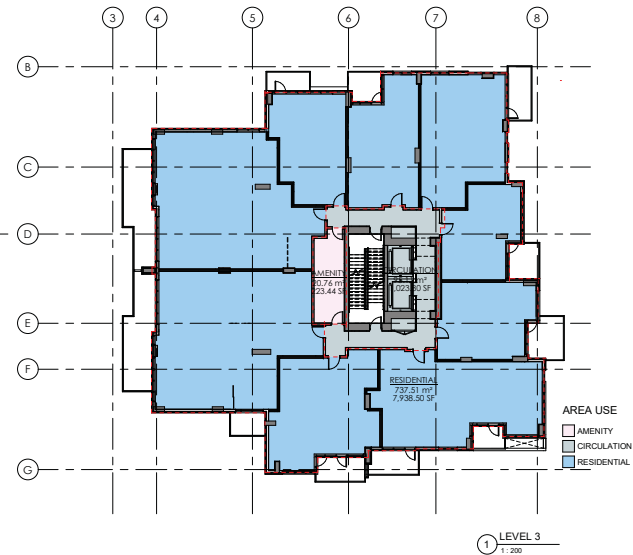
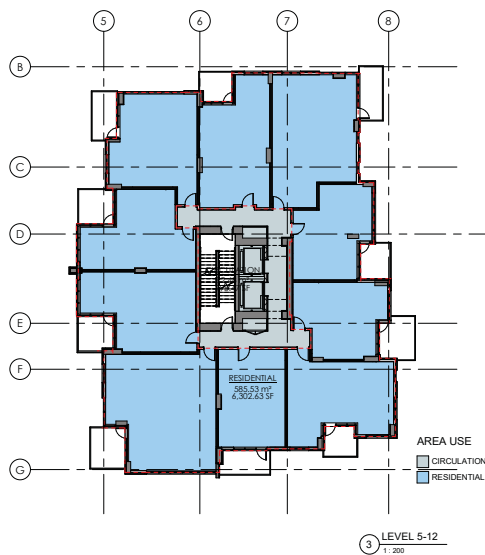
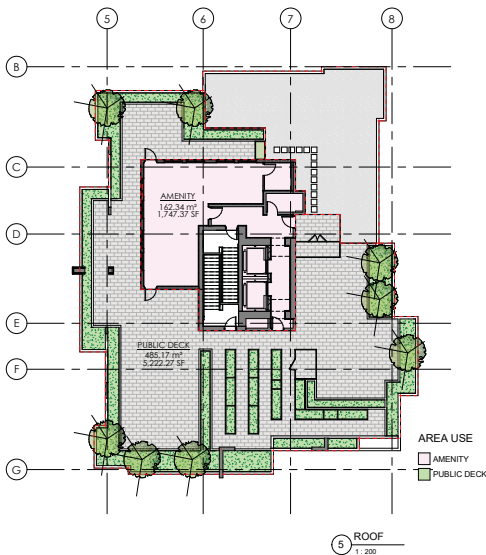
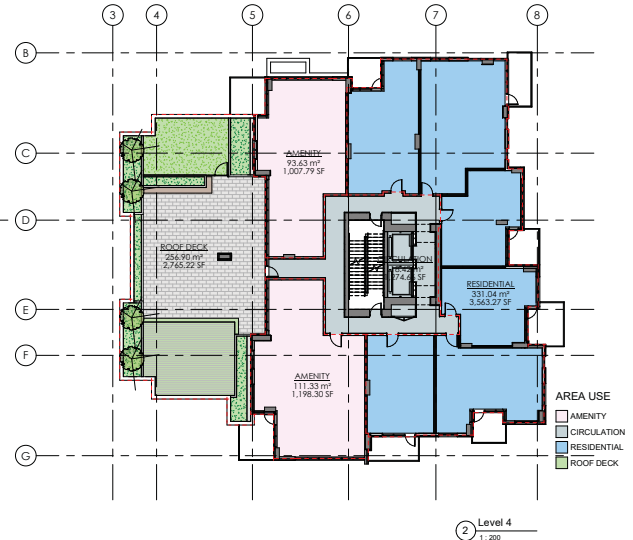
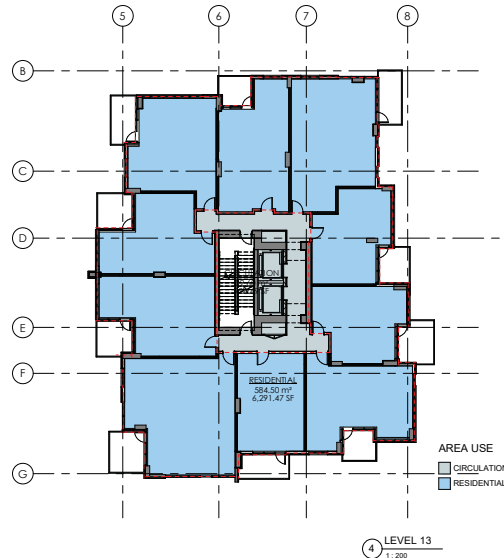
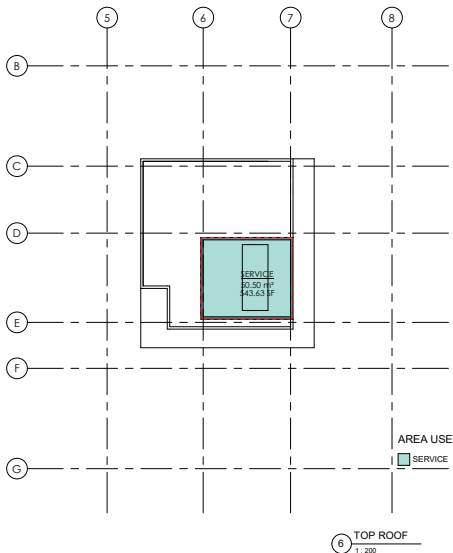
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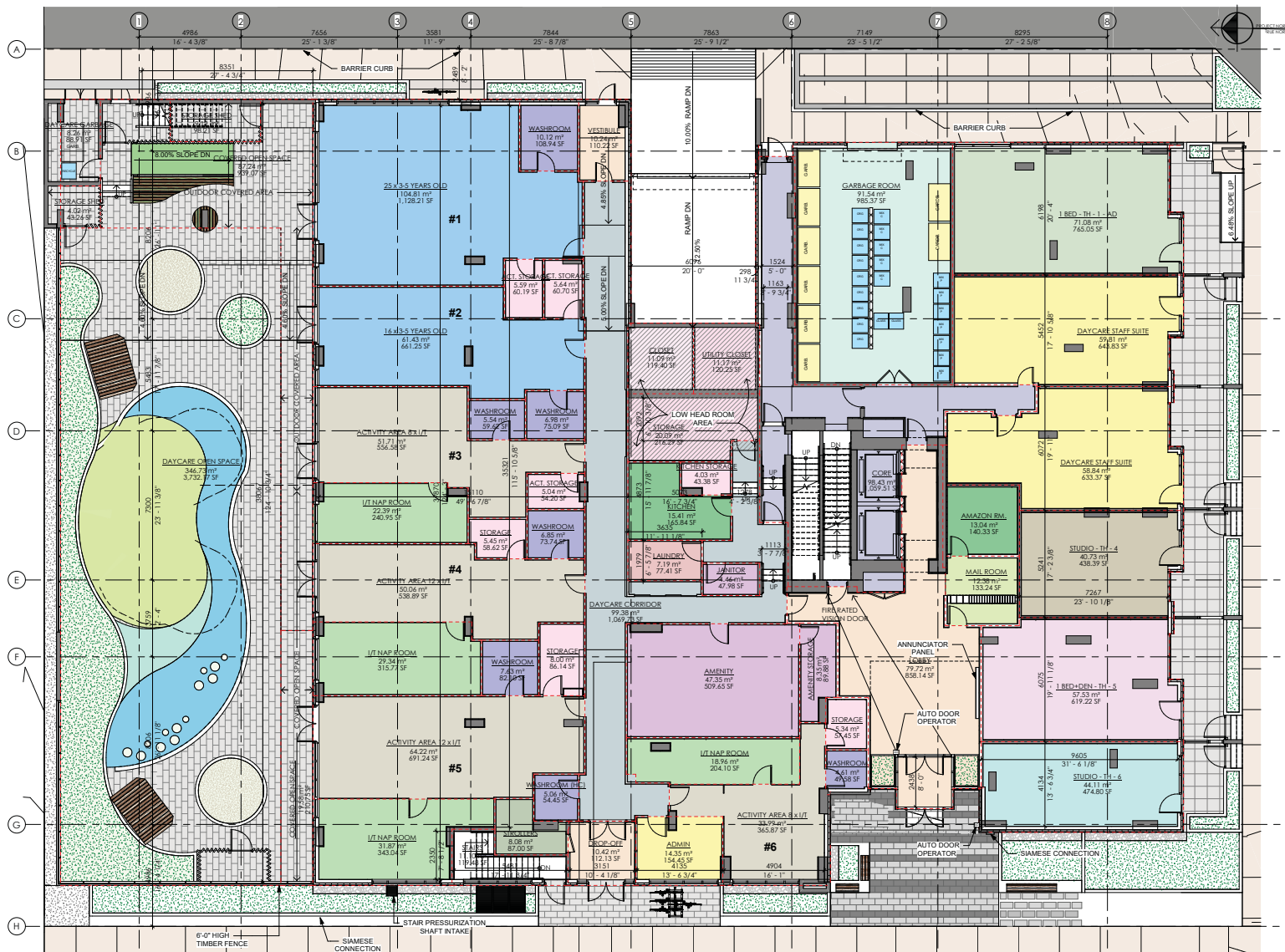
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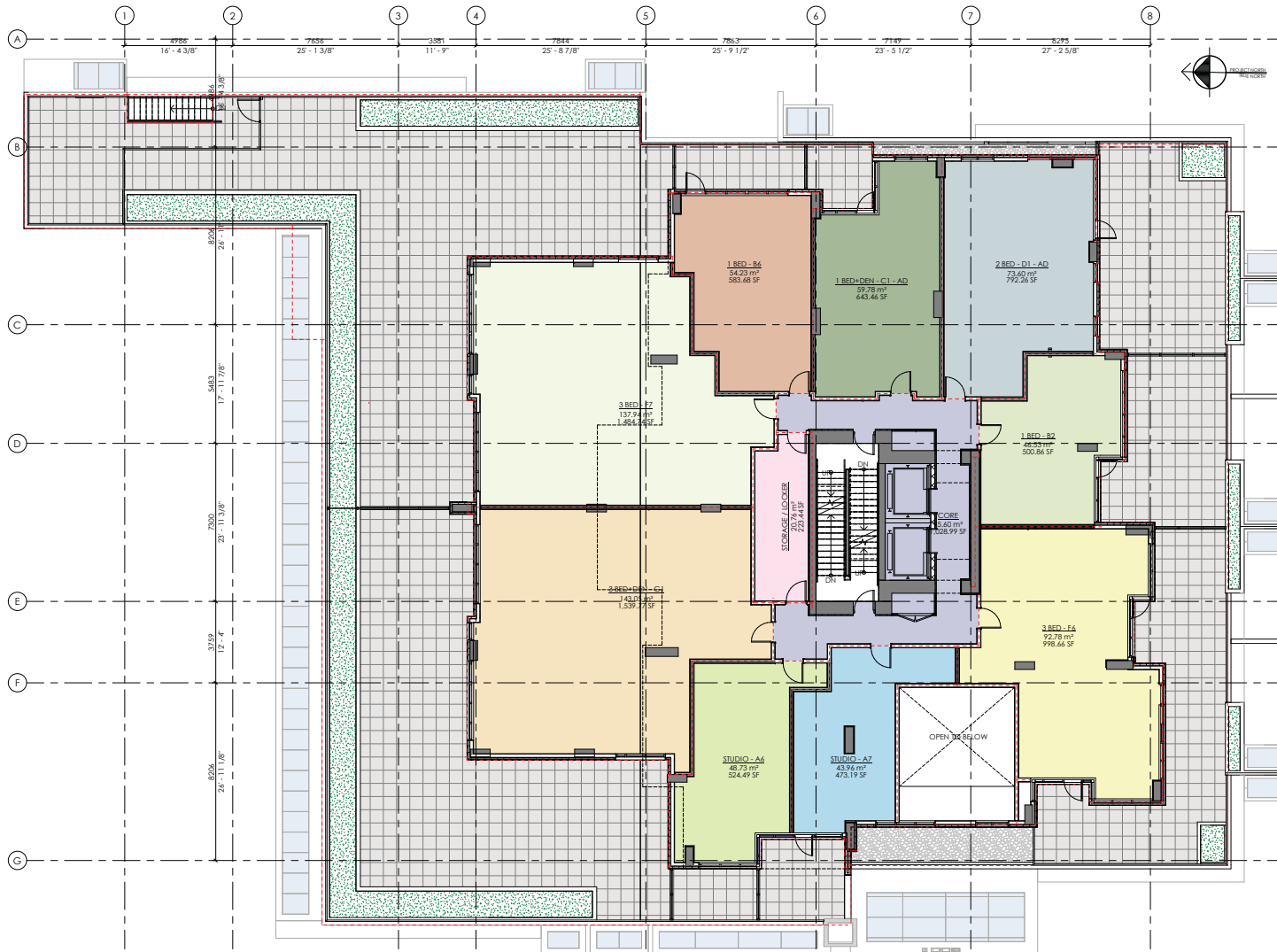
KENWOOD APARTMENTS

Project
 1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
LEVEL 1 FAR PLAN

Date: AUG. 01 - 2019 Project No: 17-55
 Scale: 1 : 100 Drawing No: A0-15
 Drawn By: HR
 File name: Rev:

ACTIVE DESIGN				LEVEL 1 ADAPTABLE UNIT BONUS				LEVEL 1 WALL EXCLUSION				LEVEL 1 EXEMPTIONS				LEVEL 1 GROSS AREA			
Level	TYPE	AREA	AREA SF	Level	UNIT TYPE	Count	BONUS AREA, BONUS AREA SF	Level	TOTAL LENGTH	AREA SQM	AREA SQFT	Level	AREA USE	Area	Area (Imperial)	Level	AREA USE	Area	Area (Imperial)
LEVEL 1	STAIRS	21.14 m ²	227.55 sf	LEVEL 1	2 BED RM - AD	1	1.9 m ²	LEVEL 1	163.96 m	21.81 m ²	234.27 m ²	LEVEL 1	AMENITY	55.70 m ²	600 R ²	LEVEL 1	AMENITY	55.70 m ²	600 R ²
TOTAL		31.14 m ²	227.55 sf	TOTAL		1	20.45 sf	TOTAL				LEVEL 1	LOBBY	79.72 m ²	858 R ²	LEVEL 1	COMMON	123.85 m ²	1333 R ²
												LEVEL 1	SERVICE	91.54 m ²	985 R ²	LEVEL 1	DAYCARE	874.02 m ²	9408 R ²
												TOTAL		226.97 m ²	2443 R ²	LEVEL 1	LOBBY	79.72 m ²	858 R ²
																LEVEL 1	RESIDENTIAL	213.44 m ²	2297 R ²
																LEVEL 1	SERVICE	91.54 m ²	985 R ²
																TOTAL		1438.27 m ²	15481 R ²



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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	DOCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client
KENWOOD APARTMENTS

Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
LEVEL 2 FAR PLAN

Date: AUG. 01 - 2019 Project No: 17-55
 Scale: 1 : 100 Drawing No: A0-16
 Drawn By: HR
 File name: Rev:

ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 2	STAIRS	21.14 m ²	227.55 sft ²
TOTAL		21.14 m ²	227.55 sft ²

LEVEL 2 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 2	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sft ²
LEVEL 2	2 BED RM - AD	1	1.9 m ²	20.45 sft ²
TOTAL		2	3.8 m ²	40.90 sft ²

LEVEL 2 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQFT
L2	139.16 m	18.51 m ²	199.22 ft ²
TOTAL	139.16 m	18.51 m ²	199.22 ft ²

LEVEL 2 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 2	AMENITY	20.78 m ²	223 ft ²
TOTAL		20.78 m ²	223 ft ²

LEVEL 2 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 2	AMENITY	20.78 m ²	223 ft ²
LEVEL 2	COMMON	95.60 m ²	1029 ft ²
LEVEL 2	RESIDENTIAL	700.59 m ²	7541 ft ²
TOTAL		816.97 m ²	8794 ft ²

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KENWOOD APARTMENTS

Project

1536 & 1550
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 NORTH VANCOUVER, BC

Drawing Title

LEVEL 3 FAR PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

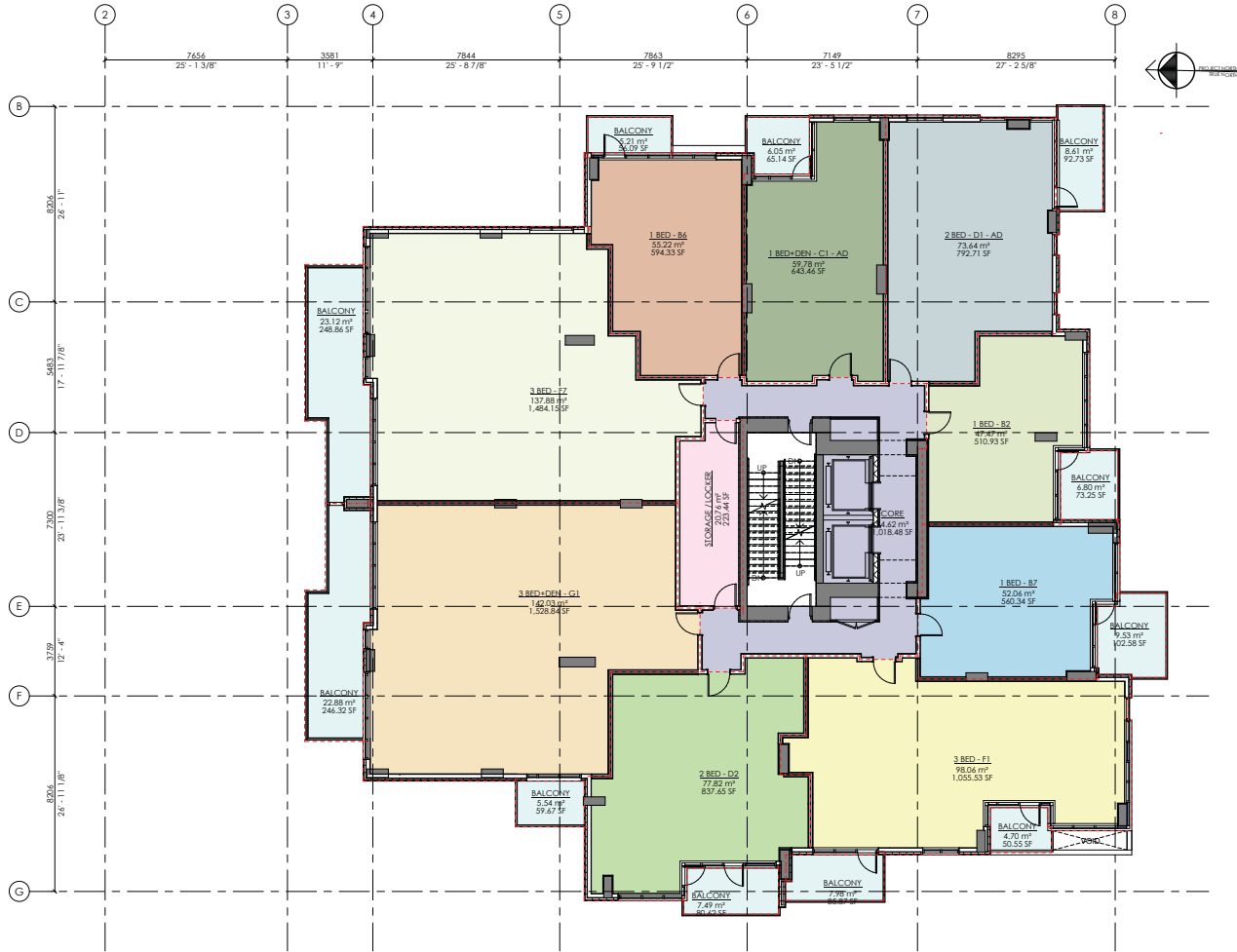
A0-17

Drawn By:

HR

Rev:

File name:



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 3	STAIRS	21.14 m ²	227.55 sf
TOTAL		21.14 m ²	227.55 sf

LEVEL 3 ADAPTABLE UNIT BONUS					
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF	
LEVEL 3	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf	
LEVEL 3	2 BED RM + AD	1	1.9 m ²	20.45 sf	
TOTAL		2	3.8 m ²	40.90 sf	

LEVEL 3 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
L3	139.16 m	18.51 m ²	199.22 ft ²
TOTAL	139.16 m	18.51 m ²	199.22 ft ²

LEVEL 3 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 3	AMENITY	20.76 m ²	223 ft ²
TOTAL		20.76 m ²	223 ft ²

LEVEL 3 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 3	AMENITY	20.76 m ²	223 ft ²
LEVEL 3	COMMON	94.62 m ²	1018 ft ²
LEVEL 3	RESIDENTIAL	743.56 m ²	8008 ft ²
TOTAL		859.34 m ²	9250 ft ²

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KENWOOD APARTMENTS

Project

1536 & 1550
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 NORTH VANCOUVER, BC

Drawing Title

LEVEL 4 FAR PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

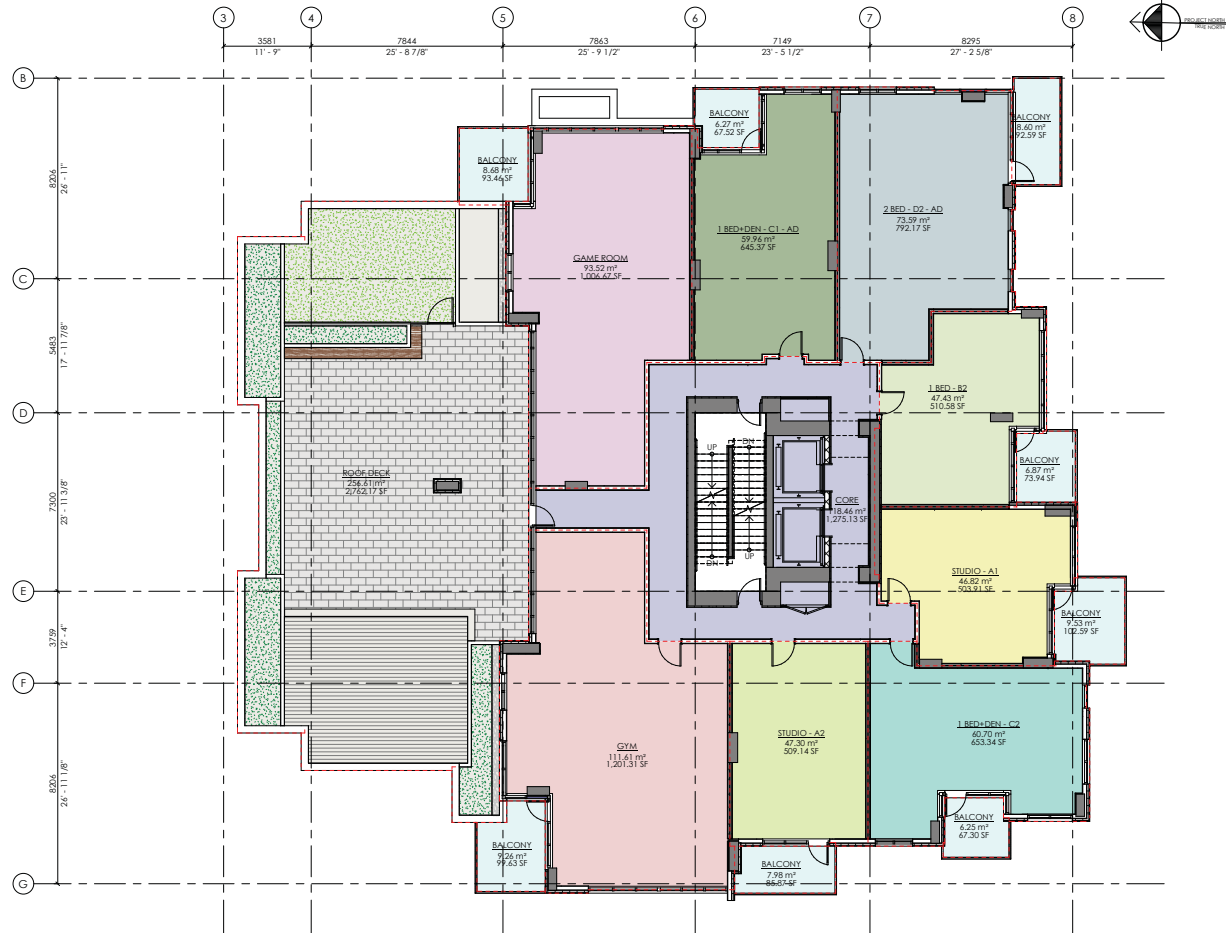
A0-18

Drawn By:

HR

Rev:

File name:



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 4	STAIRS	21.14 m ²	227.55 sf ²
TOTAL		21.14 m ²	227.55 sf ²

LEVEL 4 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
Level 4	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf ²
Level 4	2 BED RM - AD	1	1.9 m ²	20.45 sf ²
TOTAL		2	3.8 m ²	40.90 sf ²

LEVEL 4 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
L4	123.54 m	16.43 m ²	176.86 ft ²
TOTAL	123.54 m	16.43 m ²	176.86 ft ²

LEVEL 4 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
Level 4	AMENITY	206.13 m ²	2208 ft ²
TOTAL		206.13 m ²	2208 ft ²

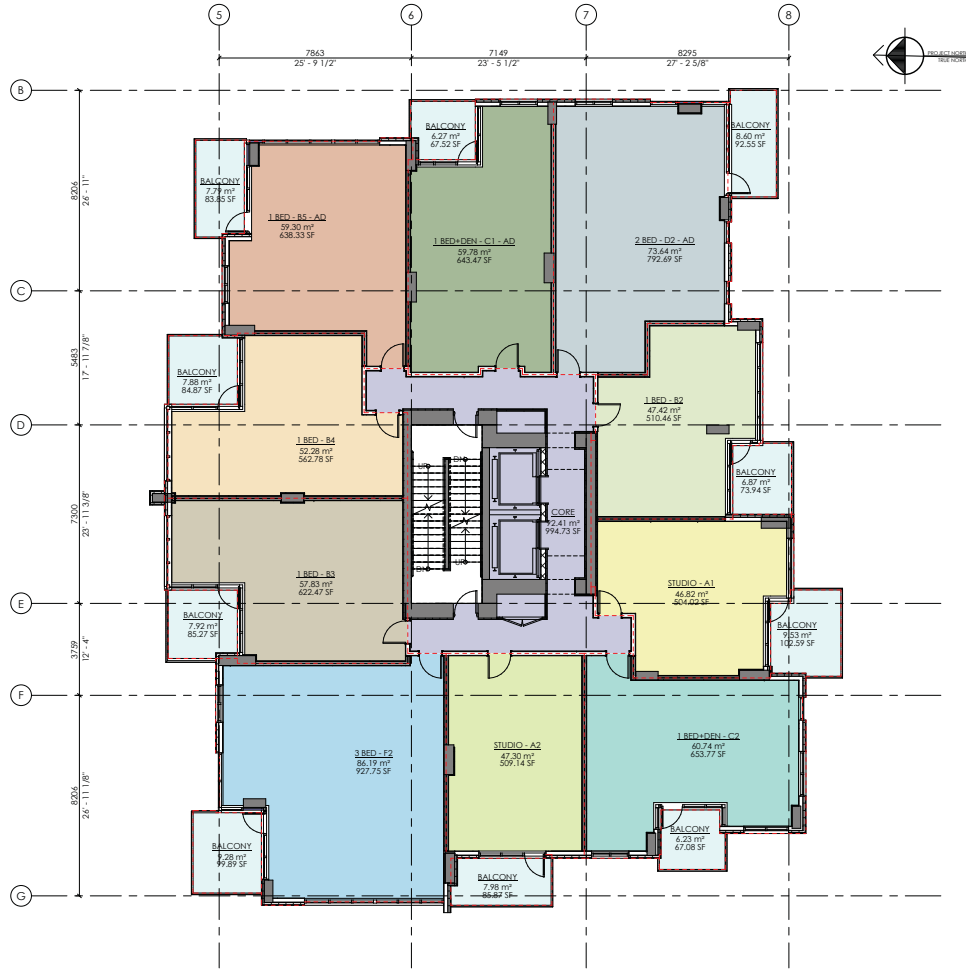
LEVEL 4 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
Level 4	AMENITY	206.13 m ²	2208 ft ²
Level 4	COMMON	118.66 m ²	1275 ft ²
Level 4	RESIDENTIAL	335.80 m ²	3614 ft ²
TOTAL		659.59 m ²	7098 ft ²

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 NORTH VANCOUVER, BC

Drawing Title
LEVEL 5-12 FAR PLAN

ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 5-12	STAIRS	21.14 m ²	227.55 sf ²
TOTAL		21.14 m ²	227.55 sf ²

LEVEL 5-12 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 8	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf ²
LEVEL 8	1 BED RM - AD	1	1.9 m ²	20.45 sf ²
LEVEL 8	2 BED RM - AD	1	1.9 m ²	20.45 sf ²
TOTAL		3	5.7 m ²	61.35 sf ²

LEVEL 5-12 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
(L5-13)	103.25 m	13.73 m ²	147.81 ff ²
TOTAL	103.25 m	13.73 m ²	147.81 ff ²

LEVEL 5-12 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
		60.74 m ²	653.77 sf ²

LEVEL 5-12 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 8	COMMON	92.41 m ²	995 ff ²
LEVEL 8	RESIDENTIAL	591.32 m ²	6385 ff ²
TOTAL		683.73 m ²	7380 ff ²

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A0-19
Drawn By: HR	
File name:	Rev:

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KENWOOD APARTMENTS

Project

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 NORTH VANCOUVER, BC

Drawing Title

LEVEL 13 AND ROOF FAR PLANS

Date:

AUG. 01 - 2019

Project No.

17-55

Scale:

1 : 100

Drawing No.

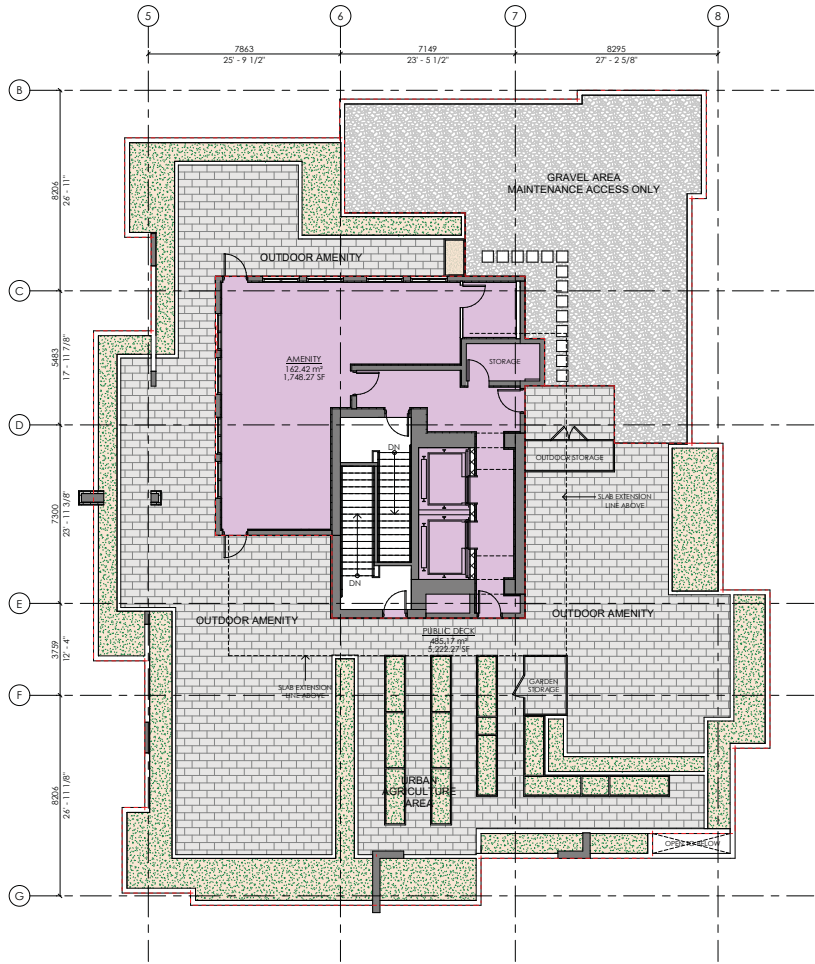
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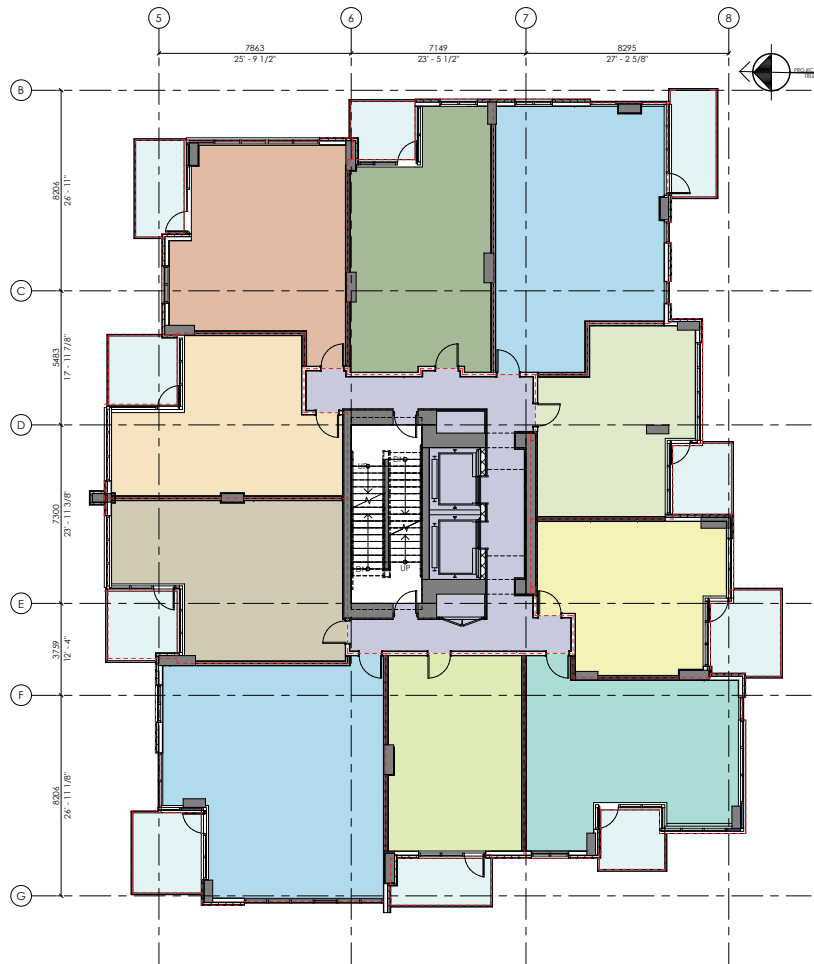
HR

Rev:

File name:



2 ROOF PLAN
 1:100



1 LEVEL 13
 1:100

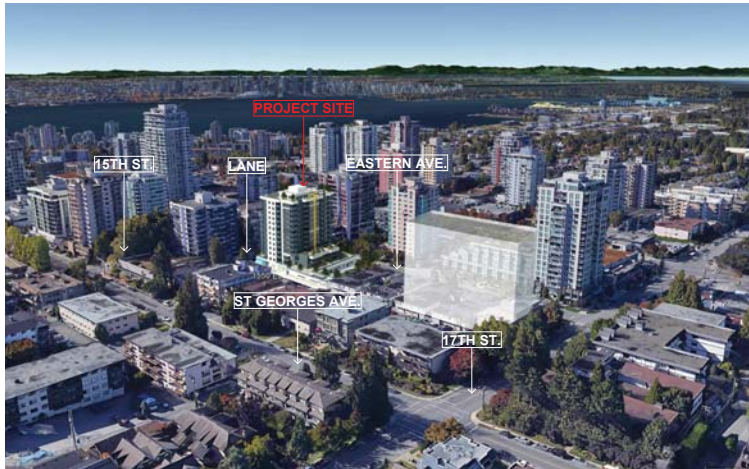
ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 13	STAIRS	21.14 m ²	227.55 sf ²
TOTAL		21.14 m ²	227.55 sf ²

LEVEL 13 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 13	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf ²
LEVEL 13	1 BED RM - AD	1	1.9 m ²	20.45 sf ²
TOTAL		2	5.7 m ²	61.35 sf ²

LEVEL 13 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
L13	103.25 m	13.73 m ²	147.81 ft ²
TOTAL	103.25 m	13.73 m ²	147.81 ft ²

LEVEL 13 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)

LEVEL 13 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 13	COMMON	92.41 m ²	995 ft ²
LEVEL 13	RESIDENTIAL	591.33 m ²	6395 ft ²
TOTAL		683.74 m ²	7390 ft ²



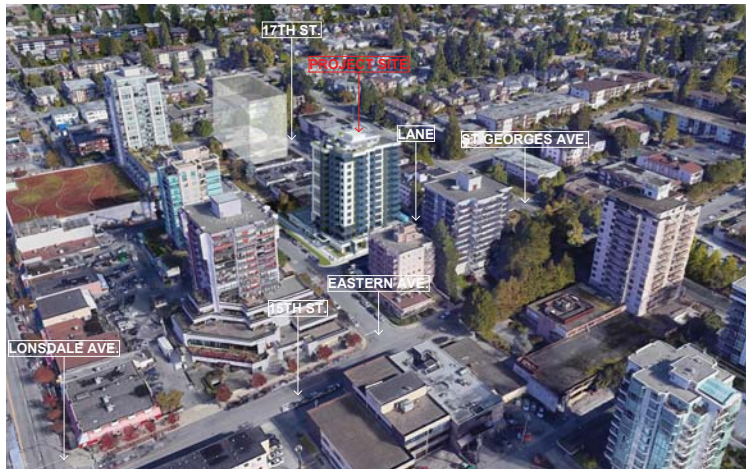
VIEW FROM NORTH EAST



VIEW FROM SOUTH EAST



VIEW FROM NORTH WEST



VIEW FROM SOUTH WEST

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KENWOOD APARTMENTS

Project

1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

3D CONTEXT VIEWS

Date:

AUG. 01 - 2019

Project No.

17-55

Scale:

Drawing No.

