

Issues No.	Description	Date
A	Issued for Re-Zoning/DP	2022/04/08



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Client:



Project Title:

229 W 15th Street, CNV

Drawing Title:

Landscape Plan

Project North: Drawn By:

AT  
Checked By: MP

Scale: Job No.:

1:75 22-021

Sheet No.:



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**KEY LEGEND:**

	Hydrapressed Slab Paver (Pedestrian)
	Paver 12" x 6" (Pedestrian)
	VS-5 Series Paver 12" x 12" (Vehicle)
	Artificial Turf
	Concrete Planter Wall
	Concrete Stairs
	Concrete Wheel Stop
	Custom Steel Wall Mounted Plant Trellis
	Custom Planter
	Trellis



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Client:



Project Title:  
**229 W 15th Street, CNV**

Drawing Title:  
**Landscape Key Plan**

Project North:	Drawn By:	AT
	Checked By:	MP
Scale:	Job No.:	22-021
		1:75
Sheet No.:		

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Client:



Project Title:

229 W 15th Street, CNV

Drawing Title:

Landscape Key Plan  
Roof Level

Project North: Drawn By:

AT

Checked By:

MP

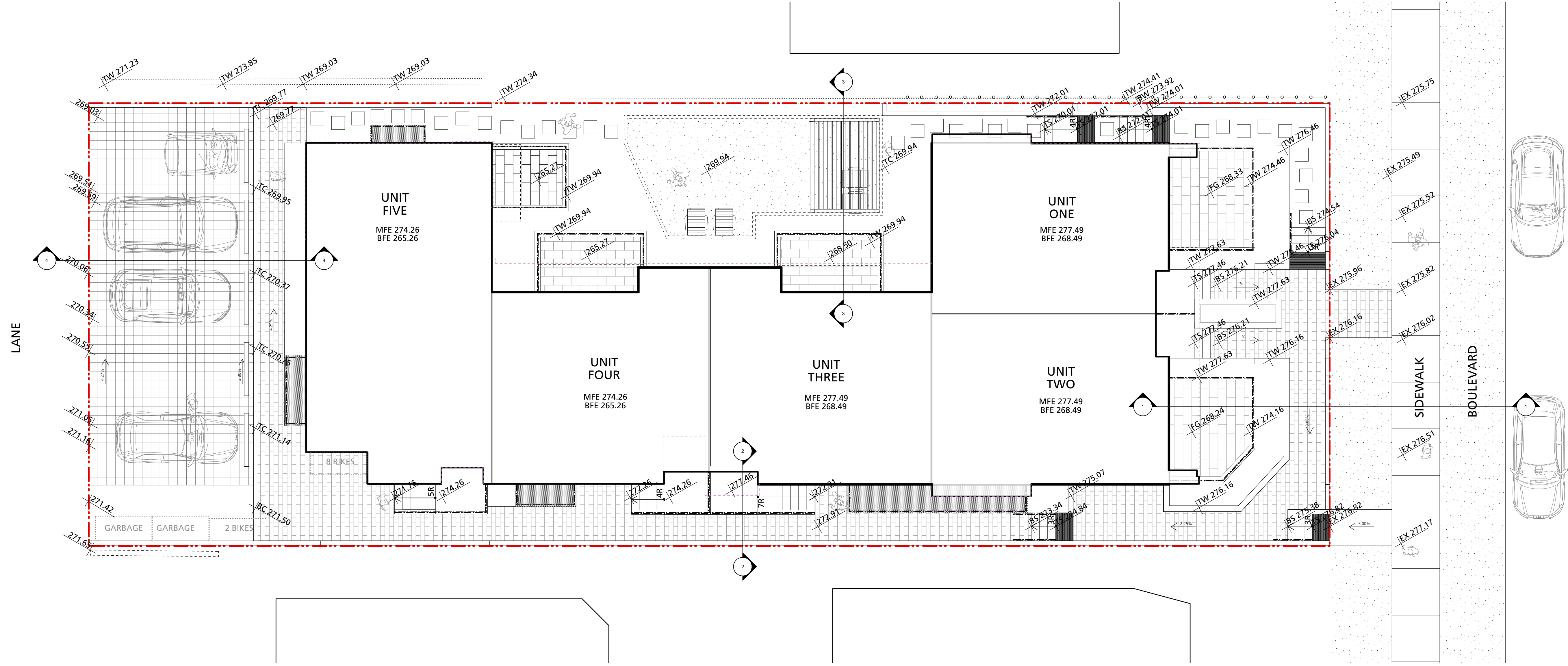
Scale: Job No.:

1:75 22-021

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Client:



Project Title:  
229 W 15th Street, CNV

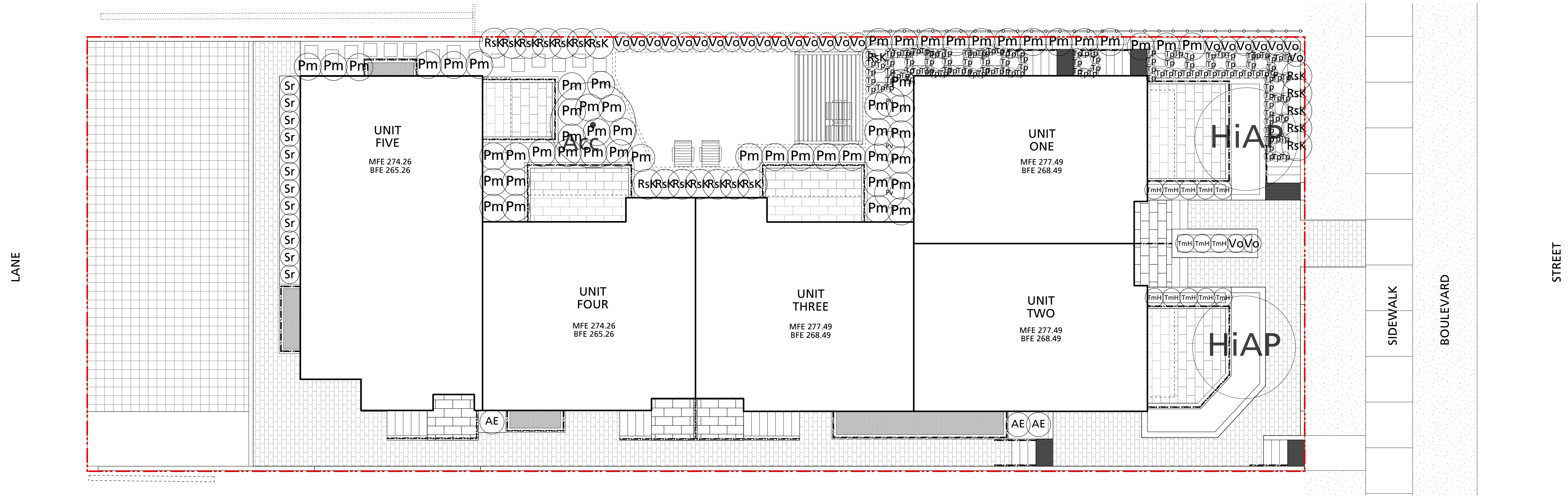
Drawing Title:  
Grading Plan

Project North:	Drawn By:	AT
	Checked By:	MP
Scale:	Job No.:	22-021
Sheet No.:		

