

VIEW FROM E2nd STREET & ST. GEORGE'S AVE.



Rositch Hemphill Architects

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

T 304.668.6002  
F 904.669.1091

www.rhachitects.ca

| ISSUED                      | DATE            |
|-----------------------------|-----------------|
| 1. REZONING / SPA           | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REZ. DPA RESUBMISSION    | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT 2018    |
| 5. EXCAVATION FRICING       | 15 NOV 2018     |
| 6. COORDINATION             | 10 JAN 2020     |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. SP SUBMISSION            | 15 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT 2020    |
| 11. IFC BELOW GRADE         | 09 OCT 2020     |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV 2020     |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC 2022     |
| 14. DEVELOPMENT VARIANCE    | 17 JUN 2024     |

ISSUED FOR  
**DEVELOPMENT  
VARIANCE PERMIT**  
JUNE 17, 2024

DRAWING LIST

| NAME              | TITLE                            | SCALE       |
|-------------------|----------------------------------|-------------|
| NO.3              | COVER SHEET                      | N/A         |
| NO.1              | PERSPECTIVE VIEW                 | N/A         |
| NO.2              | SHADOW STUDIES                   | N/A         |
| <b>PLANS</b>      |                                  |             |
| NO.5              | SITE PLAN OVERALL                | 1:1875 @ 1" |
| NO.8              | ROOF PLAN                        | 1:1875 @ 1" |
| NO.9A             | ROOF PLAN WEST                   | 1:875 @ 1"  |
| <b>ELEVATIONS</b> |                                  |             |
| NO.5              | SOUTH & NORTH OVERALL ELEVATIONS | 1:1875 @ 1" |
| NO.9A             | SOUTH ELEVATIONS                 | 1:325 @ 1"  |
| NO.10B            | NORTH ELEVATIONS                 | 1:325 @ 1"  |
| NO.1              | EXTERIOR BOULEVARD ELEVATIONS    | 1:325 @ 1"  |
| NO.2              | COURTYARD ELEVATIONS             | 1:325 @ 1"  |

PROJECT STATISTICS

| Lot Area             | 57821.05      | 4443.00        |               |                |
|----------------------|---------------|----------------|---------------|----------------|
| 5F                   | 5F            | m <sup>2</sup> | 5F            | m <sup>2</sup> |
| GFA                  | Allowed       | 12043          | Proposed      | 12415          |
| FSR                  | Allowed       | 2.6            | Proposed      | 2.6            |
| Lot Coverage         | Allowed       |                | Proposed      | 57.67%         |
| <b>BUILDING AREA</b> |               |                |               |                |
|                      | Building West | Building East  | Building W+E  |                |
| 1st Floor            |               |                | 2433          |                |
| 2nd Floor            |               |                | 2689          |                |
| 3rd Floor            | 11734         | 12694          | 24428         |                |
| 4th Floor            | 11734         | 12694          | 24428         |                |
| 5th Floor            | 11734         | 12554          | 24288         |                |
| 6th Floor            | 10283         | 10840          | 21123         |                |
| <b>TOTAL</b>         |               |                | <b>139202</b> |                |
| <b>Total Units</b>   | <b>78</b>     | <b>81</b>      | <b>159</b>    |                |
| <b>Level 2 Units</b> | <b>75</b>     | <b>77</b>      | <b>152</b>    |                |

| ALLOWABLE EXCLUSIONS                  |             |            |            |             |             |              |
|---------------------------------------|-------------|------------|------------|-------------|-------------|--------------|
| Amenity                               | Meeting Em. | Garbage    | Stair W    | Star E      | Total       |              |
| Bylaw Ref                             | 15          | 15         | 13         | 18          | (1)(b)(c)   |              |
| 1st Floor                             | 306         | 156        |            | 214         | 214         | 492          |
| 2nd Floor                             | 9437        | 322        | 778        | 325         | 325         | 4999         |
| 3rd Floor                             |             |            |            | 325         | 325         | 650          |
| 4th Floor                             |             |            |            | 325         | 325         | 650          |
| 5th Floor                             |             |            |            | 325         | 325         | 650          |
| 6th Floor                             |             |            |            | 325         | 325         | 650          |
| <b>TOTAL</b>                          | <b>3743</b> | <b>478</b> | <b>778</b> | <b>1514</b> | <b>1514</b> | <b>8007</b>  |
| Credit for level 2 units (20 x faint) |             |            |            |             |             |              |
| Bylaw Ref: 15                         |             |            |            |             |             | <b>3040</b>  |
| <b>TOTAL EXCLUSIONS</b>               |             |            |            |             |             | <b>11007</b> |
| <b>TOTAL GFA (after exclusions)</b>   |             |            |            |             |             | <b>12415</b> |

| PARKING AND BIKES                                           |            |
|-------------------------------------------------------------|------------|
| <b>Required</b>                                             |            |
| Parking required (1.75/unit)                                | 119        |
| Visitor parking greater of 10% of total cars or 0.2car/unit | 32         |
| Bikes required (1.5/unit)                                   | 238        |
| Short term bikes required (6.60/units)                      | 16         |
| Parking reduction (1/6 bikes)                               | 35.8       |
| Visitor parking reduction (50%)                             | 16         |
| Parking required after reduction                            | 75.4       |
| Visitor parking required after reduction                    | 15.9       |
| <b>Total parking required</b>                               | <b>96</b>  |
| <b>Provided</b>                                             |            |
| Bikes provided                                              | 240        |
| Short term bikes provided                                   | 18         |
| Parking provided                                            | 121        |
| Visitor parking provided                                    | 16         |
| <b>Total parking provided</b>                               | <b>137</b> |

PROJECT DIRECTORY

|                              |                                                                                               |                                           |                                              |                                                                   |
|------------------------------|-----------------------------------------------------------------------------------------------|-------------------------------------------|----------------------------------------------|-------------------------------------------------------------------|
| <b>OWNER</b>                 | GWL<br>1600-680 West Georgia Street<br>Vancouver, BC V6B 4N7                                  | Geoff Heu<br>Michael Reed<br>Geoff Watson | 604-306-1032<br>604-802-0845<br>604-292-1565 | geoff.heu@gwra.com<br>michael.reed@gwra.com<br>gwatson@cpm.ca     |
| <b>PROJECT MANAGER</b>       | Turnbull Construction<br># 1670 Central City Tower<br>13450 - 105th Ave<br>Surrey, BC V3V 5X3 | Michael Harrison                          | 604-669-0002                                 | mhar@turnbullcpm.ca                                               |
| <b>ARCHITECT</b>             | Rositch Hemphill Architects<br>10-120 Powell Street<br>Vancouver, BC V6A 1G1                  | Bryce Rositch<br>Ancy Huest               | 604-669-1000                                 | bruce@rharchitects.ca<br>ancy@rharchitects.ca                     |
| <b>LANDSCAPE ARCHITECT</b>   | Prospect & Refuge<br>102-1661 West Second Avenue<br>Vancouver, BC V6J 1H3                     | Alysa Sencyszyn                           | 604-275-3484                                 | alysa@prospectrefuge.ca                                           |
| <b>ARBORIST</b>              | Arborch Consulting<br>204 - 3740 Chatham Street<br>Richmond, BC V7E 4L9                       | Nick McMahon                              | 604-683-8521                                 | nick@ecigroup.ca                                                  |
| <b>SURVEYOR</b>              | McElhinney Associates Land Surveying<br>760 Beatty St<br>Vancouver, BC V6B 2M1                | Ivor Gosselin                             | 604-619-7707                                 | ygosselin@mcaelhinney.com                                         |
| <b>CIVIL</b>                 | InterCAD<br>1111 West 8th<br>Vancouver, BC V6H 1C5                                            | Graham Wood<br>William Leung              | 604-685-8535                                 | mail@intercad.bc.ca<br>zickmantel@bmsse.com                       |
| <b>STRUCTURAL</b>            | Nemetz (S/A) & Associates Ltd.<br>2009 - W 4th Avenue<br>Vancouver, BC V6J 1N3                | Steve Nemetz                              | 604-591-2766                                 | steven@nemetz.com<br>bjan@nemetz.com                              |
| <b>MECHANICAL</b>            | Bycar Engineering Ltd.<br>106A-7808 132nd St<br>Surrey, BC V3V 4M1                            | Sarj Ranu                                 | 604-439-0922                                 | sb@bycar.ca<br>baram@geosolc.ca                                   |
| <b>GEOTECHNICAL</b>          | Geosolc Consultants<br>1779 West 75th Avenue<br>Vancouver, BC V6P 6P2                         | Faramiz Bateni                            | 604-684-2384                                 | fbateni@geosolc.ca                                                |
| <b>CODE CONSULTANT</b>       | CFT Engineering<br>1901 Rosser Avenue<br>Burnaby, BC V3C 6H4                                  | Samir Eidnani                             | 604-685-6427                                 | seidnani@cftengineering.com                                       |
| <b>TRAFFIC</b>               | Burnt and Associates<br>#1550 - 1020 W. Perdier Street<br>Vancouver, BC V6E 3S7               | Kylie Brandstetter                        | 778-985-2864                                 | kbrandstetter@burnteng.com                                        |
| <b>CONSTRUCTION</b>          | Ventana<br>3875 Henning Drive<br>Burnaby, BC V3C 6U5                                          | Chris Nichols                             | 604-946-8918                                 | chrisnichols@ventanacoreconstruction.com<br>pc.thorn@equicoast.ca |
| <b>BUILDING ENVELOPE</b>     | Aqua-Coast Engineering Ltd<br>5155 Ladner Trunk Rd #201<br>Delta, BC V4K 1W4                  | Ben Mansour<br>Pat Culbert                | 604-275-5474                                 | benmansour@aquacoast.ca<br>pculbert@aquacoast.ca                  |
| <b>INTERIOR DESIGN</b>       | Parton Design Group Ltd<br>#500 - 1505 W 2nd Ave<br>Vancouver, BC V6J 1H2                     | Javer Bolbolan<br>Christine Bauhaus       | 604-888-2558                                 | bolbolan@partondesign.com<br>cbauhaus@partondesign.com            |
| <b>ACOUSTICAL CONSULTANT</b> | BKL Consulting Ltd.<br>1200 Lynn Valley Rd<br>North Vancouver, BC V7. 2A2                     | Nick Dobbs                                | 604-681-9234                                 | ndobbs@bkl.ca<br>marks@bkl.ca                                     |
| <b>ELEVATOR CONSULTANT</b>   | KJA Consultants Inc<br># 212 659 Granville St<br>Vancouver, BC V6C 1T2                        | Adrian Schneider                          | 855-463-2266                                 | schneider@kja.com<br>enrique.uliod@qtec.ca                        |
| <b>STREET LIGHTS DESIGN</b>  | Great Northern Eng. Consultants<br>#202 - 8922 Beater Pl<br>Burnaby, BC V6J 1H2               | Enrique Uliod                             |                                              |                                                                   |

