

LEGAL DESCRIPTION:

LOT:43; Block:112A; DL:546; GROUP 1; Plan:1228
 PID: 010-517-243

**ISSUED FOR PRE-DESIGN
 REZONING APPLICATION
 AUGUST 02, 2024**



DRAWING LIST			
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REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
CONSULTANT			

PROJECT
WEST 5TH TRIPLEX
 226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
COVER PAGE

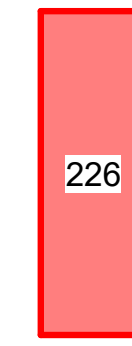
DRAWING ISSUE
**ISSUED FOR PRE-DESIGN
 REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024		
SCALE		REVIEWED	AF
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A01			1

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CONTEXT PLAN LEGEND



Subject Project



Lane Access



W 5TH ST



Mahon Ave



Chesterfield Ave



WEST 5th ST VIEW



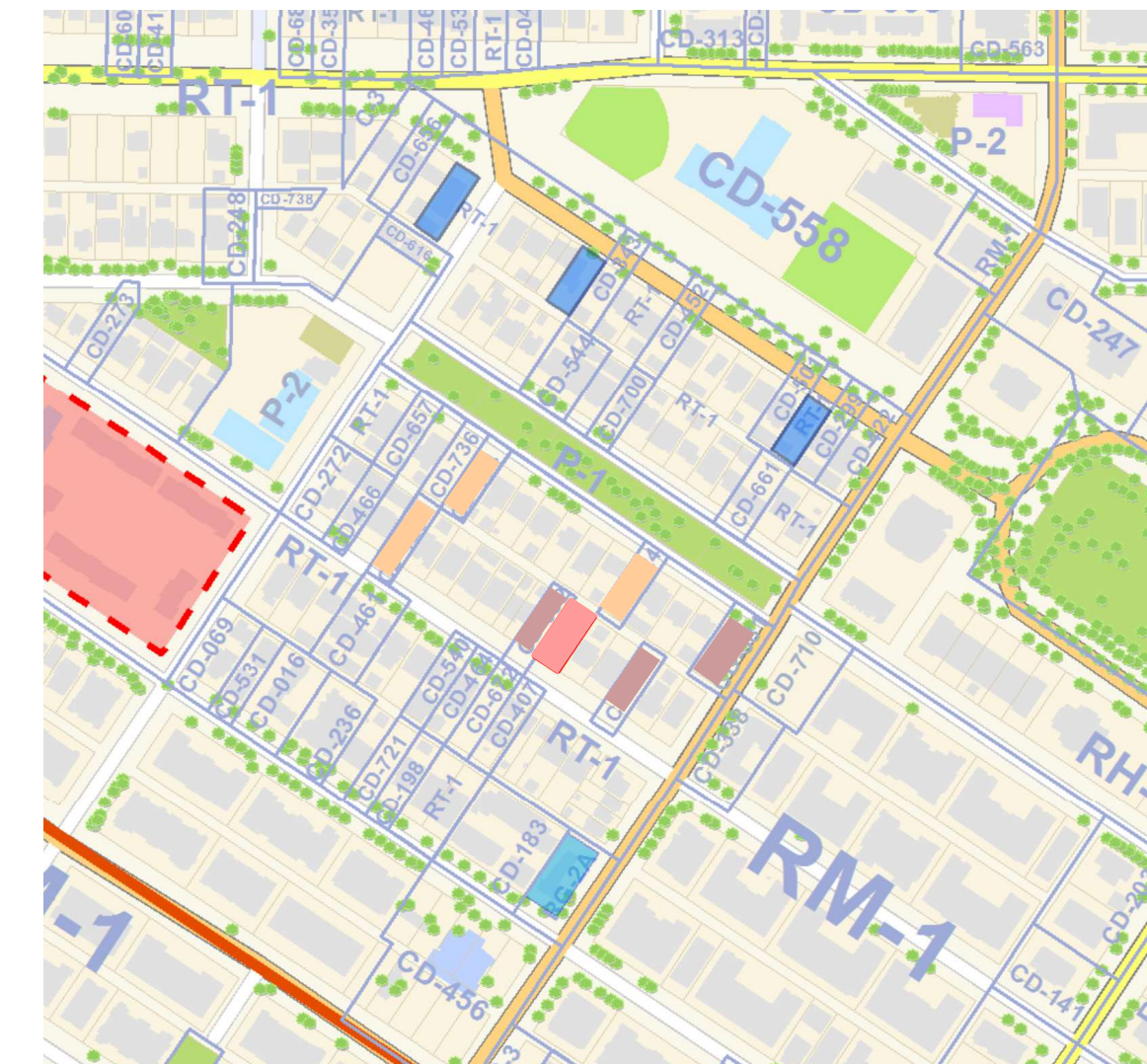
FRONT VIEW



LANE VIEW

ZONING LEGEND

- Subject Project
- Duplex Development
- Triplex Development
- Fourplex Development
- 5-Dwelling Unit Development



EAST 5th ST VIEW

1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
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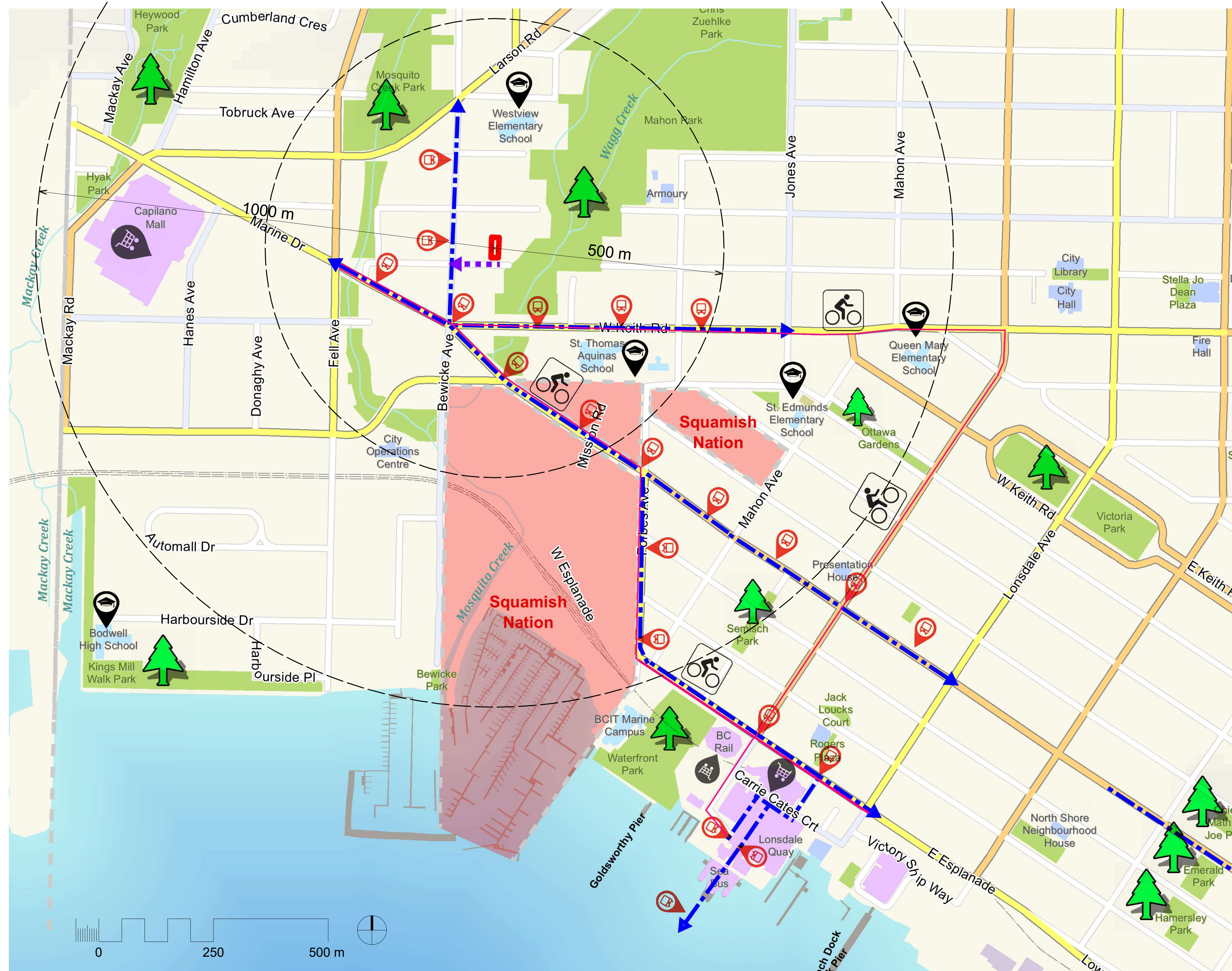
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PROJECT
WEST 5TH TRIPLEX
 226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
CONTEXT PLAN

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ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	AUG. 02, 2024	DRAWN	NM
21248	SCALE	1/64" = 1'-0"	REVIEWED	AF
DRAWING NO.	A02			REVISION
				1



-  SCHOOL
-  PARK
-  BIKE ROUTE
-  SHOPPING
-  BUS STOP
-  BUS ROUTE
-  PEDESTRIAN ROUTE

1 ACCESSIBILITY ANALYSIS -GIS MAP
1 : 5000

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PROJECT
WEST 5TH TRIPLEX
226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
ACCESSIBILITY ANALYSIS

DRAWING ISSUE
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PROJECT NO.	PLOT DATE	AUG. 02, 2024	DRAWN	NM
21248	SCALE	1 : 5000	REVIEWED	AF
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South Elevation C/W ADJACENT
CONTEXT
① 3/16" = 1'-0"

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

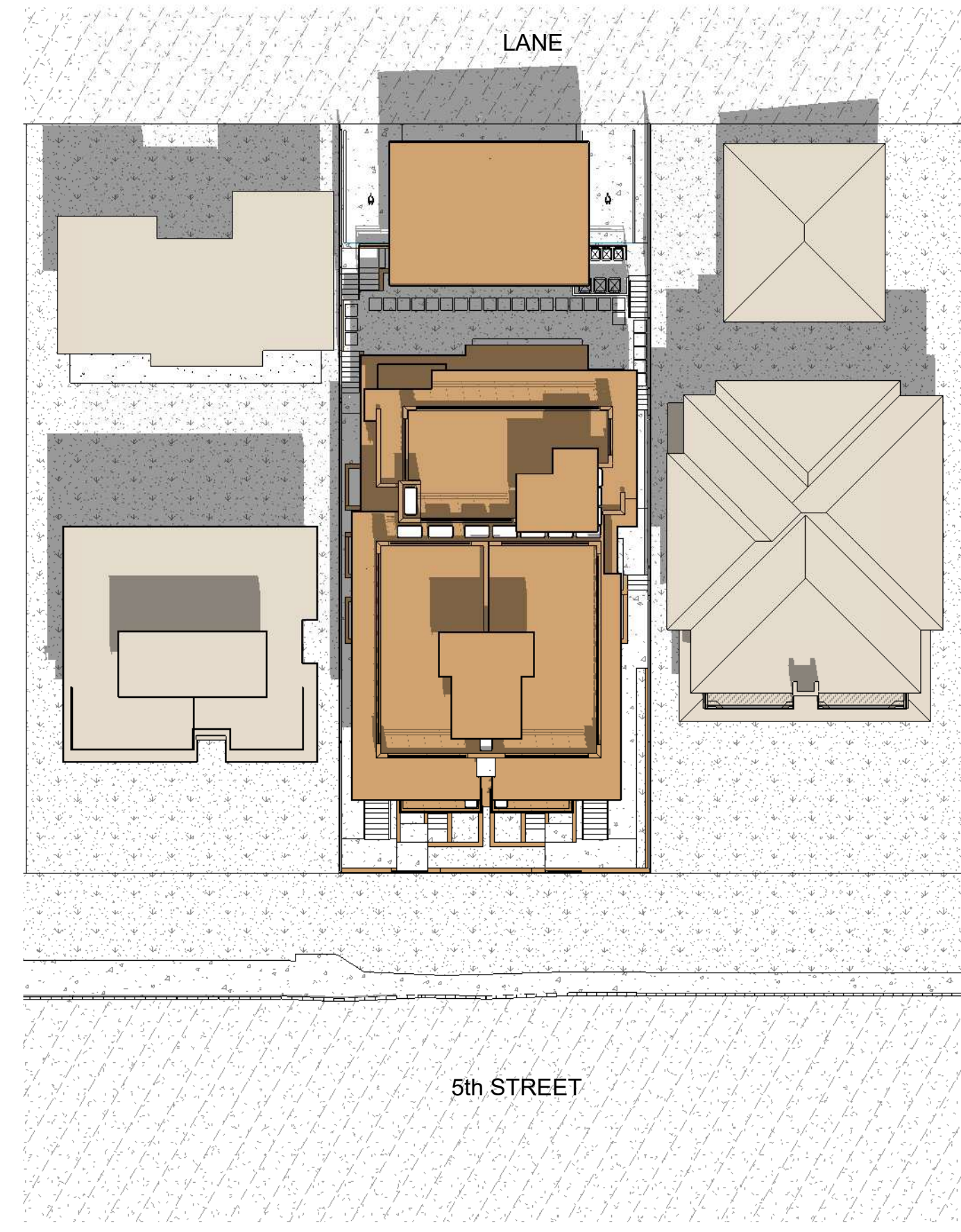
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STREETSCAPE ELEVATIONS

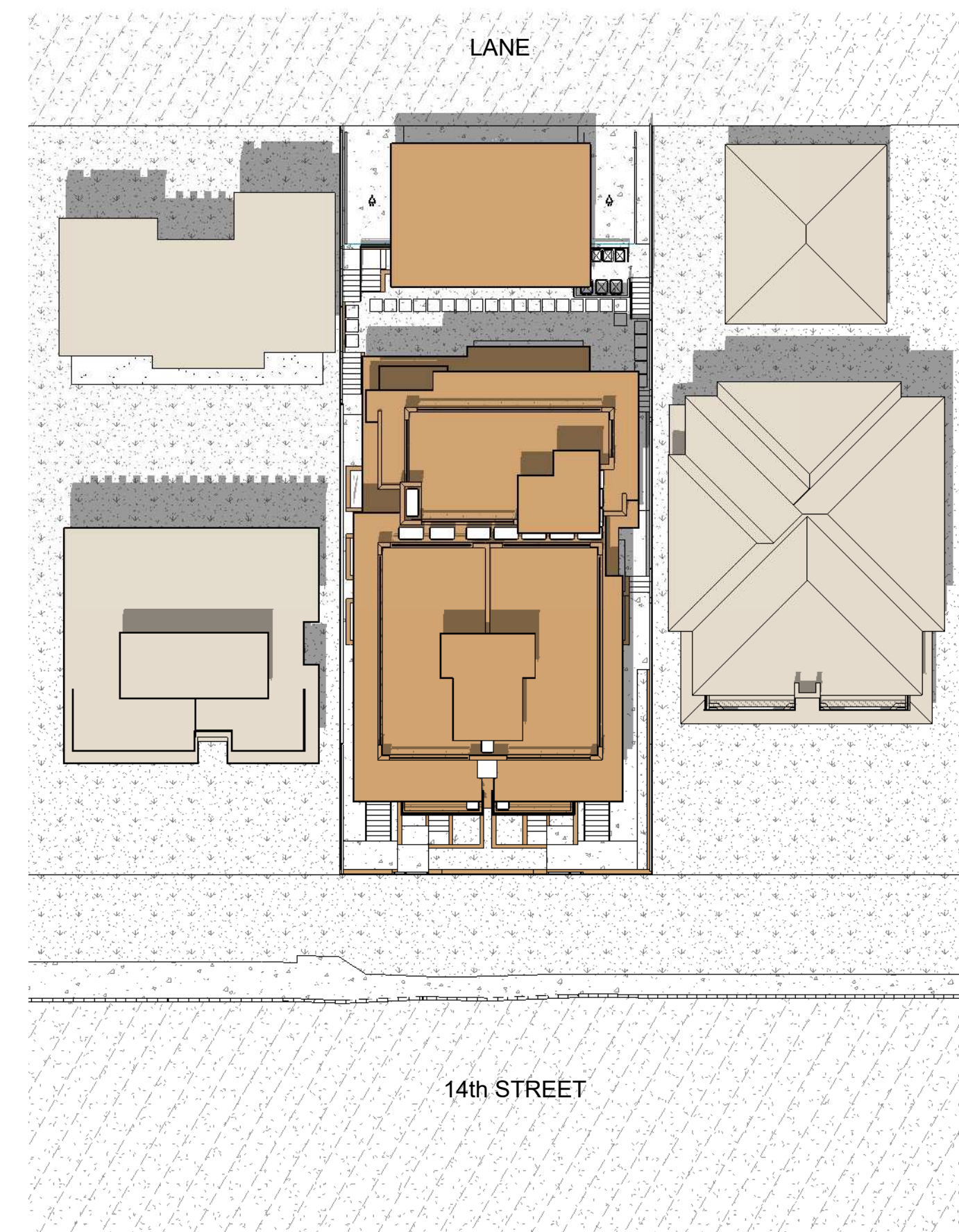
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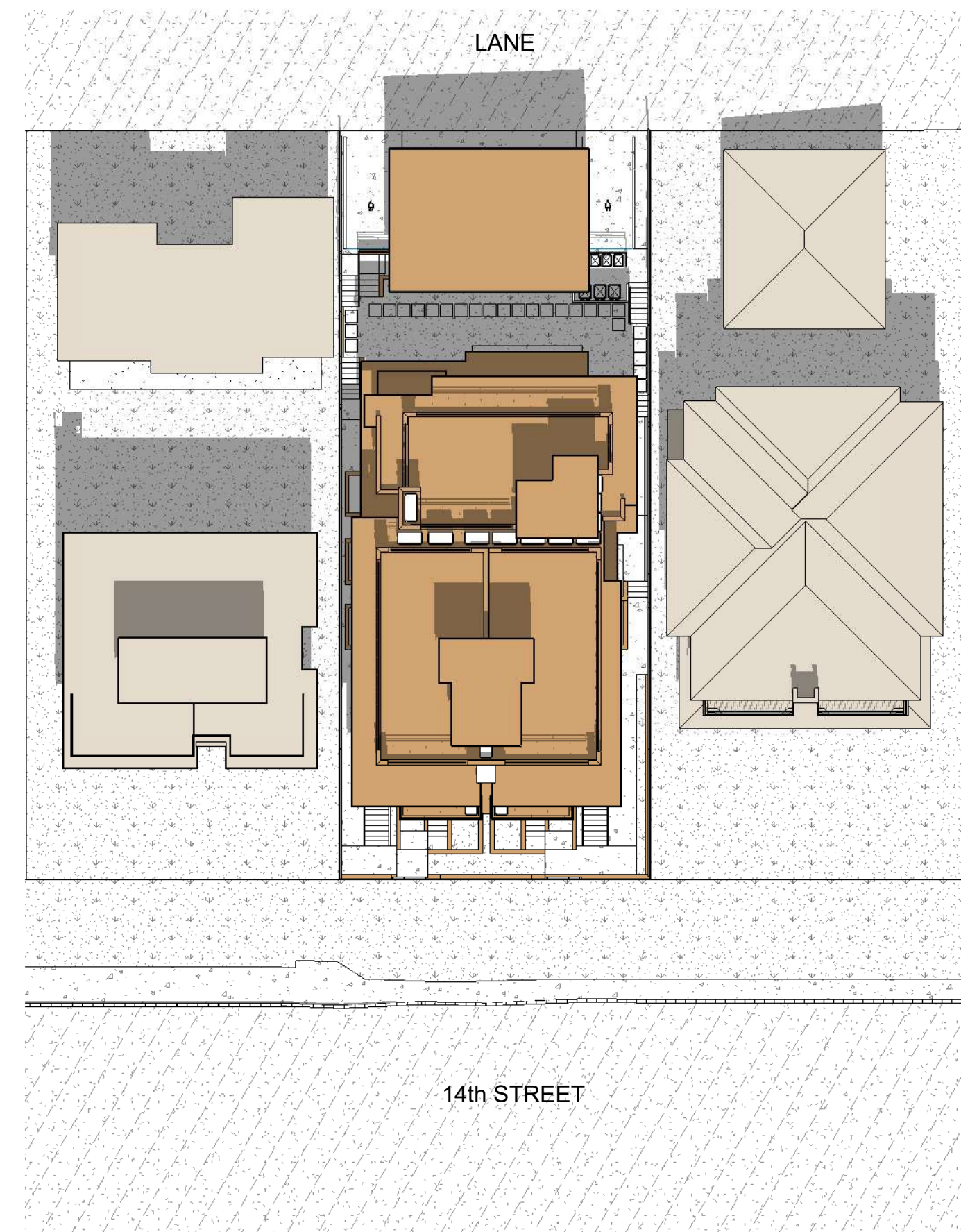
PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A04	3/16" = 1'-0"	1	