Issues	No.	Description	Date
A	1	Issued for Re-Zoning/DP	2022/04/08

ID	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Plant List</b>					
<b>Trees</b>					
Acc	1	<i>Acer circinatum</i>	Vine Maple	2.5m ht., B&B, max. 3 stems	*native *habitat
<b>Shrubs</b>					
AE	3	<i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia	#2 pot	
BmW	30	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	#2 pot	
HiAP	2	<i>Hamamelis x intermedia 'Arnold Promise'</i>	Witch Hazel	#5 pot	
Pv	3	<i>Philadelphus x virginalis</i>	Mock Orange	#5 pot	
RsK	20	<i>Ribes sanguineum 'King Edward VII'</i>	Flowering Currant	#5 pot	
Sr	12	<i>Sarcococca ruscifolia</i>	Fragrant Sarcococca	#3 pot	
TmH	35	<i>Taxus x media 'Hicksii' (male form)</i>	Hicksii Yew (male form)	4' ht	Hedge
Vo	25	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#2 pot	
<b>Groundcovers, Vines, Ferns, Perennials and Grasses</b>					
Cm	4	<i>Clematis montana</i>	Anemone Clematis	#2 pot	
P	145	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 pot	Groundcover
Pm	54	<i>Polystichum munitum</i>	Western Sword Fern	#1 pot	
Tp	190	<i>Thymus pseudolanuginosus</i>	Woody Thyme	#1 pot	Groundcover
Total	468				

- Planting Notes**
- Contractor is Responsible To Obtain And Be Familiar With The Relevant Project Specifications.
  - The Contractor Shall Locate And Verify The Existence Of All Utilities Prior To Starting Work.
  - All Existing Utility Covers Are To Be Adjusted To The Final Grade.
  - The Contractor Shall Supply All Plant Materials Shown On All Drawings.
  - All Trees To Be Planted With A Minimum 1m Clearance To Existing Water Main And Water Valves.
  - All Plant Material Shall Be Approved At The Nursery By The Project Landscape Architect.
  - All Plants Shall Be Watered Thoroughly Twice During The First 24-Hour Period After Planting. All Plants Shall Then Be Watered As Necessary.
  - The Landscape Contractor Shall Refer To The Contract Specifications For Additional Requirements.
  - Planting To Conform To All BC/LNA Standards.
  - Provide Root Barrier As Shown On Landscape Planting Plans. Root Barrier To Be Deeproot UB-18. Provide Cut Sheet For Approval.



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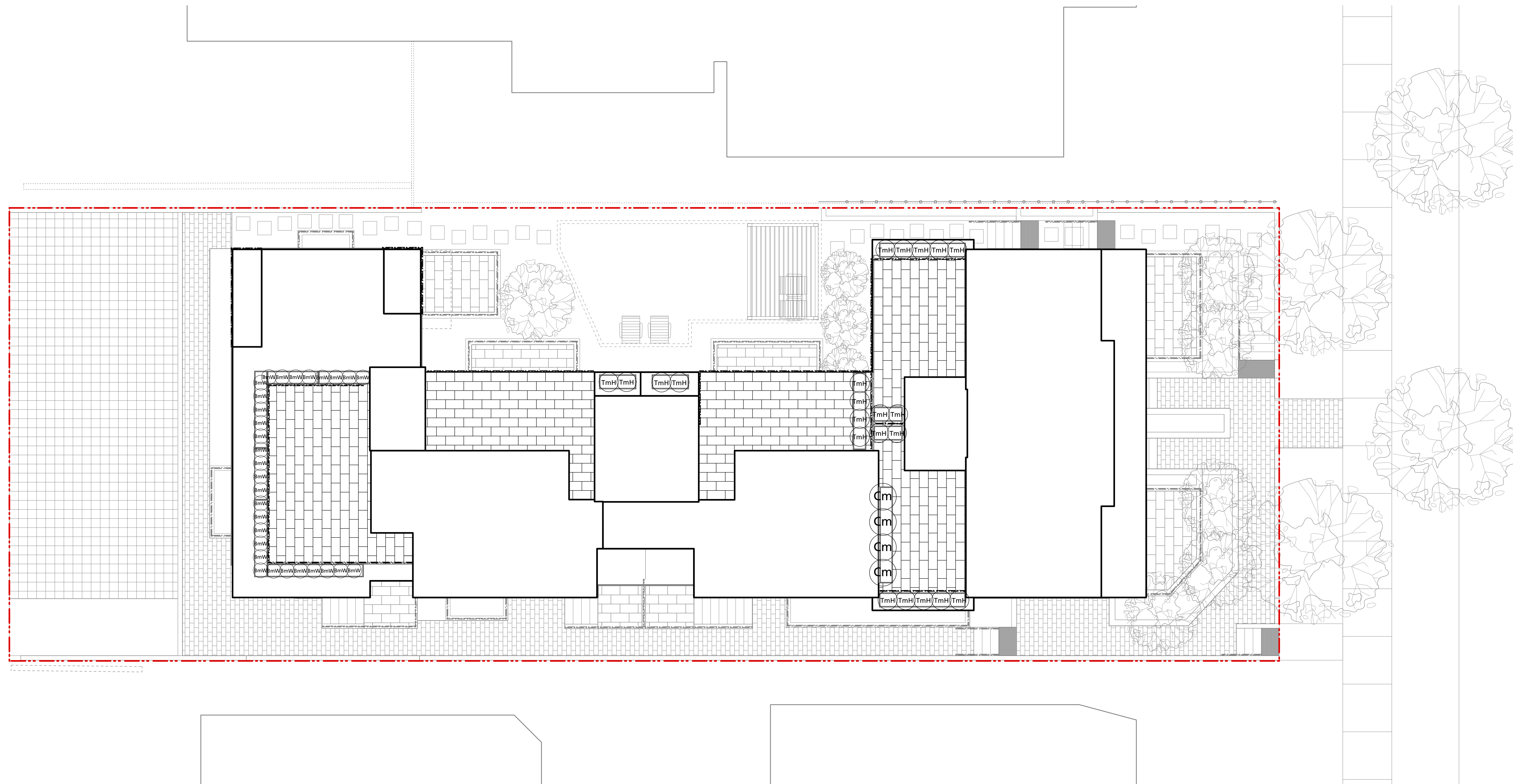
Client:  
Project Title:  
229 W 15th Street, CNV

Drawing Title:  
Planting Plan

Project North: Drawn By: AT  
Checked By: MP  
Scale: 1:75 Job No.: 22-021  
Sheet No.:



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Client:

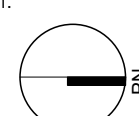


Project Title:

229 W 15th Street, CNV

Drawing Title:

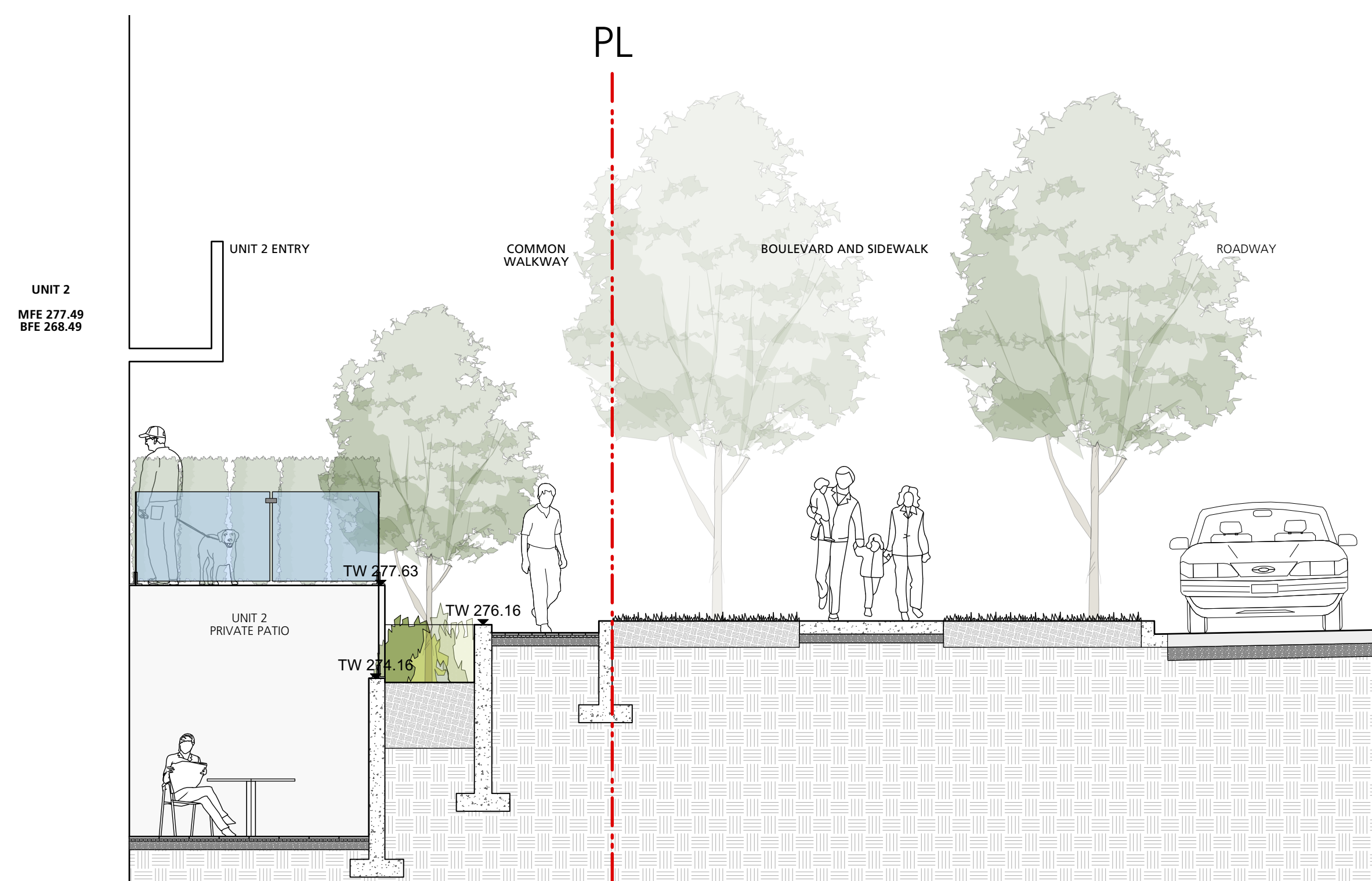
Planting Plan - Roof

Project North:  Drawn By: AT  
Checked By: MP

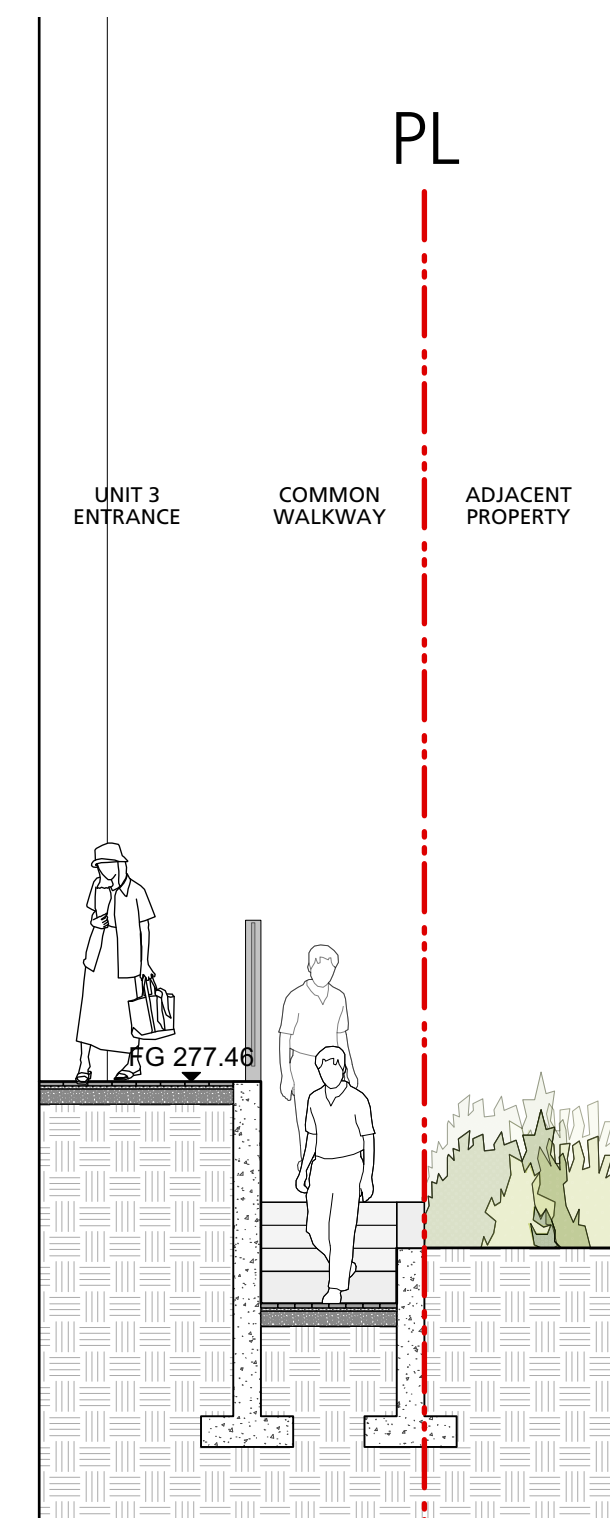
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Sheet No.:

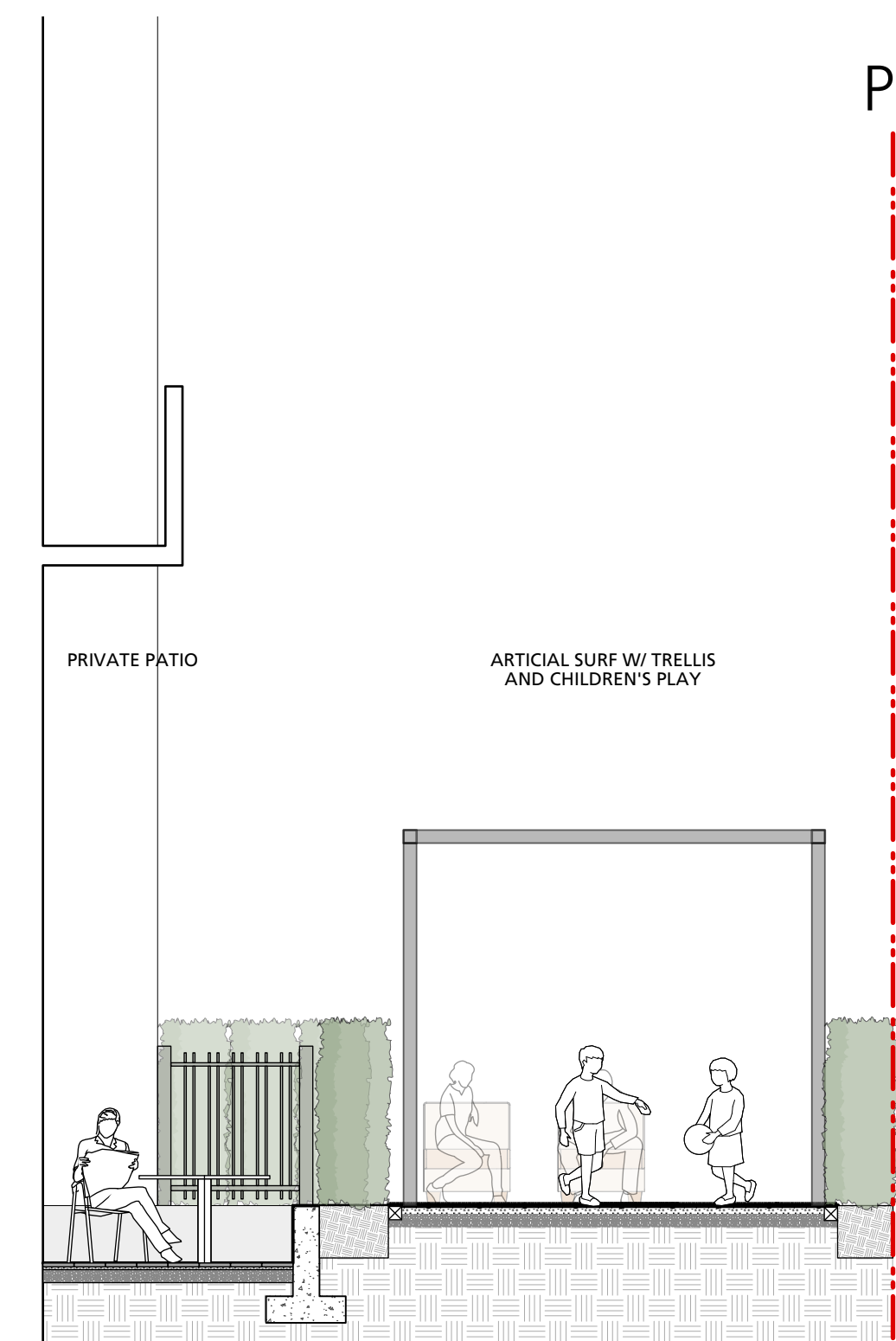
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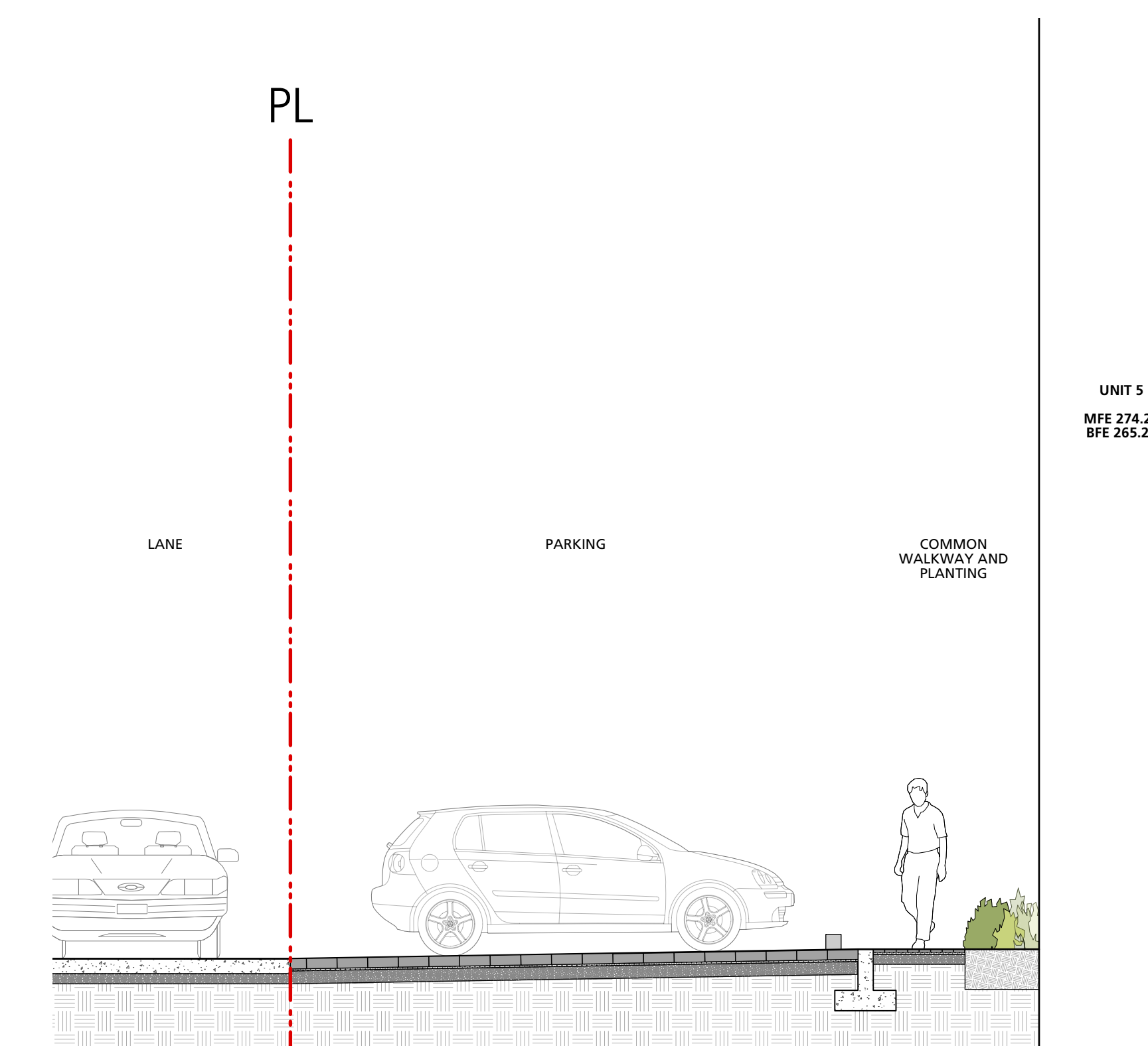
1 Section through main entry @ Unit 2  
1:50