PROJECT HEIGHT INFORMATION

|                                                                       |                  |
|-----------------------------------------------------------------------|------------------|
| MAXIMUM BUILDING HEIGHT AS PER OCP:                                   | 18.9m            |
| BUILDING HEIGHT AS PER APPROVED CD ZONING:                            | 16.78m (55.03')  |
| MECHANICAL EQUIPMENT HEIGHT ABOVE APPROVED BUILDING HEIGHT:           | 2.90m (9.50')    |
| PROPOSED MECHANICAL SCREEN PROJECTION ABOVE APPROVED BUILDING HEIGHT: | 3.90m (12.88')   |
| PORTION OF PROPOSED MECHANICAL SCREEN ABOVE OCP MAX. BUILDING HEIGHT: | 1.7m (5.58')     |
| AVERAGE GRADE (GEODETIC FOR HEIGHT DETERMINATION)                     | 31.67m (103.32') |

NO. REVISION: DATE:

This drawing is an instrument of service. It is the property of Rositch Hemphill Architects and may not be reproduced without their permission. All information shown on the drawing is for use in this specific project only and shall not be used otherwise without written permission from the office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:

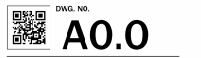


PROJECT:  
**222 E 2nd STREET**  
NORTH VANCOUVER, BC

DRAWING TITLE:  
**COVER**

DATABASE: 1625-A0.0.dwg  
SCALE: N/A  
PROJ DATE: JUNE 2024  
DRAWN: AH  
CHECKED: KH

PROJECT NO: **1629**



D.P. A. No.:



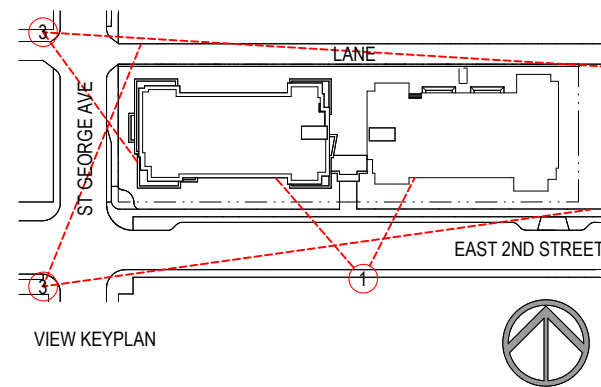
1 VIEW OF MAIN ENTRY (2ND STREET)



2 VIEW FROM ST GEORGE AVE & 2ND STREET



3 VIEW FROM ST GEORGE AVE ALONG REAR LANE



RH ARCHITECTS INC.

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

t 604.669.6002  
f 604.669.1091

www.rharchitects.ca

| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING/ DPA            | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REZ/ DPA RESUBMISSION    | 21 MARCH 2019   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. IFC BELOW GRADE         | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2020    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR  
DEVELOPMENT  
VARIANCE PERMIT  
JUNE 17, 2024

| No.       | Description | Date |
|-----------|-------------|------|
| REVISION: |             |      |
| DATE:     |             |      |

This drawing is an instrument of service is the property of RH Architects Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:



PROJECT:  
222 E 2nd Street

222 E 2nd Street  
NORTH VANCOUVER, B.C.

DRAWING TITLE:  
**PERSPECTIVE VIEWS**

BASE FILE: 1629 Building.rvt

SCALE:

PLOT DATE: JUNE 2021

DRAWN: LP

CHECKED: AH / BR

PROJECT NO. **1629**

DWG. NO.

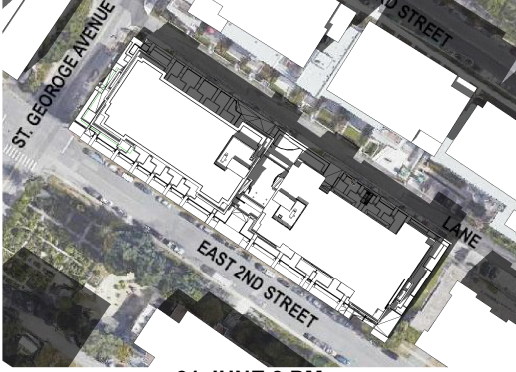
**A0.1**

D.P. No:

B.P. No:



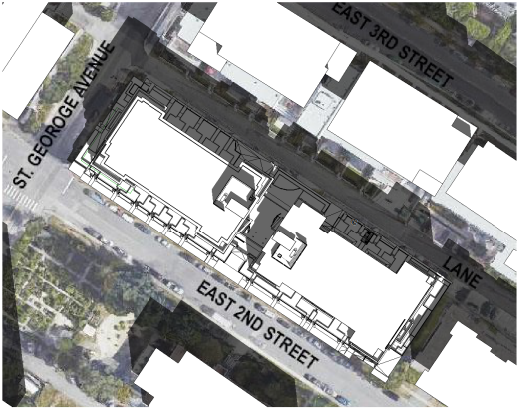
21 MARCH / SEPTEMBER 2 PM



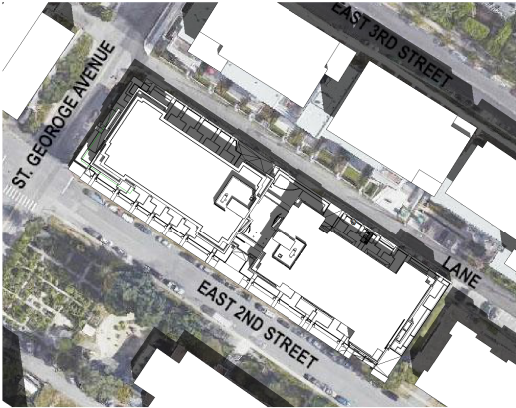
21 JUNE 2 PM



21 DECEMBER 2 PM



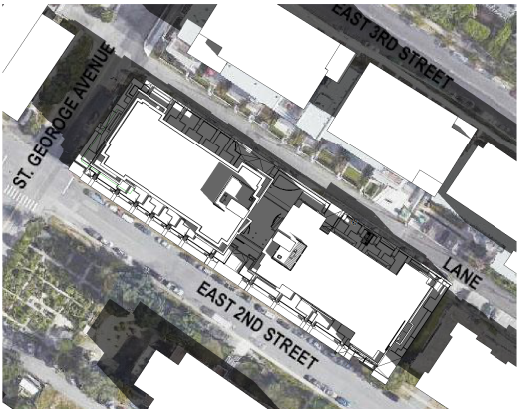
21 MARCH / SEPTEMBER 12 PM



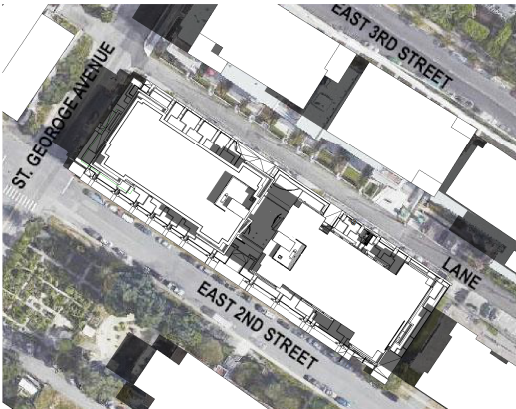
21 JUNE 12 PM



21 DECEMBER 10 AM



21 MARCH / SEPTEMBER 10 AM



21 JUNE 10 AM



21 DECEMBER 12 PM



RH ARCHITECTS INC.

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

t 604.669.6002  
f 604.669.1091

www.rharchitects.ca

| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING/ DPA            | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REV/ DPA RESUBMISSION    | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EDUCATION PRICING        | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. PIC BELOW GRADE         | 29 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR  
DEVELOPMENT  
VARIANCE PERMIT  
JUNE 17, 2024

| No.       | Description | Date  |
|-----------|-------------|-------|
| REVISION: |             | DATE: |

This drawing as an instrument of service is the property of the Architect and may not be reproduced without the firm's permission. All information shown on the drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and the office shall be relieved of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:  
**GWL REALTY ADVISORS**

PROJECT:  
222 E 2nd Street  
222 E 2nd Street  
NORTH VANCOUVER, B.C.  
DRAWING TITLE:  
**SHADOW DIAGRAM**

BASE FILE: 1629 Building.rvt  
SCALE:  
PLOT DATE: JUNE 2021  
DRAWN: LP  
CHECKED: AH / BR  
PROJECT NO. **1629**

DWG. NO.  
**A0.2**

D.P. No:  
B.P. No:

| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING / DPA           | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REC / DPA RESUBMISSION   | 21 MARCH 2019   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. REC BELOW GRADE         | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

**ISSUED FOR  
 DEVELOPMENT  
 VARIANCE PERMIT**  
 JUNE 17, 2024

| No.       | Description | Date |
|-----------|-------------|------|
| REVISION: |             |      |
| DATE:     |             |      |

This drawing is an instrument of service in the property of RH ARCHITECTS INC. and may not be reproduced without the firm's permission. All information shown on the drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be relieved of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:



PROJECT:  
 222 E 2nd Street

222 E 2nd Street

NORTH VANCOUVER, B.C.

DRAWING TITLE:  
**SITEPLAN**

BASE FILE: 1629 Building.rvt

SCALE:

PLOT DATE: JUNE 2021

DRAWN: LP

CHECKED: AH / BR

PROJECT NO. **1629**

DWG. NO.