③ Shadow Study-March 21- 2 Pm



② Shadow Study-June 21- 2 Pm



④ Shadow Study-September 21- 2 pm



① Shadow Study-December 21- 2 Pm

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

SHADOW STUDY- 2 PM

DRAWING ISSUE

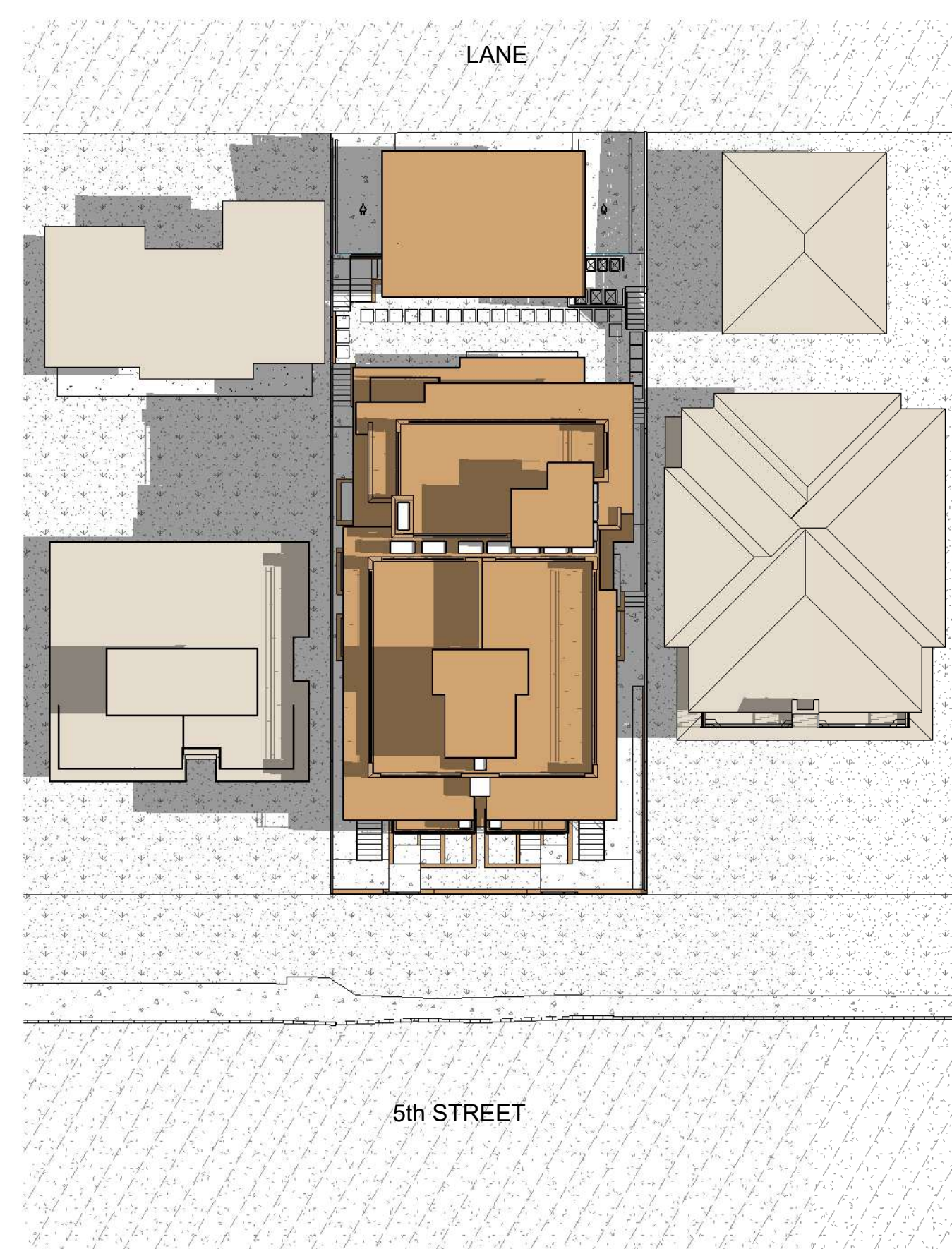
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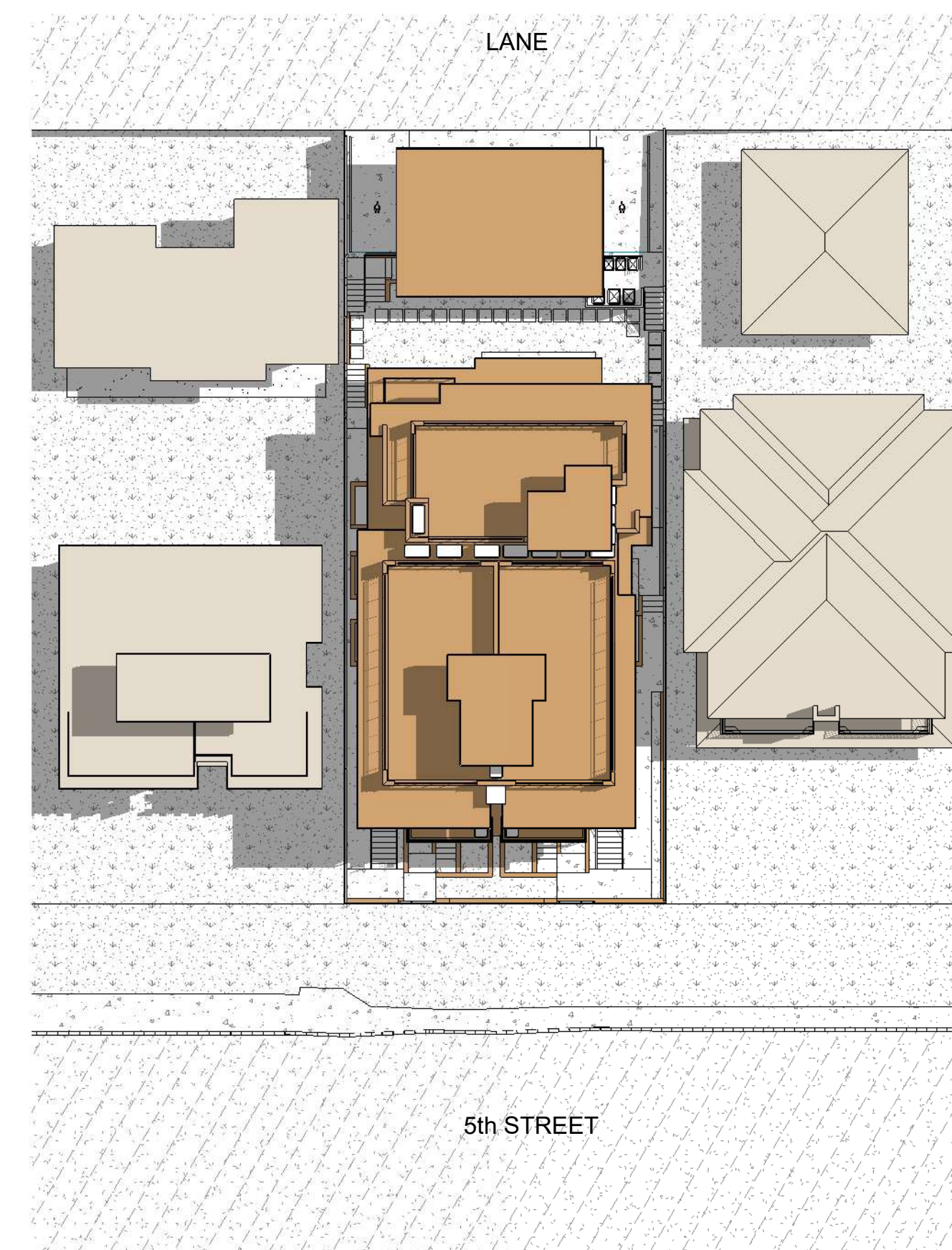
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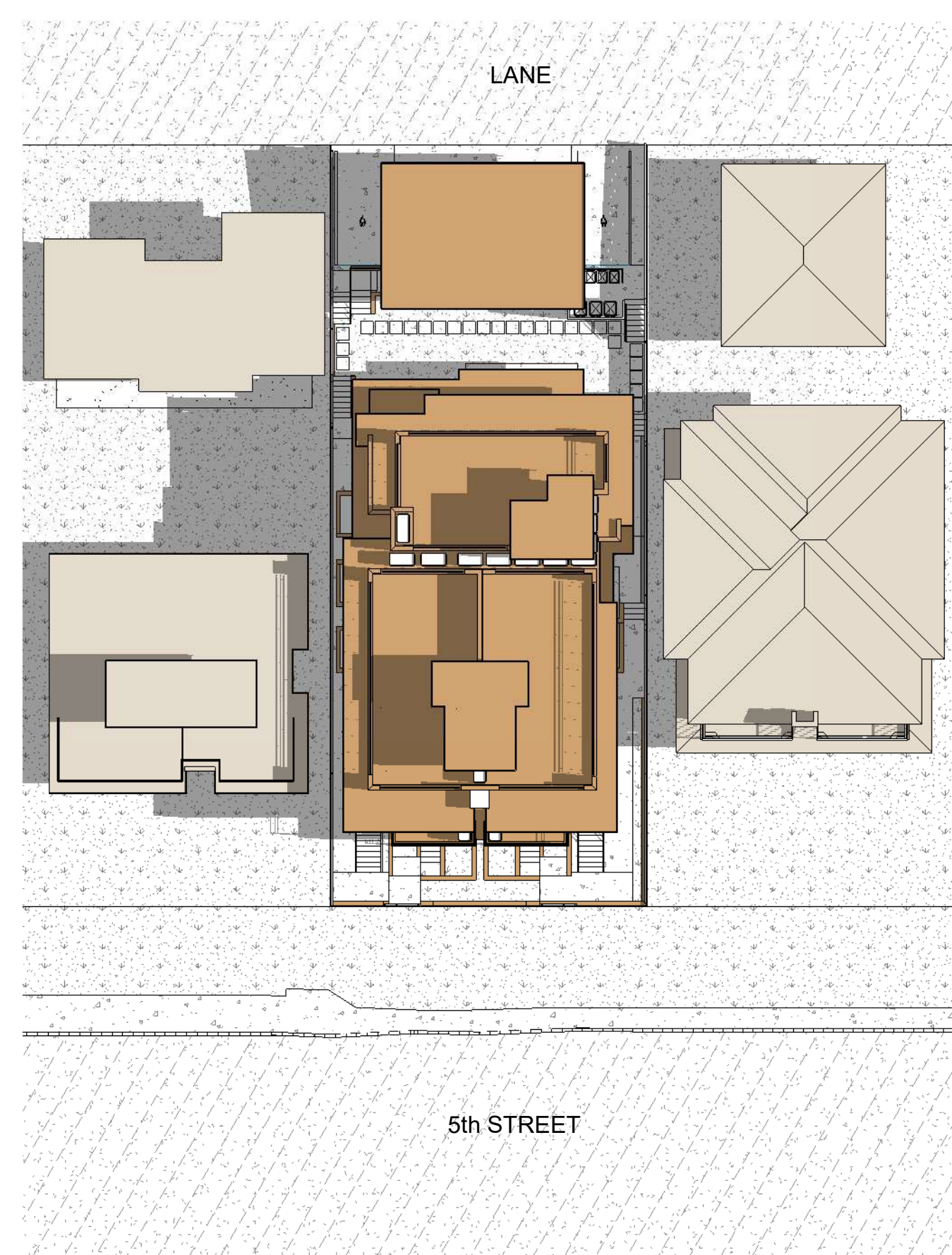
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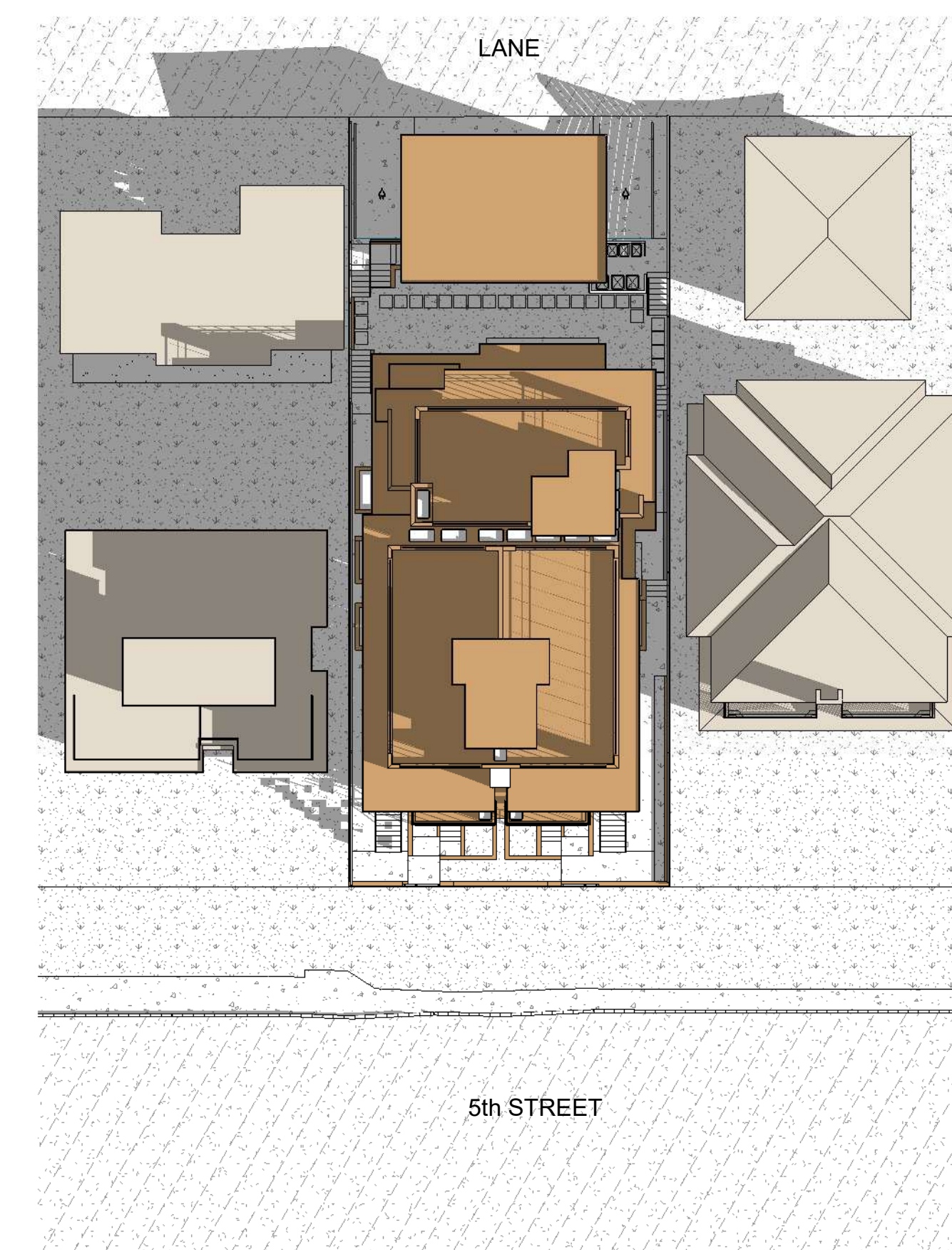
③ Shadow Study-March 21- 10 Am



② Shadow Study-June 21- 10 Am



④ Shadow Study-September 21- 10 Am



① Shadow Study-December 21- 10 Am

NO.	DATE	DESCRIPTION	BY

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WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

SHADOW STUDY- 10 AM

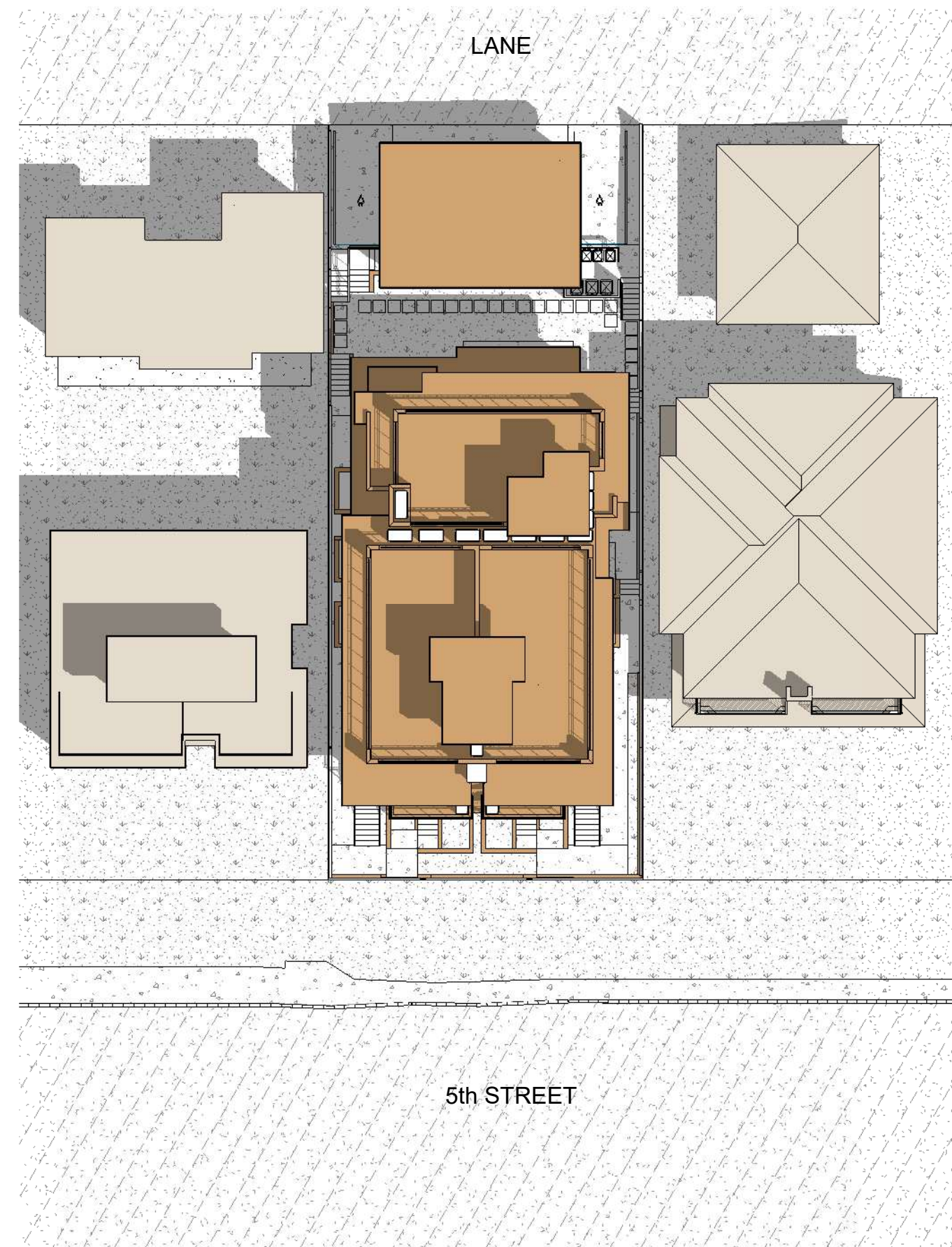
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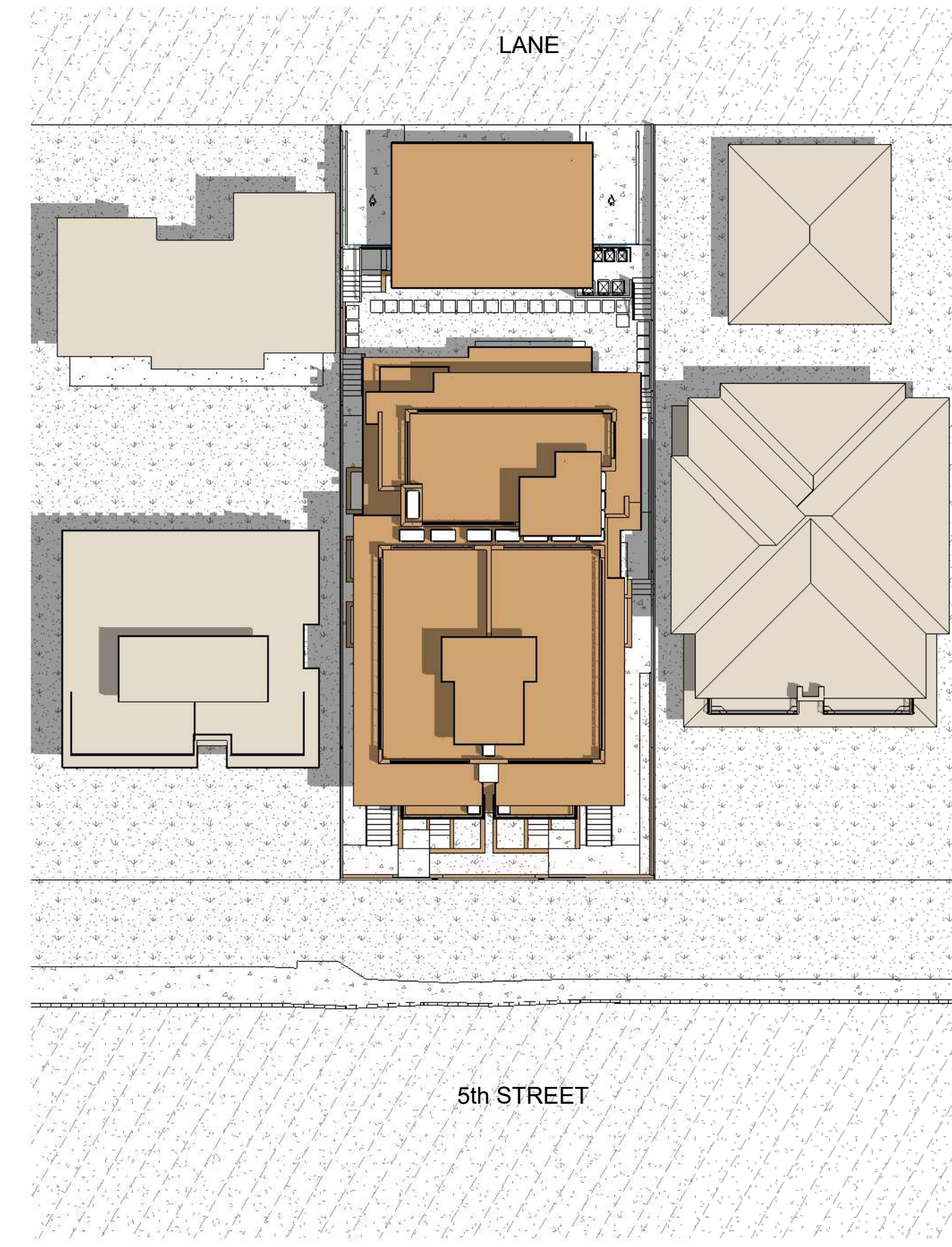
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21248	AUG. 02, 2024		
SCALE		REVIEWED	CHECKER
DRAWING NO.		REVISION	

