

LANDSCAPE CONTRACT DOCUMENTS

PROJECT: LANDSCAPE FOR TRIPLEX

LOCATION: 259 EAST 23RD STREET, NORTH VANCOUVER
CLIENT: COBBLESTONE HOMES LTD.
BUILDING ARCHITECT: HEARTH ARCHITECTURAL
LANDSCAPE ARCHITECT CONSULTANT: SW LANDSCAPE ARCHITECT
ATTN: STEVE WONG 778 834-8959 stevewong234@gmail.com
www.swlandscapearchitect.com

SUMMARY OF LANDSCAPE SCOPE OF WORK

SUMMARY: THE LANDSCAPE PORTION OF THE PROJECT INCLUDES ALL LANDSCAPE WORKS ASSOCIATED WITH A NEW BUILDING PROJECT. THIS INCLUDES BUT NOT LIMITED TO THE SUPPLY AND INSTALLATION OF GROWING MEDIUM, LANDSCAPE PLANTS, MULCH, IRRIGATION SYSTEM, PAVERS, CIP CONCRETE WALK/WALLS/STAIRS, CIP ADDRESS PILLAR WITH LIT SIGN, ASPHALT, FENCING, GATES, LOW VOLTAGE LIGHTING, ONE YEAR WARRANTY AND ONE YEAR LANDSCAPE MAINTENANCE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ELECTRICAL AND WATER FEED IN ORDER TO ALLOW FOR THE INSTALLATION OF A COMPLETE, FUNCTIONING LANDSCAPE LIGHTING AND IRRIGATION SYSTEM. LANDSCAPE DESIGN/WORKS IS TO BE COORDINATED WITH ALL OTHER WORKS ON THIS SITE.

LANDSCAPE LIST OF DRAWINGS

- L0 COVER SHEET
- L1 LAYOUT
- L2 PLANTING PLAN
- L3 LIGHTING PLAN
- L4 TREE MANAGEMENT PLAN
- L5 DETAILS

GENERAL CONDITIONS OF THE CONTRACT

-REFER TO GENERAL CONDITIONS OF CONTRACT, BY PRIME CONSULTANT
 -REFER TO, AND COORDINATE THESE CONTRACT DOCUMENTS WITH THE CONTRACT DOCUMENTS OF THE OTHER CONSULTANTS AND THE MAIN CONTRACT

LANDSCAPE SPECIFICATIONS

1. CANADIAN LANDSCAPE STANDARD (CLS), SECOND EDITION

COPYRIGHT, 2020, ISBN: 978-0-9950714-1-4
 -PUBLISHED JOINTLY BY:
 CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS
 12 FORILLON CRESCENT, OTTAWA ON K2M 2W5
 1-613-668-4775 csla-aapc.ca
 CANADIAN NURSERY LANDSCAPE ASSOCIATION
 7856 FIFTH LINE SOUTH MILTON ON L9T 2X8
 1-888-446-3499 cnla-acpp.ca

SUPPLEMENTARY SPECIFICATIONS- PROJECT SPECIFIC:

9. LANDSCAPE MAINTENANCE: ADD: PER SECTION 9.1.5, ESTABLISHMENT AND WARRANTY MAINTENANCE, THE MAINTENANCE PERIOD WILL BE FOR 1 CALENDAR YEAR FROM DATE OF ACCEPTANCE. PER SECTION 9.1.7, MAINTENANCE LEVEL FOR THIS PROJECT WILL BE AT LEVEL 3 "MODERATE"

CLS SPECIFICATIONS (PARTS THAT ARE NOT APPLICABLE TO THIS PROJECT ARE GRAYED OUT)

1. SCOPE OF THE STANDARD
2. CONTRACT ADMINISTRATION
3. SITE PREPARATION AND PROTECTION
4. GRADING AND DRAINAGE
5. GROWING MEDIUM
6. PLANTS AND PLANTING
7. MULCHING
8. SEEDING AND SODDING
9. LANDSCAPE MAINTENANCE
10. IRRIGATION SYSTEMS
11. INTEGRATED PEST AND VEGETATION MANAGEMENT
12. HARDSCAPE
13. LANDSCAPE OVER STRUCTURES
14. INTERIOR PLANTSCAPE N/A

APPENDIX A: LIST OF TABLES AND FIGURES

APPENDIX B: BASIC CONTENTS OF A LANDSCAPE COMMISSIONING PLAN

APPENDIX C: CANADIAN NURSERY STOCK STANDARD, NINTH EDITION

APPENDIX D: NATIONAL VOLUNTARY CODE OF CONDUCT FOR THE ORNAMENTAL HORTICULTURE INDUSTRY

GLOSSARY OF TERMS AND DEFINITIONS

NOTES:

1. CONTRACTOR TO PROVIDE DIGITAL PHOTOS TO THE LANDSCAPE ARCHITECT FOR ALL WORK THAT WILL BE BURIED OR CONCEALED IN ORDER TO CONFIRM THAT THE WORK MEETS SPECIFICATIONS AND APPLICABLE STANDARDS
2. CONTRACTOR TO PROVIDE DIGITAL PHOTOS OF ALL PLANT MATERIAL AT THE NURSERY FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO SHIPPING. PHOTOS ARE TO BE REPRESENTATIVE OF THE PLANTS TO BE SHIPPED AND CLEARLY SHOW THE QUALITY AND SIZE OF THE PLANTS. A MEASURING STICK SHOULD BE USED WHERE NECESSARY TO SHOW THE HEIGHT OF A PLANT.

GENERAL PROJECT AND CONTRACTOR NOTES

1. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
2. Contractor shall submit reproducible shop drawings to Landscape Architect for Owner's approval.
3. Contractor shall co-ordinate with all trades to provide complete working systems.
4. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Any scales on drawings are only for the Contractor's convenience. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Architect, Engineer)
5. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
6. All work described by these documents shall be performed in full accordance with all applicable codes and standards.
7. 7 All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
8. Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
9. All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at the contractor's expense.
10. Coordinate landscape drawings with architect/engineer and all other consultant drawings.

GENERAL LANDSCAPE NOTES

1. All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery landscape Association.
2. All landscape works to be carried out by a contractor with minimum 5 years' experience doing similar work, who is a member in good standing with the appropriate trade organization: eg, B.C. Landscape and Nursery Association (BCLNA), Irrigation industry Association of B.C. (IIABC). Execution of work to be under the direct supervision of qualified industry certified technicians.
3. All grades to meet adjacent grades at property line. All stormwater is to be contained on site and away from adjacent properties. All hard surfaces to be sloped a minimum of 1.5%, and all lawn areas to be sloped a minimum of 2% to avoid standing water. Contractor is ultimately responsible for ensuring there is no standing water on site over an extended period.
4. No slopes to be steeper than 2.5 horizontal: 1 vertical.
5. All plant material and growing medium to meet Canadian Landscape Standard #1 specifications. Plant search area is to be any plant nursery within the Lower Mainland. Plant substitutions are only allowed if approved by Landscape Architect. Suggested plant substitutions shall be of similar species and of at least equal size to those originally specified.
6. All shrub beds to contain minimum 18" (450) mm depth and all lawn areas to contain a minimum of 6" (150) mm depth of approved growing medium over scarified subgrade unless stated otherwise on drawings.
7. All guardrails are required wherever the fall height is over 2 ft. Guardrails to be a minimum 42" high from any climbable surface surface. Maximum openings between pickets to be under 4".
8. Stairs to have consistent rise/run for risers and treads. Stair treads to slope 2% to front edge of tread for drainage and constructed with materials or finishes to prevent slip falls. All stairs over 2 risers to have handrails between 32" to 38" high from the front of stair treads, and to extend 12" past the end of top/bottom treads.
9. Exterior ramps to adhere to BC Building code if greater than 5% slope. Ramps to be maximum of 8.3% and minimum 5' width. Handrails required on both sides. Construction to adhere to BC Building code.
10. All retaining walls and structures over 4 ft. in height or if there are issues with soil stability require signoff from the appropriate engineer (eg structural, geotechnical). Contractor to provide engineer stamped shop drawings for Landscape Architect.
11. Landscape installation to be reviewed by registered Landscape Architect.

GENERAL TREE NOTES

1. Any permitted tree removal(s) must be performed by a qualified professional.
2. No grade changes are to occur within the critical root zones of any retained trees. Any exposed roots from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent desiccation of exposed roots; this root curtain must be removed prior to backfilling. Trees must be adequately watered during the entire construction process.
3. The removal of existing organics within the critical root zones of retained trees must be performed manually, when installing new plant material within the critical root zones of retained trees, if large roots (1.5' diameter and larger) are encountered, then new plantings must be shifted to accommodate. No more than 3" of additional soil for new landscaping may be added within any critical root zone.
4. Any excavation work or work within the protection zone of retained trees requires the supervision of a certified arborist. This includes, but is not limited to: demolition, the installation of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communication, electrical, irrigation, etc.), during the installation of patios, driveways, or any hardscape, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and deck footings.
5. Construction materials must not be stored within the tree protection zone (TPZ) of trees to be retained, and TPZ fencing to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating "Tree protection zone-Do not enter or modify". Contact your project arborist for any TPZ barrier issues.
6. Refer to arborist report and drawing, Prepared by Burley Boys Tree Services Ltd., dated June 23, 2021. Refer to and coordinate with other project drawings.