**A1.0**

D.P. No:

B.P. No:



| LEGEND                             |                                 |                                     |
|------------------------------------|---------------------------------|-------------------------------------|
| CONCRETE WALL                      | R.G. BALDING GRADE              | R.2. DRIVE BALANCE DRAIN            |
| CONCRETE BLOCK WALL                | R.S. EXISTING GRADE             | R.G. ROOF DRAIN                     |
| INTERIOR WALL                      | R.D. EXISTING DRIVE             | R.E. ROOF DRAIN                     |
| AREA DRAIN                         | R.F.S. FINISHED FLOOR ELEVATION | R.V. ROOF VOID                      |
| ATYPOUS CONCRETE OUTLINE           | R.F.G. FINISHED GRADE           | R.W. RAIN WATER LEADER              |
| B.O.C. BOTTOM OF CURB              | R.F.M. REINFORCING              | R.S.C. STAIRS CONNECTION            |
| B.O.P. BOTTOM OF FINISHET          | R.L.P. LANDSCAPE LEVEL GRADE    | R.S.P. ROOF SLOPE MARK              |
| B.O.B. BOTTOM OF WALL (TOP F.I.S.) | B.L.T. LANDSCAPE LEVEL DRAIN    | R.F.E. FREE EXTERIOR FLOOR          |
| C.O.P. CATCHER                     | L.W. LANDSCAPE                  | R.F.L.S. ROOF FLOOR SLAB            |
| C.T. CEILING TOP                   | L.S. LAND SLIGHT                | R.F.S.C. ROOF FLOOR SLAB CONNECTION |
| DN. DOWN RISER                     | M.W. MECH WALL VENT TERMINATION | T.O.S. TOP OF SLAB                  |
|                                    | M.S. MECH SPLIT VENT DRAIN      | T.O.F. TOP OF FINISH                |
|                                    | M.S. MECH STAIRS                | T.O.P. TOP OF ROOF                  |
|                                    |                                 | T.O.R. TOP OF RAMP                  |
|                                    |                                 | T.O.H. TOP OF HALL                  |
|                                    |                                 | T.O.C. TOP OF CURB                  |
|                                    |                                 | T.O.D. TOP OF DRIVE                 |
|                                    |                                 | T.O.E. TOP OF ELEVATOR              |
|                                    |                                 | T.O.M. TOP OF MASONRY               |
|                                    |                                 | T.O.F. TOP OF FINISH FLOOR          |
|                                    |                                 | T.O.S. TOP OF SLAB                  |
|                                    |                                 | T.O.P. TOP OF ROOF                  |
|                                    |                                 | T.O.R. TOP OF RAMP                  |
|                                    |                                 | T.O.H. TOP OF HALL                  |
|                                    |                                 | T.O.C. TOP OF CURB                  |
|                                    |                                 | T.O.D. TOP OF DRIVE                 |
|                                    |                                 | T.O.E. TOP OF ELEVATOR              |
|                                    |                                 | T.O.M. TOP OF MASONRY               |
|                                    |                                 | T.O.F. TOP OF FINISH FLOOR          |

**GENERAL NOTES:**

- EXISTING OWNER INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY WELLMANBY ASSOCIATES LAND SURVEYING LTD. DATED 1 JUNE 2017.
- EXISTING GRADE ELEVATIONS FROM THE SURVEYORS DRAWING.
- REFER TO CIVIL DRAWINGS FOR ALL UTILITIES AND SERVICE CONNECTIONS.
- REFER TO LANDSCAPE DRAWINGS FOR GRASSING, PLANTING, RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- REFER TO THE IFT PLAN FOR LEVEL 1 ADAPTATION FLOOR SLAB.
- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
- UNDERGROUND PAVING IS TO BE APPROPRIATELY IDENTIFIED.
- ALL VERTICAL CURVE AND ELEVATION CONTROL POINTS AT TURNING TO BE FULL GRADE METAL DOORS ON BRIMMERLEY PROTECTION AS REQUIRED.

LOT CONTAINS A COMMUNITY GARDEN (207 E. 2ND ST.)

OUTLINE OF NORTH SHORE NEIGHBOURHOOD HOUSE  
 (225 E. 2ND ST.)

APPROXIMATE OUTLINE OF APARTMENT  
 (245 E. 2ND ST.)



| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING/ DPA            | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REC/ DPA RESUBMISSION    | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. FC BELOW GRADE          | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR  
DEVELOPMENT  
VARIANCE PERMIT  
JUNE 17, 2024

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

REVISION: DATE:

This drawing is an instrument of service is the property of RH ARCHITECTS INC. and may not be reproduced without the firm's permission. All information shown on this drawing is for informational purposes only.

Be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:  
**GWL REALTY ADVISORS**

PROJECT:  
222 E 2nd Street  
222 E 2nd Street  
VANCOUVER, B.C.  
DRAWING TITLE:  
**ROOF PLAN**

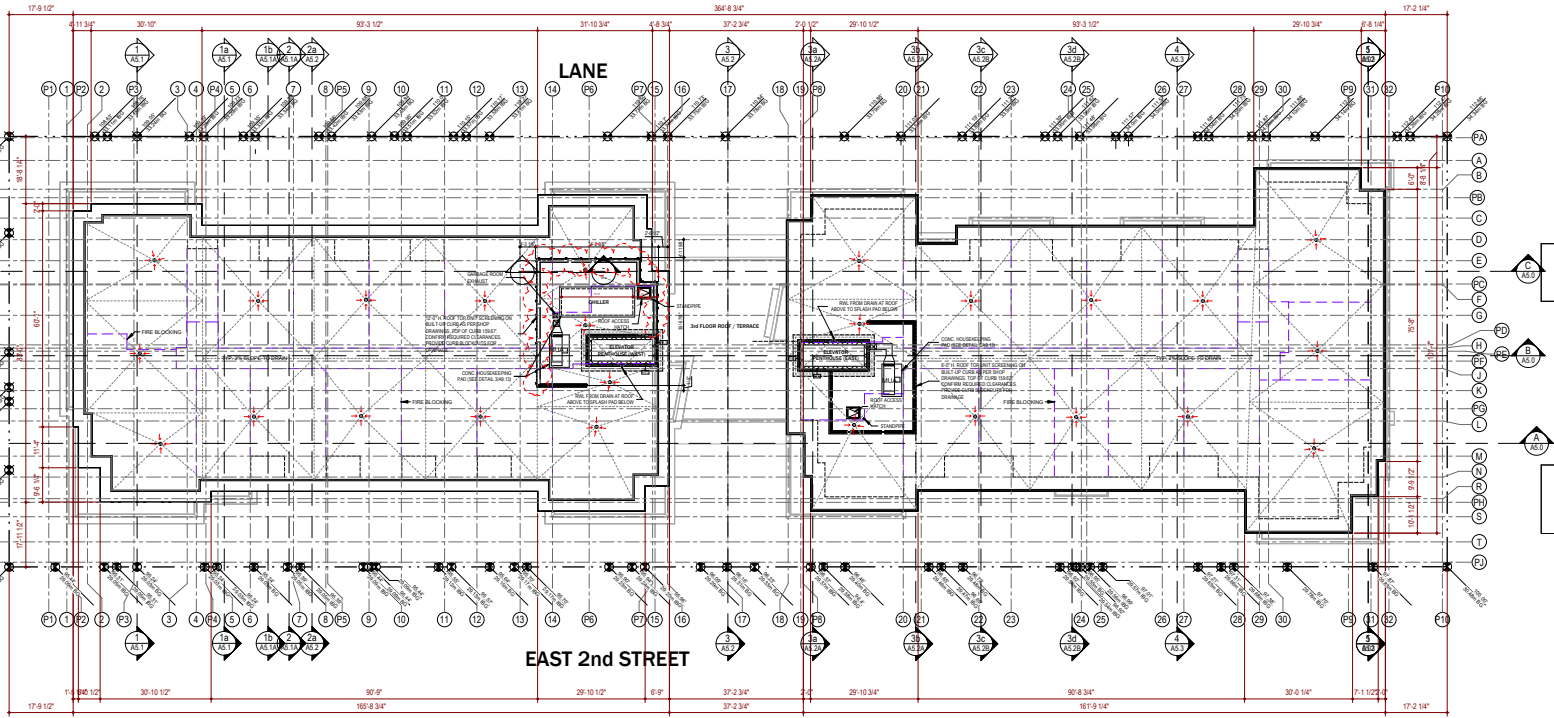
BASE FILE: 1629 Building.rvt  
SCALE:  
PLOT DATE: JUNE 2021  
DRAWN: LP  
CHECKED: AH / BR

PROJECT NO. **1629**

DWG. NO.  
**A3.6**

D.P. No:  
B.P. No:

ST. GEORGE'S AVENUE



EAST 2nd STREET

| LEGEND |                                    |
|--------|------------------------------------|
| 1      | TYPICAL DRIPPING EDGE              |
| 2      | CONCRETE WALL                      |
| 3      | CONCRETE BLOCK WALL                |
| 4      | INTERIOR WALL                      |
| 5      | ARC/DOOR                           |
| 6      | ATTC/COMPARTMENT OUTLINE           |
| 7      | B.O.P. BOTTOM OF CURB              |
| 8      | B.O.P. BOTTOM OF FRAME             |
| 9      | B.O.P. BOTTOM OF WALL (TOP F.L.G.) |
| 10     | C.T. CATCH BASIN                   |
| 11     | DN. DOWN WALKER                    |
| 12     | E.G. BUILDING GRADE                |
| 13     | E.G. EXISTING GRADE                |
| 14     | F.F. FLOOR FINISH                  |
| 15     | F.F. FINISHED FLOOR CEILING        |
| 16     | F.F. FINISHED GRADE                |
| 17     | RESUBMISSION                       |
| 18     | U.B. UNFINISHED BUILDING GRADE     |
| 19     | UN. UNFINISHED                     |
| 20     | LN. LANDSCAPE                      |
| 21     | L.G. LANDSCAPE                     |
| 22     | MECH. WALL VENT TERMINATION        |
| 23     | MECH. EXHAUST GRILL                |
| 24     | MECH. STAIRWELL                    |
| 25     | P.D. PAVEMENT LEVEL GRADE          |
| 26     | R.S. ROOF DRAIN                    |
| 27     | R.S. ROOF SHEET                    |
| 28     | R.S. ROOF SLOPE                    |
| 29     | R.S. ROOF VENT                     |
| 30     | R.S. ROOF WALKER                   |
| 31     | R.S. ROOF WALKER                   |
| 32     | R.S. ROOF WALKER                   |
| 33     | R.S. ROOF WALKER                   |
| 34     | R.S. ROOF WALKER                   |
| 35     | R.S. ROOF WALKER                   |
| 36     | R.S. ROOF WALKER                   |
| 37     | R.S. ROOF WALKER                   |
| 38     | R.S. ROOF WALKER                   |
| 39     | R.S. ROOF WALKER                   |
| 40     | R.S. ROOF WALKER                   |
| 41     | R.S. ROOF WALKER                   |
| 42     | R.S. ROOF WALKER                   |
| 43     | R.S. ROOF WALKER                   |
| 44     | R.S. ROOF WALKER                   |
| 45     | R.S. ROOF WALKER                   |
| 46     | R.S. ROOF WALKER                   |
| 47     | R.S. ROOF WALKER                   |
| 48     | R.S. ROOF WALKER                   |
| 49     | R.S. ROOF WALKER                   |
| 50     | R.S. ROOF WALKER                   |
| 51     | R.S. ROOF WALKER                   |
| 52     | R.S. ROOF WALKER                   |
| 53     | R.S. ROOF WALKER                   |
| 54     | R.S. ROOF WALKER                   |
| 55     | R.S. ROOF WALKER                   |
| 56     | R.S. ROOF WALKER                   |
| 57     | R.S. ROOF WALKER                   |
| 58     | R.S. ROOF WALKER                   |
| 59     | R.S. ROOF WALKER                   |
| 60     | R.S. ROOF WALKER                   |
| 61     | R.S. ROOF WALKER                   |
| 62     | R.S. ROOF WALKER                   |
| 63     | R.S. ROOF WALKER                   |
| 64     | R.S. ROOF WALKER                   |
| 65     | R.S. ROOF WALKER                   |
| 66     | R.S. ROOF WALKER                   |
| 67     | R.S. ROOF WALKER                   |
| 68     | R.S. ROOF WALKER                   |
| 69     | R.S. ROOF WALKER                   |
| 70     | R.S. ROOF WALKER                   |
| 71     | R.S. ROOF WALKER                   |
| 72     | R.S. ROOF WALKER                   |
| 73     | R.S. ROOF WALKER                   |
| 74     | R.S. ROOF WALKER                   |
| 75     | R.S. ROOF WALKER                   |
| 76     | R.S. ROOF WALKER                   |
| 77     | R.S. ROOF WALKER                   |
| 78     | R.S. ROOF WALKER                   |
| 79     | R.S. ROOF WALKER                   |
| 80     | R.S. ROOF WALKER                   |
| 81     | R.S. ROOF WALKER                   |
| 82     | R.S. ROOF WALKER                   |
| 83     | R.S. ROOF WALKER                   |
| 84     | R.S. ROOF WALKER                   |
| 85     | R.S. ROOF WALKER                   |
| 86     | R.S. ROOF WALKER                   |
| 87     | R.S. ROOF WALKER                   |
| 88     | R.S. ROOF WALKER                   |
| 89     | R.S. ROOF WALKER                   |
| 90     | R.S. ROOF WALKER                   |
| 91     | R.S. ROOF WALKER                   |
| 92     | R.S. ROOF WALKER                   |
| 93     | R.S. ROOF WALKER                   |
| 94     | R.S. ROOF WALKER                   |
| 95     | R.S. ROOF WALKER                   |
| 96     | R.S. ROOF WALKER                   |
| 97     | R.S. ROOF WALKER                   |
| 98     | R.S. ROOF WALKER                   |
| 99     | R.S. ROOF WALKER                   |
| 100    | R.S. ROOF WALKER                   |

GENERAL NOTES:

- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY MILLER/WHITFIELD LAND SURVEY LTD. (DATE: 1 JUNE 2017).
- BUILDING GRADE ELEVATIONS PER DIAL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR CURB, WALKING AND SERVICE CONNECTIONS.
- REFER TO LANDSCAPE DRAWINGS FOR GRASSING, PLANTING, RETAINING WALLS, PAVING AND GRADE/LOVE DETAILS.
- REFER TO THE IFT AND FOR LEVEL, LANDSCAPE UTILITY FEATURES.
- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBORHOOD.
- UNDEVELOPED AREAS SHALL BE GRASSED AND PROTECTED.
- ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, CIVIL DRAWING PROTECTION AS REQUIRED.



| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING/ DPA            | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REC/ DPA RESUBMISSION    | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. FC BELOW GRADE          | 29 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR  
DEVELOPMENT  
VARIANCE PERMIT  
JUNE 17, 2024

| No.       | Description | Date |
|-----------|-------------|------|
| REVISION: | DATE:       |      |

This drawing is an instrument of service is the property of RH ARCHITECTS INC. and may not be reproduced without the firm's permission. All information shown on this drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be relieved of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



PROJECT:  
222 E 2nd Street

222 E 2nd Street  
V6A 1G1 VANCOUVER, B.C.

DRAWING TITLE:  
**ROOF PLAN - WEST SIDE**

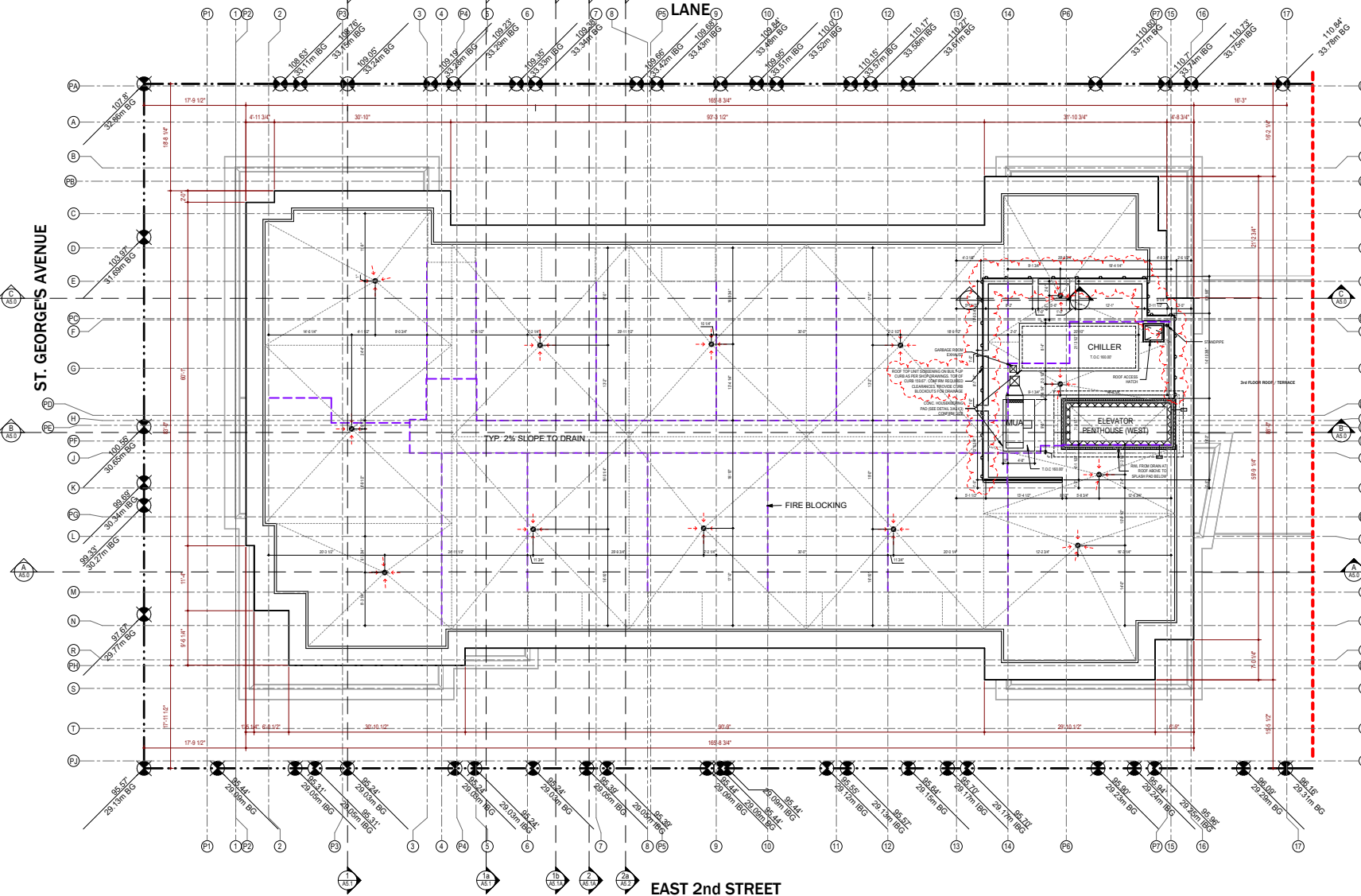
BASE FILE: 1629 Building.rvt

SCALE:  
PLOT DATE: JUNE 2021  
DRAWN: LP  
CHECKED: AH / BR

PROJECT NO. **1629**

DWG. NO.  
**A3.6A**

D.P. No:  
B.P. No:



**LEGEND**

|          |                                     |          |                                   |          |                    |
|----------|-------------------------------------|----------|-----------------------------------|----------|--------------------|
| (Symbol) | ATC COMPARTMENT OUTLINE             | (Symbol) | MECH STROPPES                     | (Symbol) | SKOR MARK          |
| (Symbol) | B.O.C. BOTTOM OF CURB               | (Symbol) | MECH SLOTTES                      | (Symbol) | WOOD MARK          |
| (Symbol) | B.O.P. BOTTOM OF PARAPET            | (Symbol) | F.F. FINISHED FLOOR GRADE         | (Symbol) | ROOF DRAIN         |
| (Symbol) | B.O.W. BOTTOM OF WALL (TOP OF F.L.) | (Symbol) | F.F.D. FINISHED FLOOR DEGREE      | (Symbol) | ROOF FRESH AIR     |
| (Symbol) | C.F. CONCRETE FLOOR                 | (Symbol) | F.S. FLOOR SLAB                   | (Symbol) | ROOF RISE/STEP     |
| (Symbol) | C.L. CENTERLINE                     | (Symbol) | F.F.E. FINISHED FLOOR ELEVATION   | (Symbol) | ROOF VENT          |
| (Symbol) | C.T. CONCRETE TOP                   | (Symbol) | IR. INTERIOR RISE                 | (Symbol) | ROOF WATER LEADER  |
| (Symbol) | D.O. DOWNSPOUT                      | (Symbol) | IR.S. INTERPOLATED BUILDING GRADE | (Symbol) | ROOF WALKWAY       |
| (Symbol) | E.S. EXISTING GRADE                 | (Symbol) | L.S. LINES LIST                   | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | F.F. FINISHED FLOOR GRADE           | (Symbol) | L.C. LATH AND GYPSUM              | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | F.F.D. FINISHED FLOOR DEGREE        | (Symbol) | M.C. MECH WALL LANT TERNATION     | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | IR. INTERIOR RISE                   | (Symbol) | M.C.T. MECH WALL TERNATION        | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | IR.S. INTERPOLATED BUILDING GRADE   | (Symbol) | M.S. MECH SLOTTES                 | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | L.S. LINES LIST                     | (Symbol) | P.F. FINISHED FLOOR GRADE         | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | L.C. LATH AND GYPSUM                | (Symbol) | P.F.D. FINISHED FLOOR DEGREE      | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | L.C. LATH AND GYPSUM                | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | M.C. MECH WALL LANT TERNATION       | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | M.C.T. MECH WALL TERNATION          | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | M.S. MECH SLOTTES                   | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | P.F. FINISHED FLOOR GRADE           | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | P.F.D. FINISHED FLOOR DEGREE        | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | T.C. TOP OF CURB                    | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |
| (Symbol) | T.C. TOP OF CURB                    | (Symbol) | T.C. TOP OF CURB                  | (Symbol) | ROOF ASSEMBLY MARK |

**GENERAL NOTES:**

- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYS DRAWING PREPARED BY REGISTERED PROFESSIONALS AND APPLYING TO THE SITE LANE BOUNDARY.
- BUILDING GRADE ELEVATIONS FOR CIVIL, STRUCTURE AND SERVICE CONNECTIONS.
- REFER TO CIVIL DRAWINGS FOR CURB, SIDEWALK, PAVEMENT, EXISTING WALLS, PAVING AND TOP OF CURB ELEVATIONS.
- LANDSCAPE DETAILS.
- REFER TO MECHANICAL DRAWINGS TO DETERMINE THE LOCATION OF MECHANICAL EQUIPMENT TO BE ACCURATELY VENTILATED.
- MECHANICAL EQUIPMENT TO BE ACCURATELY VENTILATED.
- REFER TO MECHANICAL DRAWINGS TO DETERMINE THE LOCATION OF MECHANICAL EQUIPMENT TO BE ACCURATELY VENTILATED.
- REFER TO MECHANICAL DRAWINGS TO DETERMINE THE LOCATION OF MECHANICAL EQUIPMENT TO BE ACCURATELY VENTILATED.
- WOOD PAVING INCLUDES TO SLOPE 2% TO DRAIN TO ALLOW FOR SETTLEMENT OF STRUCTURE.



| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING / DPA           | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REC / DPA RESUBMISSION   | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. FIC BELOW GRADE         | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR  
DEVELOPMENT  
VARIANCE PERMIT  
JUNE 17, 2024

| No.       | Description | Date  |
|-----------|-------------|-------|
| REVISION: |             | DATE: |

This drawing is an instrument of service in the property of RH Architects Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



PROJECT:  
222 E 2nd Street

222 E 2nd Street  
NORTH VANCOUVER, B.C.

DRAWING TITLE:  
**SOUTH & NORTH  
OVERALL  
ELEVATIONS**

BASE FILE: 1629 Building.rvt  
SCALE:  
PLOT DATE: JUNE 2021  
DRAWN: LP  
CHECKED: AH / BR

PROJECT NO. **1629**

DWG. NO.  
**A4.0**

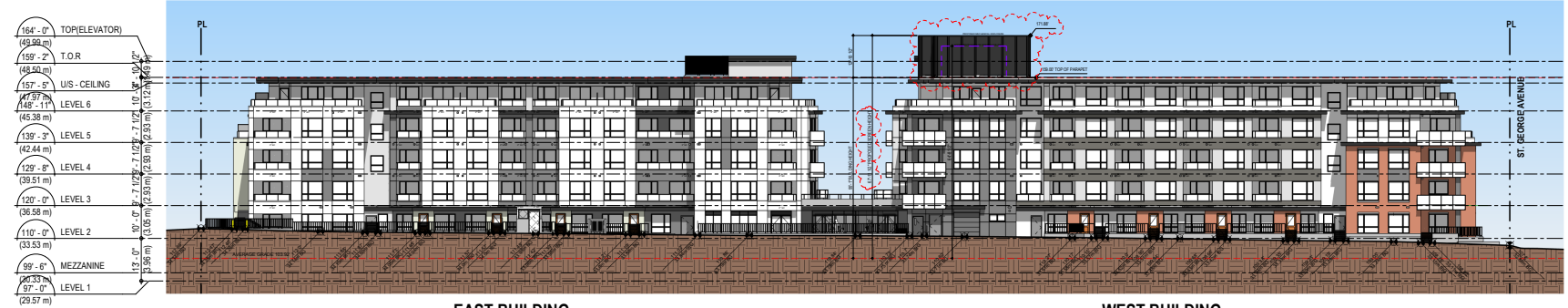
D.P. No:  
B.P. No:



WEST BUILDING

EAST BUILDING

SOUTH ELEVATION FACING EAST 2ND STREET

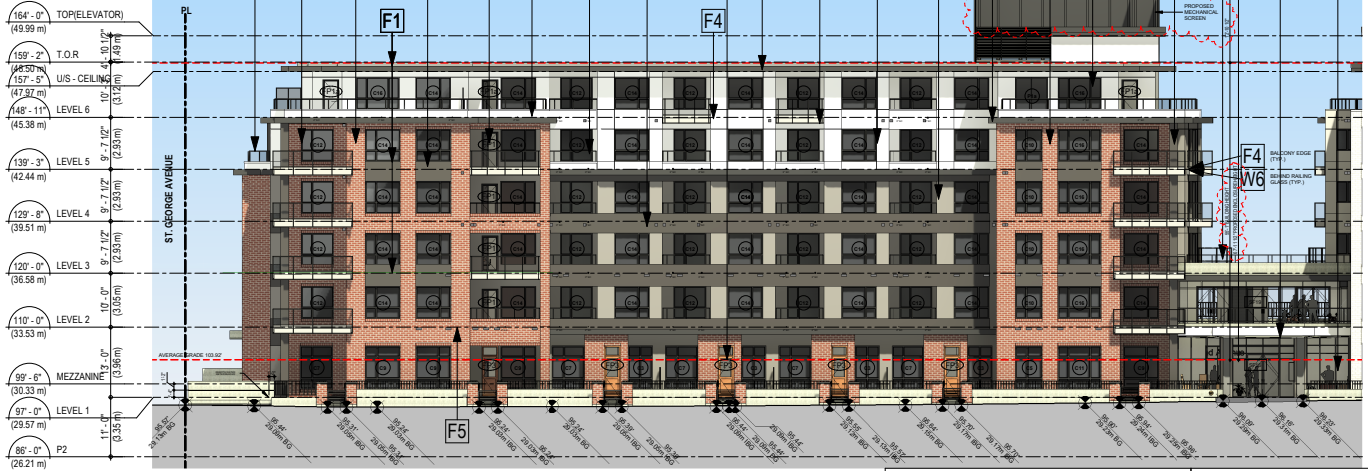


EAST BUILDING

WEST BUILDING

NORTH ELEVATION FACING LANE





1 SOUTH ELEVATION - WEST BUILDING

**ELEVATION SYMBOLS**

|  |                                                                   |
|--|-------------------------------------------------------------------|
|  | METAL VENT CAP FOR IN SLAB DUCT (COLOUR MATCH TO CLADDING U.N.O.) |
|  | WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                            |
|  | DOUBLE WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                     |
|  | 3" SQUARE COPPER SCUPPER                                          |
|  | 2" CIRCULAR METAL SCUPPER                                         |



**FLASHING LEGEND**

|           |                               |
|-----------|-------------------------------|
| <b>F1</b> | DARK BROWN (CASCADIA METALS)  |
| <b>F2</b> | CASHMERE (CASCADIA METALS)    |
| <b>F3</b> | STONE GREY (CASCADIA METALS)  |
| <b>F4</b> | POLAR WHITE (CASCADIA METALS) |
| <b>F5</b> | BLACK (CASCADIA METALS)       |