A04.5

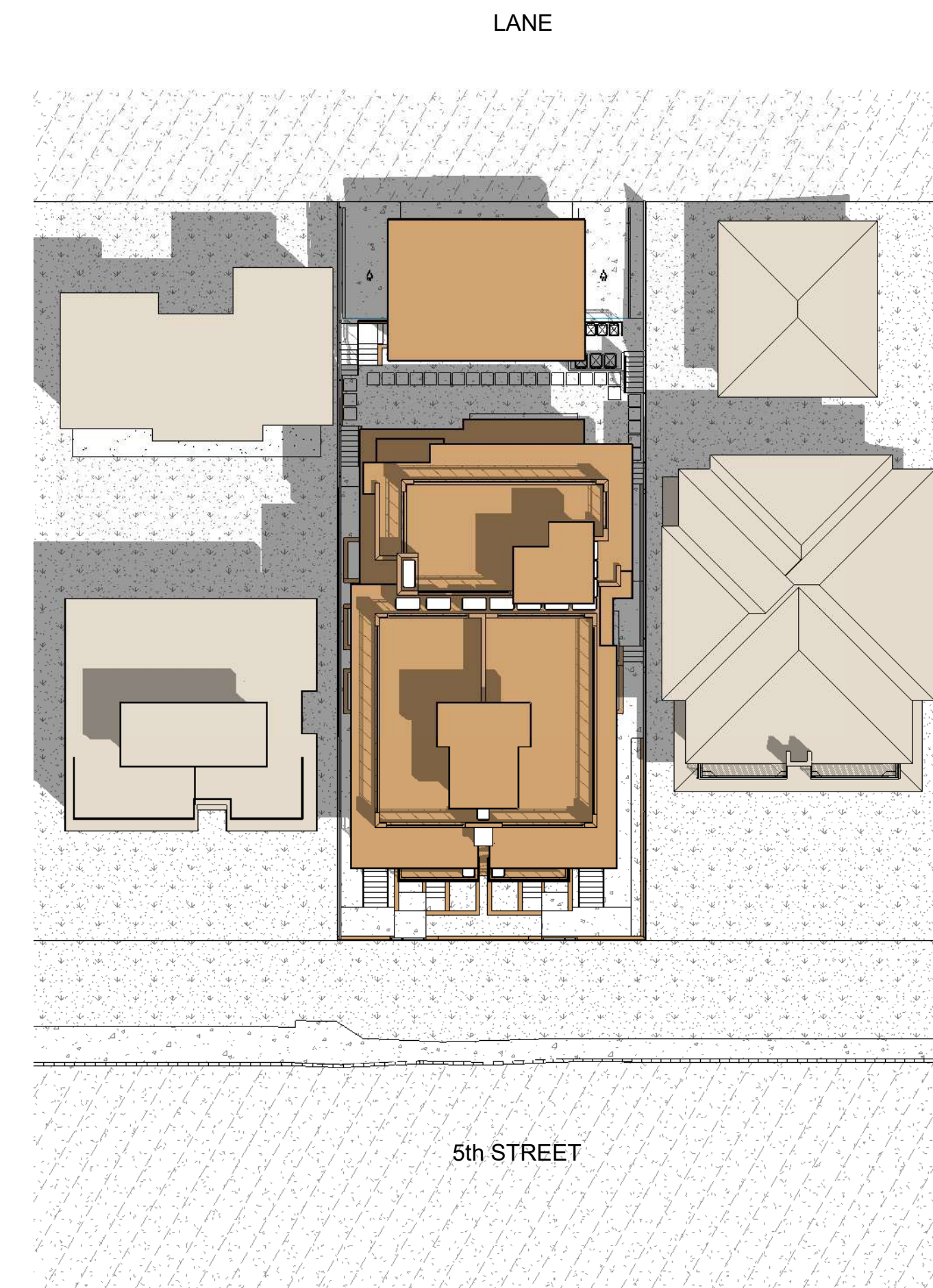
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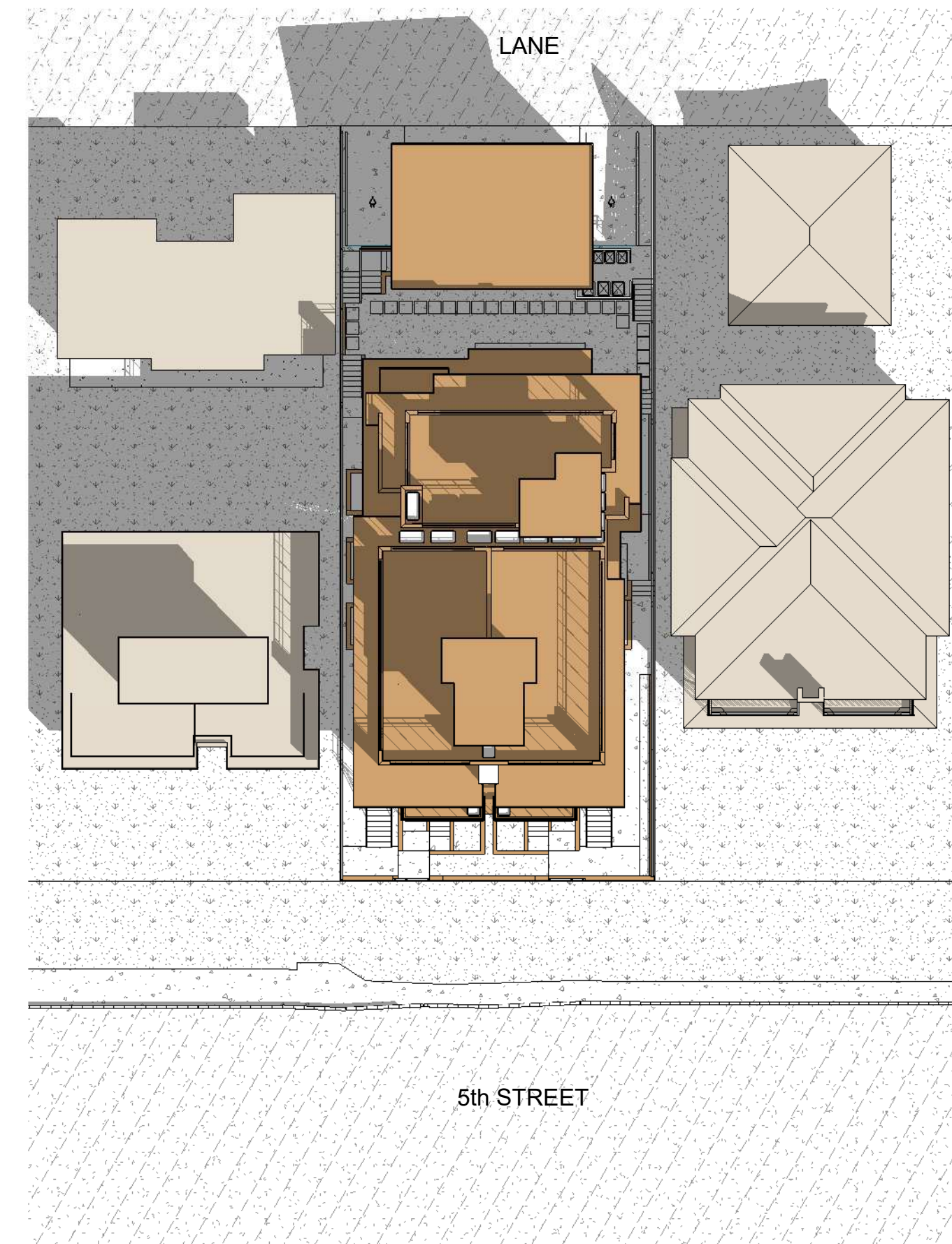
③ Shadow Study-March 21- 12 pm



② Shadow Study-June 21- 12 Pm



④ Shadow Study-September 21- 12 pm



① Shadow Study-December 21- 12 Pm

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PROJECT

WEST 5TH TRIPLEX
226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
SHADOW STUDY- 12 PM

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PROJECT NO.	PLOT DATE	DRAWN	Author
21248	AUG. 02, 2024		
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A04.6			
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SITE PLAN LEGEND

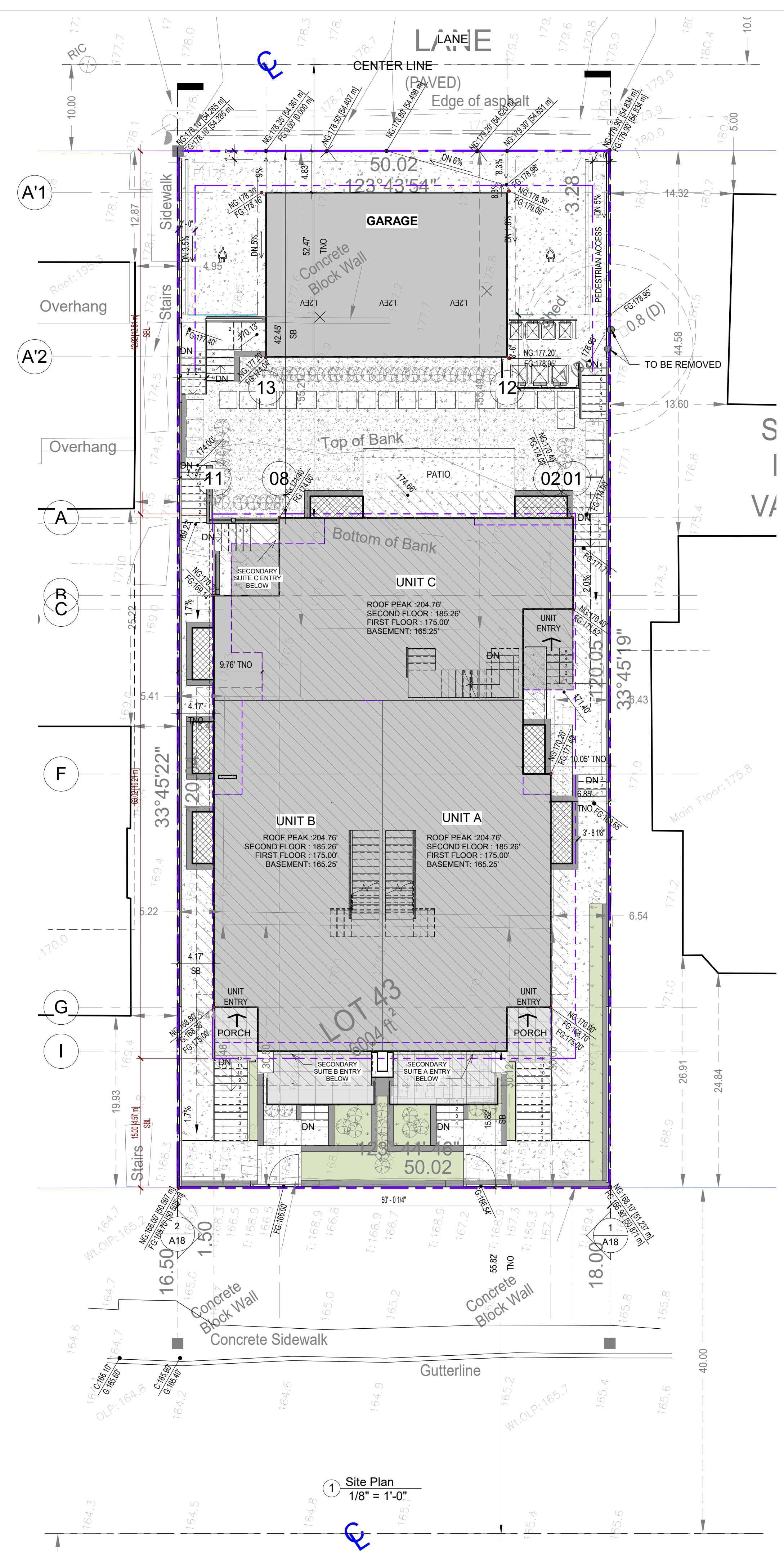
- LAWN
- GARDEN
- CONCRETE PAVER
- PAVERS ON PADSTALL
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- BUILDING FOOTPRINT
- EXTENT OF UPPER ROOF
- LIGHTWELL
- CONCRETE WALL

ABBREVIATION LEGEND

- Bottom of Wall BOW
- Carbon Monoxide director CO
- Driveway Segment DS
- Electrical Fireplace FP
- Exhaust Fan EF
- Existing EX
- Fire Pit FP
- Floor Drain FD
- Gas Fireplace GFP
- High guard HG
- High Handrail HH
- Lot Width LW
- Lower Window Head LWH
- Property Line PL
- Proposed PR
- Ramp Segment RS
- Roof Drain RD
- Setback SB
- Setback line SBL
- Slope down SDW
- Slope Up SUP
- Smoke Alarm SA
- To Cladding TCND
- To Foundation TFND
- To Nearest opening TNO
- To Road Center line TRCL
- Top of TO
- Top of Slab TOS
- Top of Wall TOP
- Trench Drain TD
- Under Side of UWS
- Upper Window Head UWH

SITE PLAN LINE TYPES

- PROPERTY LINE
- SETBACK LINE
- BLDG FOOTPRINT
- BLDG LEVEL 1 OUTLINE
- BLDG LEVEL 2 OUTLINE
- UPPER ROOF OUTLINE
- LOWER ROOF OVERHANG OUTLINE
- CLADDING OUTLINE
- TREE PROTECTION ZONE
- BLDG SERVICES



ZONING SUMMARY

ZONE	LOT AREA		RELATED CASE (IF APPLICABLE)	
RT-1, Rezoning To CD	557.79	m ²	6,004.00	ft ²

LOT COVERAGE	REQUIRED		PROPOSED		COMMENTS
	Metric	Imperial	Metric	Imperial	
MAXIMUM PERMITTED (PERCENTAGE)	---				
BREAKDOWN OF LOT COVERAGE					
MAIN FLOOR (PRINCIPAL BLDG)	---	m ²	---	ft ²	209.44 m ² , 2,254.37 ft ²
MAIN FLOOR (ACCESSORY BLDG)	---	m ²	---	ft ²	49.28 m ² , 530.4 ft ²
OVERHANGS	---	m ²	---	ft ²	11.99 m ² , 129.07 ft ²
Decks, Balconies, Porches, etc.	---	m ²	---	ft ²	22.40 m ² , 241.15 ft ²
TOTAL LOT COVERAGE (COMBINED)	---	m ²	---	ft ²	293.11 m ² , 3,155.0 ft ²
LOT COVERAGE (PERCENTAGE)	N/A		N/A		52.5%

SETBACKS	REQUIRED RT-1 Zone		PROPOSED CD		COMMENTS
	Metric	Imperial	Metric	Imperial	
FRONT YARD	4.57	m	15.00	ft	4.82 m, 15.82 ft, 0.82
SIDE YARD-EAST	1.22	m	4.00	ft	1.30 m, 4.26 ft, 0.26
SIDE YARD-WEST	1.22	m	4.00	ft	1.27 m, 4.17 ft, 0.17
REAR YARD	12.81	m	42.02	ft	12.94 m, 42.45 ft, 0.43
COURT YARD WIDTH	---	m	---	ft	0.00 m, 0 ft, 0.35% of lot Depth

GROSS FLOOR AREA	REQUIRED		PROPOSED		COMMENTS
	Metric	Imperial	Metric	Imperial	
0.75	---		---		
MAXIMUM PERMITTED	418.34	m ²	4,503.00	ft ²	417.81 m ² , 4,497.27 ft ² , 5.73
GFA BREAKDOWN					
BASEMENT (GFA)	---	m ²	---	ft ²	0.00 m ² , 0.00 ft ²
FIRST FLOOR AREA	---	m ²	---	ft ²	209.44 m ² , 2,254.37 ft ²
SECOND FLOOR AREA	---	m ²	---	ft ²	208.37 m ² , 2,242.90 ft ²
TOTAL GFA	---	m ²	---	ft ²	417.81 m ² , 4,497.27 ft ²
GFA EXCLUSIONS					
BASEMENT	---	m ²	---	ft ²	209.44 m ² , 2,254.37 ft ²
STORAGE (OTHER)	---	m ²	---	ft ²	0.00 m ² , 0.00 ft ²
BIKE ROOM/STORAGE (OTHER)	---	m ²	---	ft ²	48.91 m ² , 526.42 ft ²
GARBAGE (OTHER)	---	m ²	---	ft ²	5.82 m ² , 62.68 ft ²
ACCESSORY GARAGE (OTHER)	---	m ²	---	ft ²	49.28 m ² , 530.42 ft ²
ROOF TOP DECK ACCESS (OTHER)	---	m ²	---	ft ²	16.70 m ² , 179.74 ft ²
ROOF TOP DECK	---	m ²	---	ft ²	136.83 m ² , 1,472.79 ft ²
TOTAL OTHER EXCLUSIONS	---	m ²	---	ft ²	257.53 m ² , 2,772.05 ft ²
TOTAL FLOOR AREA MINUS OTHER EXCLUSIONS (LIVING SPACE)	---	m ²	---	ft ²	627.25 m ² , 6,751.64 ft ²

HEIGHT	REQUIRED		PROPOSED		COMMENTS
	Metric	Imperial	Metric	Imperial	
AVERAGE FRONT	50.92	m	167.05	ft	
AVERAGE REAR	54.56	m	179	ft	
REFERENCE GRADE	52.37	m	171.83	ft	52.37 m, 171.83 ft
MINIMUM FIRST STOREY LEVEL	53.14	m	174.33	ft	53.34 m, 175.00 ft
TOP OF PLATE	60.36	m	198.03	ft	59.24 m, 194.35 ft
TOP OF RIDGE	62.43	m	204.83	ft	59.70 m, 195.85 ft

PARKING CALCULATION	REQUIRED		PROPOSED		BALANCE	COMMENTS
	PER/UNIT	SUBTOTAL	PER/UNIT	SUBTOTAL		
PRINCIPAL UNIT	1	3	1	3		
SECONDARY SUITE	1	3	0.66	2		
VISITOR PARKING	N/A	0	0	0		
TOTAL PARKING STALL		6		5		Seeking one parking stall variance in lieu
PARKING TYPE BREAKDOWN						
STALL TYPE	SD	WS	SC	SW	BALANCE	
PROVIDED STALL	1	0	0	4	5	
PERCENTAGE	20.00%		80.00%		100.00%	

BUILDING USE	REQUIRED			PROVIDED	
	SPACE REQUIREMENTS	MIN.	UNIT	SPACE	UNIT
MULTIPLE UNIT RESIDENTIAL (≥ 3 UNITS)	N/A	N/A	m ²	5.82	m ²

BUILDING USE	RECYCLING AND GARBAGE STORAGE (NUMBER OF CONTAINERS)													
	GARBAGE (3 yd ³)		GARBAGE (2 yd ³)*		NEW PRINT (360L)		MIXED PAPER (360L)		MIXED CONTAINERS (360L)		CARDBOARD		FOOD SCRAPS (240L)	
DWELLING UNITS (4-9 UNITS)	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.
		1	1	N/A	-	1	1	1	1	1	1	N/A	1	1

DESCRIPTION	UNIT	REQUIRED		PROVIDED	
		LONG TERM	SHORT TERM	LONG TERM	SHORT TERM
RESIDENTIAL	3	1.5 per unit (3x1.5=4.5)	N/A	6	N/A

NOTE:
 OFFSITE TREES WILL BE INSTALLED BY CNV. PROVIDE A MINIMUM OF 25 CUBIC METERS OF SOIL PER TREE. PROVIDE CONTINUOUS 300MM SOIL TRENCH IN BOULEVARDS AND 650MM DEEP STRUCTURAL SOIL UNDER SIDEWALK. ENSURE ADEQUATE SOIL VOLUMES FOR LARGE STREET TREES. 300MM CONTINUOUS ROOT BARRIER REQUIRED AT STREET TREE LOCATIONS. PROVIDE IRRIGATION FOR ALL OFF-SITE LANDSCAPING AND STREET TREES. SHOW LOCATION OF STRUCTURAL SOIL ON PLAN.