2 Section through main entry @ Unit 3  
1:50



3 Section through central courtyard @ Unit 3  
1:50



4 Section through parking @ Unit 5  
1:50

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Client:



Project Title:

229 W 15th Street, CNV

Drawing Title:

Landscape Sections

Project North: Drawn By: **AT**

Checked By: **MP**

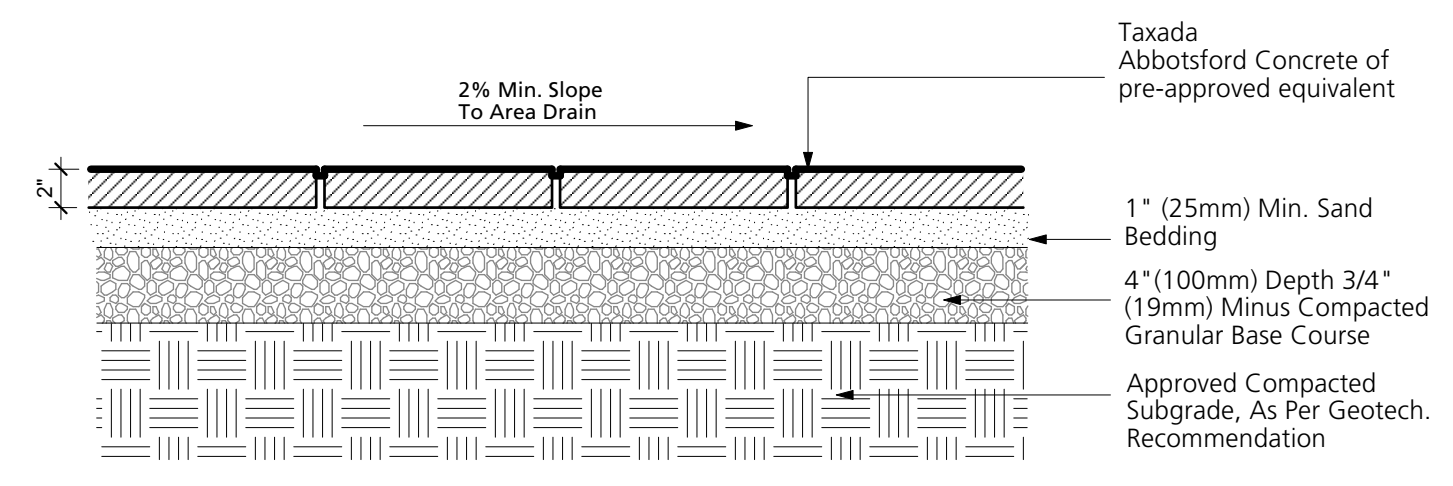
Scale: Job No.: 22-021

Sheet No.:



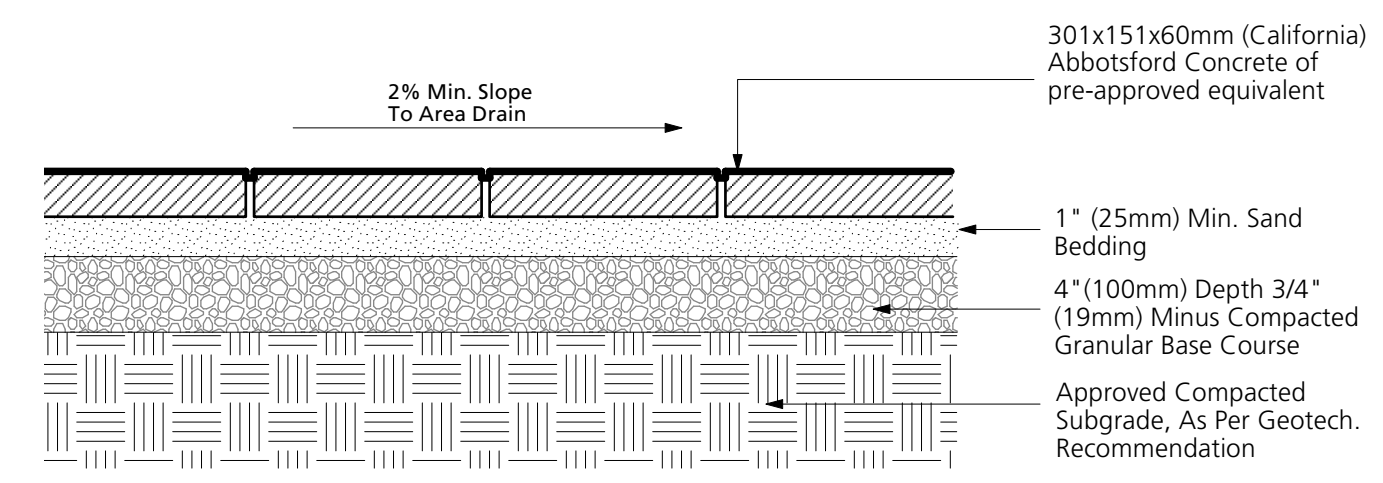
Issues No.	Description	Date

**Product:** Taxada HydraPressed by Abbotsford Concrete  
**Dimensions:** 12" x 24" x 2"; 24" x 24" x 2"; 18" x 18" x 2"  
**Materials:** Concrete  
**Colour:** Entries - Charcoal  
Patios & Stepping Stones - Natural