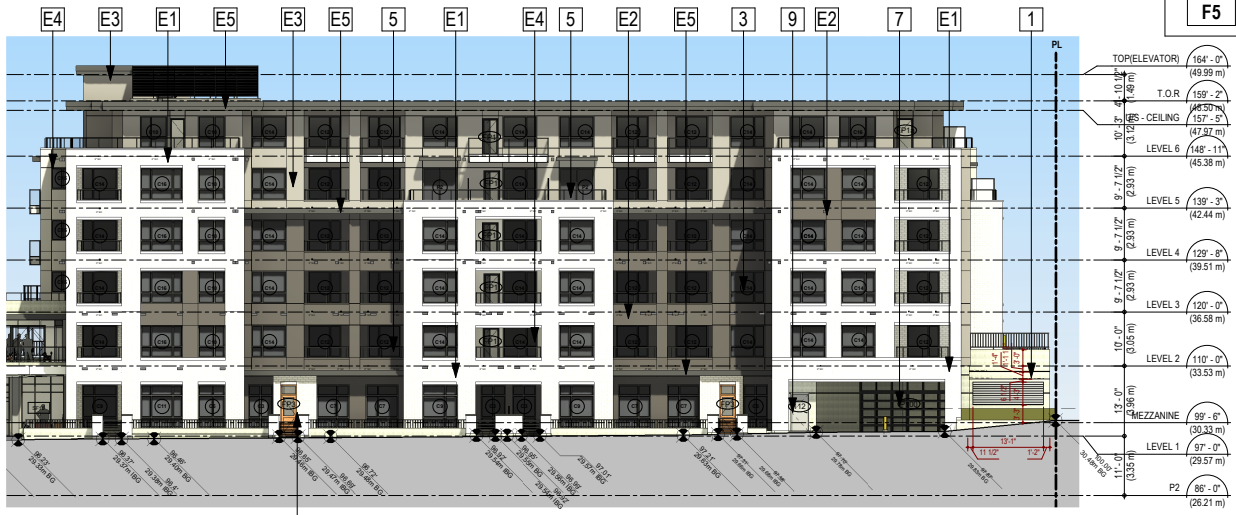
- 1 PAINTED ARCHITECTURAL CONCRETE WITH REVEALS (BM - ESCARPMENT "CC-518")
- 2 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE FLASHING - F4 - POLAR WHITE
- 3 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK FLASHING - F5 - BLACK
- 4 SUITE STREET ENTRY DOORS (TBD)
- 5 ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
- 6 ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
- 7 O/H ALUMINUM DOOR WITH TRANSLUCENT GLASS PANELS - (BLACK FRAME)
- 8 O/H METAL SOLID DOOR (BLACK)
- 9 STEEL MAN DOOR (BM - ESCARPMENT "CC-518")
- 10 METAL FENCE & GATES (BLACK)
- 11 ARCHITECTURAL CONCRETE PLANTER (SACKED)
- 12 ALUMINUM FRAMED EXIT DOOR (ANODIZED)
- 13 CEMENTITIOUS PANEL SOFFIT (BM - WHITE DOVE "OC-17")

**WEST BUILDING**

- |           |                                                                                                 |
|-----------|-------------------------------------------------------------------------------------------------|
| <b>W1</b> | BRICK CLADDING (MUTUAL MATERIALS "MAUNA LOA - MISSION")                                         |
| <b>W2</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")<br>FLASHING - F4 - DARK BROWN       |
| <b>W3</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")<br>FLASHING - F3 - STONE GREY   |
| <b>W4</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WINTER WHITE "OC-21")<br>FLASHING - F4 - POLAR WHITE |
| <b>W5</b> | PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542")<br>FLASHING - F4 - DARK BROWN                |
| <b>W6</b> | PAINTED CEMENTITIOUS FASCIA (BM - WINTER WHITE "OC-21")                                         |

**EAST BUILDING**

- |           |                                                                                               |
|-----------|-----------------------------------------------------------------------------------------------|
| <b>E1</b> | BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH") (ALTERNATE - SUMMIT "ALASKAN SMOOTH")    |
| <b>E2</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")<br>FLASHING - F4 - DARK BROWN     |
| <b>E3</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")<br>FLASHING - F3 - STONE GREY |
| <b>E4</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARTIME WHITE "OC-5")<br>FLASHING - F2 - CASHMERE  |
| <b>E5</b> | PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542")<br>FLASHING - F1 - DARK BROWN              |



2 SOUTH ELEVATION - EAST BUILDING

4



RH ARCHITECTS INC.

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

t 604.669.6002  
f 604.669.1091

www.rharchitects.ca

|                             |                 |
|-----------------------------|-----------------|
| ISSUED:                     | DATE:           |
| 1. REZONING/ DPA            | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REC/ DPA RESUBMISSION    | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. FC BELOW GRADE          | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR DEVELOPMENT VARIANCE PERMIT  
JUNE 17, 2024

| No.       | Description | Date  |
|-----------|-------------|-------|
| REVISION: |             | DATE: |

This drawing is an instrument of service in the property of RH ARCHITECTS INC. and may not be reproduced without the firm's permission. All information shown on this drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:



PROJECT:  
222 E 2nd Street

222 E 2nd Street  
VANCOUVER, B.C.

DRAWING TITLE:  
**SOUTH ELEVATIONS**

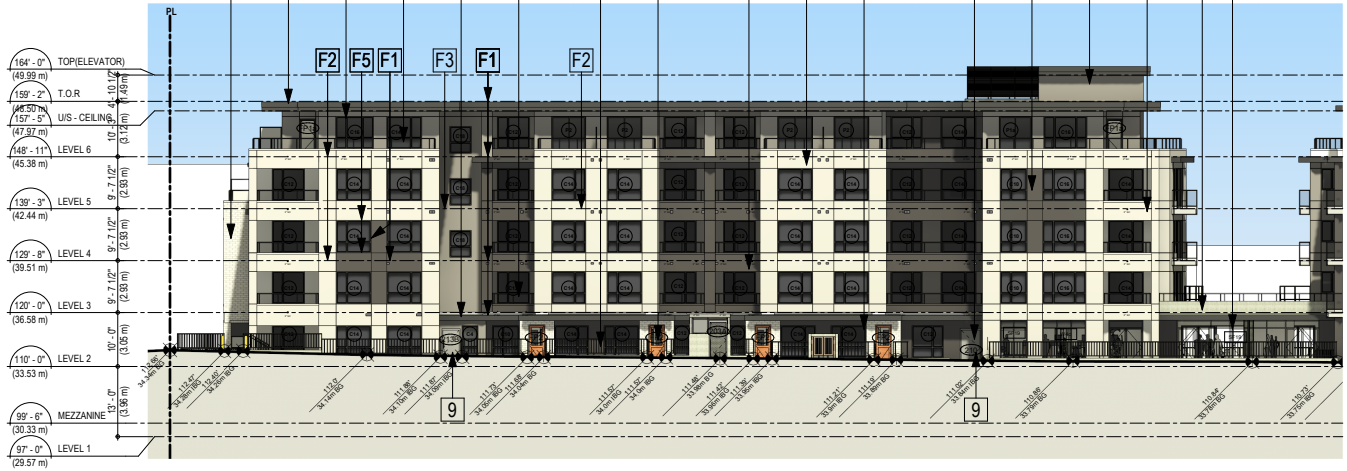
BASE FILE: 1629 Building.rvt  
SCALE:  
PLOT DATE: JUNE 2021  
DRAWN: LP  
CHECKED: AH / BR

PROJECT NO. **1629**

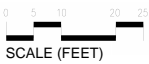
DWG. NO. **A4.0A**

D.P. No:  
B.P. No:





1 NORTH ELEVATION EAST BUILDING



| ELEVATION SYMBOLS |                                                                   | FLASHING LEGEND |                               |
|-------------------|-------------------------------------------------------------------|-----------------|-------------------------------|
|                   | METAL VENT CAP FOR IN SLAB DUCT (COLOUR MATCH TO CLADDING U.N.O.) | <b>F1</b>       | DARK BROWN (CASCADIA METALS)  |
|                   | WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                            | <b>F2</b>       | CASHMERE (CASCADIA METALS)    |
|                   | DOUBLE WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                     | <b>F3</b>       | STONE GREY (CASCADIA METALS)  |
|                   | 3" SQUARE COPPER SCUPPER                                          | <b>F4</b>       | POLAR WHITE (CASCADIA METALS) |
|                   | 2" CIRCULAR METAL SCUPPER                                         | <b>F5</b>       | BLACK (CASCADIA METALS)       |

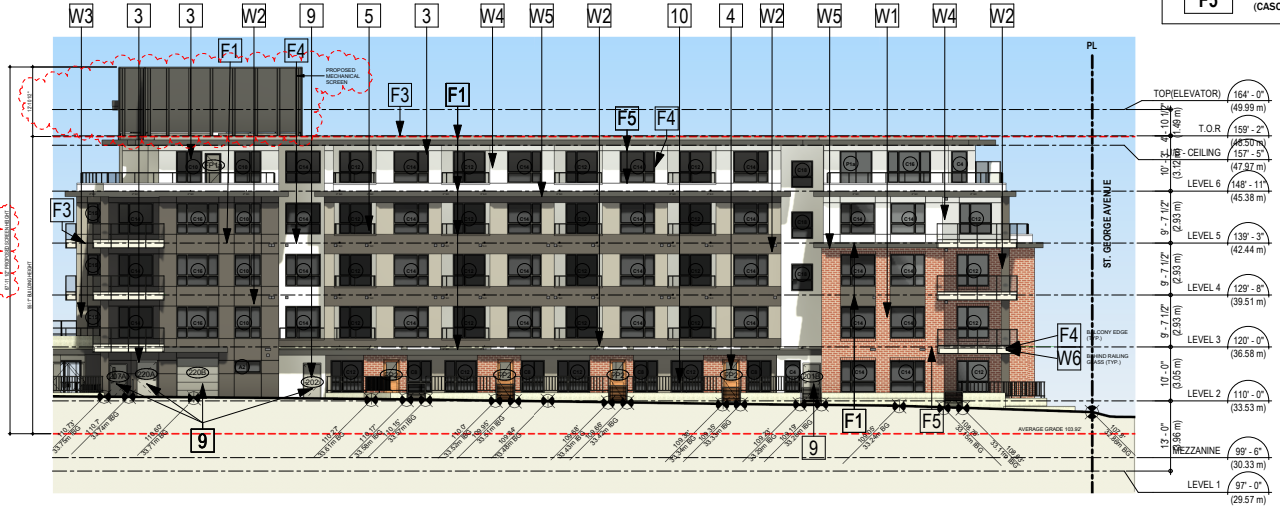
- 1 PAINTED ARCHITECTURAL CONCRETE WITH REVEALS (BM - ESCARPMENT "CC-518")
- 2 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE FLASHING - F4 - POLAR WHITE
- 3 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK FLASHING - F5 - BLACK
- 4 SUITE STREET ENTRY DOORS (TBD)
- 5 ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
- 6 ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
- 7 O/H ALUMINUM DOOR WITH TRANSLUCENT GLASS PANELS - (BLACK FRAME)
- 8 O/H METAL SOLID DOOR (BLACK)
- 9 STEEL MAN DOOR (BM - ESCARPMENT "CC-518")
- 10 METAL FENCE & GATES (BLACK)
- 11 ARCHITECTURAL CONCRETE PLANTER (SACKED)
- 12 ALUMINUM FRAMED EXIT DOOR (ANODIZED)
- 13 CEMENTITIOUS PANEL SOFFIT (BM - WHITE DOVE "OC-17")

**WEST BUILDING**

- W1** BRICK CLADDING (MUTUAL MATERIALS "MAUNA LOA - MISSION")
- W2** CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")  
FLASHING - F1 - DARK BROWN
- W3** CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")  
FLASHING - F3 - STONE GREY
- W4** CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WINTER WHITE "OC-21")  
FLASHING - F4 - POLAR WHITE
- W5** PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542")  
FLASHING - F1 - DARK BROWN
- W6** PAINTED CEMENTITIOUS FASCIA (BM - WINTER WHITE "OC-21")

**EAST BUILDING**

- E1** BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH") (ALTERNATE - SUMMIT "ALASKAN SMOOTH")
- E2** CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")  
FLASHING - F1 - DARK BROWN
- E3** CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")  
FLASHING - F3 - STONE GREY
- E4** CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARITIME WHITE "OC-5")  
FLASHING - F2 - CASHMERE
- E5** PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542")  
FLASHING - F1 - DARK BROWN



2 NORTH ELEVATION WEST BUILDING



RH ARCHITECTS INC.