NOTE:
 ALL THIRD-PARTY UTILITY CONNECTION (ELECTRICAL, GAS, AND COMMUNICATIONS) MUST BE INSTALLED UNDERGROUND.

NOTE:
 ALL HEDGES AND RETAINING WALLS, MUST BE REMOVED FROM CITY PROPERTY.

NOTE:
 NEW CURB AND GUTTER TO MMCD AND CNV STANDARD.



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PROJECT
WEST 5TH TRIPLEX
 226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
SITE PLAN
 DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

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21248	AUG. 02, 2024		
SCALE	REVIEWED	AF	
As indicated			
DRAWING NO.	REVISION		
A05	1		

LOT COVERAGE AREA BREAKDOWN

Lot Area (Sq.ft)	6004			
	Allowed		Provided	
	%	Area ft²	%	Area ft²
Principal building lot coverage	35.00%	2101.4	39.70%	2,383.44
Appendage coverage			4.02%	241.15
Accessory Building coverage			8.83%	530.42
Combined Lot coverage		0	52.55%	3,155.01

Principal Building	AREA
Building Footprint	2,254.37 ft²
First floor Overhangs	0.00 ft²
Second floor Overhangs	129.07 ft²
Total Principal Building	2,383.44 ft²
Appendages	AREA
Porches	90.44 ft²
Decks (including decks with 1 m Height above Grade)	145.66 ft²
Balcony	250.84 ft²
Double count deduction, second Floor Overhang Over Porch & Deck	-61.58 ft²
Double count deduction, second Floor Balcony Projections Over Porch & Deck	-145.66 ft²
Double Count deduction, Balcony Over Living Space	-38.55 ft²
Total Appendage	241.15 ft²
Accessory Building	AREA
Accessory Building	530.42 ft²
Exclusions	AREA
GRAND TOTAL	3,155.01 ft²

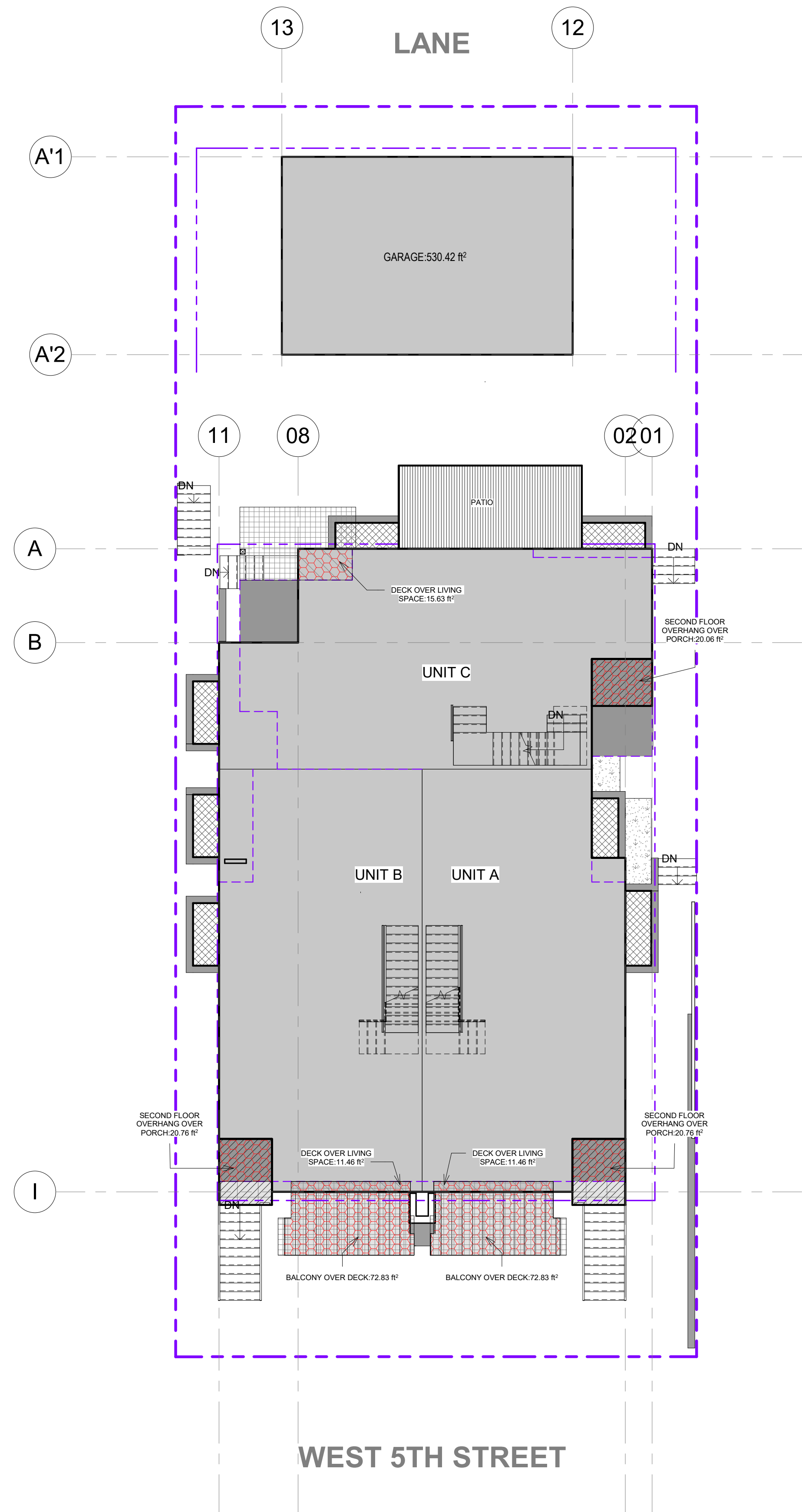
Calculation Note:
The provided lot coverage calculation excludes the Decks less than 1m high, and access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

SITE PLAN- LOT COVERAGE LEGEND

- LAWN
- GARDEN
- CONCRETE PAVER
- PAVERS ON PADSTALL
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- DOUBLE COUNT DEDUCTION
- PRINCIPAL OR ACCESSORY BUILDING
- OVERHANGS
- FRONT & BACK DECK
- FRONT PORCH
- DECK OVER LINING SPACE
- LIGHTWELL
- BALCONY
- PATIO
- CONCRETE WALL

SITE PLAN LINE TYPES

- PROPERTY LINE
- SETBACK LINE
- BLDG FOOTPRINT
- BLDG LEVEL 1 OUTLINE
- BLDG LEVEL 2 OUTLINE
- UPPER ROOF OUTLINE
- LOWER ROOF OVERHANG OUTLINE
- CLADDING OUTLINE
- TREE PROTECTION ZONE
- BLDG SERVICES



① Site Plan -LOT COVERAGE
1/8" = 1'-0"

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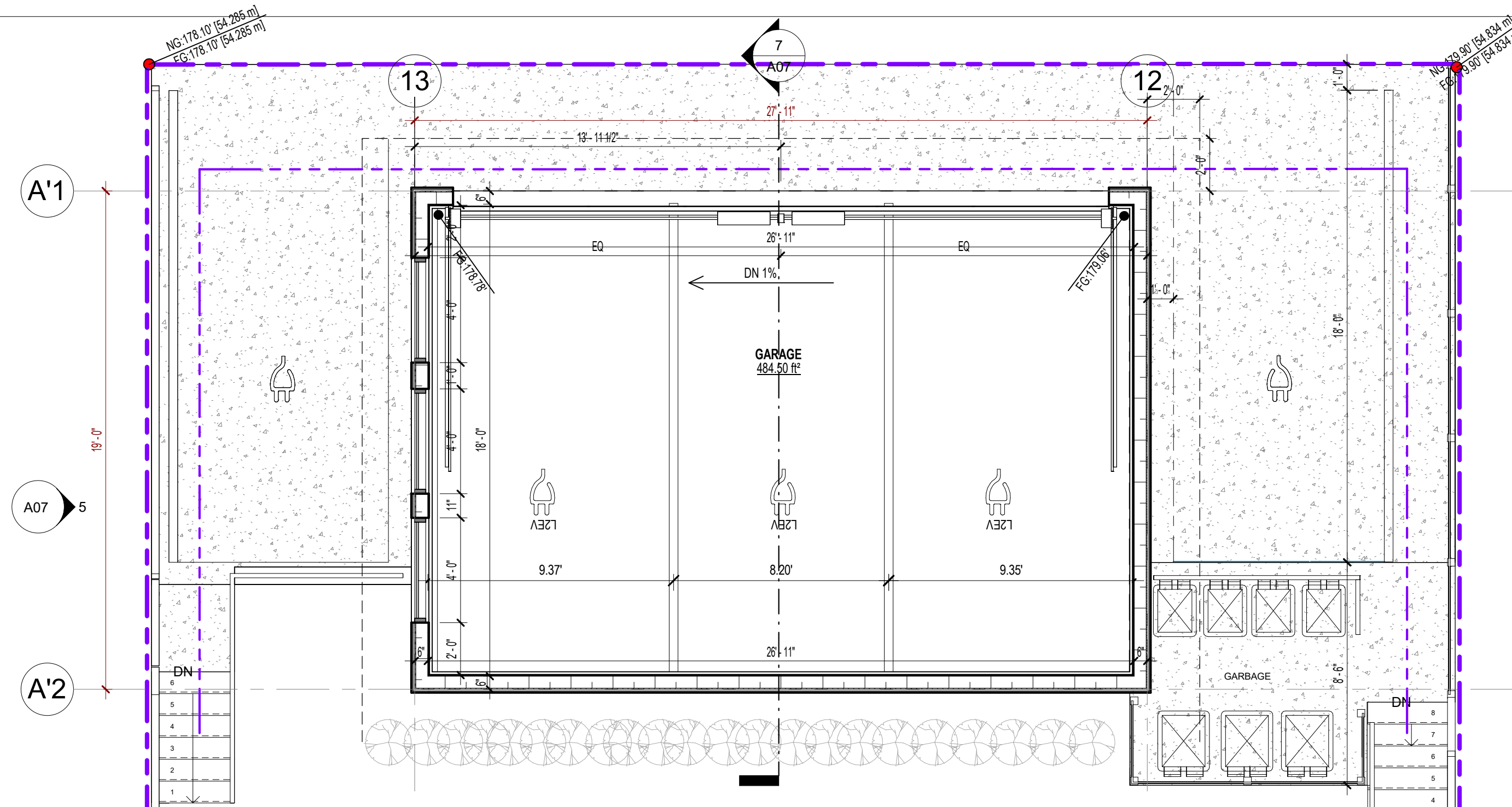
DRAWING TITLE

LOT COVERAGE

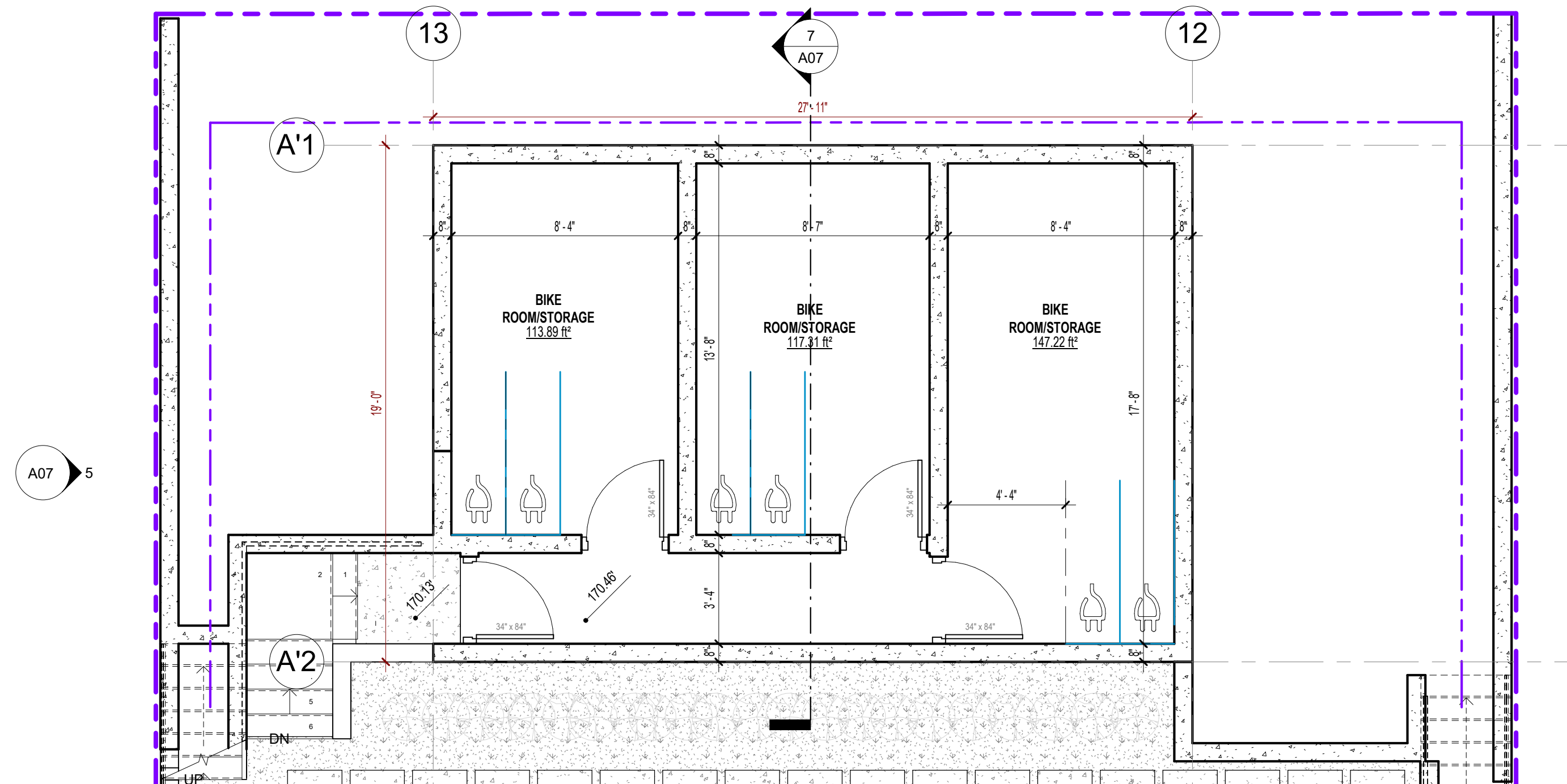
DRAWING ISSUE

ISSUED FOR PRE-DESIGN REZONING APPLICATION

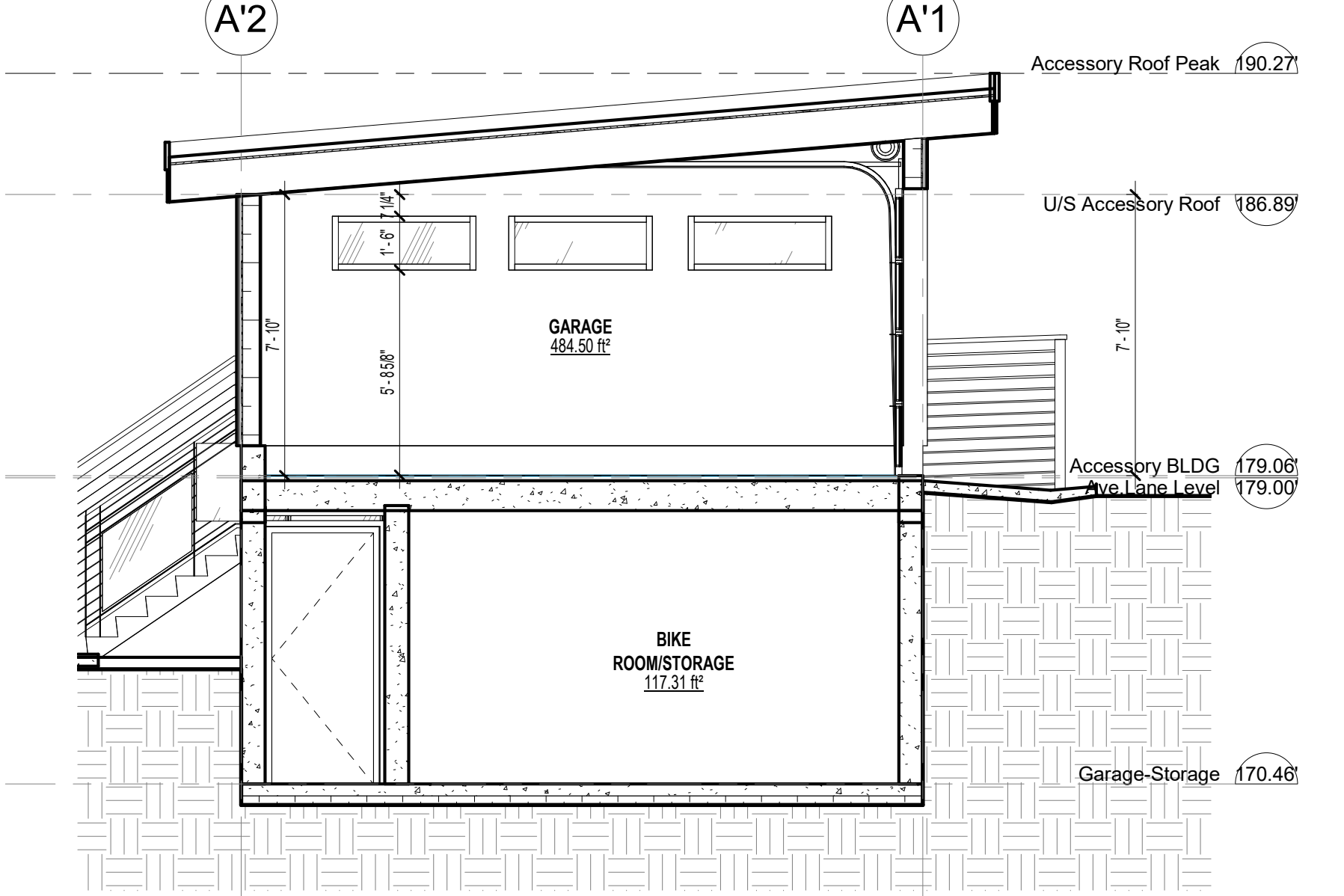
PROJECT NO.	PLOT DATE	AUG. 02, 2024	DRAWN	NM
21248	SCALE	As indicated	REVIEWED	AF
DRAWING NO.	A06			REVISION
				1



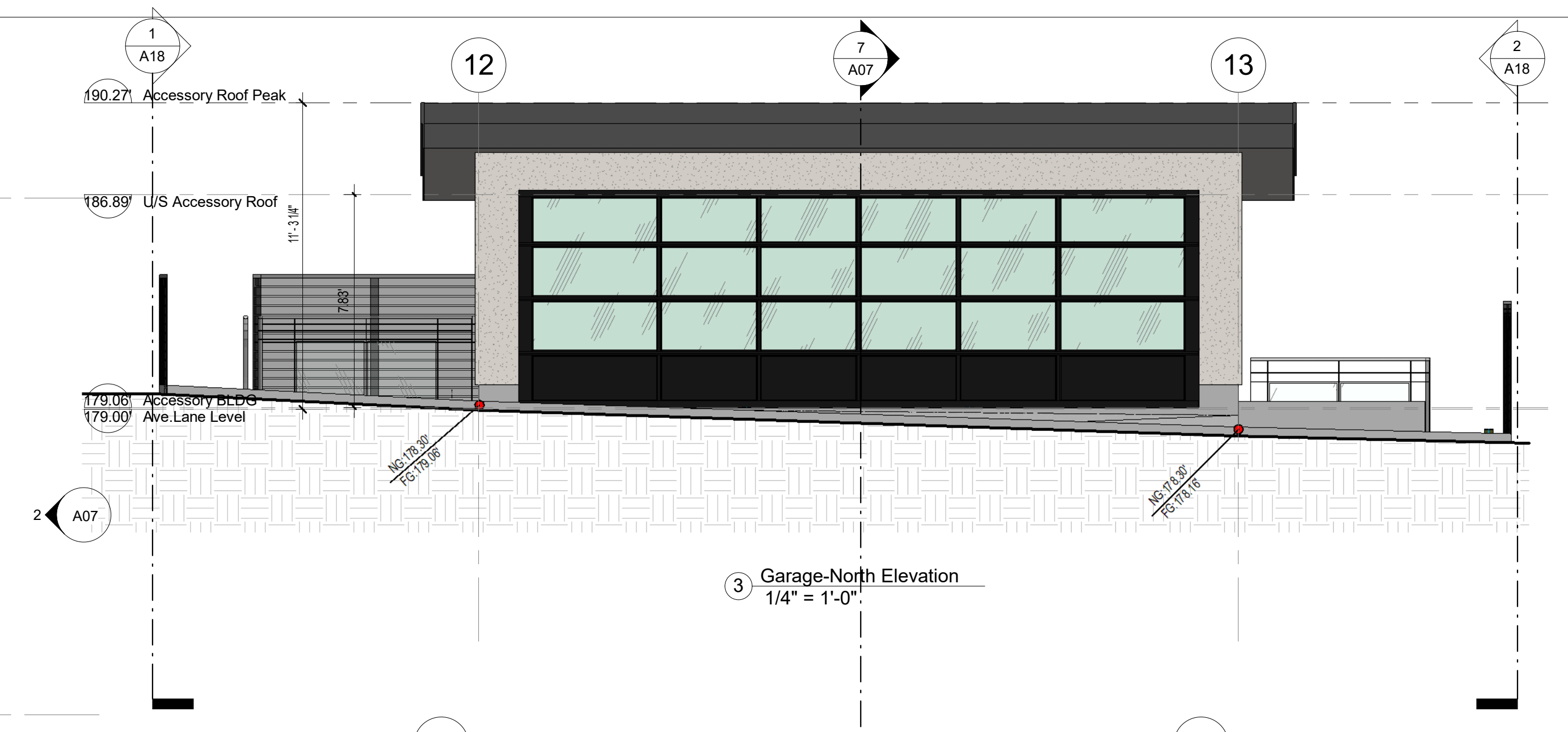
1 Accessory BLDG
1/4" = 1'-0"