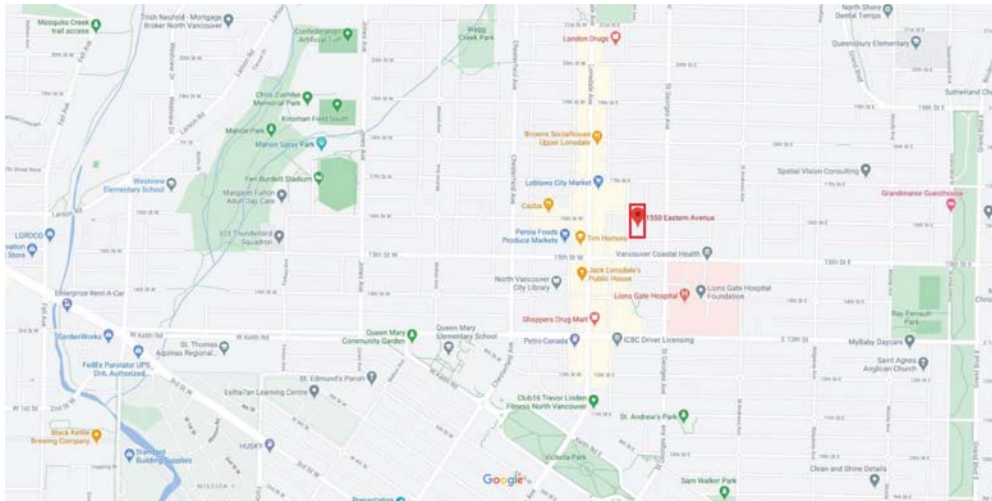
A0-21

Drawn By:

HR

File name:

Rev:



NEIGHBOURHOOD AMENITIES & LOCATIONS



SITE CONTEXT PHOTOS



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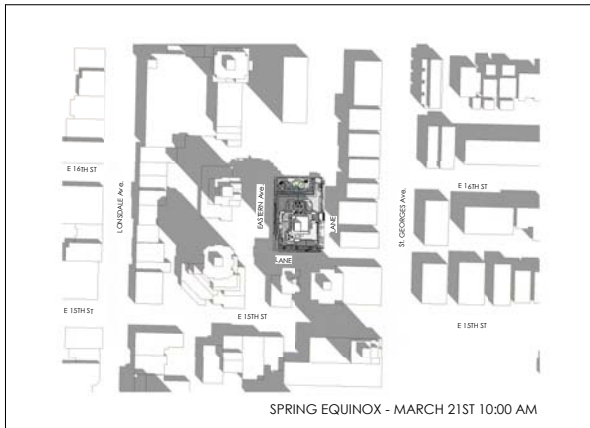
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KENWOOD APARTMENTS

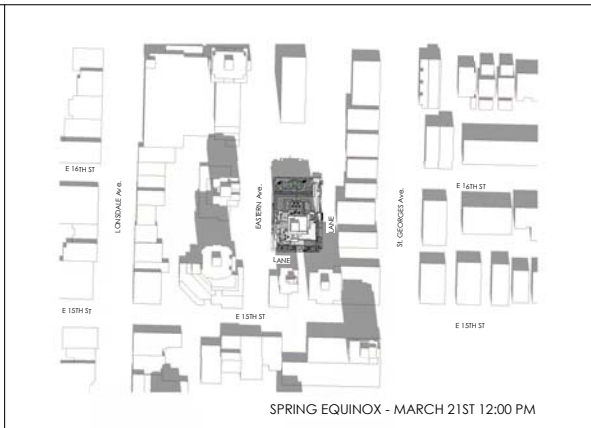
Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
CONTEXT PHOTOS

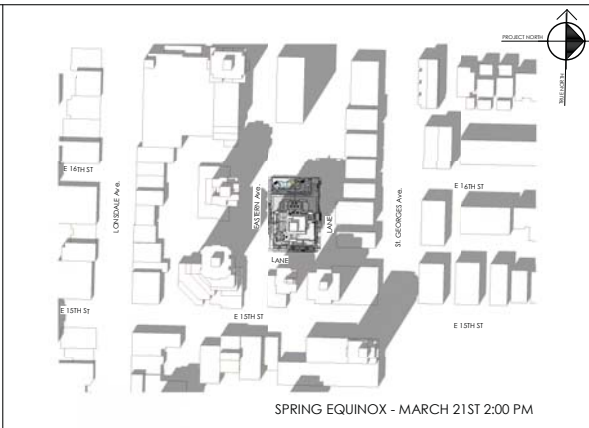
Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-22
Drawn By: HR	Rev:
File name:	



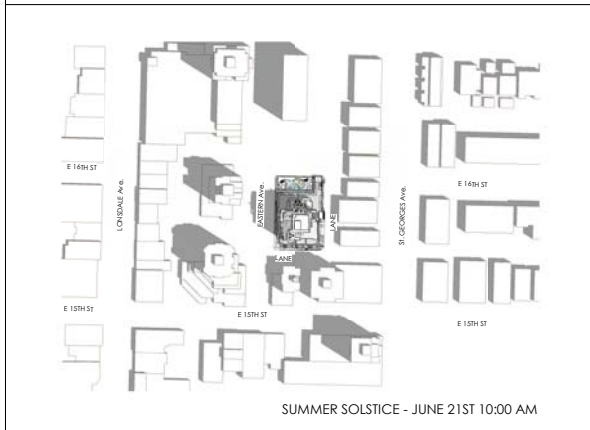
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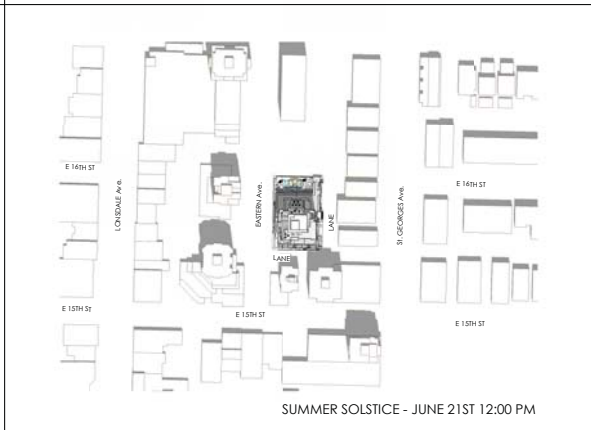
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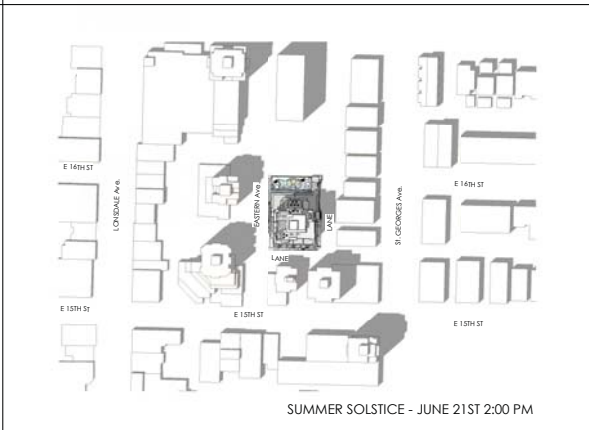
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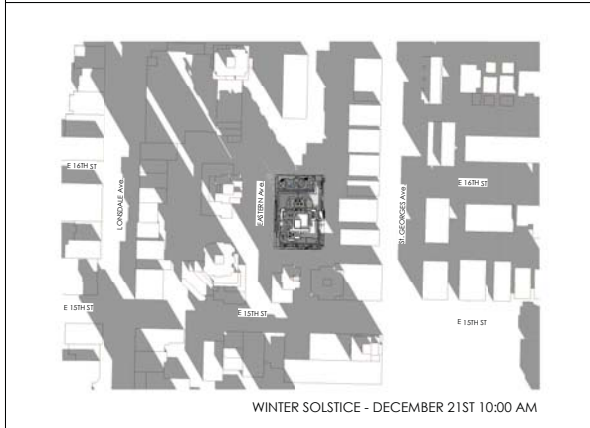
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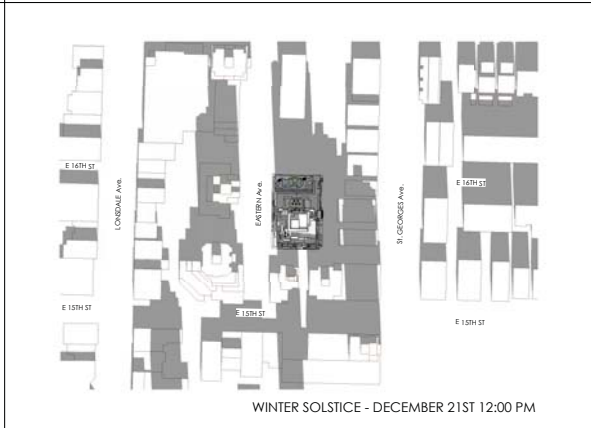
SUMMER SOLSTICE - JUNE 21ST 12:00 PM



SUMMER SOLSTICE - JUNE 21ST 2:00 PM



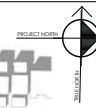
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WINTER SOLSTICE - DECEMBER 21ST 12:00 PM



WINTER SOLSTICE - DECEMBER 21ST 2:00 PM



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Project
1536 & 1550 EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
SHADOW STUDY

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 2000	Drawing No. A0-23
Drawn By: HR	
File name:	Rev:

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KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

3D AERIAL VIEW FROM NORTH WEST

Date:

AUG. 01 - 2019

Project No.

17-55

Scale:

Drawing No.

A0-24

Drawn By:

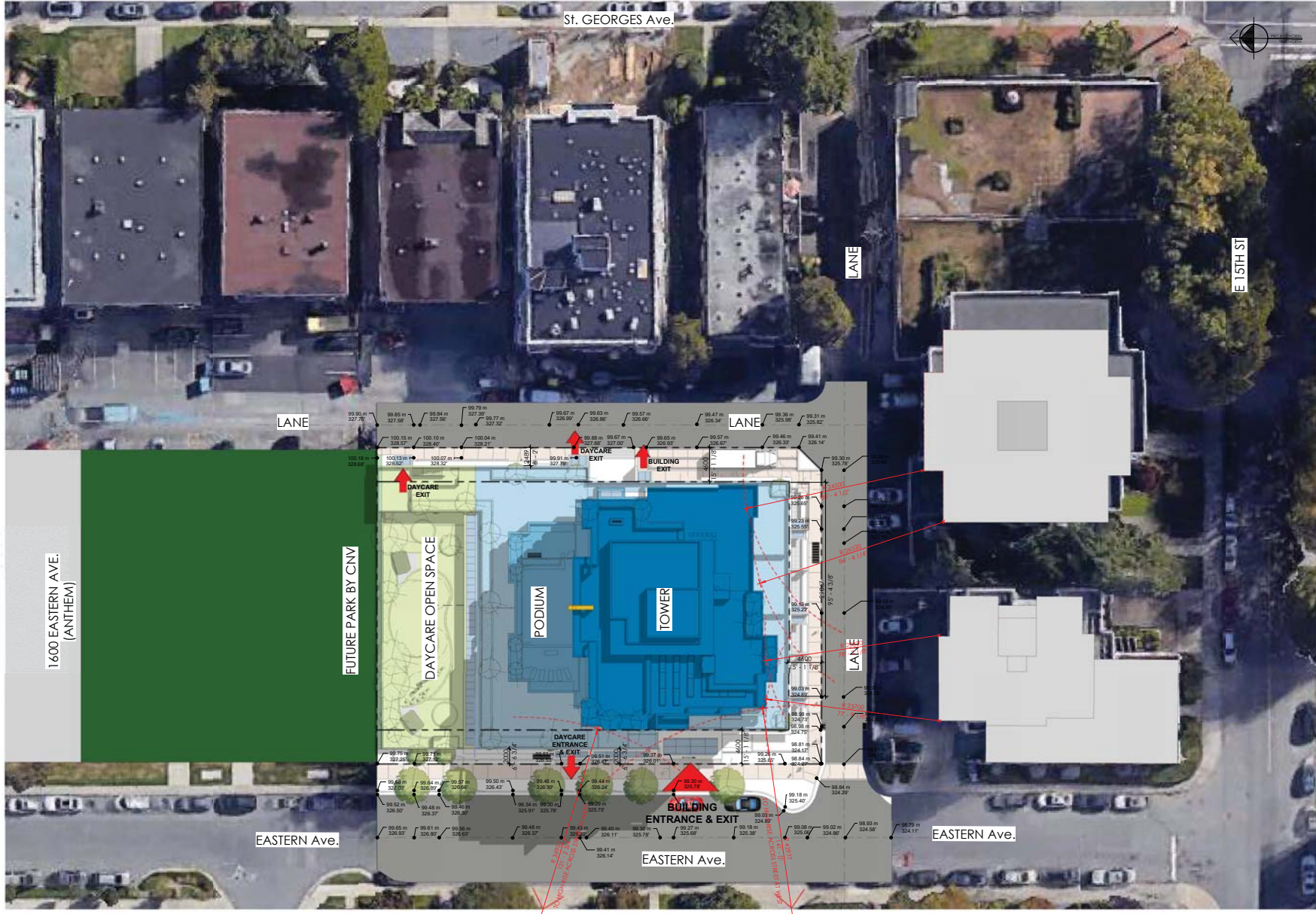
HR

File name:

Rev:



AERIAL VIEW FROM NORTH WEST



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Drawing Issue Date

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Client: **KENWOOD APARTMENTS**

Project: **1536 & 1550 EASTERN AVE. NORTH VANCOUVER, BC**

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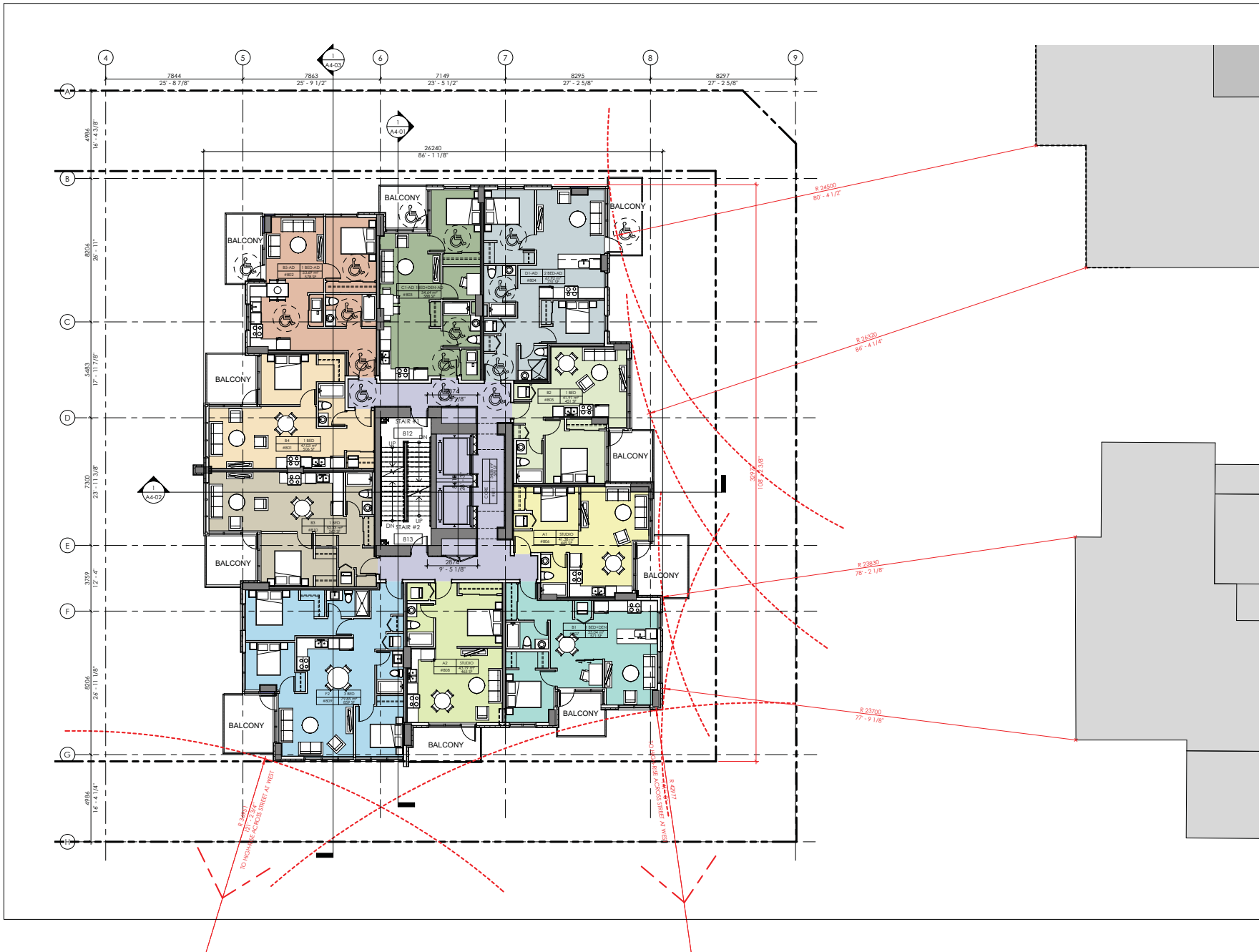

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Client: **KENWOOD APARTMENTS**

Project: **1536 & 1550 EASTERN AVE. NORTH VANCOUVER, BC**

Drawing Title: **SITE PLAN**

Date: AUG. 01 - 2019	Project No: 17-55
Scale: 1 : 250	Drawing No: A1-01
Drawn By: HR	
File name:	Rev:



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Drawing Issue Date

Revision Schedule		
Rev #	Date	Description
1	MAY 01 2023	RE-ISSUED FOR REZONING

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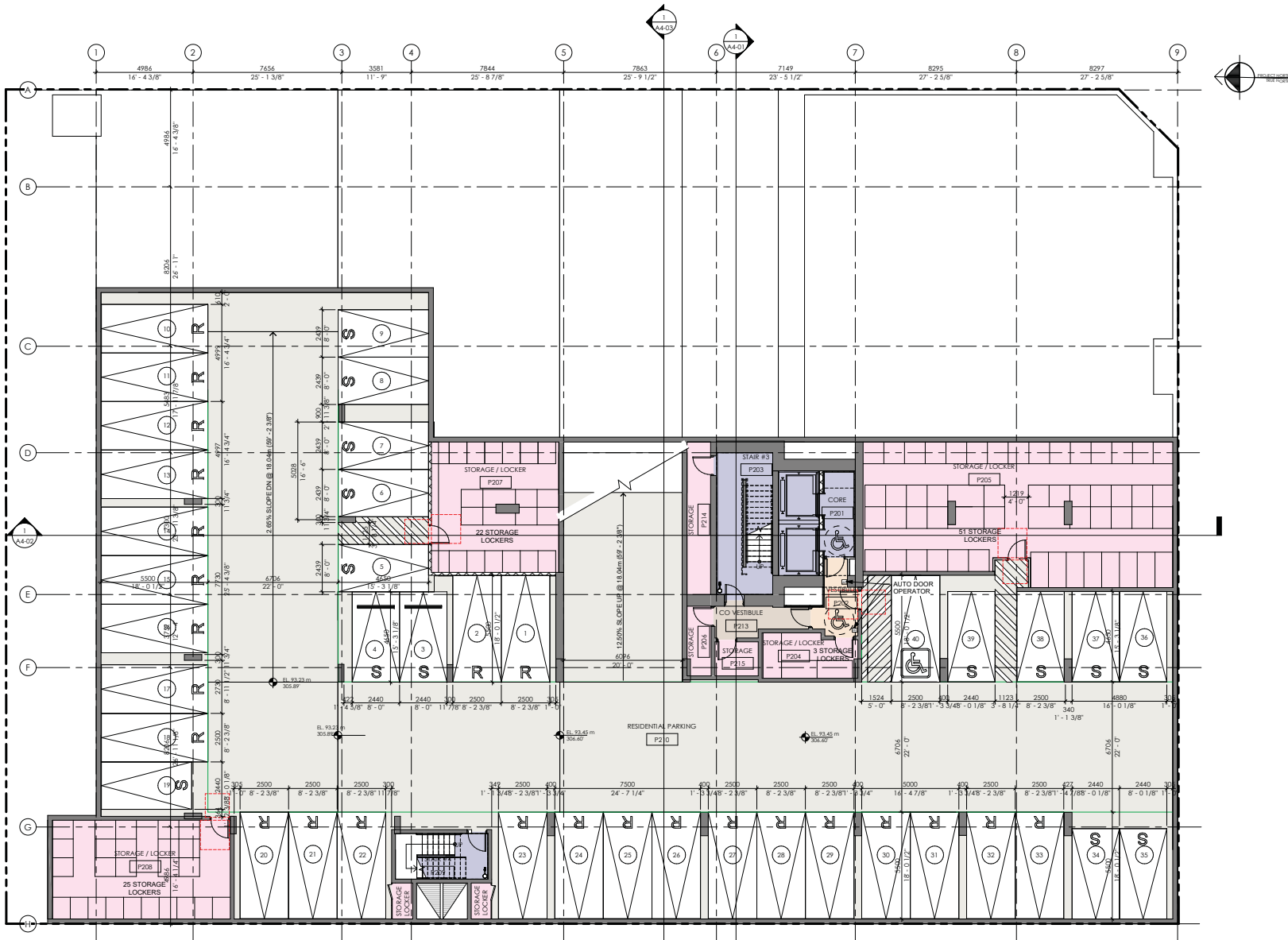
SUITE ONE
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Client
KENWOOD APARTMENTS

Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
TOWER SEPARATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A1-02
Drawn By: HR	
File name:	Rev:



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Drawing Issue Date

Rev #	Date	Description
1	DCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

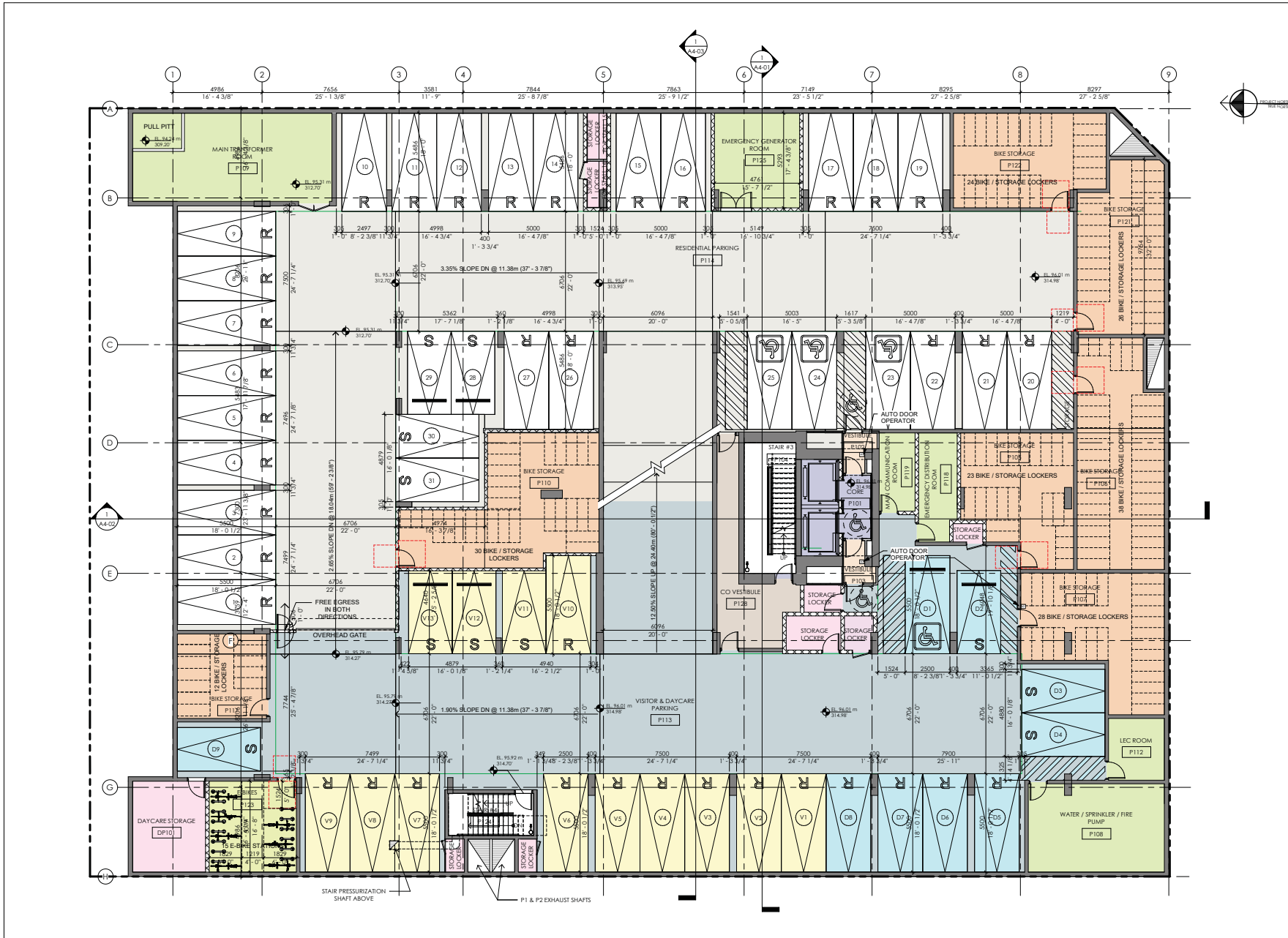
Project

1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

PARKING LEVEL P2

Date:	AUG. 01 - 2019	Project No:	17-55
Scale:	1 : 100	Drawing No.:	A2-01
Drawn By:	HR		
File name:			



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Drawing Issue Date

Revision Schedule		
Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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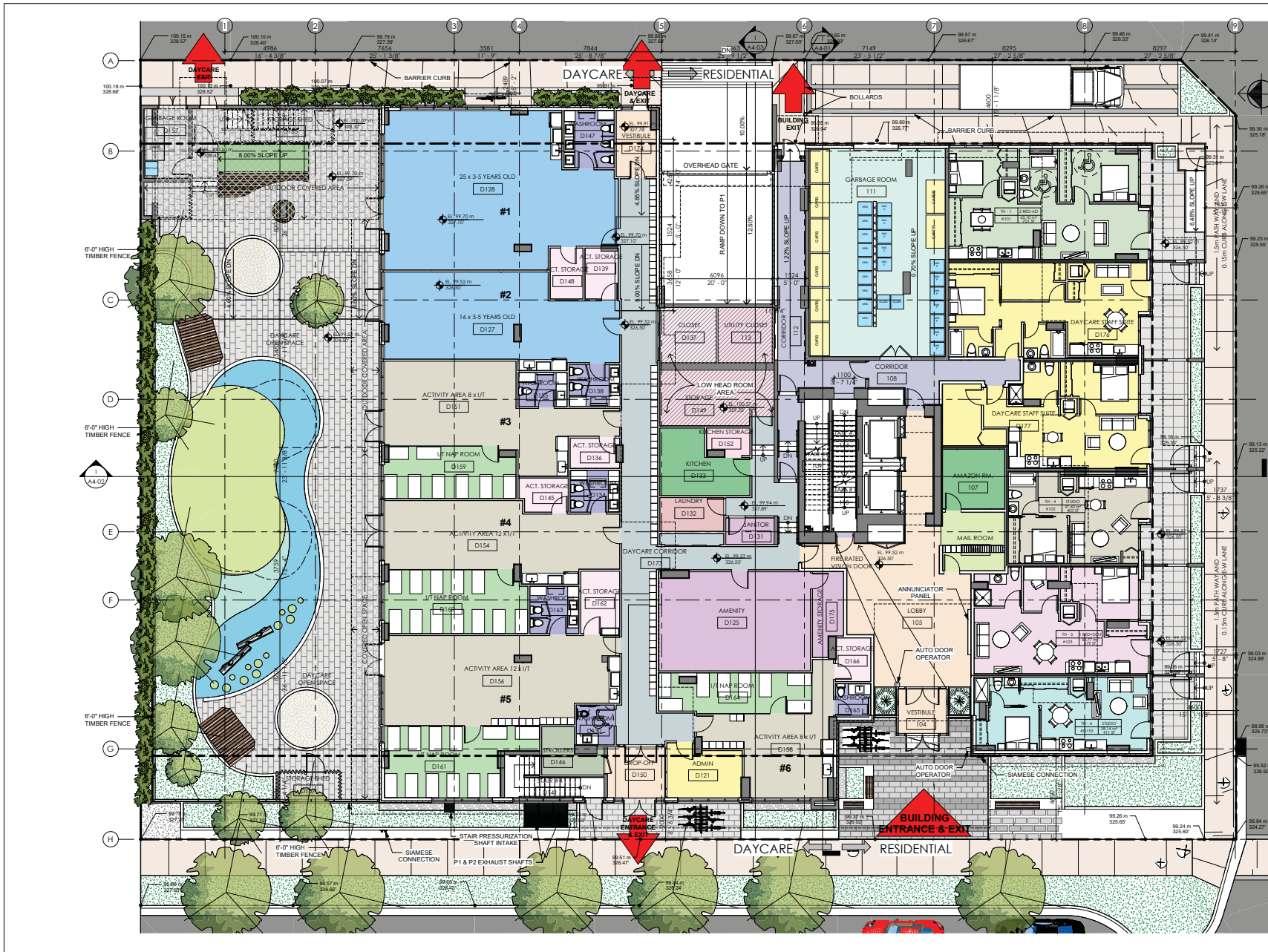
Client

KENWOOD APARTMENTS

Project
 1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
 PARKING LEVEL P1

Date: AUG. 01 - 2019	Project No: 17-55
Scale: 1:100	Drawing No: A2-02
Drawn By: HR	
File name:	Rev:



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Drawing Issue Date

Revision Schedule		
Rev #	Date	Description
1	DEC 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
LEVEL 1 FLOOR PLAN

Date: AUG. 01 - 2019	Project No: 17-55
Scale: 1:100	Drawing No. A2-03
Drawn By: HR	
File name:	Rev:

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Drawing Issue Date

Revision Schedule		
Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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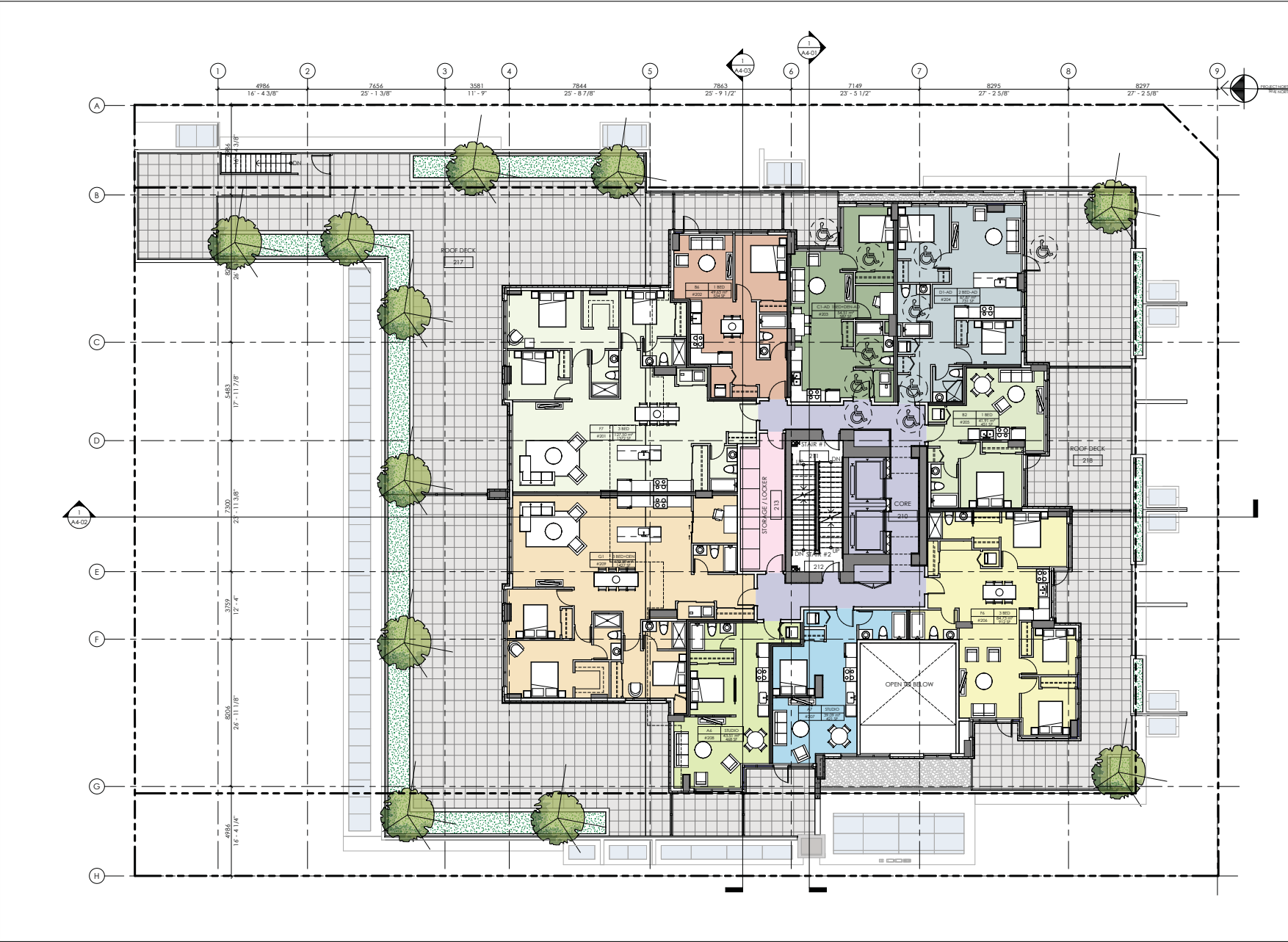
SUITE ONE
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Client
KENWOOD APARTMENTS

Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
LEVEL 2 FLOOR PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A2-04
Drawn By: HR	
File name:	Rev:





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Drawing Issue Date

1	2019-08-01	ISSUED FOR REZONING
2	2020-04-12	RE-ISSUED FOR REZONING
3	2022-01-19	RE-ISSUED FOR REZONING
4	2022-02-28	RE-ISSUED FOR REZONING
5	2022-07-19	RE-ISSUED FOR REZONING
6	2023-05-01	RE-ISSUED FOR REZONING

Revision Schedule

Rev #	Date	Description
1	2019-08-01	ISSUED FOR REZONING
2	2020-04-12	RE-ISSUED FOR REZONING
3	2022-01-19	RE-ISSUED FOR REZONING
4	2022-02-28	RE-ISSUED FOR REZONING
5	2022-07-19	RE-ISSUED FOR REZONING
6	2023-05-01	RE-ISSUED FOR REZONING

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KENWOOD APARTMENTS

Project

1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

LEVEL 3 FLOOR PLAN

Date:	Project No.
AUG. 01 - 2019	17-55
Scale:	Drawing No.
1 : 100	A2-05
Drawn By:	
HR	
File name:	Rev:



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Drawing Issue Date

1	11-1-19	3581
2	23-8-19	7844
3	23-9-12	7863
4	23-5-12	7149
5	27-2-18	8295
6	27-2-18	8297

Revision Schedule

Rev #	Date	Description
1	DOCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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KENWOOD APARTMENTS

Project

1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

LEVEL 4 FLOOR PLAN

Date:	AUG. 01 - 2019	Project No.:	17-55
Scale:	1 : 100	Drawing No.:	A2-06
Drawn By:	HR	Rev:	
File name:			

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Drawing Issue Date

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Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
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5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

LEVEL 5-12 FLOOR PLANS

Date:

AUG. 01 - 2019

Project No.

17-55

Scale:

1 : 100

Drawing No.

A2-07

Drawn By:

HR

File name:

Rev:



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Revision Schedule

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1	OCT 14-2020	ISSUED FOR REZONING
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4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

LEVEL 13 FLOOR PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale:

1 : 100

Drawing No.

A2-08

Drawn By:

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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	DCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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KENWOOD APARTMENTS

Project

1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

ROOF LEVEL & TOP ROOF PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale:

1 : 100

Drawing No.