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

T 604.669.6002  
F 604.669.1091

www.rharchitects.ca

| ISSUED:                         | DATE:           |
|---------------------------------|-----------------|
| 1. REZONING / DPA               | 17 AUGUST 2017  |
| 2. DESIGN PANEL                 | 18 OCTOBER 2017 |
| 3. REC / EPA RESUBMISSION       | 21 MARCH 2018   |
| 4. COORDINATION                 | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING           | 15 NOV. 2019    |
| 6. COORDINATION                 | 10 JAN. 2020    |
| 7. COORDINATION                 | 13 MARCH 2020   |
| 8. BP APPLICATION               | 16 MARCH 2020   |
| 9. IFT                          | 10 JULY 2020    |
| 10. BP RESUBMISSION             | 18 SEPT. 2020   |
| 11. FC BELOW GRADE              | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION     | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS       | 09 DEC. 2022    |
| 14. FINISH DEVELOPMENT VARIANCE | 17 JUN. 2024    |

ISSUED FOR  
DEVELOPMENT  
VARIANCE PERMIT  
JUNE 17, 2024

| No.       | Description | Date |
|-----------|-------------|------|
| REVISION: |             |      |

This drawing is an instrument of service in the property of the Architect and may not be reproduced without the firm's permission. All information about on the drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:  
**GWL REALTY ADVISORS**

PROJECT:  
222 E 2nd Street

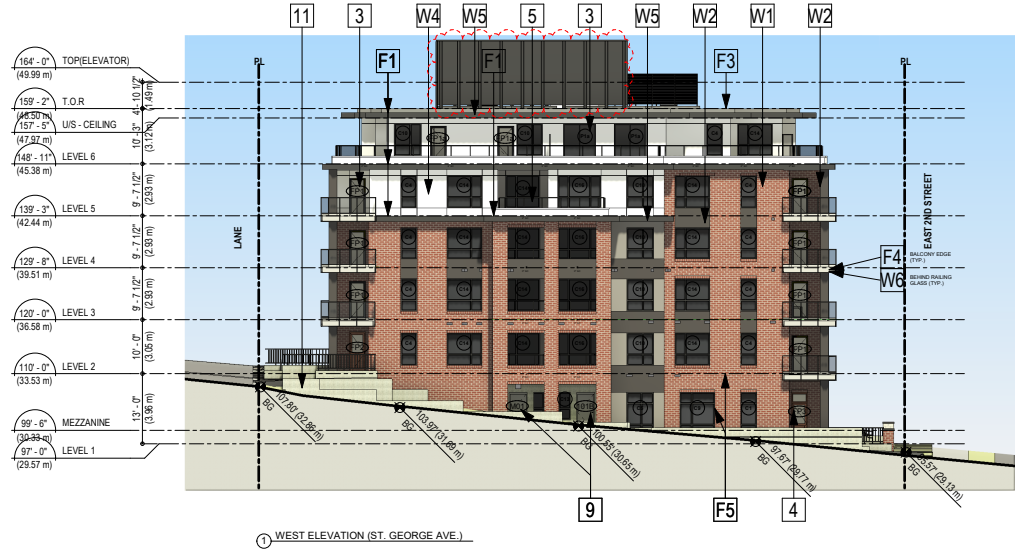
222 E 2nd Street  
VANCOUVER, B.C.  
DRAWING TITLE:  
**NORTH ELEVATIONS**

BASE FILE: 1629 Building.rvt  
SCALE:  
PLOT DATE: JUNE 2021  
DRAWN: LP  
CHECKED: AH / BR

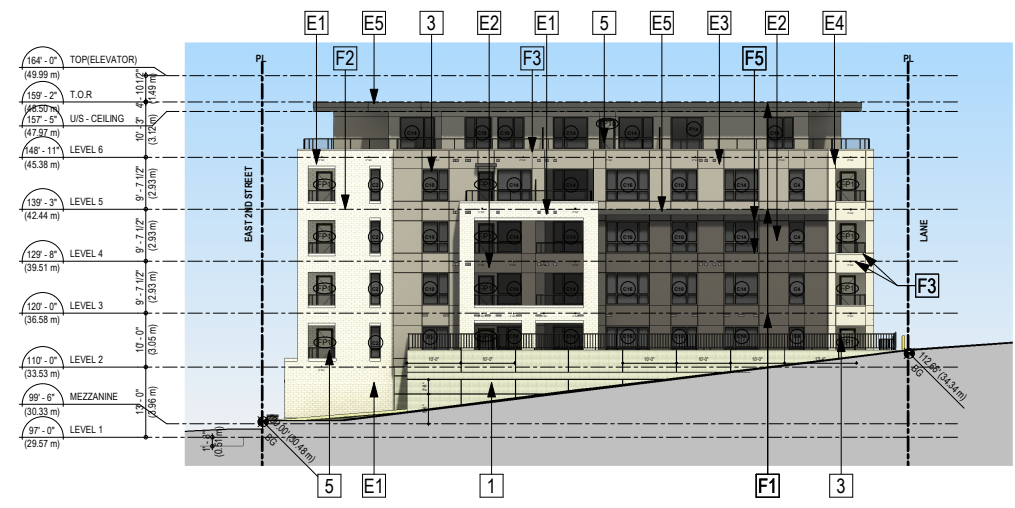
PROJECT NO. **1629**

DWG. NO. **A4.0B**

D.P. No:  
B.P. No:



① WEST ELEVATION (ST. GEORGE AVE.)



② EAST ELEVATION

|           |                               |
|-----------|-------------------------------|
| <b>F1</b> | DARK BROWN (CASCADIA METALS)  |
| <b>F2</b> | CASHMERE (CASCADIA METALS)    |
| <b>F3</b> | STONE GREY (CASCADIA METALS)  |
| <b>F4</b> | POLAR WHITE (CASCADIA METALS) |
| <b>F5</b> | BLACK (CASCADIA METALS)       |

|           |                                                                                                  |
|-----------|--------------------------------------------------------------------------------------------------|
| <b>1</b>  | PAINTED CEMENTITIOUS CONCRETE WITH REVEALS (BM - ESCARPMENT "CC-518")                            |
| <b>2</b>  | DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE FLASHING - F4 - POLAR WHITE |
| <b>3</b>  | DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK FLASHING - F5 - BLACK       |
| <b>4</b>  | SUITE STREET ENTRY DOORS (TBD)                                                                   |
| <b>5</b>  | ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)                                                  |
| <b>6</b>  | ALUMINUM FRAME STOREFRONT GLAZING (BLACK)                                                        |
| <b>7</b>  | O/H ALUMINUM DOOR WITH TRANSLUCENT GLASS PANELS - (BLACK FRAME)                                  |
| <b>8</b>  | O/H METAL SOLID DOOR (BLACK)                                                                     |
| <b>9</b>  | STEEL MAN DOOR (BM - ESCARPMENT "CC-518")                                                        |
| <b>10</b> | METAL FENCE & GATES (BLACK)                                                                      |
| <b>11</b> | ARCHITECTURAL CONCRETE PLANTER (SACKED)                                                          |
| <b>12</b> | ALUMINUM FRAMED EXIT DOOR (ANODIZED)                                                             |
| <b>13</b> | CEMENTITIOUS PANEL SOFFIT (BM - WHITE DOVE "OC-17")                                              |

**WEST BUILDING**

|           |                                                                                                 |
|-----------|-------------------------------------------------------------------------------------------------|
| <b>W1</b> | BRICK CLADDING (MUTUAL MATERIALS "MAUNA LOA - MISSION")                                         |
| <b>W2</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")<br>FLASHING - F1 - DARK BROWN       |
| <b>W3</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")<br>FLASHING - F3 - STONE GREY   |
| <b>W4</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WINTER WHITE "OC-21")<br>FLASHING - F4 - POLAR WHITE |
| <b>W5</b> | PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542")<br>FLASHING - F1 - DARK BROWN                |
| <b>W6</b> | PAINTED CEMENTITIOUS FASCIA (BM - WINTER WHITE "OC-21")                                         |

**EAST BUILDING**

|           |                                                                                               |
|-----------|-----------------------------------------------------------------------------------------------|
| <b>E1</b> | BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH") (ALTERNATE - SUMMIT "ALASKAN SMOOTH")    |
| <b>E2</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")<br>FLASHING - F1 - DARK BROWN     |
| <b>E3</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")<br>FLASHING - F3 - STONE GREY |
| <b>E4</b> | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARITIME WHITE "OC-5")<br>FLASHING - F2 - CASHMERE |
| <b>E5</b> | PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542")<br>FLASHING - F1 - DARK BROWN              |

**ELEVATION SYMBOLS**

|  |                                                                   |
|--|-------------------------------------------------------------------|
|  | METAL VENT CAP FOR IN SLAB DUCT (COLOUR MATCH TO CLADDING U.N.O.) |
|  | WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                            |
|  | DOUBLE WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                     |
|  | 3" SQUARE COPPER SCUPPER                                          |
|  | 2" CIRCULAR METAL SCUPPER                                         |



RH ARCHITECTS INC.