MATERIALS LIST-COORDINATE WITH SPECIFICATIONS

1. ADDRESS PILLAR: Architectural concrete finish, with square edges, complete with rebar and footing.
2. ADDRESS SIGN: From Address Signage Company, North Vancouver. stainless steel with integrated 12v LED lighting and standoffs bolted to address pillar.
3. ASPHALT: 3" of compacted hot mix asphalt applied in 2 lifts over 4" of well compacted ¾" minus base course per municipal and MMCD specifications.
4. CONCRETE: Per applicable industry standards. Concrete to be reinforced with rebar and/or WWM as shown on drawings. For concrete flatwork, provide medium broom finish with 2% cross slope, over min. 4" compacted granular base with expansion joints as required, and control joints @ 5' OC and where there is potential for cracking. Provide shop drawings showing expansion and control joints.
5. FENCE- POST BASE BRACKET: By Magma Supply, MSF104 for full dimension 4" post, black textured powdercoated.
6. FENCE-WOOD: 1 X6 T&G STK cedar boards, finished with 2 coats of Sikken's semi-transparent cedar stain. Exact style to be determined by Owner.
7. FILTER FABRIC: Nilox Nonwoven 4551 geotextile or equivalent; polypropylene, staple fiber, needle-punched nonwoven geotextile.
8. GRAVEL LAYER: 4" of ¾" round drain rock over non-woven filter fabric.
9. GROWING MEDIUM: In accordance with CLS standards, latest edition. For Turf Areas: Level 1H (High Traffic Lawn Areas), containing by weight: 70-90% sand, maximum 25% fines (max 20% clay), 3-5% organic matter, with pH between 6-7; For Planting Areas: Level 1P (Planting Areas), containing by weight: 40-80% sand, maximum 25% fines (max 20% clay), 10-20% organic matter, with pH between 4.5-6.5. Supplied by Veratec Engineered Products (www.veratecgroup.com), DENBOW (www.denbow.com), SUMAS GRO MEDIA (www.sumasgromedia.com) or equivalent; 6" min for lawn areas on grade, 18" min for planted areas on grade, over scarified base, or as otherwise specified. A current representative soil analysis is to be done by Pacific Soil Analysis, Richmond to confirm soil sample meets specifications prior to shipping. If after shipping the quality of the soil is in question, further sampling and testing by Pacific Soil Analysis will be required at contractor's expense. If it is determined that the soil does not meet CLS Specifications, the soil is to be removed at contractor's expense. Contact information for Pacific Soil Analysis is: #5-11720 Voyageur Way, Richmond, BC V6X 3G9; Phone (604) 273-8226.
10. HANDRAILS FOR STAIRS: 36 " high measured from front edge of tread, powder coated medium gloss charcoal aluminum, installed to BC Building code. Exact style to be determined by Owner.
11. IRRIGATION: Supply and installation required for a complete automatic, inground irrigation system to provide supplemental water efficiently and uniformly. All components to be new, and includes all pipes, sleeves, valves, in-ground irrigation boxes, sprinkler heads, solenoid wires, controller and rain sensor. Controller to have 2 extra zones for future expansion and if installed outside, to have controller and wiring secured in a lockable, weatherproof metal box. Irrigation components to be Rainbird, Toro or Hunter. Irrigation design and installation per Canadian Landscape Standards, latest edition. Design to be completed by a qualified designer/contractor with IIABC. Shop drawings for the irrigation design are to be provided by contractor and to be approved by the landscape architect prior to installation. Contractor is responsible for providing water service and connecting irrigation system to water service complete with backflow preventor, pressure reducing valve and isolation valves. Contractor to adjust irrigation controller, sprinkler heads and commission system in addition to providing as-built drawings and a one year warranty.
12. LIGHTING-BY KICHLER: Lighting fixtures and accessories to be Kichler 12 V, LED. STEP LIGHT: KIC-5782BKT27 .86W/ PATH LIGHT: KIC-15805BKT27 4W/ ACCENT LIGHT: KIC-16155BKT27 3.5W/ HARDSCAPE: KIC-16103GRY27 2.7W/ WALL WASH: KIC-16070BKT27R 4.3W/ BOLLARD: KIC-16070BKT27R 3.8W/ DECK LIGHT: KIC-15764CBR .86W/ 300 W Transformer-Kichler 15CS300SS or sized to allow for an additional 50 watt capacity; Photocell- Kichler 15565BK, Timer-24 hr. digital. Lighting to be installed as a complete working system with wires, connectors, mounting hardware, transformer, photocell and timer. Contractor is responsible for providing a power source and to have transformer, timer and source wiring secured in a lockable and weatherproof cabinet if mounted outside.
13. MULCH: To be composted fir bark, having dark brown, fine texture and ½" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil and Mulch (604 465-5193) or equivalent.
14. PAVERS: By Abbotsford Concrete Products, Classic Standard Series, 4 7/16" by 8 7/8" by 2 3/8" inches, Natural colour, mixed with half standard and double standard sizes to suit owner. Edges to be provided with soldier course in Cahrcoal. Pavers installed over 1" bedding sand and minimum 6" compacted ¾" minus base course over non-woven filter fabric. Perimeter edge restraint to be concrete or Edge-Pro or equivalent. Polymeric sand to be filled in joints.
15. PLANT MATERIAL: All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards by qualified contractor. Plant search is generally throughout the Lower Mainland except as indicated otherwise. Any plant substitutions must be approved by Landscape Architect.
16. RAILINGS: 42" high, powder coated medium gloss black charcoal. Maximum gap between pickets to be 3.75". Railings to be installed where there is a fall height of 2' or more, installed to BC Building code. Coordinate with architect/engineering drawings. Exact style to be determined by Owner.
17. SOD: All sod to be sand based sod (Perennial rye/Kentucky bluegrass) with no netting. Supplied by Bos Sod Farms, or equivalent. No clay or silt soil to be allowed.
18. STEPS-CONCRETE: Medium broom finish, sloped 2% to front of tread per BC Building code. Coordinate with architect/engineering drawings.
19. TREE ROOT BARRIER: By Deep Root or equivalent, polypropylene barrier, 2' deep by .08" thickness.

NOTE: ALL MATERIALS SHOWN ON DRAWINGS ARE NOT NECESSARILY INCLUDED IN THIS MATERIALS LIST. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL MATERIALS REQUIRED TO COMPLETE LANDSCAPE WORKS PER CONTRACT DOCUMENTS.



AERIAL VIEW OF PROJECT SITE- UP IS NORTH



STREET VIEW OF PROJECT SITE

No.	Date	Issue/Revision Notes
A	3/15/2022	REVIEW
B	3/17/2022	SUBMIT
C	4/3/2022	SUBMIT

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Design Firm	SW LANDSCAPE ARCHITECT 919 MELBOURNE AVENUE NORTH VANCOUVER www.swlandscapearchitect.com
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Client	COBBLESTONE HOMES
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Project Title	TRIPLEX DEVELOPMENT 259 E. 23RD ST. NORTH VANCOUVER
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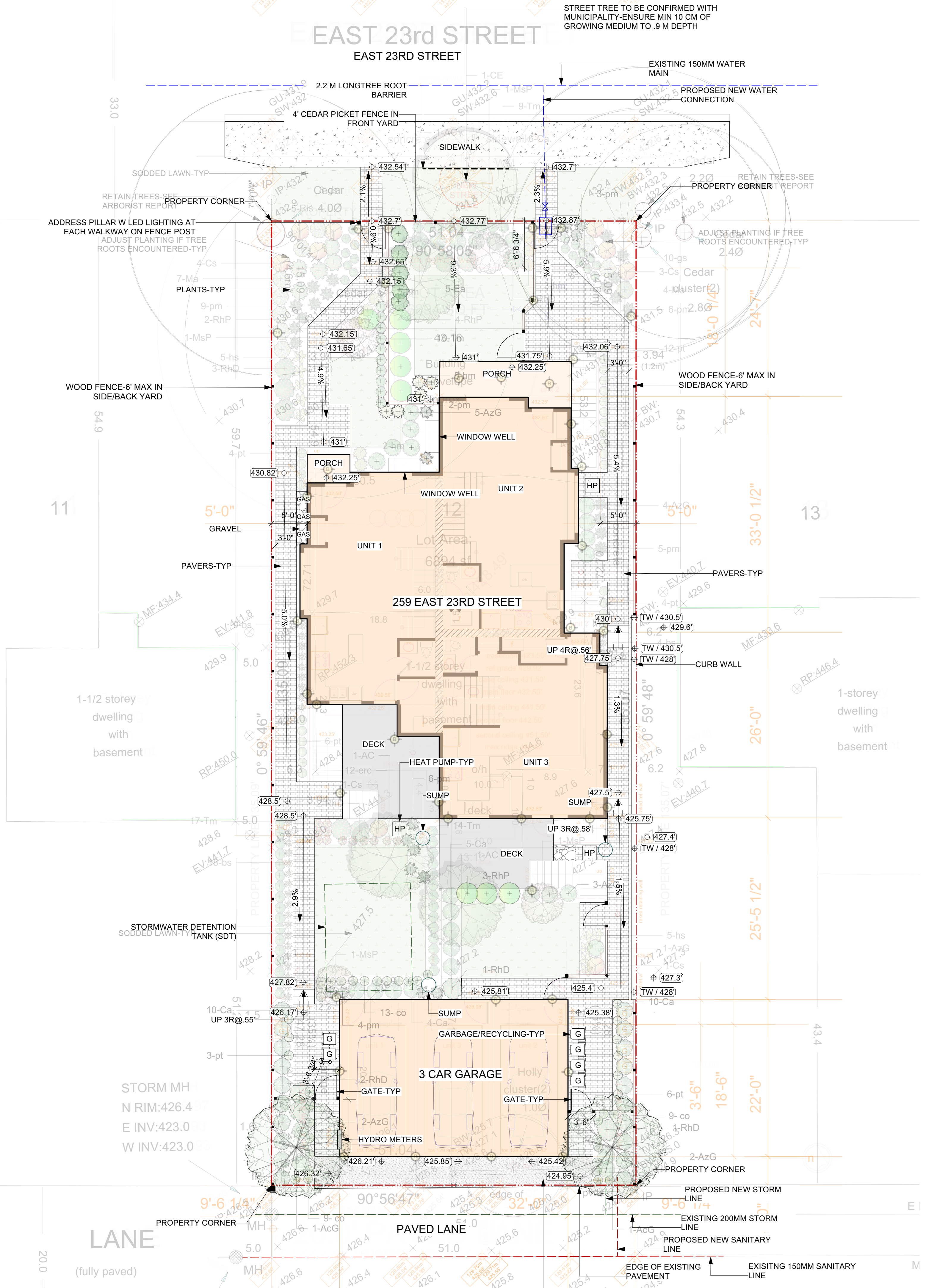
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Project Manager	STEVE WONG	Project ID	2022-5
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Date	MARCH 2022	Sheet No.	L-0
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GENERAL PROJECT AND CONTRACTOR NOTES

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- Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
- All work described by these documents shall be performed in full accordance with all applicable codes and standards.
- All materials, finishes, manufacturer items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
- Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
- All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at the contractor's expense.
- Coordinate landscape drawings with architect/engineer and all other consultant drawings.

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Client
COBBLESTONE HOMES

Project Title
**TRIPLEX DEVELOPMENT
 259 E. 23RD ST. NORTH VANCOUVER**

Sheet Title
LAYOUT

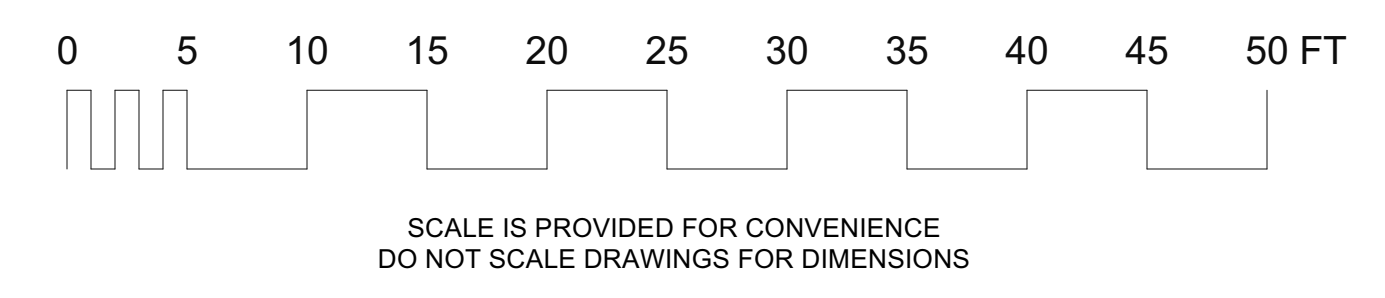
Project Manager
STEVE WONG Project ID
 2022-5

Drawn By
SW Scale
 AS NOTED

Date
MARCH 2022 Sheet No.
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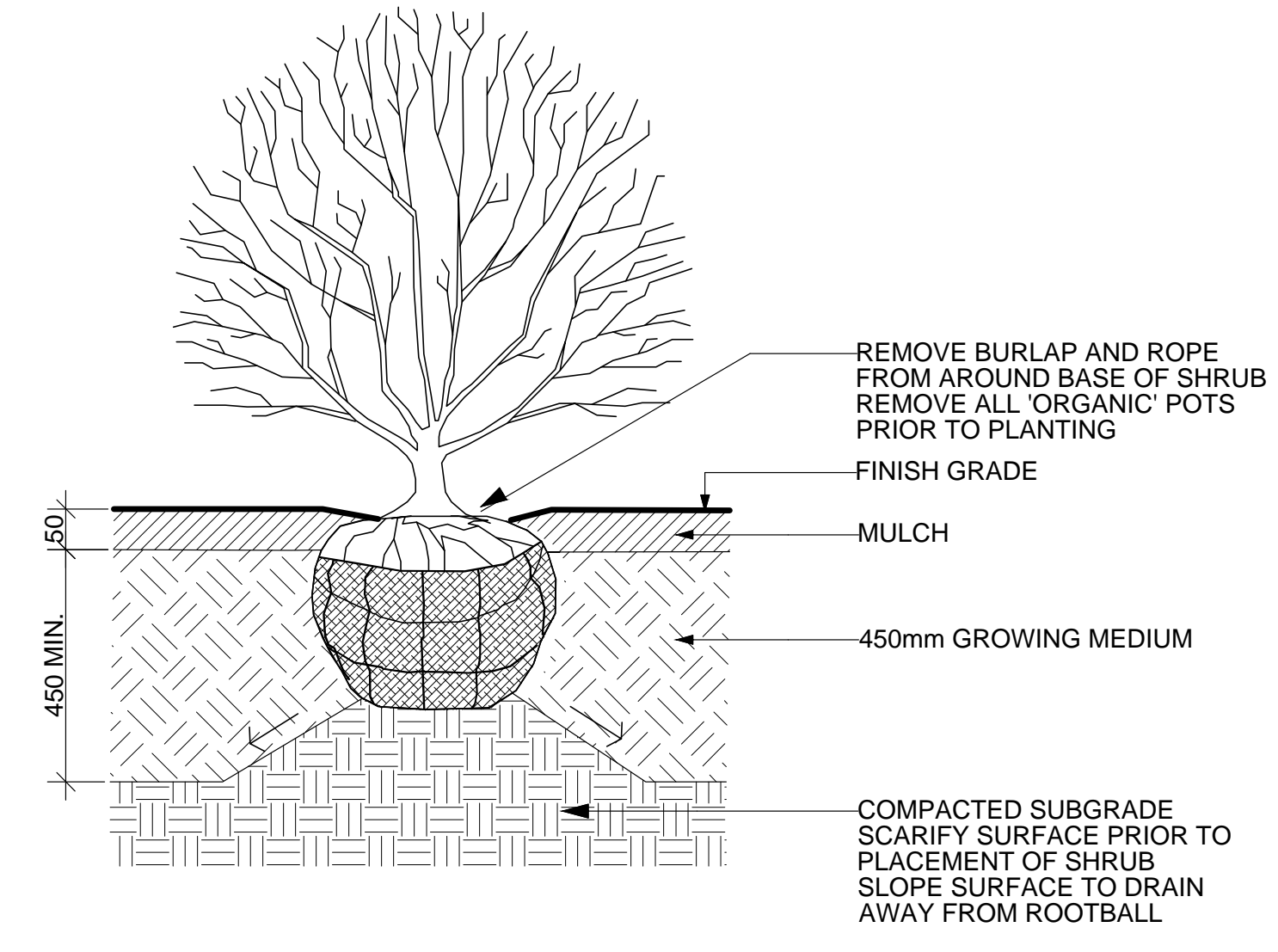
LEGEND

- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED BOTTOM OF WALL ELEVATION
- PROPERTY LINE
- AREA DRAIN
- TRENCH DRAIN
- ASPHALT
- CONCRETE
- FIBAR
- SAND
- STONWORK
- SLABS/TILES
- WOOD DECK
- GRAVEL
- GRASS