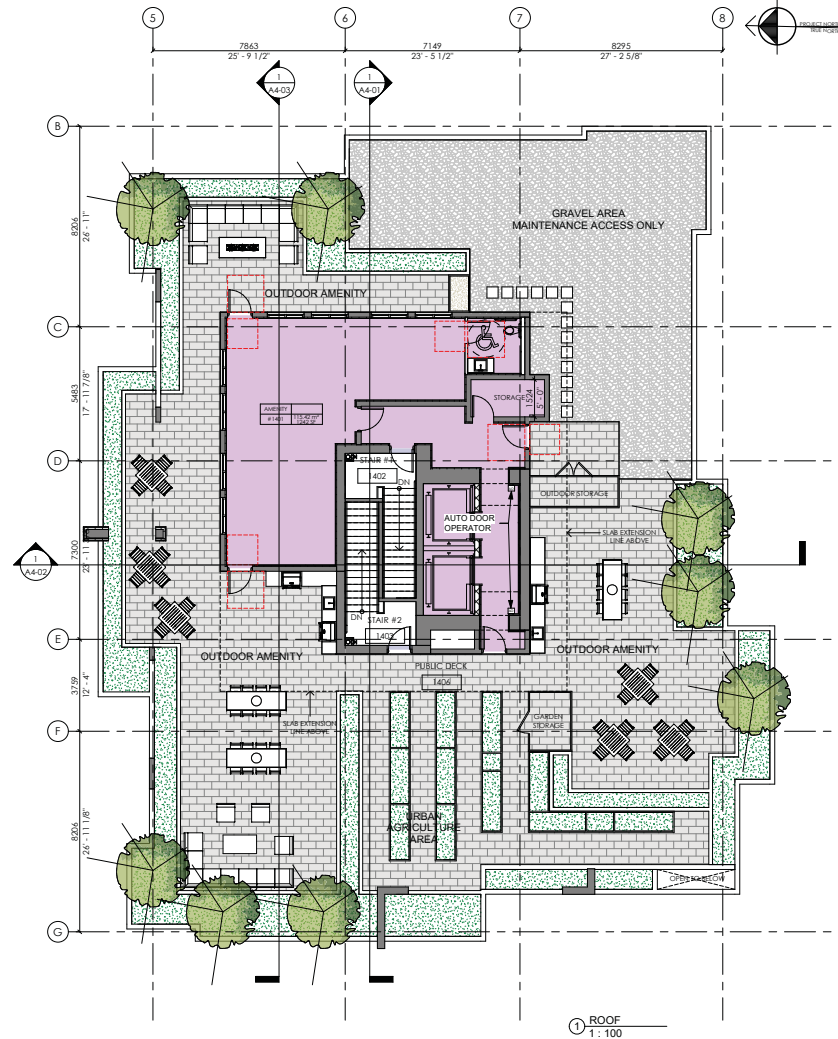
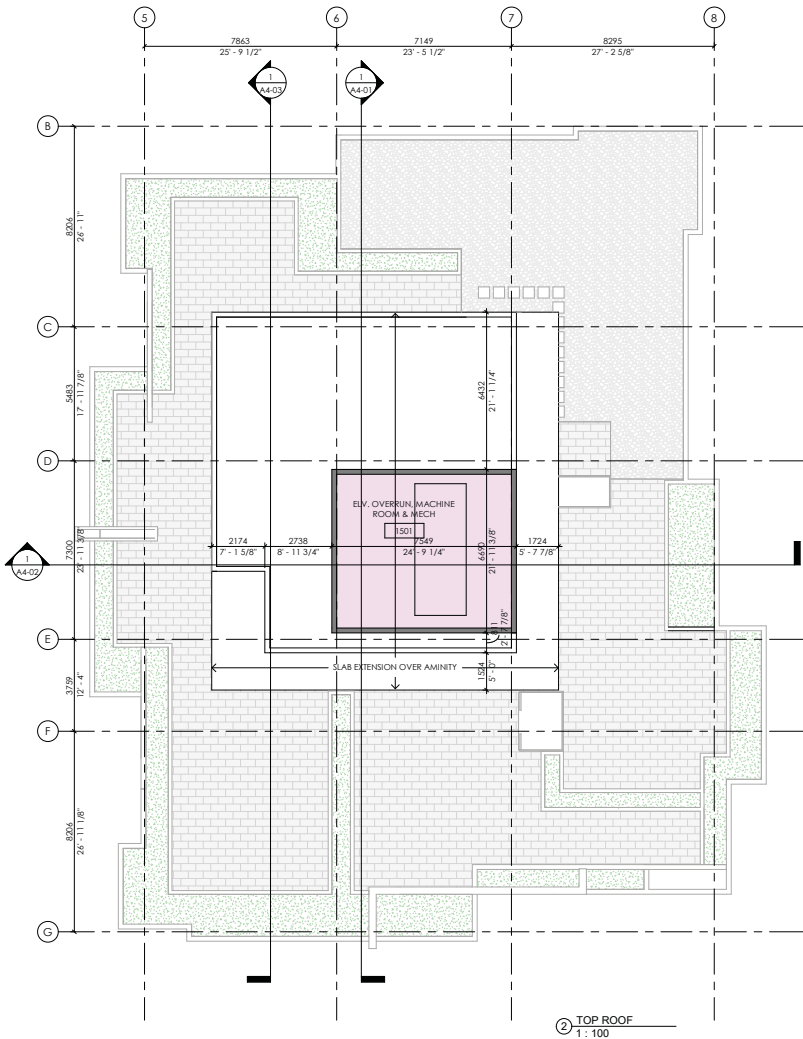
A2-09

Drawn By:

HR

File name:

Rev:





MATERIAL LEGEND

1. PREFINISHED ALUMINIUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINIUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPRUE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINIUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUSCAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINIUM FRAME - CHARCOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINIUM FRAME - CHARCOAL GREY
7. TUSCAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINIUM FRAME - CHARCOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBO) IN PREFINISHED ALUMINIUM RAILINGS - CHARCOAL GREY
9. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINIUM FRAMES - CHARCOAL GREY
10. PREFINISHED ALUMINIUM OH & EXIT GATES - CHARCOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHARCOAL GREY
12. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINIUM FRAMES - CHARCOAL GREY
13. PREFINISHED MISCELENEOUS METALS - CHARCOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON

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Drawing Issue Date

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Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
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5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client
KENWOOD APARTMENTS

Project
 1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
WEST ELEVATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A3-01
Drawn By: HR	
File name:	Rev:

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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
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4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

Project
 1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
NORTH ELEVATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A3-02
Drawn By: HR	
File name:	Rev:

MATERIAL LEGEND

1. PREFINISHED ALUMINIUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINIUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPIRE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINIUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUCSAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINIUM FRAME - CHACOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINIUM FRAME - CHACOAL GREY
7. TUCSAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINIUM FRAME - CHACOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBD) IN PREFINISHED ALUMINIUM RAILINGS - CHACOAL GREY
9. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINIUM FRAMES - CHACOAL GREY
10. PREFINISHED ALUMINIUM OH & EXIT GATES - CHACOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHACOAL GREY
12. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINIUM FRAMES - CHACOAL GREY
13. PREFINISHED MISCELENEOUS METALS - CHACOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON



TOP ROOF 456' - 2 1/8"
 ROOF 447' - 2 1/8"
 LEVEL 13 437' - 6 1/8"
 Level 12 428' - 6 1/8"
 Level 11 419' - 6 1/8"
 Level 10 410' - 6 1/8"
 Level 9 401' - 6 1/8"
 LEVEL 8 392' - 6 1/8"
 Level 7 383' - 6 1/8"
 Level 6 374' - 6 1/8"
 Level 5 365' - 6 1/8"
 Level 4 356' - 0 1/8"
 LEVEL 3 347' - 0 1/8"
 LEVEL 2 336' - 0"
 LEVEL 1 326' - 0"

119'-0 1/8"
 BUILDING HEIGHT

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5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

Project
 1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
SOUTH ELEVATION

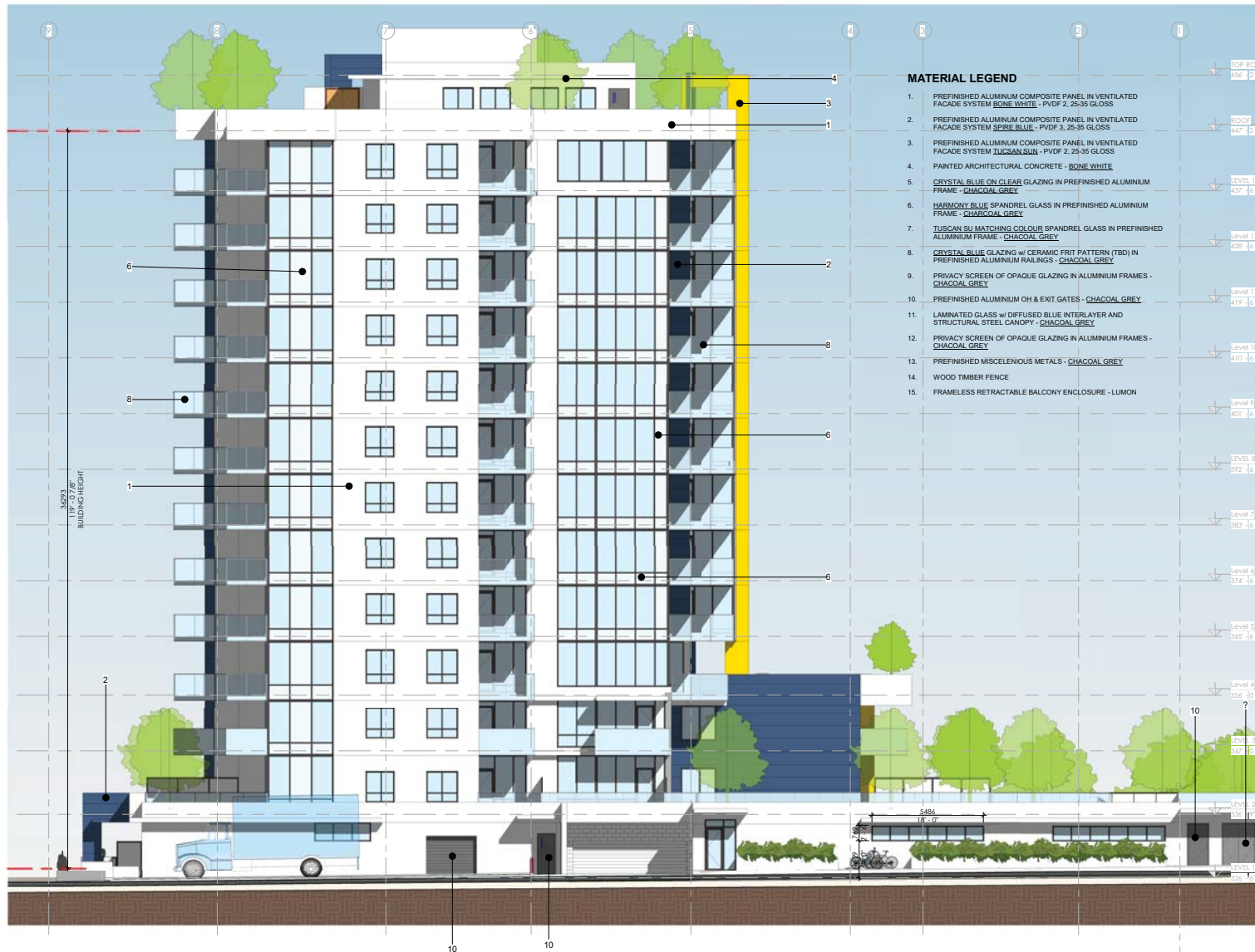
Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A3-03
Drawn By: HR	
File name:	Rev:

MATERIAL LEGEND

1. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPIRE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUSCAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
7. TUSCAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBD) IN PREFINISHED ALUMINUM RAILINGS - CHACOAL GREY
9. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHACOAL GREY
10. PREFINISHED ALUMINUM OH & EXIT GATES - CHACOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHACOAL GREY
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13. PREFINISHED MISCELENEOUS METALS - CHACOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON



TOP ROOF	456' - 2 1/8"
ROOF	447' - 2 1/8"
LEVEL 13	437' - 6 1/8"
Level 12	429' - 6 1/8"
Level 11	419' - 6 1/8"
Level 10	410' - 6 1/8"
Level 9	401' - 6 1/8"
LEVEL 8	392' - 6 1/8"
Level 7	383' - 6 1/8"
Level 6	374' - 6 1/8"
Level 5	365' - 6 1/8"
Level 4	356' - 0 1/8"
LEVEL 3	347' - 0 1/8"
LEVEL 2	336' - 0"
LEVEL 1	326' - 6"



MATERIAL LEGEND

1. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPIRE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUSCAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
7. TUSCAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBO) IN PREFINISHED ALUMINUM RAILINGS - CHACOAL GREY
9. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINIUM FRAMES - CHACOAL GREY
10. PREFINISHED ALUMINIUM OH & EXIT GATES - CHACOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHACOAL GREY
12. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINIUM FRAMES - CHACOAL GREY
13. PREFINISHED MISCELENIUS METALS - CHACOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON

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Drawing Issue Date

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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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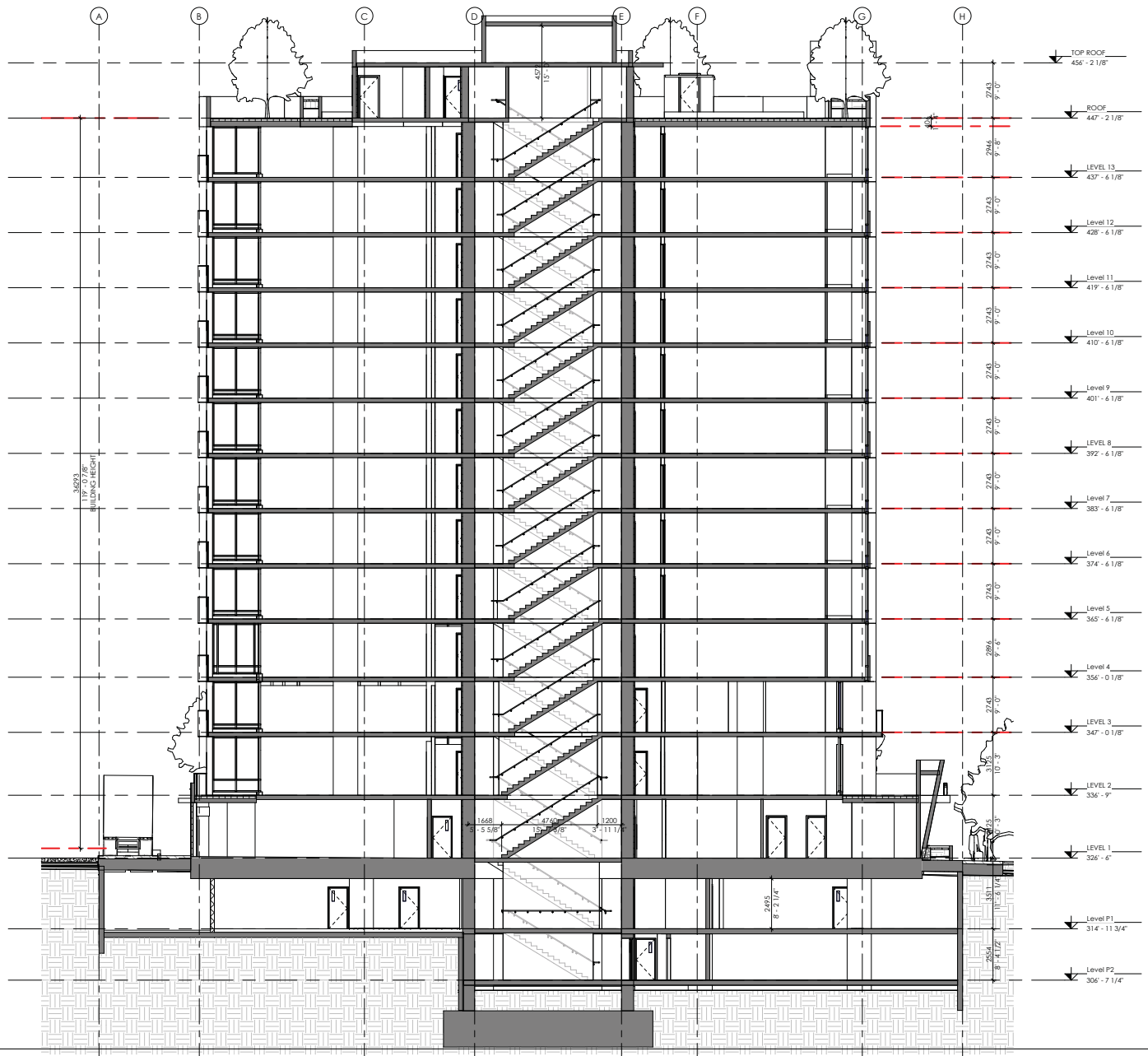
SUITE ONE
 1600 HOWE ST
 VANCOUVER BC
 V6Z 2L9 CANADA

Client
KENWOOD APARTMENTS

Project
 1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
EAST ELEVATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A3-04
Drawn By: HR	
File name:	Rev:



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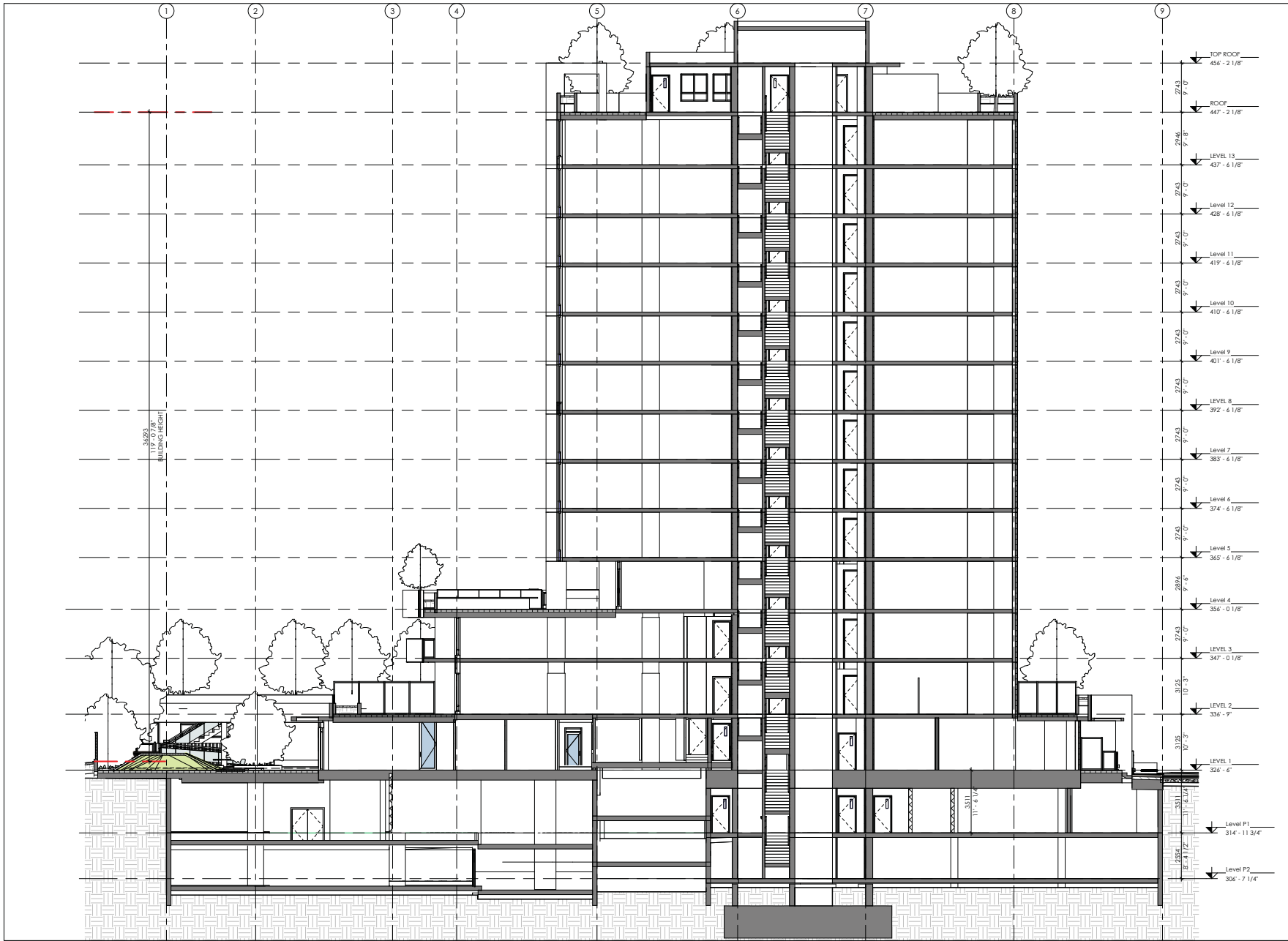
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 V6Z 2L9 CANADA

Client
KENWOOD APARTMENTS

Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
SECTION A

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A4-01
Drawn By: HR	
File name:	Rev:



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Drawing Issue Date

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4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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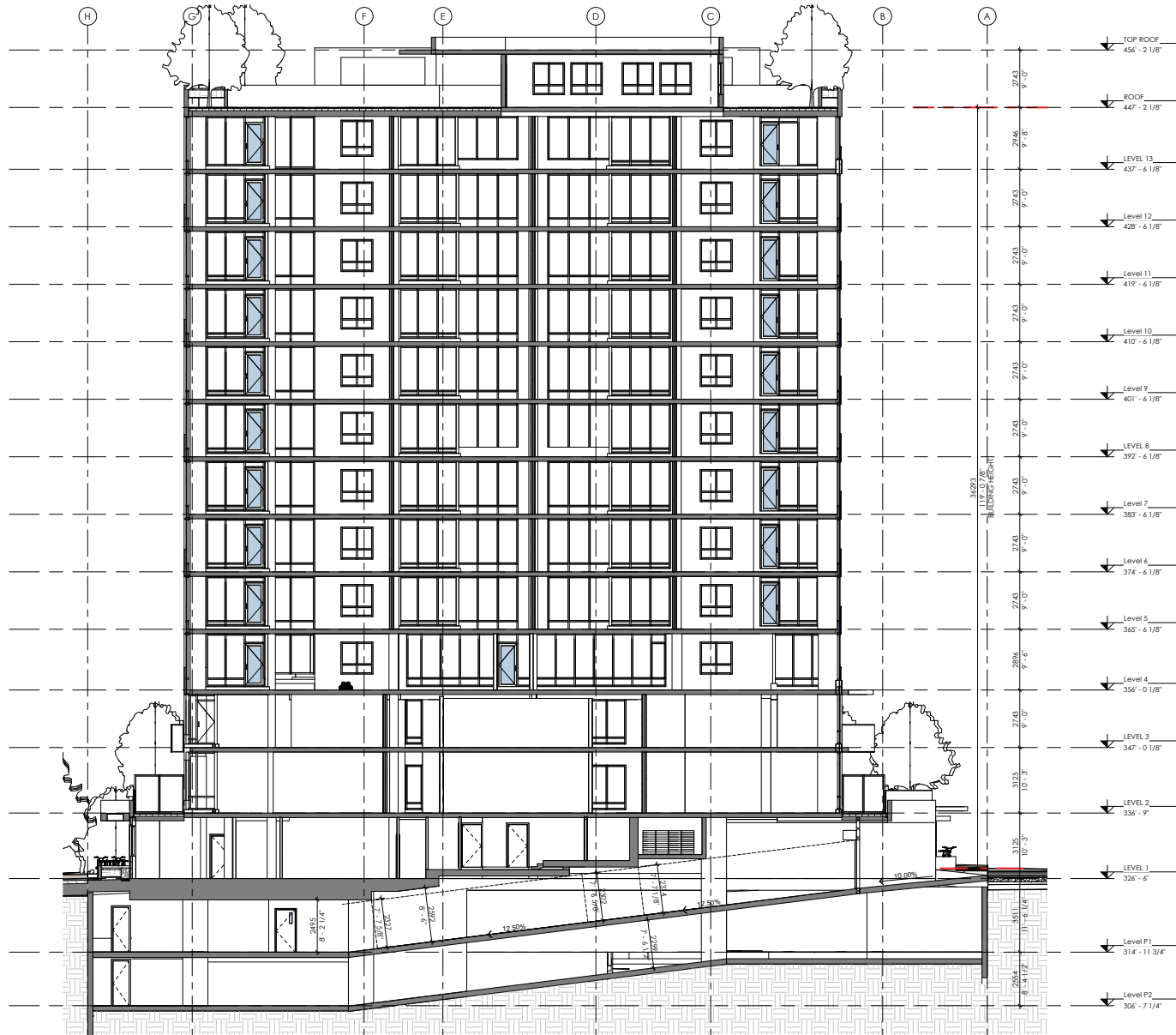
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 VANCOUVER BC
 V6Z 2L9 CANADA

Client
KENWOOD APARTMENTS

Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
SECTION B

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A4-02
Drawn By: HR	
File name:	Rev:



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Drawing Issue Date

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5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client
KENWOOD APARTMENTS

Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
SECTION C

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A4-03
Drawn By: HR	Rev:
File name:	

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6	MAY 01-2023	RE-ISSUED FOR REZONING

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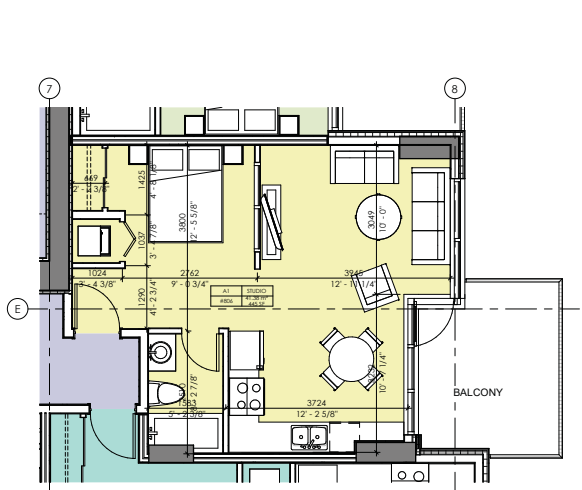
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 VANCOUVER BC
 V6Z 2L9 CANADA

Client
KENWOOD APARTMENTS

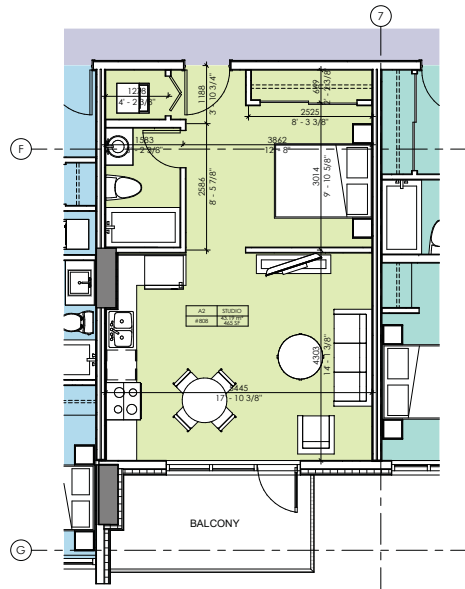
Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
 UNIT PLANS A1, A2, B1, B2, B3, B4

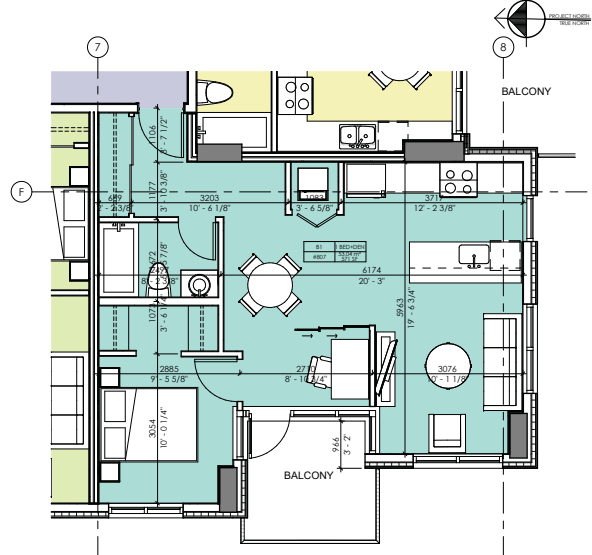
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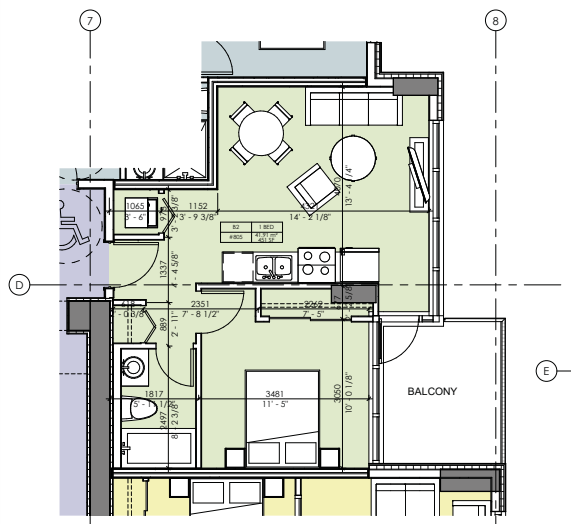
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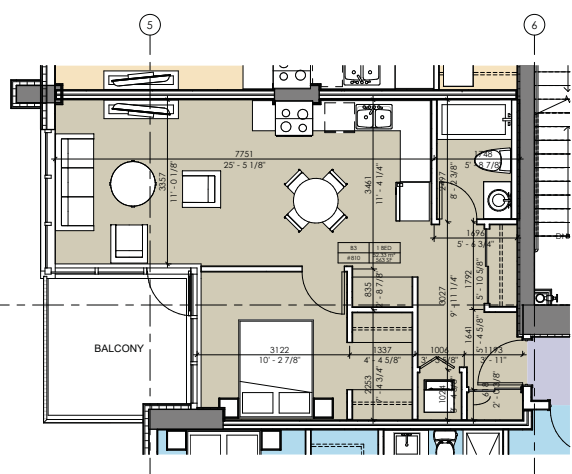
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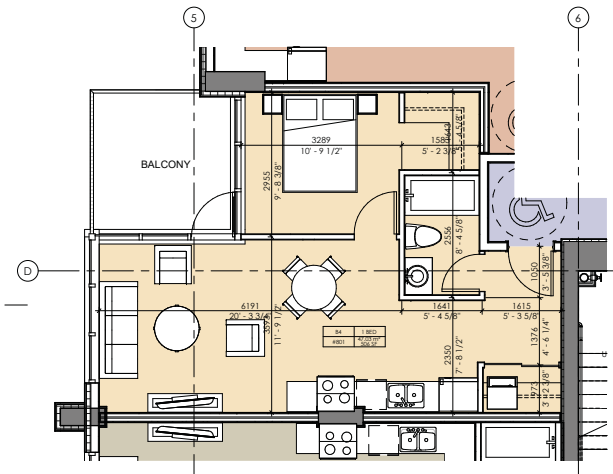
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④ UNIT - B2 - LEVEL 4-13
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⑤ UNIT - B3 - LEVEL 5-13
 1:50



⑥ UNIT - B4 - LEVEL 5-13
 1:50

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Client

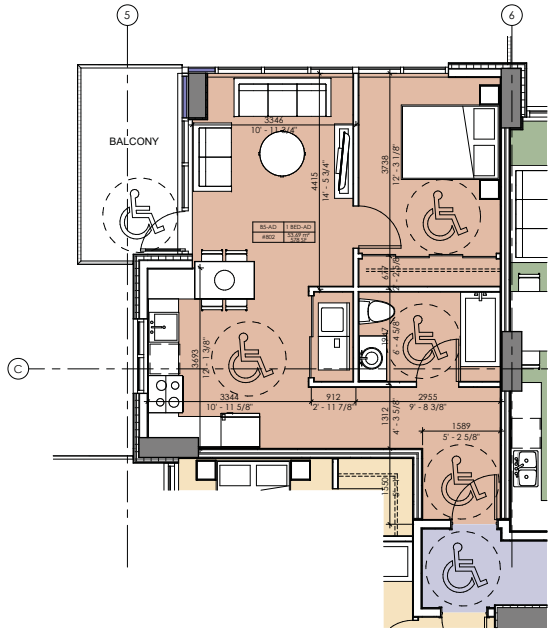
KENWOOD APARTMENTS

Project
 1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

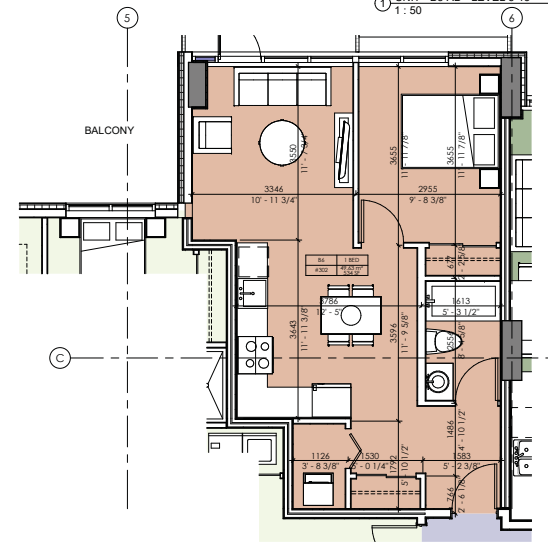
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**UNIT PLANS B5-AD, B6,
 B7, C1-AD, D1-AD, D2**

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 AUG. 01 - 2019
 Scale:
 1 : 50
 Drawn By:
 HR
 File name:

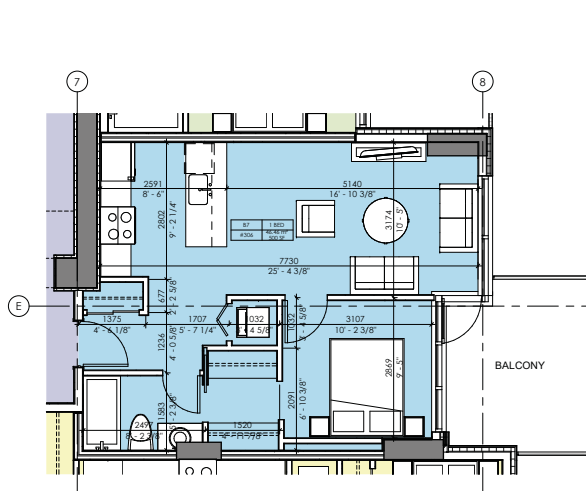
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 Drawing No.
A5-02
 Rev:



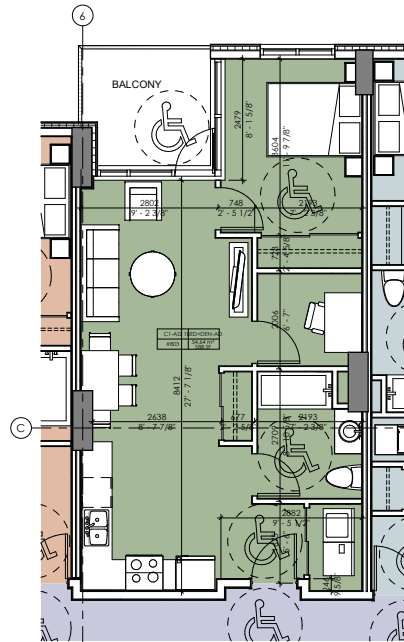
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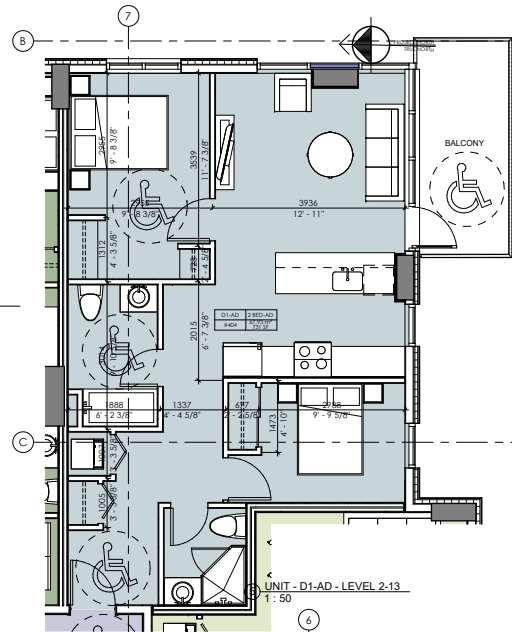
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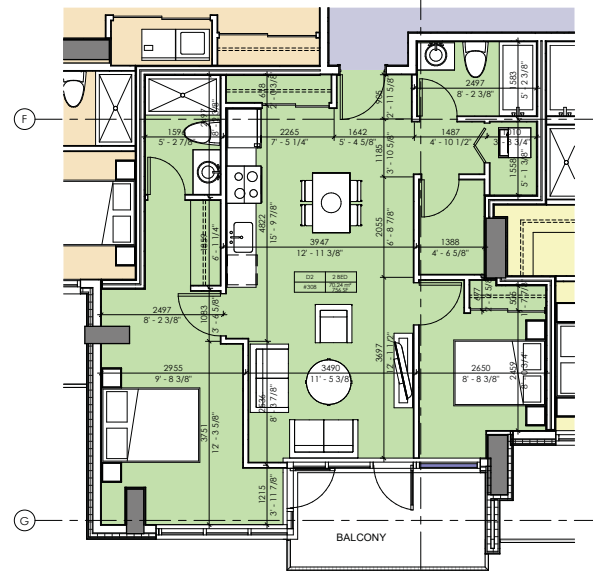
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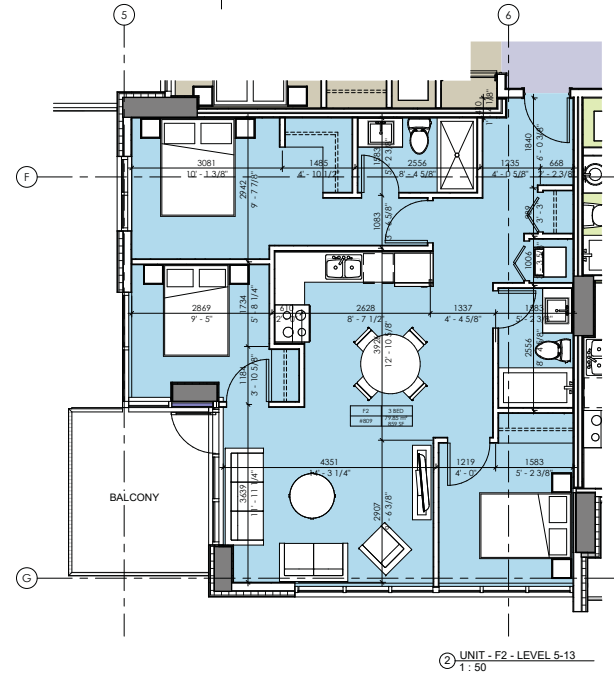
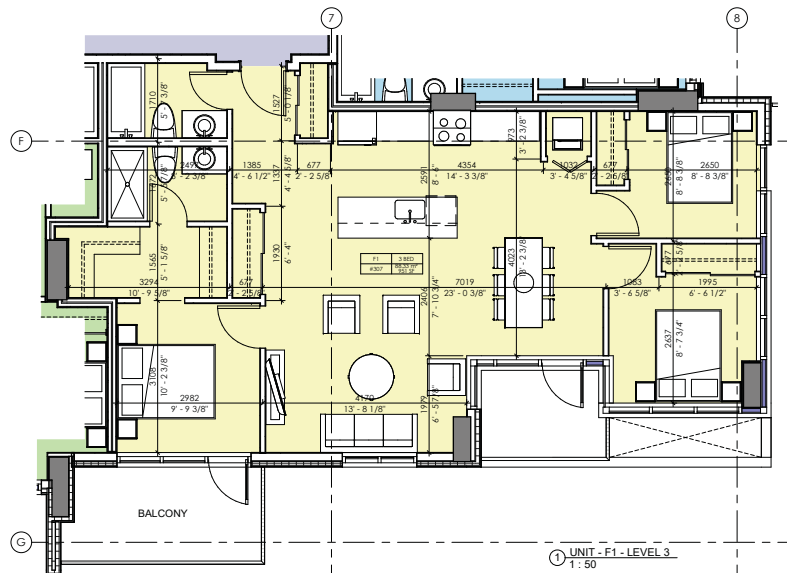
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Client
KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
UNIT PLANS F1, F2

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1: 50	Drawing No. A5-03
Drawn By: HR	
File name:	Rev:



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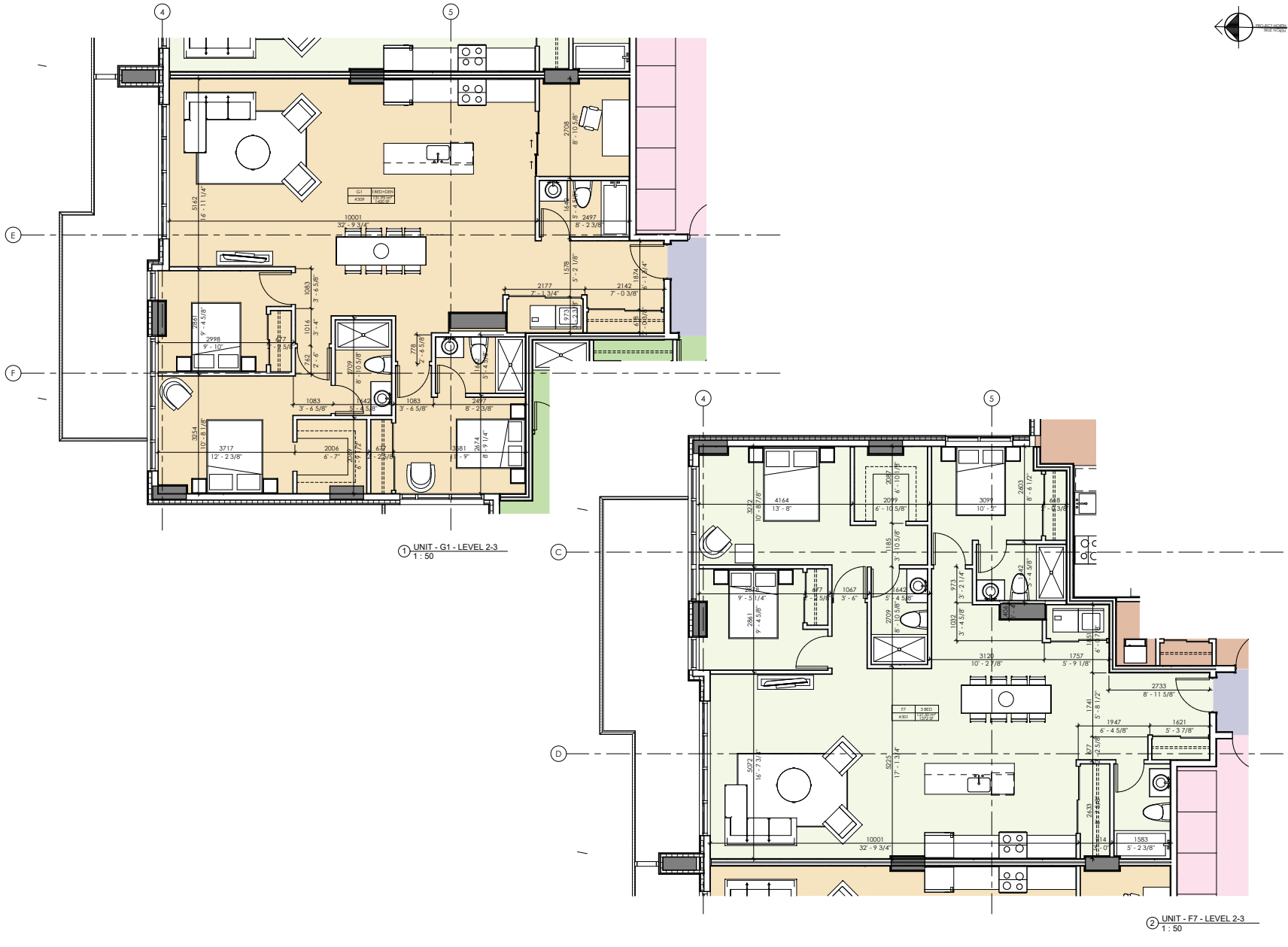
Client

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Project
 1536 & 1550 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title
UNIT PLANS F7, G1

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 50	Drawing No. A5-04
Drawn By: HR	
File name:	Rev:



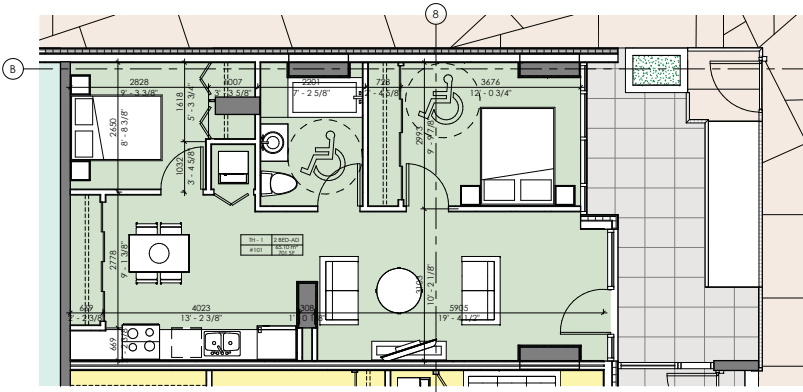
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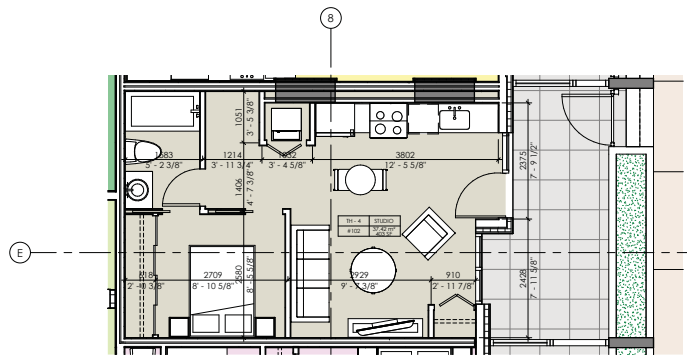


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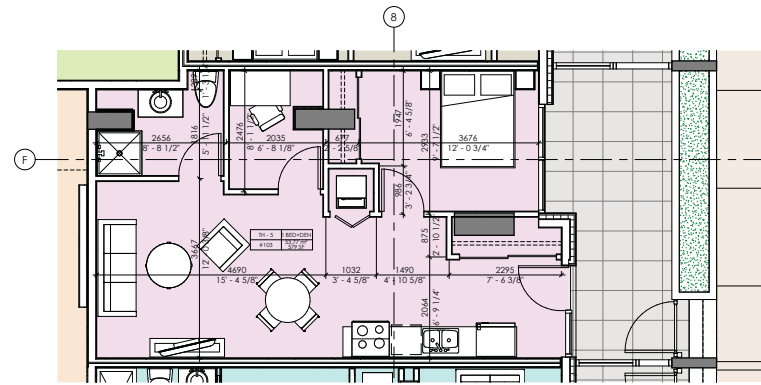
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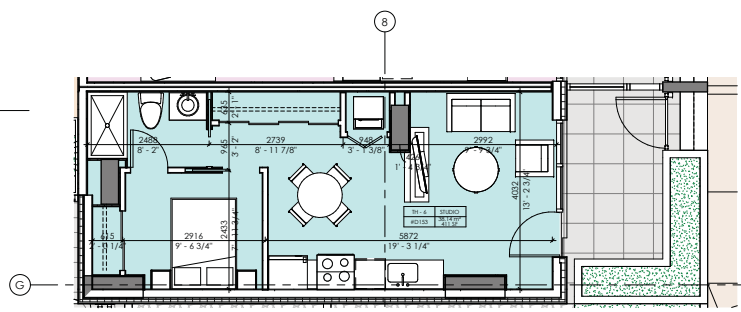
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⑥ UNIT - TH - 6 - LEVEL 1
1:50

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KENWOOD APARTMENTS

Project

1536 & 1550
 EASTERN AVE.
 NORTH VANCOUVER, BC

Drawing Title

UNIT PLANS TH - 1, TH - 4, TH - 5, TH - 6

Date: AUG. 01 - 2019 Project No: 17-55

Scale: 1:50 Drawing No: A5-05

Drawn By: HR

File name: Rev:



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 T 604 681 3303 F 604 681 3307
 www.connectla.ca

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1550 EASTERN AVENUE

NORTH VANCOUVER, BC

RE-ISSUE FOR REZONING

LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L0.0	COVER SHEET AND DRAWING LIST
L0.1	DESIGN RATIONALE
L1.0	SITE PLAN/ LEVEL 1
L1.1	LANDSCAPE PLAN LEVEL 2
L1.2	LANDSCAPE PLAN LEVEL 4 AMENITY
L1.3	LANDSCAPE PLAN ROOF LEVEL
L1.4	LANDSCAPE OVERALL PLAN
L1.5	TREE RETENTION AND REMOVAL PLAN
L1.6	OVERALL LIGHTING PLAN
L2.0	PLANT MATERIALS AND PLANT LIST
L2.1	PLANTING PLAN LEVEL 1
L2.2	PLANTING PLAN LEVEL 2
L2.3	PLANTING PLAN LEVEL 4 AMENITY
L2.4	PLANTING PLAN ROOF LEVEL
L3.0	PRECEDENTS
L4.0	SECTIONS
L4.1	SECTIONS
L4.2	SECTIONS
L5.0	LANDSCAPE DETAILS
L5.1	LANDSCAPE DETAILS
L5.2	LANDSCAPE DETAILS
L5.3	LANDSCAPE DETAILS
L5.4	LANDSCAPE DETAILS
L5.5	LANDSCAPE DETAILS
L5.6	LANDSCAPE DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF NORTH VANCOUVER.

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LANDSCAPE ARCHITECT:
 CONNECT LANDSCAPE ARCHITECTURE
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 2305 HEMLOCK STREET
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13	RE-ISSUED FOR REZONING	22-07-19
12	RE-ISSUED FOR REZONING	22-02-23
11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
9	ISSUED FOR VCH REVIEW	21-09-08
8	ISSUED FOR ADP	21-07-14
7	ISSUED FOR VCH REVIEW	21-05-26
6	ISSUED FOR VCH REVIEW	21-03-26
5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
 North Vancouver, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-705

COVER SHEET

L0.0

DESIGN RATIONALE AND PRINCIPALS



WELCOMING BUILDING

WELCOMING BUILDING

Building entries have been designed to provide comfortable sheltered seating areas that promote social interaction and activate the street.

Layered Westcoast planting and materials reinforce the place identity of the North Shore.

Boulevard improvements and new street trees, as well as new lane sidewalks and street level patios with planters facing the lane, create a friendly improved street face.



PLACE IDENTITY



SPACES FOR EVERYONE



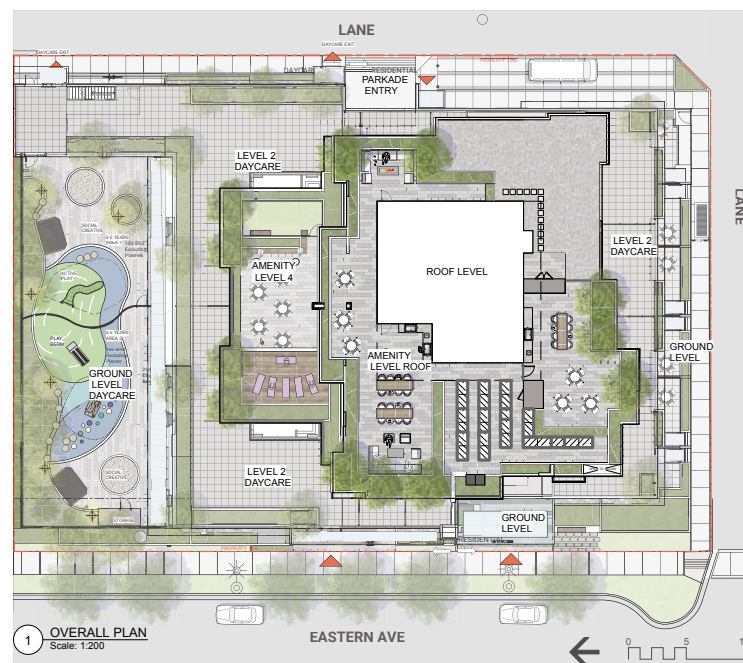
AMENITY SPACES FOR EVERYONE

Multiple daycare groups occupy the ground level and the second level outdoor space providing much needed child care spaces to the community.

The communal amenity deck on level 4 offers residents a wide variety of outdoor spaces.

A fenced pet retreat area, provides space for dogs and their owners. A terrace with movable seating and raised deck for exercise and lounging with views to the future park and nature promote a healthy lifestyle.

The sunny roof deck amenity adjacent to the indoor amenity features a family BBQ and dining area to the N-W and an adult BBQ and dining area to the S-W. Urban agriculture planter area to the south provides residents with the opportunity to grow their own food and connect to nature. A lounge seating area with fire place to the East adds to the social communal program of the terrace.



13	RE-ISSUED FOR REZONING	22-07-19
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REVISIONS













1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-705

DESIGN RATIONALE

MATERIALS LEGEND

-  PROPOSED TREES
-  PLANTING AREA
-  LAWN AREA
-  UNIT PAVING
-  2x1 ARCHITECTURAL SLABS
-  2x2 ARCHITECTURAL SLABS
-  CIP CONCRETE PAVING
-  TIMBER DECKING
-  POURED IN PLACE RUBBER PLAY FALL SURFACE
-  ROUND DRAIN ROCK
-  BIKE RACK (6 CLASS B STALLS E/)
-  CONCRETE SEAT WALL W/ BENCH TOP
-  3" METAL FENCE AND GATE AT DAYCARE
-  6" TIMBER FENCE AND WALL
-  4" METAL FENCE AND GATE
-  TRAFFIC BOLLARD
-  LIGHT BOLLARD
-  BUILDING ENTRY

NOTES:
ALL OFFSITE BOULEVARD AND TREES TO BE IRRIGATED TO CNV STANDARDS. IRRIGATION PLANS TO BE PROVIDED AT BP.



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

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NO.	REVISIONS	DATE
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1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale: 1:100
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Project No. 06-705

SITE PLAN

L1.0

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1 LEVEL 2 LANDSCAPE PLAN
Scale: 1:100



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REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale: 1:100

Drawn: MR

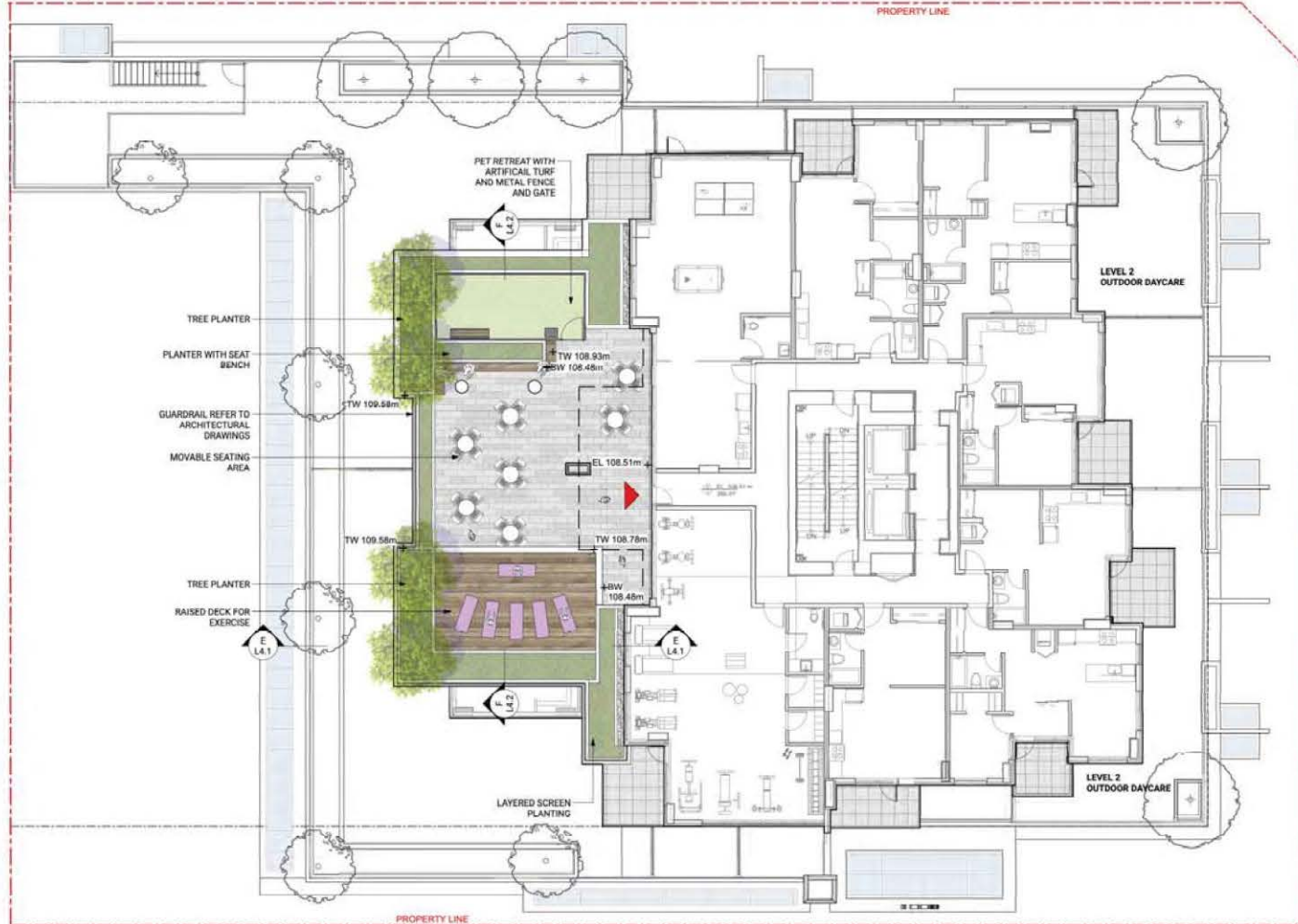
Reviewed: KL

Project No. 06-705

**LEVEL 2
LANDSCAPE PLAN**

MATERIALS LEGEND LEVEL 4

-  PROPOSED TREES
-  PLANTING AREA
-  UNIT PAVING
-  2x2 ARCHITECTURAL SLABS
-  TIMBER DECKING
-  ROUND DRAIN ROCK
-  ARTIFICIAL TURF DOG RETREAT AREA
-  DOG WASTE STATION
-  BENCH
-  METAL FENCE AND GATE
-  BUILDING ENTRY



1 LEVEL 4 LANDSCAPE PLAN
Scale: 1:100



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REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC
















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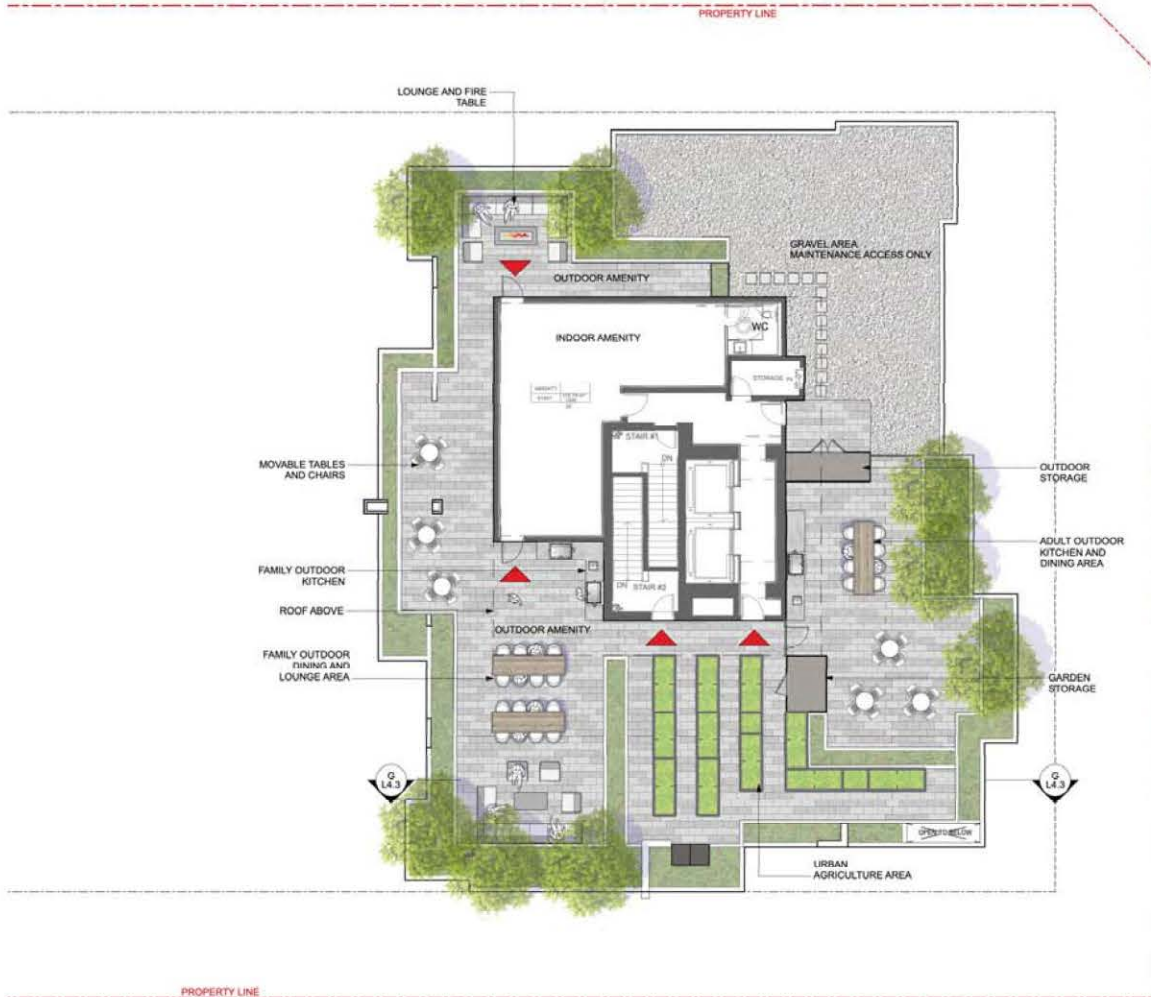
**LEVEL 4
LANDSCAPE PLAN**

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MATERIALS LEGEND ROOF

-  PROPOSED TREES
-  PLANTING AREA
-  RAISED METAL PLANTER (URBAN AGRICULTURE)
-  CIP CONCRETE PLANTER
-  ROOF BALLAST ROCK
-  2x1' ARCHITECTURAL SLABS NATURAL, CHARCOAL MIX
-  18" 50' ARCHITECTURAL SLABS, CHARCOAL
-  BBQ COUNTER & SINK
-  TABLE AND CHAIRS
-  LOUNGE AREA
-  GAS FIRE TABLE
-  MOVABLE TABLE AND CHAIRS BY OWNER
-  GREEN BIN & STORAGE HOSE BIB LOCATION FOR URBAN AGRICULTURE
-  6" METAL DIVIDER FENCE AND GATE
-  BUILDING ENTRY



1 ROOF PLAN
Scale: 1:100

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REVISIONS

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North Vancouver, BC

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**ROOF LEVEL
LANDSCAPE PLAN**

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REVISIONS

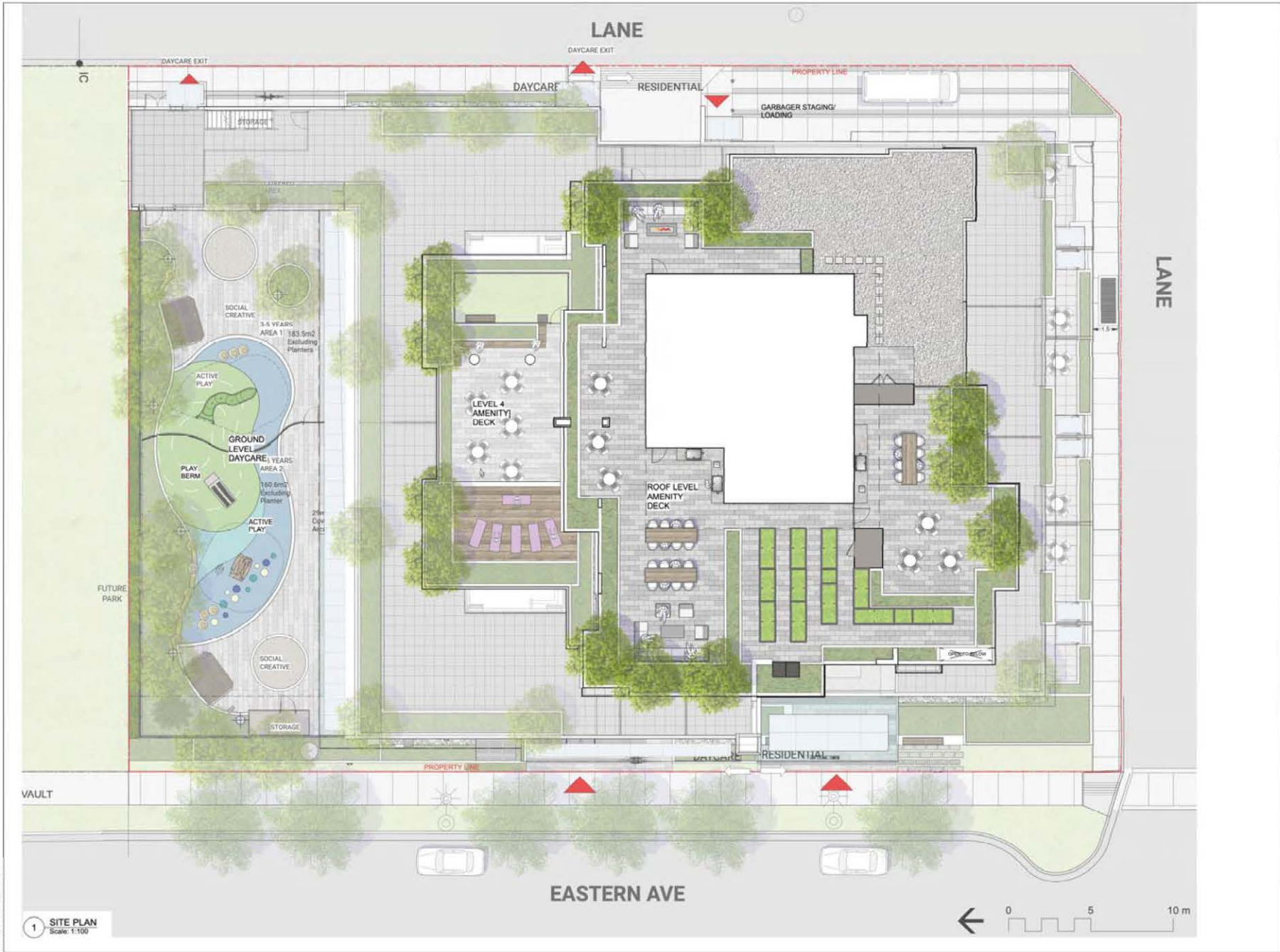
1550-EASTERN AVENUE

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North Vancouver, BC

Scale:	1:100
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**OVERALL
LANDSCAPE PLAN**

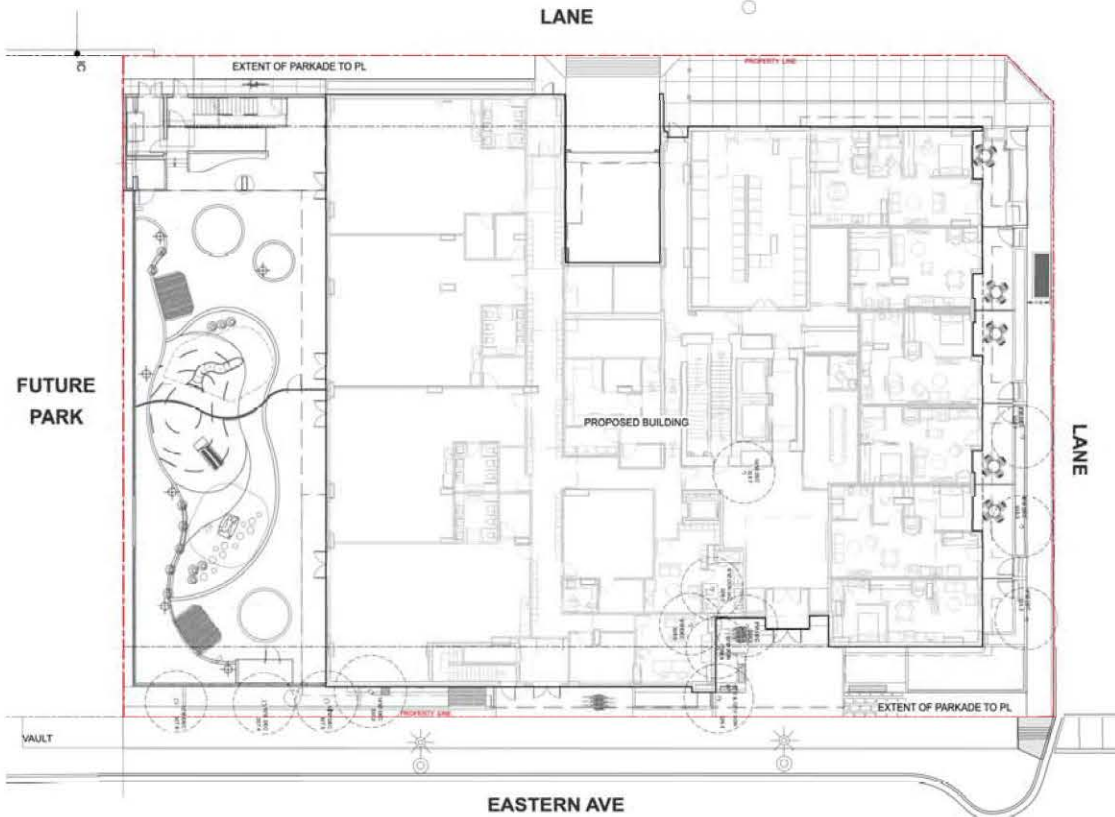
L1.4



1 SITE PLAN
Scale: 1:100

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1 SITE PLAN
Scale: 1:150

TREE RETENTION LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED

SYMBOL



TREE RETENTION NOTES

1. REFER ALSO TO SURVEY DRAWINGS. ANY EXISTING TREES NOT IDENTIFIED ON DRAWINGS ARE TO BE PROTECTED UNTIL CONSULTANTS CAN REVIEW AND DETERMINE THE CIRCUMSTANCES.
2. WHERE REQUIRED INSTALL TREE PROTECTION BARRIER AROUND ALL TREES TO BE PRESERVED TO CITY OF NORTH VANCOUVER STANDARDS AND SPECIFICATIONS. INFORM LANDSCAPE ARCHITECT WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS PRIOR TO CONSTRUCTION ACTIVITY.
3. DO NOT REMOVE OR RELOCATE ANY TREE. ALL RETAINED TREES ARE TO BE PRUNED AND PROTECTED BY CITY OF NORTH VANCOUVER TREE PROTECTION BY-LAWS. CONTRACTOR TO CONTACT CITY ARBORIST AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
4. DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES IS NOT PERMISSIBLE. TUNNEL UNDER AND AROUND ALL SIGNIFICANT ROOTS BY HAND DIGGING OR AIR SPADE. DO NOT CUT MAIN LATERAL ROOTS. FOR CARE AND PROTECTION OF ROOT CURTAIN SYSTEM, SEE IFC SPECIFICATIONS. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES.

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REVISIONS

1550-EASTERN AVENUE

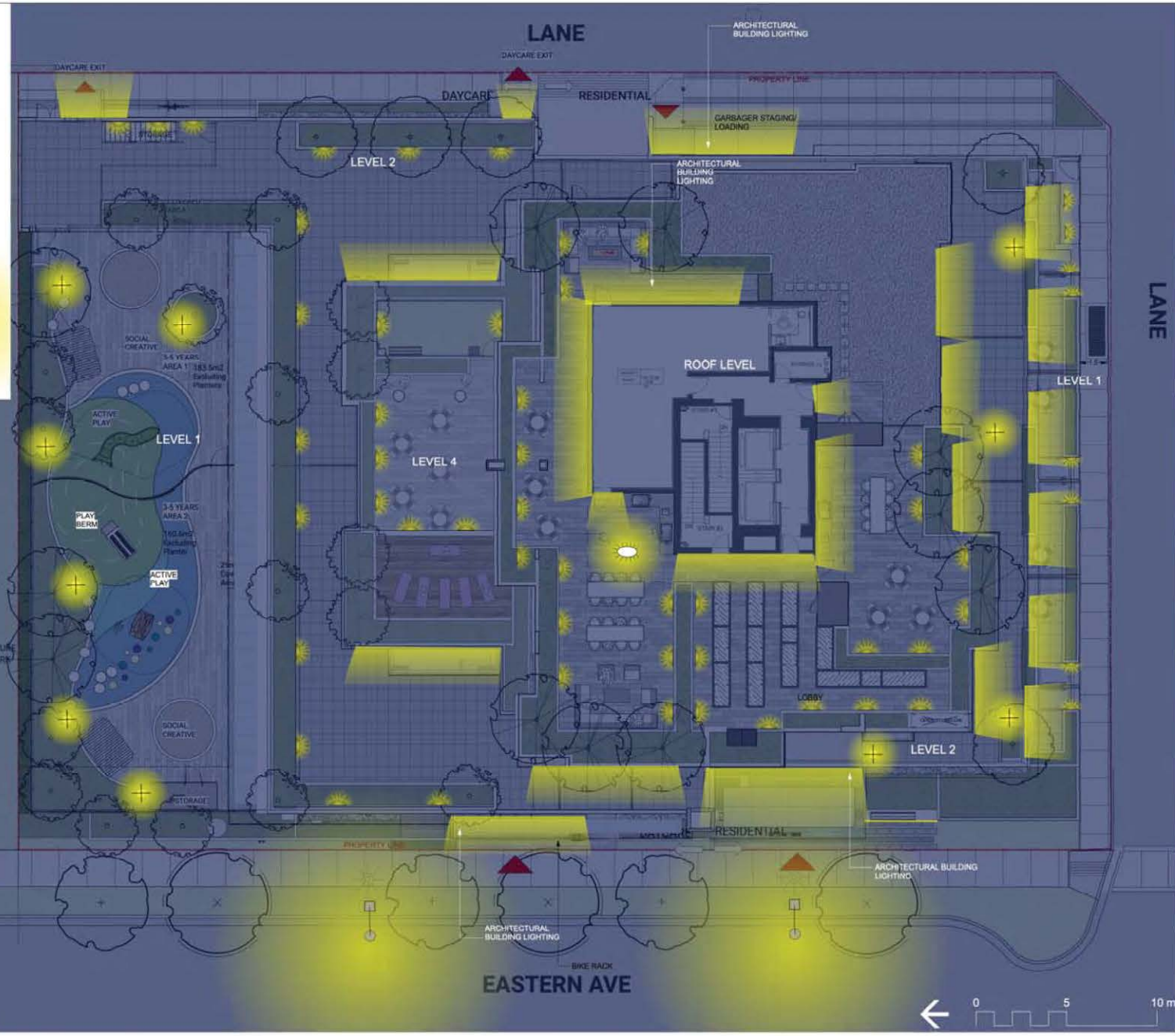
1550- Eastern Ave
North Vancouver, BC

Scale:	1:150
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Project No.	06-705

TREE REMOVAL AND RETENTION PLAN

LIGHTING LEGEND

DESCRIPTION	SYMBOL
BOLLARD LIGHT	
WALL STEP LIGHT	
LED LIGHT STRIP RECESSED UNDER BENCH	
CANOPY LIGHT	
BUILDING ENTRY LIGHTING BY ARCHITECTS	
STREET LIGHT	



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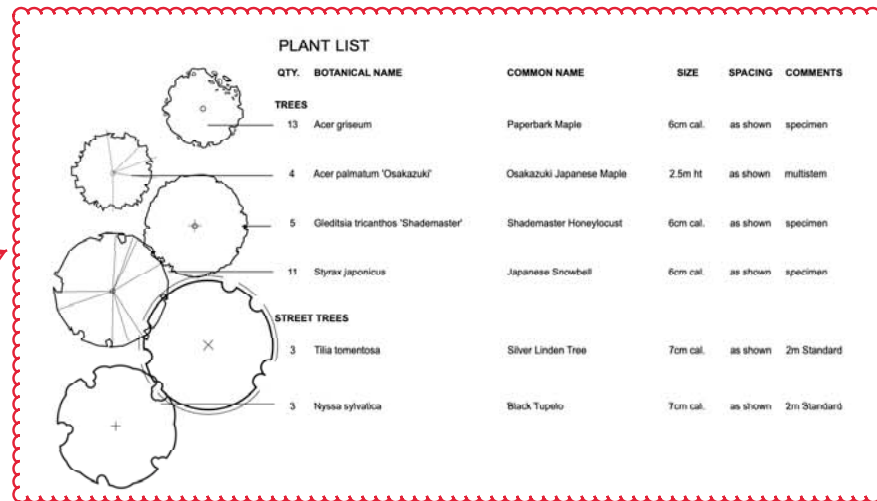
OVERALL LANDSCAPE PLAN

1 SITE PLAN
Scale: 1:100



Amended in Red
by
City of North Vancouver
May 2, 2023

Update Plant List to include coniferous trees to compensate the loss of existing coniferous trees on site.



PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES					
13	Acer griseum	Paperbark Maple	6cm cal.	as shown	specimen
4	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	2.5m ht	as shown	multistem
5	Gleditsia tricanthos 'Shademaster'	Shademaster Honeylocust	6cm cal.	as shown	specimen
11	Styrax japonicus	Japanese Snowbell	6cm cal.	as shown	specimen
STREET TREES					
3	Tilia tomentosa	Silver Linden Tree	7cm cal.	as shown	2m Standard
3	Nyssa sylvatica	Black Tupelo	7cm cal.	as shown	2m Standard

SHRUBS

0	Rhus microphylla 'Green Beauty'	Green Beauty Rosewood	No. 5 Pot	450mm O.C.	full & bushy
36	Caeanthus 'Victoria'	California Lilac	No. 3 Pot	900mm O.C.	fully established
35	Crozyia x dewilleana 'Asteric Pearl'	Mexican Orange	No. 3 Pot	900mm O.C.	fully established
81	Ilex crenata 'Compacta'	Compact Japanese Holly	No. 3 Pot	600mm O.C.	fully established
19	Hydrangea paniculata 'Quick Fire'	Quick Fire panicle Hydrangea	No. 3 Pot	900mm O.C.	fully established
281	Nandina domestica 'Gulfstream'	Gulfstream Nandina	No. 2 Pot	600mm O.C.	fully established
175	Lavendula angustifolia 'Hidecote'	Hidecote Lavender	No. 1 Pot	450mm O.C.	fully established
3	Rhododendron 'Ken Janek'	Ken Janek Rhododendron	No. 2 Pot	750mm O.C.	fully established
13	Rhododendron 'Mardi Gras'	Mardi Gras Rhododendron	No. 3 Pot	900mm O.C.	fully established
44	Polystichum munilum #	Sword Fern	No. 1 Pot	600mm O.C.	fully established
41	Barroetia hookeriana humilis *	Dwarf Sweet box	No. 2 Pot	600mm O.C.	fully established
106	Taxus canadensis repandens	Creeping Yew	No. 3 Pot	900mm O.C.	fully established
134	Taxus x media 'Hickall'	Hicks Yew	No. 10 Pot	450mm O.C.	1.5m ht. min.
182	Vaccinium ovatum * #	Evergreen Huckleberry	No. 5 Pot	750mm O.C.	fully established

PERENNIALS AND GRASSES

29	Carex testacea 'Prairie Fire'	Prairie Fire Sedge	No. 1 Pot	450mm O.C.	fully established
257	Hakonechloa macro 'Aurea'	Golden Japanese Forest Grass	No. 1 Pot	380mm O.C.	fully established
111	Liriope muscari 'Big Blue'	Big Blue Lilyturf	No. 1 Pot	300mm O.C.	fully established
29	Scaberr 'Autumn Joy'	Autumn Joy Sedum	No. 1 Pot	450mm O.C.	fully established

GROUNDCOVERS

32	Actinostaphylos uva-ursi * #	Kinnikinnick	4" (10cm) Pot	350mm O.C.	fully established
32	Fragaria chiloensis * #	Beach Strawberry	4" (10cm) Pot	350mm O.C.	fully established

NOTES:
* Indicates pollinator/bird friendly plants
Indicates native plants

PLANTING NOTES

- ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS LATEST EDITION.
- ALL TREE AND SHRUB BEDS ARE TO BE MULCHED WITH 50mm OF 2 MEDIUM FINE MULCH, LESS THAN 50mm DIAMETER.
- SEE SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS AND PLAN PROTECTION.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.
- OFFSITE LANDSCAPE TO BE IRRIGATED TO CNV STANDARDS.
- ALL OFFSITE TREES TO HAVE MINIMUM OF 15m³ SOIL VOLUME.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE LANDSCAPE ARCHITECT WILL BE REJECTED.
- WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN PLANT LIST ARE FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIAL AND SIZES SHOWN ON THE DRAWINGS. BRING DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED THAT MEETS OR EXCEEDS THE CONDITIONS PRIOR TO DISTURBANCE.
- SEE SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS AND PLAN PROTECTION.

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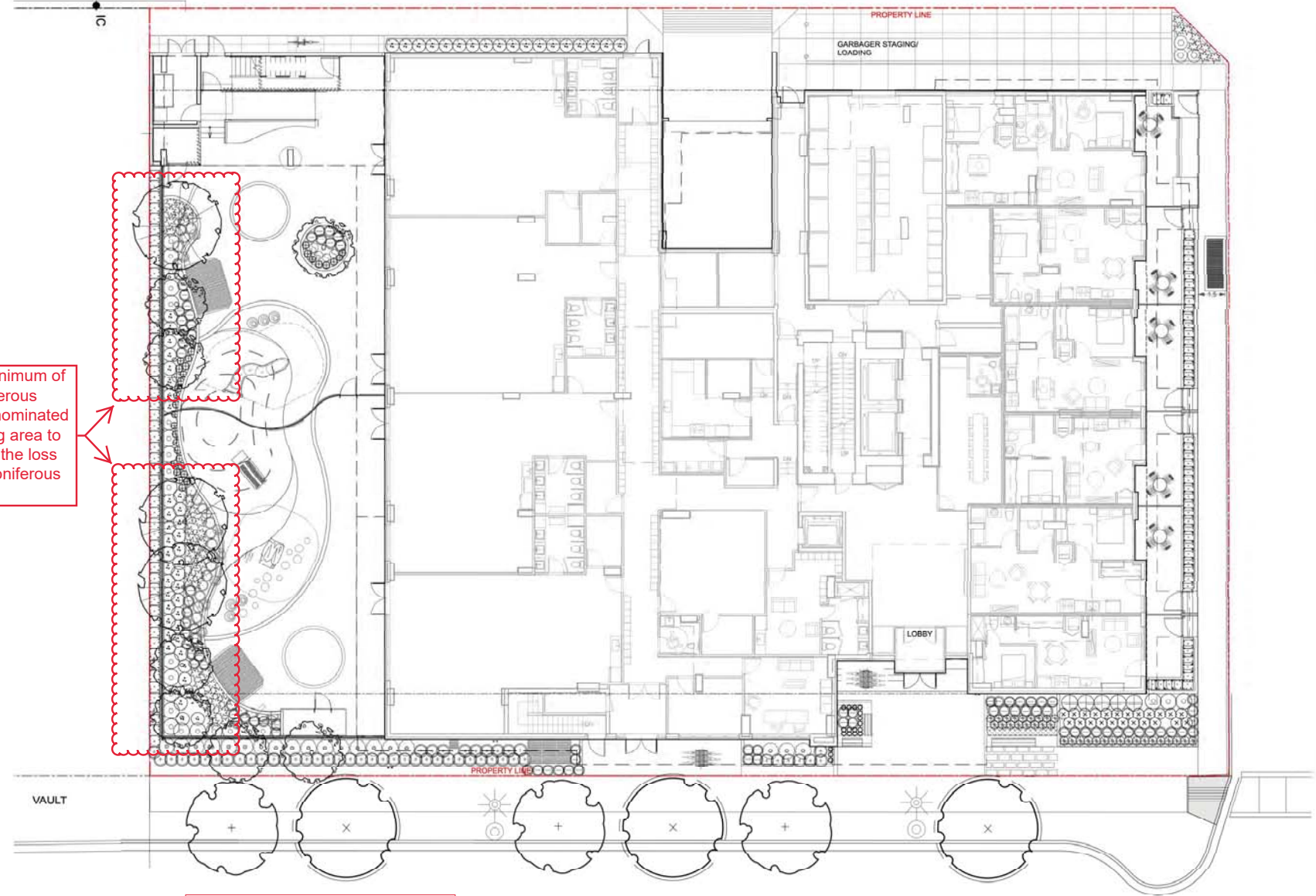
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PLANT MATERIALS

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NOTE: REFER TO PLANT LIST ON L2.0



Provide a minimum of two (2) coniferous trees in the nominated deep planting area to compensate the loss of existing coniferous trees on site.

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1550- Eastern Ave
North Vancouver, BC

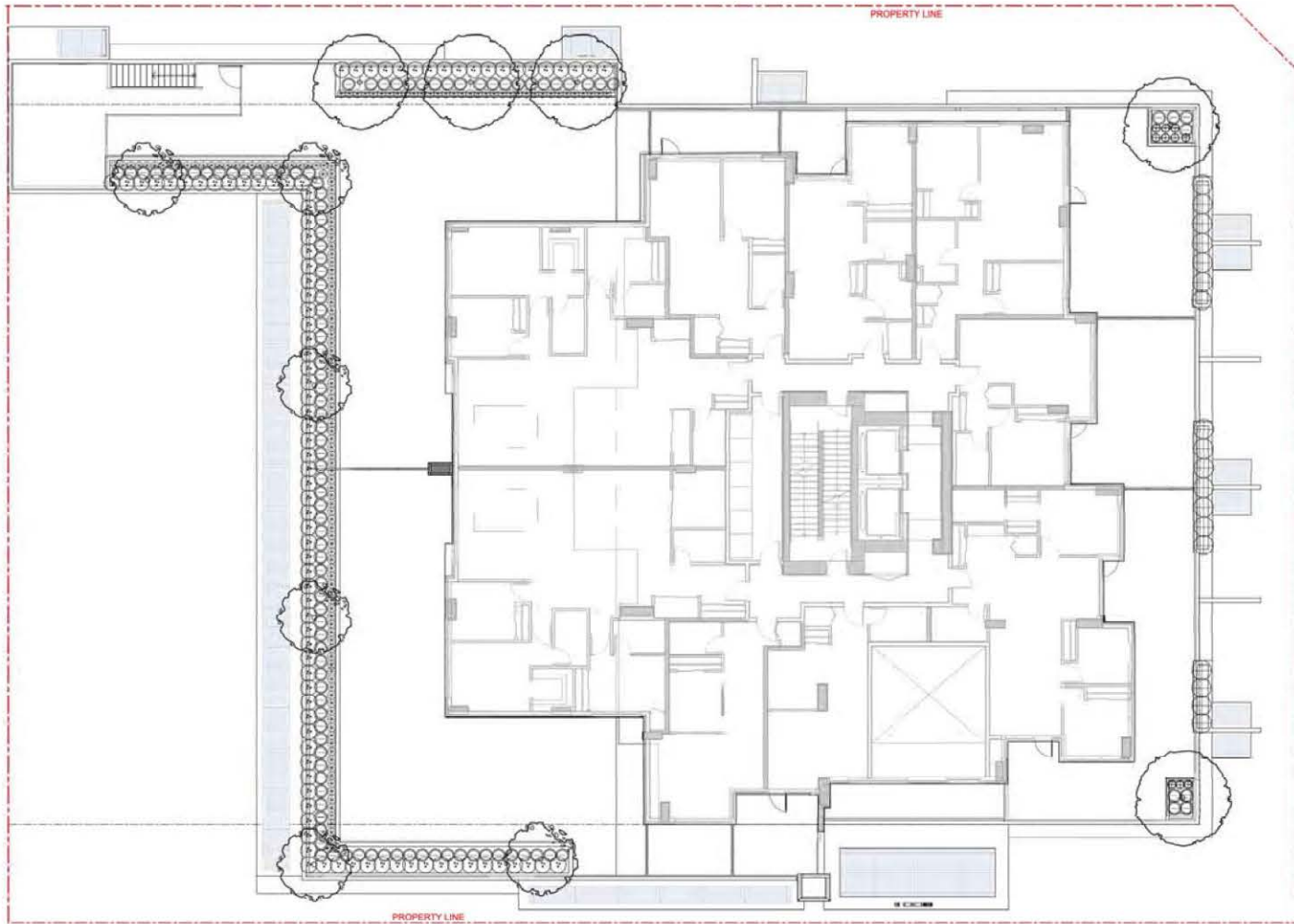
Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

**PLANTING PLAN
LEVEL 1**

Amended in Red
by
City of North Vancouver
May 2, 2023

1 PLANTING PLAN
Scale: 1:100

NOTE: REFER TO PLANT LIST ON L2.0



1 LEVEL 2 PLANTING PLAN
Scale: 1:100



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13	RE-ISSUED FOR REZONING	23-07-19
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11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
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6	ISSUED FOR VCH REVIEW	21-03-26
5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-30
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

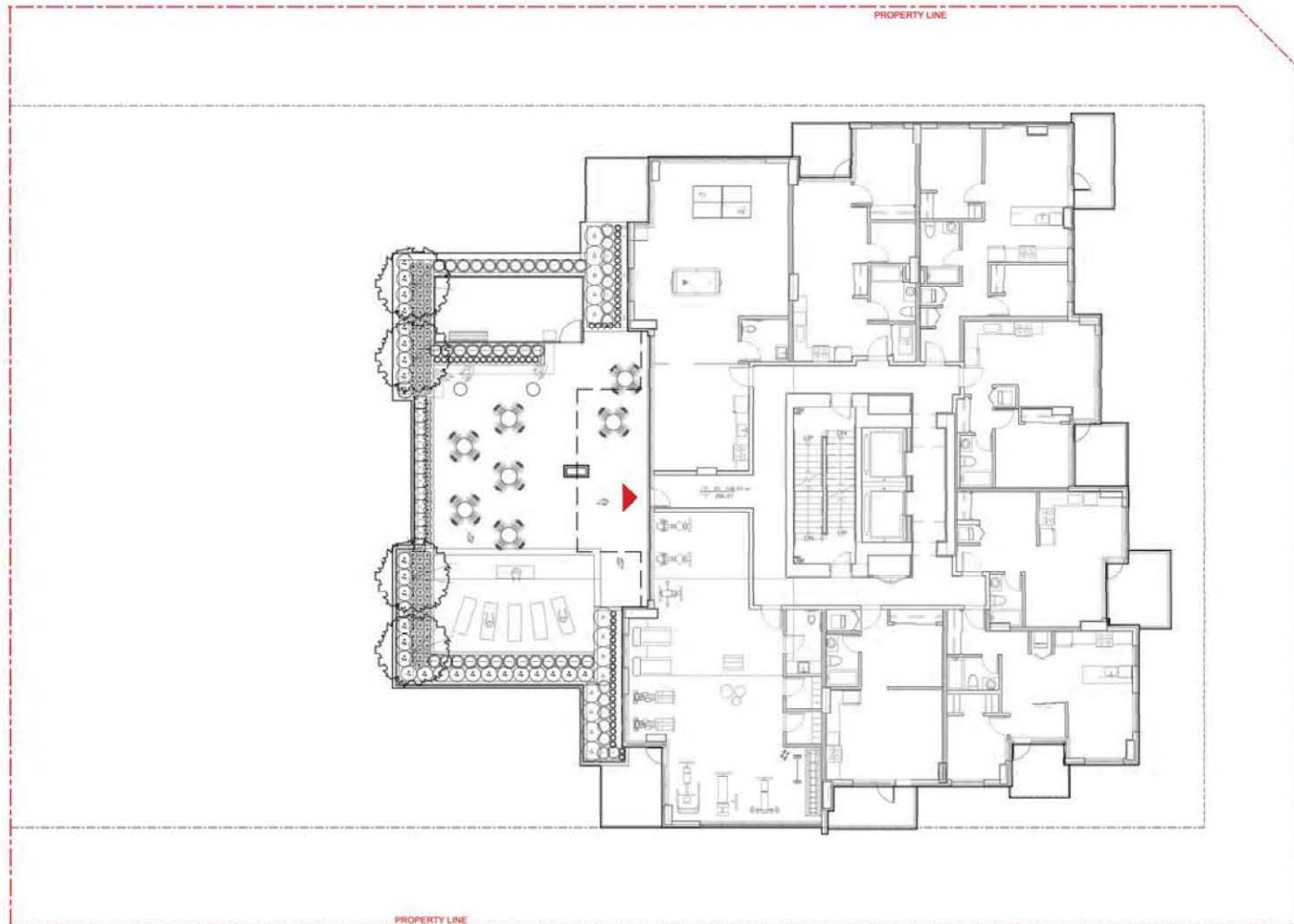
1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

**LEVEL 2
PLANTING PLAN**

NOTE: REFER TO PLANT LIST ON L2.0



1 LEVEL 4 PLANTING PLAN
Scale: 1:100



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REVISIONS

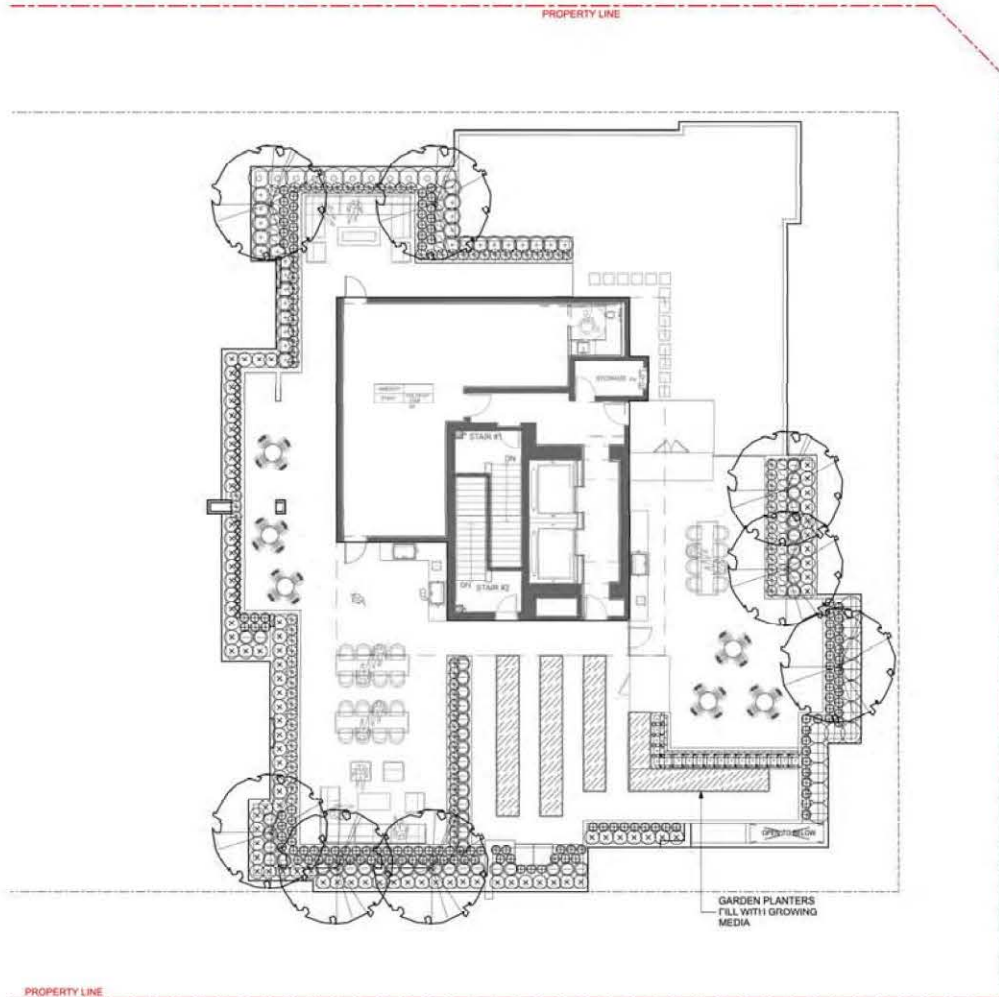
1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

**LEVEL 4
PLANTING PLAN**

NOTE: REFER TO PLANT LIST ON L2.0



1 ROOF PLANTING PLAN
Scale: 1:100



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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

**ROOF LEVEL
PLANTING PLAN**



ROOF DECK AMENITY LOUNGE



WELCOMING ENTRY



KIDS PLAY



URBAN AGRICULTURE



OUTDOOR DINING AND BBQ AREA



LAYERED STREET FRONTAGE PLANTING



SUNNING/ YOGA DECK



DOG RETREAT



DAYCARE

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REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale: AS SHOWN

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Reviewed: KL

Project No. 06-705

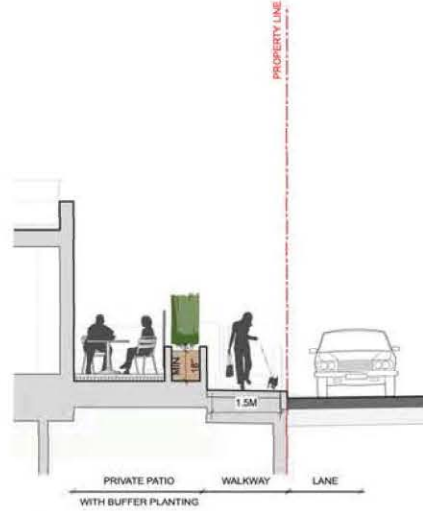
PRECEDENTS

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

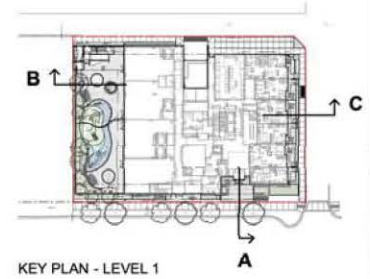
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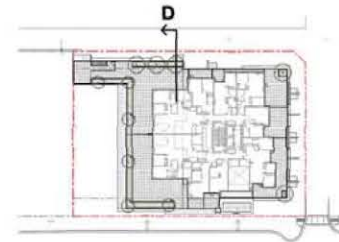
A SECTION - LEVEL 1 MAIN ENTRY
Scale: 1:50



C SECTION - LEVEL 1 AT LANE
Scale: 1:50



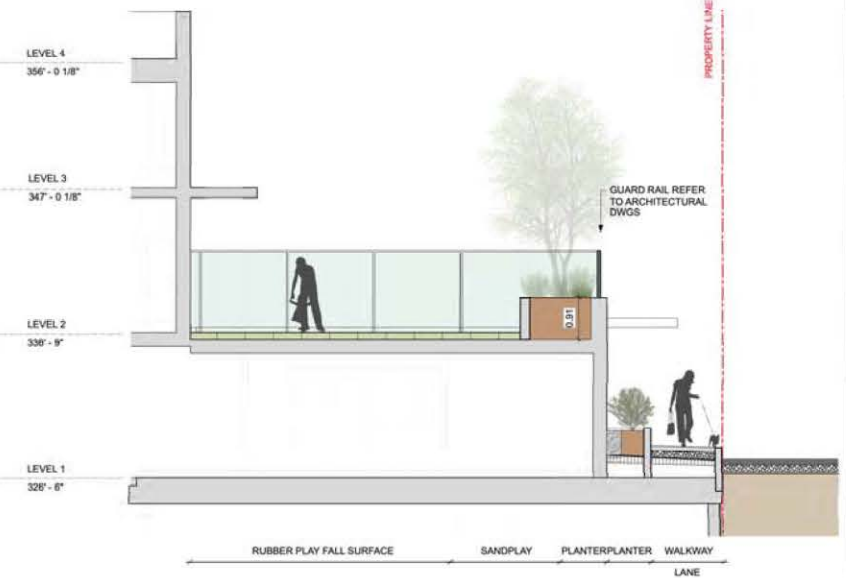
KEY PLAN - LEVEL 1



KEY PLAN - LEVEL 2



B SECTION - LEVEL 1 DAYCARE
Scale: 1:50



D SECTION - LEVEL 2 DAYCARE DECK
Scale: 1:50

13	RE-ISSUED FOR REZONING	23-07-19
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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale: AS SHOWN

Drawn: MR

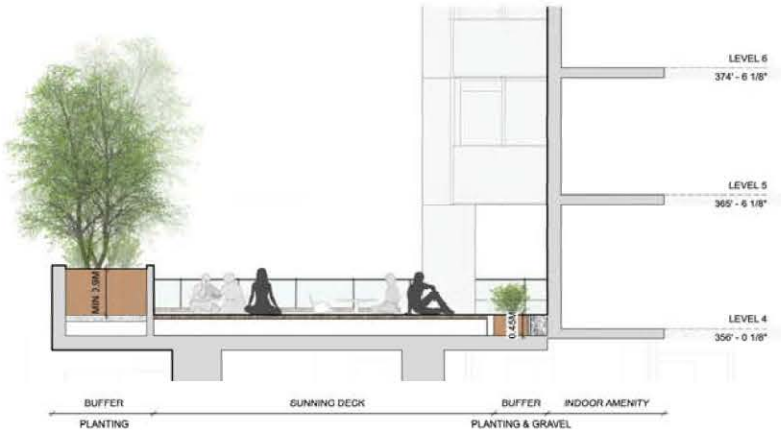
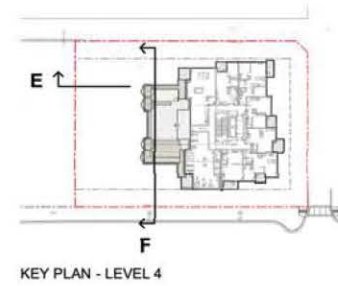
Reviewed: KL

Project No. 06-705

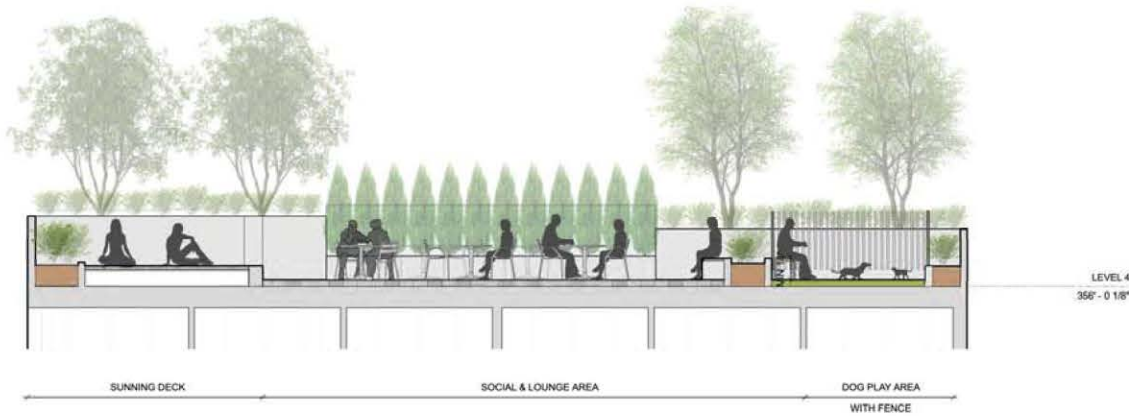
LANDSCAPE SECTIONS

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E SECTION - LEVEL 4 AMENITY
Scale: 1:50



F SECTION - LEVEL 4 AMENITY
Scale: 1:50



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REVISIONS

1550-EASTERN AVENUE

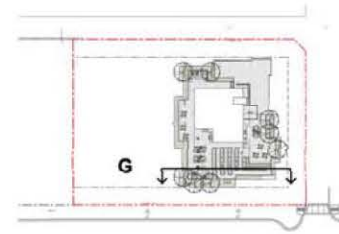
1550- Eastern Ave
North Vancouver, BC

Scale: AS SHOWN
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Project No. 06-705

LANDSCAPE SECTIONS

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KEY PLAN - ROOF



G SECTION - ROOF AMENITY WEST
Scale: 1:50



13	RE-ISSUED FOR REZONING	23-07-19
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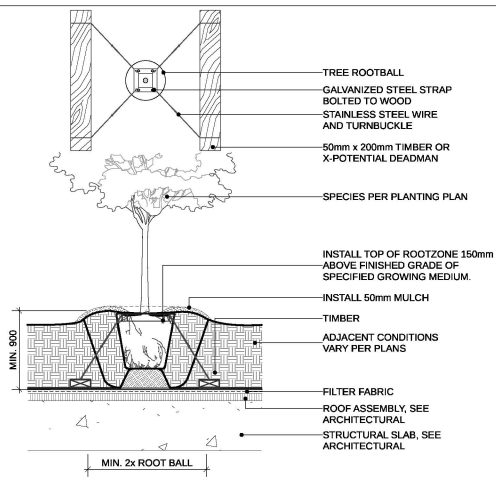
REVISIONS

1550-EASTERN AVENUE

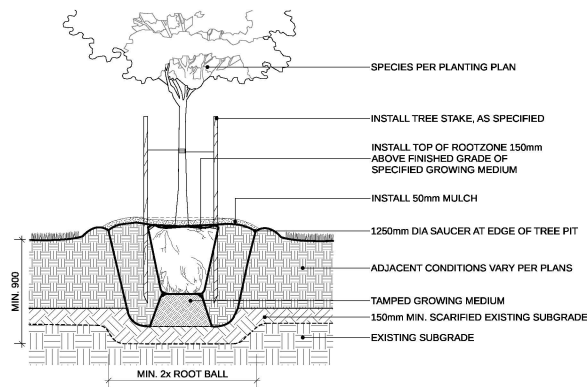
1550- Eastern Ave
North Vancouver, BC

Scale: AS SHOWN
Drawn: MR
Reviewed: KL
Project No. 06-705

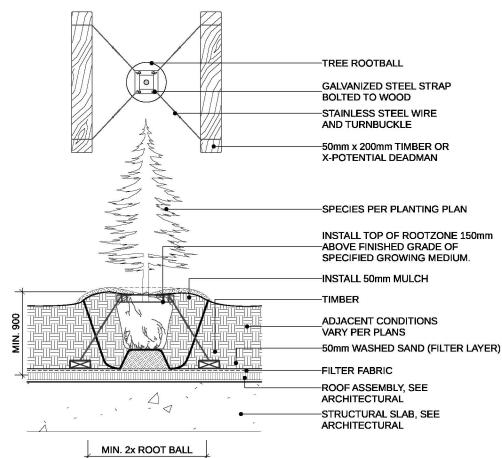
LANDSCAPE SECTIONS



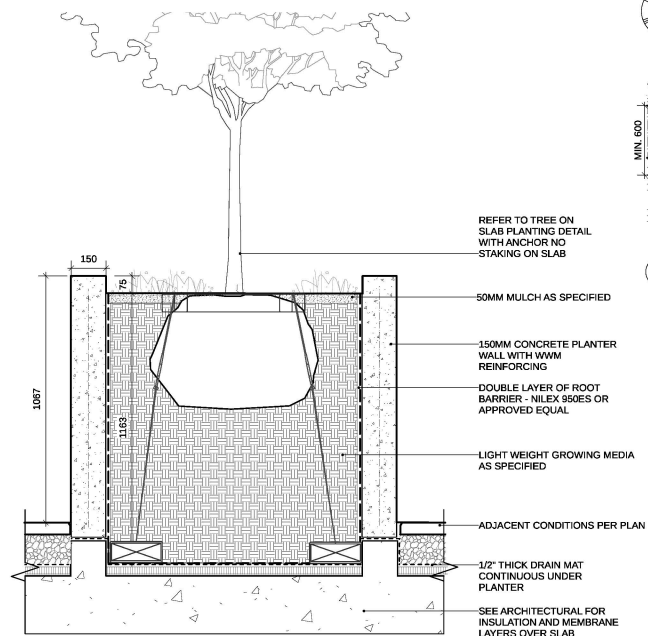
1 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
SCALE 1:25



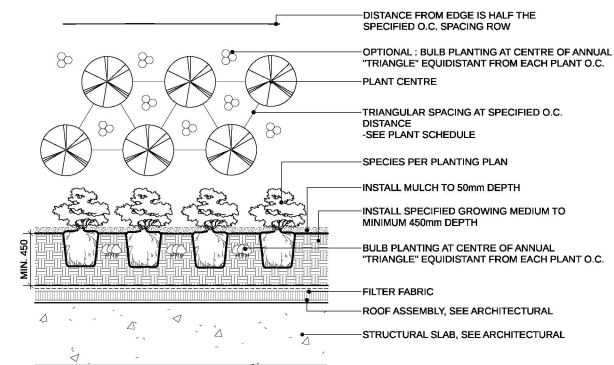
3 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
SCALE 1:20



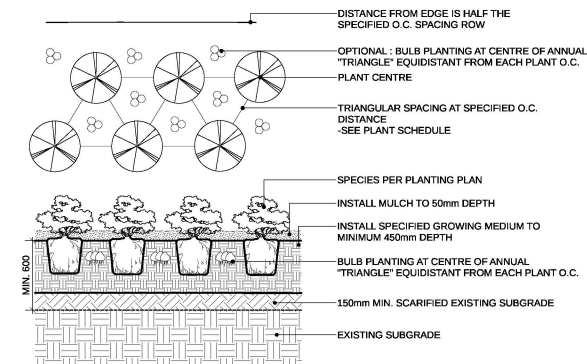
2 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)
SCALE 1:25



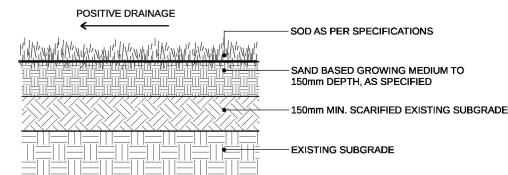
4 TYPICAL ON SLAB/ROOF PLANTER
Scale: 1:10



5 PLANTING ON SLAB (TYPICAL)
SCALE 1:20



6 PLANTING ON GRADE (TYPICAL)
SCALE 1:20



7 SOD LAWN ON GRADE (TYPICAL)
SCALE 1:10

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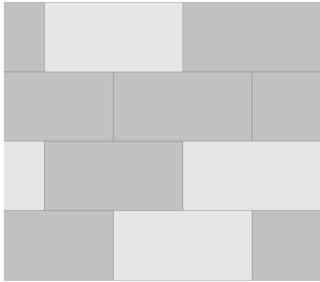
REVISIONS

1550-EASTERN AVENUE

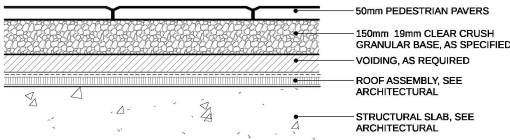
1550 - Eastern Ave
North Vancouver, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	DS
Project No.	06-705

LANDSCAPE DETAILS



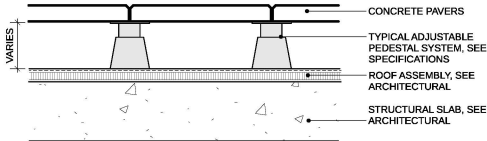
TYPE: HYDRAPRESSED SLAB, TEXADA BY ABBOTSFORD CONCRETE
 SIZE: 610mm x 305mm x 50mm
 COLOR: MIX OF 80% CHARCOAL, 40% NATURAL
 PATTERN: RUNNING BOND



NOTE:
 USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

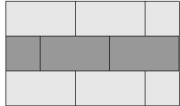
1 HYDRAPRESSED CONCRETE PAVERS ON SLAB ROOF DECKS
 SCALE 1:10

TEXADA SERIES
 SIZE: 610mm x 305mm x 50mm
 COLOUR: NATURAL
 BY: ABBOTSFORD CONCRETE PRODUCTS
 (1.800.663.4091)

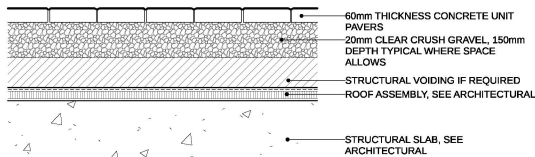


2 HYDRAPRESSED CONCRETE PAVERS ON PEDESTALS
 Scale: 1:10

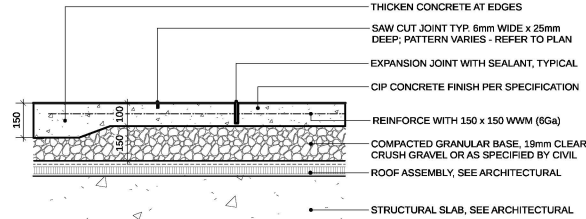
RUNNING BOND PATTERN



TYPE: CLASSIC STANDARD SERIES CALIFORNIA
 SIZE: 303mm x 153mm x 50mm
 PATTERN: RUNNING BOND
 COLOR: CHARCOAL AND NATURAL
 SUPPLIER: ABBOTSFORD CONCRETE PRODUCTS
 VANCOUVER, BC
 1.800.663.4091

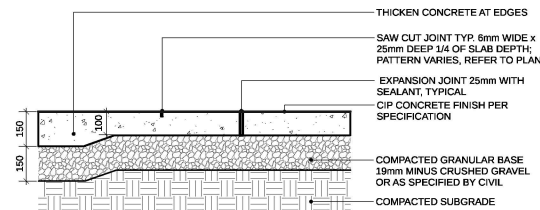


3 PEDESTRIAN UNIT PAVERS ON SLAB (TYPICAL)
 Scale: 1:10



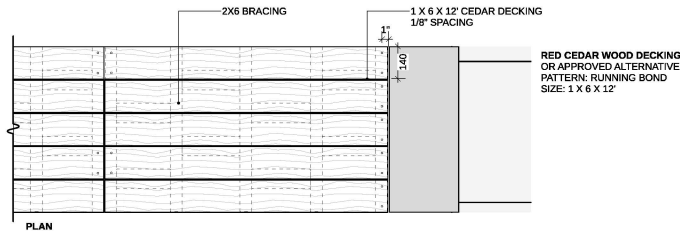
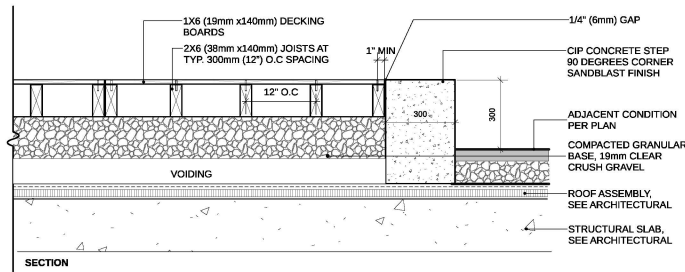
NOTES:
 1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.
 3. LIGHT SANDBLAST FINISH

4 CIP CONCRETE PAVING ON SLAB (TYPICAL)
 SCALE 1:10

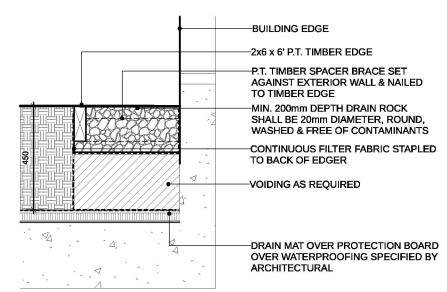


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 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.
 3. LIGHT SANDBLAST FINISH

5 CIP CONCRETE PAVING ON GRADE (TYPICAL)
 SCALE 1:10



6 CEDAR DECKING ON SLAB
 SCALE 1:10



7 GRAVEL DRAIN STRIP ON SLAB
 SCALE 1:10

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REVISIONS

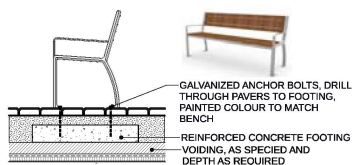
1550-EASTERN AVENUE

1550 - Eastern Ave
 North Vancouver, BC

Scale: AS SHOWN
 Drawn: MR
 Reviewed: DS
 Project No. 06-705

LANDSCAPE DETAILS

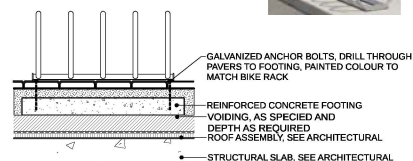
MLB970-W BENCH BY MAGLIN SITE FURNITURE (1-800-716-5506)
DIMENSIONS: 84.2cm HEIGHT x 177.8cm LENGTH x 58.4cm DEPTH
POWDERCOAT COLOUR: GUNMETAL, IPE WOOD



NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

1 BACKED BENCH TYPE 1
SCALE 1:10

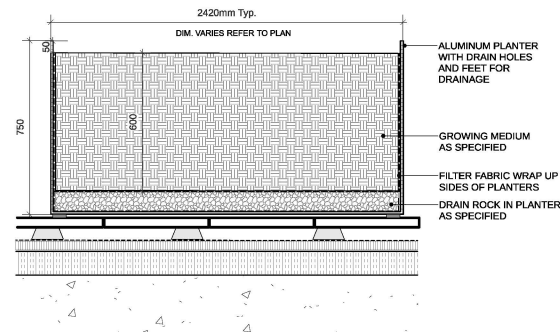
MBR350-S BICYCLE RACK BY MAGLIN SITE FURNITURE (1-800-716-5506)
DIMENSIONS: 60.45cm HEIGHT x 94.62cm LENGTH x 62.56cm DIAMETER
POWDERCOAT COLOUR: GUNMETAL



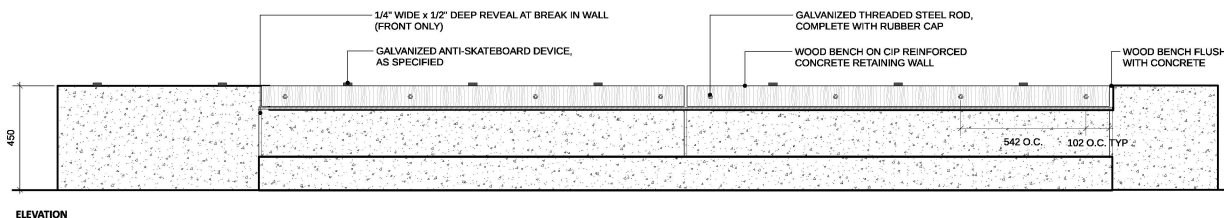
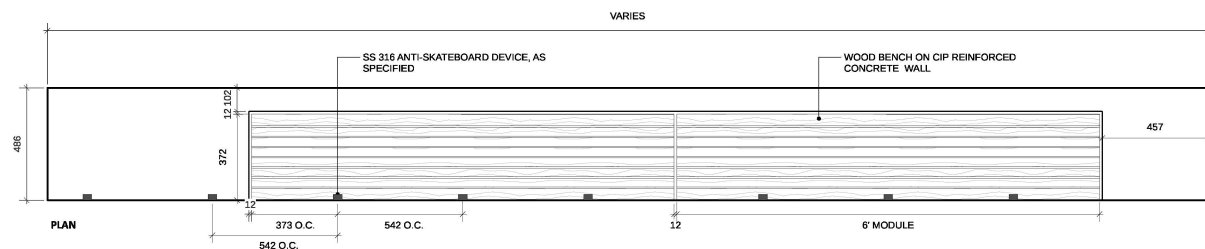
NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

2 BIKE RACK
SCALE 1:10

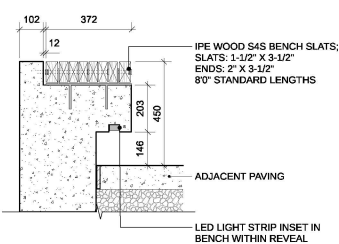
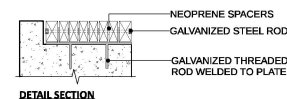
MODEL: ALUMINUM PLANTER
SIZE: 750mm H x 915mm L x 2420mm W
COLOUR: PEWTER
BY: GREEN THEORY (604 475-7002)



3 ALUMINUM URBAN AGRICULTURE PLANTER ON SLAB
SCALE 1:10



4 CIP CONCRETE SEATWALL WITH BENCH TOP
SCALE 1:10



13	RE-ISSUED FOR REZONING	22-07-19
12	RE-ISSUED FOR REZONING	22-02-23
11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
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5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

1550 - Eastern Ave
North Vancouver, BC

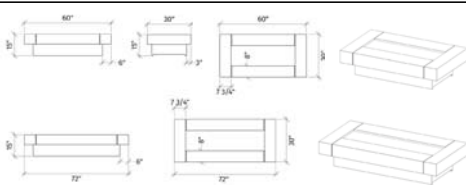
Scale: AS SHOWN
Drawn: MR
Reviewed: DS
Project No. 06-705

LANDSCAPE DETAILS

QUADRA

60in + 72in

DIMENSIONS



COMFORTABLE LIVING



Designed to enhance outdoor entertainment areas, the highly expressive **Quadra** fire table helps define the modern patio.

COLOUR: LONDON FOG

- QUADRA PACKAGE INCLUDES:**
- CONCRETE FIREPIT TOP
 - CONCRETE FIREPIT BASE
 - MANUAL LIT NG/LP BURNER
 - LAVA ROCK
- Firepits ship fully sealed
Accessories available



Please contact us at 1-604-278-4939 with any questions. Our experienced team can assist you with product information, installation and design recommendations. We also encourage you to explore our website at www.dreamcastfirepits.com

1 GAS FIRE PLACE AMENITY AREA



3 BOLLARD

PROVIDER: DAL'S
MODEL: LEDPATH003/LEDPATH004
COLOUR: SILVER GREY
AVAILABLE THROUGH SLS LIGHT
RESOURCE 778-329 9439



6 RECESSED WALL LIGHT

PROVIDER: MP LIGHTING
MODEL: L46 LED LIGHT
COLOUR: ANNOXIDIZED ALUMINUM FINISH
CONTACT: 604.708.1184



7 EXTERIOR WALL MOUNT LIGHT

PROVIDER: MP LIGHTING
MODEL: L721 LED LIGHT
COLOUR: ANNOXIDIZED ALUMINUM FINISH
CONTACT: 604.708.1184

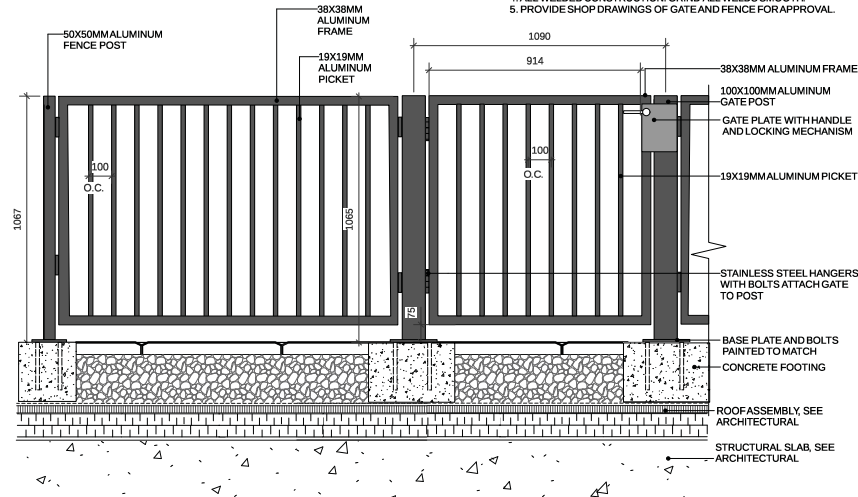


8 TRELLIS LIGHT

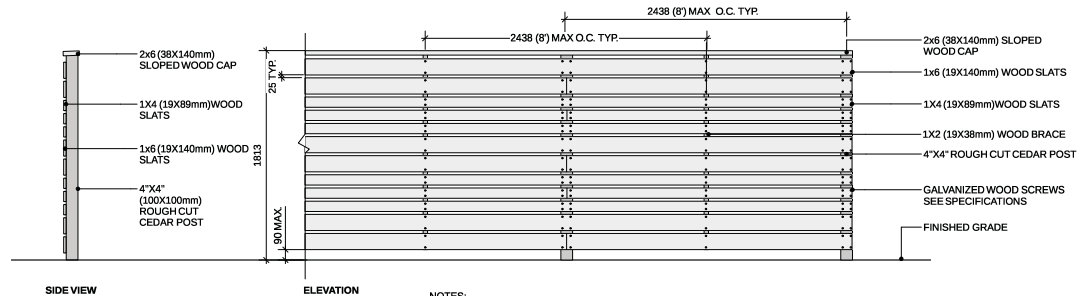
PROVIDER: TEGAN
MODEL: EXTON MONO - DIRECT MOUNT - GEMS ANNOXIDIZED ALUMINUM AVAILABLE THROUGH SLS LIGHT
RESOURCE 778-329 9439

NOTES:

1. SELF CLOSING GATE AND LATCH
2. USE PREFABRICATED GATEBOX FOR LATCH ASSEMBLY AND KEY (TO BE FACTORY APPLIED).
3. ALL METAL ALUMINUM WITH BLACK CHARCOAL POWDER COAT FINISH (TO BE FACTORY APPLIED).
4. ALL WELDED CONSTRUCTION. GRIND ALL WELDS SMOOTH.
5. PROVIDE SHOP DRAWINGS OF GATE AND FENCE FOR APPROVAL.



4 METAL FENCE AND GATE ON SLAB SCALE 1:10



5 TIMBER FENCE @ DAYCARE SCALE 1:10

NOTES:

1. ALL WOOD SLATS TO BE TO BE CEDAR STRUCTURAL SELECT UNTREATED CONTINUOUS STRUCTURAL WOOD.
2. ALL WOOD TO BE CEDAR, NO PRESSURE TREATED WOOD.
3. ALL WOOD TO BE SANDED.

2305 Hamlock St Vancouver BC V6H2V1
T804 681 3303 F804 681 3307
www.connect.ca

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LOCATION, AND ELEVATION OF UTILITIES AND /
OR CONCEALED STRUCTURES AT THE PROJECT
SITE.

THE CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE EXISTENCE, LOCATION, AND
ELEVATION OF ALL UTILITIES AND / OR
CONCEALED STRUCTURES, AND IS
RESPONSIBLE FOR NOTIFYING THE
APPROPRIATE COMPANY, DEPARTMENT OR
PERSON(S) OF ITS INTENTION TO CARRY OUT ITS
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13	RE-ISSUED FOR REZONING	22-07-19
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3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

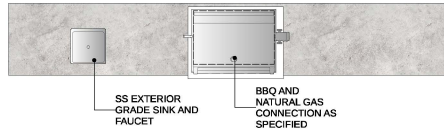
1550 - Eastern Ave
North Vancouver, BC

Scale: AS SHOWN
Drawn: MR
Reviewed: DS
Project No. 06-705

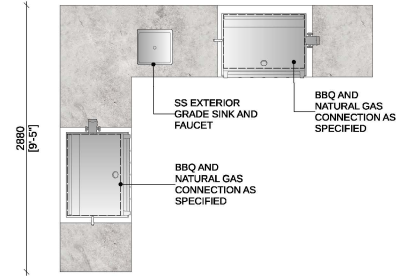
LANDSCAPE DETAILS

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

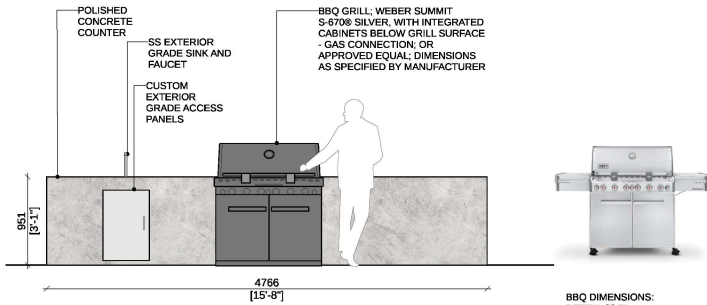
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PLAN VIEW - BBQ AND COUNTER



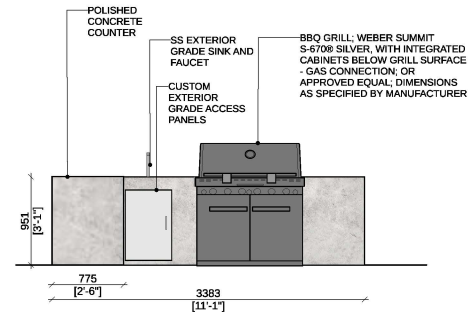
PLAN VIEW - BBQ AND COUNTER



- NOTE:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 2. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 3. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
 4. REFER TO MECHANICAL DRAWINGS FOR SINK AND PLUMBING

ELEVATION

- 1** BBQ AND SINK WITH COUNTER SOUTH
Scale: 1:25



- NOTE:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 2. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 3. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
 4. REFER TO MECHANICAL DRAWINGS FOR SINK AND PLUMBING

ELEVATION

- 2** BBQ AND SINK WITH COUNTER NORTH
Scale: 1:25

13	RE-ISSUED FOR REZONING	22-07-19
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1	ISSUED FOR REVIEW	20-06-29

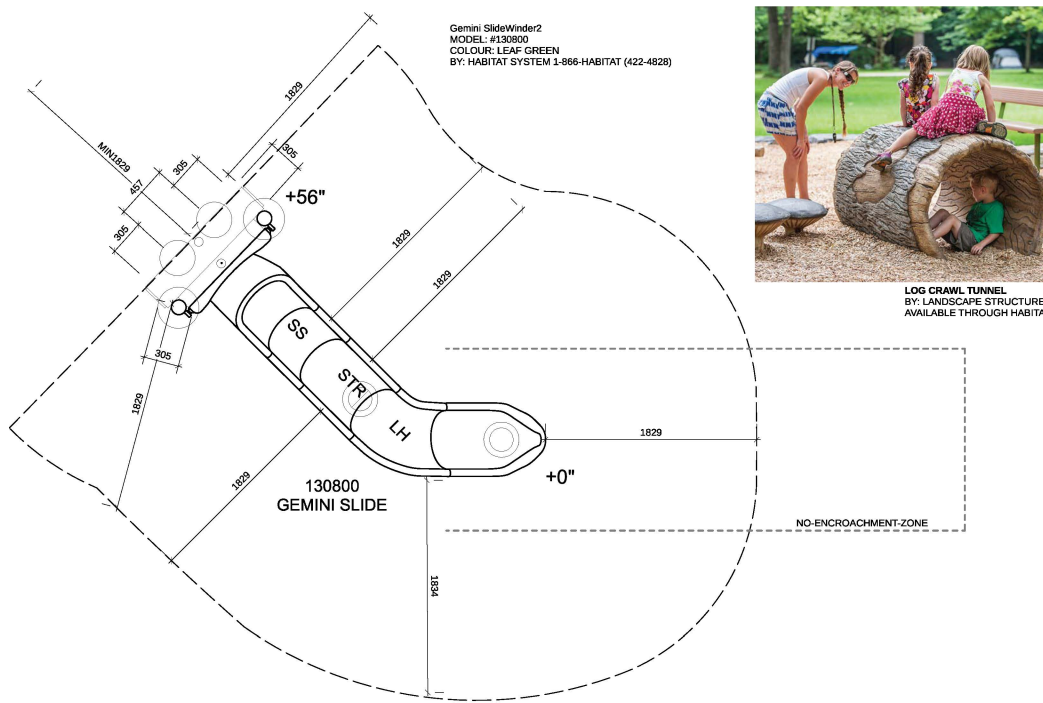
REVISIONS

1550-EASTERN AVENUE

1550 - Eastern Ave
North Vancouver, BC

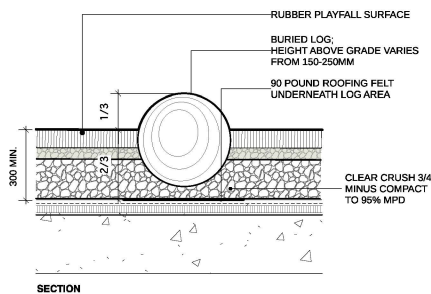
Scale:	AS SHOWN
Drawn:	MR
Reviewed:	DS
Project No.	06-705

LANDSCAPE DETAILS

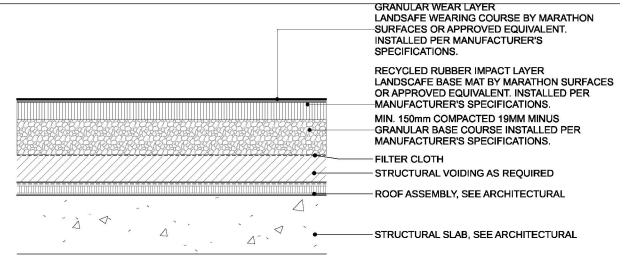
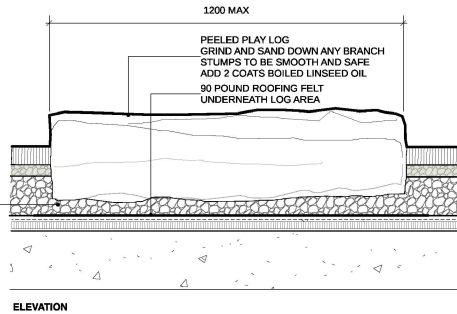


LOG CRAWL TUNNEL
BY: LANDSCAPE STRUCTURES
AVAILABLE THROUGH HABITAT

1 HILL SLIDE
Scale: 1:20

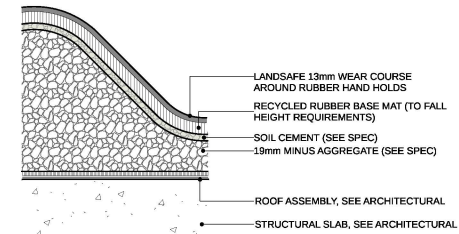


2 PLAY LOGS
Scale: 1:10



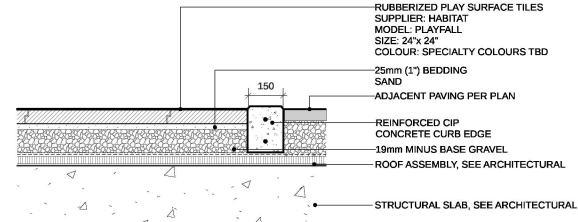
NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

7 POURED IN PLACE RUBBER PLAYFALL SURFACE
Scale: 1:10



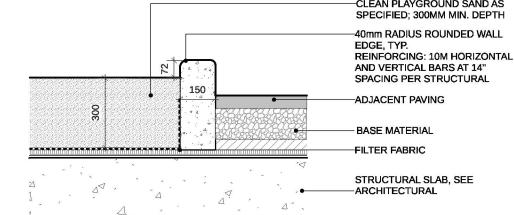
NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

4 RUBBER PLAY MOUND ON SLAB
Scale: 1:10



NOTE:
RUBBERIZED SURFACE TO BE PLAYFALL RUBBER PLAY SURFACE TILES, THICKNESS TO BE CONFIRMED WITH DISTRIBUTOR, OR PRE-APPROVED EQUAL.

5 RUBBERIZED PLAY TILES ON SLAB
Scale: 1:10



6 SAND AREA AND CURB ON SLAB
Scale: 1:10

13	RE-ISSUED FOR REZONING	22-07-19
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REVISIONS

1550-EASTERN AVENUE

1550 - Eastern Ave
North Vancouver, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	DS
Project No.	06-705

LANDSCAPE DETAILS



ALPINE PLAY HUT
Intended user age: 2-5

PRODUCT INFORMATION

The tall peaked roof of the Alpine Hut is a clean and modern design that could fit into a range of playground themes and styles. A-Frame in style, the small house is finished with a chimney. It is fully enclosed on one side but open at the bottom on two sides providing visibility for caregivers but giving children a sense of privacy.

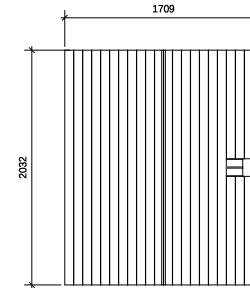
ASTM F1487



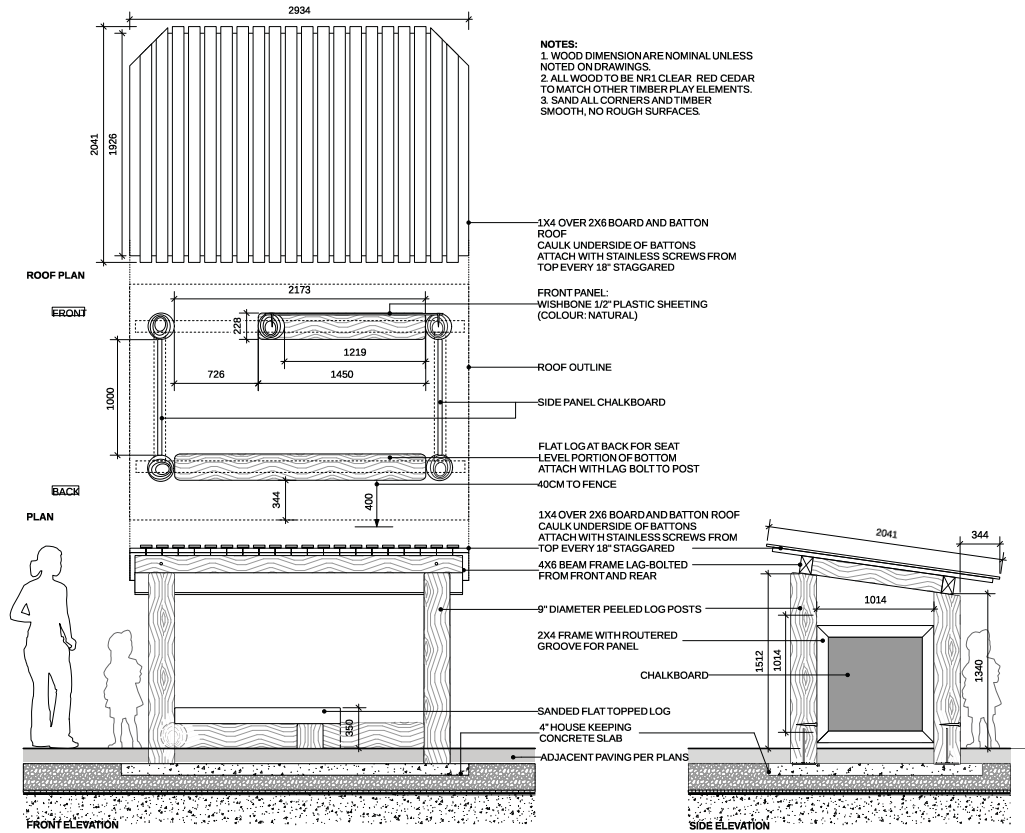
NON CLIMBABLE PLAY HUT

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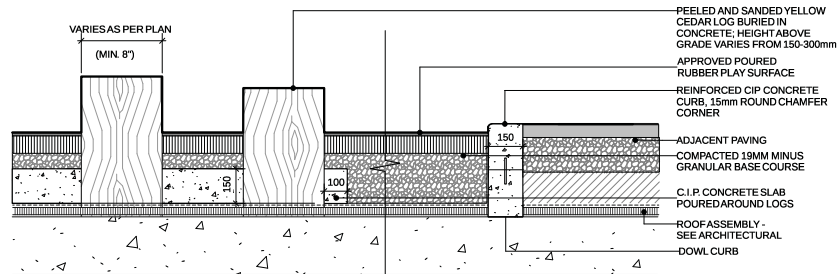
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2 PLAY HOUSE LEVEL 2
SCALE: 1:20



1 PLAY HOUSE LEVEL 1 ON SLAB
SCALE: 1:20



NOTES:
1. POURED RUBBER SURFACE TO BE CERTIFIED FALL SURFACE MATERIAL. SOURCE TO PROVIDE SPECIFICATIONS AND SAMPLES FOR REVIEW AND APPROVAL.
2. LOGS TO BE YELLOW CEDAR, PEELD AND SANDED, ROUNDED CORNERS NO SHARP EDGES.

3 PLAY STUMPS
SCALE: 1:10

13	RE-ISSUED FOR REZONING	22-07-19
12	RE-ISSUED FOR REZONING	22-02-23
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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

1550 - Eastern Ave
North Vancouver, BC

Scale:	AS SHOWN
Drawn:	MR
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LANDSCAPE DETAILS

1536-1550 Eastern Avenue

Virtual Developer Information Session

Prepared by: Pooni Group

August 2021



Definitions

The Site: Refers to 1536-1550 Eastern Avenue

Virtual Developer Information Session (VDIS): The engagement opportunity consisting of a project website, a fillable online comment form, live webinar sessions, and dedicated email address. During the DIS the website is live, feedback is being collected and questions from the public are being answered.

Webinar: A live-streamed interactive engagement session hosted through Zoom which includes a presentation by the project team and a live Q&A during which the project team answers questions submitted by the attendees.

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1.0 EXECUTIVE SUMMARY

Kenwood Apartments Ltd. has submitted a Rezoning and Special Development Permit Application to the City of North Vancouver (CNV) for the properties at 1536-1550 Eastern Avenue (the site) to permit the development of a 13-storey building. The proposal includes 105 new purpose-built rental homes, a much needed 185-space daycare, several residential amenity spaces, and a 2,000 square foot land dedication to the CNV to expand the new urban park to the north of the property and to provide an east lane pathway to improve and promote outdoor social connections.

The site is currently improved with two three-storey rental buildings.

As part of the rezoning application process, the project team recently hosted a Virtual Developer Information Sessions (VDIS) and two webinar sessions to engage with the community and collect feedback. The VDIS consisted of a project website (www.1550easternave.com) where all the project information was posted, two webinar sessions hosted by the project team on Thursday July 22, 2021 from 12:00-1:00 pm and 6:00-7:00 pm, and an online comment form and dedicated email address to collect feedback. The VDIS provided an opportunity for community members to meet the project team, learn more about the proposal, ask questions and provide feedback.

Between July 15, 2021, the day the website went live and August 5, 2021, the last day for the submission of comments, over 134 individuals visited the website. A total of 11 individuals attended one of the two webinar sessions on July 22, 2021.

Feedback could be submitted in three ways: through questions posed during the live Q&A portion of the webinar, comment form submissions, and by email. In total 23 questions and/or comments were submitted during the webinar sessions, 4 comment forms were submitted, and emails from three individuals were received.

The following themes emerged based on participant feedback:

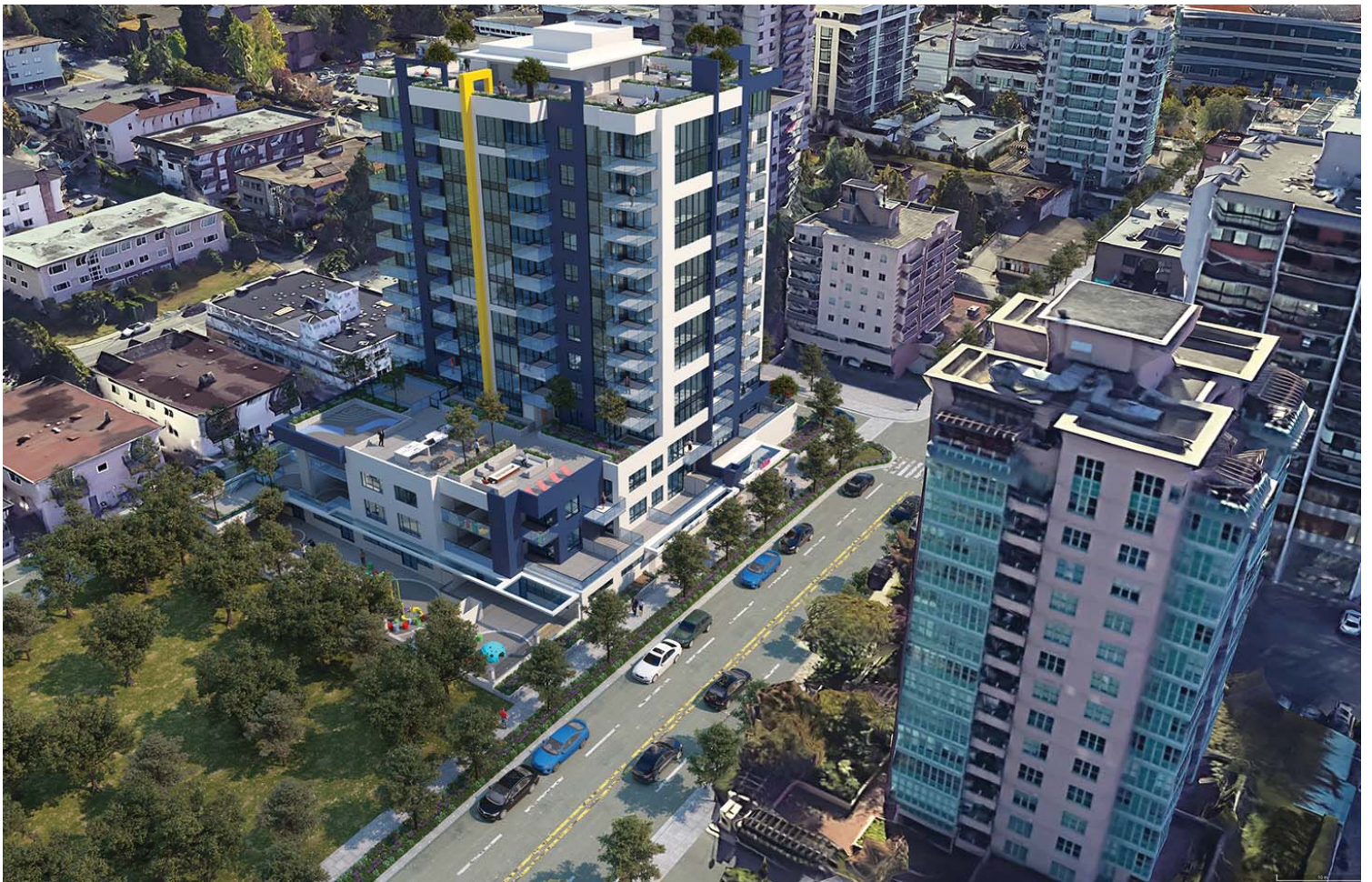
- Questions about the height of the development in relation to the height guidelines set in place by the City of North Vancouver's OCP.
- Questions about the anticipated date of demolition and timeline for construction
- Support for more affordable housing in this neighbourhood, especially for families
- Support for a daycare centre and family oriented park space
- Questions about the sizing of both the greenspace and daycare centre
- Questions about the building design

The following report provides a summary of the public engagement, including:

- An introduction
- Engagement event details, including a description of the notification method, the format of the event and an overview of the information presented
- Feedback received by comment form submission
- Questions received during the webinars
- Feedback received by email
- Transcription of all comments received
- Copies of all materials presented; website, presentation, copy of notification area, site signage

2.0 INTRODUCTION

The site currently contains two, three-storey walk up, wood frame rental buildings located in the heart of Central Lonsdale and is well serviced by frequent transit, near many shops, restaurants, amenities, and schools. The site is situated to the east of Eastern Avenue and approximately 55 m north of 15th St E. Within the CNV's OCP, the land use map identifies the property as Residential Level 6 (high density). In 2019, Kenwood Apartments submitted their Rezoning and Special Development Permit Application to the CNV to permit a 13-storey 3.45 FSR mixed use building.



The proposal includes:

- One 13-storey building
- 105 rental suites
- 185-space daycare
- Nearly 2,000 square feet of land to enlarge the adjacent urban park and to provide an east lane pathway to improve and promote outdoor social connections.
- Residential amenity space including a 2,500 square foot sports court
- 126 parking stalls within a two-level underground parkade



3.0 VIRTUAL DEVELOPER INFORMATION SESSION

The VDIS provided opportunities for public engagement including a project website and two webinar (via Zoom) sessions consisting of a presentation and live Q&A session. These webinar sessions allowed the project team to gather valuable feedback to inform application refinements for the site.

Project Website

On **July 15, 2021**, the project website went live with information about the proposal, and details on how to attend the webinar sessions. As of **July 22, 2021** the website also contained a copy of the PDF presentation slides for download, a fillable comment form, contact information, and details related to the VDIS, including the ability to sign up to be reminded of the webinars date and times. From **July 15, 2021** until **August 5, 2021**, 73 individuals visited the project website.

The project website included the following content:

- Information on the Virtual Developer Information Session, and webinar dates and times
- A PDF copy of the presentation slides for download
- How to Participate, Neighbourhood Context, Project Highlights, Comment Form
- Information on Kenwood Apartments
- Information on Rafii Architects Inc.
- Link to access the live presentation during the webinars
- Comment form - fillable online
- Contact Information

Tenant Engagement

A letter was sent to the existing residential tenants of the site in advance of the webinars. The letters reminded tenants of Kenwood Apartments Ltd. intentions to redevelop the site, provided information about the proposal, and identified the existing building manager, as their Tenant Relocation Coordinator. The Tenant Relocation Coordinator set up individual meetings with each of the tenants during the weeks leading up to the VDIS to review the Tenant Relocation Package, existing timelines, and answer any questions the tenants had. Tenants were encouraged to join the VDIS to learn more about the proposal.

Public Notifications

Mail-Out

4,493 notification flyers were sent out via Canada Post ad-mail drop to residents and businesses in the area surrounding the site. The notification flyer informed the neighbouring community about the development proposal, provided webinar details, and information on how to participate in the online engagement sessions.

Signage

On July 7, 2021 a site sign was installed by the project team on the subject property with the purpose of informing the public about the VDIS. The site sign informed the immediate neighbours about the development proposal, provided webinar details, and information on how to participate in the online engagement.

Newspaper Ads

On July 7, 2021 and July 14, 2021 a newspaper ad ran in the North Shore News to inform the public about the VDIS. The newspaper ad informed the community about the development proposal, provided webinar details, and information on how to participate in the online engagement.

An audience overview of the project website is included in Appendix A, a copy of the notification flyer is included in Appendix B, a copy of the site signage is included in Appendix C, a copy of the newspaper advertisement is included in Appendix D, a map of the unaddressed notification delivery area is included in Appendix E, and a copy of the tenant letter is included in Appendix F.

Webinar Summary

Date: Thursday July 22, 2021

Time: Session #1 - 12:00-1:00 pm

Session #2 - 6:00-7:00 pm

Location: Zoom Webinar via the project's website @ www.1550easternave.com

Between the day the website went live on July 15, 2021 and the last day for comment form feedback, August 5, 2021, 73 visitors viewed the project website. In total, between the two live webinar sessions, 11 individuals joined the Zoom Webinars to view the presentation and to participate in the Q&A.

Project Team in Attendance

The following team members were in attendance for the webinar sessions

Kenwood Apartments (Developer) - Brad Nelson

Rafii Architects Inc (Architecture) - Foad Rafii, Homayoon Rahimi

CTS (Traffic Engineer) - Jan Voss

Connect Landscape Architecture (Landscape Architect) - Marina Rommel

Pooni Group (Urban Planning) - Sophie Perndl and Samantha Potter

City of North Vancouver (Development Planner) - David Johnson

A presentation was provided during both webinars. The session began with a welcome from Pooni Group's Sophie Perndl and introductions to the project team. An overview of the rezoning proposal was presented by Foad Rafii and the rest of the project team in attendance. The presentation slide headings, representative of the content, are as follows:

- | | |
|---|--|
| 1. Introduction | 19. Next Steps |
| 2. Land acknowledgment | 20. Floor Plans - Level 1 |
| 3. Meet the Developer | 21. Floor Plans - Level 2 |
| 4. Neighbourhood Context | 22. Floor Plans - Level 3 |
| 5. Site Context | 23. Floor Plans - Level 4 Podium |
| 6. Encouraging Sustainable Transportation | 24. Floor Plans - Level 5-12 |
| 7. City of North Vancouver's OCP | 25. Floor Plans - Penthouse (Level 13) |
| 8. Proposal Vision | 26. Elevations - West |
| 9. A Variety of New Housing | 27. Elevations - North |
| 10. A Significant Contribution to Daycare Spaces in North Vancouver | 28. Elevations - East |
| 11. Daycare Floor Plan | 29. Elevations - South |
| 12. Daycare Parking | 30. Section A |
| 13. New Residential Amenities | 31. Section B |
| 14. Rendering - Aerial View from the Northwest | 32. Section C |
| 15. Sustainability | 33. Shadow Studies |
| 16. Site Plan | 34. Project Stats |
| 17. Landscape Plan | |
| 18. Landscape and Outdoor Amenity Precedents | |

These slides as well as floor plans, elevations, sections, shadow studies, and project statistics were available for download on July 22, 2021.

The project presentation was followed by a live Q&A session with the community members in attendance.

Screenshots from the VDIS Website are included in Appendix G, and a copy of the presentation slides are included in Appendix H.

4.0 FEEDBACK SUMMARY

The webinar sessions provided opportunities for the community to review the rezoning application for the site, have their questions answered by the project team and submit feedback.

The public was able to provide feedback in following ways:

- *Submission of questions and comments during the webinar sessions;*
- *Online comment form and submissions through the website; and*
- *Submission of questions and comments via email*

In total, 30 questions/comments were received from the webinar sessions, via online comment forms, and email.

Summary Comments and Questions

Several questions received during the webinar sessions revolved around amenity spaces, building height and design, and construction timelines. Questions did not indicate support or opposition towards the application. Through comment form and email correspondence there was a mix of support and opposition towards the application. Those in support of the application identified the new rental homes and daycare space as desirable aspects of the proposal. Those in opposition of the application predominately shared concerns around construction. Overall, the majority of participants of the VDIS appeared to have a few questions and did not provide their sentiment towards the application.

A transcript of the questions/comments from the webinar sessions are included in Appendix I, a copy of the online comment forms are included in Appendix J, a copy of the comment form transcriptions are included in Appendix K, and a copy of emails received are included in Appendix G.

5.0 CONCLUSION

Kenwood Apartments Ltd. submitted a Rezoning application to the CNV for the site to permit the development of a 3.45 FSR, 13-storey building containing 105 rental homes and a 185-space daycare. As part of the application process, Kenwood Apartments Ltd. and the project team hosted a VDIS that included a project website and two webinar sessions. The website went live on July 15, 2021, and featured information about the proposal and details on how the community could attend and participate in the two virtual webinar sessions which were held on Thursday July 22, 2021 during two, 1-hour sessions held from 12:00-1:00 pm and 6:00-7:00 pm. Members of the surrounding community were encouraged to visit the project website and submit any inquires they may have regarding the proposal via email, phone or the comment form that was available on the project website after July 15, 2021. 4,493 notifications were sent out to the surrounding residents via Canada post ad-mail drop. In total, 11 individuals attended one of the two webinar sessions, and from this group, 23 questions and/or comments were submitted during the live Q&A. Between July 15, 2021 and August 5, 2021, 4 comment forms were submitted via the project website and 3 comments/questions were received through email. The supportive comments were predominately around additional daycare spaces for children in the area as well as new rental homes for individuals. Some individuals expressed concerns relating to the noise levels generated by the current developments in the area and the safety risks associated with the removal and demolition of the existing site.

The project team will consider the feedback received from the Virtual DIS as they progress through the design and approval process within the City of North Vancouver.

Appendices

Appendix A - Audience Overview

Appendix B - Copy of Notification Flyer/Newspaper Ad

Appendix C - Copy of Site Signage

Appendix D - Copy of Newspaper Ad

Appendix E - Map of Unaddressed Notification Delivery Area

Appendix F - Copy of Tenant Letter

Appendix G - Screenshots from VDIS Website

Appendix H - Copy of Presentation Slides

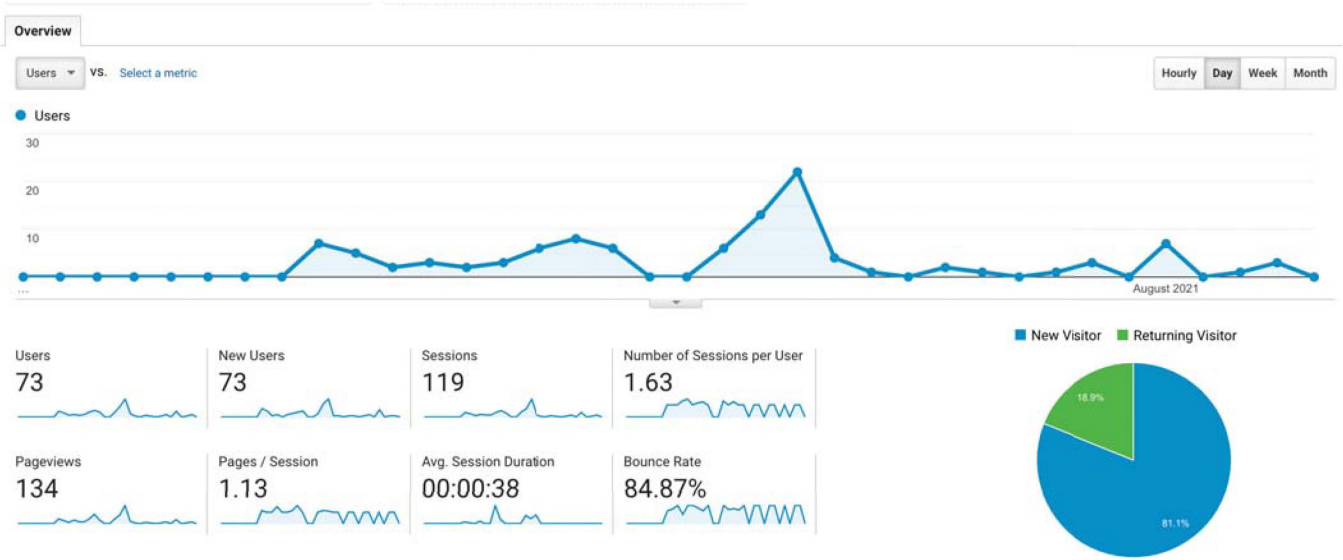
Appendix I - Transcript of Questions/Comments from Webinar Sessions

Appendix J - Copy of Online Comment Form

Appendix K - Comment Form Transcriptions

Appendix L - Copy of Emails Received

Appendix A - Audience Overview



Appendix B - Copy of Notification Flyer

Virtual Developer Information Session

Early Public Input Opportunity
Rezoning Application
1536 - 1550 Eastern Avenue, North Vancouver, BC

Kenwood Apartment's Ltd. has submitted a rezoning application to the City of North Vancouver for the properties at 1536 and 1550 Eastern Avenue to permit the development of a 13- storey building. The project as proposed would provide 105 new purpose-built rental homes and a much-needed 185-space daycare.

Interested members of the public are invited to attend the Virtual Developer's Information Session hosted by the applicant for an early opportunity to review the proposal and offer comments.

Applicant Contact

Samantha Potter
Pooni Group
openhouse@poonigroup.com
604.731.9053 ext. 101

City of North Vancouver Contact

David Johnson, Development Planner
City of North Vancouver
djohnson@cnv.org
604.990.4219



KENWOOD APARTMENTS

How to Participate

STEP 1: Visit the project website to learn about the proposal



Visit the project website at www.1550easternave.com after July 15, 2021 to review information about the proposal or scan the QR code to the left with your smartphone camera (click the link that appears).

STEP 2: Join the video presentation and live Q&A Session



Visit www.1550easternave.com and click "Join the Presentation" button during one of the following times:

- Thursday, July 22, 2021 - 12:00pm - 1:00pm
- Thursday, July 22, 2021 - 6:00pm - 7:00pm

On the website, you will find a "Join the Presentation" button during the designated time. The project team will provide a presentation followed by a live Q&A period where you will be able to ask questions.

STEP 3: Provide your feedback through the website



From July 15-August 5, 2021, you can provide feedback either online by visiting the project website at www.1550easternave.com and filling out the comment form on the home page or by emailing openhouse@poonigroup.com with "1536-1550 Eastern Ave" as the subject line.



PLEASE NOTE: We endeavor to be as inclusive as possible. If you require additional accommodation for any reason including not having access to the internet or not being able to participate virtually for any reason, please call Samantha at 604.731.9053 ext 101 or email openhouse@poonigroup.com and we will make our best effort to assist.

Appendix C - Copy of Site Signage

1550 Eastern - Sign Proof C
 Jensen Signs
 24-Jun-21

DEVELOPMENT APPLICATION

1550 Eastern Avenue

PROPOSAL:

Kenwood Apartments Ltd. has submitted a rezoning application to the City of North Vancouver for the properties at 1536 and 1550 Eastern Avenue to permit the development of a 13- storey building. The project as proposed would provide 105 new purpose-built rental homes and a much-needed 185-space daycare.

Kenwood Apartments Ltd. will be hosting a virtual information session where interested members of the public can learn about and comment on the application.

APPLICANT CONTACT:

NAME: Samantha Potter
COMPANY: Pooni Group
EMAIL: openhouse@poonigroup.com
PHONE: 604-731-9053 ext 101

FOR MORE INFORMATION AND TO SHARE YOUR OPINION:

DEVELOPER'S INFORMATION SESSION

How to participate:

Step 1: Visit the project website to learn about the proposal:
 Visit the project website (www.1550easternave.com) after July 15, 2021 to review information about the proposal or scan the QR code below with your smartphone camera (click the link that appears).



Step 2: Join the video presentation and live Q&A session:
 Visit www.1550easternave.com and click "Join the Presentation" during one of the following times:

Thursday July 22, 2021 - 12:00 pm - 1:00pm
 Thursday July 22, 2021 - 6:00 pm - 7:00 pm

CITY OF NORTH VANCOUVER CONTACT
David Johnson, Development Planner
djohnson@cnv.org 604-990-4219



PROPOSED DEVELOPMENT SITE



PROPOSED DEVELOPMENT





VIRTUAL DEVELOPER INFORMATION SESSION

Kenwood Apartment's Ltd. is holding a virtual information session where interested members of the public are invited to learn about our rezoning application for a 13-storey building providing 105 new purpose-built rental homes and a much needed 185-space daycare facility at 1536 and 1550 Eastern Avenue in North Vancouver, BC.

How to Participate:

Step 1: Visit the project website to learn about the proposal:

Visit the project website at www.1550easternave.com after July 15, 2021 to review information about the proposal.

Step 2: Join the video presentation and live Q&A session:

Visit www.1550easternave.com and click "Join the Presentation" button during one of the following times:

- **Thursday, July 22, 2021 - 12:00 pm-1:00 pm**
- **Thursday, July 22, 2021 - 6:00 pm-7:00 pm**

KENWOOD APARTMENTS

Applicant Contact:

Samantha Potter
Pooni Group
openhouse@poonigroup.com
604.731.9053 ext 101



Planning Department Contact: David Johnson, Development Planner, City of North Vancouver e: djohnson@cnv.org t: 604.990.4219

This meeting is required by the City of North Vancouver as part of the development process.

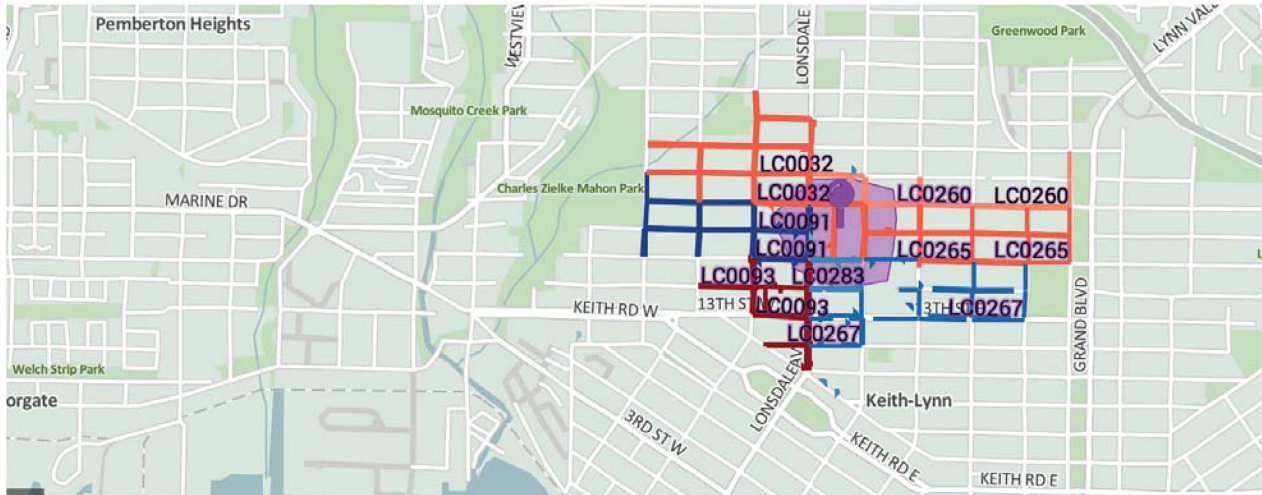
Appendix E - Map of Unaddressed Notification Delivery Area

Precision Targeter

Your total number of mail pieces is **4,493** for an estimated delivery cost of **\$851.54**

[Place order](#)

[View more details](#)



Appendix F - Copy of Tenant Letter

June 30, 2021

Dear Resident,

As you may recall from our previous correspondence in September of 2020, Kenwood Apartments (Kenwood) has submitted a rezoning application to redevelop these buildings (1536-1550 Eastern Avenue). Redevelopment means that these buildings will be replaced and all existing residents will have to vacate. We are still in the early stages of the application process with the City of North Vancouver which means that relocation is still at least over a year away. Kenwood is committed to working with each resident and will be providing you with ongoing communication throughout the application process.

We are writing today to provide you with an update on the rezoning process and to let you know that I, Jason, will be reaching out to schedule a meeting with you in the coming days.

In October of 2020, Kenwood submitted a rezoning application to the City of North Vancouver. The proposal is to replace the current rental buildings with a 13-storey rental building containing 105 new purpose built rental homes and a 185-space daycare facility. The next steps in the rezoning process include a Developer Information Session which will provide information about the application to the general public as well as additional staff review. The process will eventually conclude with the application being presented to City Council at a Public Hearing.

We anticipate that the rezoning and permitting will take approximately 12-18 months before any construction could begin. However, we will keep you informed as the application moves forward.

In the meantime, we are working on a tenant relocation package as per the City of North Vancouver's Residential Tenant Displacement Policy that was adopted by Council in November 2015. This document outlines the minimum requirements for tenant relocation including:

1. **Compensation** in the form of free rent or cash in lieu
2. **Payment** for moving expenses
3. **Assistance** with identifying alternate accommodations
4. **Right of First Refusal** to a replacement rental unit on site
5. **Additional support** or assistance for vulnerable tenants
6. A **minimum of four months' notice*** to vacate after a Demolition Permit has been issued by the City

As we are working through the rezoning process and developing a relocation package, we would like to meet with each of you individually to discuss your needs when seeking alternative housing, share our draft tenant relocation package, answer any questions you might have, and listen to your feedback. I have allocated July 5th 2021 through July 9th 2021 for meetings with each of you. I will be reaching out to each of you individually over the next week to schedule those one-on-one meetings. If you feel that you require additional assistance or would like to meet right away, please get in touch with me via email (trimarkpm@gmail.ca) or phone (604.323.4467).

In the coming days, you will also receive a formal notification for a Virtual Developer Information Session on July 22, 2021 from 12:00pm-1:00pm and again from 6:00pm-7:00pm. Here we will be sharing the details of our application with the neighbourhood. If you are interested in specific details about the application, we encourage you to attend one of these sessions. Note that the purpose of this session is to inform the general public and it will not include information about the tenant relocation package. I have included the notification outlining how you can participate.

Please look out for a phone call from me to schedule our meeting in the coming days.

Yours truly,

Jason Trimark
Trimark Property Management
trimarkpm@gmail.ca
604.323.4467

Cc: David Johnson, Development Planning Manager, City of North Vancouver

1536-1550 Eastern Ave

Join us on July 22

1536-1550 Eastern Avenue

HOME



Virtual Information Session

HOME

Join the project team online as they share information about the proposal for 1536-1550 Eastern Ave. During these sessions you will be able to ask questions and provide your feedback.

Virtual Information Sessions:

July 22, 2021 from 12pm-1pm
July 22, 2021 from 6pm-7pm

[COMMENT FORM](#)

Thank you to those who participated in the Virtual Developer Information Session on July 22.

How To Participate

Review the information found on this website. The presentation is now available for download below.

[DOWNLOAD THE PDF](#)

Join the virtual information session(s) on July 22, 2021. On the day of the information sessions, the website will be updated with a "Join the Presentation" button that will link you directly to the information session via Zoom webinar. A call-in number will also be provided. If you need to call in, we suggest emailing your questions in advance.

[July 22, 2021 from 12pm-1pm](#)
[July 22, 2021 from 6pm-7pm](#)

Feedback received will be compiled into a report and submitted to the City of North Vancouver for review.

If you prefer to provide your comments directly to City Staff, please email David Johnson, Development Planner at the City of North Vancouver: djohnson@cnv.org

[The comment period is open from July 15-August 5.](#)

[HOME](#)

SITE CONTEXT



1536-1550 Eastern Avenue (the property) is located in Central Lonsdale, an area designated as a Town Center in the City of North Vancouver's Official Community Plan.



NEIGHBOURHOOD CONTEXT

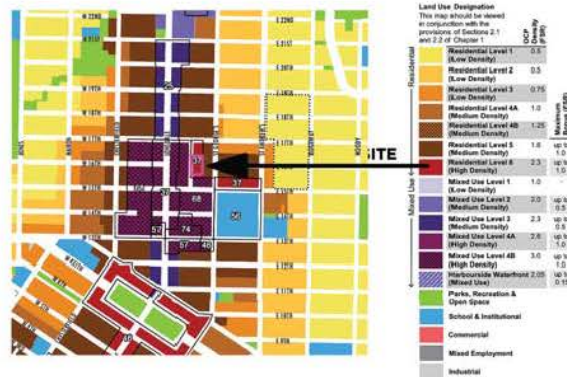
HOME



The property is located in the heart of Central Lonsdale, a vibrant neighbourhood well serviced by frequent transit and containing many shops, restaurants, amenities, and schools. Central Lonsdale is home to a range of educational institutions, Lions Gate Hospital, and Harry Jerome Community Centre. The neighbourhood includes a range of housing - multi-unit apartment and condominium buildings as well as single family homes.

HOME

POLICY CONTEXT



The City's 2014 Official Community Plan (OCP) land use map, identifies the property as Residential Level 6 (high density) permitting a Floor Space Ratio (FSR) of 2.3 with a 13 story height maximum.

The 2018 City's Density Bonus and Community Benefits Policy permits the density to be increased by 1.0 FSR to a total FSR of 3.3 if all the density is developed as rental housing. This Policy also enables the transfer of density from nearby properties that cannot use it. The applicant has applied for a density transfer of 0.15 FSR to a total density of 3.45 to accommodate additional daycare space.

Learn more about the [CNV Official Community Plan here](#).



Project Highlights



NEW RENTAL HOMES

Of the 105 homes, 25% will be adaptable to allow wheelchair use, 18% will be 3 bedrooms and just over 10% will be rented with under market rents for the life of the building.

NEW DAYCARE SPACE

Recognizing that a daycare shortage is an issue that impacts many families in the community, the proposal includes a significant daycare facility able to accommodate 185 children with indoor and outdoor space.

NEW AMENITY SPACE

The proposal includes a 2,500 sf sports court suitable for a range of activities including volleyball, indoor hockey and indoor soccer as well as a climbing wall.

IMPROVED PATHWAYS & GREENSPACE

The project will include a dedication of approximately 2,000 sf of land to expand the new urban park to the north of the property and to provide an east lane pathway to improve and promote outdoor social connections.

RESIDENTIAL AMENITIES

The proposal includes an indoor gym facility and games room. On the podium deck, 5,000 sf of outdoor amenity space is envisioned including a kid's play area, a pet play area, a BBQ and outdoor eating area, gardening spaces and family gathering space.

UNDERGROUND PARKING

126 parking stalls are proposed underground over two levels. 20 stalls will be dedicated to daycare use, 11 stalls for visitor parking and 95 stalls dedicated to the rental suites. All parking stalls will have e-charging capabilities.



COMMENT FORM

Provide your feedback on the proposal via the comment form below. You may also send your comments via email to openhouse@poonigroup.com

If you prefer to provide your comments directly to City Staff, please email David Johnson at djohnson@cnv.org.

The comment period is open from July 15-August 5

Name & Address

Do you support the proposed project?

Do you have any concerns about the proposed project?

What do you like about the proposed project?

What do you suggest we change about the proposal?

Any additional comments?

Would you like the applicant to respond to your comments? If so, please provide your contact information.

Join us on July 22

HOME

Meet the Applicants

KENWOOD APARTMENTS

Kenwood Apartments (the Applicant) has proudly owned and operated the buildings on Eastern Avenue for nearly 30 years. The family run business plans to continue to be a part of the North Vancouver community as rental property owners.



Established in 1983, Raffi Architects Inc. is a Vancouver based architectural firm offering comprehensive services in architecture, urban design, planning, and interior design. Their extensive portfolio includes many projects throughout the Greater Vancouver area, Vancouver Island, Alberta, and the US with particular recognition for our work in high-rise residential and mixed-use projects.

Contact us: openhouse@poonigroup.com

Appendix H - Copy of Presentation Slides

Welcome to the Virtual Open House For **1536-1550 Eastern Avenue, North Vancouver**

The proposal includes:

- One 13-storey building
- 105 new rental homes
- 185-space daycare
- 126 parking spaces
- Park and land dedications
- On-site amenities

If you cannot stay for the entire presentation and Q&A, we encourage you to fill out a feedback form before you leave or email openhouse@poonigroup.com with any comments or questions.

Your feedback will be included in a summary report and will be provided to the City of North Vancouver.



Land Acknowledgment

The city of North Vancouver is located on unceded and traditional lands of the Skwxwú7mesh (Squamish) Nation and Tsleil-Waututh Nation. We would like to express our gratitude to the Squamish and Tsleil-Waututh Nations and we value the opportunity to learn, live and share experiences on this traditional territory.

1536-1550 Eastern Avenue

Meet The Developer

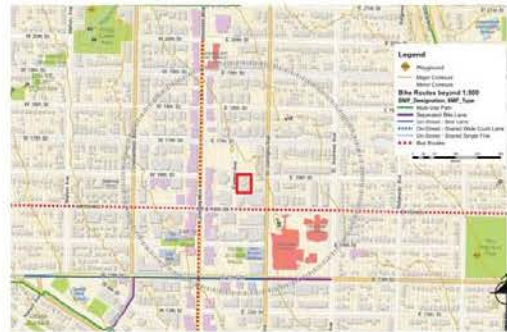
KENWOOD APARTMENTS

Kenwood Apartments have been rental property owners on Eastern Avenue for nearly 30 years and are proud members of the North Vancouver community.



1536-1550 Eastern Avenue

Neighbourhood Context



NEIGHBOURHOOD AMENITIES & LOCATIONS
400 M CONTEXT

1536-1550 Eastern Avenue

Site Context



1550 Eastern Avenue



1536 Eastern Avenue

1536-1550 Eastern Avenue

Encouraging Sustainable Transportation

The site is located in a walkable and bikeable community and is in close proximity to several Frequent Transit Networks.

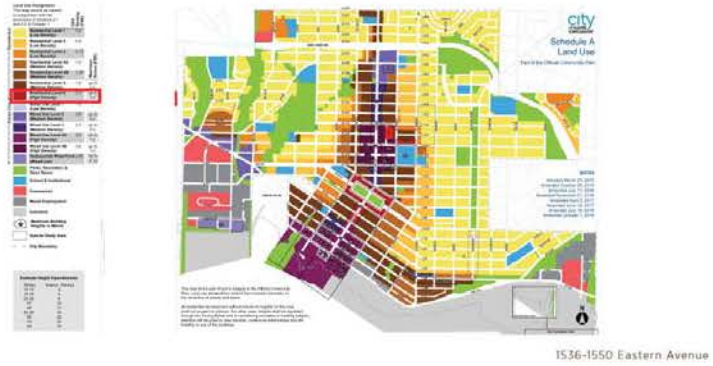


Frequent
Transit
Network
Bicycle
Route



City of North Vancouver's Official Community Plan

The site is designated Residential Level 6 (high density).



Proposal Vision

Our vision is to provide one 13-storey building that bring rental opportunities and additional daycare spaces to the City of North Vancouver.

- The proposal includes:
- 105 new rental homes
 - 185-space daycare
 - 126 parking spaces
 - Park and land dedications
 - On-site amenities



A Variety of New Housing

105 new purpose built rental homes suitable for families, seniors, downsizers, couples, and singles.

Unit Type	Regular Units	Adaptable Units	Total Units
3 Bedroom + Den	2	0	2
3 Bedroom	1	0	1
2 Bedroom + Den	15	0	15
2 Bedroom	0	10	10
1 Bedroom + Den	10	9	19
1 Bedroom	29	9	38
Studio	20	0	20
Total	77	28	105

*Per City of North Vancouver Policy, 11 of the units are proposed to be 10% below the average Canadian Mortgage and Housing Corporation rental rates in the City of North Vancouver in perpetuity.

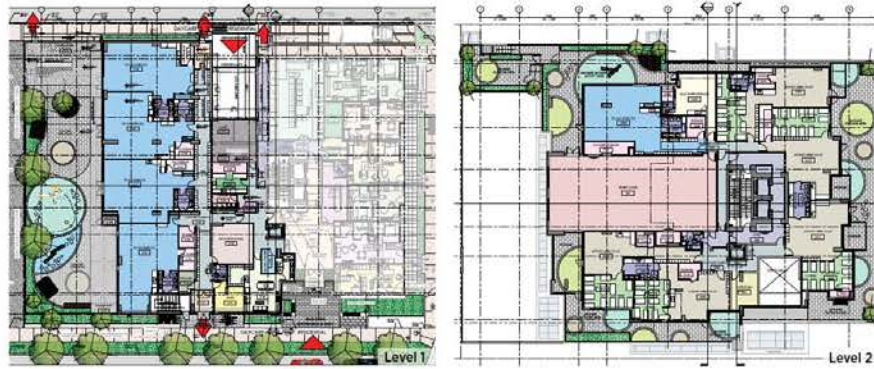


A Significant Contribution to Daycare Spaces in North Vancouver

With over 1,500 sq m (16,700 sq ft) of indoor space and nearly 1,000 sq. m (10,800 sq ft) of outdoor play space, a new 185 space daycare intended for children ranging from infants to 5 year olds is envisioned at the site.

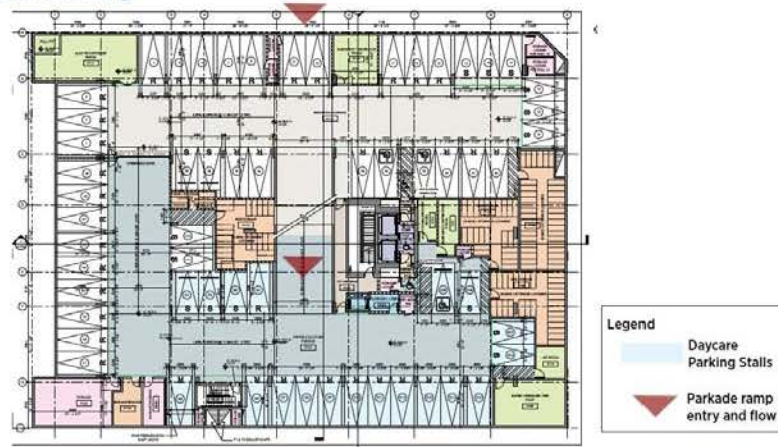


Daycare Floor Plan



1536-1550 Eastern Avenue

Daycare Parking



1536-1550 Eastern Avenue

New Residential Amenities



Rendering - Aerial View from the North West



1536-1550 Eastern Avenue

Sustainability

Environmental Sustainability

- Increased Walkability - Close Proximity to Public Transit
- Utilization of Green Infrastructure

Social Sustainability

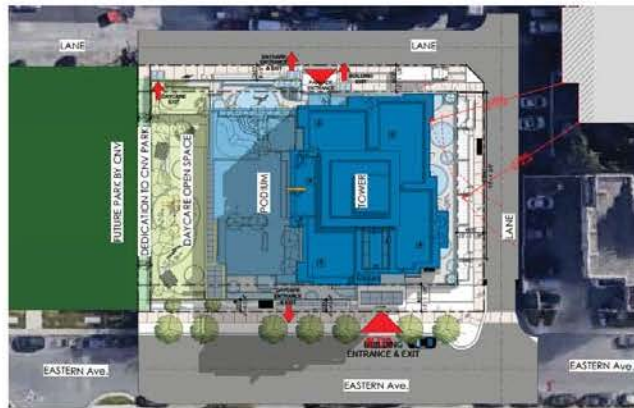
- Increased Crime Prevention through Environmental Design
- Community Garden/Greenspace - Family Oriented

Economic Sustainability

- Smaller Affordable Housing Units
- Work Opportunities
- Mid-Market Rental Suites
- Daycare/Childcare Services



Site Plan



1536-1550 Eastern Avenue

Landscape Plan

MATERIALS LEGEND

-  PROPOSED TREES
-  PLANNED AREA
-  LAWN AREA
-  LAWY PLANTING
-  2"X4 ARCHITECTURAL SLAB
-  2"X6 ARCHITECTURAL SLAB
-  2"X8 ARCHITECTURAL SLAB
-  2"X10 ARCHITECTURAL SLAB
-  TIMBER DECKING
-  POURED IN PLACE BERRY PATIO'S
-  ROUND DRINK ROCK
-  1/2" SAND (3" SAND & 3" SUEDE MAT)
-  2" HOLEY FENCE AND GATE AT LARK AVE
-  4" TOWER FENCE AND GATE
-  4" METAL TOWER GATE AT LARK AVENUE
-  TRAFFIC SIGNALS
-  BICYCLE ENTRY



1536-1550 Eastern Avenue

Landscape and Outdoor Amenity Precedents



Next Steps

We have submitted a Rezoning Application and the proposed project is in the early stages of the process.

We anticipate the following next steps:

- Spring 2020** Rezoning Application Submitted
- July 2021** Advisory Design Panel
- July 2021** Virtual Developer Information Session (We are here)
- Summer-Fall 2021** Staff Rezoning Package Review
- Fall-Winter 2021** Staff Report for Council (TBC)
- Winter 2021** Referral and Public Hearing (TBC)

1536-1550 Eastern Avenue

Floor Plans - Level 1



1536-1550 Eastern Avenue

Floor Plans - Level 2



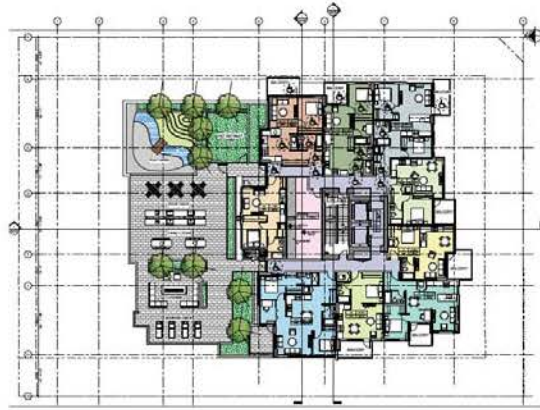
1536-1550 Eastern Avenue

Floor Plans - Level 3



1536-1550 Eastern Avenue

Floor Plans - Level 4 Podium



1536-1550 Eastern Avenue

Floor Plans - Levels 5-12



1536-1550 Eastern Avenue

Floor Plans - Penthouse (Level 13)



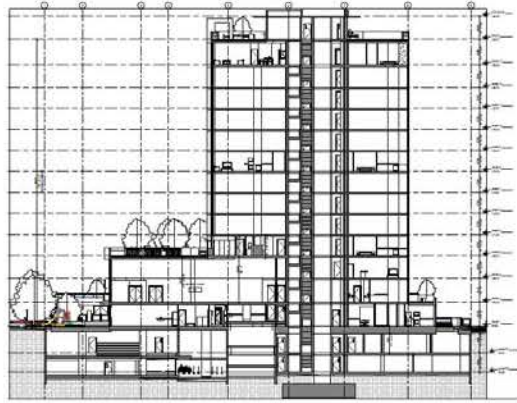
1536-1550 Eastern Avenue

Elevations - West



1536-1550 Eastern Avenue

Section B



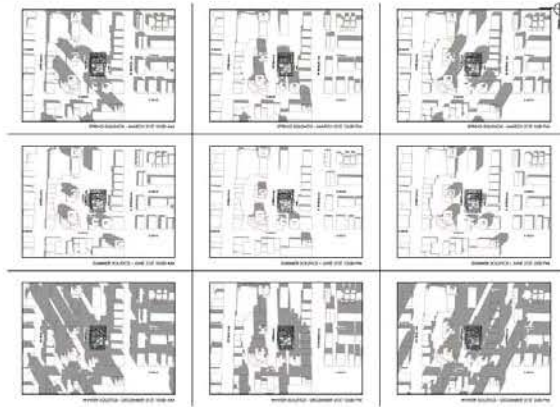
1536-1550 Eastern Avenue

Section C



1536-1550 Eastern Avenue

Shadow Studies



1536-1550 Eastern Avenue

Project Stats

# of Homes Proposed	105 new rental suites
Daycare	185-space child daycare
Height	13-storeys
FSR	3.45
Parking	126 parking stalls: 11 visitor stalls, 19 daycare stalls, 96 residential stalls

1536-1550 Eastern Avenue

COMMENT FORM

Provide your feedback on the proposal via the comment form below. You may also send your comments via email to openhouse@poonigroup.com

If you prefer to provide your comments directly to City Staff, please email David Johnson at djohnson@cnv.org.

The comment period is open from July 15-August 5

Name & Address

Do you support the proposed project?

Do you have any concerns about the proposed project?

What do you like about the proposed project?

What do you suggest we change about the proposal?

Any additional comments?

Would you like the applicant to respond to your comments? If so, please provide your contact information.

[HOME](#)

Submit Review

Appendix K - Copy of Comment Forms Received

Submission Time	Do you support the proposed project?	Do you have any concerns about the proposed project?	What do you like about the proposed project?	What do you suggest we change about the proposal?	Any additional comments?	Would you like the applicant to respond to your comments? If so, please provide your contact information.
2021-07-23T03:24:10Z	Yes rental housing and affordable childcare are critical	Ensure it's not just low income but middle income too	Childcare			
2021-07-23T14:08:00Z	Yes	No	Quality rental properties are in high demand and this will meet the needs of a specific customer that is currently under served. The selected location is a good fit for a taller building and will be ideal with the suggested amenities.		New and modern daycare options are impossible to find so this is a welcome addition.	
2021-07-21T21:57:43Z	Yes	Daycare should be available for residents in the local community first.	Providing more rental units to market will help create a more competitive environment thus improving the low vacancy rates.	Nothing of note.		
2021-07-22T17:37:06Z	Yes I fully support the project	No	Purpose built rental. The rental market in North Vancouver is so tight and so unaffordable. We moved our dad closer to us and he is renting. To get him into a rental was competitive and we had to out bid other applicants. We need more rental supply in the area. Also, as we bring more amenities like restaurants etc. We need to ensure an employee base can afford to live in the neighbourhood. We need more rental options.	Nothing.		

Appendix L - Copy of Emails Received

Email #1: Received on Thursday, August 5, 2021 (11:03 pm)

City council and developers,

I'm writing to voice my opposition to the proposed development.

Over the last three years our neighborhood had to endure and still is ensuring the Anthem development on Eastern and 17th.

Witnessing on how companies disrespected the people living in the area was saddening.

It started with the Asbestos was being removed without having the building wrapped.

Two years ago my wife died, after suffering with Huntington's disease. During the two month leading up to her passing and months after. There was a super loud drill running all day long. I wasn't able to process that very impactful moment of my life properly.

In the following month contractors showed up outside the posted allowed times. Repeated complaints to bylaw seemed to have no impact. Being reassured that fines were issued, only seemed to prove that companies just pay them as part of normal business. Companies kept showing up before 7am, or on Sundays. Which I couldn't help but feeling disrespected. Recently smoke detectors kept beeping for night after night.

It is very exhausting to constantly having to deal with disturbances, having to prove it.

It feels like that there is little to no consideration for the people living in the area, already having to endure unbearable noise during the day. But also having to fight for peace after hours is just not fair.

Now realizing that one development is leading straight to the next one. Knowing what we had to go through with the Anthem development. Is just triggering anxiety in our neighborhood.

Especially when developers and their contractors don't respect their neighbors. Paying fines and just keep doing what they want.

Email #2: Received on Thursday, August 5, 2021 (10:59 pm)

Developers and City of North Vancouver,

I vehemently oppose the building of this development.

My reasons are as follows:

First and foremost, the ongoing issues and health and safety concerns for the neighbourhood regarding the present development of Anthem on 17th and Eastern, which have resulted in 2 of my neighbours attempting suicide in part, because of the constant noise and issues around this construction site. I have said it before and I will say it again; in no other area, being it in a family, work environment or community, would a threat of suicide not be taken seriously, acted upon immediately, and remedies not taken and implemented immediately.

Since this has not occurred, I oppose this project. People's lives are at risk. This has been documented for years now and if anything happens to these people, and there may be others, you will all have to report to the families and friends of these people, myself included. This is not business as usual anymore-this is a health and safety risk for the people living in this neighbourhood.

Myself and fellow neighbours have been complaining about this development for 3 years ongoingly. I first complained about asbestos not being removed properly, then my complaints had to continue with contractor and workers arriving on site before 7am repeatably as well as working after hours and on Sundays. The fact that we had to complain for years, says the City of North Vancouver and the Developers have no responsibility or accountability to pass these projects of this magnitude until they can actively prove they are willing and able to remedy the ongoing issues large developments impose on the community surrounding them.

The fines came late in the game, the fines we not enough to distract the developers, the work stop orders came??? at a minimum.

Business carries on without any compassion or adherence to people living here. I am tired of the YEARS of the incessant noise, the back-up beeping tones which one cannot escape, the noise that comes without warning (i.e.: 7 hours of jackhammering without notice), removal of concrete in alley ways without notice, smoke detectors going off all night long for months without a conclusive solution, air pressure valves releasing at all hours of the days and nights, pot holes and further deterioration of our alley ways, the exterior elevator on construction sites and its loud and ongoing noise all day long, security guards idling their engines all night long because the Bylaw says they can (which I have also stated is inhumane, get these workers a safe warm place to do security on sites so they don't have to sit in a vehicle all night long and only keep warm by idling their engines all night), do I need to continue?

1536-1550 Eastern Ave

A few weeks ago, I was woken up, not by someone arriving before 7am, but by someone swearing and yelling at someone who arrived before 7am and was apparently playing music on site before 7 am. Does the City of North Vancouver really think this is all under control? Also, since I live right next to the site, I also have the privy to hear all the incessant chatter first thing in the morning by the workers who have their trailers set up right outside my apartment. Do I really need to hear the F word first thing in the morning by numerous loud-mouthed workers who arrive without any observation that they are working in a neighbourhood and people like myself can hear everything they are saying?

There are no logical clear guidelines in this industry apparently that would communicate this.

The City of North Vancouver does not have the means to monitor and manage these sites accordingly to their own Bylaw, and by the way of Health Concerns these construction sites/Developments impact their voting, tax paying community members and therefore I oppose this development.

Every member of City of North Vancouver Council needs to be educated and aware of how people access the 10% of low-income housing options available to them, to have these Development's pass through their hands, i.e. by voting for or not and if they are indeed available to these people when they are evicted from their homes, , and since they all don't, I oppose this project.

Developers get to continue working even in a pandemic and a heat wave, while community members have sent in documents and proof, they are suffering which has been for the large part been ignored. We complained during the pandemic; we are willing to comply to the health order restrictions by staying home and had to endure noise from construction sites without any reprieve. We complained during the heat wave we cannot open our windows due to noise impacts from the construction site and had no resolution but to leave our homes.

I have lived here since 2001 and have had many developments surround me and my living quarters including 7 in the past few YEARS within a 1 block radius. Upcoming we have 3 developments in proposal withing a 1 block radius. Therefore, I oppose this project.

We have absolutely no compensation whatsoever for these impacts on our lives. Meanwhile the City of North Vancouver gets a Provincial Covid Grant and \$50,000 within it goes to dogs in the neighbourhood? See attachment below.

We have asked for a survey to be done of community members to seek input from the community about the impacts of the construction noise on our health and welfare from the Mayor herself and were declined. We asked for measurements of construction sound and the Bylaw to reduce sound Bylaws which may be coming (Thank you!) We have asked further noise reductions to be analyzed and implemented such as, sound barriers around construction sites, back up beeping tones reduced to livable sound tones or white noise sound machines to be used etc., I have asked repeatedly for some sort of compensation for those of us living within these construction zones and nothing has come about.

I therefore oppose this project until these recommendations are implemented.

I have also stated we need to think about seniors living within this community and where they will go once the Baby Boomer Generation needs more help, as well as more low-income affordable housing-now-not in the long run, made available. I oppose any project that ignores our seniors and our housing crisis and continues to try and adhere to family only demographics as our Elders are also important. I can think of 3 Daycares within a 1 block of this proposal site and nothing geared towards our Elders. Therefore, I oppose this development.

In closing I would like to thank those on City Council and Bylaw who are listening and helping us, you know who you are, and the one and only Troy, who is also compassionately listening to us and is doing his best at the Anthem site.

I will not go quietly into the night when these developments and constructions sites have impacted me negatively during the loss of my friend Cali, in which I should have been able to grieve her passing in peace and quiet; as well as my Fathers passing recently. As a family care giver to my father and a Home Care worker by trade, I work shift work, just to keep my rent paid and food on the table and to give back to my community. Often, I need to rest in the day in order to do my job and with these developments it has been impossible. If my own community cannot support me then what does this say?

I am also speaking on behalf of community members, which I have documented before; seniors who have no access to internet and neighbours who have limited English and are too afraid to come forward. Please see the attachment below.

Thank you for your time.

Email #3: Received on Wednesday, August 7, 2021 (4:38 pm)

Hello Ms. Potter,

I am interested in commenting on the plans, but cannot attend the DIS on July 22 at either 12:00 or 6:00, so could you please send me electronic versions of the architectural and landscape plans.

I am also interested in any measures the developer will be taking towards energy efficiency and minimizing the use of fossil fuels.

FYI, I have a family and we like to eat together at regular mealtimes, e.g. 12:00 and 6:00.

Response Received on Friday, August 20, 2021 (9:13 pm)

Comments on 1536 and 1550 Eastern Ave.

The proposal is to demolish 2 existing small apartment buildings and construct a 13 storey 105-unit rental building, and a daycare. A rezoning will be required. The FSR is 2.3 plus a bonus of 1.0. The height limit is 37m (12 storeys). There are large existing trees including a Cedar on the NW corner of the site. There is a proposal for a 2000 sq. ft. park strip on the north side of the site.

The following questions pertain mainly to the buildings energy use, with a goal of keeping greenhouse gas (GHG) to a minimum:

The property within the Lonsdale Energy Corp (LEC) service zone, but has a heat pump been considered for cooling? has solar been considered? If not, why not? If not currently installing, then we recommend conduits be installed.

EV charging is being provided; does it service ALL stalls, not just some? If not ALL stalls, then recommend conduits for future charging be setup.

embodied carbon - Will any concrete used be low-carbon? (Alcuin College is proposing to use; see La Farge Cement; Chris Magwood and his knowledge and expertise); climate-friendly choices are available on overall insulation.

Has passive design been considered? The plans seem to show a lot of glass and very little sun-shading or consideration of orientation/ window sizing for solar gain in winter.

Will the trees be retained? Note: trees this size are should be retained because they are huge carbon-sinks and cannot be replaced by any number of new trees on this site.

General comments on the design:

This seems like a worthwhile project providing rental units and a large daycare. The applicants appear to be asking for a FSR of 3.45 whereas the OCP maximum, with the bonus, is 3.3! Also the height limit is 12 storeys while the plans show 13 stories!

Existing trees, in particular the cedars on the NW corner of the site should be retained, by reducing the size of the underground parking in that area. A tree survey and arborist report should be submitted, and detailed landscape plans.

Parking seems excessive, considering that the site is close to public transit. The parking should be reduced to a bare minimum to encourage people not to drive.

There should be a green roof on all flat areas. This will facilitate rainwater retention and habitat for birds and insects, etc. The outdoor amenity area is nice, but should have more greenery and less paving. The community gardens seem minimal.

The park dedication seems like a slim strip. Perhaps it should be consolidated in the corner of the site containing the existing trees.

Conclusions:

The proposal has merit, but needs to take more measures to improve energy efficiency and to lessen GHG emissions. Existing trees should be retained. If all of these requests can be accomplished, I would support an FSR of 3.3, not 3.45. I have no objections to the increase in the number of stories.

I recommend that, if this project goes ahead, the existing buildings be dis-assembled by someone like "The Un-builders" and the materials be recycled as much as possible.

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8892

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 1536-1550 Eastern Avenue and legally described below as henceforth being transferred, added to and forming part of CD-743 (Comprehensive Development 743 Zone):

PID: 007-980-264	Lot 6 Blocks 31 and 37 District Lot 549 Plan 7163
PID: 007-980-272	Lot 7 Blocks 31 and 37 District Lot 549 Plan 7163
PID: 010-719-261	Lot 8 Blocks 31 and 37 District Lot 549 Plan 7163

from zone RM-1.

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following Comprehensive Development Zone to Section 1101 in numerical order:

CD-743 Comprehensive Development 743 Zone (1536-1550 Eastern Avenue)

In the CD-743 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RH-1 Zone, except that:

- (1) The permitted Principal Uses on the Lot shall be limited to:

- (a) Rental Apartment Residential Use:

- i. Accessory Off-Street Parking Use;
- ii. Accessory Home Office Use.

- (b) Child Care Use:

- i. Accessory Off-Street Parking Use.

(2) Gross Floor Area

- (a) The Principal Building shall not exceed a Gross Floor Area of 1.0 times the Lot Area, provided that this amount may be increased to a maximum of 1.60 times the Lot Area through the provision of Adaptable Design subject to Section 423;
- (b) Notwithstanding 2(a), the maximum Gross Floor Area may be further increased upon entering into a Housing Agreement with the City, from the “Base Density” to the “Total Density” as follows:

BASE DENSITY			
OCP Schedule ‘A’		2.30 FSR	
ADDITIONAL (BONUS) DENSITY			
ADDITIONAL DENSITY CATEGORY	DESCRIPTION	ADDITIONAL DENSITY (BONUS)	POLICY REFERENCE
100% Rental Housing	Secured rental apartment building, of which 12 units are mid-market	1.0 FSR	OCP Section 2.2
DENSITY TRANSFER			
Transferred from 1629 St. Georges Avenue (CD-603)	Residual Density that is not to be utilized on donor site.	388.7 square meters (4,184 square feet)	OCP Section 2.3
TOTAL DENSITY		3.45 FSR	

- (3) The minimum required Principal Building setback, measured to each building face, shall be limited to:
 - (a) 2.0 metres (6.56 feet) from the west property line (Eastern Avenue);
 - (b) 9.75 meters (32.0 feet) from the north property line;
 - (c) 4.60 metres (15.10 feet) from the south property line; and
 - (d) 2.48 metres (8.10 feet) from the east property line.
- (4) Notwithstanding 3(b) above, the second floor deck may be extended to 0.0 metres (0.0 feet) setback from the north property line, up to a maximum width of 5.75 metres (18.9 feet).
- (5) Height
 - (a) Principal building shall not exceed a Building Height of 37.0 metres (121.4 feet) as measured from the average Building Grades at the north property line;

- (b) Notwithstanding 5(a), the parapet walls above the top floor may not exceed a height of 39.75 metres (130.41 feet);
 - (c) Notwithstanding 5(a), elevator and mechanical penthouses may project beyond the defined height by a maximum of 6.1 metres (20 feet) including elevator shafts and mechanical rooms;
 - (d) Notwithstanding 5(a), common amenity area structures may project above the defined height by a maximum of 3.5 metres (11.5 feet);
 - (6) Variance to Section 507(5)(h) Child Care Use to increase the maximum number of children in a Child Care Use at any one time to 81;
 - (7) Variance to Section 513(2) Lot Coverage to allow the maximum allowable Lot Coverage to not exceed 59%;
 - (8) Section 510(3) Building Width and Length shall not apply;
 - (9) Variance to Section 513(5), such that all portions of Principal Buildings exceeding four Storeys shall be sited at least 23.7 metres (77.75 feet) from all portions of other Principal Buildings exceeding four Storeys;
 - (10) Off-Street Parking, Short-Term and Secure Bicycle Parking, and Accessory Off-Street Loading Spaces shall be provided in conformity with the requirements of Division IV, Parts 9, 10, and 10A, except that:
 - (a) The required residential visitor parking spaces shall be identified as shared residential visitor and child care centre drop off parking;
- B. Comprehensive Development 603 Zone (CD-603) be amended by removing “Table CD 603 – 1: Density and Transfer Calculations” in its entirety and replacing with the following:

Table CD-603 – 1: Density and Transfer Calculations

SITE	COMMON ADDRESSES	SITE AREA (SQ. FT.)	FLOOR SPACE RATIO	MAXIMUM GROSS FLOOR AREA (SQ. FT.)	TRANSFERRED GROSS FLOOR AREA (SQ. FT.)	ON-SITE GROSS FLOOR AREA (SQ. FT.)
“A”	1629 St. Georges Avenue	9,298	1.6 times transferrable Density Bonus 0.715 2.315	21,528 sq. ft. (2.315 FSR)	6,652 (0.715 FSR) To Site “B”	14,876 (1.6 FSR)
“B”	1854 & 1860 Lonsdale Avenue	7,392	2.3	17,002 sq. ft. (2.3 FSR)	6,652 (0.9 FSR) From Site “A”	23,654 (3.2 FSR)

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8893

A Bylaw to enter into a Housing Agreement (1536-1550 Eastern Avenue)

WHEREAS Section 483 of the *Local Government Act* R.S.B.C. 2015 c.1 permits a local government to enter into a housing agreement for rental housing.

NOW THEREFORE the Council of The Corporation of the City of North Vancouver, in open meeting assembled enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Housing Agreement Bylaw, 2023, No. 8893**” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments).
2. The Council hereby authorizes the agreement substantially in the form attached to this bylaw between The Corporation of the City of North Vancouver and Kenwood Apartments Ltd. with respect to the lands referenced as 1536-1550 Eastern Avenue, “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743).
3. The Mayor and Corporate Officer are authorized to execute the Housing Agreement and any documents required to give effect to the Housing Agreement.

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

PART 2 – TERMS OF INSTRUMENT

RENTAL HOUSING AGREEMENT AND SECTION 219 COVENANT

THIS AGREEMENT dated for reference the _____ day of _____, 20_____.

BETWEEN:

KENWOOD APARTMENTS LTD., INC.NO. 0759503
3939 West 14th Avenue
Vancouver, British Columbia,
V6R 2X2

(the “Owner”)

AND:

THE CORPORATION OF THE CITY OF NORTH VANCOUVER,
a municipal corporation pursuant to the *Local Government Act* and
having its offices at 141 West 14th Street, North Vancouver, British
Columbia, V7M 1H9

(the “City”)

WHEREAS:

- A. The Owner is the registered and beneficial owner of the Lands.
- B. The City is a municipal corporation incorporated pursuant to the *Local Government Act*, RSBC 2015, c. 1 and the *Community Charter*, SBC 2003, c. 26.
- C. Section 219 of the *Land Title Act*, RSBC 1996, c. 250 permits registration of a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on land, that land is or is not to be built on except in accordance with the covenant and that land is not to be subdivided except in accordance with the covenant.
- D. Section 483 of the Act permits a local government to, by bylaw, enter into a housing agreement that may include terms and conditions regarding the occupancy of the housing units identified in the agreement, including respecting the form of tenure of the housing units, the availability of the housing units to classes of persons, the administration and management of the housing units and the rents and lease, sale or share prices that may be charged.
- E. The City has adopted a bylaw authorizing this Agreement.
- F. The Owner and the City wish to enter into this Agreement pursuant to Section 219 of the *Land Title Act* and section 483 of the Act.

NOW THEREFORE in consideration of the sum of Ten Dollars (\$10.00) now paid by the City to the Owner and for other good and valuable consideration (the receipt and sufficiency of which the Owner hereby acknowledges), the Owner and the City covenant each with the other as follows:

1. DEFINITIONS

- (a) “**Act**” means the *Local Government Act*, RSBC 2015, c.1 as amended from time to time;
- (b) “**Affordable Rent**” means with respect to each Mid-Market Rental Unit a rent payment amount equal to 10% below the “Private Apartment Average Rents” for the corresponding bedroom type in the City of North Vancouver as established by CMHC’s Housing Market Information Portal for the year the tenancy is entered into;
- (c) “**Agreement**” means this agreement as amended from time to time;
- (d) “**Child Care**” means the group child care facility located on the first two levels of the Residential Building on the Lands;
- (e) “**Commencement Date**” has the meaning set out in section 2.1 herein;
- (f) “**Council**” means the municipal council for the City of North Vancouver;
- (g) “**CMHC**” means Canada Mortgage and Housing Corporation;
- (h) “**Director, Planning and Development**” means the chief administrator of the Department of Planning of the City and their successors in function and their respective nominees;
- (i) “**Dwelling Unit**” means a dwelling unit as defined in the City of North Vancouver’s “Zoning Bylaw 1995, No. 6700” as amended from time to time;
- (j) “**Lands**” means those lands and premises legally described as:

Parcel Identifier: 010-719-261
Lot 8
Blocks 31 and 37
District Lot 549
Plan 7163;

Parcel Identifier: 007-980-272
Lot 7
Block 31 and 37
District Lot 549
Plan 7163;

Parcel Identifier: 007-980-264
Lot 6
Block 31 and 37
District Lot 549
Plan 7163;

- (k) “**Mid-Market Rental Units**” means the 13 Dwelling Units in the Residential Building to be constructed on the Lands that are rented to tenants for Affordable Rent;

- (l) **“Market Rental Units”** means all Dwelling Units in the Residential Building other than the Mid-Market Rental Units and the Staff Units;
- (m) **“Maximum Household Income”** means an annual gross household income determined by multiplying Affordable Rent by 12 to yield the households’ annual housing costs, and divide by 30% (0.30) to meet the standard definition of affordability;
- (n) **“Rental Purposes”** means an occupancy or intended occupancy which is or would be governed by a tenancy agreement as defined in Section 1 of the *Residential Tenancy Act*, SBC 2002 c. 78 as amended from time to time between the Owner and the tenant;
- (o) **“Rental Units”** means the Market Rental Units and the Mid-Market Rental Units;
- (p) **“Residential Building”** means the 13 storey building to be constructed on the Lands to be used for Rental Purposes with 118 Dwelling Units, of which 104 Dwelling Units will be Market Rental Units, 2 Dwelling Units will be for Staff Units, and 13 Dwelling Units will be Mid-Market Rental Units;
- (q) **“RT Act”** means the *Residential Tenancy Act*, SBC 2002 c. 78;
- (r) **“Rezoning Bylaw”** means the rezoning bylaw applicable to the Lands described as “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892”;
- (s) **“Section 219 Covenant”** means a covenant pursuant to Section 219 of the *Land Title Act*;
- (t) **“Staff Units”** means the two self-contained Dwelling Units in the Residential Building intended to be rented as shared accommodation at Affordable Rent for staff who work at the Child Care;
- (u) **“Tenancy Agreement”** means an agreement, whether written or oral, express or implied, between the Owner and a tenant respecting possession or occupancy of a Rental Unit;
- (v) **“Tenant Relocation Plan”** means the Tenant Relocation Plan dated October 26, 2020 (amended March, 2023) as prepared by the Owner and approved by the City, to meet the requirements of the City’s Residential Tenant Displacement Policy, version 2015 and dated as of November 16, 2015, a copy of which is attached as Schedule A to this Agreement; and
- (w) **“Term”** has the meaning set out in section 2.1 herein.

2. TERM

- 2.1 This Agreement will commence upon adoption by the City’s Council of “Housing Agreement Bylaw, 2023, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) (the **“Commencement Date”**) and will continue until the date this Agreement is terminated in accordance with sections 2.2 or 8.3(c) (the **“Term”**).

2.2 This Agreement will terminate immediately upon the removal or destruction of the Residential Building provided the Residential Building is not repaired or rebuilt following the destruction thereof.

2.3 Subject to section 7.3, upon termination of this Agreement, this Agreement will be at an end and of no further force and effect.

3. SECTION 219 COVENANT

3.1 The Owner covenants and agrees with the City as a covenant in favour of the City pursuant to Section 219 of the *Land Title Act*, RSBC 1996, c. 250 that during the Term of this Agreement, it being the intention and agreement of the Owner that the provisions in this Agreement be annexed to, and run with and be a charge upon the Lands, that notwithstanding the Rezoning Bylaw, the Lands will be used and built on only in strict compliance with the terms and conditions of this Agreement and that:

(a) the Lands shall not be subdivided or stratified except for a subdivision either under the *Strata Property Act* or *Land Title Act* to create a separate legal parcel for the Child Care;

(b) the Rental Units in the Residential Building must be used for Rental Purposes only and all Rental Units must be owned and operated by the Owner, provided that the Mid-Market Rental Units may be operated by a non-profit entity engaged by the Owner and having expertise in non-market housing, with the approval of the Director, Planning and Development, and the Staff Units may be operated by the owner of the Child Care; and

(c) no Rental Unit in the Residential Building must be occupied for any purpose except for Rental Purposes pursuant to a Tenancy Agreement.

3.2 The Owner further covenants and agrees with the City that the Lands and any buildings or structures constructed thereon including the Residential Building must be developed, built, and maintained in accordance with all City bylaws, regulations and guidelines as amended from time to time.

3.3 Pursuant to section 219(6) of the *Land Title Act*, RSBC 1996, c. 250 except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:

(a) any act or omission, negligent or otherwise, by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible;

(b) the Owner's default under this Agreement; and

(c) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.

4. TENANCY RESTRICTIONS

- 4.1 The unit mix for Rental Units in the Residential Building will be no fewer than 15 three-bedroom units, 14 two-bedroom units, 65 one-bedroom units and 24 studio units or as otherwise approved in writing by the Director, Planning and Development in their discretion.
- 4.2 The 13 Mid-Market Rental Units will be provided in the following unit mix: 2 studio units, 8 one-bedroom units, 1 two-bedroom unit, and 2 three-bedroom units. The Owner may only change this mix with the approval in writing by the Director, Planning and Development with such approval to be granted in their discretion. The Owner will be entitled to determine the locations of the 13 Mid-Market Rental Units within the Residential Building.
- 4.3 The Owner will rent the Mid-Market Rental Units at or below Affordable Rent and will enter into a minimum 1 year Tenancy Agreement for each of the Mid-Market Rental Units which will convert to a month to month tenancy at the end of the 1 year term. If such a tenancy is ended prior to the end of the Term, the Owner must rent the Mid-Market Rental Unit at Affordable Rent. For greater certainty, at the end of each tenancy, the Mid-Market Rental Unit will continue to be rented as a Mid-Market Rental Unit at Affordable Rent, which obligation will be ongoing at all times during the Term.
- 4.4 The Staff Units will be rented at or below Affordable Rent and will be used for Rental Purposes and be managed and operated either by the Owner, their designated rental agent, or the operator of the Child Care and will, subject to Section 5.1(e), be used only to provide accommodation to staff of the Child Care. Ending the tenancy of an employee is subject to requirements of the RT Act. The Owner will be entitled to determine the locations of the Staff Units within the Residential Building.

5. OWNER'S OBLIGATIONS

- 5.1 Without limiting section 3.1 of this Agreement:
- (a) Management and administration: the management, administration, and associated costs with the management and administration of the Rental Units, including the Mid-Market Rental Units, will be borne by the Owner or its designated rental agent, unless otherwise approved by the City in writing and all Mid-Market Rental Units must be managed by one rental agent;
- (b) Compliance with Tenant Relocation Plan: The Owner will fulfil all of the commitments set out in the Tenant Relocation Plan and if requested by the City at any time, will provide information to the City to confirm compliance with the Tenant Relocation Plan;
- (c) Advertisement: when the Mid-Market Rental Units first become available, the Owner will advertise such units for a minimum of one month on at least two common rental property search platforms that allow potential tenants to view available properties for rent in North Vancouver without payment of a fee or requirement for registration, and the Owner will feature the tenure restrictions set out in this Agreement prominently in all advertising of Mid-Market Rental Units. When a Mid-Market Rental Unit becomes available for a subsequent, new tenancy, the Owner will advertise the unit in accordance with the foregoing requirements for a period of at least one week;

- (d) Tenant Selection: the Owner will make the Mid-Market Rental Units available, both at the first tenancy and each subsequent tenancy, in the following order of priority:
- (i) If the Residential Building replaces an existing rental building, then tenants from the existing rental building on the Lands being replaced who have household incomes at or below the Maximum Household Income will be provided first right of refusal in the Mid-Market Rental Units, and have first priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
 - (ii) Households who have been displaced from redevelopment elsewhere in the City who have household incomes at or below the Maximum Household Income will have second priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis
 - (iii) The Owner will then make any remaining Mid-Market Rental Units not rented by tenants from the existing building on the Lands available to tenants with an annual household income at or below that the Maximum Household Income who are either current residents of the City of North Vancouver or who work in the City of North Vancouver and have done so for at least six months, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
 - (iv) If there are any remaining Mid-Market Rental Units not rented by tenants who meet the criteria in sections 5.1(d)(i) to (iii) after the expiry of the one-month advertising period, then the Owner will make such units available to tenants who meet the Maximum Household Income requirement; and
 - (v) Tenants in Mid-Market Rental Units must not have an ownership interest in a residential property in the City or in a neighbouring municipality which the tenant could otherwise occupy and the Owner will require confirmation from the prospective tenant that they meet this requirement at the time of tenancy;
 - (vi) In determining whether a tenant meets the Maximum Household Income requirements or the requirement in section 5.1(d)(v), the Owner or its rental agent, so long as it acts honestly and in good faith, is entitled to rely on all information provided by the prospective tenant and the Owner will have no liability if the prospective tenant intentionally or unintentionally provides any incorrect information. The Owner is under no obligation to monitor or update the financial circumstances of the tenant once the lease is signed.

- (e) Tenant Selection for Staff Units: both at the first tenancy and each subsequent tenancy, the Staff Units will first be offered to staff who work at the Child Care. If no staff members who work at the Child Care seek to rent the Staff Units, then the Staff Units may be offered to other prospective tenants at market rates, provided that when such unit becomes available again, it becomes a Staff Unit and is offered for rent as set out in this Section 5.1(e).
- (f) Rent Amount and Permitted Increases: Affordable Rent for Mid-Market Rental Units is to be determined at the time of tenancy. Rent amounts may be subsequently increased below or at the permitted annual rent increase then set under the RT Act;
- (g) Compliance with applicable laws: without restricting the foregoing, the Owner will comply with all applicable provisions of the RT Act and any other provincial or municipal enactments imposing obligations on landlords in relation to residential tenancies;
- (h) Performance: the Owner will perform its obligations under this Agreement diligently and in good faith;
- (i) Information Regarding Unit Availability: If the City establishes a register for availability of Mid-Market Rental Units within the City, the Owner will provide to the City information regarding any Mid-Market Rental Units that become available for rent, in a form acceptable to the Director, Planning and Development;
- (j) Evidence of compliance: provided that the same can be done without breaching the *Personal Information Protection Act* (as amended from time to time) the Owner will, on an annual basis at the time of Business License renewal and upon any other request by the City, supply to the City copies of any documentation in possession of the Owner necessary to establish compliance with the Owner's obligations under this Agreement.

6. DEFAULT AND REMEDIES

- 6.1 The City may, acting reasonably, give to the Owner a written notice (in this section 6.1, the "**Notice**") requiring the Owner to cure a default under this Agreement within 30 days of receipt of the Notice. The Notice must specify the nature of the default. The Owner must act with diligence to correct the default within the time specified.
- 6.2 If the default is not corrected within the time specified, the Owner will pay to the City on demand by the City 200 percent of the difference between current market rent, as determined by a third-party appraiser, and Affordable Rent for each Mid-Market Rental Unit in default for the default year to the end of the Term of the Agreement. The monies collected from default will be deposited to the City's Affordable Housing Reserve Fund.
- 6.3 The Owner will pay to the City on demand by the City all the City's costs of exercising its rights or remedies under this Agreement, on a full indemnity basis.
- 6.4 The Owner acknowledges and agrees that in case of a breach of this Agreement which is not fully remediable by the mere payment of money and promptly so remedied, the harm sustained by the City and to the public interest will be irreparable and not susceptible of adequate monetary compensation.

- 6.5 Each party to this Agreement, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies including specific performance, injunction and declaratory relief, or any of them, to enforce its rights under this Agreement.
- 6.6 The Owner acknowledges and agrees that it is entering into this Agreement to benefit the public interest in providing housing for Rental Purposes, and that the City's rights and remedies under this Agreement are necessary to ensure that this purpose is carried out and that the City's rights and remedies under this Agreement are fair and reasonable and ought not to be construed as a penalty or forfeiture.
- 6.7 No reference to nor exercise of any specific right or remedy under this Agreement or at law or at equity by any party will prejudice, limit or preclude that party from exercising any other right or remedy. No right or remedy will be exclusive or dependent upon any other right or remedy, but any party, from time to time, may exercise any one or more of such rights or remedies independently, successively, or in combination. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy of a default by the Owner under this Agreement.

7. LIABILITY

- 7.1 Except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
- (a) any act or omission by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible; and
 - (b) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.
- 7.2 Except to the extent such advice or direction is given negligently, the Owner hereby releases and forever discharges the City, its elected officials, board members, officers, directors, employees and agents, and its and their heirs, executors, administrators, personal representatives, successors and assigns from and against all claims, demands, damages, actions or causes of action by reason of or arising out of advice or direction respecting the ownership, operation or management of the Lands for the provision of housing for Rental Purposes which has been or hereafter may be given to the Owner by all or any of them.
- 7.3 The covenants of the Owner set out in sections 7.1 and 7.2 of this Agreement will survive the expiration or the earlier termination of this Agreement and will continue to apply to any breach of the Agreement and to any claims arising under this Agreement during the ownership by the Owner of the Lands.

8. GENERAL PROVISIONS

- 8.1 The Owner agrees to reimburse the City for all legal costs reasonably incurred by the City for the preparation, execution and registration of this Agreement and notice of this Agreement which is required to be filed pursuant to the *Local Government Act*. The Owner will bear their

own costs, legal or otherwise, connected with the preparation, execution or registration of this Agreement.

8.2 Nothing in this Agreement:

- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the use or subdivision of land;
- (b) affects or limits any enactment relating to the use of the Lands or any condition contained in any approval including any development permit concerning the development of the Lands; or
- (c) relieves the Owner from complying with any enactment, including the City's bylaws in relation to the use of the Lands.

8.3 The Owner and the City agree that:

- (a) this Agreement is entered into only for the benefit of the City;
- (b) this Agreement is not intended to protect the interests of the Owner, occupier or user of the Lands or any portion of it including the Rental Units and the Limited Common Property; and
- (c) without limiting part 2 of this Agreement, the City may at any time execute a release and discharge of this Agreement in respect of the Lands, without liability to anyone for doing so.

8.4 This Agreement burdens and runs with the Lands and any part into which any of them may be subdivided or consolidated, by strata plan or otherwise. All of the covenants and agreements contained in this Agreement are made by the Owner for itself, its successors and assigns, and all persons who acquire an interest in the Lands after the date of this Agreement. Without limiting the generality of the foregoing, the Owner will not be liable for any breach of any covenant, promise or agreement herein in respect of any portion of the Lands sold, assigned, considered or otherwise disposed of, occurring after the Owner has ceased to be the owner of the Lands.

8.5 The covenants and agreements on the part of the Owner in this Agreement have been made by the Owner as contractual obligations as well as being made pursuant to section 483 of the Act and as such will be binding on the Owner.

8.6 The Owner will, at its expense, do or cause to be done all acts reasonably necessary to ensure this Agreement and notice of this Agreement is registered against the title to the Lands, including any amendments to this Agreement as may be required by the Land Title Office or the City to effect such registration.

8.7 The City and the Owner each intend by execution and delivery of this Agreement to create both a contract and a deed under seal.

8.8 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver

of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.

- 8.9 If a Court of competent jurisdiction finds that any part of this Agreement is invalid, illegal, or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 8.10 Every obligation of a party which is set out in this Agreement will extend throughout the Term and, to the extent that any obligation ought to have been observed or performed prior to or upon the expiry or earlier termination of the Term, such obligation will survive the expiry or earlier termination of the Term until it has been observed or performed.
- 8.11 All notices, demands, or requests of any kind, which a party may be required or permitted to serve on another in connection with this Agreement, must be in writing and may be served on the other parties by registered mail, by facsimile or e-mail transmission, or by personal service, to the following address for each party:

City: The Corporation of the City of North Vancouver
141 West 14th Street
North Vancouver, British Columbia
V7M 1H9
Attention: Director, Planning & Development
Facsimile: 604.985.0576
Email: planning@cnv.org

The Owner: Kenwood Apartments Ltd.
3939 West 14th Street
Vancouver, British Columbia,
V6R 2X2
Attention:
Email: nelsonbrad54@gamil.com
Phone: 604-737-0400

KENWOOD APARTMENTS LTD., INC.NO. 0759503
3939 West 14th Avenue
Vancouver, British Columbia,
V6R 2X2

Service of any such notice, demand, or request will be deemed complete, if made by registered mail, 72 hours after the date and hour of mailing, except where there is a postal service disruption during such period, in which case service will be deemed to be complete only upon actual delivery of the notice, demand or request; if made by facsimile or e-mail transmission, on the first business day after the date when the facsimile or e-mail transmission was transmitted; and if made by personal service, upon personal service being effected. Any party, from time to time, by notice in writing served upon the other parties, may designate a different address or different or additional persons to which all notices, demands, or requests are to be addressed.

- 8.12 Upon request by the City, the Owner will promptly do such acts and execute such documents as may be reasonably necessary, in the opinion of the City, to give effect to this Agreement.

8.13 This Agreement will enure to the benefit of and be binding upon each of the parties and their successors and permitted assigns.

9. INTERPRETATION

9.1 Gender specific terms include both genders and include corporations. Words in the singular include the plural, and words in the plural include the singular.

9.2 The division of this Agreement into sections and the use of headings are for convenience of reference only and are not intended to govern, limit or aid in the construction of any provision. In all cases, the language in this Agreement is to be construed simply according to its fair meaning, and not strictly for or against either party.

9.3 The word "including" when following any general statement or term is not to be construed to limit the general statement or term to the specific items which immediately follow the general statement or term to similar items whether or not words such as "without limitation" or "but not limited to" are used, but rather the general statement or term is to be construed to refer to all other items that could reasonably fall within the broadest possible scope of the general statement or term.

9.4 The words "must" and "will" are to be construed as imperative.

9.5 Any reference in this Agreement to any statute or bylaw includes any subsequent amendment, re-enactment, or replacement of that statute or bylaw.

9.6 This is the entire agreement between the City and the Owner concerning its subject, and there are no warranties, representations, conditions or collateral agreements relating to the subject matter of this Agreement, except as included in this Agreement. This Agreement may be amended only by a document executed by the parties to this Agreement and by bylaw, such amendment to be effective only upon adoption by City Council of an amending bylaw to "Housing Agreement Bylaw, 2023, No. 8893".

9.7 This Agreement is to be governed by and construed and enforced in accordance with the laws of British Columbia.

9.8 This Agreement can be signed in counterpart.

IN WITNESS OF THIS AGREEMENT the City and the Owner have executed this Agreement by signing the "Form C – General Instrument – Part 1" or "Form D – Executions Continued" attached hereto.

**SCHEDULE A
TENANT RELOCATION PLAN**

1536 - 1550 Eastern Ave

Kenwood Apartments has submitted a rezoning application for their properties at 1536 and 1550 Eastern Avenue.

The proposal includes a 13-storey building with 105 rental homes, including 11 homes that will be 10% below the Canadian Mortgage and Housing Corporation's average rents, a 185-space daycare, as well as indoor and outdoor amenities. If you are interested in learning more about the proposal, please visit www.1550easternave.com.



Looking towards the northeast, across Eastern Avenue

Tenant Relocation Information

This provides an **overview of the Tenant Compensation Package** that is required per the City of North Vancouver's Residential Tenant Relocation Policy as part of any redevelopment application on projects that include existing tenants.

In order to ease the transition for existing tenants, Kenwood Apartments has assigned the current property manager, **Jason Trimark, who will be providing relocation assistance to tenants of 1536 and 1550 Eastern Avenue.**

Tenants living in either building today will have access to the following:

1. **Financial compensation** totaling three month's rent.
2. **Moving expenses** covered, up to \$1,000 for bachelor suites and one-bedroom homes and up to \$1,250 for two-bedroom homes.
3. **Assistance** in finding new accommodations:
 - Unless otherwise agreed upon, **three options comparable in unit type**, with at least one in the City of North Vancouver.
 - Options with rents no more than **10% above the Canadian Mortgage and Housing Corporation's average rents** for the area.
 - Where possible, **options tailored to tenants needs** (e.g., pet friendly, accessibility, smoke free, etc.).
4. The **Right of First Refusal** for any existing tenants wishing to move back into the new building:
 - Existing tenants will be provided with the **first opportunity to move back into the new building once complete with the opportunity to move into one of the 11 mid-market rental homes** included in the new building provided you qualify. This option will be provided in an order based on tenancy and seniority, with additional consideration for those in extenuating circumstances.

Kenwood Apartments will keep you up to date on the application process. Over the coming months you will likely have additional questions. As those arise, please feel free to reach Jason via email or phone.

Jason Trimark
Trimark Property Management
trimarkpm@gmail.ca
604.323.4467

Q&A About the Compensation Process

What if I want to move out right away? Do I still get compensation?

The compensation package will be available once the rezoning application has been approved by City Council. At this time, no council date has been set, however, Kenwood Apartments will keep you informed.

Do I need to work with Jason? Will this impact my compensation?

No. You are entitled to compensation regardless of whether you use Jason's assistance or not.

Do I need to notify Jason if I don't need assistance with finding new accommodation?

Yes. You don't need to use Jason to assist with your move, but you do need to tell him that you don't need assistance.

How will Jason help me find alternate accommodation?

Jason will meet with you to assess your needs and timeline. He will look for housing options that meet your requirements and provide them to you.

How do I register for one of the mid-market rental homes?

Upon moving out, we will ask you to complete a right of first refusal form that will include your contact information. Once the new building is complete, we will contact you and assess whether you qualify for a mid-market rental home. It is your responsibility to keep your contact information up to date.

How many options are available to me if I want to move back in once the building is complete?

Preference will be given to returning tenants for both market (94 suites) and below-market suites (11 suites). Those who apply to return to market suites will be subject to market rents in effect at the time of the contract.

How is my rental and moving expense compensation paid? What about my damage deposit?

2 cheques will be issued:

1. Rental compensation and moving expense compensation
2. Damage deposit return.

When will I get my cheques? Who do I get them from?

You will receive your cheques from Jason at the time you complete your move out inspection.

How do I ensure I receive my rental and moving expense compensation?

You must complete the following tasks to qualify for compensation:

1. Pay all rent in full
2. Provide a written notice to vacate (including your new address)
3. Empty your suite of all furniture and personal belongings
4. Return keys and fobs
5. Sign Tenant Relocation Compensation Form
6. Complete the Right of First Refusal Form, if applicable

**1536 – 1550 Eastern Avenue
City of North Vancouver**

Tenant Relocation Plan Addendum

March 2023

Prepared for: The City of North Vancouver
Submitted on Behalf of: Kenwood Apartments

PURPOSE

The following document is intended to serve as an addendum to the original Tenant Relocation Plan (TRP) for 1536-1550 Eastern Avenue submitted to the City of North Vancouver (CNV) in October 2020. This addendum outlines additional financial support that will be provided to eligible tenants.

BACKGROUND

In November 2020, Kenwood Apartments submitted a rezoning application for their properties located at 1536-1550 Eastern Avenue. The application to rezone these properties were required to comply with the 2015 CNV Residential Tenant Displacement Policy. Given years have passed since this policy was adapted, the Kenwood owners have decided to increase the relocation compensation for the qualifying tenants, as outlined below.

REVISED RELOCATION PACKAGE

The revised relocation package now includes:

- Financial Compensation equal to four months' rent for tenants residing in the building for less than five years and equal to four months' rent plus \$25 per month of tenancy for tenants residing in the building for more than five years.
- Payment of moving expenses up to \$1,000 for studio and 1-bedroom units and \$1,250 for two-bedroom units (there are no three-bedroom units in 1536-1550 Eastern Avenue)
- Assistance with identifying alternate accommodations.
- Right of First Refusal to a replacement rental unit on site
- Additional support or assistance for vulnerable tenants
- A minimum of four months' notice to vacate after a Demolition Permit has been issued by the CNV

OCCUPANCY REPORT

The following provides an overview of each building's occupancy including total number of units, unit size, and status.

1536 Eastern Avenue

Total number of units: 11

Unit	Tenancy Type	Tenancy Start	Rent	Unit Area (SF)	Bedrooms	Occupied?	Tenant Characteristics
1	Periodic	Dec 1, 2017	\$1,140	625	1	Yes	3 (family) - Age: 40-50 + 17
2	Periodic	Dec 1, 2018	\$900	850	1	Yes	2 (couple) - Age: 20-30
3	Periodic	Aug 1, 2019	\$1,520	525	2	Yes	2 (couple) - Age: 20-30
4	Periodic	Nov 1, 2020	\$1,125	625	1	Yes	Single - Age: 20-30
5	Periodic	Apr 1, 2020	\$1,500	625	2	Yes	1 - Age: 30-40
6	Periodic	Nov 1, 2021	\$1,450	625	2	Yes	1 - Age: 30-40
7	Periodic	Feb 15 th , 2022	\$1800	625	1	Yes	2 (couple) - Age: 20-30

8	Periodic	Apr 1, 2021	\$935	850	1	Yes	2 (couple) – Age: 20-30
9	Periodic	Jan 1, 2021	\$1,005	625	1	Yes	1 – Age: 20-30
10	Periodic	Oct 1, 2014	\$1,015	850	1	Yes	1 – Age: 20-30
11	Periodic	Jul 1, 2019	\$1,200	525	2	Yes	2 (couple) Age: 40-50

1550 Eastern Avenue

Total number of units: 24

Unit	Tenancy Type	Tenancy Start	Rent	Unit Area (SF)	Bedrooms	Occupied?	Tenant Characteristics
101	Periodic	Jun 1, 2011	\$1,046	625	1	Yes	2 – Age: 30-40
102	Periodic	Dec 1, 2020	\$1,475	850	2	Yes	3 – Age: 30-40
103	Periodic	Aug 11, 2021	\$900	525	0	Yes	2 (couple) – Age: 20-30
104	Periodic	Jan 6, 2021	\$1,300	625	1	Yes	1 – Age: 30-40
105	Periodic	Jul 1, 2012	\$1,103	625	1	Yes	3 (family) Age: 30-40 + 2
106	Periodic	May 15, 2015	\$1,050	625	1	Yes	2 (couple) – Age: 30-40
107	Periodic	May 1, 2021	\$1,250	625	1	Yes	1 – Age: 30-40
108	Periodic	Sep 1, 2014	\$1,236	850	2	Yes	3 (family) – Age: 30-40 + 18
201	Periodic	May 15, 2019	\$1,075	625	1	Yes	2 – Age: 20-30
202	Periodic	Aug 1, 2017	\$1,308	850	2	Yes	4 (family) – Age: 30-40 + 8 & 9
203	Periodic	Feb 15, 2022	\$1,500	525	0	Yes	1 – Age: 30-40
204	Periodic	Feb, 2020	\$1,170	625	1	Yes	1 – Age: 30-40
205	Periodic	Apr 1, 2009	\$800	1,050	2	Yes	1 – Age: 50-60
206	Periodic	Aug, 2017	\$1,120	625	1	Yes	2 – Age: 50-60 + 18
207	Periodic	Dec 1, 2020	\$1,200	6250	1	Yes	1 – Age: 20-30
208	Periodic	Mar 1, 2021	\$1,357	850	2	Yes	1 – Age: 50-60
300	Periodic	Jun 1, 2012	\$1,275	850	2	Yes	2 – Age: 30-40

301	Periodic	Aug 1, 2022	\$1,050	625	1	Yes	1 – Age: 35-45
303	Periodic	Jun 1, 2012	\$1,040	525	0	Yes	1 – Age: 40-50
304	Periodic	Jun 1, 2012	\$1,001	625	1	Yes	2 – Age: 50-60 + 30-40
305	Periodic	Nov 1, 2020	\$1,456	1,050	2	Yes	1 – Age: 30-40
306	Periodic	Jun 1, 2015	\$1,046	625	1	Yes	1 – Age: 40-50
307	Periodic	Jun 1, 2017	\$1,160	625	1	Yes	3 – Age: 40-50 + 16
308	Periodic	Sep 1, 1992	\$1,106	850	2	Yes	1 – Age: 55-65, with a pet (cat)

TENANT COMMUNICATION

Tenants have been engaged and informed throughout the application process and will continue to be informed. A letter will be sent in the coming days notifying tenants of the revised compensation package. A copy of this letter is enclosed herein.

Encl: March 2023 Tenant Update Letter

March 2023 Tenant Update Letter

March 15, 2023

Dear Resident,

As you know Kenwood Apartments (Kenwood) submitted a rezoning application to redevelop the property at 1536-1550 Eastern Avenue in 2020.

Today's letter is intended to provide you with the following:

1. An update on the rezoning process
2. Information about changes we are making to the Tenant Relocation Package, and
3. An updated timeline for construction.

Since our last letter, Kenwood has worked with the City to progress the application. The proposal is still for a 13-storey residential building with 118 residential rental homes. Of these homes, 12 will be 10% below the Canadian Mortgage and Housing Corporation's average rents. The proposal also includes an 81-space daycare facility, as well as indoor and outdoor amenities for residents.

It is anticipated that the revised application will be at City Council in the coming months. At this meeting, Council can choose to move the application forward to a public hearing. During the public hearing, the application is presented to City Council, input is received from members of the community, and Council makes a decision on the application.

If Council approves the project at a public hearing, a Building Permit application will then need to be submitted and reviewed by the City. Following a public hearing, we anticipate that the additional required permitting will take approximately 6-9 months before any construction could begin. However, we will keep you informed as the application moves forward.

As discussed in our one-on-one meetings in the summer of 2021 if the application is approved, tenants who have been living in the building since the time before an application was submitted are eligible for a tenant relocation package. We'd like to inform you that Kenwood has decided to increase the relocation compensation to tenants.

The revised relocation package now includes::

1. Financial Compensation four months' rent for tenants residing in the building for less than five years and four months' rent plus \$25 per month of tenancy for tenants residing in the building for more than five years
2. Payment for moving expenses of up to \$1,000 for studio and 1-bedroom units and \$1,250 for two-bedroom units
3. Assistance with identifying alternate accommodations
4. Right of First Refusal to a replacement rental unit on site
5. Additional support or assistance for vulnerable tenants
6. A minimum of four months' notice* to vacate after a Demolition Permit has been issued by the City

If you have questions about the compensation or your eligibility, please feel free to contact me via phone (604.323.4467) or email (trimarkpm@gmail.com).

Yours truly,

Jason Trimark
Trimark Property Management
trimarkom@gmail.com
604.323.4467

Cc: David Johnson, Development Planning Manager, City of North Vancouver

*per the BC Residential Tenancy Act

You can read the City of North Vancouver's Residential Tenant Displacement Policy online at: <http://www.cnv.org/-/media/city-of-north-vancouver/documents/housing/residential-tenant-displacement-policy-adopted---november-16-2015.ashx?la=en>

You may also wish to seek more information regarding your rights under the Residential Tenancy Act, available on the Residential Tenancy Branch website at <http://www.rto.gov.bc.ca>