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

T 604.669.6002  
F 604.669.1091

www.rharchitects.ca

| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING/ DPA            | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REV/ DPA RESUBMISSION    | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. FC BELOW GRADE          | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR  
**DEVELOPMENT  
VARIANCE PERMIT**  
JUNE 17, 2024

| No. | Description | Date |
|-----|-------------|------|
|-----|-------------|------|

REVISION: DATE:

This drawing is an instrument of service in the property of the architect and may not be reproduced without the firm's permission. All information shown on the drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:  
**GWL REALTY ADVISORS**

PROJECT:  
222 E 2nd Street

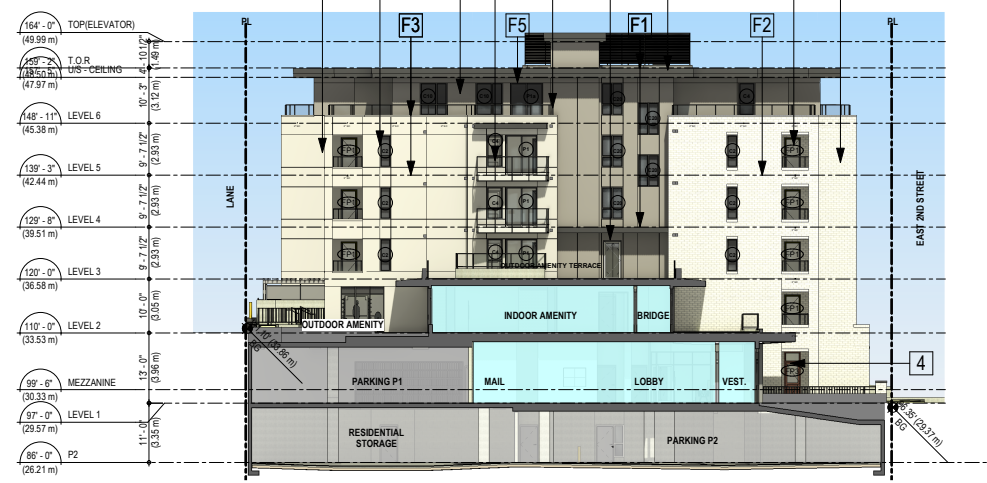
222 E 2nd Street  
VANCOUVER, B.C.  
DRAWING TITLE:  
**EXTERIOR SIDE  
ELEVATIONS**

BASE FILE: 1629 Building.rvt  
SCALE:  
PLOT DATE: JUNE 2021  
DRAWN: LP  
CHECKED: AH / BR

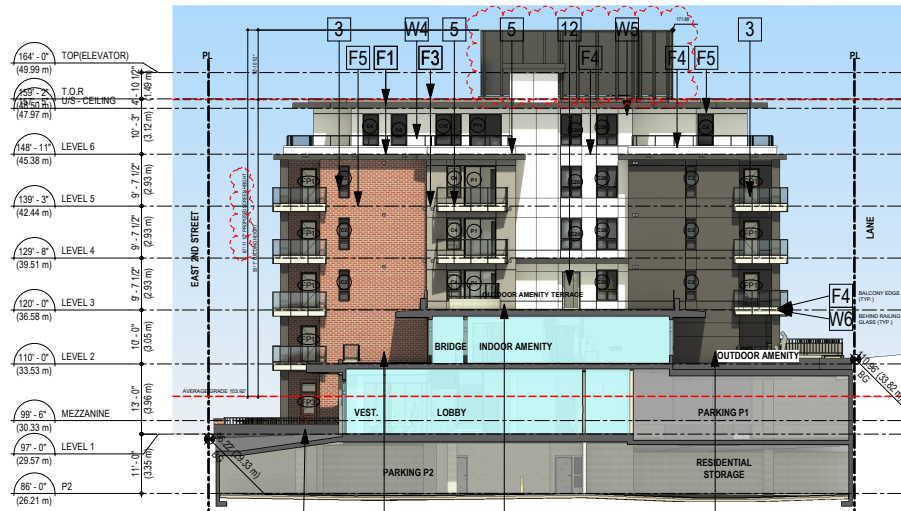
PROJECT NO. **1629**

DWG. NO. **A4.1**

D.P. No:  
B.P. No:



3 EAST BUILDING WEST ELEVATION



A1 WEST BUILDING EAST ELEVATION

| FLASHING LEGEND |                               |
|-----------------|-------------------------------|
| F1              | DARK BROWN (CASCADIA METALS)  |
| F2              | CASHMERE (CASCADIA METALS)    |
| F3              | STONE GREY (CASCADIA METALS)  |
| F4              | POLAR WHITE (CASCADIA METALS) |
| F5              | BLACK (CASCADIA METALS)       |

| BUILDING LEGEND |                                                                                                  |
|-----------------|--------------------------------------------------------------------------------------------------|
| 1               | PAINTED ARCHITECTURAL CONCRETE WITH REVEALS (BM - ESCARPMENT "CC-518")                           |
| 2               | DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE FLASHING - F4 - POLAR WHITE |
| 3               | DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK FLASHING - F5 - BLACK       |
| 4               | SUITE STREET ENTRY DOORS (TBD)                                                                   |
| 5               | ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)                                                  |
| 6               | ALUMINUM FRAME STOREFRONT GLAZING (BLACK)                                                        |
| 7               | O/H ALUMINUM DOOR WITH TRANSLUCENT GLASS PANELS - (BLACK FRAME)                                  |
| 8               | O/H METAL SOLID DOOR (BLACK)                                                                     |
| 9               | STEEL MAN DOOR (BM - ESCARPMENT "CC-518")                                                        |
| 10              | METAL FENCE & GATES (BLACK)                                                                      |
| 11              | ARCHITECTURAL CONCRETE PLANTER (SACKED)                                                          |
| 12              | ALUMINUM FRAMED EXIT DOOR (ANODIZED)                                                             |
| 13              | CEMENTITIOUS PANEL SOFFIT (BM - WHITE DOVE "OC-17")                                              |

**WEST BUILDING**

|    |                                                                                              |
|----|----------------------------------------------------------------------------------------------|
| W1 | BRICK CLADDING (MUTUAL MATERIALS "MAUNA LOA - MISSION")                                      |
| W2 | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542") FLASHING - F1 - DARK BROWN       |
| W3 | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518") FLASHING - F3 - STONE GREY   |
| W4 | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WINTER WHITE "OC-21") FLASHING - F4 - POLAR WHITE |
| W5 | PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542") FLASHING - F1 - DARK BROWN                |
| W6 | PAINTED CEMENTITIOUS FASCIA (BM - WINTER WHITE "OC-21")                                      |

**EAST BUILDING**

|    |                                                                                            |
|----|--------------------------------------------------------------------------------------------|
| E1 | BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH") (ALTERNATE - SUMMIT "ALASKAN SMOOTH") |
| E2 | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542") FLASHING - F1 - DARK BROWN     |
| E3 | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518") FLASHING - F3 - STONE GREY |
| E4 | CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARITIME WHITE "OC-5") FLASHING - F2 - CASHMERE |
| E5 | PAINTED CEMENTITIOUS FASCIA (BM - WILLOW "CC-542") FLASHING - F1 - DARK BROWN              |

**ELEVATION SYMBOLS**

|  |                                                                   |
|--|-------------------------------------------------------------------|
|  | METAL VENT CAP FOR IN SLAB DUCT (COLOUR MATCH TO CLADDING U.O.N.) |
|  | WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                            |
|  | DOUBLE WALL CAP (FOR WOOD FRAME, TYPE T.B.D.)                     |
|  | 3" SQUARE COPPER SCUPPER                                          |
|  | 2" CIRCULAR METAL SCUPPER                                         |



RH ARCHITECTS INC.

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

T 604.669.6002  
F 604.669.1091

www.rharchitects.ca

| ISSUED:                     | DATE:           |
|-----------------------------|-----------------|
| 1. REZONING/ DPA            | 17 AUGUST 2017  |
| 2. DESIGN PANEL             | 18 OCTOBER 2017 |
| 3. REC/ DPA RESUBMISSION    | 21 MARCH 2018   |
| 4. COORDINATION             | 27 SEPT. 2019   |
| 5. EXCAVATION PRICING       | 15 NOV. 2019    |
| 6. COORDINATION             | 10 JAN. 2019    |
| 7. COORDINATION             | 13 MARCH 2020   |
| 8. BP APPLICATION           | 16 MARCH 2020   |
| 9. IFT                      | 10 JULY 2020    |
| 10. BP RESUBMISSION         | 18 SEPT. 2020   |
| 11. FC BELOW GRADE          | 09 OCT. 2020    |
| 12. ISSUED FOR CONSTRUCTION | 25 NOV. 2020    |
| 13. FINAL DESIGN DRAWINGS   | 09 DEC. 2022    |
| 14. DEVELOPMENT VARIANCE    | 17 JUN. 2024    |

ISSUED FOR  
DEVELOPMENT  
VARIANCE PERMIT  
JUNE 17, 2024

| No.       | Description | Date  |
|-----------|-------------|-------|
| REVISION: |             | DATE: |

This drawing is an instrument of service in the property of RH ARCHITECTS INC. and may not be reproduced without the firm's permission. All information shown on this drawing is for use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job, and this office shall be informed of any discrepancies and variations shown on drawing.

ARCHITECTURAL SEAL:



CLIENT:



PROJECT:  
222 E 2nd Street

222 E 2nd Street  
VANCOUVER, B.C.

DRAWING TITLE:  
**COURTYARD  
ELEVATIONS**

BASE FILE: 1629 Building.rvt

SCALE:

PLOT DATE: JUNE 2021

DRAWN: LP

CHECKED: AH / BR

PROJECT NO. **1629**

DWG. NO.

**A4.2**

D.P. No:

B.P. No: