

TOPOGRAPHIC SITE PLAN OF LOT 24 BLOCK 231
DISTRICT LOT 546 GROUP 1 NUD PLAN 3293

CIVIC ADDRESS:
253 East 28th Street, North Vancouver
PID: 012-993-905

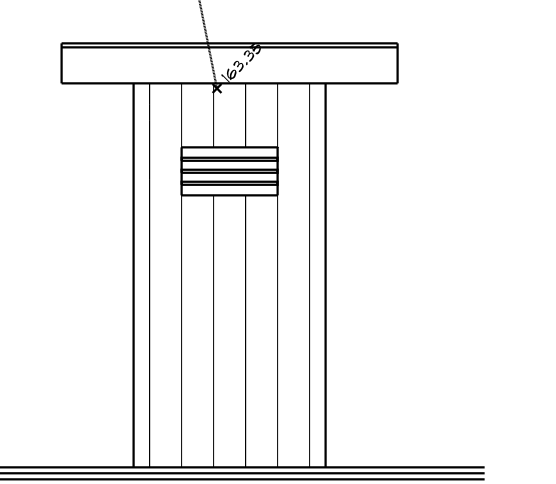
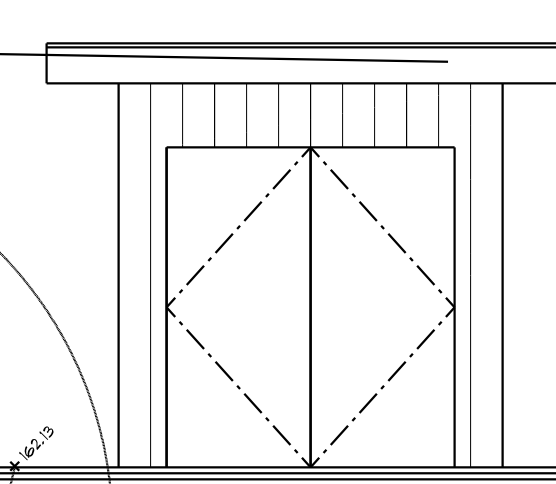
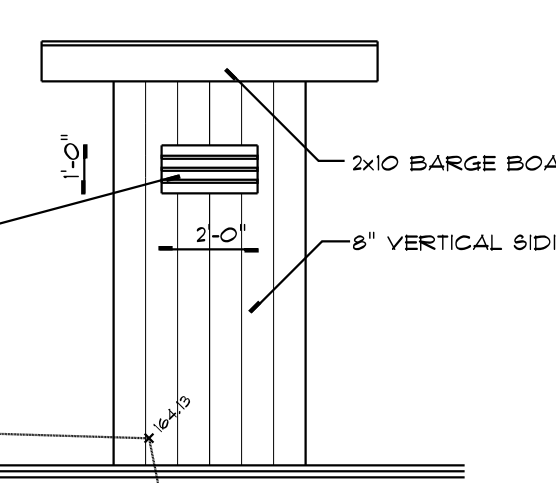
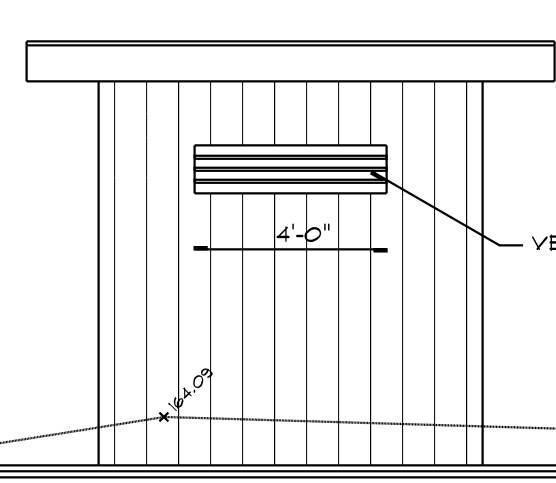
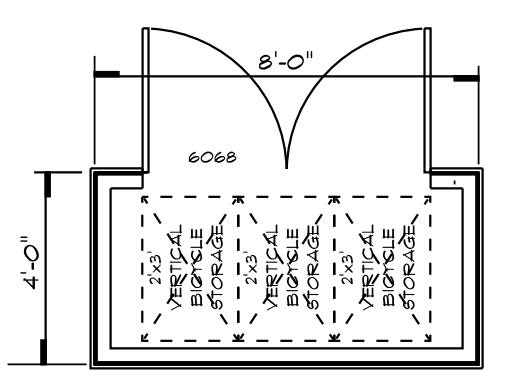
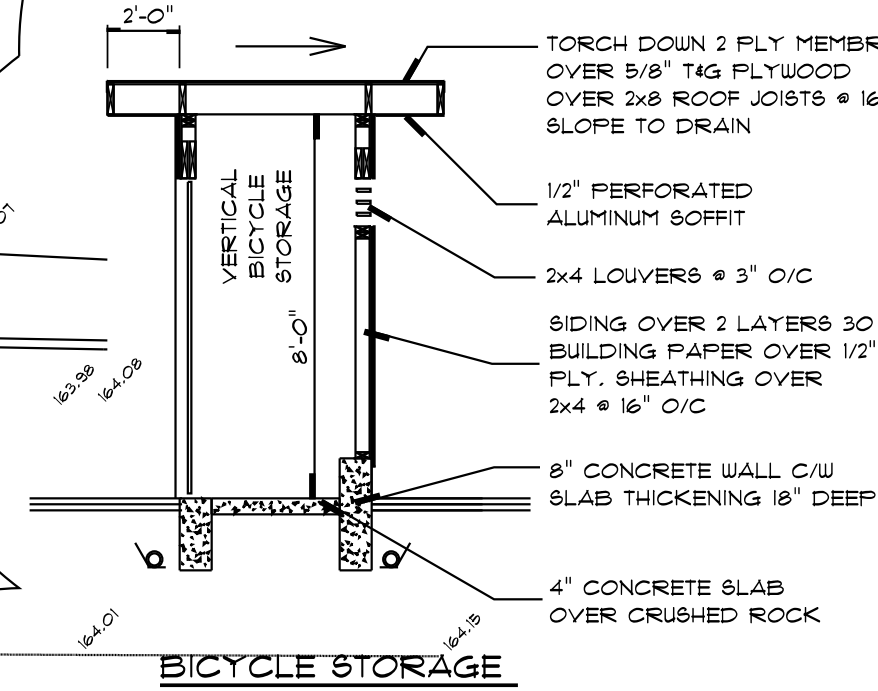
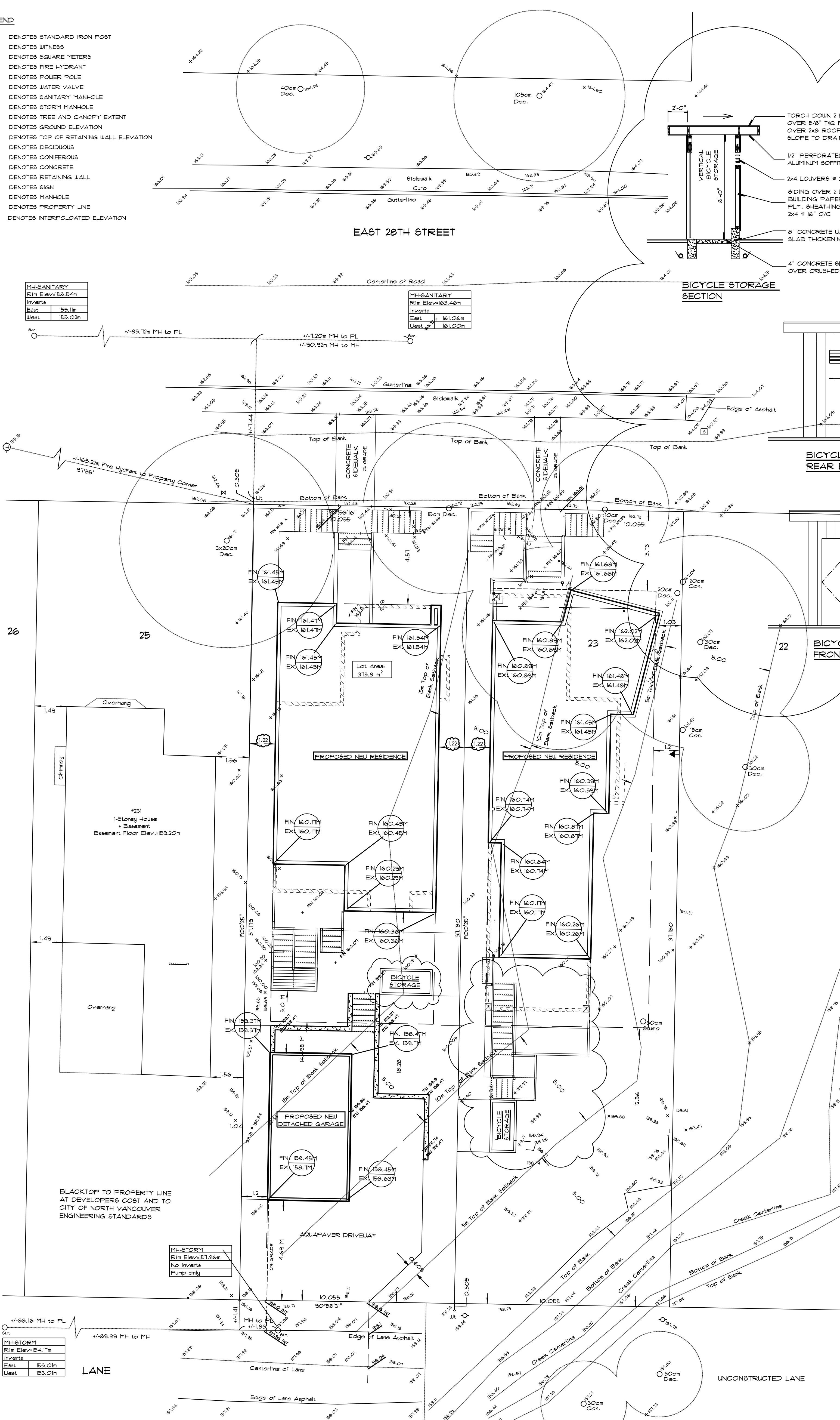
SCALE 1 : 100

ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 56.0m in width and 86.4m in height (D size) when plotted at a scale of 1:100.

LEGEND

- ⋄ DENOTES STANDARD IRON POST
- W DENOTES WITNESS
- m² DENOTES SQUARE METERS
- ⊕ DENOTES FIRE HYDRANT
- ⊙ DENOTES POWER POLE
- ⊕ DENOTES WATER VALVE
- ⊙ DENOTES SANITARY MANHOLE
- ⊙ DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- X DENOTES GROUND ELEVATION
- (TW) DENOTES TOP OF RETAINING WALL ELEVATION
- Dec. DENOTES DECIDUOUS
- Con. DENOTES CONIFEROUS
- Conc. DENOTES CONCRETE
- Rt. DENOTES RETAINING WALL
- ⊕ DENOTES SIGN
- MH DENOTES MANHOLE
- FL DENOTES PROPERTY LINE
- INT DENOTES INTERPOLATED ELEVATION



SITE DEVELOPMENT DATA	
EXISTING ZONE	R61
LOT AREA	313.8 SQUARE METERS
SITE COVERAGE:	
PERMITTED	112.14 SQUARE METERS (30%)
PROPOSED	106.95 SQUARE METERS (28%)
FLOOR SPACE RATIO:	
PERMITTED	205.04 SQUARE METERS (30% + 92.9)
PROPOSED	186.422 SQUARE METERS (25% + 92.9)
GARAGE:	
AREA ALLOWED	37.16 SQUARE METERS
AREA PROPOSED	24.193 SQUARE METERS
PARKING:	
REQUIRED	2 STALLS
PROVIDED	2 STALLS
ELEVATIONS:	
ROOF RIDGE	170.702 M
TOP OF UPPER FL. WALL	169.862 M
TOP OF UPPER FLOOR	167.393 M
TOP OF MAIN FLOOR	164.281 M
TOP OF LOWER FLOOR	161.115 M
REFERENCE GRADE	160.6 M
GARAGE:	
ROOF RIDGE	161.37 M
TOP OF WALL	161.07 M
TOP OF SLAB	158.47 M

- JUNE 2022 253 E 28th ROOF REDESIGNED TO CONFORM WITH HEIGHT ALLOWED BICYCLE SHED ADDED
- MAY 2022 255 E 28th ST. SOUTH DECK STAIR REORIENTED TO WEST SIDE OF DECK AND DECK ENLARGED

MH-SANITARY	
Rim Elev.	158.94m
Inverts	
East	155.1m
West	155.02m

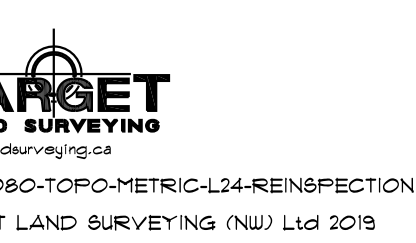
MH-SANITARY	
Rim Elev.	163.46m
Inverts	
East	161.06m
West	161.02m

MH-STORM	
Rim Elev.	151.96m
No Inverts	
Pump only	

NOTES:
Lot dimensions are derived from Posting Plan EPP58981.
Measurements shown are to the exterior siding of building.
Elevations are Geodetic (CVD29 GVRD-2005 - IN METERS)
Derived from Control Monument 8843813 located at the intersection of East 28th Street and St. Georges Avenue, approximately 4.4m east of manhole cover. Elevation = 160.16m
Invert elevations and offsets of services from property lines are derived from municipal records and field survey.
Contractor to verify all service locations and inverts prior to construction.
Spot elevations along curb are taken in gutter.

If this plan is used in digital form, Target Land Surveying (NW) Ltd. will only assume responsibility for information content shown on original unaltered drawing.
Tree diameters are taken at 1.4m above grade and are shown in meters.
Tree and stump symbols shown are not to scale.
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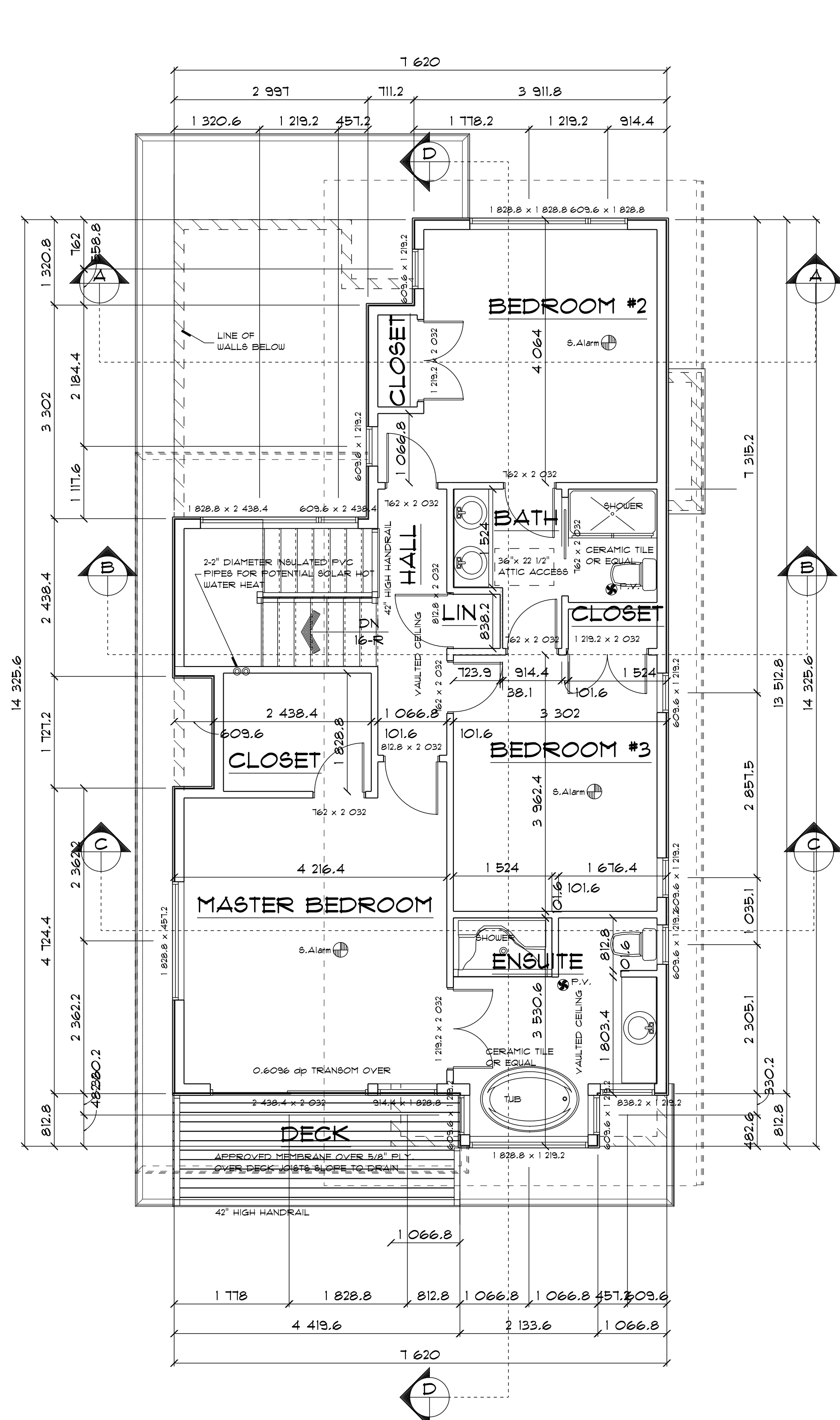


FILE: N3080-TOPO-METRIC-L24-REIN5PECTION
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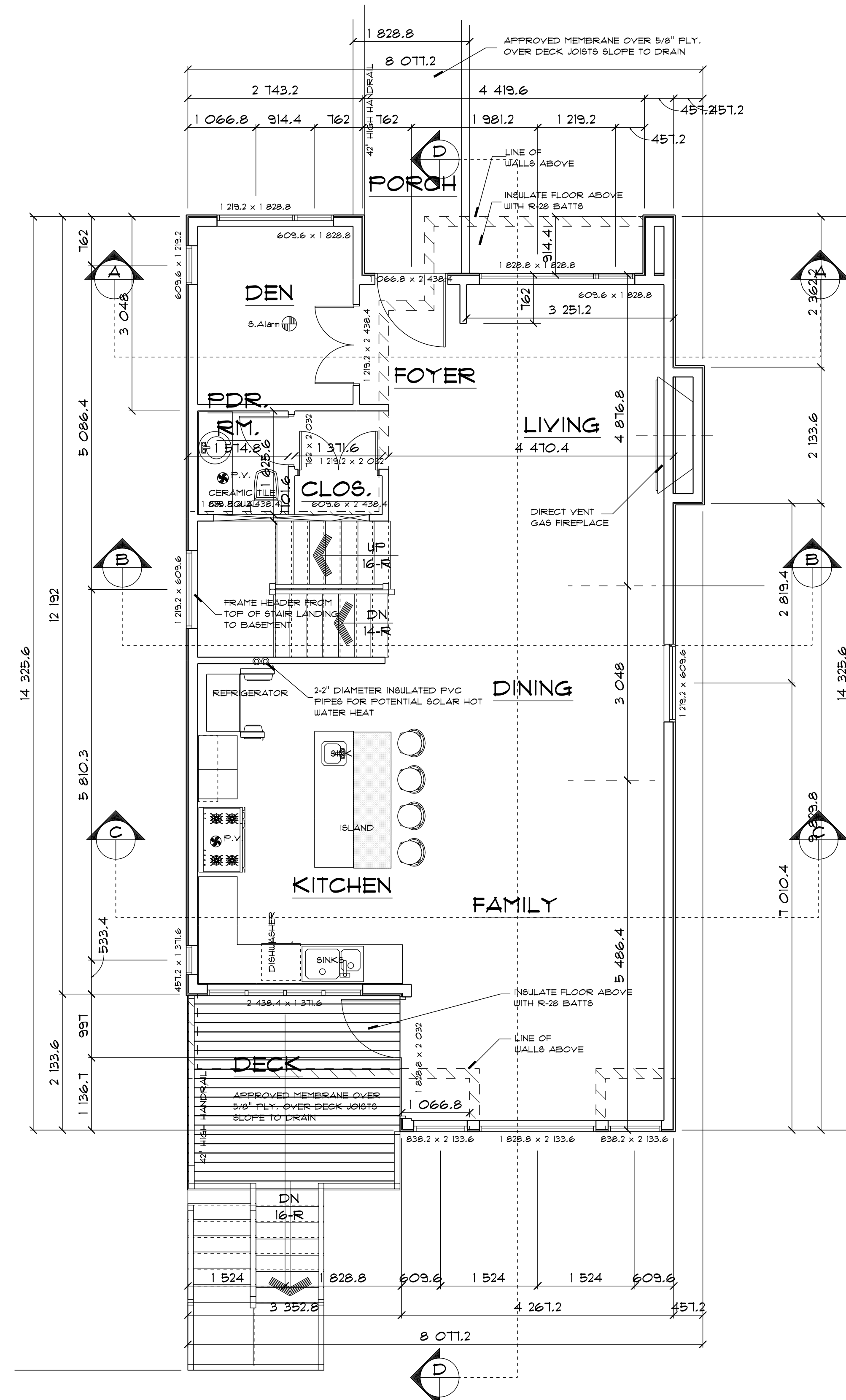
Drawing **SITE PLAN**
Drawn By BC Date FEB, 2019
SCALE: 1:100 METRIC

Project
PHAGOORA RESIDENCE
AT 253 E 28th STREET
NORTH VANCOUVER



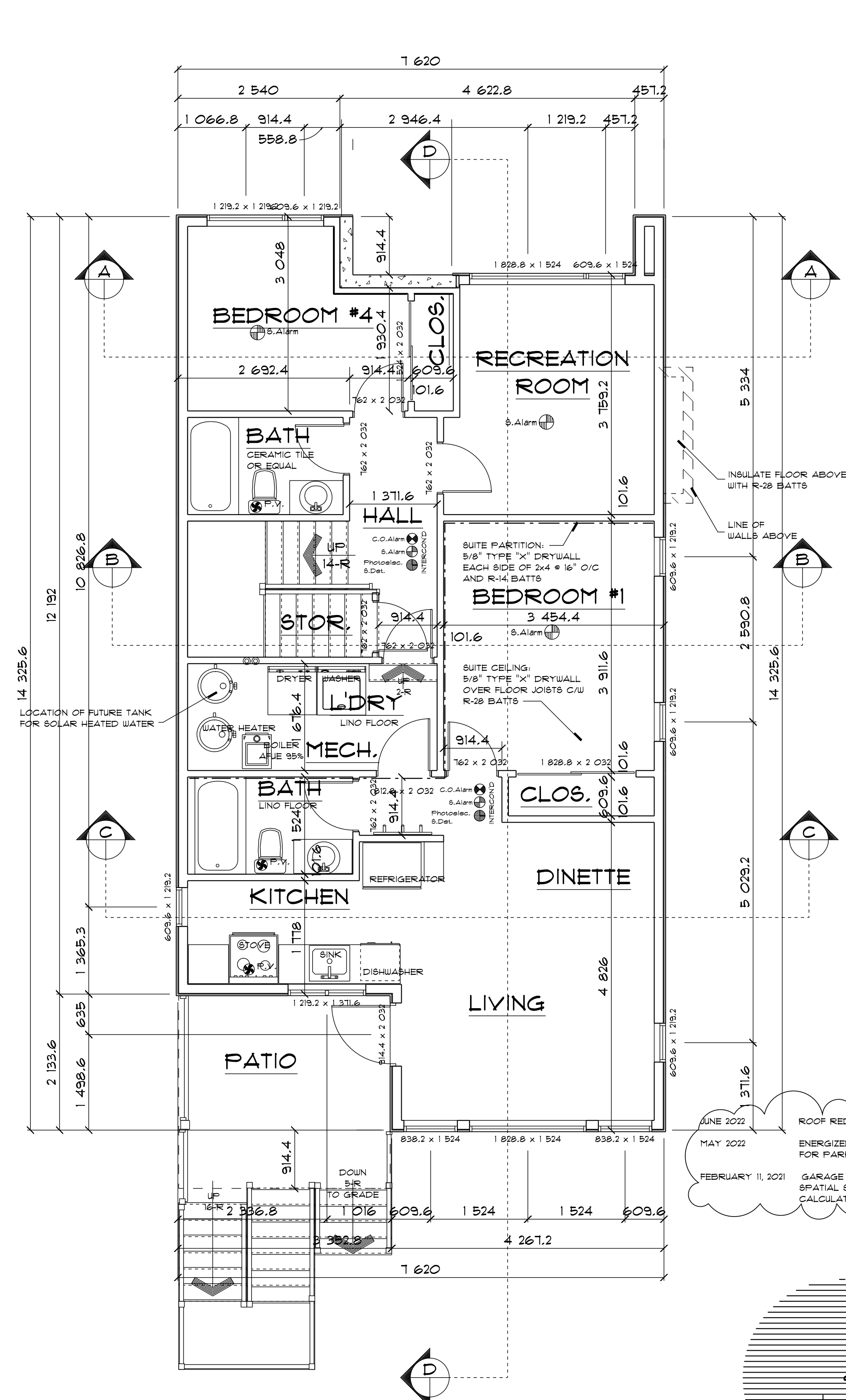
UPPER FLOOR PLAN

956.1 SQUARE FEET
(88.871 SQUARE METRES)



MAIN FLOOR PLAN

1,050.0 SQUARE FEET
(97.545 SQUARE METRES)



BASEMENT PLAN

1,050.0 SQUARE FEET
(97.545 SQUARE METRES)

- REVISIONS
- JUNE 2022 ROOF REDESIGNED
 - MAY 2022 ENERGIZED LEVEL 2 OUTLETS FOR PARKING NOTED
 - FEBRUARY 11, 2021 GARAGE SECTION AND SPATIAL SEPARATION CALCULATIONS ADDED

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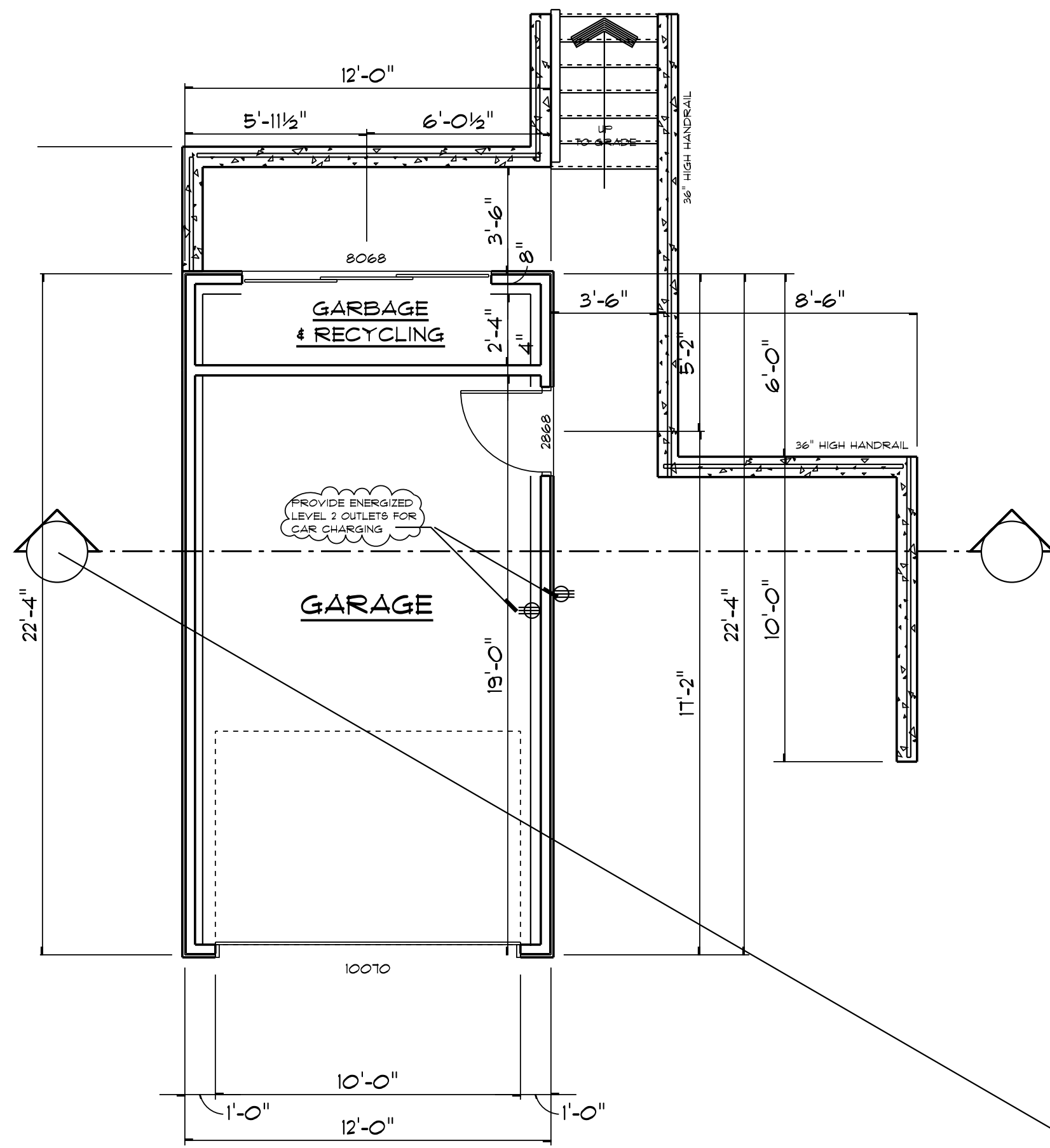
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Drawing FLOOR PLANS

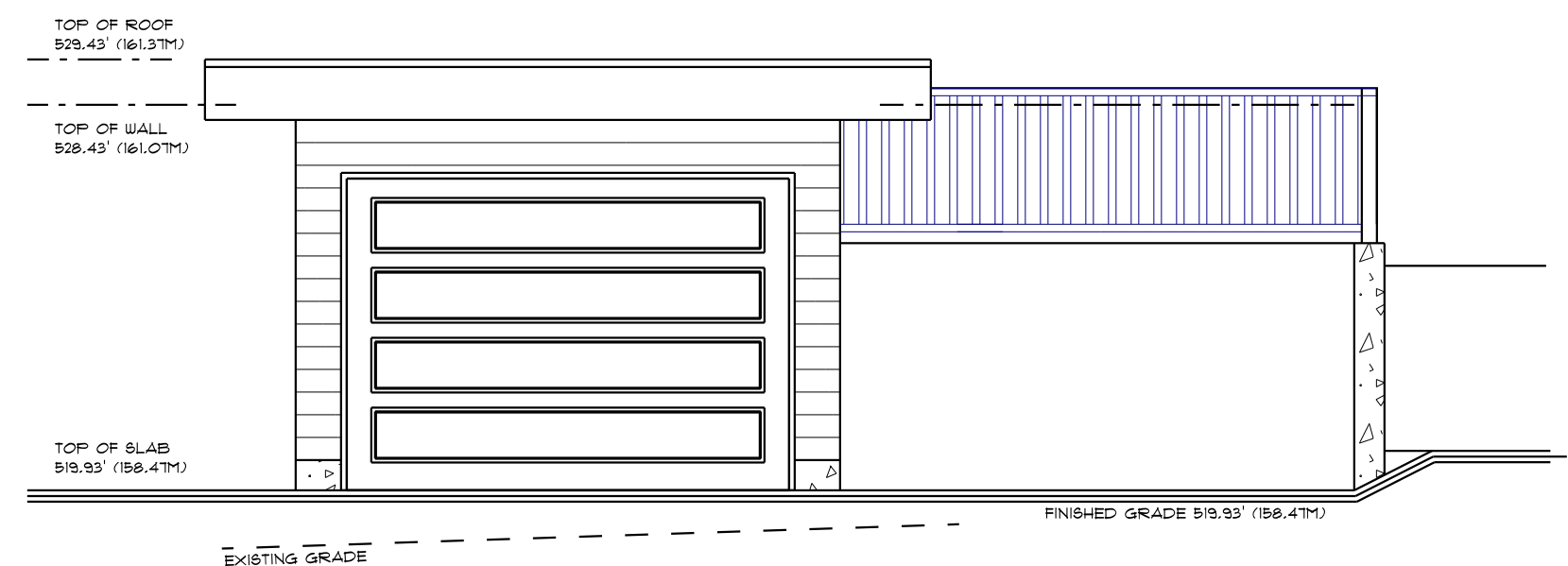
Drawn By B.C. Date FEB. 2019
 Scale

Project
PHAGOORA RESIDENCE
 AT 253 EAST 28th STREET
 NORTH VANCOUVER

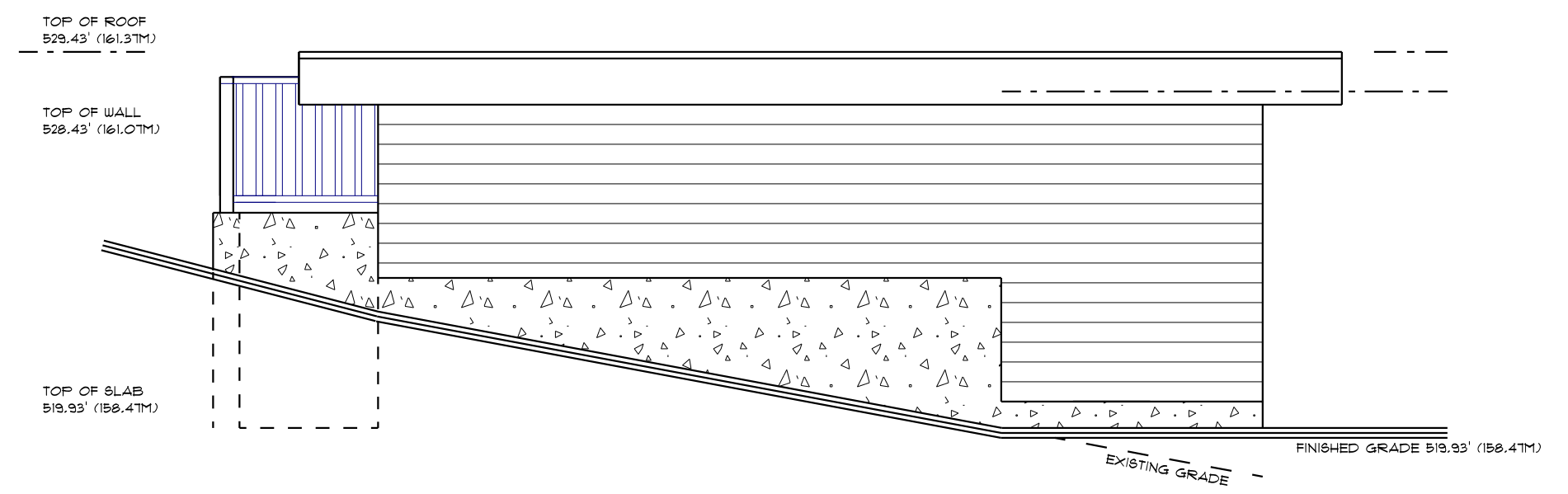
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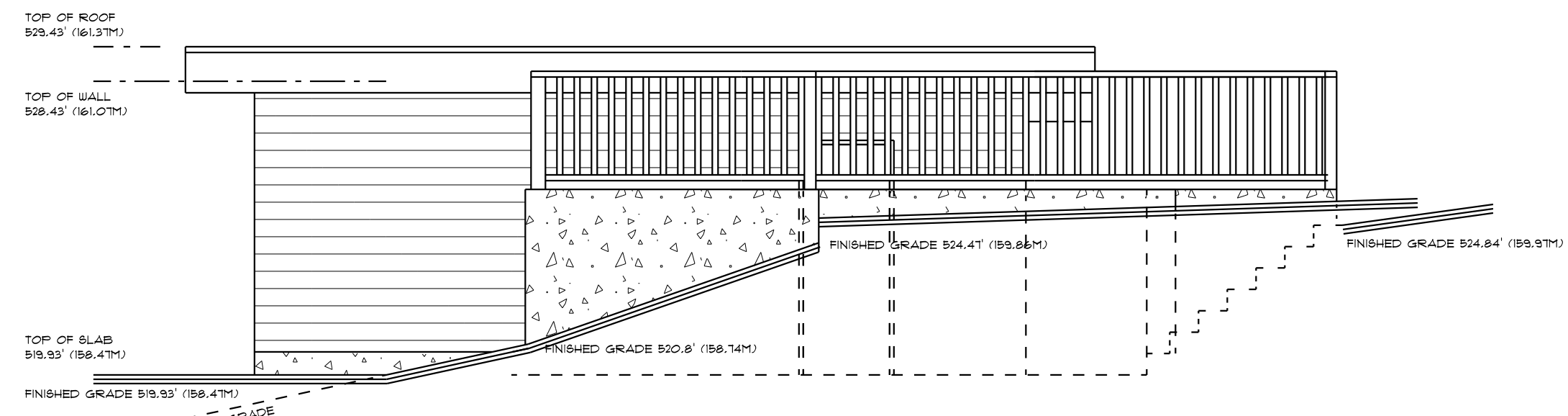
GARAGE PLAN
 261.56 SQUARE FEET
 (24.893 SQUARE METERS)



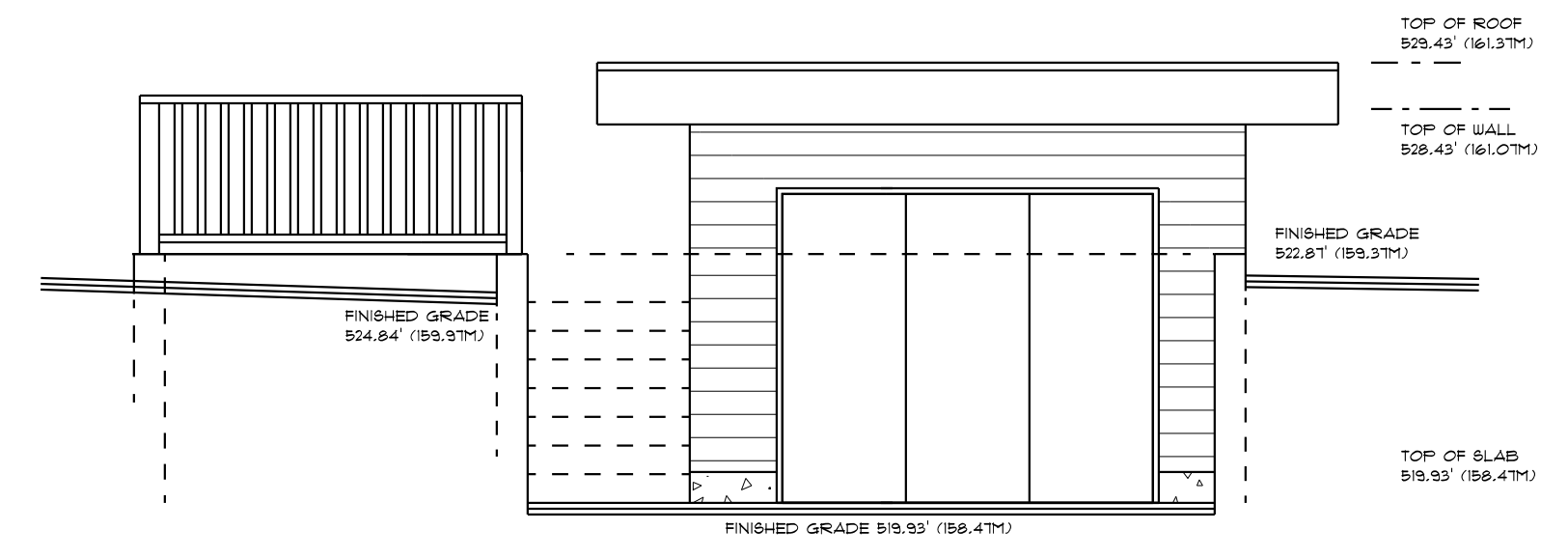
GARAGE SOUTH ELEVATION



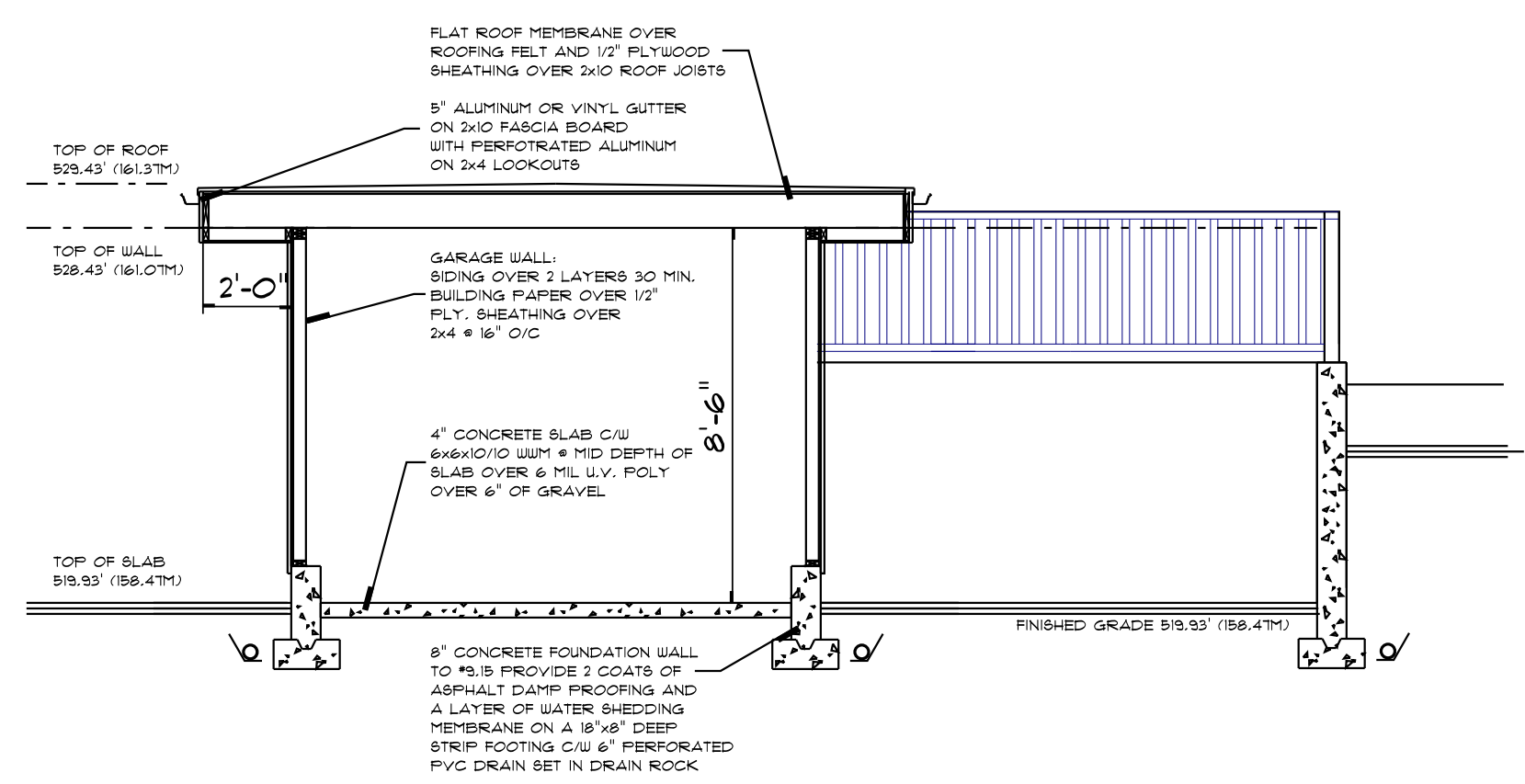
GARAGE WEST ELEVATION



GARAGE EAST ELEVATION



GARAGE NORTH ELEVATION



GARAGE SECTION

MAY 2022 ENERGIZED LEVEL 2 OUTLETS FOR PARKING NOTED

FEBRUARY 11, 2021 GARAGE SECTION AND SPATIAL SEPARATION CALCULATIONS ADDED

REVISIONS

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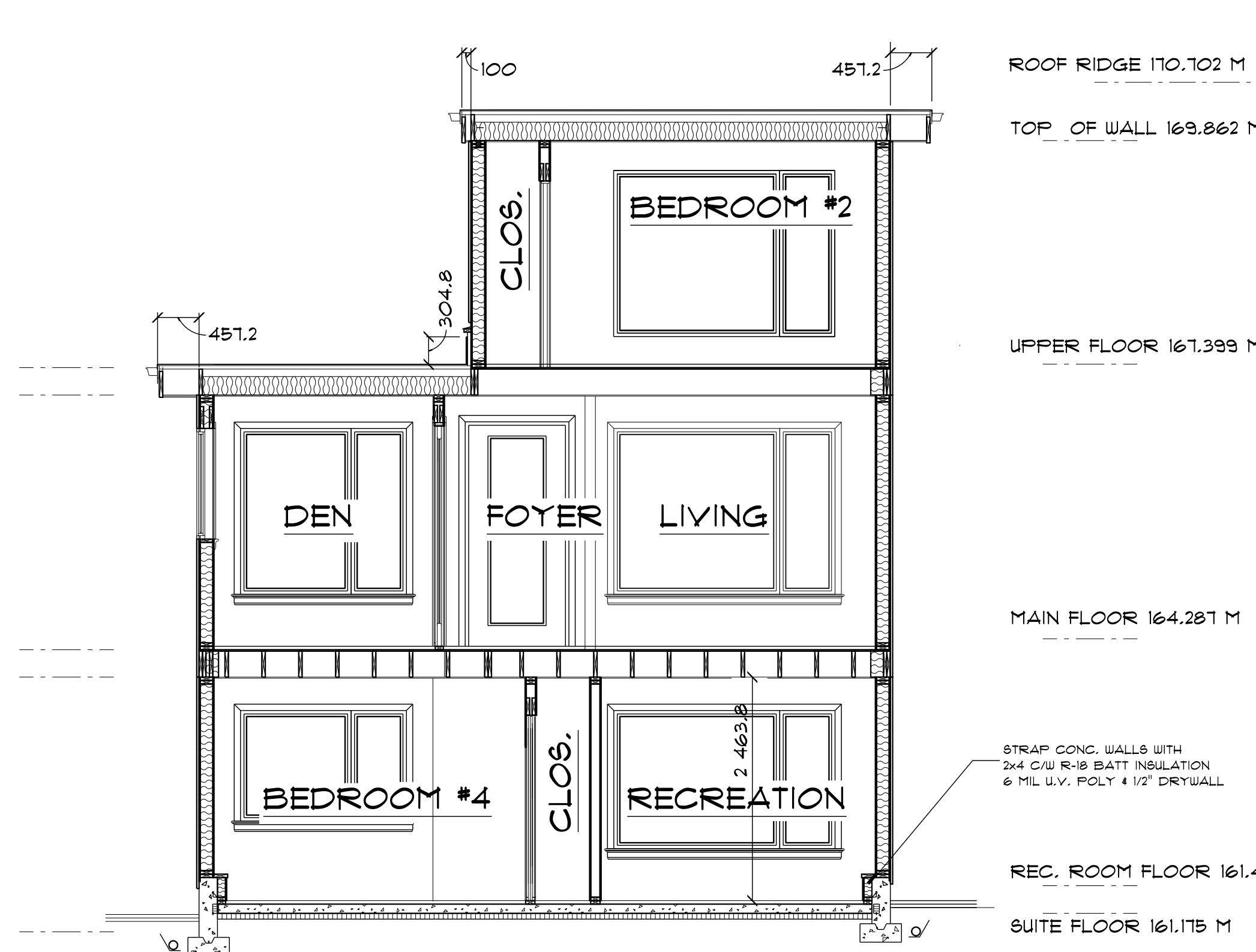
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Drawing **GARAGE PLANS**
 Drawn By B.C. Date FEB. 2019
 Scale
 Project PHAGOORA RESIDENCE
 AT 253 EAST 28th STREET
 NORTH VANCOUVER

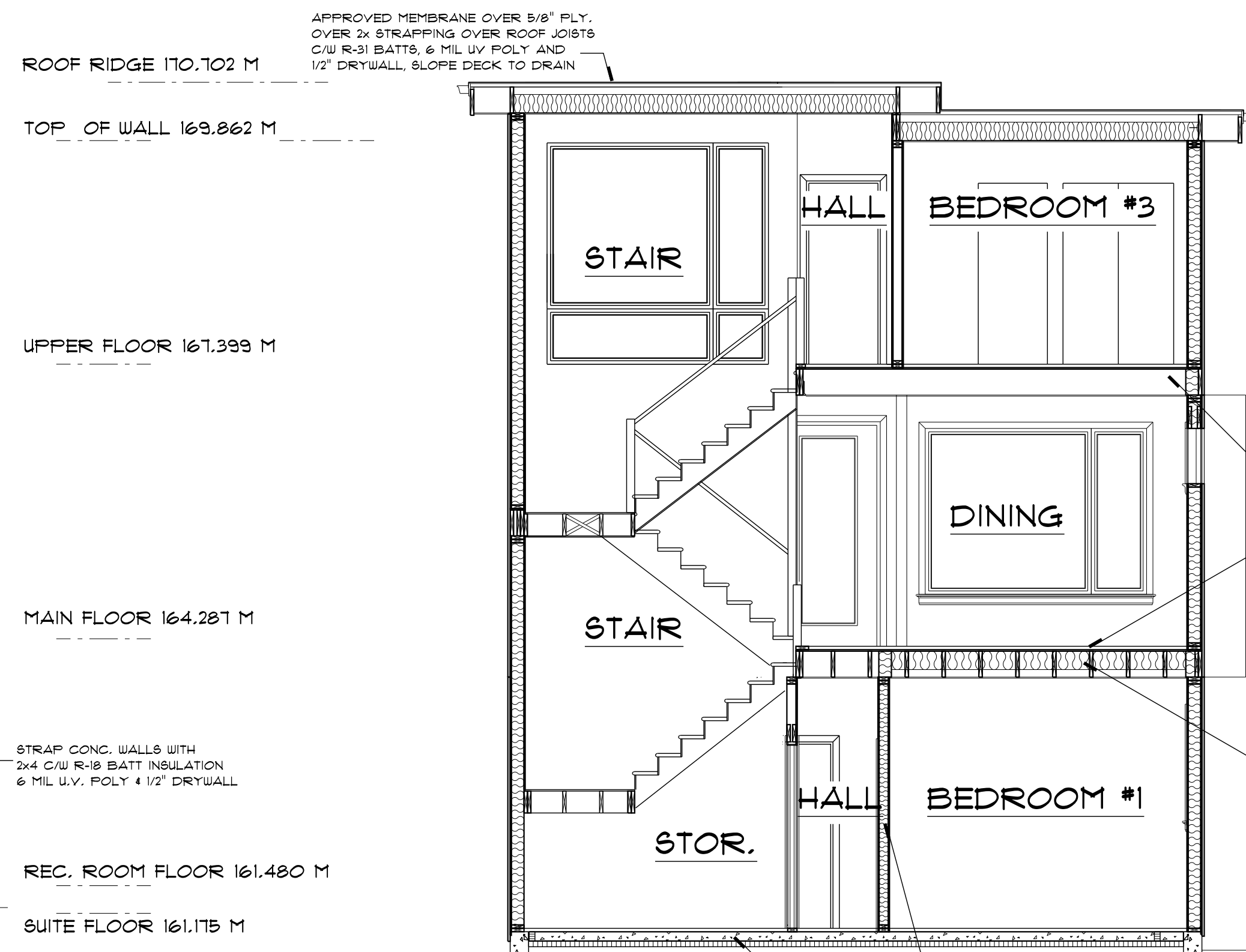
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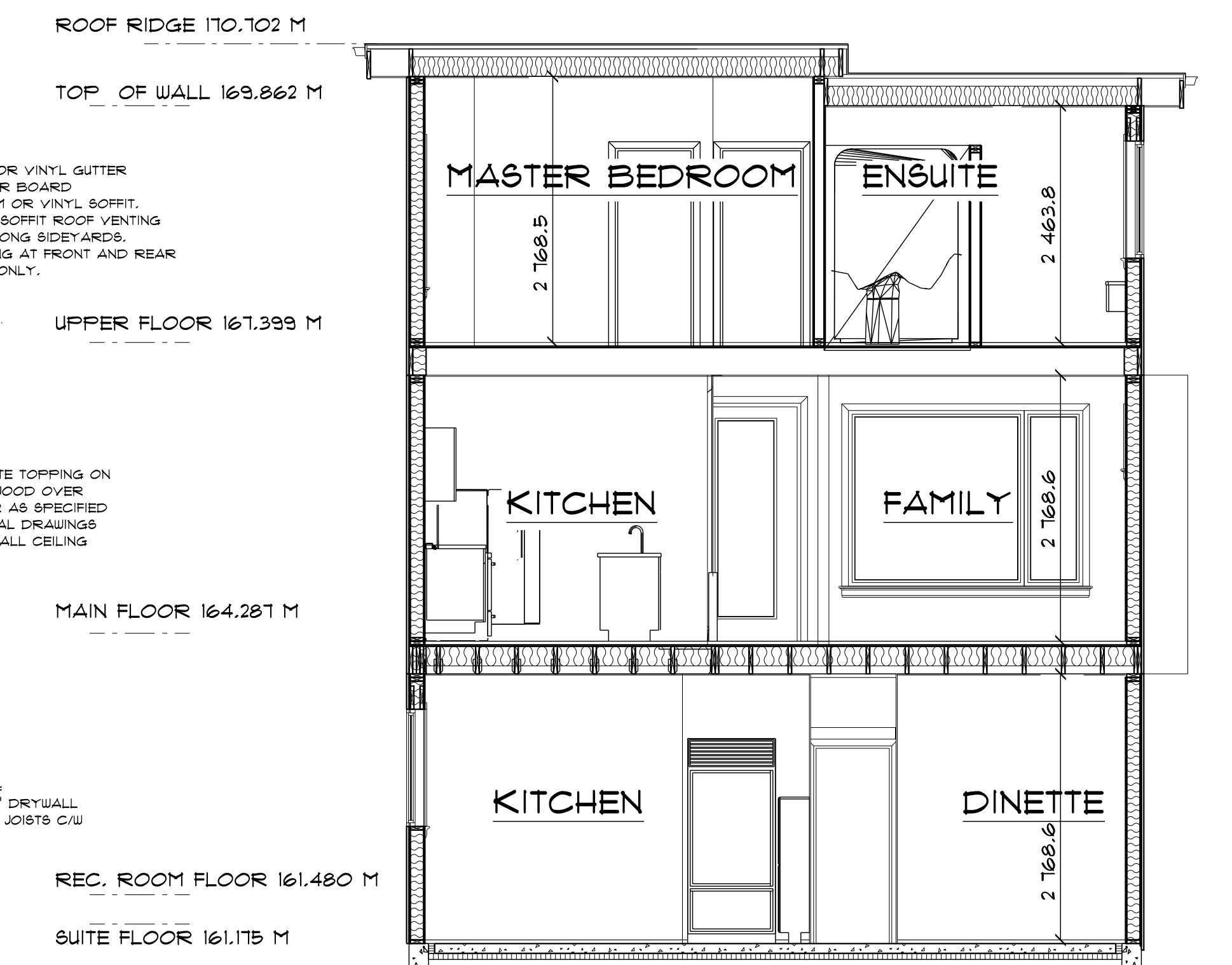
Quality Residential Design



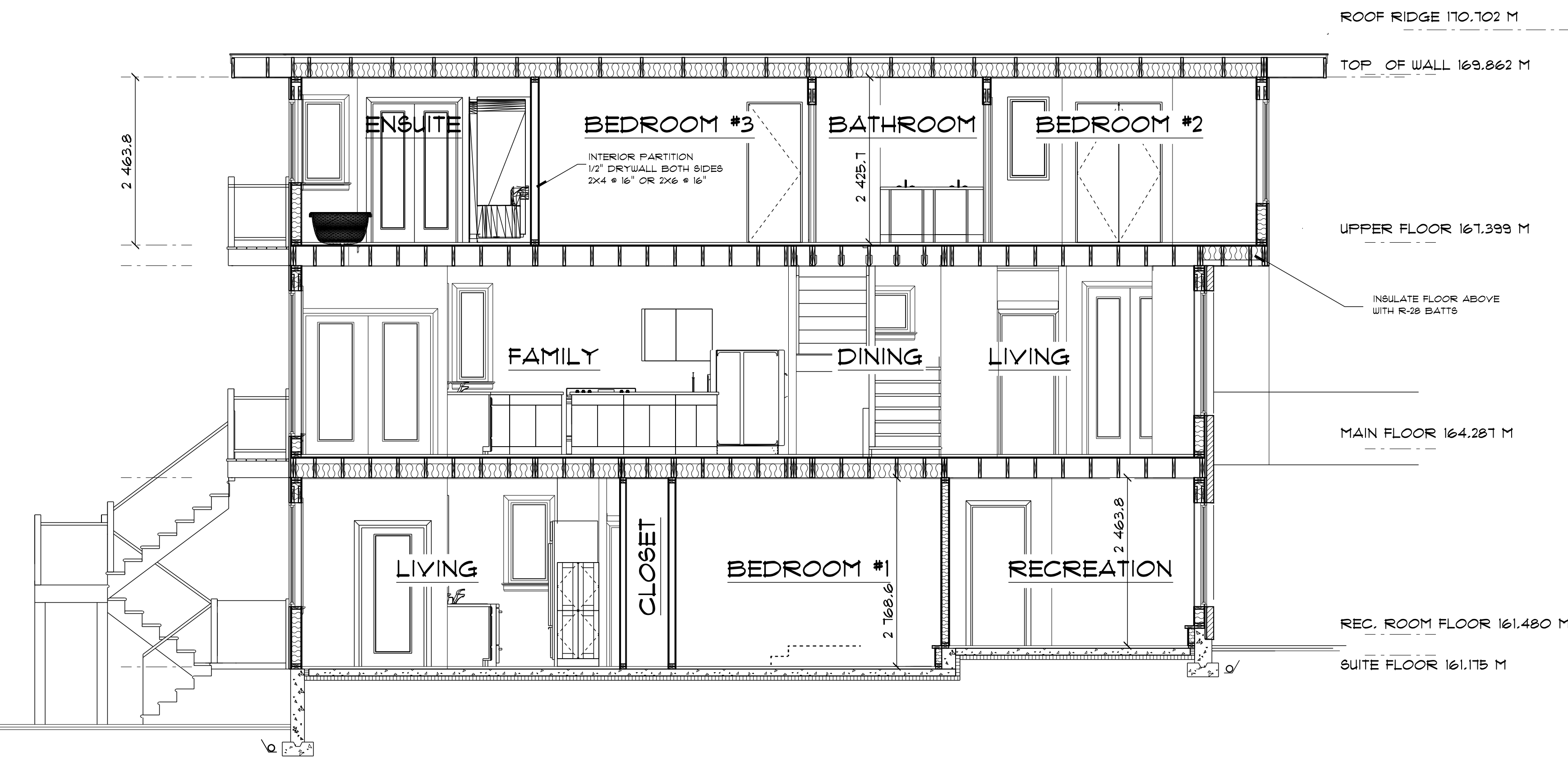
SECTION A



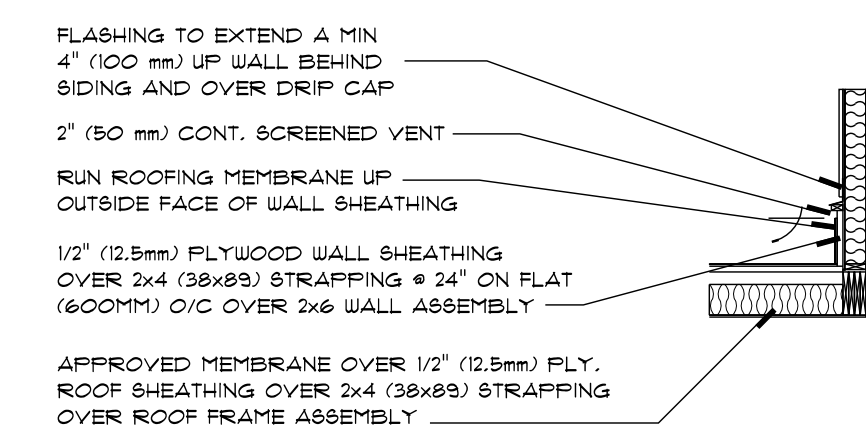
SECTION B



SECTION C



SECTION D



ROOF VENTING DETAIL

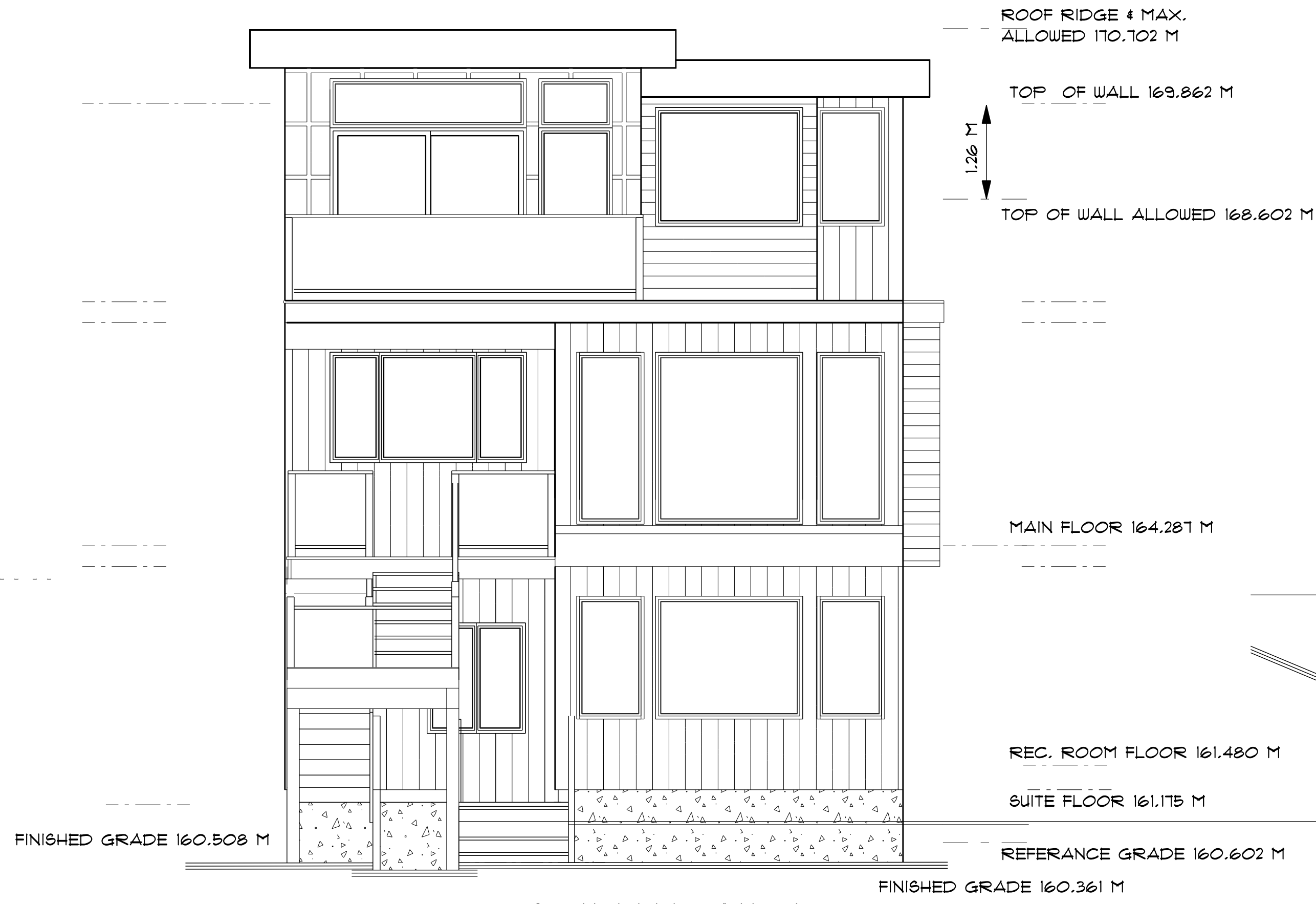
- REVISIONS
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 - FEBRUARY 11, 2021 GARAGE SECTION AND SPATIAL SEPARATION CALCULATIONS ADDED

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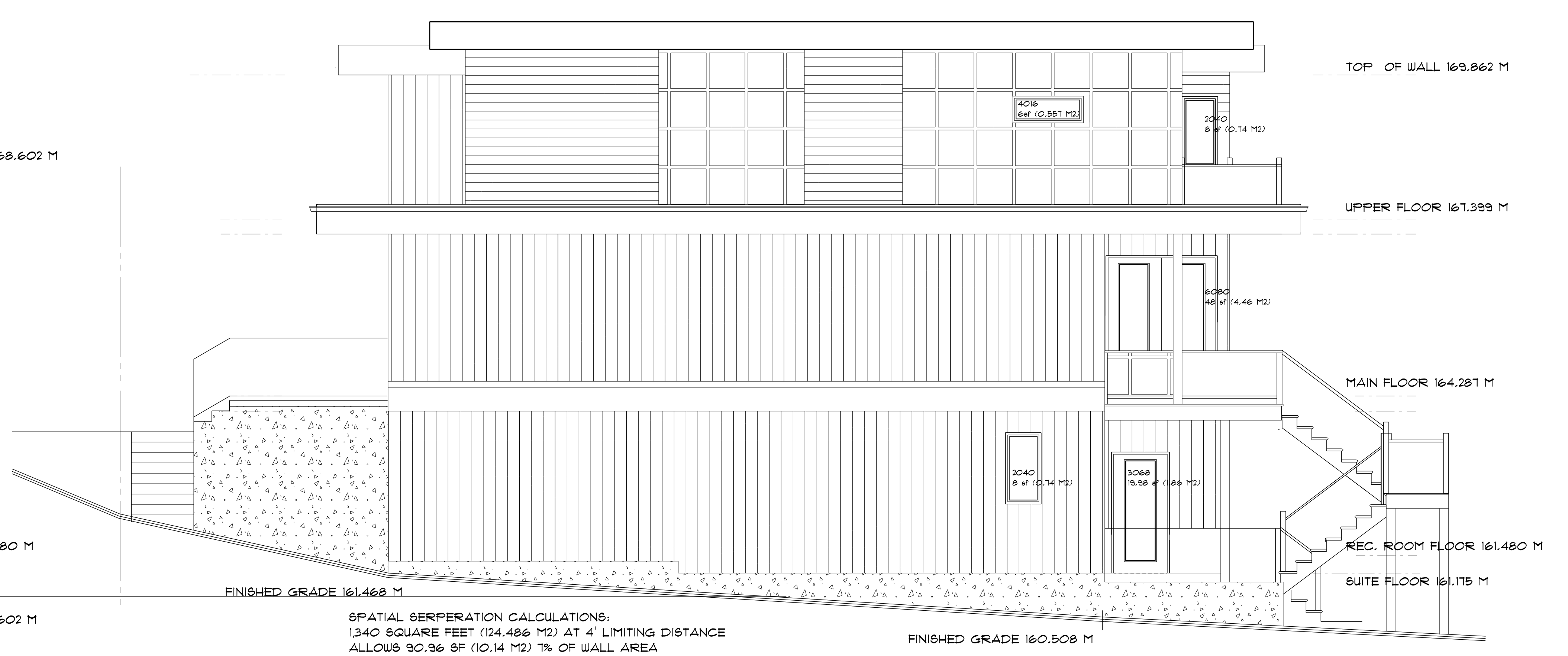
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Drawing **SECTIONS**
 Drawn By B.C. Date FEB. 2019
 Scale
 Project
PHAGOORA RESIDENCE
 AT 253 EAST 28th STREET
 NORTH VANCOUVER

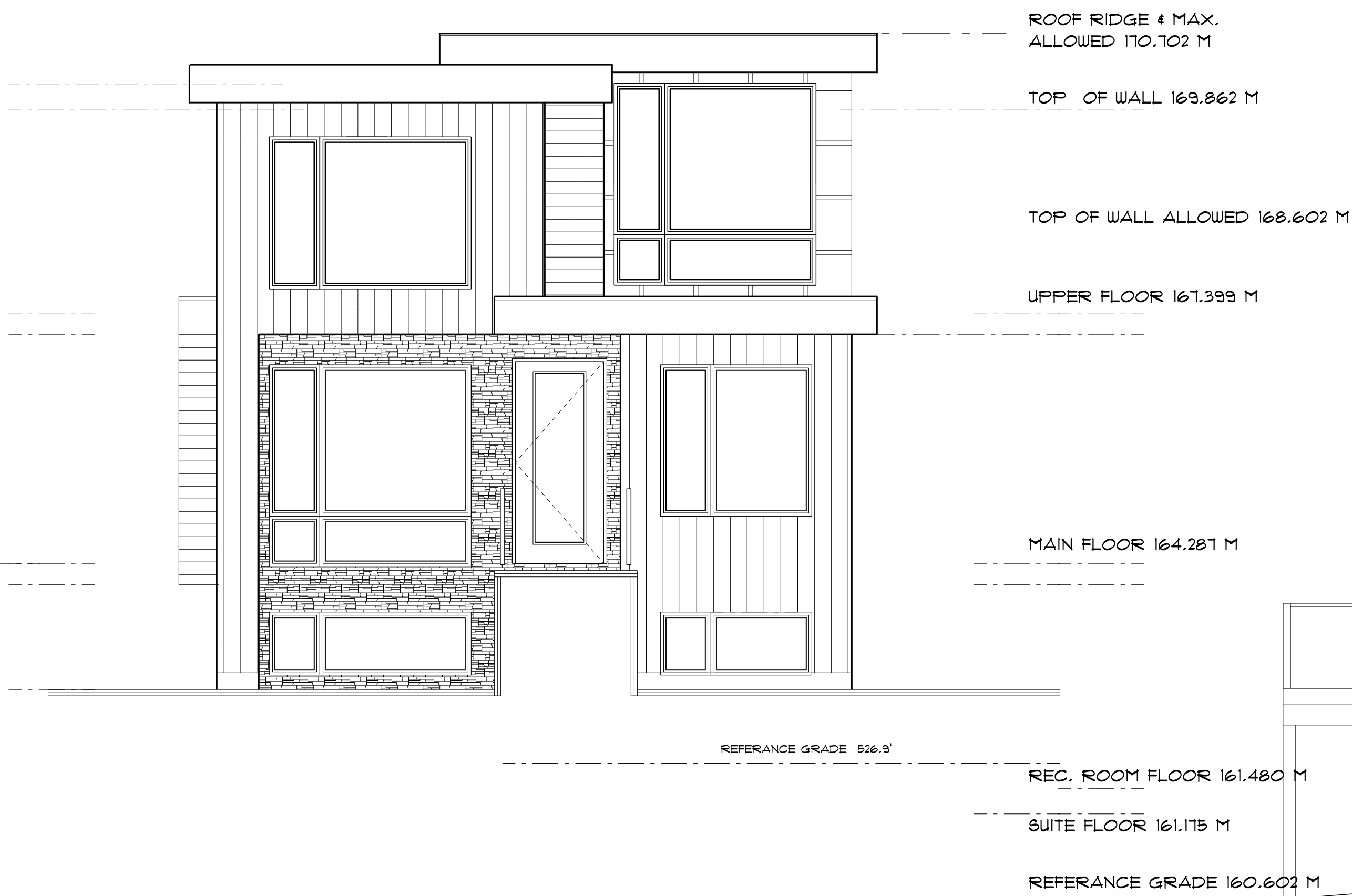


SOUTH ELEVATION

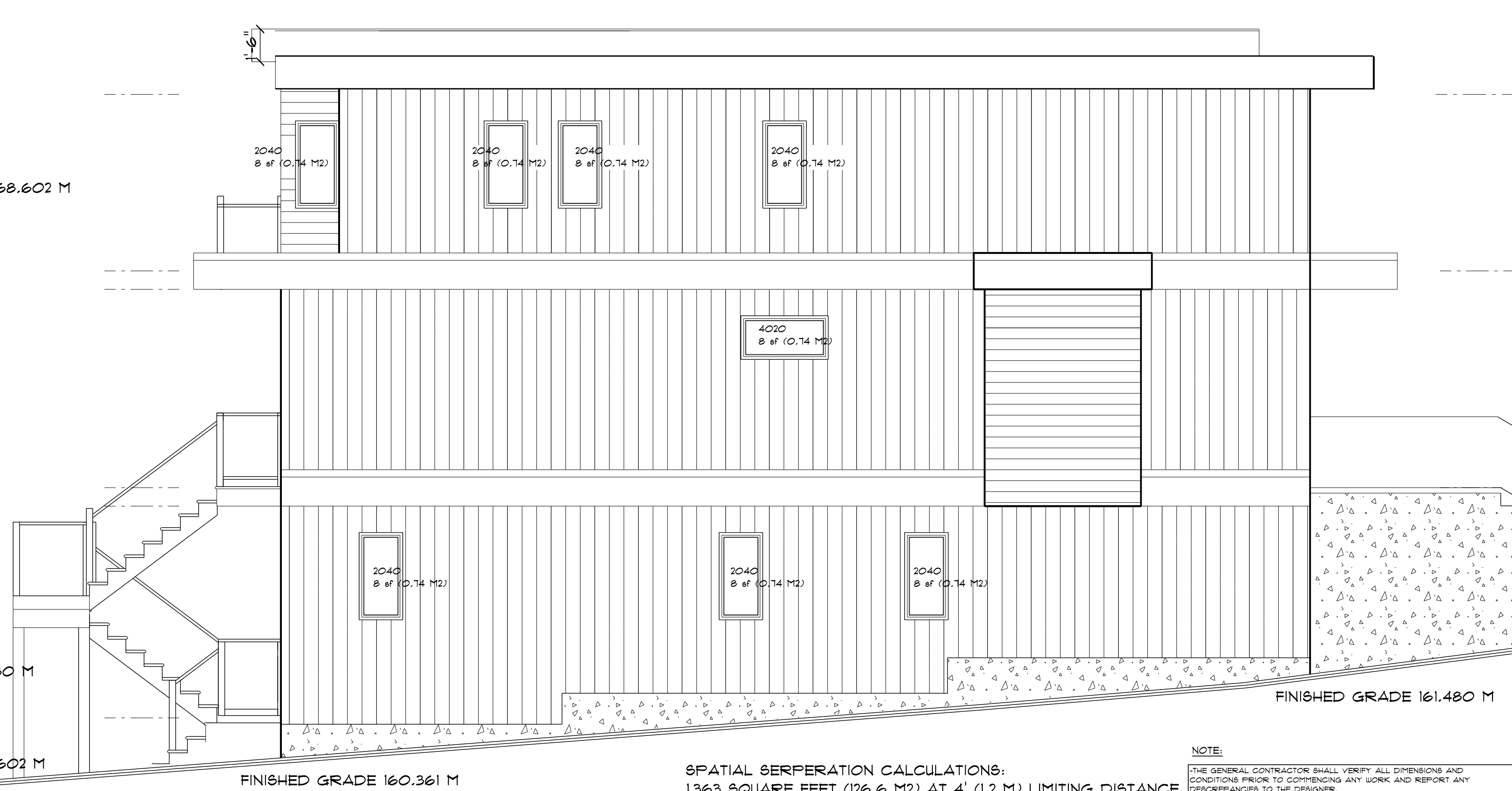


SPATIAL SEPERATION CALCULATIONS:
 1340 SQUARE FEET (124.486 M²) AT 4' LIMITING DISTANCE
 ALLOWS 90.96 SF (10.14 M²) 7% OF WALL AREA
 89.98 SQUARE FEET (8.36 M²) PROPOSED

WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

SPATIAL SEPERATION CALCULATIONS:
 1363 SQUARE FEET (126.6 M²) AT 4' (1.2 M) LIMITING DISTANCE
 ALLOWS 95.41 SF (8.86 M²) OF UNPROTECTED OPENING
 AT 7% OF WALL AREA
 64 SF (5.95 M²) PROPOSED

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- REVISIONS
- JUNE 2021 ROOF REDESIGNED
 - MAY 2021 ENERGIZED LEVEL 2 OUTLETS FOR PARKING NOTED
 - FEBRUARY 11, 2021 GARAGE SECTION AND SPATIAL SEPERATION CALCULATIONS ADDED

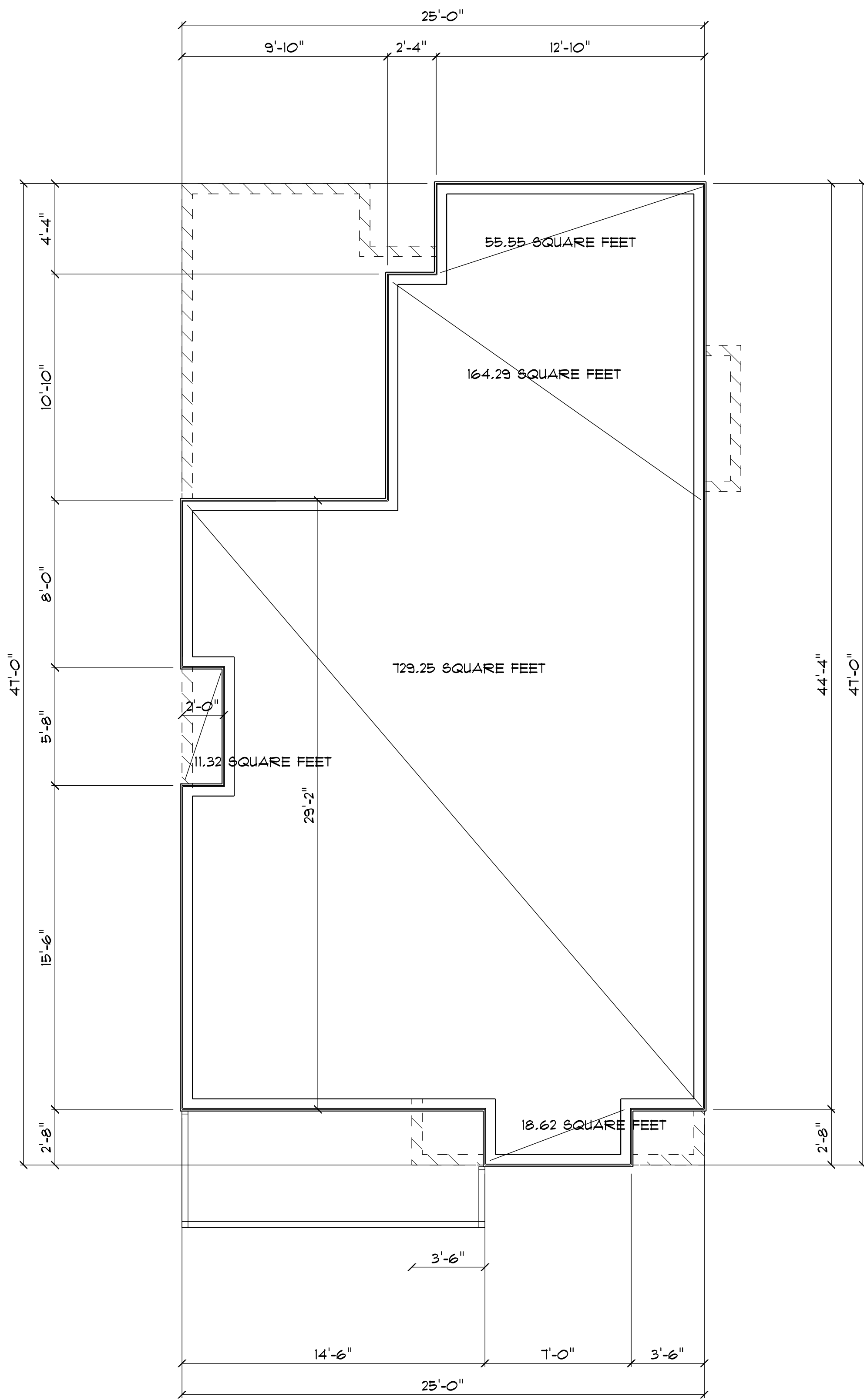
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ELEVATIONS

Drawing
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 Scale 1 : 50 METRIC

Project
PHAGOORA RESIDENCE
 AT 253 EAST 28th STREET
 NORTH VANCOUVER

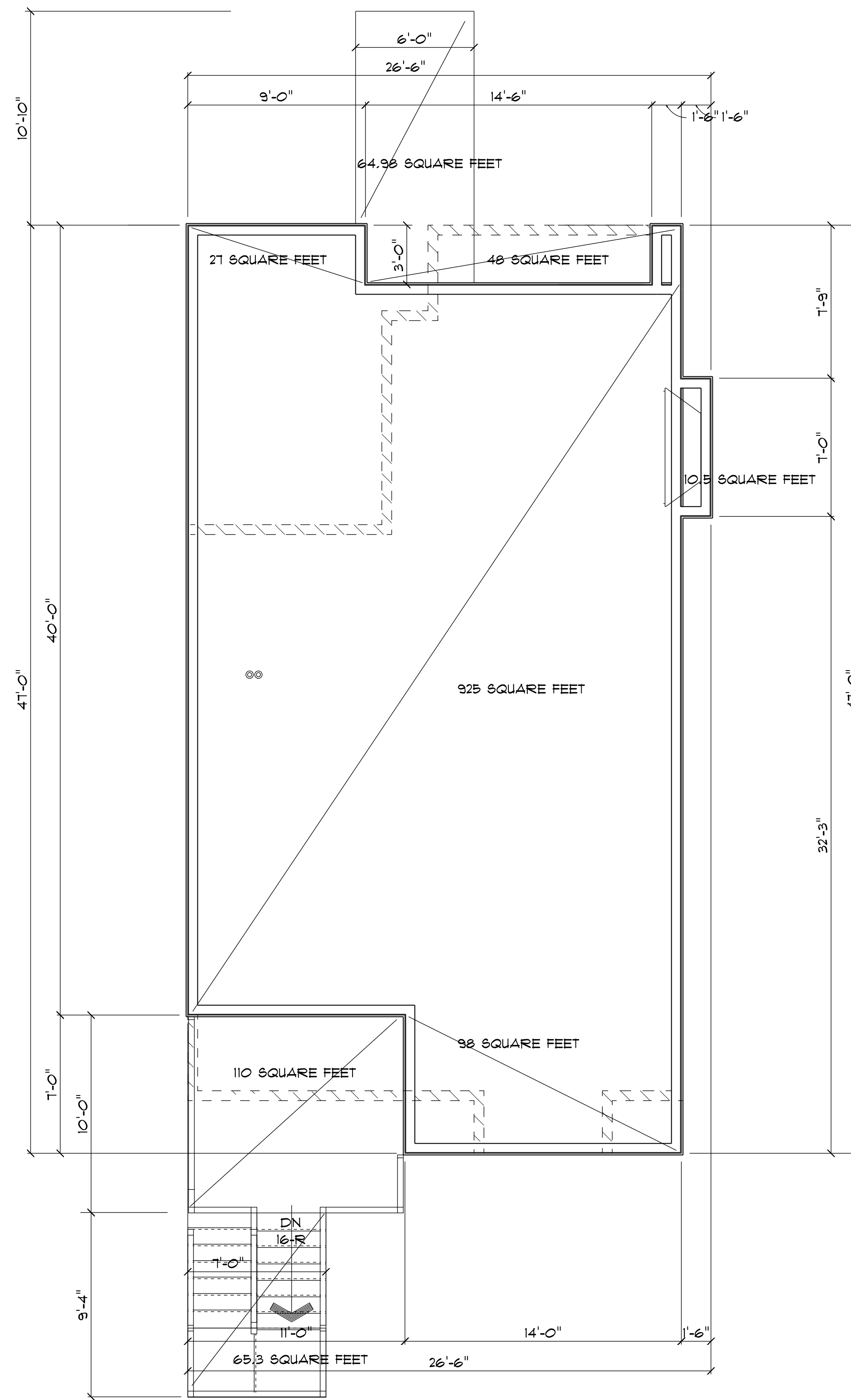


UPPER FLOOR PLAN

956.39 SQUARE FEET F&R

UPPER FLOOR 2 AREA OVERLAY

SCALE: 1/4" = 1'-0"

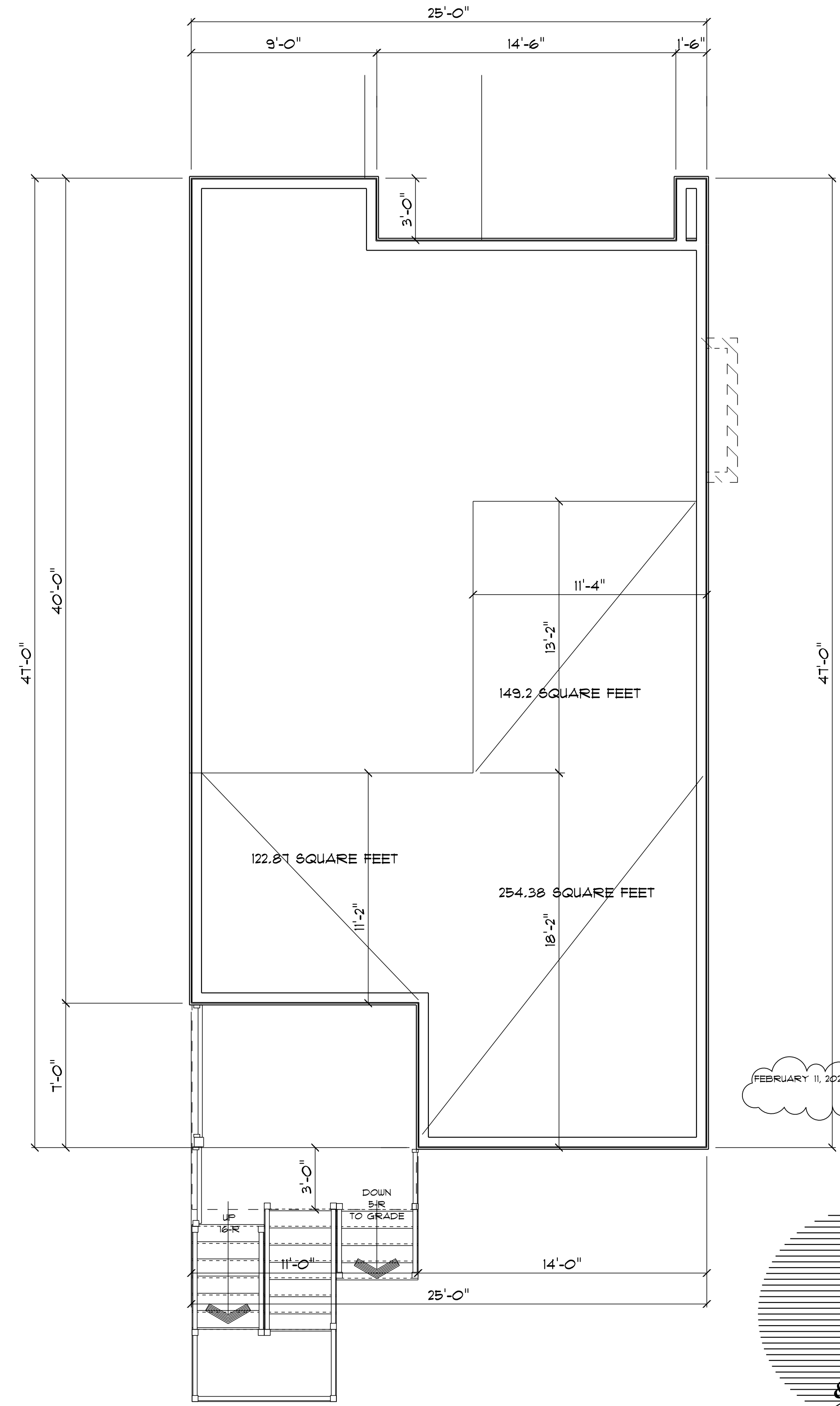


MAIN FLOOR PLAN

1,050.0 SQUARE FEET F&R
 + 298.78 SQUARE FEET
 = 1,348.78 SQUARE FEET LOT COVERAGE

MAIN FLOOR 5 AREA OVERLAY

SCALE: 1/4" = 1'-0"

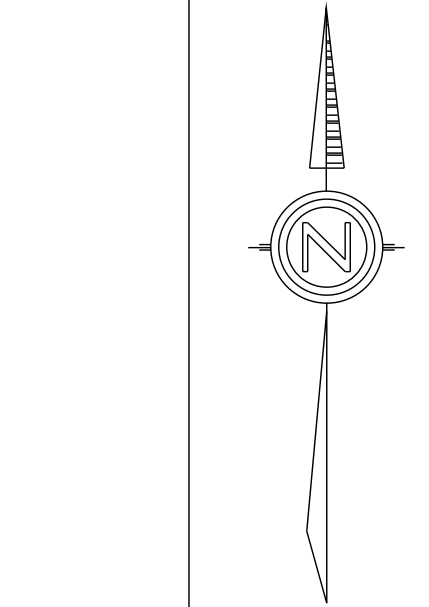


BASEMENT PLAN

526.45 SQUARE FOOT SUITE

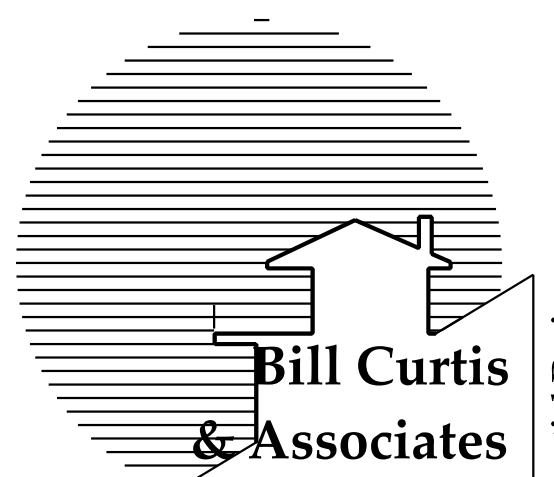
BASEMENT PLAN 3 AREA OVERLAY

SCALE: 1/4" = 1'-0"



FEBRUARY 11, 2021 GARAGE SECTION AND SPATIAL SEPARATION CALCULATIONS ADDED

REVISIONS



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FLOOR AREAS

Drawn By B.C. Date FEB. 2019

Scale

Project
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 NORTH VANCOUVER

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