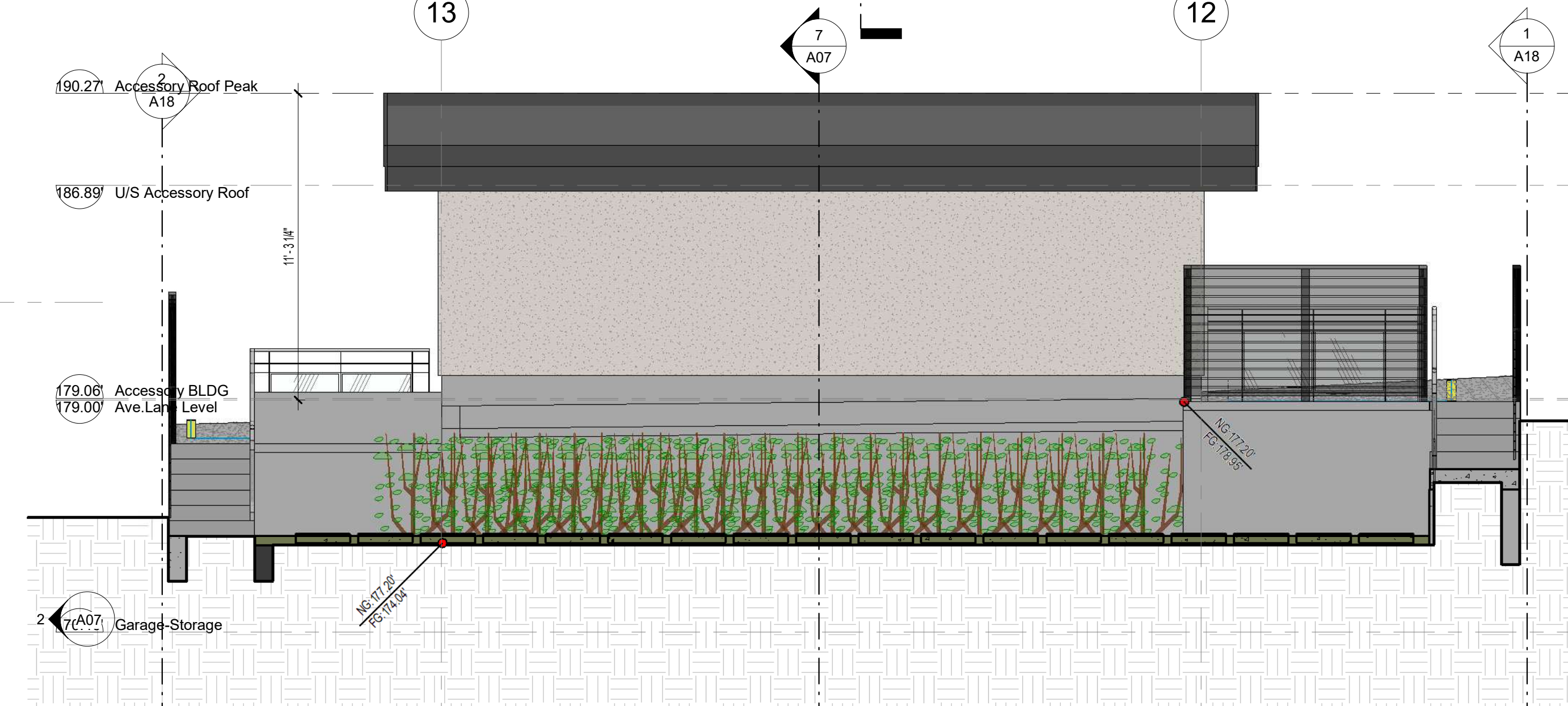
6 Garage-Storage
1/4" = 1'-0"



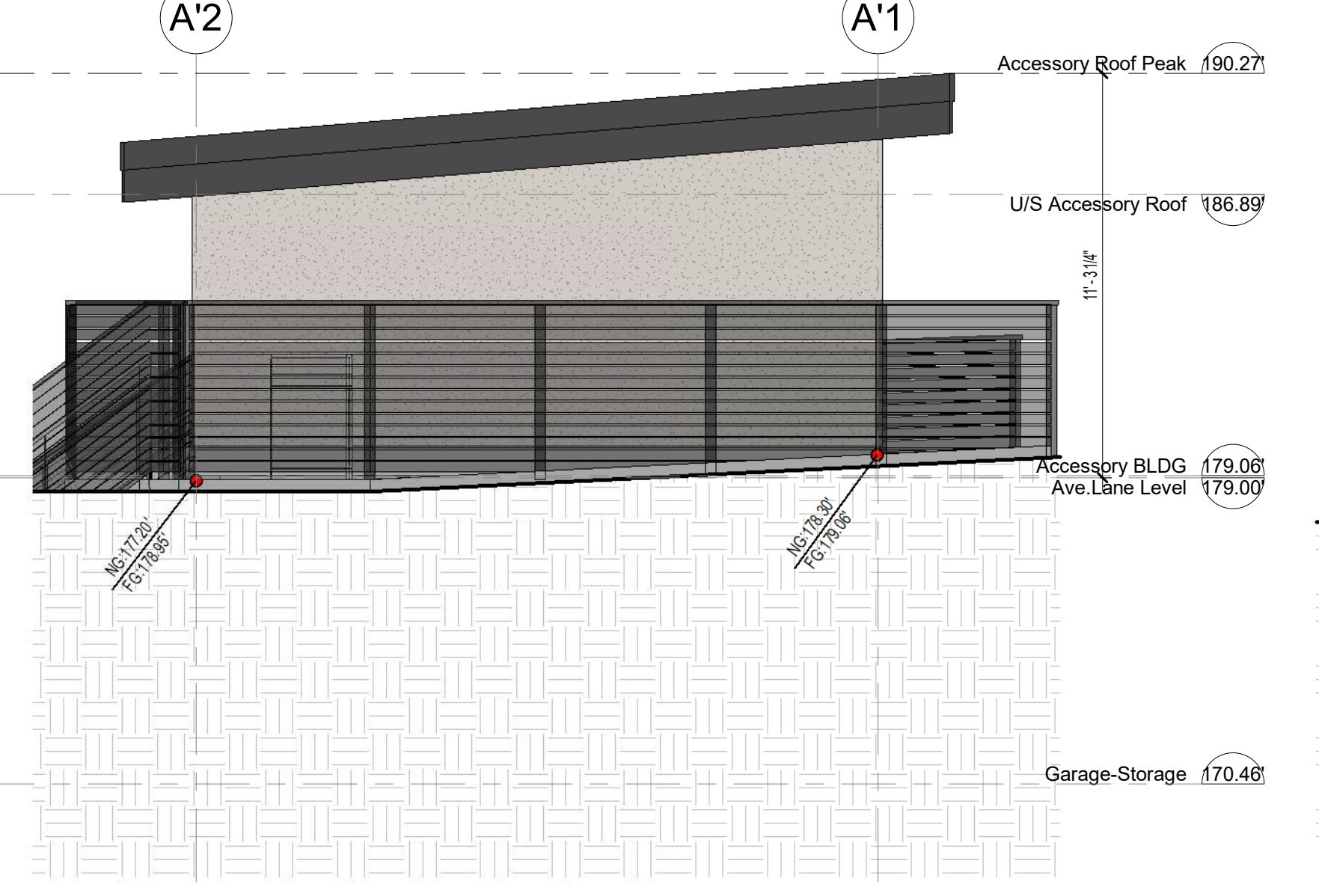
7 Accessory Building Section
1/4" = 1'-0"



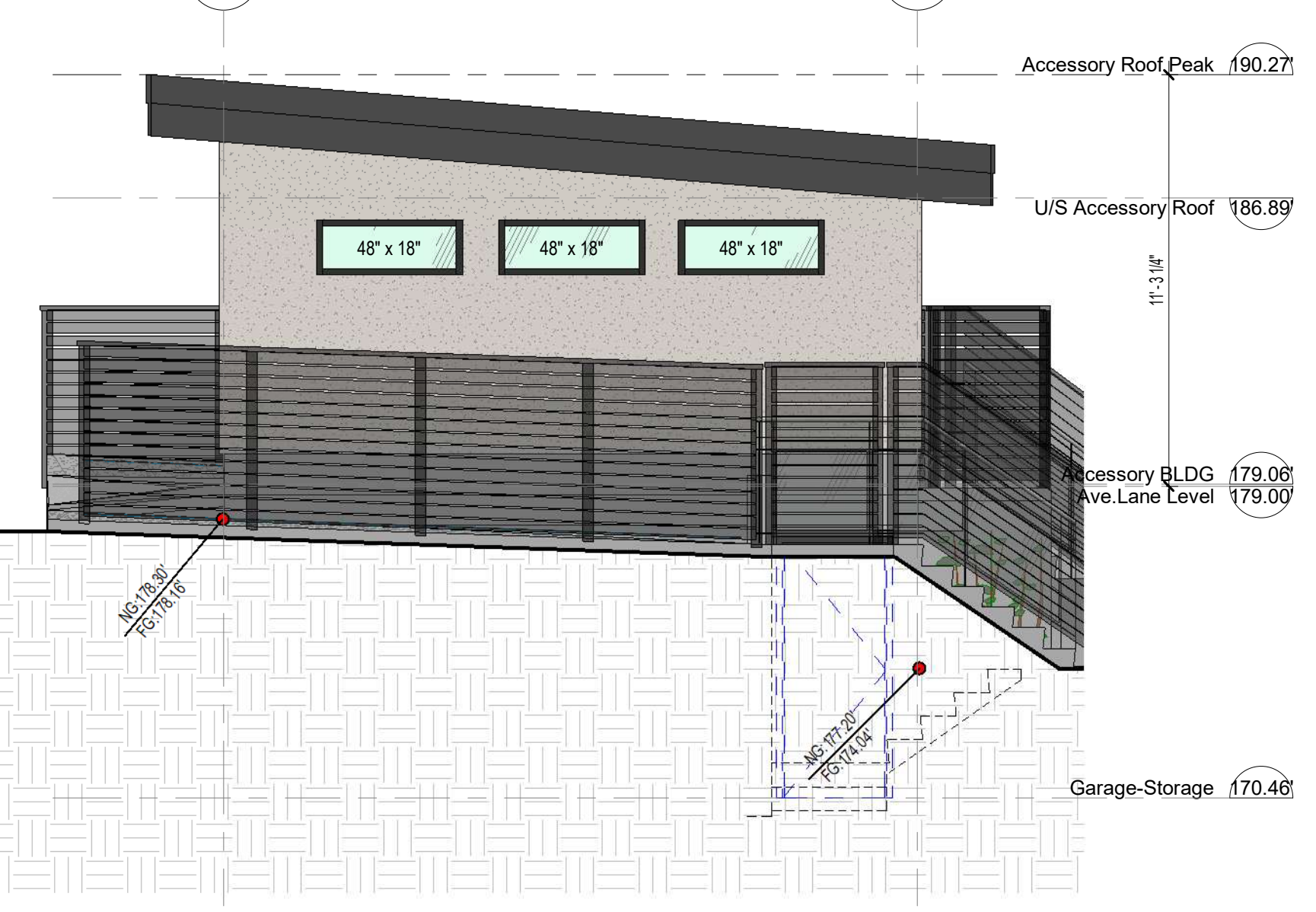
3 Garage-North Elevation
1/4" = 1'-0"



4 Garage-South Elevation
1/4" = 1'-0"



2 Garage-East Elevation
1/4" = 1'-0"



5 Garage-West Elevation
1/4" = 1'-0"

1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

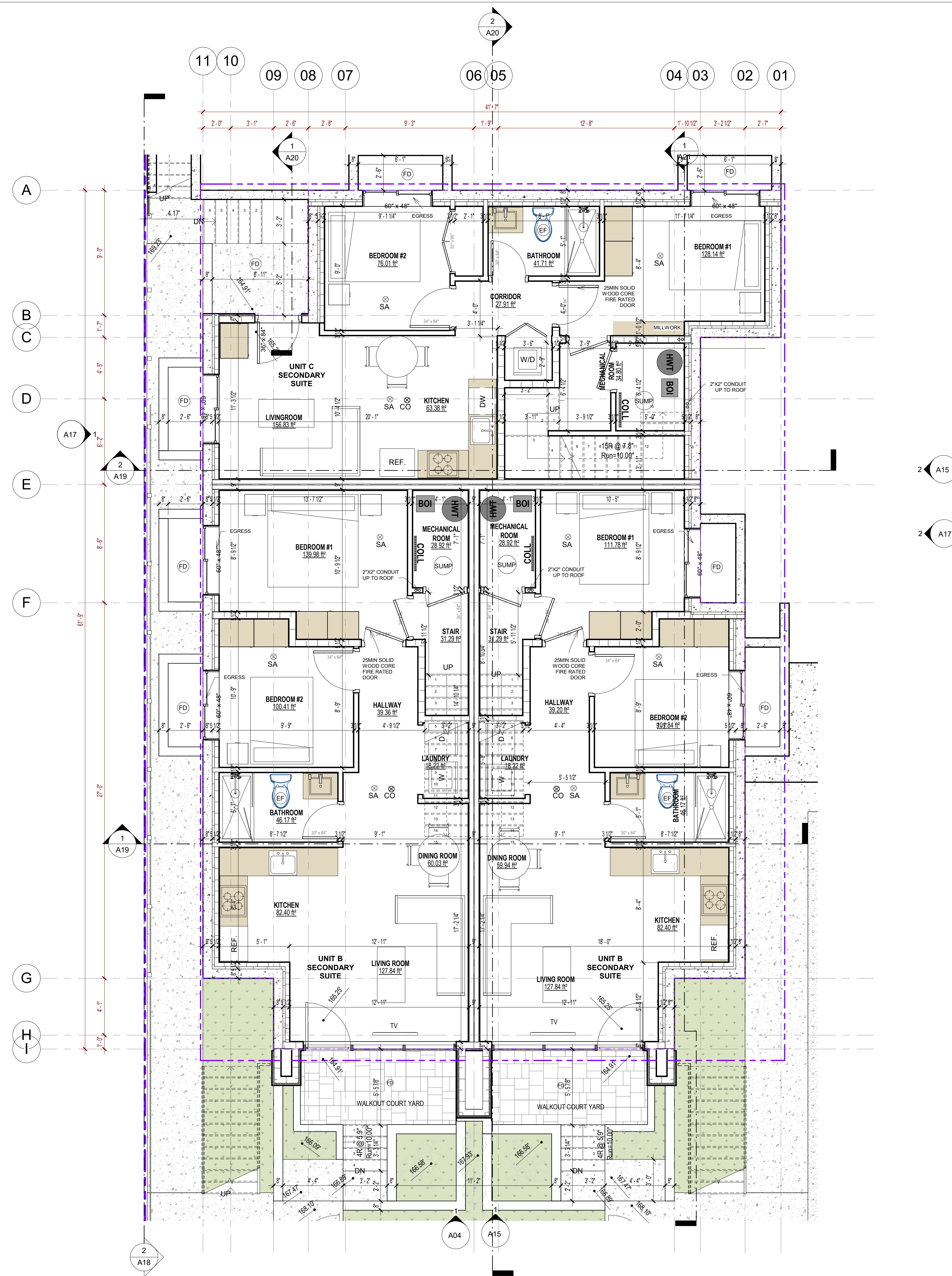
ACCESSORY BUILDING

DRAWING ISSUE

ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	AUG. 02, 2024	DRAWN	NM
21248	SCALE	1/4" = 1'-0"	REVIEWED	AF

DRAWING NO. **A07** REVISION **1**



1 00-BASEMENT
 1/4" = 1'-0"

REV.	DATE	DESCRIPTION	BY
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

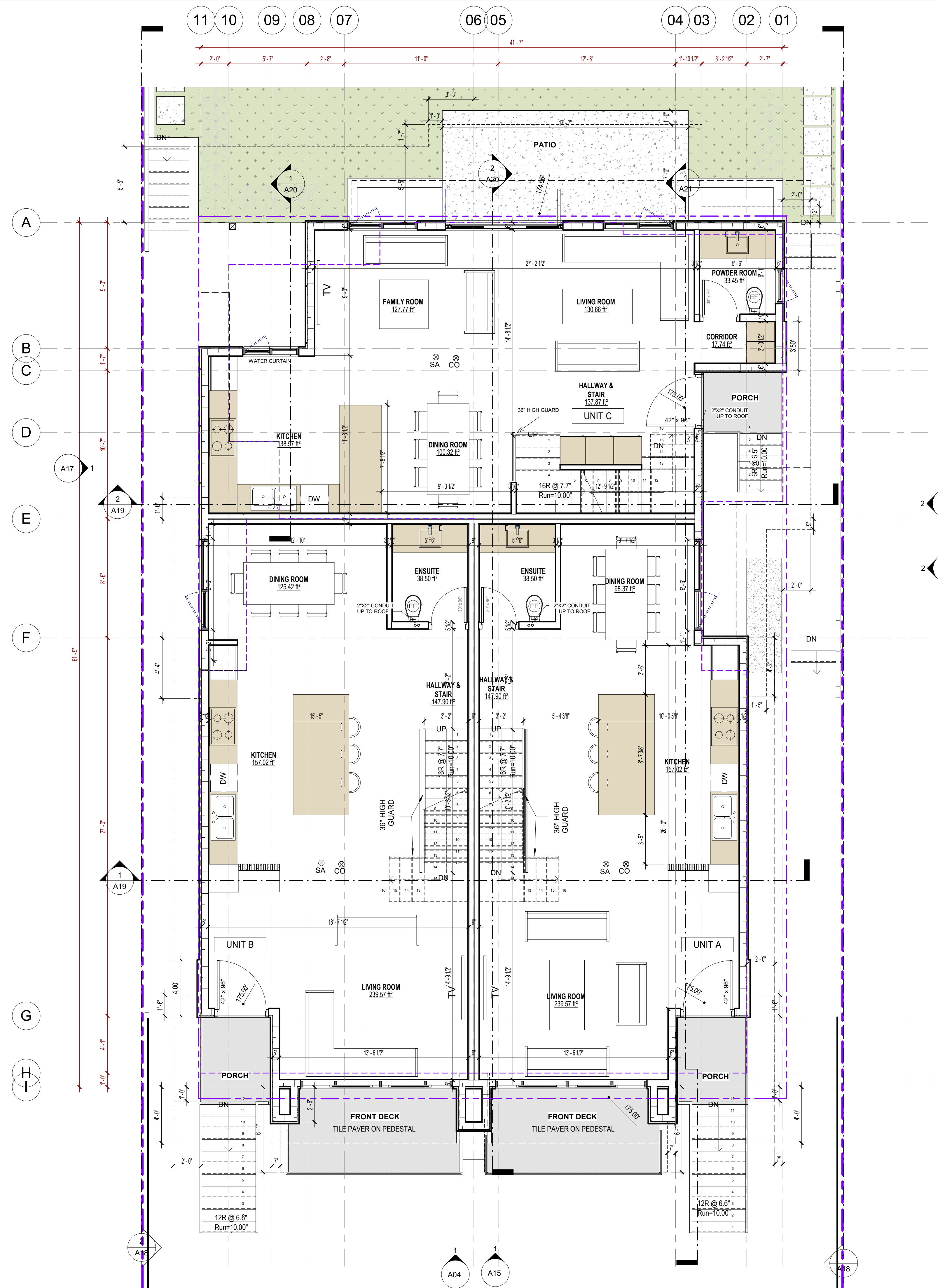
CONSULTANT	
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PROJECT
WEST 5TH TRIPLEX
 226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
BASEMENT FLOOR PLAN

DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	AUG. 02, 2024	DRAWN	NM
21248	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A08		REVISION	1



① 01-FIRST FLOOR
1/4" = 1'-0"

REV.	DATE	DESCRIPTION	BY
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

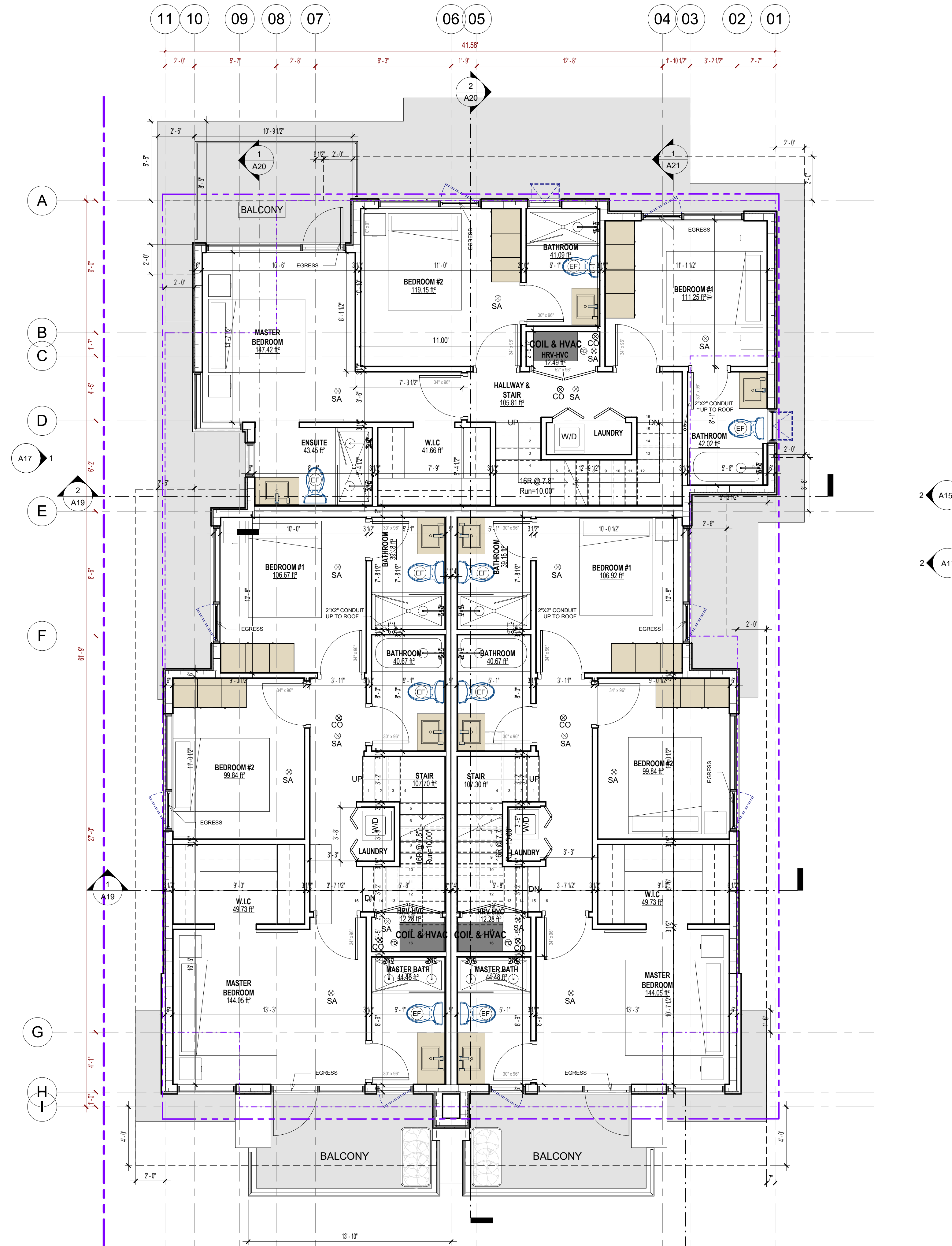
LEVEL 1 FLOOR PLAN

DRAWING ISSUE

ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024	REVIEWED	AF
DRAWING NO.	SCALE	1/4" = 1'-0"	REVISION
A09			1

02-SECOND FLOOR
1/4" = 1'-0"



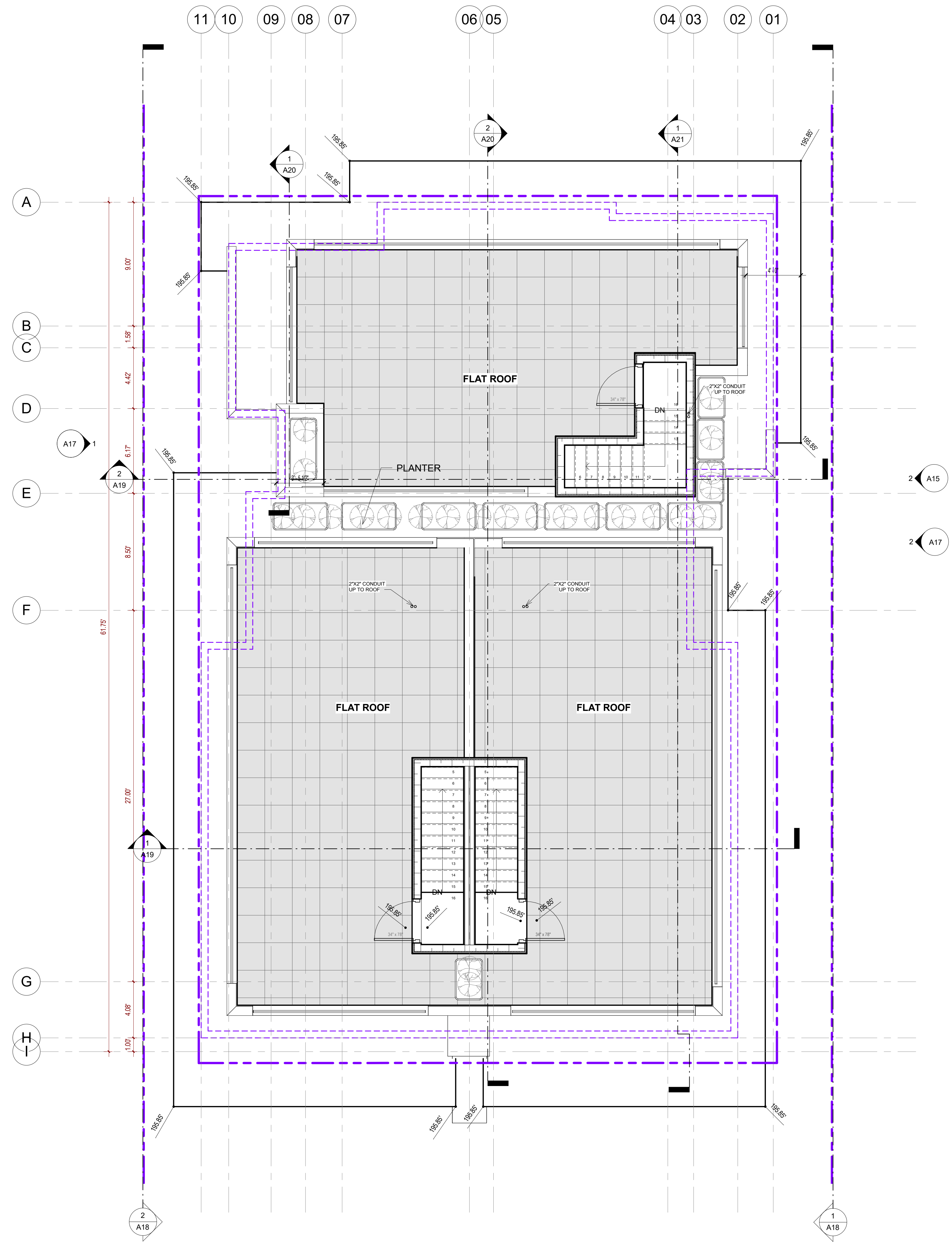
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
WEST 5TH TRIPLEX
226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
LEVEL 2 FLOOR PLAN

DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	AUG. 02, 2024	DRAWN	NM
21248	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A10		REVISION	1



1 U/S Roof
 1/4" = 1'-0"

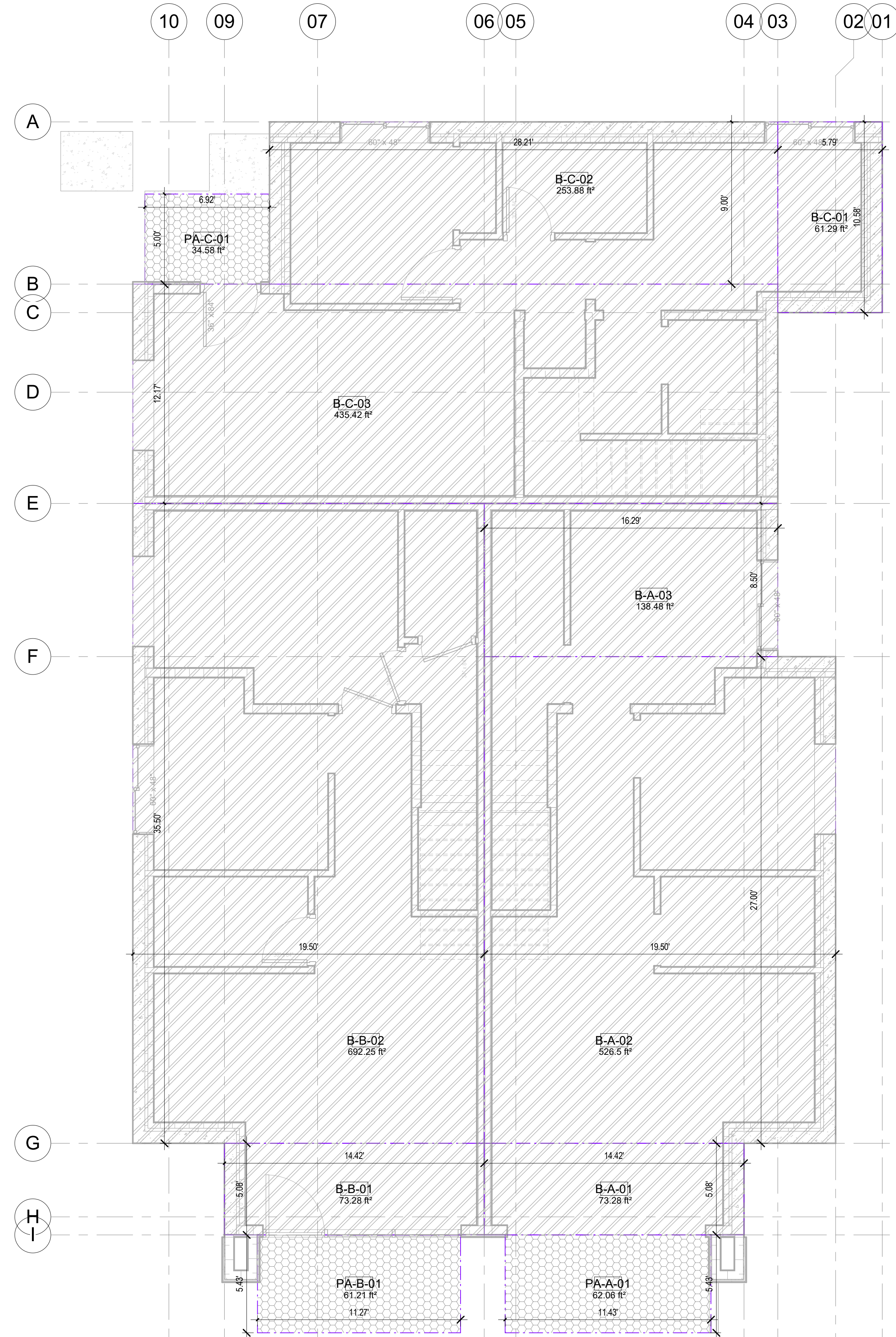
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
CONSULTANT			

PROJECT
WEST 5TH TRIPLEX
 226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
ROOF PLAN

DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A11	1/4" = 1'-0"	1	



1 BASEMENT AREA OVERLAY
1/4" = 1'-0"

AREA OVERLAY-GROSS FLOOR AREA (ABOVE GARDE)							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
LEVEL 1	F-A-02	19.50'	27.00'	526.50 ft ²	Above Grade	GFA	UNIT A
LEVEL 1	F-A-03	16.29'	8.50'	138.48 ft ²	Above Grade	GFA	UNIT A
LEVEL 1	F-A-01	14.42'	5.08'	73.28 ft ²	Above Grade	GFA	UNIT A
UNIT A: 3				738.26 ft ²			
LEVEL 1	F-B-01	14.42'	5.08'	73.28 ft ²	Above Grade	GFA	UNIT B
LEVEL 1	F-B-02	19.50'	35.50'	692.25 ft ²	Above Grade	GFA	UNIT B
UNIT B: 2				765.53 ft ²			
LEVEL 1	F-C-03	35.79'	12.17'	435.42 ft ²	Above Grade	GFA	UNIT C
LEVEL 1	F-C-02	28.21'	9.00'	253.88 ft ²	Above Grade	GFA	UNIT C
LEVEL 1	F-C-01	5.79'	10.58'	61.29 ft ²	Above Grade	GFA	UNIT C
UNIT C: 3				750.58 ft ²			
LEVEL 1: 8				2254.38 ft ²			
Accessory BLDG	G-01	27.92'	19.00'	530.42 ft ²	Above Grade	Exclusion	Accessory
Accessory BLDG	GA-01	7.88'	3.99'	31.42 ft ²	Above Grade	Exclusion	Accessory
Accessory BLDG	GA-02	8.55'	3.66'	31.27 ft ²	Above Grade	Exclusion	Accessory
Accessory: 3				593.10 ft ²			
Accessory BLDG: 3				593.10 ft ²			
LEVEL 2	S-A-02	16.29'	10.83'	176.49 ft ²	Above Grade	GFA	UNIT A
LEVEL 2	S-A-01	19.50'	28.75'	560.62 ft ²	Above Grade	GFA	UNIT A
UNIT A: 2				737.12 ft ²			
LEVEL 2	S-B-02	13.92'	10.83'	150.76 ft ²	Above Grade	GFA	UNIT B
LEVEL 2	S-B-03	2.33'	10.96'	25.57 ft ²	Above Grade	GFA	UNIT B
LEVEL 2	S-B-01	19.50'	28.75'	560.63 ft ²	Above Grade	GFA	UNIT B
UNIT B: 3				736.96 ft ²			
LEVEL 2	S-C-05	3.58'	12.62'	45.23 ft ²	Above Grade	GFA	UNIT C
LEVEL 2	S-C-04	7.21'	18.17'	130.94 ft ²	Above Grade	GFA	UNIT C
LEVEL 2	S-C-03	17.38'	21.17'	367.75 ft ²	Above Grade	GFA	UNIT C
LEVEL 2	S-C-01	5.79'	19.08'	110.52 ft ²	Above Grade	GFA	UNIT C
LEVEL 2	S-C-02	5.63'	20.33'	114.37 ft ²	Above Grade	GFA	UNIT C
UNIT C: 5				768.82 ft ²			
LEVEL 2: 10				2242.90 ft ²			
U/S Roof	RA-A-01	4.04'	14.00'	56.58 ft ²	Above Grade	Exclusion	UNIT A
U/S Roof	RD-A-01	17.25'	15.38'	265.22 ft ²	Above Grade	Exclusion	UNIT A
U/S Roof	RD-A-02	13.58'	14.00'	190.17 ft ²	Above Grade	Exclusion	UNIT A
U/S Roof	RD-A-03	17.63'	3.88'	68.30 ft ²	Above Grade	Exclusion	UNIT A
UNIT A: 4				580.27 ft ²			
U/S Roof	RA-B-01	4.04'	14.00'	56.58 ft ²	Above Grade	Exclusion	UNIT B
U/S Roof	RD-B-01	16.49'	15.38'	253.59 ft ²	Above Grade	Exclusion	UNIT B
U/S Roof	RD-B-02	12.83'	14.00'	179.67 ft ²	Above Grade	Exclusion	UNIT B
U/S Roof	RD-B-03	16.88'	3.88'	65.39 ft ²	Above Grade	Exclusion	UNIT B
UNIT B: 4				555.23 ft ²			
U/S Roof	RA-C-01	4.17'	10.23'	42.62 ft ²	Above Grade	Exclusion	UNIT C
U/S Roof	RA-C-02	5.75'	4.17'	23.96 ft ²	Above Grade	Exclusion	UNIT C
U/S Roof	RD-C-02	26.88'	7.60'	204.33 ft ²	Above Grade	Exclusion	UNIT C
U/S Roof	RD-C-03	22.71'	6.06'	137.52 ft ²	Above Grade	Exclusion	UNIT C
U/S Roof	RD-C-04	16.96'	3.55'	60.17 ft ²	Above Grade	Exclusion	UNIT C
U/S Roof	RD-C-01	3.17'	8.39'	26.58 ft ²	Above Grade	Exclusion	UNIT C
U/S Roof	RD-C-05	1.96'	11.16'	21.85 ft ²	Above Grade	Exclusion	UNIT C
UNIT C: 7				517.03 ft ²			
U/S Roof: 15				1652.52 ft ²			
Grand total: 36				6742.91 ft ²			

AREA OVERLAY-GROSS FLOOR AREA (BELOW GARDE & ACCESSORY)							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
BASEMENT	B-A-01	14.42'	5.08'	73.28 ft ²	Below Grade	Exclusion	UNIT A
BASEMENT	B-A-02	19.50'	27.00'	526.50 ft ²	Below Grade	Exclusion	UNIT A
BASEMENT	B-A-03	16.29'	8.50'	138.48 ft ²	Below Grade	Exclusion	UNIT A
UNIT A: 3				738.26 ft ²			
BASEMENT	B-B-01	14.42'	5.08'	73.28 ft ²	Below Grade	Exclusion	UNIT B
BASEMENT	B-B-02	19.50'	35.50'	692.25 ft ²	Below Grade	Exclusion	UNIT B
UNIT B: 2				765.53 ft ²			
BASEMENT	B-C-01	5.79'	10.58'	61.29 ft ²	Below Grade	Exclusion	UNIT C
BASEMENT	B-C-02	28.21'	9.00'	253.88 ft ²	Below Grade	Exclusion	UNIT C
BASEMENT	B-C-03	35.79'	12.17'	435.42 ft ²	Below Grade	Exclusion	UNIT C
UNIT C: 3				750.58 ft ²			
BASEMENT: 8				2,254.38 ft ²			
Garage-Storage	ST-01	27.92'	15.00'	418.75 ft ²	Below Grade	Exclusion	Accessory
Garage-Storage	ST-02	26.92'	4.00'	107.67 ft ²	Below Grade	Exclusion	Accessory
Accessory: 2				526.42 ft ²			
Garage-Storage: 2				526.42 ft ²			
Grand total: 10				2,780.80 ft ²			

AREA OVERLAY-VERANDA & BALCONIES							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
BASEMENT	PA-A-01	11.43'	5.43'	62.06 ft ²	Patio	Exclusion	UNIT A
UNIT A: 1				62.06 ft ²			
BASEMENT	PA-B-01	11.27'	5.43'	61.21 ft ²	Patio	Exclusion	UNIT B
UNIT B: 1				61.21 ft ²			
BASEMENT	PA-C-01	6.92'	5.00'	34.58 ft ²	Patio	Exclusion	UNIT C
UNIT C: 1				34.58 ft ²			
BASEMENT: 3				157.85 ft ²			
LEVEL 1	D-A-01	11.46'	2.50'	28.64 ft ²	Covered Deck	Exclusion	UNIT A
LEVEL 1	D-A-02	12.13'	1.50'	18.19 ft ²	Covered Deck	Exclusion	UNIT A
LEVEL 1	D-A-03	12.48'	2.08'	26.00 ft ²	Covered Deck	Exclusion	UNIT A
LEVEL 1	P-A-01	5.08'	6.33'	32.19 ft ²	Porch	Exclusion	UNIT A
UNIT A: 4				105.02 ft ²			
LEVEL 1		11.46'	2.50'	28.64 ft ²	Covered Deck	Exclusion	UNIT B
LEVEL 1	D-B-02	12.13'	1.50'	18.19 ft ²	Covered Deck	Exclusion	UNIT B
LEVEL 1	D-B-03	12.48'	2.08'	26.00 ft ²	Covered Deck	Exclusion	UNIT B
LEVEL 1	P-B-01	5.08'	6.33'	32.19 ft ²	Porch	Exclusion	UNIT B
UNIT B: 4				105.02 ft ²			
LEVEL 1	P-C-01	5.79'	4.50'	26.06 ft ²	Porch	Exclusion	UNIT C
LEVEL 1	PA-C-01	17.58'	8.00'	140.67 ft ²	Patio	Exclusion	UNIT C
UNIT C: 2				166.73 ft ²			
LEVEL 1: 10				376.77 ft ²			
LEVEL 2	BA-A-01	1.25'	3.58'	4.48 ft ²	Balcony	Exclusion	UNIT A
LEVEL 2	BA-A-02	11.81'	3.79'	44.78 ft ²	Balcony	Exclusion	UNIT A
LEVEL 2	BA-A-03	11.46'	3.29'	37.71 ft ²	Balcony	Exclusion	UNIT A
UNIT A: 3				86.98 ft ²			
LEVEL 2	BA-B-01	1.25'	3.58'	4.48 ft ²	Balcony	Exclusion	UNIT B
LEVEL 2	BA-B-02	11.81'	3.79'	44.78 ft ²	Balcony	Exclusion	UNIT B
LEVEL 2	BA-B-03	11.46'	3.29'	37.71 ft ²	Balcony	Exclusion	UNIT B
UNIT B: 3				86.98 ft ²			
LEVEL 2	BA-C-01	11.13'	4.00'	44.50 ft ²	Balcony	Exclusion	UNIT C
LEVEL 2	BA-C-02	10.79'	3.00'	32.38 ft ²	Balcony	Exclusion	UNIT C
UNIT C: 2				76.88 ft ²			
LEVEL 2: 8				250.83 ft ²			
Grand total: 21				785.45 ft ²			

REV.	DATE	DESCRIPTION	BY
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

BASEMENT AREA OVERLAY AND SCHEDULES

DRAWING ISSUE

ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024		
DRAWING NO.	SCALE	REVIEWED	AF
	1/4" = 1'-0"		

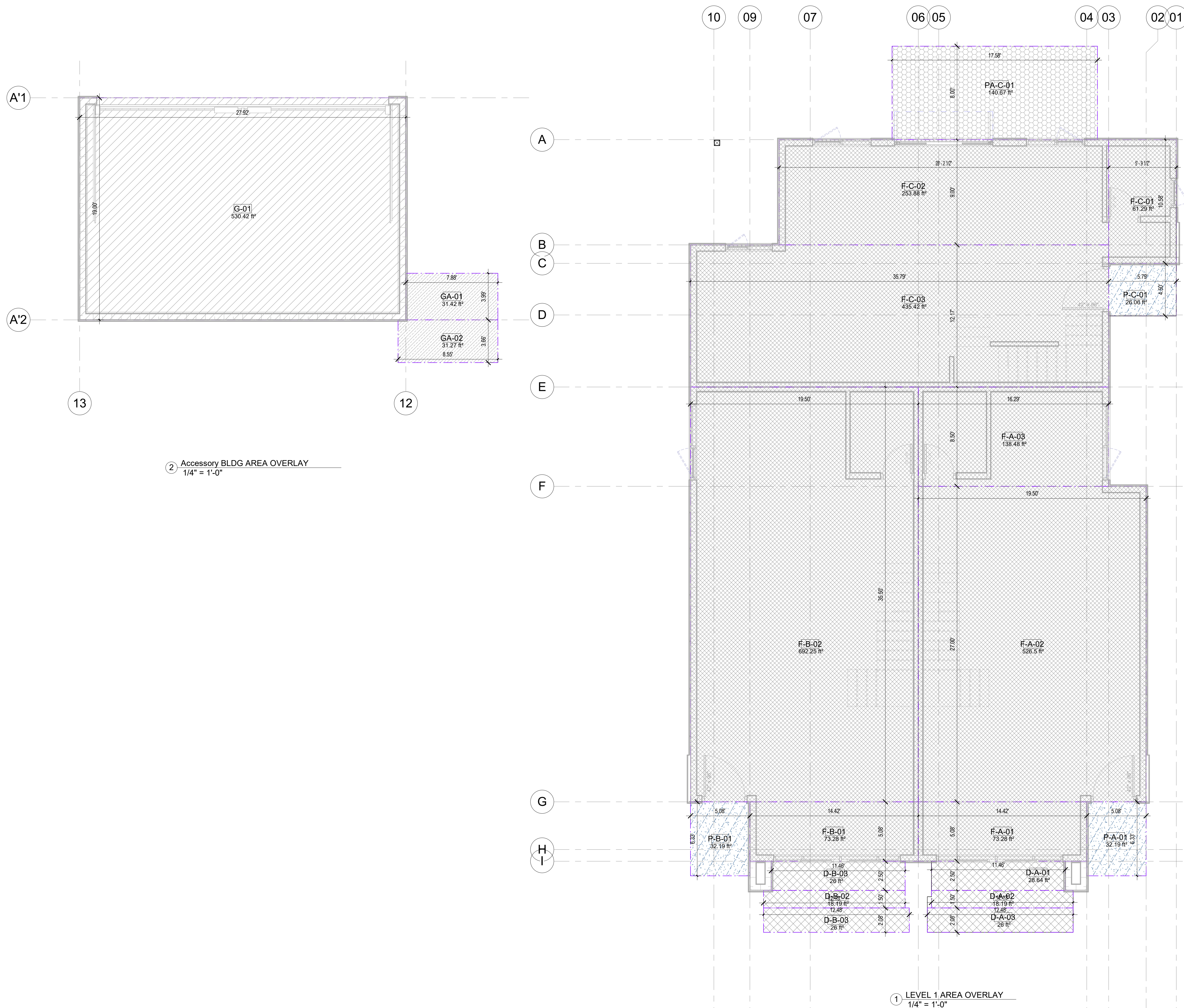
A12

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② Accessory BLDG AREA OVERLAY
1/4" = 1'-0"

① LEVEL 1 AREA OVERLAY
1/4" = 1'-0"

1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
CONSULTANT			

PROJECT
WEST 5TH TRIPLEX
226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
LEVEL 1 AREA OVERLAY

DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
	1/4" = 1'-0"		

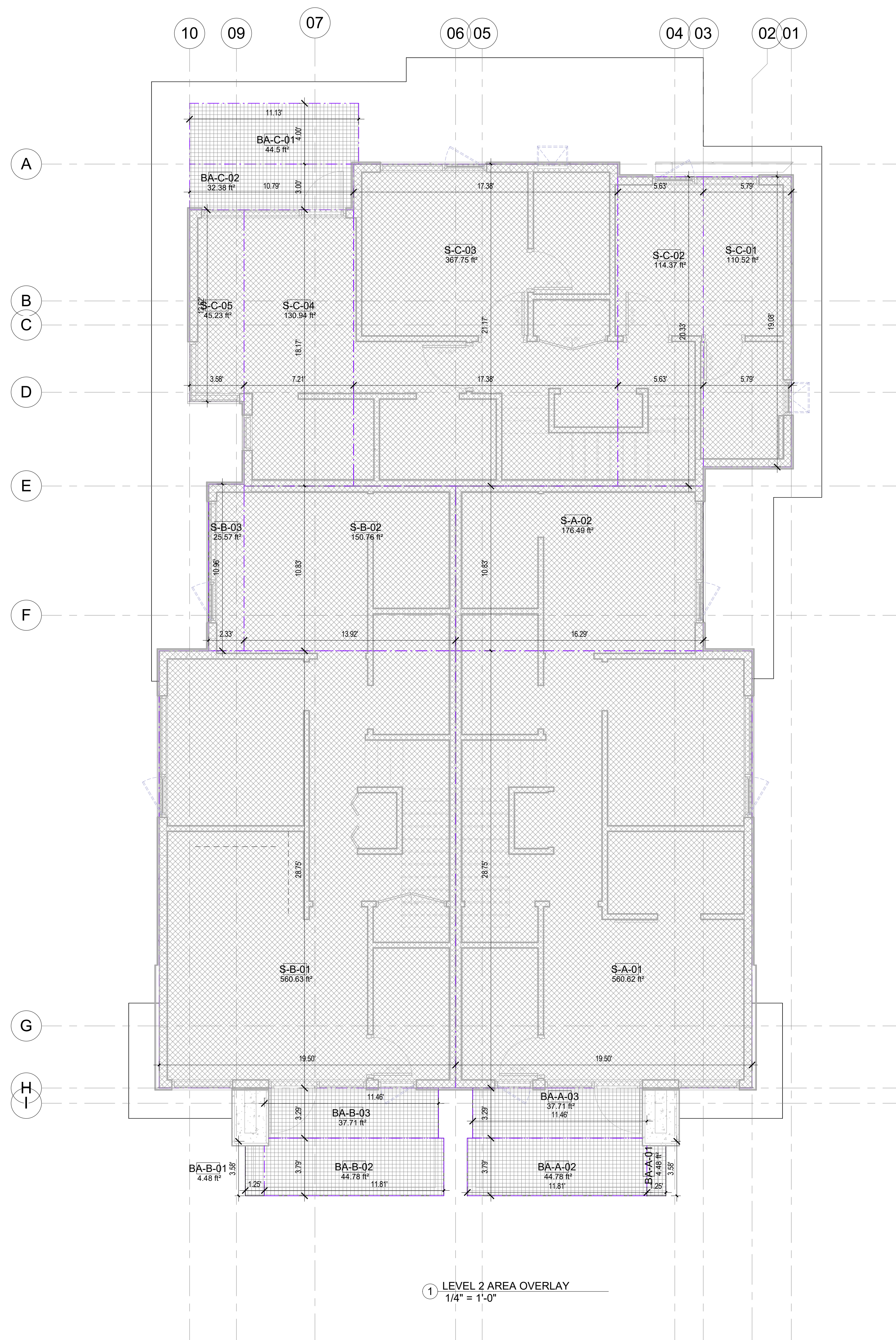
A13

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REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

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PROJECT
WEST 5TH TRIPLEX
 226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
LEVEL 2 AREA OVERLAY

DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024		
DRAWING NO.	SCALE	REVIEWED	AF
A14	1/4" = 1'-0"		

REVISION
1

SPATIAL SEPARATION SCHEDULE BLDG A SPRINKLERED BUILDING: YES

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FAÇADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	834.67	77.54	52.47	15.99	304.98	28.33	834.67	77.54	100.00%	36.54%
SOUTH	1029.70	95.66	55.82	17.01	533.15	49.53	1029.70	95.66	100.00%	51.78%

SPATIAL SEPARATION SCHEDULE

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FAÇADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST	1434.01	133.22	4.26	1.30	23.00	2.14	165.00	15.33	14.00%	13.94%
EAST (B)	1434.01	133.22	10.05	3.06	122.20	11.35	610.00	56.67	20.25%	20.03%
EAST (C)	1434.01	133.22	6.85	9.60	61.28	5.69	659.01	61.22	75.20%	9.30%
WEST	1503.98	139.72	4.17	1.27	207.65	19.29	1503.98	139.72	14.00%	13.81%
WEST (B)	1503.98	139.72	9.76	2.97	14.00	1.30	1503.98	139.72	19.90%	0.93%

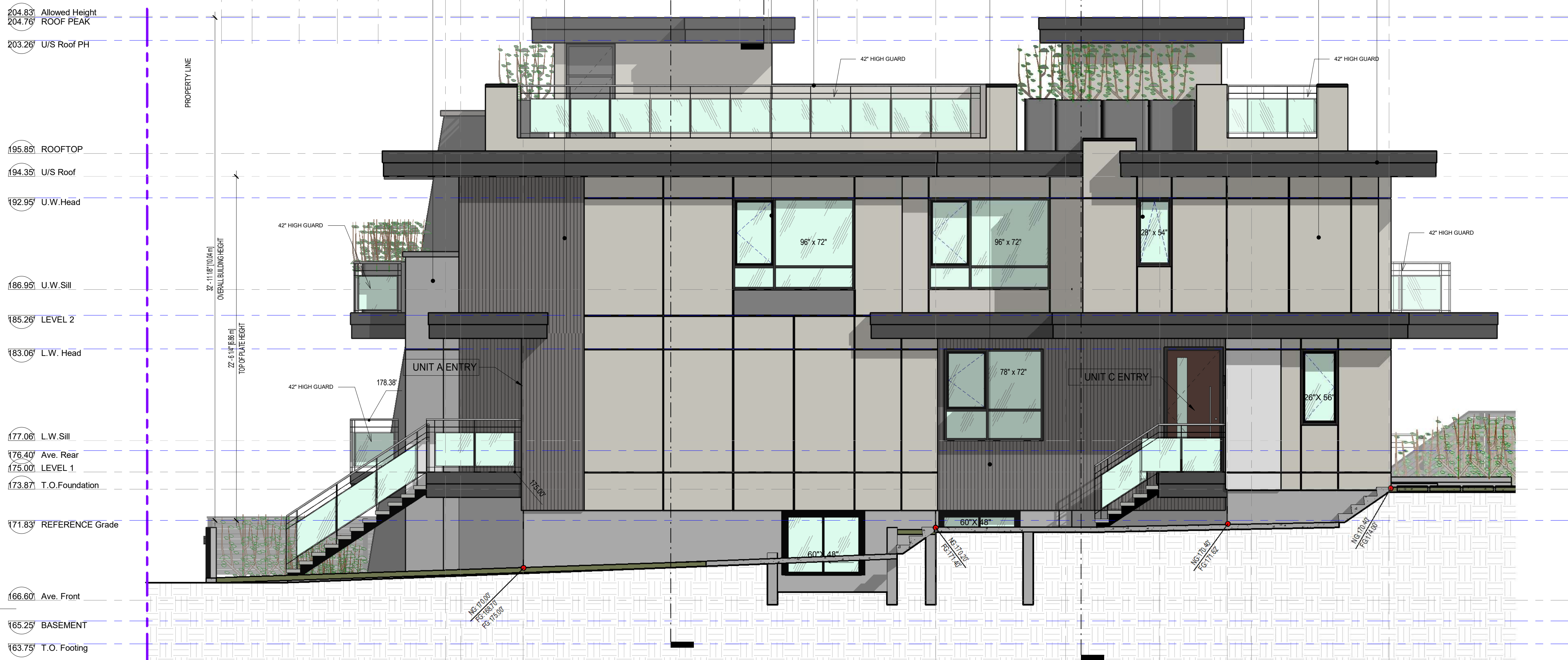
9.10.14.5.11) PROJECTION OF SOFFITS:
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

MATERIAL LEGEND

ITEM	Material Description	COLOUR
01	HARDI PANEL WITH COLOR PLUS TECHNOLOGY	RUSTIC ROAD
02	TRESPA PURA SIDINGS	MYSTIC CEDAR-PU24 VERTICAL
03	HARDIE PANEL-SMOOTH CLASSIC SHADE	IRON GRAY
04	DOUBLE GLAZED GLASS PANEL	CLEAR
05	WINDOW VINYL	BEIGE
06	CAST-IN -PLACE CONCRETE	ORIGINAL COLOUR
07	1X10 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED
10	HARDIE PANEL SMOOTH CLASSIC SHADES	ARCTIC WHITE
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN



1 South Elevation
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"

NO.	DATE	DESCRIPTION	BY
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

ELEVATIONS - SOUTH & WEST

DRAWING ISSUE

ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024	REVIEWED	AF
DRAWING NO.	SCALE	1/4" = 1'-0"	REVISION
A15			1



SPATIAL SEPARATION SCHEDULE BLDG A SPRINKLERED BUILDING: YES

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	834.67	77.54	52.47	15.99	304.98	28.33	834.67	77.54	100.00%	36.54%
SOUTH	1029.70	95.66	55.82	17.01	533.15	49.53	1029.70	95.66	100.00%	51.78%

SPATIAL SEPARATION SCHEDULE

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST	1434.01	133.22	4.26	1.30	23.00	2.14	165.00	15.33	14.00%	13.94%
EAST (B)	1434.01	133.22	10.05	3.06	122.20	11.35	610.00	56.67	20.25%	20.03%
EAST (C)	1434.01	133.22	6.85	9.60	61.28	5.69	659.01	61.22	75.20%	9.30%
WEST	1503.98	139.72	4.17	1.27	207.65	19.29	1503.98	139.72	14.00%	13.81%
WEST (B)	1503.98	139.72	9.76	2.97	14.00	1.30	1503.98	139.72	19.90%	0.93%

9.10.14.5.11) PROJECTION OF SOFFITS:
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

MATERIAL LEGEND

ITEM	Material Description	COLOUR
01	HARDI PANEL WITH COLOR PLUS TECHNOLOGY	RUSTIC ROAD
02	TRESPA PURA SIDINGS	MYSTIC CEDAR-PU24 VERTICAL
03	HARDIE PANEL-SMOOTH CLASSIC SHADE	IRON GRAY
04	DOUBLE GLAZED GLASS PANEL	CLEAR
05	WINDOW VINYL	BEIGE
06	CAST-IN -PLACE CONCRETE	ORIGINAL COLOUR
07	1X10 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED
10	HARDIE PANEL SMOOTH CLASSIC SHADES	ARCTIC WHITE
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN

NO.	DATE	DESCRIPTION	BY
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

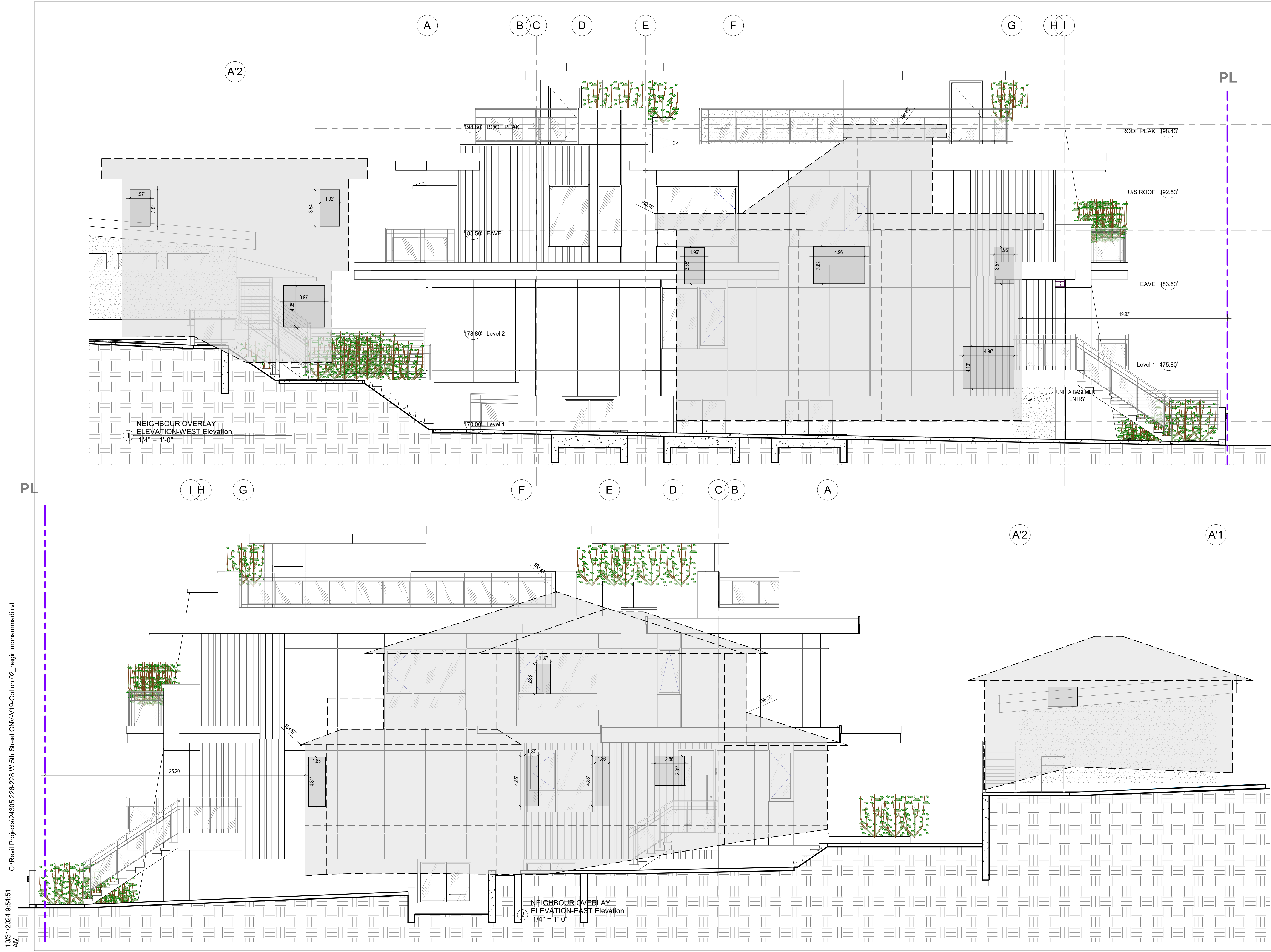
DRAWING TITLE

ELEVATIONS - NORTH & EAST

DRAWING ISSUE

ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A16	1/4" = 1'-0"		1



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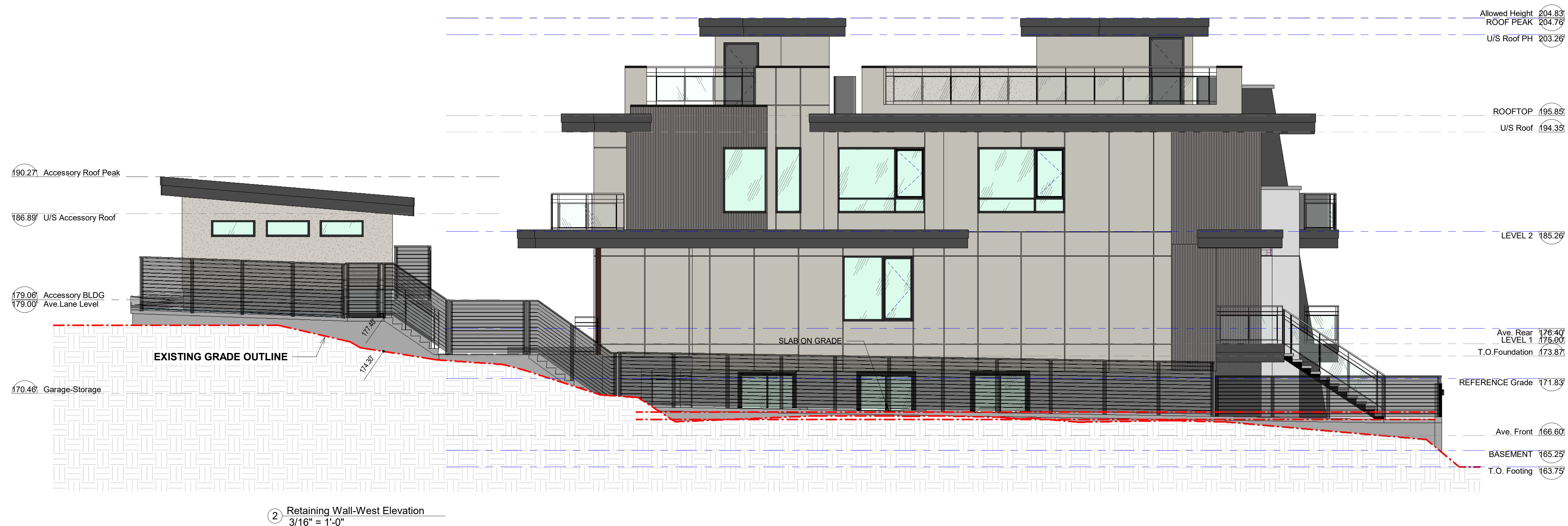
REV.	DATE	DESCRIPTION	BY
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
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PROJECT
WEST 5TH TRIPLEX
226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
**ELEVATIONS - EAST & WEST
 NEIGHBOUR OVERLAY**

DRAWING ISSUE
**ISSUED FOR PRE-DESIGN
 REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024		
SCALE	REVIEWED	AF	
1/4" = 1'-0"			
DRAWING NO.	REVISION		1
A17			



REV.	DATE	DESCRIPTION	BY
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

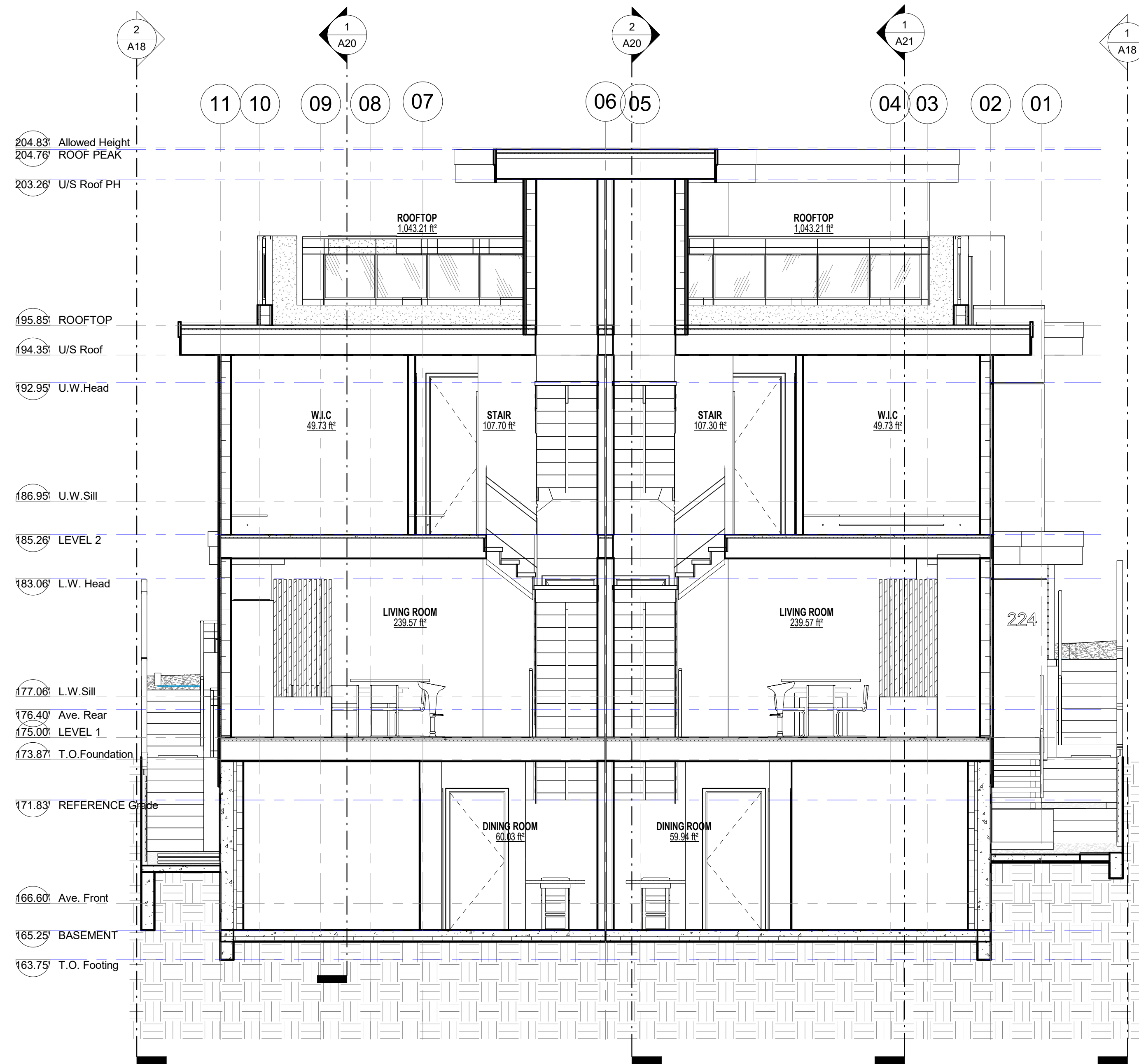
ELEVATION - RETAINING WALLS

DRAWING ISSUE

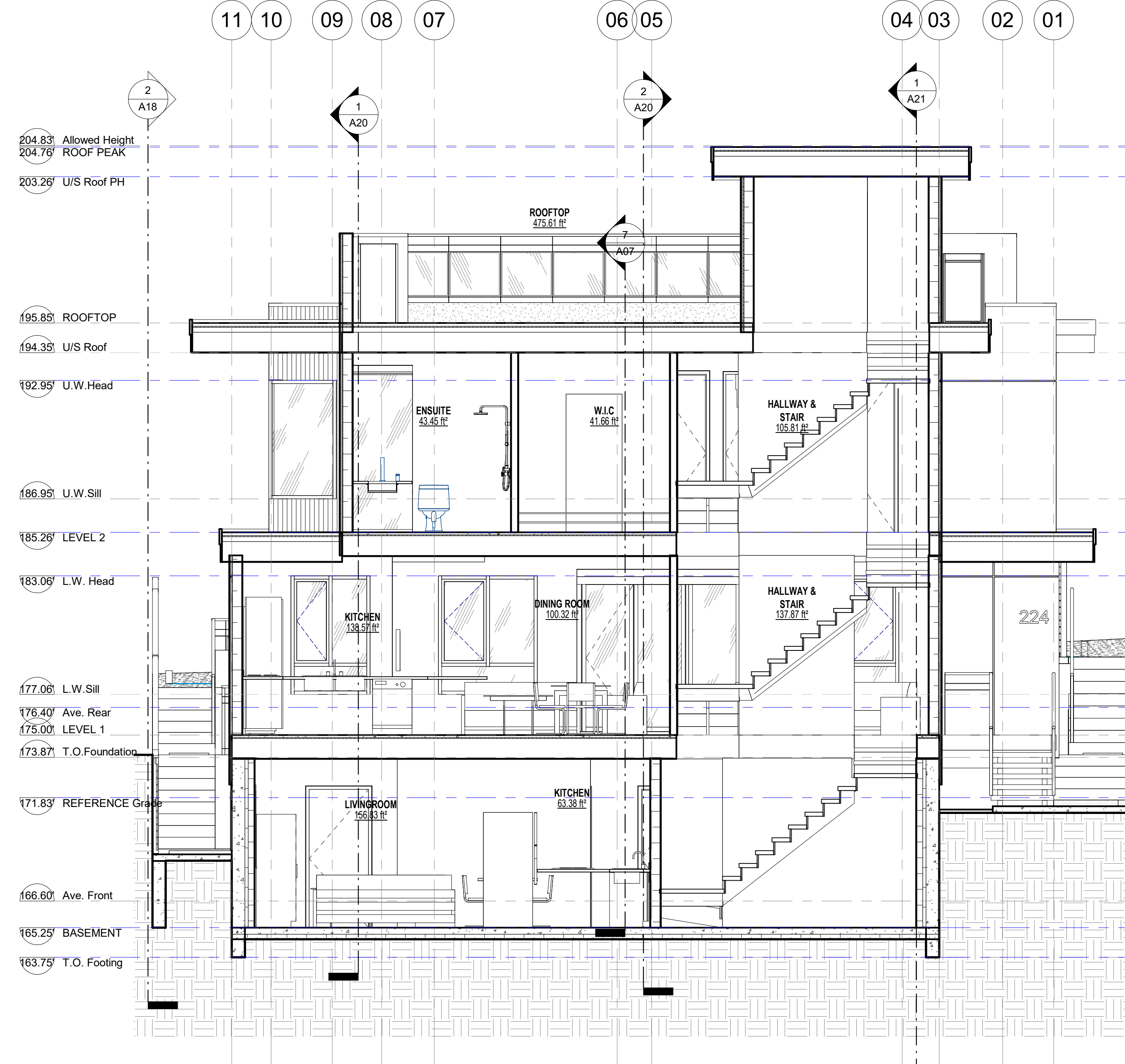
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
21248	AUG. 02, 2024	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
	3/16" = 1'-0"	A18	1

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1 Section A-A
1/4" = 1'-0"



2 Section D-D
1/4" = 1'-0"

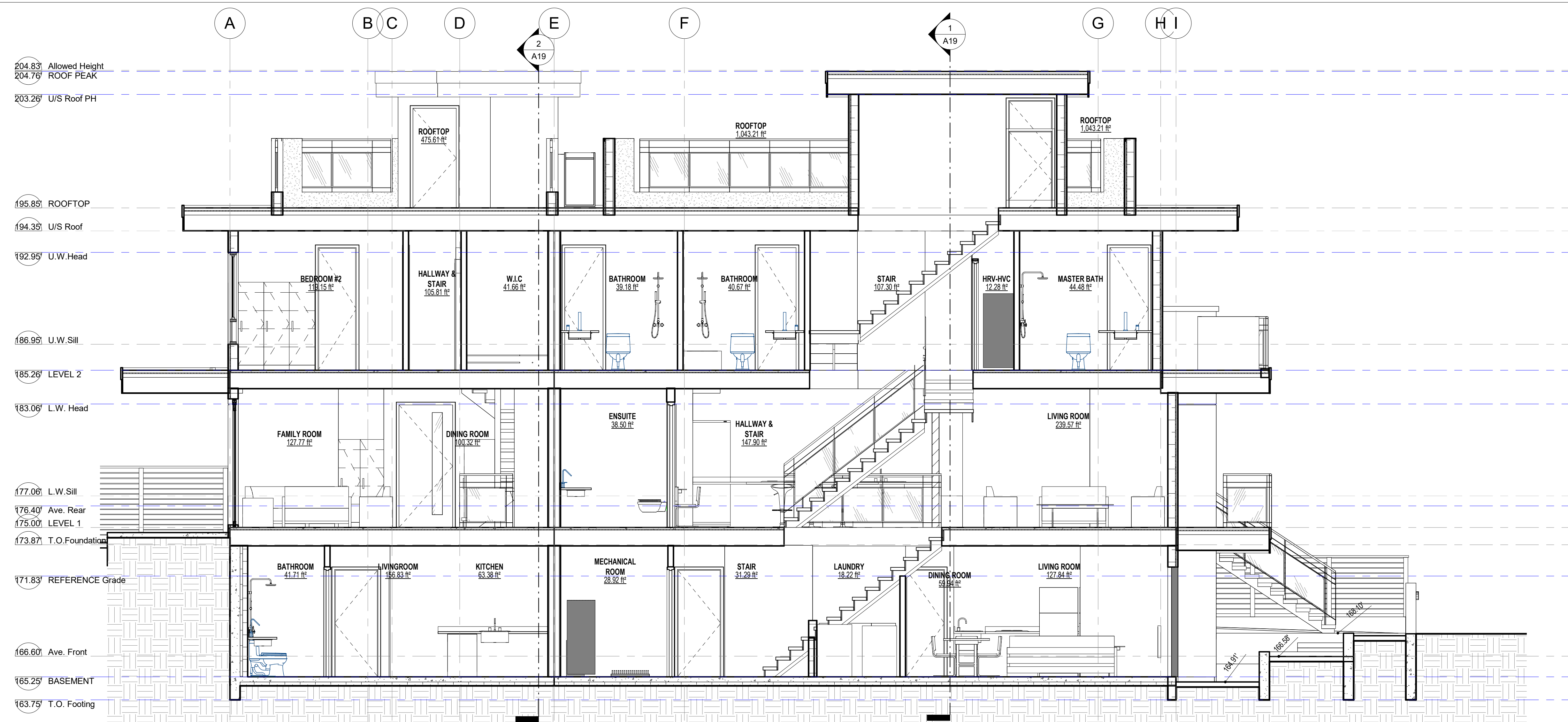
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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WEST 5TH TRIPLEX
226-228 W. 5TH ST, NORTH VANCOUVER

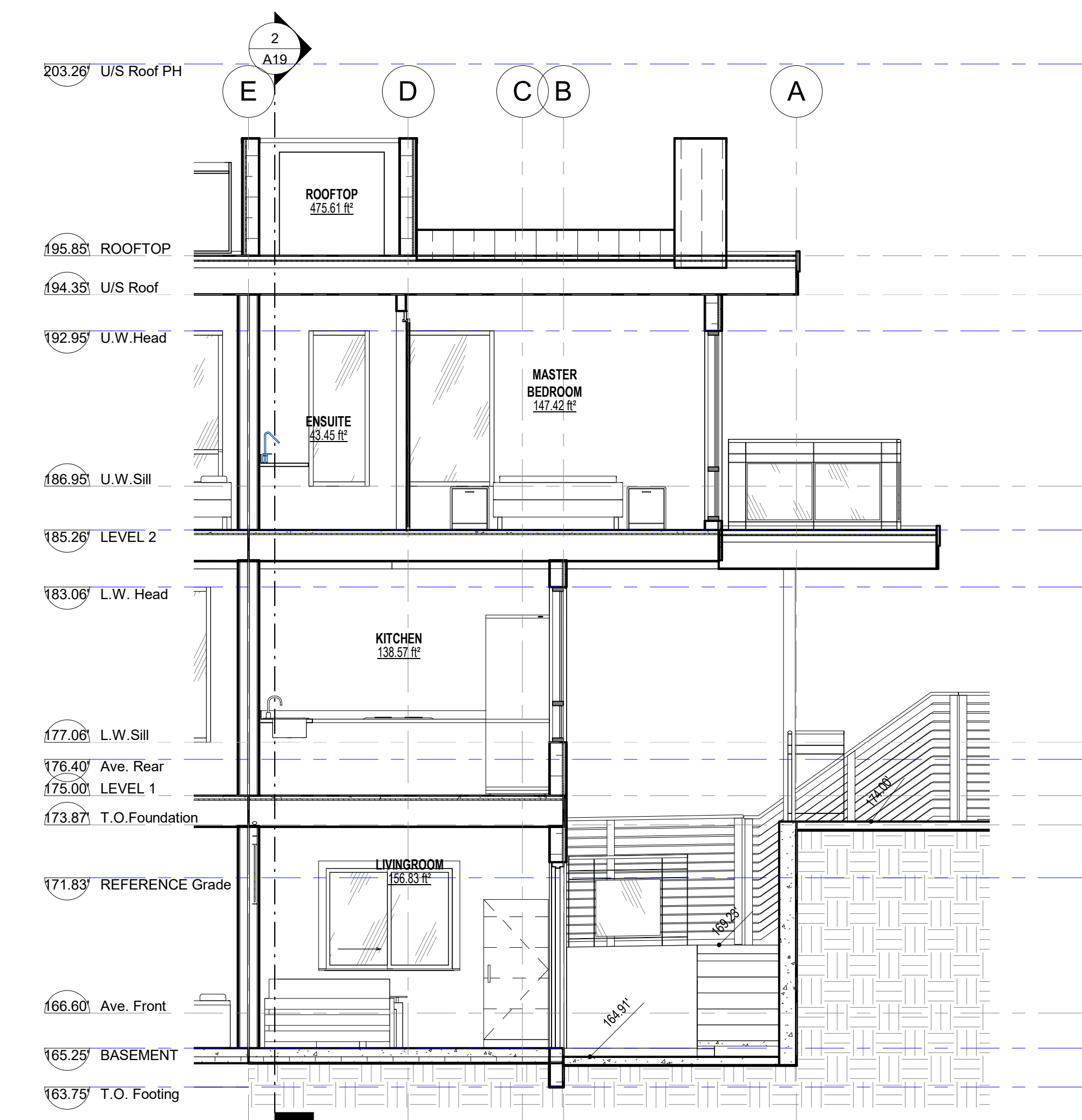
DRAWING TITLE
BUILDING SECTIONS

DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	AUG. 02, 2024	DRAWN	NM
21248	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A19		REVISION	1



2 Section C-C
1/4" = 1'-0"



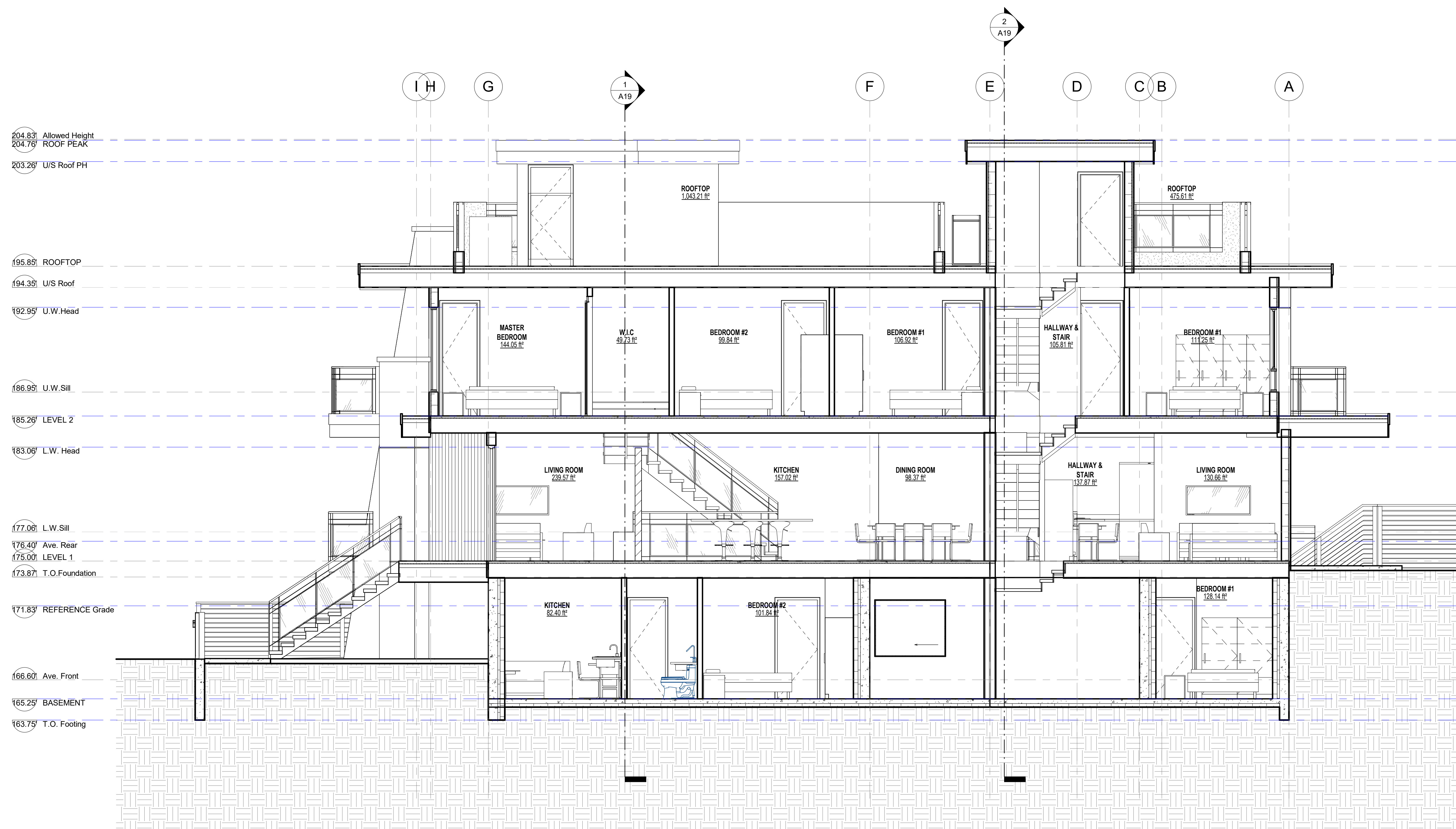
1 Section B-B
1/4" = 1'-0"

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PROJECT
WEST 5TH TRIPLEX
226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE
BUILDING SECTIONS
DRAWING ISSUE
ISSUED FOR PRE-DESIGN REZONING APPLICATION

PROJECT NO.	PLOT DATE	DRAWN	NM
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DRAWING NO.	SCALE	REVISION	
A20	1/4" = 1'-0"		1



1 Section E-E
1/4" = 1'-0"

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WEST 5TH TRIPLEX
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DRAWING TITLE
BUILDING SECTIONS

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A21	1/4" = 1'-0"	1	

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4 3D View- SW



3 3D View- SE



1 3D View- NE



2 3D View- NW

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AXONOMETRIC 3D VIEWS

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SCALE		REVIEWED	AF	REVISION	1
DRAWING NO.	A22				

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WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

FRONT 3D VIEW

DRAWING ISSUE

PROJECT NO. 21248	PLOT DATE AUG. 02, 2024	DRAWN Author
DRAWING NO. A23	SCALE	REVIEWED Checker
		REVISION