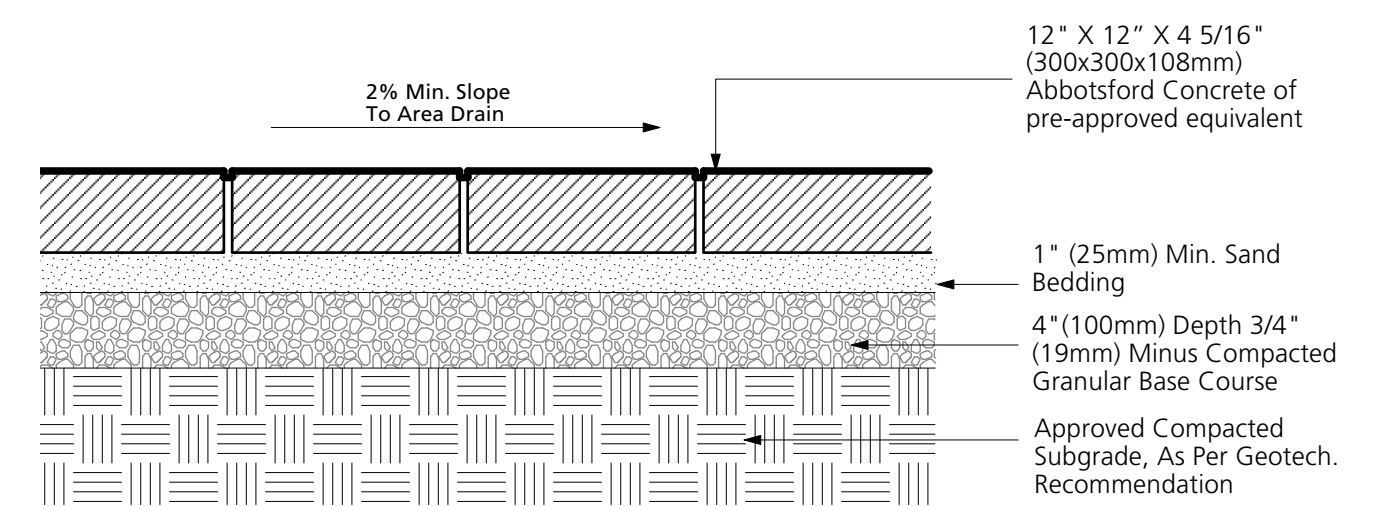
1 Hydrapressed Slab Paver (Pedestrian)  
1:10

**Classic Standard Series - California**  
150mm x 300mm x 108 mm (6" x 12" x 4 5/16")  
Colour: Natural, running bond pattern. Refer to plan for location  
Available at **Abbotsford Concrete Products** or pre-approved equivalent  
Address: 3422 McCallum Rd, Abbotsford, BC V2S 7W6  
Tel: (604) 852-4967



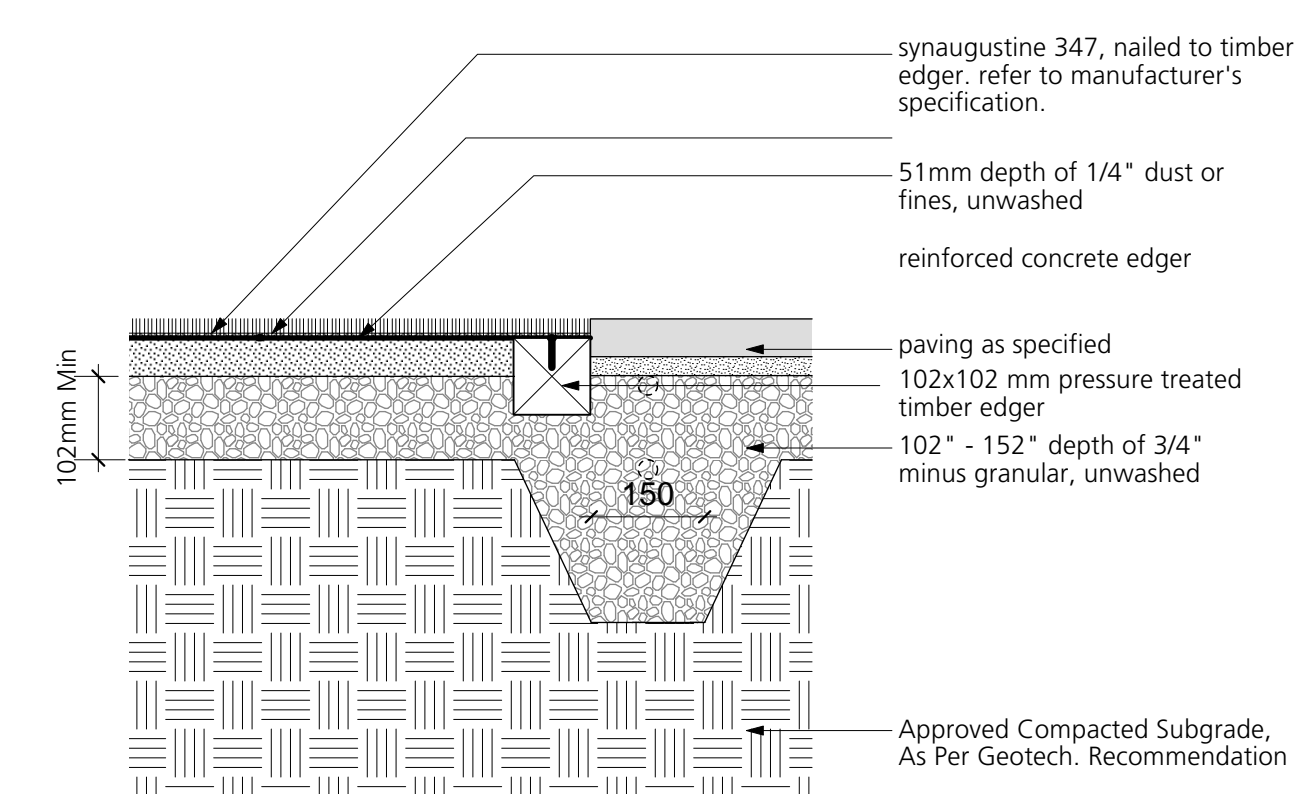
2 Paver 12" x 6" (Pedestrian)  
1:10

**VS-5 Series**  
150mm x 300mm x 108 mm (6" x 12" x 4 5/16")  
Colour: Charcoal, running bond pattern. Refer to plan for location  
Available at **Abbotsford Concrete Products** or pre-approved equivalent  
Address: 3422 McCallum Rd, Abbotsford, BC V2S 7W6  
Tel: (604) 852-4967