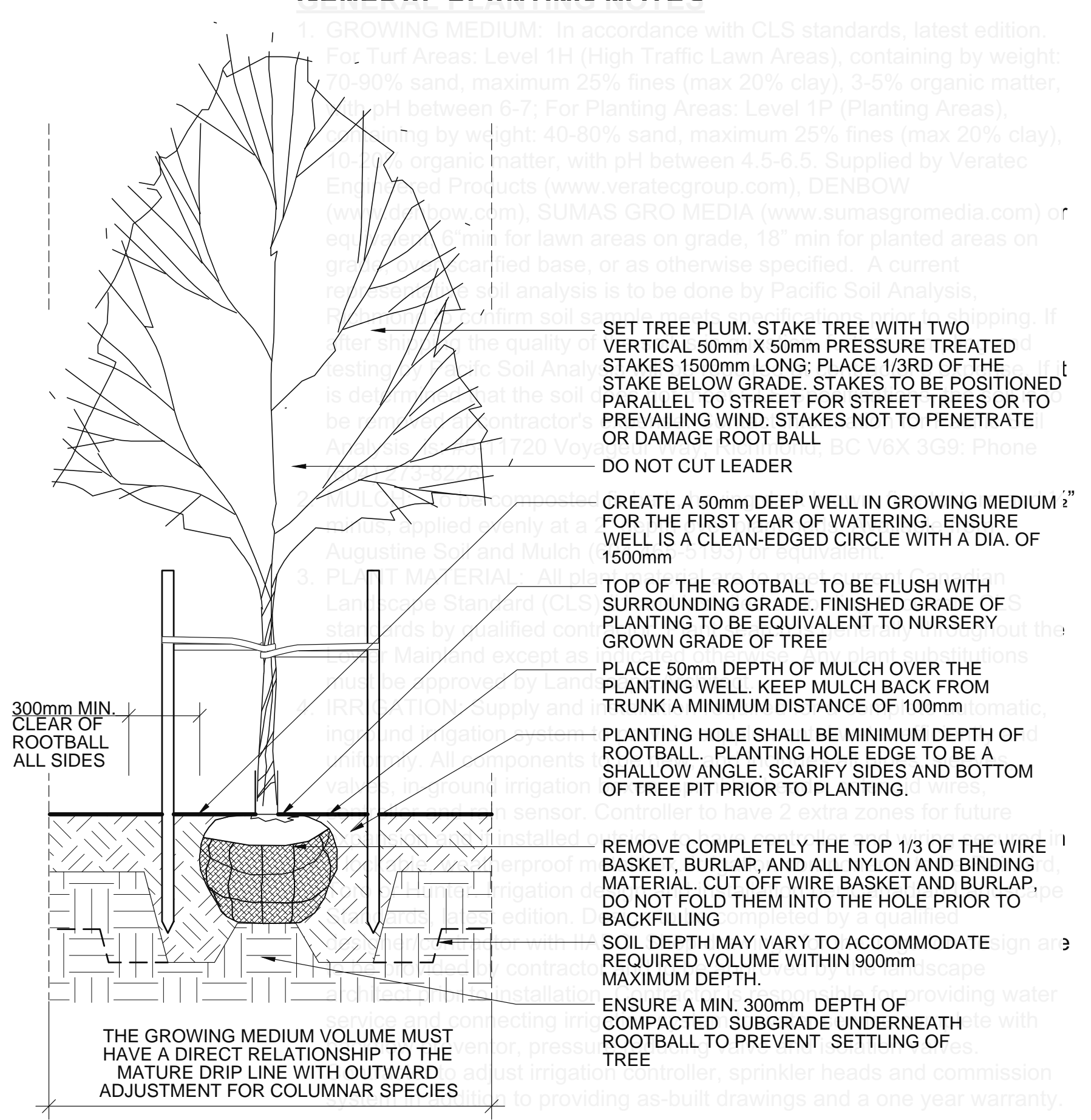
1 LAYOUT
 Scale: 1/8" = 1'-0"

EAST 23rd STREET



- NOTES:**
- SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE OF GROWING MEDIUM.
 - COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB.
 - PLANTING PIT MUST BE FREE DRAINING

2 SHRUB PLANTING DETAIL
Scale: N/A

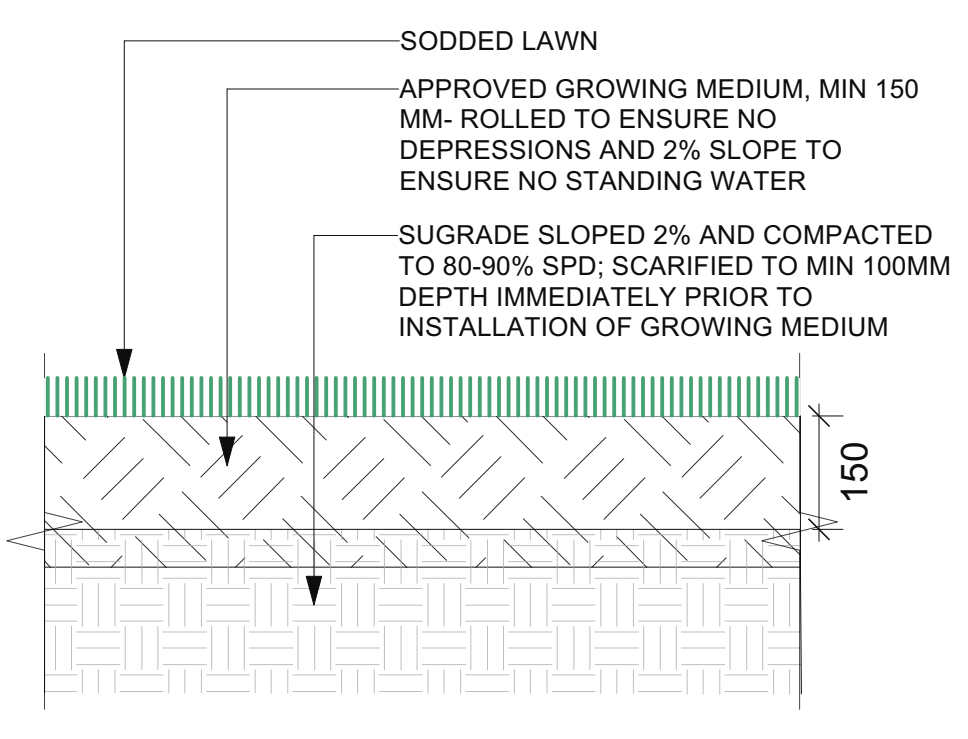


3 TREE PLANTING DETAIL
Scale: N/A

PLANT LIST, 259 EAST 23RD STREET, NV

Botanical Name	Common Name	No.	Size	Spacing	Sym
TREES					
Acer griseum	Paperbark maple	2	6cm	as shown	AcG
Acer circinatum 'Pacific Fire'	Vine maple	3	6cm	as shown	Ac
Cornus 'Eddie's White Wonder'	Flowering dogwood	1	6cm	as shown	CE
SHRUBS					
Azalea 'Girard Fuchsia'	Azalea	17	#2 pot	as shown	AzG
Azalea 'Rosy Lights'	Azalea	6	#2 pot	as shown	AzR
Cornus alba 'Elegantissima'	Variiegated dogwood	35	#2 pot	as shown	Ca
Cornus stolonifera	Redtwig dogwood	9	#2 pot	as shown	Cs
Euonymus alata	Winged burning bush	5	#5 pot	as shown	Ea
Magnolia stellata 'Pink Star'	Star magnolia	4	1.5 m	as shown	MSP
Mahonia aquifolium	Oregon grape	11	#2 pot	as shown	Ma
Rhododendron 'Dora Amateis'	Rhododendron	12	#5 pot	as shown	RhD
Rhododendron 'PJM Elite'	Rhododendron	10	#5 pot	as shown	RhP
Ribes sanguinum	Red flowering currant	5	#2 pot	as shown	Ris
Taxus media 'Hillii'	Yew	50	1.2m	as shown	Tm
VINES, GROUND COVERS AND HERBACEOUS PERENNIALS					
Blechnum spicant	Deer fern	31	#1 pot	as shown	bs
Carex oshimensis 'Evergold'	Sedge	32	#1 pot	as shown	co
Erica carnea 'Springwood Pink'	Heath	12	#1 pot	as shown	erc
Gaultheria shallon	Salal	18	#1 pot	as shown	gs
Hemerocallis 'Rosy Returns'	Daylily	15	#1 pot	as shown	hm
Hosta 'Wide Brim'	Hosta	10	#1 pot	as shown	hs
Pachysandra terminalis	Japanese spurge	35	#1 pot	as shown	pt
Polystichum munifolium	Western sword fern	35	#1 pot	as shown	pm

Contractor to be certified by BCLNA
All plants and installation to meet or exceed latest Canadian Landscape standard (CLS) #1 standards
Contractor to verify numbers and placement of plants prior to installation



4 SODDED LAWN
Scale: 1:10

No.	Date	Issue/Revision Notes
A	3/15/2022	REVIEW
B	3/17/2022	SUBMIT
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Project Title
**TRIPLEX DEVELOPMENT
259 E. 23RD ST. NORTH VANCOUVER**

Sheet Title
PLANTING PLAN

Project Manager
STEVE WONG

Project ID
2022-5

Drawn By
SW

Scale
AS NOTED

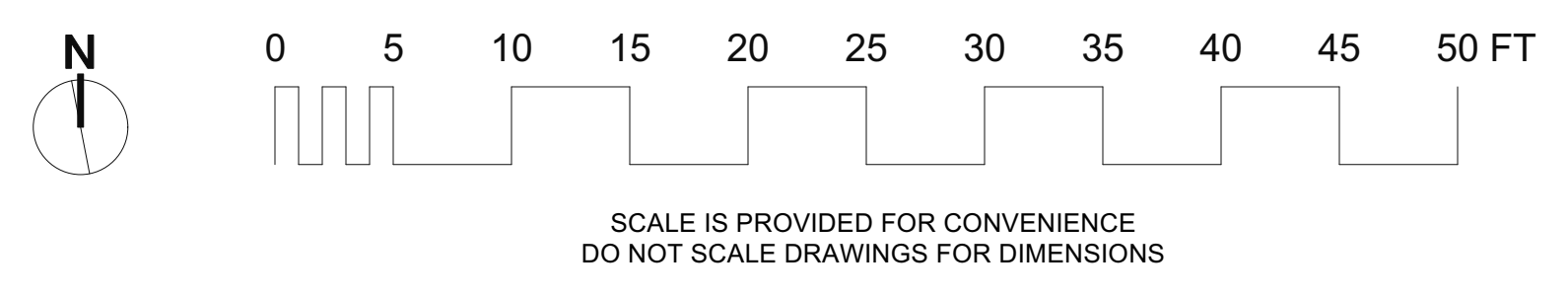
Date
MARCH 2022

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Sheet No.
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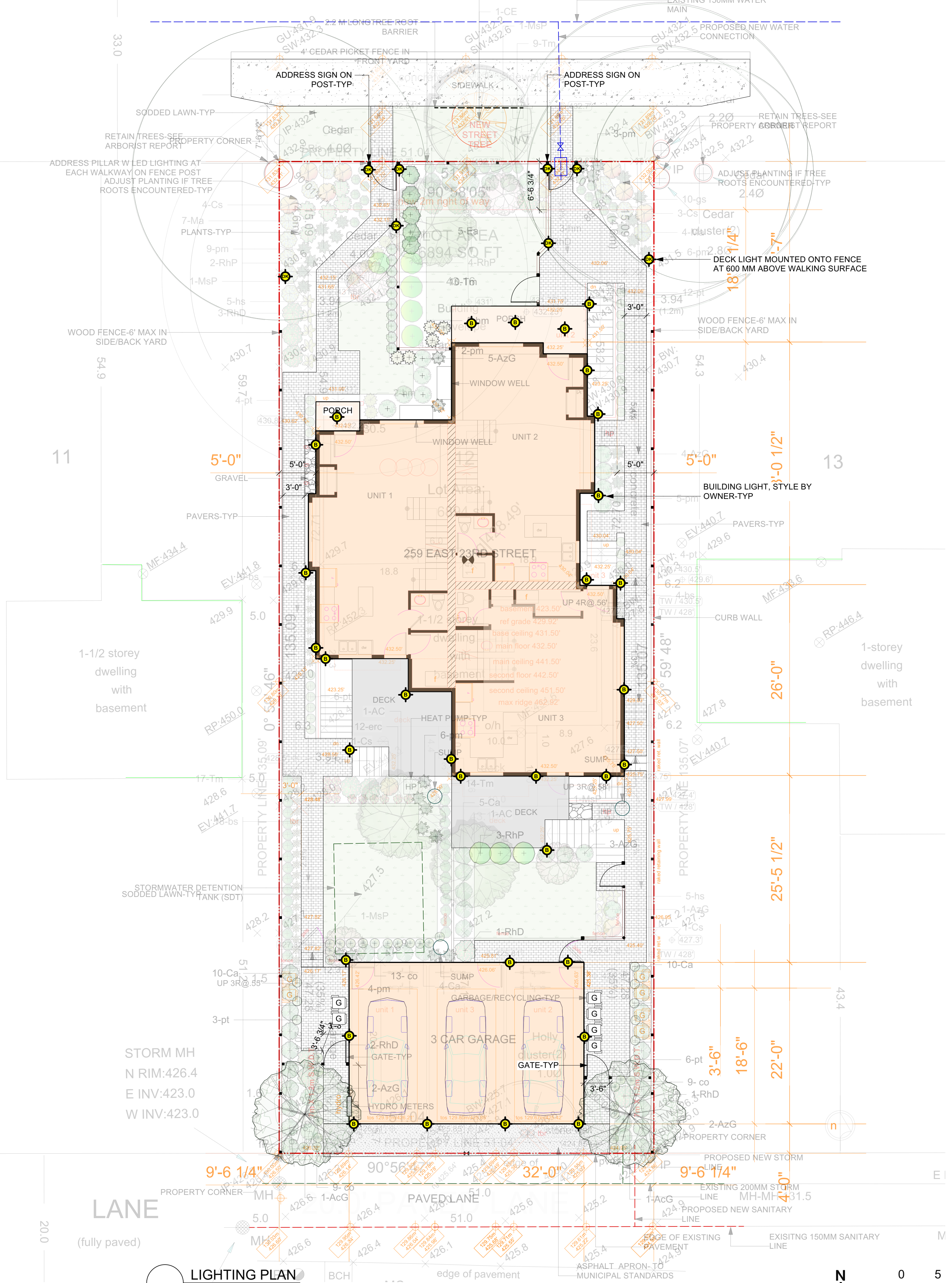
of
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1 PLANTING PLAN
Scale: 1/8" = 1'-0"

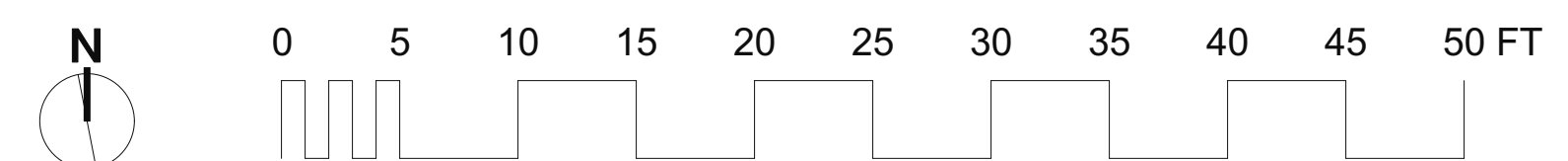


SCALE IS PROVIDED FOR CONVENIENCE
DO NOT SCALE DRAWINGS FOR DIMENSIONS

EAST 23rd STREET



LIGHTING PLAN
Scale: 1/8" = 1'-0"



SCALE IS PROVIDED FOR CONVENIENCE
DO NOT SCALE DRAWINGS FOR DIMENSIONS



1 KICHLER UP/ACCENT LIGHT
Scale: N/A



2 KICHLER STEP/WALL LIGHT
Scale: N/A



3 KICHLER DECK LIGHT
Scale: 1:25



4 KICHLER PATH LIGHT
Scale: N/A

LIGHTING LEGEND

- B** BUILDING LIGHT-SEE ARCH
- ST** STEP LIGHT
- W** WALL LIGHT
- U** UP/ACCENT LIGHT
- P** PATH LIGHT
- H** HARDSCAPE LIGHT
- DK** DECK LIGHT
- D** DOWN/ACCENT LIGHT

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Project Title
**TRIPLEX DEVELOPMENT
259 E. 23RD ST. NORTH VANCOUVER**

Sheet Title
LIGHTING PLAN

Project Manager: **STEVE WONG** Project ID: 2022-5

Drawn By: **SW** Scale: AS NOTED

Date: **MARCH 2022** Sheet No. **L-3**

CAD File Name: **E 23 v1.vwx** of 5

Appendix:

Below details the tree assessed. "DBH" is the main trunk diameter of the tree measured approximately 1.4m from grade. The determined condition of each tree is relative to its health, canopy structure, colour and vigor and any defects noted in the stem, canopy or root plate. Retention values are based on the tree species profile, growing conditions & viability as long-term. "CRZ" is the determined Critical Root Zone of each tree. Preferred & Minimum CRZs are outlined below. The Preferred CRZ measurement is based on 12xDBH, as recommended by PNW/ISA. Tree protection barriers should be located no closer to the trunk than this distance. It should be noted trees with excavations required inside the Preferred CRZ can often be retained.

Tree /Tag #	Species	DBH (cm)	Condition Good Fair Poor Dead/Dying	Retention Value High Moderate Low Unsuitable	CRZ (Min) (m)	CRZ (Pref'd) (m)	Comments & Recommendations
1	Cedar	122	Good	High	7.32	14.64	<ul style="list-style-type: none"> Shared with City & west neighbour Existing sidewalk inside CRZ recommended to be retained If a new sidewalk required, should be installed in same location as existing Recommend: <ul style="list-style-type: none"> Retain, install tree protection barrier. Arborist supervision required for sidewalk/entry path installation/grading
2	Cedar	121	Good-Fair	High	7.26	14.52	<ul style="list-style-type: none"> Leaning/weighted to SW Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development Stump must be ground, not removed with excavator to protect CRZ of T1.
3	Cedar x 3	117, 67, 72	Fair	Moderate	7.02	14.04	<ul style="list-style-type: none"> Group of 3 trees Shared with City & east neighbour Western most stem prev. Topped Existing sidewalk inside CRZ recommended to be retained If a new sidewalk is required, it should be installed in same location as existing Recommend: <ul style="list-style-type: none"> Retain, install tree protection barrier Arborist supervision required for sidewalk/entry path installation/grading

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4	Pear	27	Fair-Poor	Low	1.62	3.24	<ul style="list-style-type: none"> Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development
6	Holly	34	Poor	Unsuitable	2.04	4.08	<ul style="list-style-type: none"> Multi-stemmed; combined DBH (18, 14, 12) Invasive species Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development
6	Holly	44	Poor	Unsuitable	2.64	5.28	<ul style="list-style-type: none"> Multi-stemmed; combined DBH (21, 17, 12) Invasive species Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development
7	Emerald cedar	8	Good	Moderate	0.48	0.96	<ul style="list-style-type: none"> East neighbour's property Hedgerow Recommend: <ul style="list-style-type: none"> Retain, install tree protection barrier at property line

Tree Removal/Retention Summary:

Number of permit protected trees to be removed:	0
Number of non-permit protected trees to be removed:	4
Number of retained trees on site:	3

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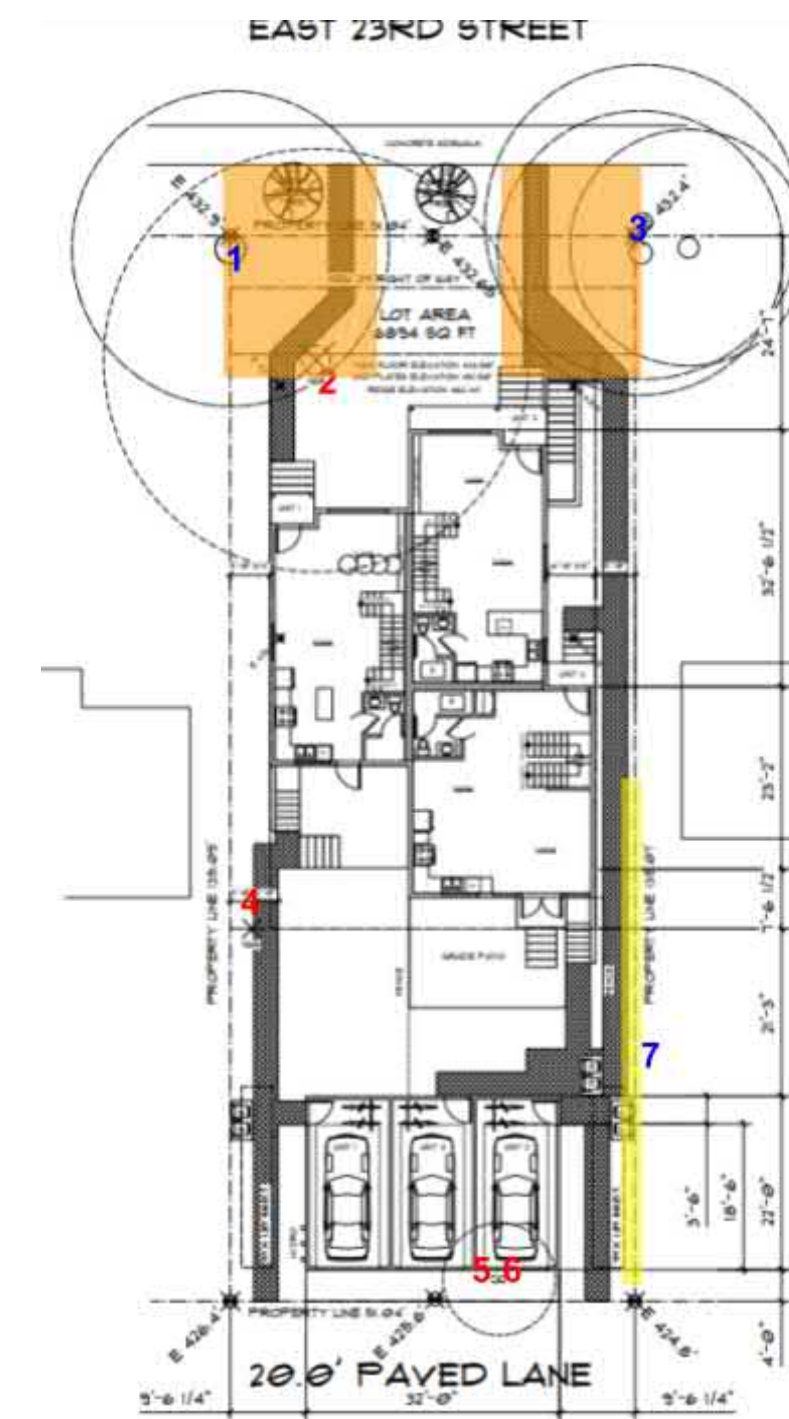
Site Map:



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Site Plan:

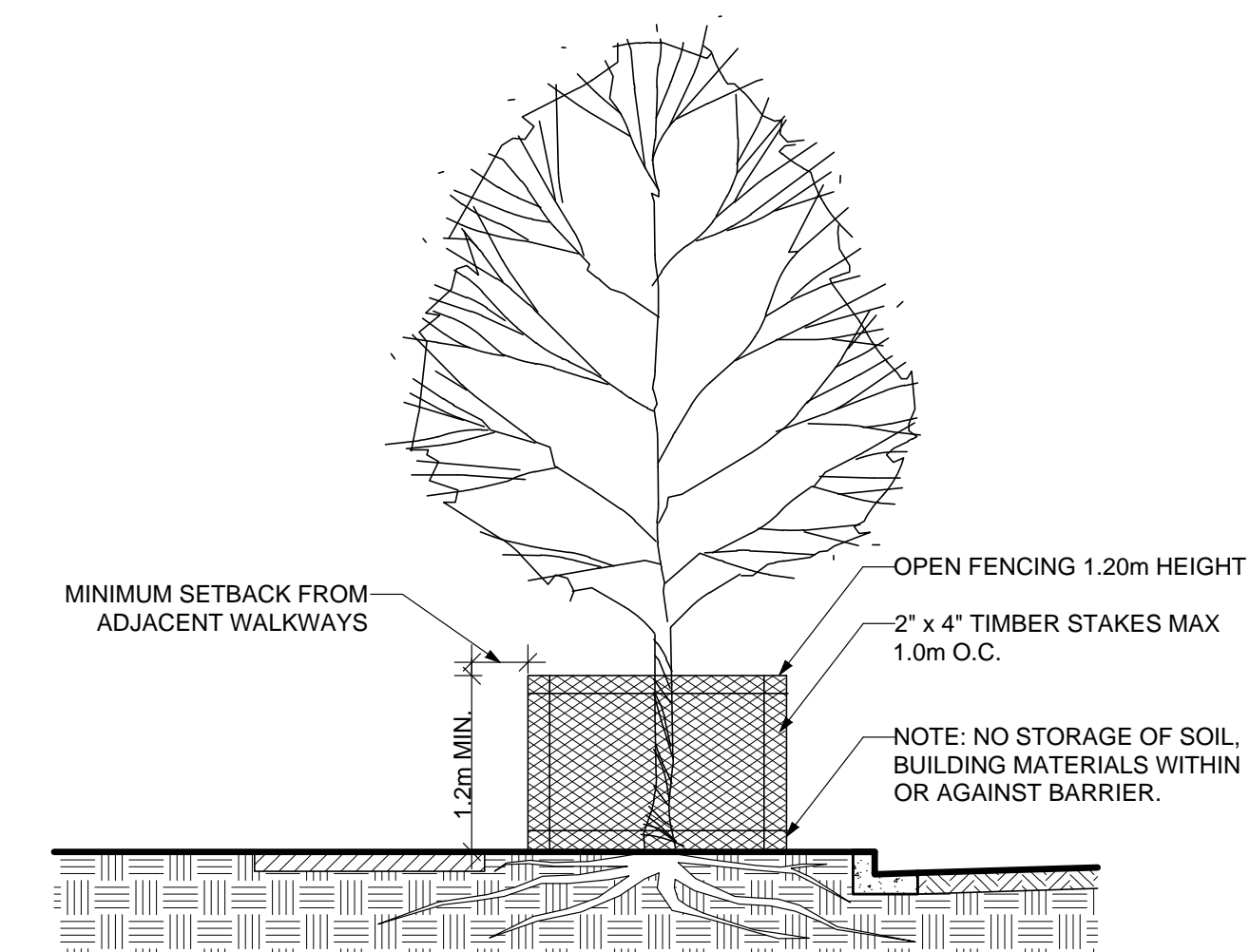
The below site plan plots tree locations and outlines removal / retention recommendations (Retain, Remove, Relocate), Approximate Tree Protection Fencing locations are outlined in yellow. Retained Trees requiring Arborist Supervision are outlined in orange. An original large scaled copy of the site plan indicating trees marked for removal, and the locations of Tree Protection Zone fencing has not been included with this report; this is to be provided by the applicant, if required.



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Refer to arborist report and drawings, Prepared by Burley Boys Tree Services Ltd., dated June 23, 2021. Refer to and coordinate with other project drawings.

TREE COUNT SUMMARY	
TREES REMOVED	4
PLANTED TREES	5



SCHEDULE A - TREE PROTECTION BARRIER

TREE PROTECTION DISTANCE TABLE		
TRUNK DIAMETER		MINIMUM DISTANCE FROM TRUNK (METERS)
CM	FT	
20	0.8	1.2
25	0.9	1.5
35	1.0	2.1
40	1.2	2.4
45	1.3	2.7
50	1.5	3.0
55	1.7	3.3
60	2.0	3.6
75	2.5	4.5
90	3.0	5.0
100	3.3	6.0

NOTE: TREE PROTECTION BARRIERS MUST BE AT LEAST 1.20m IN HEIGHT AND CONSTRUCTED OF EITHER SNOW FENCING SECURELY FASTENED TO 2x4 TIMBER STAKES, OR METAL STAKES SPACED NO FURTHER THAN 1.00m APART.

TREE PROTECTION BARRIER
Scale: N/A

GENERAL TREE NOTES

- Any permitted tree removal(s) must be performed by a qualified professional.
- No grade changes are to occur within the critical root zones of any retained trees. Any exposed roots from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent dessication of exposed roots; this root curtain must be removed prior to backfilling. Trees must be adequately watered during the entire construction process.
- The removal of existing organics within the critical root zones of retained trees must be performed manually. When installing new plant material within the critical root zones of retained trees, if large roots (1.5' diameter and larger) are encountered, then new plantings must be shifted to accommodate. No more than 3" of additional soil for new landscaping may be added within any critical root zone.
- Any excavation work or work within the protection zone of retained trees requires the supervision of a certified arborist. This includes, but is not limited to; demolition, the installation of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communication, electrical, irrigation, etc.), during the installation of patios, driveways, or any hardscape, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and deck footings.
- Construction materials must not be stored within the tree protection zone (TPZ) of trees to be retained, and TPZ fencing to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating 'Tree protection zone-Do not enter of modify'. Contact your project arborist for any TPZ barrier issues.
- Refer to arborist report and drawings, Prepared by Burley Boys Tree Services Ltd., dated June 23, 2021. Refer to and coordinate with other project drawings.

No.	Date	Issue/Revision Notes
A	3/15/2022	REVIEW
B	3/17/2022	SUBMIT
C	4/3/2022	SUBMIT

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Client
COBBLESTONE HOMES

Project Title
**TRIPLEX DEVELOPMENT
259 E. 23RD ST. NORTH VANCOUVER**

Sheet Title
TREE MANAGEMENT

Project Manager
STEVE WONG

Project ID
2022-5

Drawn By
SW

Scale
AS NOTED

Sheet No.

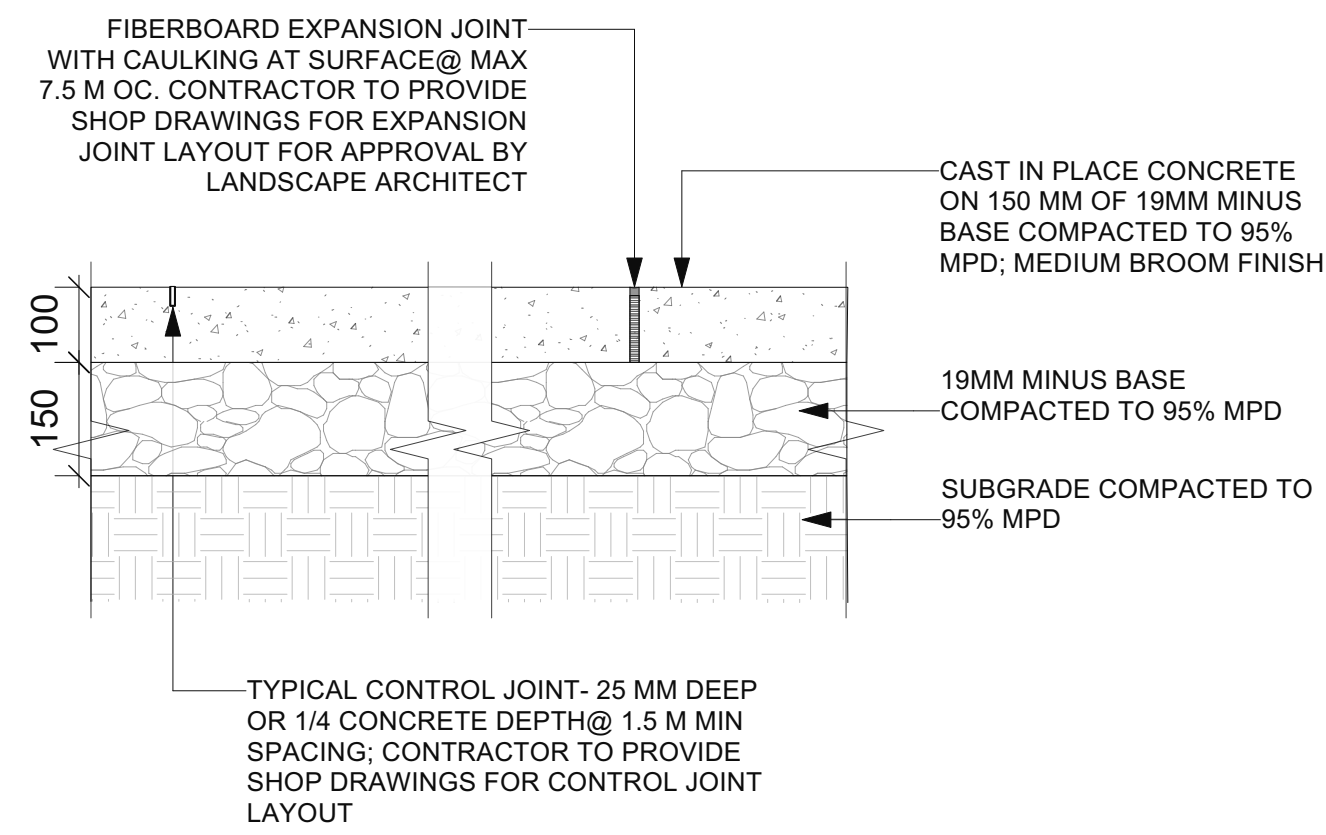
Date
MARCH 2022

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CAD File Name
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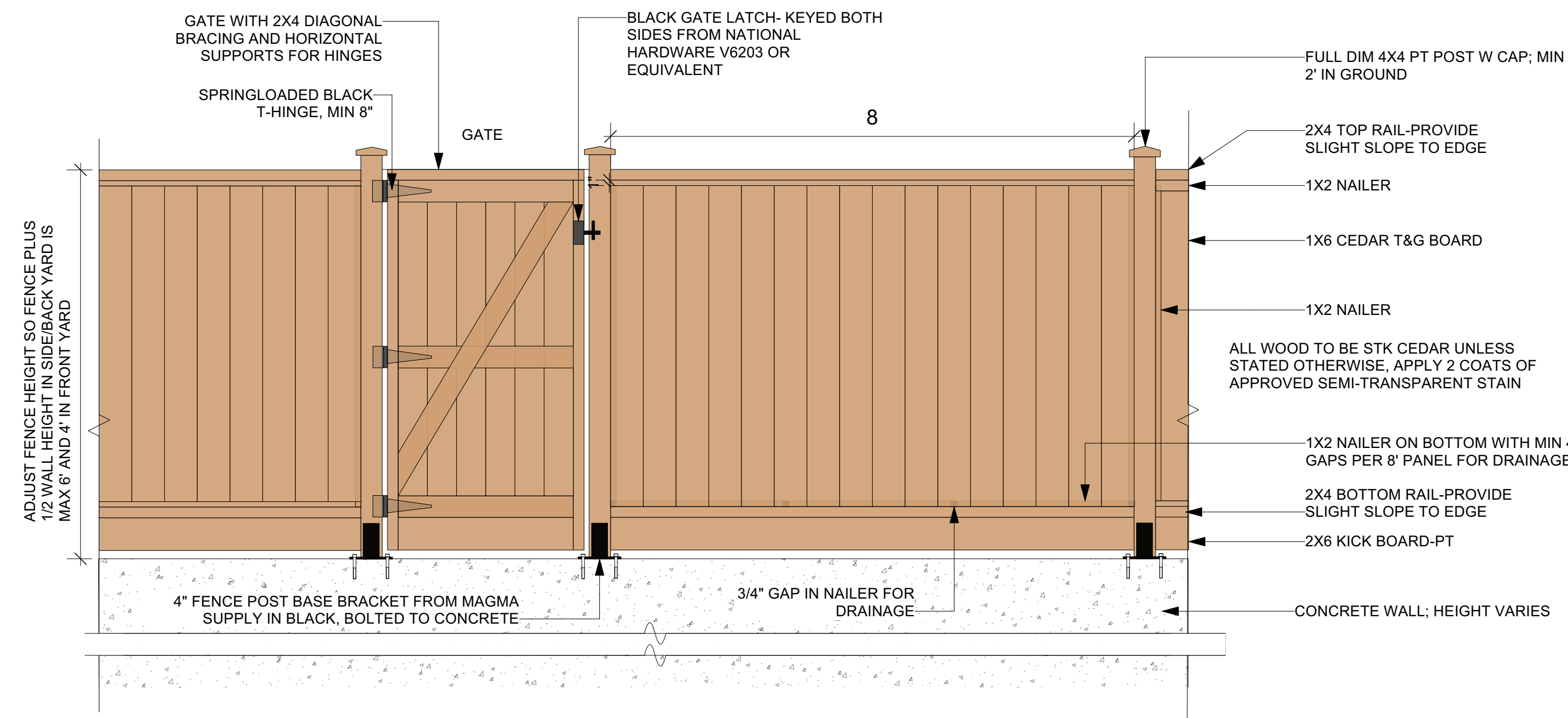
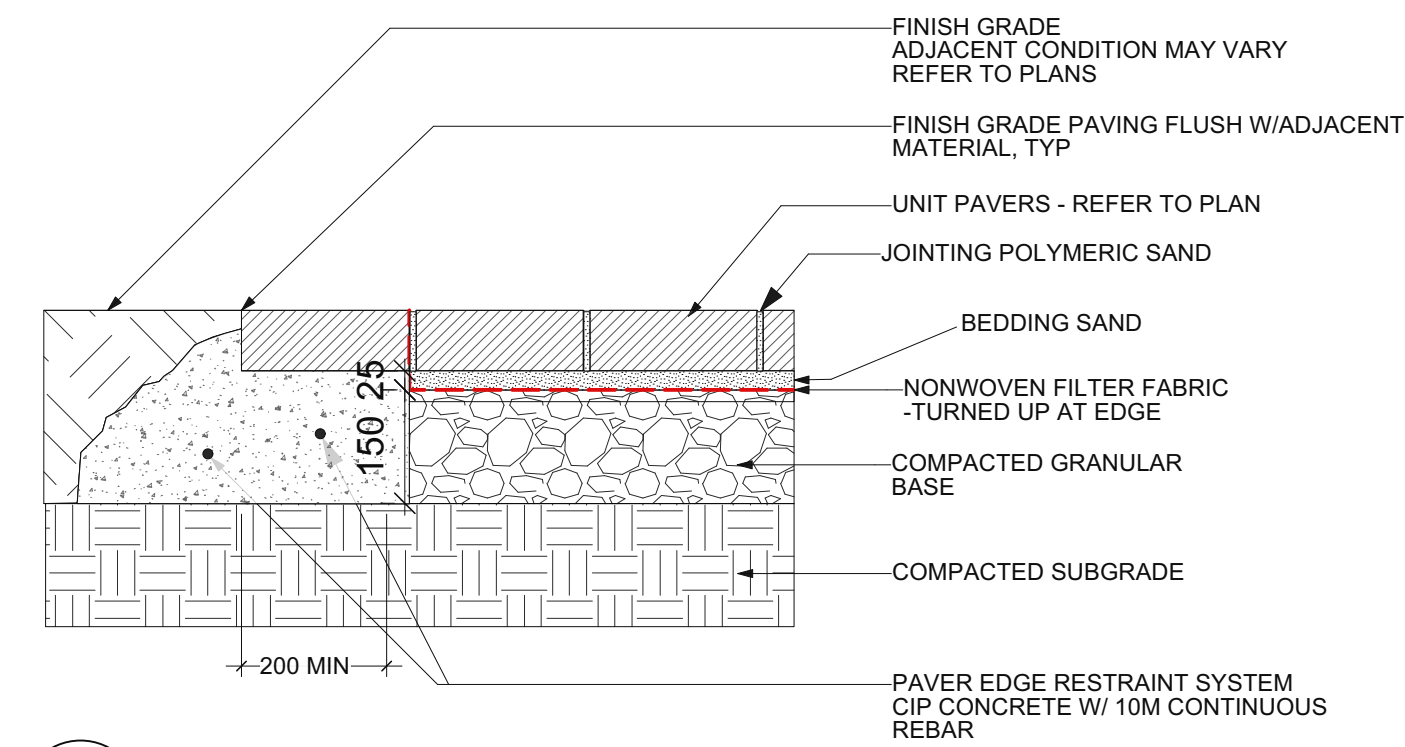
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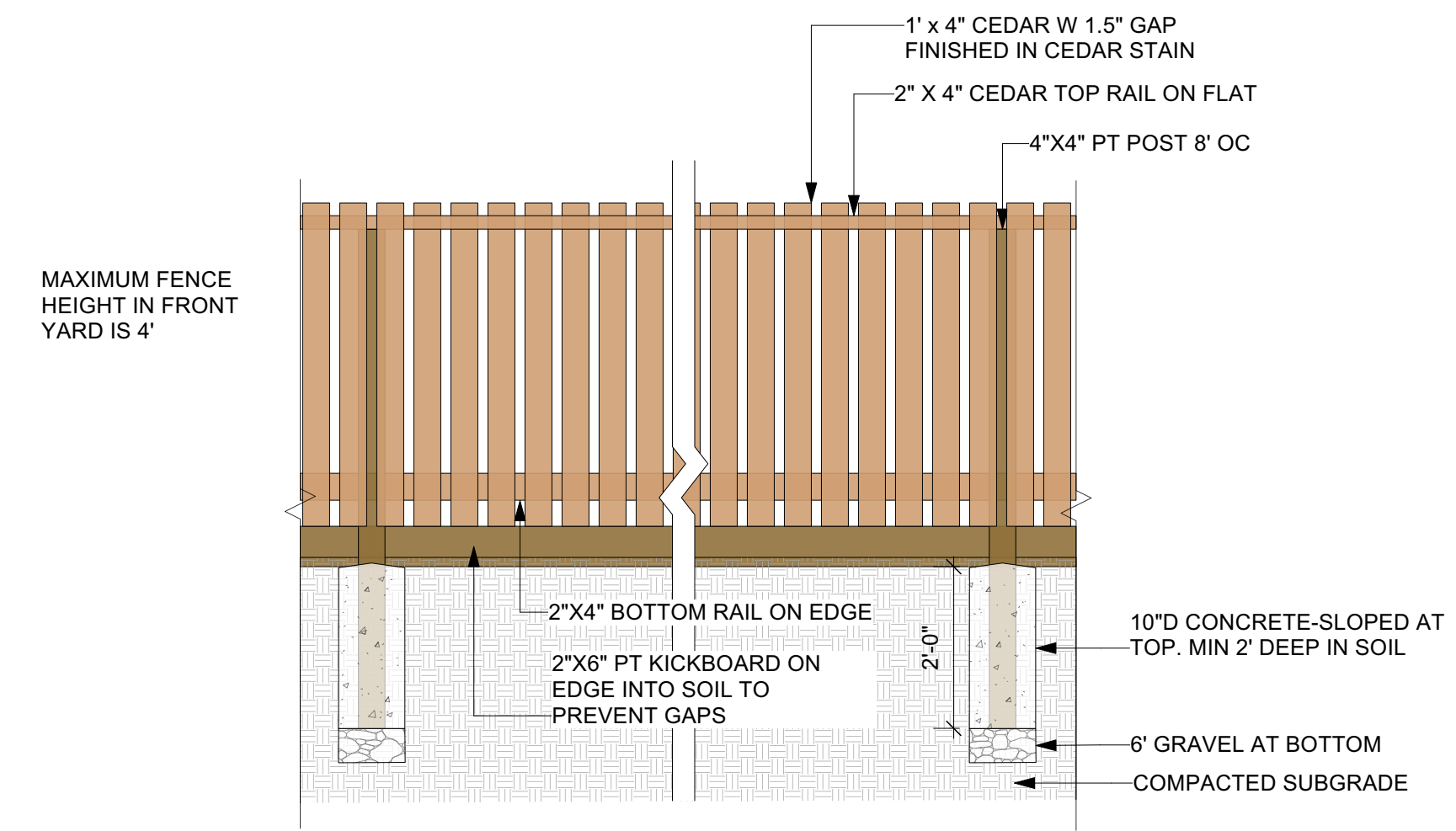


1 CIP FLATWORK
Scale: 1:10

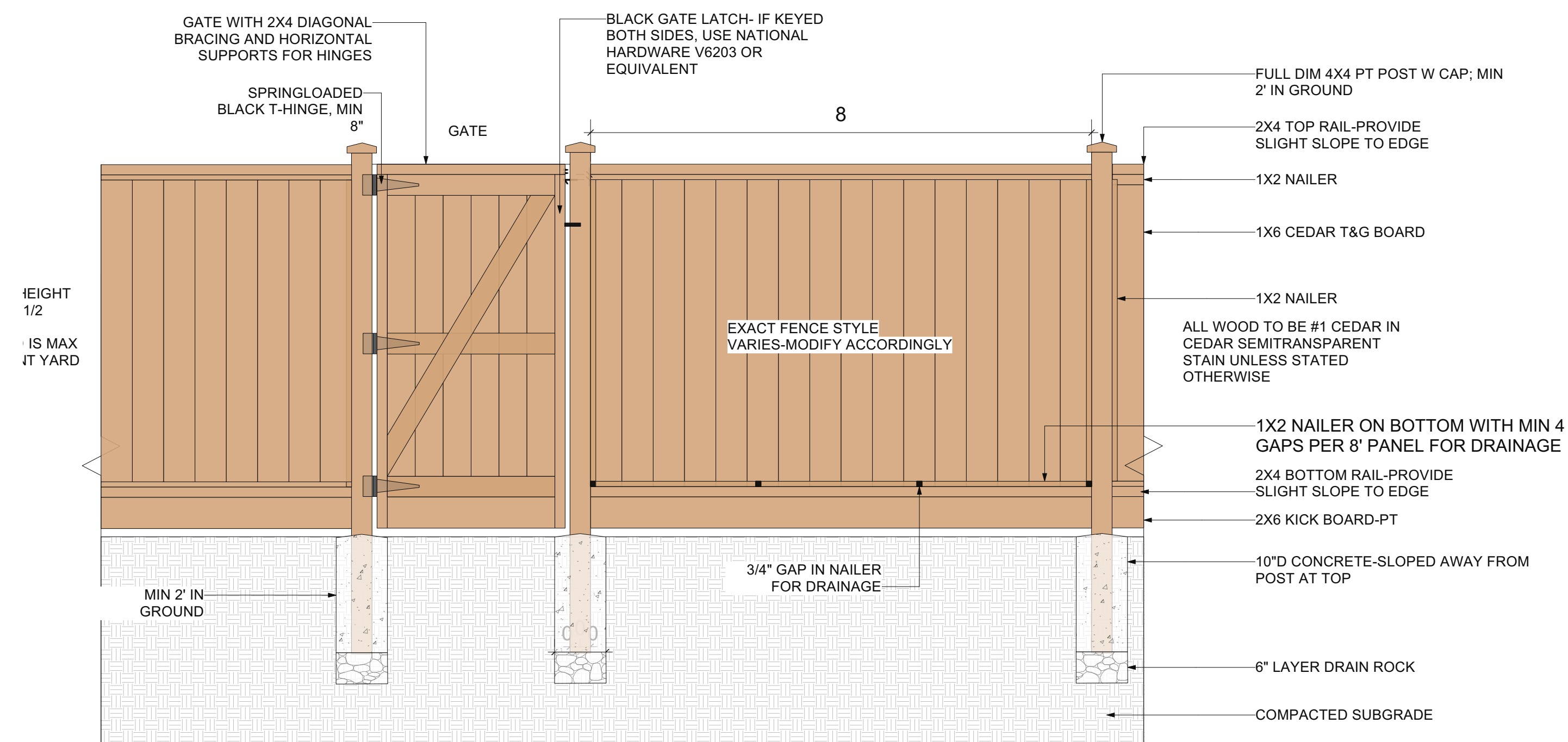
2 PAVER EDGE DETAIL
Scale: 1:10



3 WOOD FENCE ON WALL
Scale: 1:20



5 4' PICKET FENCE
Scale: 1/2" = 1'-0"



4 WOOD FENCE ON GRADE
Scale: 1:20

No.	Date	Issue/Revision Notes
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Client
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Project Title
TRIPLEX DEVELOPMENT
259 E. 23RD ST. NORTH VANCOUVER

Sheet Title
DETAILS

Project Manager
STEVE WONG

Project ID
2022-5

Drawn By
SW

Scale
AS NOTED

Date
MARCH 2022

CAD File Name
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Sheet No.
L-5

of
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