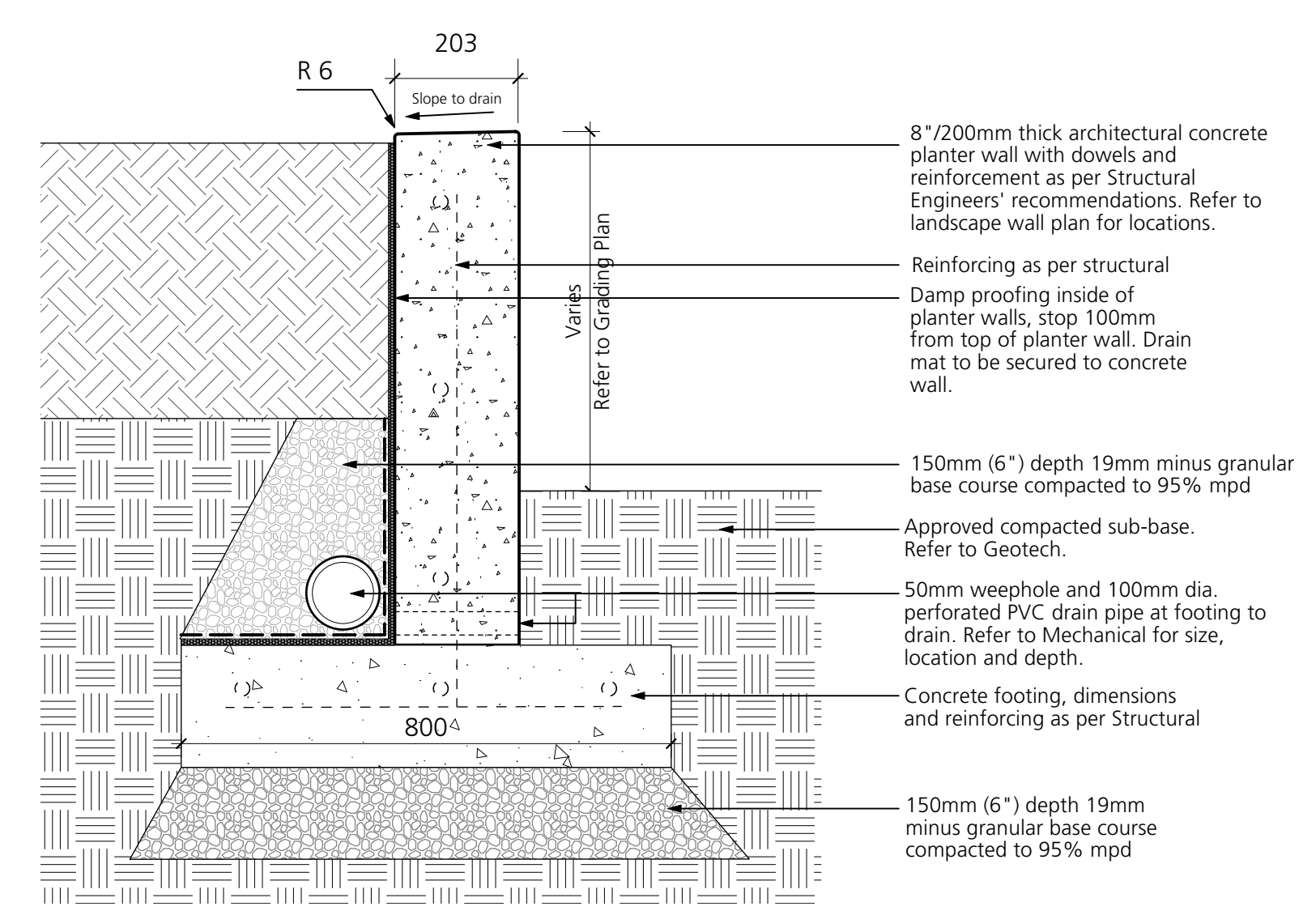
3 VS-5 Series Paver 12" x 12" (Vehicular)  
1:10

**SYNAugustine 347**  
Available at SYNLawm (www.synlawn.com)  
Address: 8207 Swenson Way, Delta, BC, V4G 1J5  
Tel: 778-999-6492  
**Note:** refer to Landscape Architect and SYNLawm representative for final grading requirements/approval.

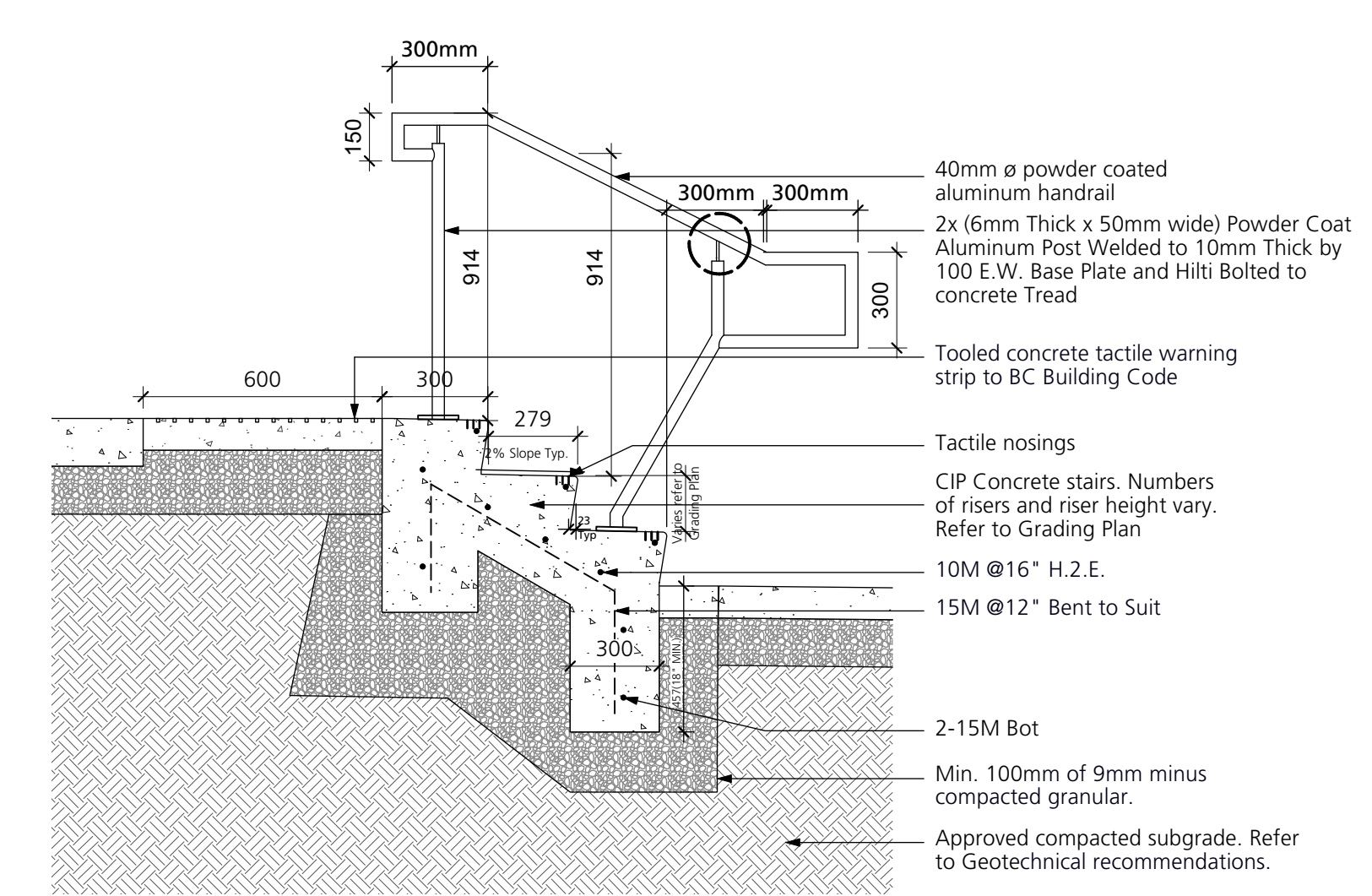


4 Artificial Lawn  
1:10

**NOTE:** Refer to envelope/architectural and structural direction with regard to concrete planter walls, stairs connection details over slab

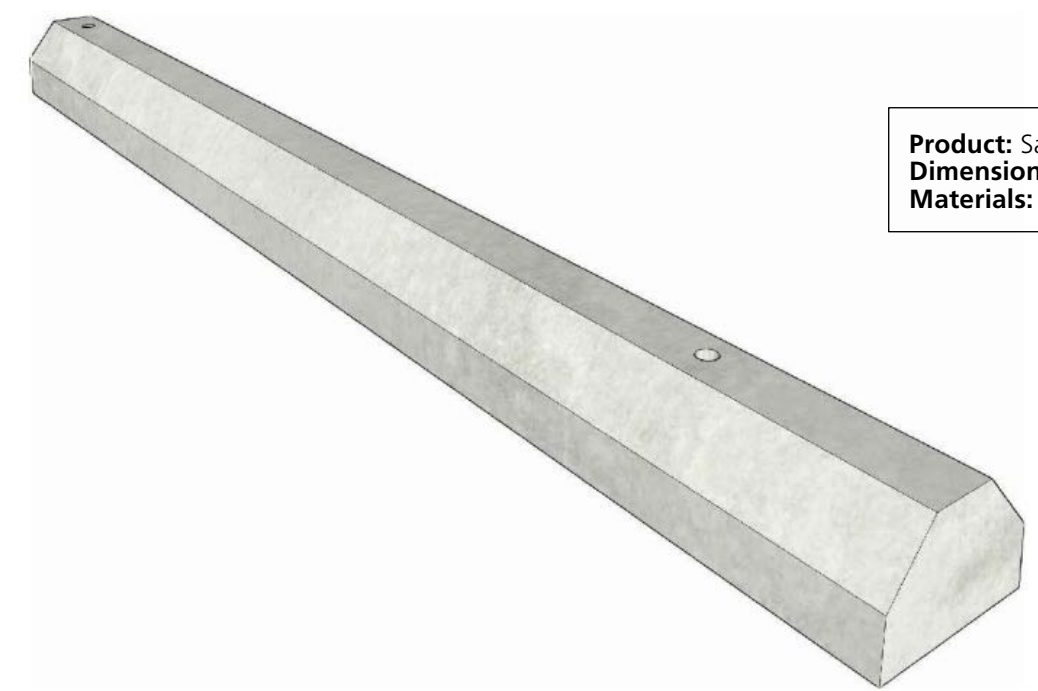


5 Concrete Planter Wall  
1:10



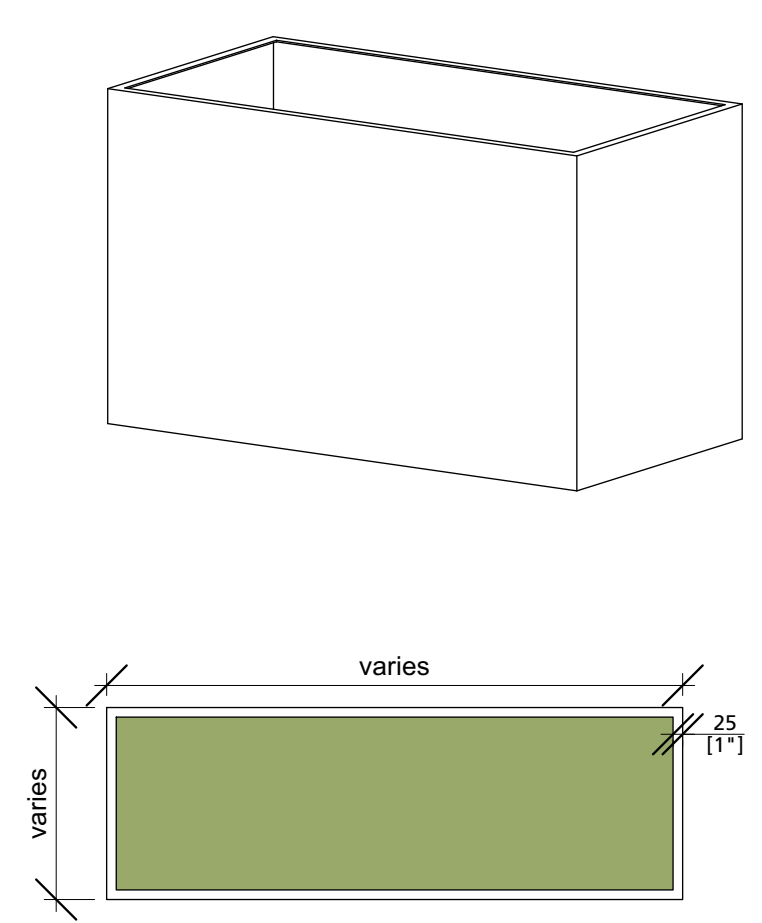
6 Concrete Stairs  
1:20

**Product:** Sanderson Concrete - Low Profile  
**Dimensions:** 7.5" W x 4" H x 94" L  
**Materials:** Concrete



7 Concrete Wheel Stop  
NTS

**Product:** Commercial Metal Planters  
**Dimensions:** 8.5'W x 1.4'D x 2'H  
5.5'W x 1.4'D x 2'H  
10.5'W x 1.4'D x 2'H  
4'W x 1.5'D x 2'H  
3'W x 1.5'D x 2'H  
9.5'W x 1.5'D x 2'H  
**Qty:** Refer to plan  
**Materials:** Marine grade 5052 aluminum  
**Finish:** Sandtex Matte coating in Black. To be confirmed with LA  
**Note:**  
- Planter to include drainage holes and a 1" top lip.  
- Planter to be mounted to paver as per manufacturer's specifications.  
To be confirmed with LA  
Available at **Planters Perfect/Green Theory Design** or pre-approved equivalent.  
Website: <http://www.plantersperfect.com/>  
Tel: 1-844-747-9283



9 Custom Planter  
1:20



10 Custom Trellis  
NTS



8 Custom Steel Wall Mounted Trellis  
NTS

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Client:



Project Title:

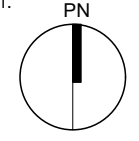
229 W 15th Street, CNV

Drawing Title:

Landscape Details

Project North:

PN



Drawn By:

AT

Checked By:

MP

Scale:

Job No.:

22-021

Sheet No.: