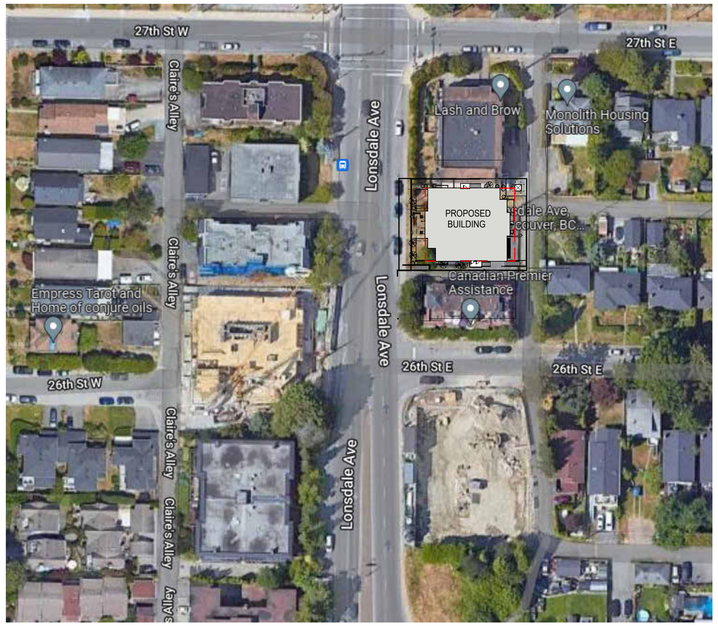


1 **CONTEX PLAN**
1" = 60'-0"

LONSDALE RESIDENTAL APARTMENT

2612 LONSDALE AVE, NORTH VANCOUVER

RE-ISSUED FOR BP APPLICATION
ISSUE DATE: Issue Date

SHEET LIST

ARCHITECTURAL

A00.00 COVER PAGE
A00.02 PERSPECTIVES
A00.20 ZONING BYLAW
A00.21 BC CODE ANALYSIS
A00.22 BC CODE ANALYSIS- ACCESSIBILITY
A00.24 BC CODE ANALYSIS- PLANS A
A00.25 BC CODE ANALYSIS- PLANS B
A00.30 CONSTRUCTION ASSEMBLIES
A00.31 CONSTRUCTION ASSEMBLIES
A01.01 SITE PLAN
A01.20 FIRE ACCESS PLAN
A02.11 SURVAY PLAN
A02.12 PARKING PLAN
A02.13 GROUND FLOOR PLAN
A02.14 SECOND FLOOR PLAN
A02.15 THIRD FLOOR PLAN
A02.16 FORTH FLOOR PLAN
A02.17 FIFTH FLOOR PLAN
A02.18 ROOF PLAN
A03.10 BUILDING SECTIONS
A03.11 BUILDING SECTIONS
A03.12 BUILDING SECTIONS
A03.13 BUILDING SECTIONS
A03.20 WALL SECTION
A03.21 WALL SECTION
A04.10 ELEVATION
A04.11 ELEVATION
A05.00 UNIT FLOOR PLANS
A05.01 UNIT FLOOR PLANS
A05.02 UNIT FLOOR PLANS
A05.03 UNIT FLOOR PLANS
A05.04 UNIT FLOOR PLANS
A05.05 UNIT FLOOR PLANS
A05.10 ACCESSIIBLE WASHROOM LAYOUT-TYP.
A06.20 STAIR 1 PLAN AND SECTION
A06.21 STAIR 2 PLAN AND SECTION
A06.22 EXT.STAIR1 PLAN AND SECTION

PROJECT TEAM

OWNER

GARDENIA HOLDINGS
OWNER: REZA ABEDI
EMAIL: rezabedi@hotmail.com
PHONE: (604)218-3515

ARCHITECT of RECORD

MA ARCHITECTS LTD.
2025 WILLINGDON AVE, #900
BURNABY,BC
PHONE: (604)780-3243
EMAIL: info@m-aarchitects.com
PRINCIPAL IN CHARGE: ALI PEYMANI

STRUCTURAL

JRG BUILDING ENGINEERING INC.
#208 - 1730 w 2nd ave,
Vancouver, V6J1H6
PHONE: (778)-998-0709
PRINCIPAL IN CHARGE: Flavio Paes
TECH LEAD: Daniel Ray

BUILDING DESIGN

MECHANICAL

EPRO CONSULTS
 # 206, 32625 South Fraser Way, Abbotsford, BC, V2T1X8
PHONE: (778)242-8111
EMAIL: gbrar@eproconsultants.ca
PRINCIPAL IN CHARGE: GURJOT BRAR, P.Eng.

ELECTRICAL

EPRO CONSULTS
 # 206, 32625 South Fraser Way, Abbotsford, BC, V2T1X8
PHONE: (778)242-8111
EMAIL: gbrar@eproconsultants.ca
PRINCIPAL IN CHARGE: GURJOT BRAR, P.Eng.

CODE AND SPRINKLERED

BMAC TECHNOLOGIES AND CONSULTING INC
220-8208 Swenson Way
Delta, B.C. V4G 1J6
PHONE: 604.544.7564
EMAIL: FarzadH@bmactc.com
PRINCIPAL IN CHARGE: FARZAD HEMMATI

CIVIL

CIVILTECK
EMAIL: kaz@civilteck.ca
PRINCIPAL IN CHARGE: KAZEM ESKOCH

SURVEY

LANDSCAPE

DURANTE KRUEK LTD
102-1637 WEST 5TH AVENUE
VANCOUVER, BC, V6J 1N5
PHONE: 604.684.4611
PRINCIPAL IN CHARGE: PETER KREUK

ARBORIST

BUILDING ENVELOPE

BMAC TECHNOLOGIES AND CONSULTING INC
220-8208 Swenson Way
Delta,B.C V4G 1J6
PHONE: 604-544-7564
EMAIL: farzadh@bmactc.com
PRINCIPAL IN CHARGE: FARZAD HEMMATI

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC. V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME
LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS
2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE
COVER PAGE

SCALE	1" = 60'-0"
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.
A00.00

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\BKFCc.rvt

WEST SIDE

SOUTHEAST SIDE

SOUTHHWEST SIDE

SOUTHHWEST SIDE

NORTHEAST SIDE

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

PERSPECTIVES

SCALE	
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A00.02

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5RKFC.rvt

A. BUILDING INFORMATION

CIVIC ADDRESS: 2612 LONSDALE AVE, NORTH VANCOUVER, BC.
LEGAL DISCRIPTION: LOT: A - 2; BLOCK:229; DL:545; PLAN:2969
LOT AREA: 8245 FT2 / 765.98 M2
PARCEL ID NUMBER: 013-287-877
OCP DESIGNATION: LAND USE CODE: R5

B. ZONING BYLAW ANALYSIS (CITY OF NORTH VANCOUVER)

ZONING: RM-1 (MEDIUM DENSITY RESIDENTIAL)

REQUIRED SETBACKS:
FRONT LOT LINE (FROM LONSDALE AVE): 12.00FT
SIDE YARD (NORTH): 8.00FT
SIDE YARD (SOUTH): 8.00FT
REAR YARD (BACKLANE): 10.00FT

PROPOSED HEIGHT: 51'-11 3/4" FT

SITE AREA: 8,245ft²

PERMITTED FSR: 2.6%
PERMITTED FLOOR AREA: 21,437ft²

PROPOSED FLOOR AREA: 18,304ft²

	AREA	PERMITTED FSR	PERMITTED FLOOR AREA	PROPOSED FSR	PROPOSED FLOOR AREA
GROSS SITE AREA	8,245 ft²	2.6	21,437 ft²	2.22	18,328 ft²
DEDUCTION ROAD	770 ft²				
NET SITE AREA	7,475 ft²				

PROPOSED FLOOR AREA CALCULATION

LEVEL	OCCUPANCY	AREA (SM)	AREA (SF)	ADABTABLE UNIT AREA REDUCTION	TOTAL FLOOR AREA
GROUND FLOOR	AMENITY	29.44 m²	317 ft²		
GROUND FLOOR	BICYCLE STOR.	23.82 m²	256 ft²		
GROUND FLOOR	COMMON AREA	54.60 m²	588 ft²	0 ft²	588 ft²
GROUND FLOOR	DECK UNIT B	23.23 m²	250 ft²		
GROUND FLOOR	DECK UNIT B-1	17.03 m²	183 ft²		
GROUND FLOOR	DECK UNIT D	13.31 m²	143 ft²		
GROUND FLOOR	ELECROOM	1.11 m²	12 ft²		
GROUND FLOOR	LOBBY	8.39 m²	90 ft²		
GROUND FLOOR	MECHANICHAL ROOM	1.01 m²	11 ft²		
GROUND FLOOR	UNIT 101	55.18 m²	594 ft²	0 ft²	594 ft²
GROUND FLOOR	UNIT 102	61.77 m²	665 ft²	0 ft²	665 ft²
GROUND FLOOR	UNIT 103	104.69 m²	1,127 ft²	20 ft²	1,107 ft²
		393.58 m²	4,236 ft²		2,954 ft²
2ND FLOOR PLAN	COMMON AREA	47.81 m²	515 ft²	0 ft²	515 ft²
2ND FLOOR PLAN	DECK UNIT A	5.49 m²	59 ft²		
2ND FLOOR PLAN	DECK UNIT A-1	9.25 m²	100 ft²		
2ND FLOOR PLAN	DECK UNIT E	5.32 m²	57 ft²		
2ND FLOOR PLAN	DECK UNIT F-1	9.57 m²	103 ft²		
2ND FLOOR PLAN	DECK UNIT F-2	9.57 m²	103 ft²		
2ND FLOOR PLAN	UNIT 201	48.87 m²	526 ft²	0 ft²	526 ft²
2ND FLOOR PLAN	UNIT 202	53.93 m²	580 ft²	20 ft²	560 ft²
2ND FLOOR PLAN	UNIT 203	48.05 m²	517 ft²	0 ft²	517 ft²
2ND FLOOR PLAN	UNIT 205	52.43 m²	564 ft²	20 ft²	544 ft²
2ND FLOOR PLAN	UNIT 206	54.26 m²	584 ft²	0 ft²	584 ft²
2ND FLOOR PLAN	UNIT 206	54.27 m²	584 ft²	0 ft²	584 ft²
		398.83 m²	4,293 ft²		3,831 ft²
3RD FLOOR	COMMON AREA	47.83 m²	515 ft²	0 ft²	515 ft²
3RD FLOOR	DECK UNIT A	5.51 m²	59 ft²		
3RD FLOOR	DECK UNIT E-1	5.32 m²	57 ft²		
3RD FLOOR	UNIT 301	48.87 m²	526 ft²	0 ft²	526 ft²
3RD FLOOR	UNIT 302	53.93 m²	580 ft²	0 ft²	580 ft²
3RD FLOOR	UNIT 303	48.05 m²	517 ft²	0 ft²	517 ft²
3RD FLOOR	UNIT 304	54.23 m²	584 ft²	0 ft²	584 ft²
3RD FLOOR	UNIT 305	52.41 m²	564 ft²	20 ft²	544 ft²
3RD FLOOR	UNIT 306	54.26 m²	584 ft²	0 ft²	584 ft²
		370.41 m²	3,987 ft²		3,850 ft²
4TH FLOOR	COMMON AREA	47.81 m²	515 ft²	0 ft²	515 ft²
4TH FLOOR	DECK UNIT C-1	9.54 m²	103 ft²		
4TH FLOOR	UNIT 401	76.23 m²	820 ft²	0 ft²	820 ft²
4TH FLOOR	UNIT 402	74.64 m²	803 ft²	0 ft²	803 ft²
4TH FLOOR	UNIT 403	106.30 m²	1,144 ft²	20 ft²	1,124 ft²
4TH FLOOR	UNIT 404	54.26 m²	584 ft²	0 ft²	584 ft²
		368.77 m²	3,969 ft²		3,847 ft²
5TH FLOOR	COMMON AREA	47.83 m²	515 ft²	0 ft²	515 ft²
5TH FLOOR	DECK UNIT D-1	5.47 m²	59 ft²		
5TH FLOOR	DECK UNIT D-1	9.28 m²	100 ft²		
5TH FLOOR	UNIT 501	76.18 m²	820 ft²	0 ft²	820 ft²
5TH FLOOR	UNIT 502	74.59 m²	803 ft²	0 ft²	803 ft²
5TH FLOOR	UNIT 503	106.33 m²	1,145 ft²	20 ft²	1,125 ft²
5TH FLOOR	UNIT 504	54.27 m²	584 ft²	0 ft²	584 ft²
		373.95 m²	4,025 ft²		3,846 ft²
PROPOSED FLOOR AREA		1,905.54 m²	20,511 ft²		18,328 ft²

NOTE:
FLOOR AREA MEASURED TO THE EXTREME OUTER LIMITS OF THE BUILDING, INCLUDING ALL SUITES AND ALL AREAS GIVING ACCESS THERETO, SUCH AS CORRIDORS, LOBBY, STAIRWELLS (INCLUDING ANY AREA UNDER STAIRWELLS), ELEVATOR SHAFTS, BUT EXCLUDING: BASEMENT SPACE CONTAINING COMMON ELECTRICAL, MECHANICAL, ELEVATOR MACHINE ROOM, RECYCLING AND GARBAGE ROOMS; AMENITY AREA PROVIDED FOR THE COMMON USE; 20 SQ.FT. FOR EACH LEVEL 2 ADAPTABLE DESIGN DWELLING UNIT AND BALCONIES UP TO 10% GROSS FLOOR AREA.

RESIDENTIAL UNITS

LEVEL	TOTAL UNITS	ONE BEDROOM	2 BEDROOMS	3 BEDROOMS
L1	3	1	1	1
L2	6	6	0	0
L3	6	6	0	0
L4	4	1	2	1
L5	4	1	2	1
TOTAL	23	15	5	3
%	100%	65.22%	21.73%	13.04%

ADAPTABLE DESIGN UNIT LIST

LEVEL	UNIT ADDRESS	UNIT TYPE	BEDROOM	ADAPTABLE	EXCL. FLOOR AREA	AREA (SF)	CALCULATED UNIT AREA (SF)
GROUND FLOOR	UNIT101	UNIT B	1BR	No	0 ft²	594 ft²	594 ft²
GROUND FLOOR	UNIT 102	UNIT B-1	2BR	No	0 ft²	665 ft²	665 ft²
GROUND FLOOR	UNIT 103	UNIT D	3BR	Yes	20 ft²	1127 ft²	1107 ft²
					20 ft²	2386 ft²	2366 ft²
2ND FLOOR PLAN	UNIT 201	UNIT F2	1BR	No	0 ft²	526 ft²	526 ft²
2ND FLOOR PLAN	UNIT 202	UNIT E	1BR	Yes	20 ft²	580 ft²	560 ft²
2ND FLOOR PLAN	UNIT 203	UNIT F-1	1BR	No	0 ft²	517 ft²	517 ft²
2ND FLOOR PLAN	UNIT 204	UNIT A	1BR	No	0 ft²	581 ft²	581 ft²
2ND FLOOR PLAN	UNIT 205	UNIT A-1	1BR	Yes	20 ft²	564 ft²	544 ft²
2ND FLOOR PLAN	UNIT 206	UNIT A	1BR	No	0 ft²	584 ft²	584 ft²
					40 ft²	3354 ft²	3314 ft²
3RD FLOOR	UNIT 301	UNIT F2	1BR	No	0 ft²	526 ft²	526 ft²
3RD FLOOR	UNIT 302	UNIT E-1	1BR	No	0 ft²	580 ft²	580 ft²
3RD FLOOR	UNIT 303	UNIT F-1	1BR	No	0 ft²	517 ft²	517 ft²
3RD FLOOR	UNIT 304	UNIT A	1BR	No	0 ft²	582 ft²	582 ft²
3RD FLOOR	UNIT 305	UNIT A-1	1BR	Yes	20 ft²	564 ft²	544 ft²
3RD FLOOR	UNIT 306	UNIT A	1BR	No	0 ft²	584 ft²	584 ft²
					20 ft²	3354 ft²	3334 ft²
4TH FLOOR	UNIT 401	UNIT C-2	2BR	No	0 ft²	820 ft²	820 ft²
4TH FLOOR	UNIT 402	UNIT C-1	2BR	No	0 ft²	803 ft²	803 ft²
4TH FLOOR	UNIT 403	UNIT D-1	3BR	Yes	20 ft²	1144 ft²	1124 ft²
4TH FLOOR	UNIT 404	UNIT A	1BR	No	0 ft²	584 ft²	584 ft²
					20 ft²	3351 ft²	3331 ft²
5TH FLOOR	UNIT 501	UNIT C-2	2BR	No	0 ft²	820 ft²	820 ft²
5TH FLOOR	UNIT 502	UNIT C-1	2BR	No	0 ft²	804 ft²	804 ft²
5TH FLOOR	UNIT 503	UNIT D-1	3BR	Yes	20 ft²	1144 ft²	1124 ft²
5TH FLOOR	UNIT 504	UNIT A	1BR	No	0 ft²	584 ft²	584 ft²
					20 ft²	3351 ft²	3331 ft²
23					120 ft²	15796 ft²	15676 ft²

PARKING CALCULATION

LEVEL	FULL SIZE	SMALL CAR	ACCESSIBLE	
P-1 PARKING UNDERGROUND	5	5	2	
SURFACE PARKING(1 CAR SHARE =4 STALLS)	4			
TOTAL				16

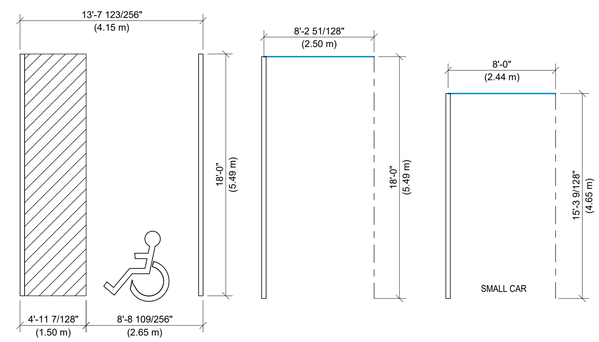
PARKING REQUIREMENTS

	PARKING PER UNIT	# OF RESIDENTIAL UNITS	PARKING REQUIRED	PARKING PROVIDED
RENTAL APARTMENT RESIDENTIAL USE	0.60	23	14	10
VISITOR	0.10	23	2	2
PARKING REDUCTION(CAR SHARE 1=4 STALLS)				-4
TOTAL RESIDENTIAL PARKING			16	12

PARKING PROVIDED IN THIS PROJECT 16 (REQUIRED PARKING) - 4 (CAR SHARE REDUCTION) = 12 STALLS

BICYCLE PARKING REQUIREMENTS

	PARKING PER UNIT	# OF RESIDENTIAL UNITS	PARKING REQUIRED	PARKING PROVIDED
MEDIUM DENSITY SECURE SPACE	1.50	23	35	39
SHORT-TERM SPACE			6	6
TOTAL RESIDENTIAL PARKING REQUIRED			41	45



PARKING STALL
3/16" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME
LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS
2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE
ZONING BYLAW

SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.
A00.20

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt

GENERAL CLASSIFICATION AND CODE COMPLIANCE

BC BUILDING CODE 2018

PROJECT DESCRIPTION: 2612 LONSDALE AVE, NORTH VANCOUVER, BC.
NUMBER OF STOREYS: SIX (6) STOREYS

	BLDG AREA m^2	BLDG AREA ft^2
BUILDING AREA:	1702.73 m^2	18,328 ft^2

MAJOR OCCUPANCY 3.1.2.1.(1):
GROUP C RESIDENTIAL OCCUPANCIES
GROUP F3 STORAGE GARAGE*
***3.2.1.2.(1):** STORAGE GARAGE CONSIDERED AS A SEPARATE BUILDING

NUMBER OF STOREYS
5 STORYS RESIDENTIAL
1 STORY STORAGE GARAGE

FACING STREETS
TWO STREETS*
*3.2.2.10.(3) BUILDING CONSIDERED TO FACE 1 STREET WHERE NOT LESS THAN 10% OF BUILDING PERIMETER IS LOCATED WITHIN 15 m OF A STREET.

3.1.8.7 LOCATION OF FIRE DAMPERS AND SMOKE DAMPERS:
(1) EXCEPT AS PROVIDED IN ARTICLE 3.1.8.8., A FIRE DAMPER HAVING A FIRE-PROTECTION RATING CONFORMING TO SENTENCE 3.1.8.4.(2) SHALL BE INSTALLED IN CONFORMANCE WITH ARTICLE 3.1.8.10. IN DUCTS OR AIR-TRANSFER OPENINGS THAT PENETRATE AN ASSEMBLY REQUIRED TO BE A FIRE SEPARATION.
(2) EXCEPT AS PROVIDED IN ARTICLE 3.1.8.9., A SMOKE DAMPER OR A COMBINATION SMOKE/FIRE DAMPER SHALL BE INSTALLED IN CONFORMANCE WITH ARTICLE 3.1.8.11. IN DUCTS OR AIR-TRANSFER OPENINGS THAT PENETRATE AN ASSEMBLY REQUIRED TO BE A FIRE SEPARATION, WHERE THE FIRE SEPARATION
(a) SEPARATES A PUBLIC CORRIDOR,
(b) CONTAINS AN EGRESS DOOR REFERRED TO IN SENTENCE 3.4.2.4.(2),
(c) SERVES AN ASSEMBLY, CARE, TREATMENT, DETENTION OR RESIDENTIAL OCCUPANCY, OR
(d) IS INSTALLED TO MEET THE REQUIREMENTS OF CLAUSE 3.3.1.7.(1)(B) OR SENTENCE 3.3.3.5.(4).

3.1.8.17 TEMPERATURE RISE LIMIT FOR DOORS:
(1)THE MAXIMUM TEMPERATURE RISE ON THE OPAQUE PORTION OF THE UNEXPOSED SIDE OF A DOOR USED AS A CLOSURE IN A FIRE SEPARATION IN A LOCATION SHOWN IN TABLE 3.1.8.17. SHALL CONFORM TO THE TABLE WHEN TESTED IN CONFORMANCE WITH SENTENCE 3.1.8.4.(1).

3.1.9.1 FIRE STOPS
(1): PENETRATIONS OF A FIRE SEPARATION OR A MEMBRANE REQUIRED TO HAVE A F.R.R. SHALL BE:
(1)(a): SEALED BY A FIRESTOP (TESTED TO CAN/ULC-S115 STANDARDS), W/ AN 'F' RATING EQUAL TO THE F.R.R. REQUIRED FOR A CLOSURE IN THE FIRE SEPARATION, IN CONFORMANCE W/ T.3.1.8.4.
(1)(b): CAST IN PLACE OR
(1)(c): TIGHTLY FITTED.
(2): PENETRATIONS OF THE ARTICLE 3.2.1.2., 2.0HR F.R.R. HORIZONTAL FIRE SEPARATION SHALL BE SEALED W/ A 2.0HR F.R.R. 'FT' RATED FIRESTOP SYSTEM TESTED TO CAN/ULCS115 STANDARDS

3.1.17 OCCUPANT LOAD: BCBC 2012, DIV. B-PART 3, TABLE 3.1.17.1

TOTAL 102 PERSONS

RESIDENTIAL OCCUPANCY					
Level	Name	OCCUPANCY GROUP	Area	NO. OF BED ROOMS	OCCUPANT LOAD
5TH FLOOR	UNIT 501	C	76 m^2	2	4
5TH FLOOR	UNIT 502	C	75 m^2	2	4
5TH FLOOR	UNIT 503	C	106 m^2	3	6
5TH FLOOR	UNIT 504	C	54 m^2	1	2
					16
4TH FLOOR	UNIT 401	C	76 m^2	2	4
4TH FLOOR	UNIT 402	C	75 m^2	2	4
4TH FLOOR	UNIT 403	C	106 m^2	3	6
4TH FLOOR	UNIT 404	C	54 m^2	1	2
					16
3RD FLOOR	UNIT 301	C	49 m^2	1	2
3RD FLOOR	UNIT 302	C	54 m^2	1	2
3RD FLOOR	UNIT 303	C	48 m^2	1	2
3RD FLOOR	UNIT 304	C	54 m^2	1	2
3RD FLOOR	UNIT 305	C	52 m^2	1	2
3RD FLOOR	UNIT 306	C	54 m^2	1	2
					12
2ND FLOOR PLAN	UNIT 201	C	49 m^2	1	2
2ND FLOOR PLAN	UNIT 202	C	54 m^2	1	2
2ND FLOOR PLAN	UNIT 203	C	48 m^2	1	2
2ND FLOOR PLAN	UNIT 205	C	52 m^2	1	2
2ND FLOOR PLAN	UNIT 206	C	54 m^2	1	2
2ND FLOOR PLAN	UNIT 206	C	54 m^2	1	2
					12
GROUND FLOOR	UNIT 101	C	55 m^2	1	2
GROUND FLOOR	UNIT 102	C	62 m^2	2	4
GROUND FLOOR	UNIT 103	C	105 m^2	3	6
					12
RESIDENTIAL TOTAL OCCUPANCY:					68

OTHER GROUPS OCCUPANCY					
Level	Name	OCCUPANCY GROUP	Area	AREA PER PERSON	OCCUPANT LOAD
GROUND FLOOR	AMENITY	A	29.44 m^2	1.85 m^2	16
GROUND FLOOR	BICYCLE STOR.	F3	23.82 m^2	46.00 m^2	1
GROUND FLOOR	LOBBY	A	8.39 m^2	1.85 m^2	5
					21
PARKING LEVEL L	BICYCLE STOR.	F3	49.39 m^2	46.00 m^2	1
PARKING LEVEL L	BICYCLE STOR.	F3	24.69 m^2	46.00 m^2	1
PARKING LEVEL L	PPARKING SPACE	F3	506.87 m^2	46.00 m^2	11
					13
TOTAL OF OTHER GROUPS OCCUPANCY:					34

3.2.2 MAJOR OCCUPANCY CLASSIFICATION:

3.2.2.50. GROUP C (RESIDENTIAL), SPRINKLERED

	ALLOWED	PROPOSED
STOREYS:	6	5
BUILDING AREA:	1,800 m^2	1,778.06 m^2
CONSTRUCTION:	COMB. OR NON-COMB.	COMBUSTIBLE
FIRE RESISTANCE RATINGS:		
FLOORS	1 HR	1 HR
LOADBEARING WALLS, COLUMNS & ARCHES	1 HR	1 HR
ROOF:	1 HR	1 HR

3.2.1.2 STORAGE GARAGE AS SEPARATED BUILDING
(1) ROOF OF STORAGE GARAGE WILL BE CONSTRUCTED AS FIRE SEPARATION OF 2HR FRR AND NONCOMBUSTIBLE
(2)(a) THE STORAGE GARAGE IS SPRINKLED THROUGHOUT

	ALLOWED	PROPOSED
CONSTRUCTION:	NON-COMBUSTIBLE	NON-COMBUSTIBLE
FIRE RESISTANCE RATINGS:		
LOADBEARING WALLS, COLUMNS & ARCHES	2 HR	2 HR
ROOF:	2 HR	2 HR

3.2.3 SPATIAL SEPARATION AND EXPOSURE PROTECTION

3.2.3.1 LIMITING DISTANCES

DIRECTION	FACING	LIMITING DISTANCE
EAST	LONSDALE AVE	>9 m ((29.5 ft.)
NORTH	PROPERTY LINE	2.44 m (8.0 ft.)
SOUTH	PROPERTY LINE	2.44 m (8.0 ft.)
WEST	LANE	7.3 m (23.9 ft.)

TABLE 3.2.3.1.-D AND TABLE 3.2.3.7 - UNPROTECTEC OPENING LIMITS AND CONSTRUCTION SPECIFICATIONS FOR BUILDING THAT IS SPRINKLERED

	ELEVATION	ELEVATION AND UNIT NUMBER	WALL AREA (SF)	AREA (SM)	LIMITING DISTANCE (FT)	LIMITING DISTANCE (M)	UNPROTECTED OPENINGS				MIN. FIRE RATING	CONSTRUCTION TYPE	CLADDING TYPE
							ALLOWED		PROPOSED				
							%	SQ FT	%	SQ FT			
*	EAST	ELEVATION	3,220.00	299.15	23.95'	7.30 m	100.00	3,220.00			45 min	Combustible or Noncombustible	Noncombustible
	NORTH	UNIT 203	270.87	25.16	8.00'	2.44 m	34.55	93.59	16.37	44.34	45 min	Combustible or Noncombustible	Noncombustible
	NORTH	UNIT 204	302.45	28.10	8.00'	2.44 m	32.54	98.42	14.69	44.44	45 min	Combustible or Noncombustible	Noncombustible
	NORTH	UNIT 303	270.87	25.16	8.00'	2.44 m	34.55	93.59	16.37	44.34	45 min	Combustible or Noncombustible	Noncombustible
	NORTH	UNIT 304	302.45	28.10	8.00'	2.44 m	32.54	98.42	14.69	44.44	45 min	Combustible or Noncombustible	Noncombustible
	NORTH	UNIT 102	270.87	25.16	8.00'	2.44 m	34.55	93.59	14.41	39.03	45 min	Combustible or Noncombustible	Noncombustible
	NORTH	UNIT 502	270.87	25.16	8.00'	2.44 m	34.55	93.59	19.75	53.50	45 min	Combustible or Noncombustible	Noncombustible
	NORTH	UNIT 503	302.45	28.10	8.00'	2.44 m	32.54	98.42	14.69	44.44	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 101	280.69	26.08	8.00'	2.44 m	34.67	97.32	6.53	18.34	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 201	268.87	24.98	8.00'	2.44 m	34.67	93.22	16.49	44.33	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 206	303.81	28.22	8.00'	2.44 m	32.44	98.56	14.64	44.48	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 206	303.81	28.22	8.00'	2.44 m	32.44	98.56	14.64	44.48	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 301	268.87	24.98	8.00'	2.44 m	34.67	93.22	16.49	44.33	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 306	303.81	28.22	8.00'	2.44 m	32.44	98.56	14.64	44.48	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 401	268.87	24.98	8.00'	2.44 m	34.67	93.22	19.90	53.50	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 404	303.81	28.22	8.00'	2.44 m	32.44	98.56	14.64	44.48	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 501	268.87	24.98	8.00'	2.44 m	34.67	93.22	16.49	44.33	45 min	Combustible or Noncombustible	Noncombustible
	SOUTH	UNIT 504	303.81	28.22	8.00'	2.44 m	32.44	98.56	14.64	44.48	45 min	Combustible or Noncombustible	Noncombustible
**	WEST	ELEVATION			29.53'	9.00 m	100.00				45 min	Combustible or Noncombustible	Noncombustible

* LIMITING DISTANCE MORE THAN 7 METERS AND WALL AREA LESS THAN 50 m^2 IS ALLOWED FOR 100% UNPROTECTED OPENINGS (TABLE 3.2.3.1.-D)
* * LIMITING DISTANCE MORE THAN 9 METERS IS ALLOWED FOR 100% UNPROTECTED OPENINGS (TABLE 3.2.3.1.-D)

3.2.4 FIRE ALARM & DETECTION SYSTEMS

3.2.4.1.(1) FIRE ALARM SYSYTEM IS REQUIRED
3.2.4.2.(1) - DIV. B: CONTINUITY OF THE FIRE ALARM SYSTEM IS REQUIRED
3.2.4.8.(2) - DIV. B: SIGNALS TO FIRE DEPARTMENT
WATERFLOW INDICATING DEVICES SHALL BE DESIGNED TO NOTIFY THE FIRE DEPT. WHEN AN ALARM IS INITIALIZED IN CONFORMANCE W/ CAN/ULC-S561 FIRE ALARM & DETECTION SYSTEMS
3.2.4.9.(1) ANNUNCIATOR PANEL IS TO BE INSTALLED IN PROXIMITY TO BUILDING ENTRANCE
3.2.4.10.(1) - DIV. B: ELECTRICAL SUPERVISION IS REQUIRED FOR THE FIRE ALARM SYSTEM
3.2.4.12 SMOKE DETECTORS
(1)(d): TO BE INSTALLED IN GROUP C PUBLIC CORRIDORS
(1)(e): TO BE INSTALLED IN EXIT STAIRS
(1)(g): TO BE INSTALLED IN ELEVATOR MACHINE ROOMS
(4): SMOKE DETECTORS IN (1)(g) UPON ACTUATION, SHALL RECALL THE ELEVATOR
3.2.4.16. - DIV. B: SYSTEM MONITORING FOR WATERFLOW DETECTING DEVICES IS REQUIRED
3.2.4.17. - DIV. B: MANUAL PULL STATIONS ARE REQUIRED ON EVERY FLOOR LEVEL NEAR:
(1)(a): EVERY PRINCIPAL ENTRANCE
(1)(b): EVERY REQUIRED EXIT
(1)(c): EVERY OTHER EXIT FACILITY THAT HAS BEEN DESIGNED AS AN EXIT AND HAS ALL THE FEATURES OF A REQUIRED EXIT.
3.2.5.16.(1) - DIV. B: PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED PER THE BC FIRE CODE
3.2.4.20. - DIV. B: VISUAL SIGNALS ARE REQUIRED
3.2.4.21.(1) - DIV. B: SMOKE ALARMS CONFORMING TO CAN/ULC-S531, ARE TO BE INSTALLED IN CONFORMANCE W/ CAN/ULC-S553, W/IN EACH DWELLING UNIT AND:
(3)(a)&(b): INSTALLED W/IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN THE SLEEPING ROOM AND THE REST OF THE STOREY
(5): INSTALLED ON OR NEAR THE CEILING
(7)(c): INSTALLED W/ PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT C/W BATTERY BACKUP CAPABLE OF 7 DAY NORMAL USE AND 4 MINUTES OF ALARM
(9): TO BE INTERCONNECTED W/IN THE DWELLING UNIT

3.2.5 PROVISIONS FOR FIRE FIGHTING

3.2.5.3 ROOF ACCESS IS REQUIRED - 610mm X 910mm ROOF ACCESS HATCH WITH A FIXED LADDER IS PROVIDED IN STAIR A AND STAIR B.
3.2.5.4.(1)(a) FIRE ACCESS ROUTE - AN ACCESS ROUTE IS PROVIDED TO THE BUILDING FACE HAVING THE PRINCIPAL ENTRANCE
3.2.5.6 ACCESS ROUTE DESIGN:
(1)(a): CLEAR WIDTH OF 6.0m PROVIDED
(1)(c): OVERHEAD CLEARANCE OF 5.0m PROVIDED
(1)(d): GRADIENT CHANGE NOT MORE THAN 1 IN12.5 OVER A MIN. DISTANCE OF 15m
(1)(e): CONCRETE OR ASPHALT SURFACE TO BE DESIGNED TO SUPPORT EXPECTED FIRE FIGHTING EQUIPMENT LOADS
(1)(f): TURNAROUND IS LESS THAN 90m
(1)(g): CONNECTED WITH A PUBLIC THOROUGHFARE
3.2.5.12 AUTOMATIC SPRINKLER SYSTEMS
(1): AUTOMATIC SPRINKLER SYSTEM SHALL BE DESIGNED, CONSTRUCTED, INSTALLED AND TESTED IN CONFORMANCE WITH NFPA13
(6): SPRINKLERS SHALL NOT TO BE OMMITTED IN ANY ROOM OR CLOSET IN THE STOREY IMMEDIATELY BELOW A ROOF ASSEMBLY.
(7): FAST RESPONSE SPRINKLERS SHALL BE INSTALLED IN RESIDENTIAL OCCUPANCIES
(8): SPRINKLERS INSTALLED IN ELEVATOR MACHINE ROOMS SHALL HAVE A TEMPERATURE RATING NOT LESS THAT REQUIRED FOR AN INTERMEDIATE TEMPERATURE CLASSIFICATION AND SHALL BE PROTECTED AGAINST DAMAGE.
3.2.5.14 SPRINKLER SERVICE SPACE
(1): AUTOMATIC SPRINKLER SYSTEM IS INSTALLED IN THE UG MECHANICAL ROOM
(2): WATERFLOW DETECTING DEVICES ARE REQUIRED (SEE SPRINKLER DWGS)
(3)(a): WATERFLOW DETECTING DEVICES ARE TO BE CONNECTED TO THE FIRE ALARM SYSTEM, (SEE SPRINKLER DWGS)
3.2.5.15.(2) FIRE DEPARTMENT CONNECTION:
14m (45m MAX.) UNOBSTRUCTED DISTANCE BETWEEN THE FIRE DEPARTMENT CONNECTION & THE FIRE HYDRANT PROVIDED

3.3.4 RESIDENTIAL OCCUPANCY FIRE SEPARATION

3.3.4.2 SUITS OF RESIDENTIAL OCCUPANCY SHALL BE SEPERATED FROM EACH OTHER AND THE REMINDER OF BUILDING BY 1 HR FRR
3.3.4.3 STORAGE ROOMS
(1) SPRINKLERS SHALL BE INSTALLED IN STORAGE ROOMS
(2) STORAGE ROOMS SHALL BE SEPARATED FROM REMINDER OF BUILDING BY FIRE SEPARATION FRR 1HR
3.3.4.8 PROTECTION OF OPENABLE WINDOWS
(2) WINDOW OPENINGS LOCATED HIGHER THAN 1070mm ABOVE THE FINISHING FLOOR

3.3.5.6 STORAGE GARAGE SEPARATION

3.3.5.4 STORAGE GARAGE
(1): A VESTIBULE, CONFORMING TO 3.3.5.7.(4)(a), IS REQUIRED BETWEEN THE STORAGE GARAGE AND THE STAIRWELLS & THE ELEVATOR
(4): NATURAL OR MECHANICAL VENTILATION IS TO BE PROVIDED TO THE STORAGE GARAGE TO PREVENT EXCESSIVE ACCUMULATION OF CARBON MONOXIDE, EXHAUST FUMES OR FLAMMABLE & TOXIC VAPOURS.
(5): 2.0m MIN. CLEAR HEIGHT IS REQUIRED
(7): SPRINKLERS ARE REQUIRED.
3.3.5.6.(1) STORAGE GARAGE SHAL BE SEPARATED FROM OTHER OCCUPANCIES BY 1.5 FRR FIRE SEPARATION
3.3.5.7 VESTIBULES
(3) STORAGE GARAGE ACCESS TO BUILDING THROUGH A VESTIBULE
(4)(a) 2.47m LONG (MIN 1.8M)
(4)(c) SELF-CLOSING WITH NO HOLD-OPEN DEVICES

3.4 EXITS

3.4.2.1 MINIMUM NUMBER OF EXITS
(1) EVERY FLOOR AREA INTENDED FOR OCCUPANCY SHALL BE SERVED BY AT LEAST 2 EXITS.
3.4.2.3 DISTANCE BETWEEN EXITS
(1)(a) DISTANCE BETWEEN TWO EXITS SHAL BE ONE HALF THE MAXIMUM DIAGONAL DIMENTION OF FLOOR PLAN AND NOT MORE THAN 9m

ALTERNATIVE SOLUTION REQUIRED

DISTANCE BETWEEN EXITS		
Level	LENGTH (M)	DIAGONAL DIMENSION OF FLOOR LEVEL
PARKING LEVEL L	36.09 m	37.13
GROUND FLOOR	8.38 m	24.98
2ND FLOOR PLAN	8.31 m	24.98
3RD FLOOR	8.31 m	24.98
4TH FLOOR	8.31 m	24.98
5TH FLOOR	8.31 m	24.98

3.4.2.5 LOCATION OF EXITS (TRAVEL DISTANCE)
(1)(c): ALLOWED: 45m MAX. IN PARKADE & RESIDENTIAL FLOOR LEVELS
PROVIDED: <45m TRAVEL DISTANCE

TRAVEL DISTANCE		
Base Level	LABEL	Length(M)
PARKING LEVEL L	A	26.23 m
PARKING LEVEL L	B	31.14 m
PARKING LEVEL L	C	22.38 m
PARKING LEVEL L	D	27.60 m
GROUND FLOOR	A	1.65 m
GROUND FLOOR	B	1.68 m
2ND FLOOR PLAN	A	7.88 m
3RD FLOOR	A	7.88 m
4TH FLOOR	A	7.88 m
5TH FLOOR	A	7.88 m

TABLE 3.4.3.2.A EXIT WIDTH

CORRIDORS:	REQUIRED: 1,100 mm	PROVIDED: 1,500 mm
STAIRS:	REQUIRED: 1,100 mm	PROVIDED: 1,140 mm
DOORWAYS:	REQUIRED: 800 mm	PROVIDED: 870 mm

3.4.3.3 EXIT WIDTH REDUCTION
(1)EXCEPT AS PERMITTED BY SENTENCES (2) AND (4), NO FIXTURE, TURNSTILE OR CONSTRUCTION SHALL PROJECT INTO OR BE FIXED WITHIN THE REQUIRED WIDTH OF AN EXIT.
(2)SWINGING DOORS IN THEIR SWING SHALL NOT REDUCE THE REQUIRED WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750 MM OR REDUCE THE WIDTH OF AN EXIT PASSAGEWAY TO LESS THAN THE MINIMUM REQUIRED WIDTH.
(3)DOORS SHALL BE INSTALLED SO THAT, WHEN OPEN, THEY DO NOT DIMINISH NOR OBSTRUCT THE REQUIRED WIDTH OF THE EXIT.
(4)HANDRAILS AND CONSTRUCTION BELOW HANDRAILS, INCLUDING HANDRAIL SUPPORTS AND STAIR STRINGERS, SHALL NOT PROJECT MORE THAN 100 MM INTO THE REQUIRED WIDTH OF A MEANS OF EGRESS.
3.4.4.1 FIRE RESISTANCE RATING OF EXIT SEPARATIONS
(1)(a&b):PARKADE STAIRS = 2.0HR F.R.R. FIRE SEPARATION
RESIDENTIAL LEVEL STAIRS = 1.0HR F.R.R. FIRE SEPARATION

3.4.5.1 EXIT SIGNS
(1)(a&b): EVERY EXIT DOOR SHALL HAVE AN EXIT SIGN PLACED OVER OR ADJACENT TO IT
3.4.5.2 SIGNS FOR STAIRS AND RAMPS AT EXIT LEVEL
(1): AT THE EXIT LEVELS OF STAIRS #1&2, A SIGN SHALL BE CLEARLY POSTED INDICATING THAT THERE IS NO EXIT BELOW THIS LEVEL
3.4.6.16 DOOR RELEASE HARDWARE
(2)(b): PANIC HARDWARE IS REQUIRED ON ALL EXTERIOR EXIT DOORS, AS THE BUILDING HAS AN OCCUPANT LOAD GREATER THAN 100
3.4.6.19 FLOOR NUMBERING
(1): ARABIC NUMERALS INDICATING THE ASSIGNED FLOOR NUMBER SHALL:
(1)(a): BE PERMANENTLY MOUNTED ON STAIR SIDE OF THE WALL AT LATCH SIDE OF DOORS TO THE EXIT SHAFT
(1)(b): BE NOT LESS THAN 60mm HIGH, RAISED 0.7mm ABOVE THE SURFACE
(1)(c): BE 1500mm ABOVE THE FLOOR, AND NOT MORE THAN 300mm FROM THE DOOR
(1)(d): BE IN CONTRASTING IN COLOUR TO THE SURFACE TO WHICH IT IS BEING APPLIED

3.5 VERTICAL TRANSPORTATION

3.5.4.2 FLOOR NUMBERING
(1): ARABIC NUMERALS INDICATING THE FLOOR NUMBER SHALL BE MOUNTED ON BOTH JAMBS OF THE ELEVATOR DOOR ENTRANCE IN CONFORMANCE W/ APPENDIX E OF ASME A17.1/CSA-B44.
T.3.5.3.1 FIRE SEPARATIONS FOR VERTICAL TRANSPORTATION SPACE
ELEVATOR: (PARKADE LEVEL) REQUIRED: 2.0HR PROVIDED: 2.0HR
(RESIDENTIAL LEVELS) REQUIRED: 1.0HR PROVIDED: 1.0HR

3.6.2 SERVICE ROOMS

3.6.2.1 FIRE SEPARATION AROUND SERVICE ROOMS
(1) EXCEPT AS PERMITTED BY SENTENCES (2), (8), (9) AND (10), FUEL-FIRED APPLIANCES SHALL BE INSTALLED IN SERVICE ROOMS SEPARATED FROM THE REMAINDER OF THE BUILDING BY FIRE SEPARATIONS HAVING A FIRE-RESISTANCE RATING NOT LESS THAN 1 H.
(6) ELECTRICAL EQUIPMENT THAT IS REQUIRED TO BE LOCATED IN A SERVICE ROOM ACCORDING TO THE ELECTRICAL SAFETY REGULATION SHALL BE INSTALLED IN A SERVICE ROOM SEPARATED FROM THE REMAINDER OF THE BUILDING BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING NOT LESS THAN 1 H.
(8) WHERE A SERVICE ROOM CONTAINS A LIMITED QUANTITY OF SERVICE EQUIPMENT, AND THE SERVICE EQUIPMENT NEITHER CONSTITUTES A FIRE HAZARD NOR IS ESSENTIAL TO THE OPERATION OF FIRE SAFETY SYSTEMS IN THE BUILDING, THE REQUIREMENTS FOR A FIRE SEPARATION SHALL NOT APPLY.

3.6.2.5. COMBUSTIBLE REFUSE STORAGE
(1) EXCEPT AS REQUIRED BY SENTENCE 3.6.3.3.(9), A ROOM FOR THE STORAGE OF COMBUSTIBLE REFUSE SHALL BE
(a) SEPARATED FROM THE REMAINDER OF THE BUILDING BY A FIRE SEPARATION WITH A FIRE-RESISTANCE RATING NOT LESS THAN 1 H, AND
(b) SPRINKLERED.

3.6.3.1 FIRE SEPARATION FOR VERTICAL SERVICE SPACES

T3.6.3.1.(1) FIRE SEPARATION FOR VERTICAL SERVICE SPACES
REQUIRED: 1HR PROVIDED: 1 HR

5.8 SOUND TRANSMISSION

5.8.1.1. REQUIRED PROTECTION
(1) EXCEPT AS PROVIDED IN SENTENCE (2), A DWELLING UNIT SHALL BE SEPARATED FROM EVERY OTHER SPACE IN A BUILDING IN WHICH NOISE MAY BE GENERATED BY
(1)(a) A SEPARATING ASSEMBLY AND ADJOINING CONSTRUCTIONS, WHICH, TOGETHER, PROVIDE AN APPARENT SOUND TRANSMISSION CLASS (ASTC) RATING NOT LESS THAN 47, OR
(1)(b) A SEPARATING ASSEMBLY THAT PROVIDES A SOUND TRANSMISSION CLASS (STC) RATING OF NOT LESS THAN 50 AND ADJOINING CONSTRUCTIONS THAT CONFORM TO ARTICLE 9.11.1.4.
(2) CONSTRUCTION SEPARATING A DWELLING UNIT FROM AN ELEVATOR SHAFT OR A REFUSE CHUTE SHALL HAVE AN STC RATING NOT LESS THAN 55.

BUILDING ENVELOPE REQUIREMENTS:
DOOR AND WINDOW OPENINGS TO COMPLY WITH TABLE 5.5-4 OF ASHRAE 90.1-2019
HEAT TRANSFER, AIR LEAKAGE, VAPOUR DIFFUSION TO MEET THE REQUIREMENTS OF BCBC 2018, SECTION 5.3 TO 5.7.

PART 10:
ASHRAE: 90.1-2019
CLIMATE ZONE: 4C

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
T: 604.780.6461 604.780.3243
WWW.M-AARCHITECTS.COM
WWW.MAARCHITECTSLTD.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT NAME
LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS
2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE
BC CODE ANALYSIS

SCALE	1/4" = 1'-0"
DRAWN	AT
CHECKED	Checker
PROJECT NO.	22042

DRAWING NO.
A00.21

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\5BKFC.rvt

GENERAL CLASSIFICATION AND CODE COMPLIANCE

BC BUILDING CODE 2018

3.8 ACCESSIBILITY

3.8.3.2. ACCESSIBLE PATH OF TRAVEL
(1) EXCEPT AS REQUIRED ELSEWHERE IN THIS PART OR AS PERMITTED BY ARTICLE 3.8.3.6. PERTAINING TO DOORWAYS, AN ACCESSIBLE PATH OF TRAVEL SHALL HAVE
(1)(a) EXCEPT FOR HANDRAILS, THAT ARE PERMITTED TO PROJECT NOT MORE THAN 100 MM FROM EITHER OR BOTH SIDES INTO THE CLEAR AREA, AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 1 500 MM
(5) AN ACCESSIBLE PATH OF TRAVEL SHALL BE EQUIPPED TO PROVIDE ILLUMINATION IN ACCORDANCE WITH SENTENCES 3.2.7.1.(1) AND (2). (SEE ALSO SENTENCE 3.2.7.1.(3) AND ARTICLE 9.34.2.7.)

3.8.3.6. DOORWAYS AND DOORS
(2) EVERY DOORWAY THAT IS LOCATED IN AN ACCESSIBLE PATH OF TRAVEL SHALL HAVE A CLEAR WIDTH NOT LESS THAN **850** MM
(3) DOORWAYS IN AN ACCESSIBLE PATH OF TRAVEL TO AT LEAST ONE BATHROOM WITHIN AN ACCESSIBLE SUITE OF RESIDENTIAL OCCUPANCY SHALL HAVE A CLEAR WIDTH NOT LESS THAN 810 MM WHEN MEASURED IN ACCORDANCE WITH CLAUSES (2)(A) AND (B).
(SEE ARTICLE 3.8.2.12. AND NOTE A-3.8.3.6.(3).)
(4) DOOR-OPERATING DEVICES SHALL BE GRASPABLE AND OPERABLE
(a) IN ACCORDANCE WITH CLAUSE 3.8.3.8.(1)(C), AND
(b) BE OPERABLE AT A HEIGHT BETWEEN 900 MM AND 1 100 MM ABOVE THE FLOOR

3.8.3.8. CONTROLS AND OUTLETS
(1)(A) BE MOUNTED 455 MM TO 1 200 MM ABOVE THE FLOOR

3.8.3.11. WATER-CLOSET STALLS
(1) WATER-CLOSET STALLS AND ENCLOSURES REQUIRED BY SENTENCE 3.8.2.8.(5) SHALL
(a) BE NOT LESS THAN 1500 MM WIDE BY 1500 MM DEEP
(d) HAVE A WATER CLOSET LOCATED SO THAT THE DISTANCE BETWEEN THE CENTRE LINE OF THE FIXTURE AND THE WALL ON ONE SIDE IS 460 MM TO 480 MM,

BATHROOM:
(i) CONFORMING TO CLAUSES 3.8.3.11.(1)(A) AND (D) WITH A WATER CLOSET CONFORMING TO ARTICLE 3.8.3.13.,
(ii) PROVIDED WITH GRAB BARS CONFORMING TO CLAUSES 3.8.3.11.(1)(E) AND (F)
(iii) PROVIDED WITH A LAVATORY AND MIRROR CONFORMING TO ARTICLE 3.8.3.15., AND
(iv) PROVIDED WITH A BATHTUB CONFORMING TO ARTICLE 3.8.3.17. OR A SHOWER CONFORMING TO ARTICLE 3.8.3.16., ONLY TO THE EXTENT OF PROVIDING THE SAME TYPE OF FACILITIES PROVIDED IN SLEEPING ROOMS AND BED SPACES WHERE ACCESS IS NOT REQUIRED.

3.8.5. ADAPTABLE DWELLING UNITS

3.8.5.3. BUILDING ACCESS REQUIREMENTS
(2) CORRIDORS AND PASSAGEWAYS PROVIDING ACCESS TO ADAPTABLE DWELLING UNIT ENTRANCES AND COMMON FACILITIES SHALL
(a) BE NOT LESS THAN 1 220 MM IN WIDTH, AND
(b) PROVIDE A CLEAR FLOOR SPACE NOT LESS THAN 1 500 MM BY 1 500 MM
(I) ADJACENT TO THE ELEVATOR ENTRANCE, AND
(II) AT INTERVALS NOT EXCEEDING 9 M MEASURED FROM THE ELEVATOR ENTRANCE TO THE END OF THE CORRIDOR OR PASSAGEWAY.
(3) EXCEPT AS PERMITTED IN SENTENCE 3.8.5.4.(1), DOORWAYS AND DOORS IN THE ACCESSIBLE PATH OF TRAVEL THROUGHOUT THE BUILDING SHALL COMPLY WITH ARTICLE 3.8.3.6.

3.8.5.4. ADAPTABLE DWELLING UNIT DOORWAYS
(1) WITHIN AN ADAPTABLE DWELLING UNIT, DOORWAYS PROVIDING ACCESS TO COMMON LIVING AREAS AND AT LEAST ONE BATHROOM AND ONE BEDROOM SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN **810** MM WHEN MEASURED IN ACCORDANCE WITH CLAUSES 3.8.3.6.(2)(A) AND (B). (SEE NOTE A-3.8.5.4.(1).)

3.8.5.5. ADAPTABLE DWELLING UNIT BATHROOMS
(1) THE BATHROOM REFERRED TO IN SENTENCE 3.8.5.4.(1) SHALL BE DESIGNED TO BE ADAPTABLE FOR USE BY PERSONS USING WHEELCHAIRS BY PROVIDING
(a) A DIMENSION FROM THE FRONT EDGE OF THE WATER CLOSET TO THE FACING WALL OF NOT LESS THAN 800 MM,
(b) A DIMENSION FROM THE FRONT FACE OF THE BATHTUB OR SHOWER TO THE CENTRE LINE OF THE WATER CLOSET NOT LESS THAN 510 MM, AND
(c) A CLEAR FLOOR SPACE IN FRONT OF THE LAVATORY NOT LESS THAN 760 MM WIDE BY 1 350 DEEP CENTRED ON THE LAVATORY, AND
(d) A CLEAR FLOOR SPACE, EXCLUSIVE OF DOOR SWING, NOT LESS THAN 760 MM WIDE BY 1 350 MM DEEP CONNECTING TO THE ROUTE THROUGH THE DOORWAY.
(2) WALLS ADJACENT TO THE WATER CLOSET AND BATHTUB OR SHOWER SHALL ACCOMMODATE THE FUTURE INSTALLATION OF GRAB BARS CONFORMING TO
(a) CLAUSES 3.8.3.11.(1)(E) AND (F) FOR WATER CLOSETS, AND
(b) CLAUSE 3.8.3.16.(1)(F) FOR SHOWERS OR 3.8.3.17.(1)(F) FOR BATHTUBS.
(SEE NOTE A-3.8.5.5.(2).)

3.8.5.6. ADAPTABLE DWELLING UNIT KITCHENS
(1) THE KITCHEN IN AN ADAPTABLE DWELLING UNIT SHALL BE DESIGNED SO THAT THE COOKTOP AND SINK ARE ADJACENT OR CAN HAVE A CONTINUOUS COUNTER BETWEEN THEM.

3.8.5.7. CONTROLS, SWITCHES AND OUTLETS
1) CONTROLS AND SWITCHES INTENDED FOR OCCUPANT USE, INCLUDING ELECTRICAL, TELEPHONE, CABLE AND DATA OUTLETS SHALL BE MOUNTED 455 MM TO 1 200 MM ABOVE THE FLOOR.

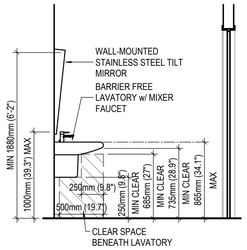
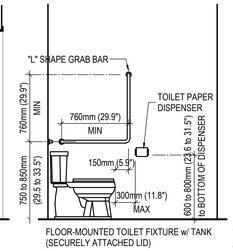
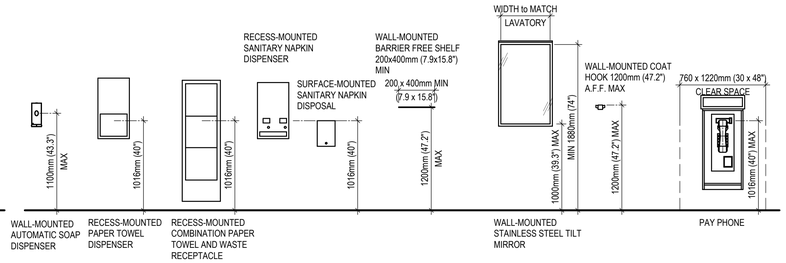


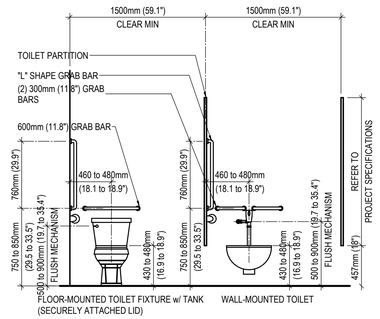
FIGURE 3.8.3.15.-A
SECTION AT LAVATORY



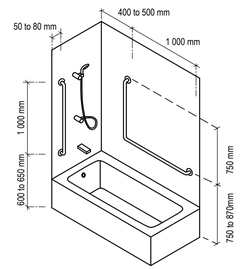
A-3.8.3.13.(1)
SECTION AT TOILET



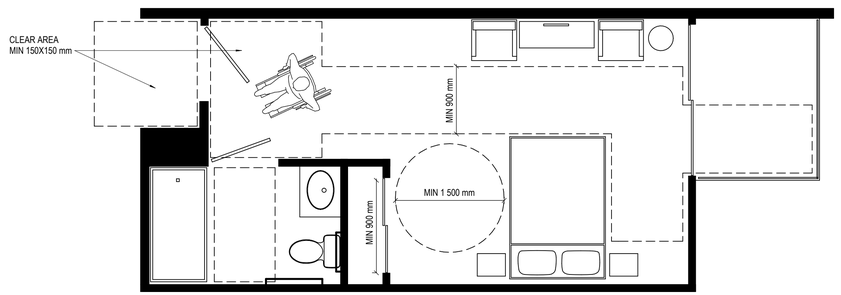
B.C. BUILDING ACCESSIBILITY HANDBOOK 2020- FIGURE 3.8.3.15.-B WASHROOM ACCESSORIES



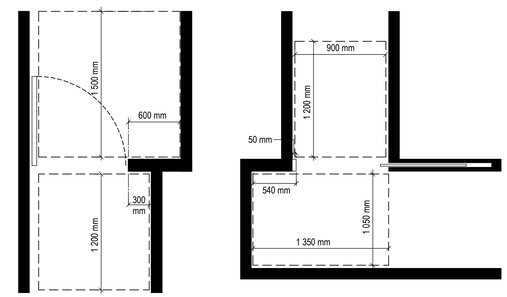
A-3.8.3.13.(1) TOILET STALLS



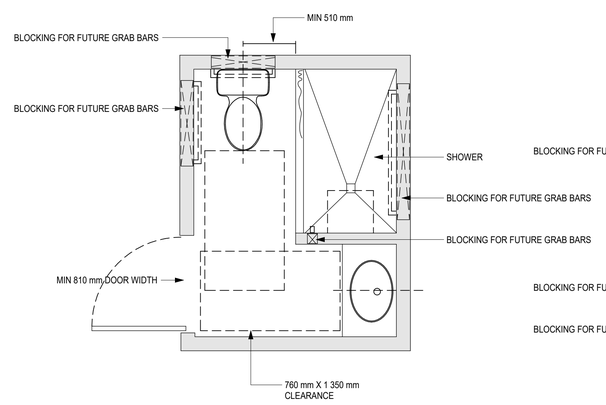
A-3.8.5.5 ADAPTABLE DWELLING UNIT BATHTUBS

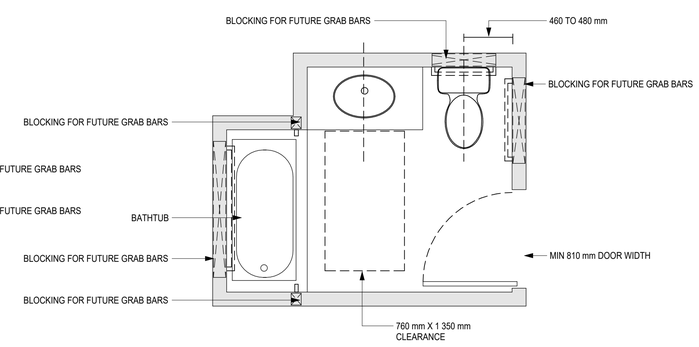


A-3.8.3.22 SLEEPING ROOM AND BED SPACES



A-3.8.3.6.(11) CLEARANCE AT DOORWAYS





WASHROOM CLEAR SPACES

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
T: 604.780.6461 604.780.3243
WWW.M-AARCHITECTS.COM
WWW.MAARCHITECTSLTD.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT NAME
LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS
2612 LONSDALE AVE, NORTH VANCOUVER

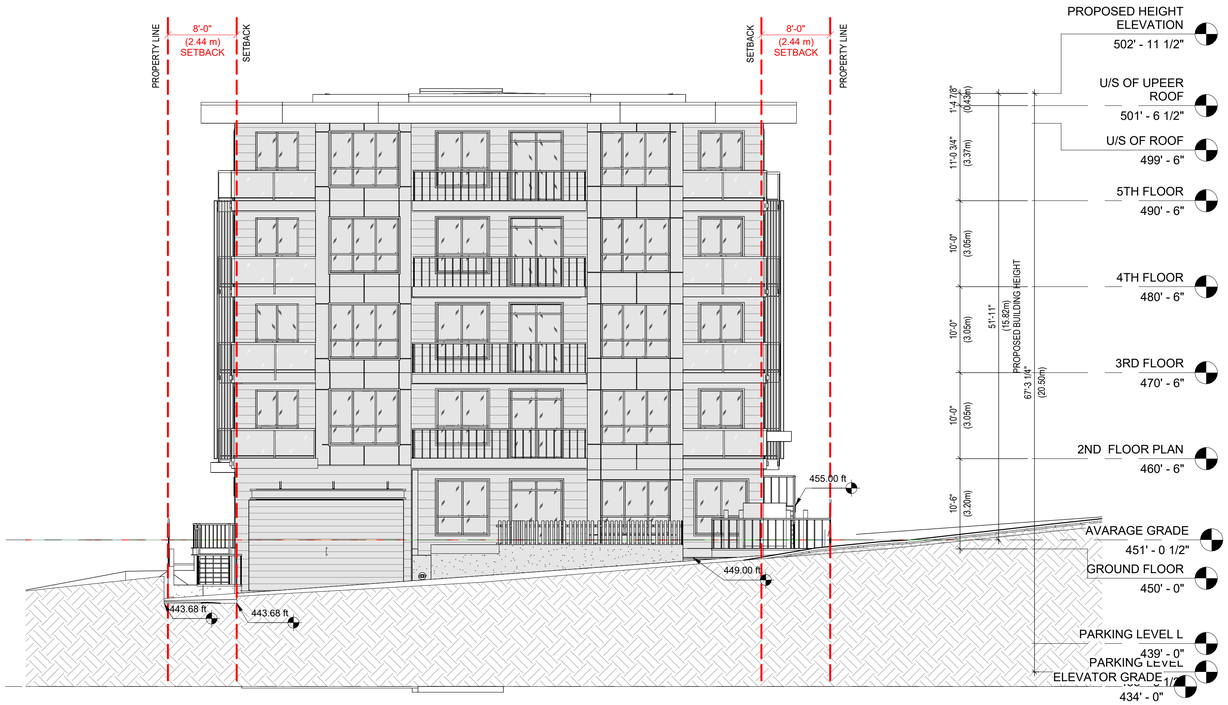
DRAWING TITLE
BC CODE ANALYSIS-ACCESSIBILITY

SCALE	As indicated
DRAWN	AT
CHECKED	Checker
PROJECT NO.	22042

DRAWING NO.
A00.22

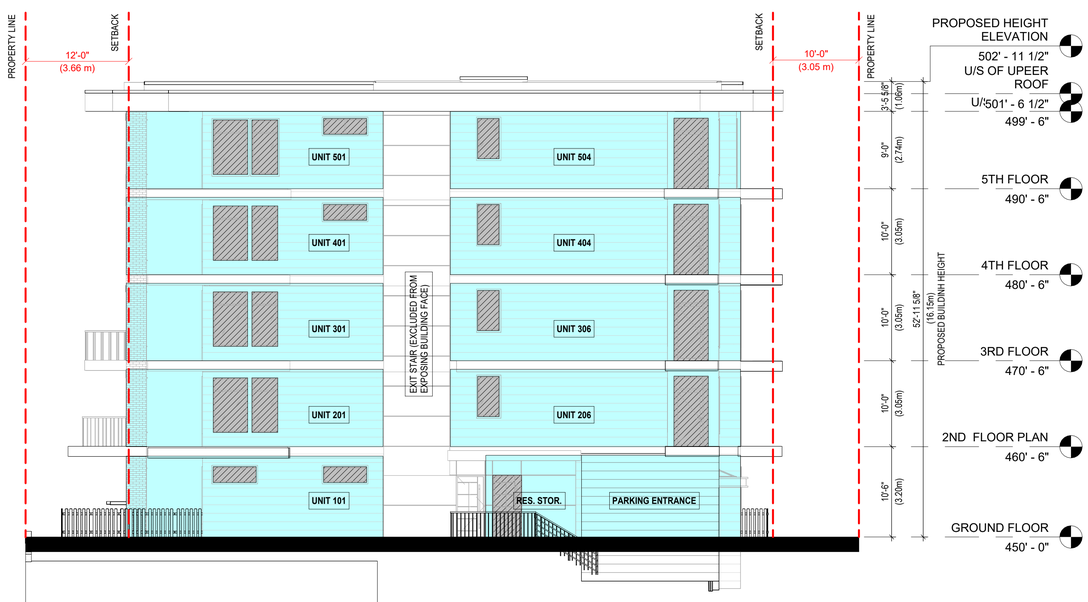
THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design53kFC.rvt



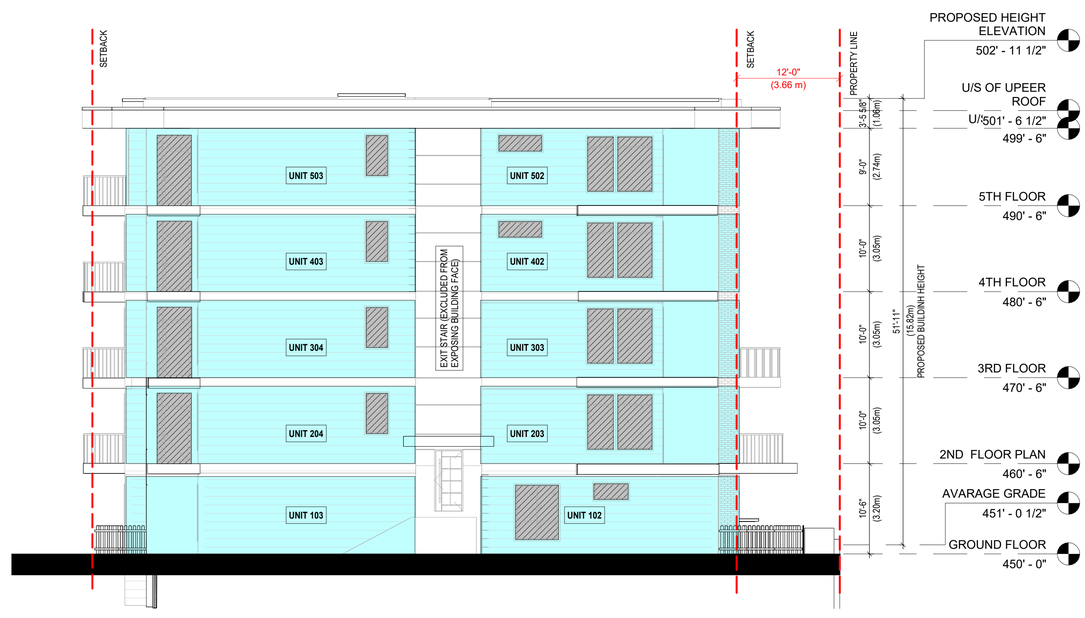
1 CODE ANALYSIS- EAST- OPENING
1 : 100

2 CODE ANALYSIS- WEST- OPENING
1 : 100



3 CODE ANALYSIS- SOUTH- OPENING
1 : 100

ELEVATOR GRADE
434' - 0"



4 CODE ANALYSIS- NORTH- OPENING
1 : 100

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC. V5C 0J3
T: 604.780.6461 604.780.3243
WWW.M-AARCHITECTS.COM
WWW.MAARCHITECTSLTD.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

BC CODE ANALYSIS- SPACIAL SEPARATION

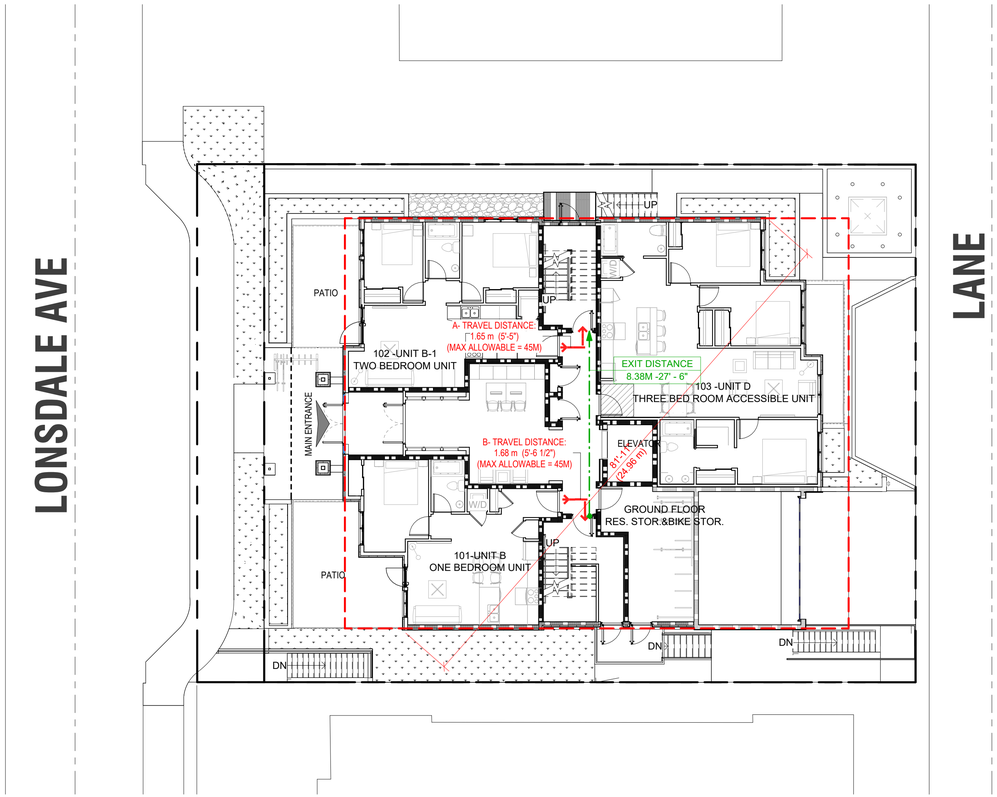
SCALE	1 : 100
DRAWN	AP
CHECKED	Checker
PROJECT NO.	22042

DRAWING NO.

A00.23

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5RVFC.rvt

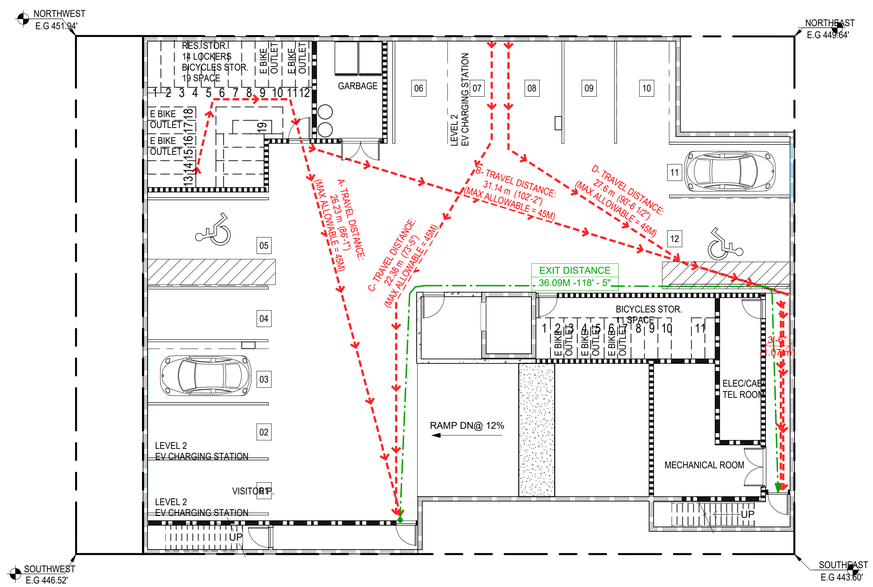


FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

1 CODE ANALYSIS- GROUND FLOOR

3/32" = 1'-0"

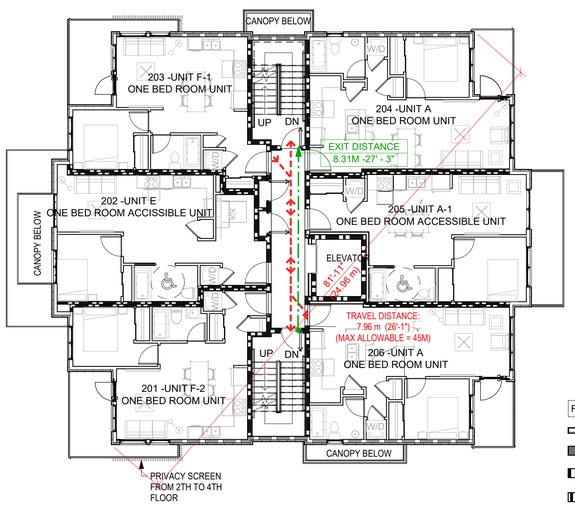


FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

2 CODE ANALYSIS- PARKING

3/32" = 1'-0"

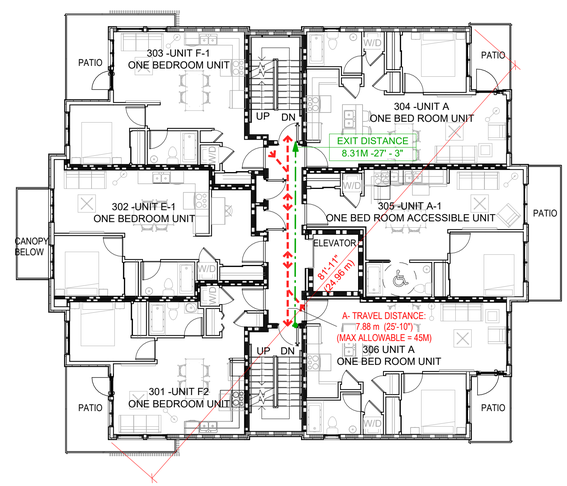


FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

3 CODE ANALYSIS- 2ND FLOOR

3/32" = 1'-0"



FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

4 CODE ANALYSIS- 3RD FLOOR

3/32" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
T: 604.780.6461 604.780.3243
WWW.M-AARCHITECTS.COM
WWW.MAARCHITECTSLTD.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

BC CODE ANALYSIS- PLANS A

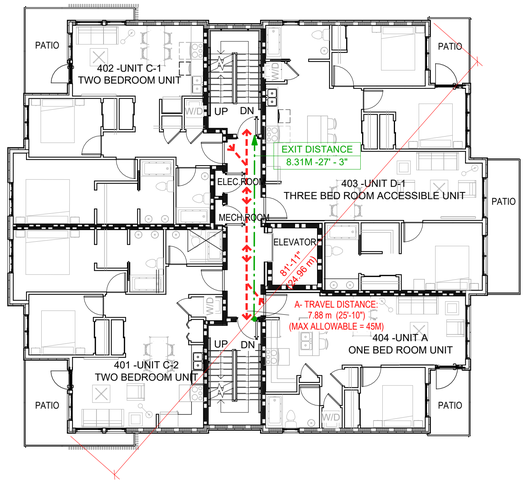
SCALE	As indicated
DRAWN	AP
CHECKED	Checker
PROJECT NO.	22042

DRAWING NO.

A00.24

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt

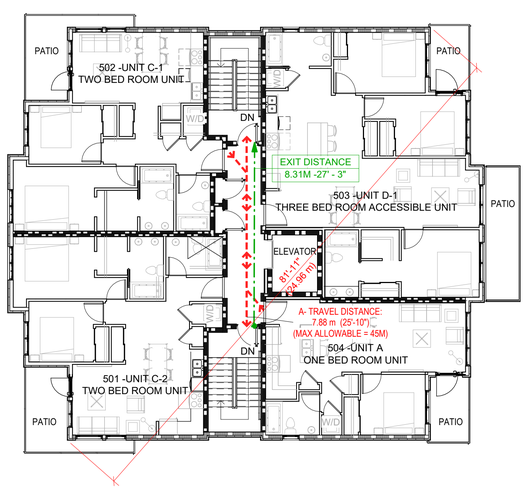


FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

1 CODE ANALYSIS- 4TH FLOOR

3/32" = 1'-0"

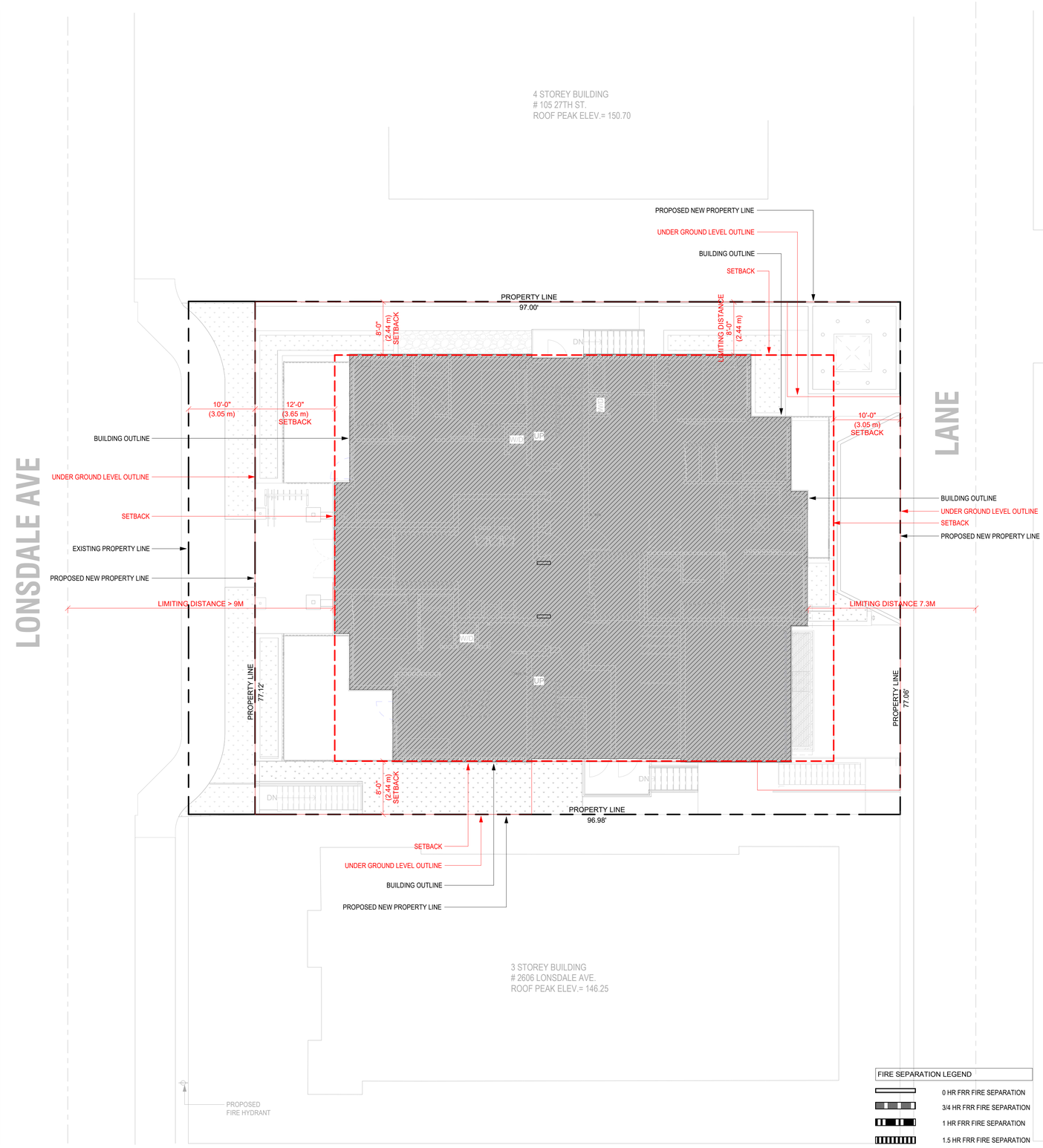


FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

2 CODE ANALYSIS- 5TH FLOOR

3/32" = 1'-0"



FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

3 CODE ANALYSIS- SITE PLAN

1/8" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
T: 604.780.6461 604.780.3243
WWW.M-AARCHITECTS.COM
WWW.MAARCHITECTSLTD.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

BC CODE ANALYSIS- PLANS B

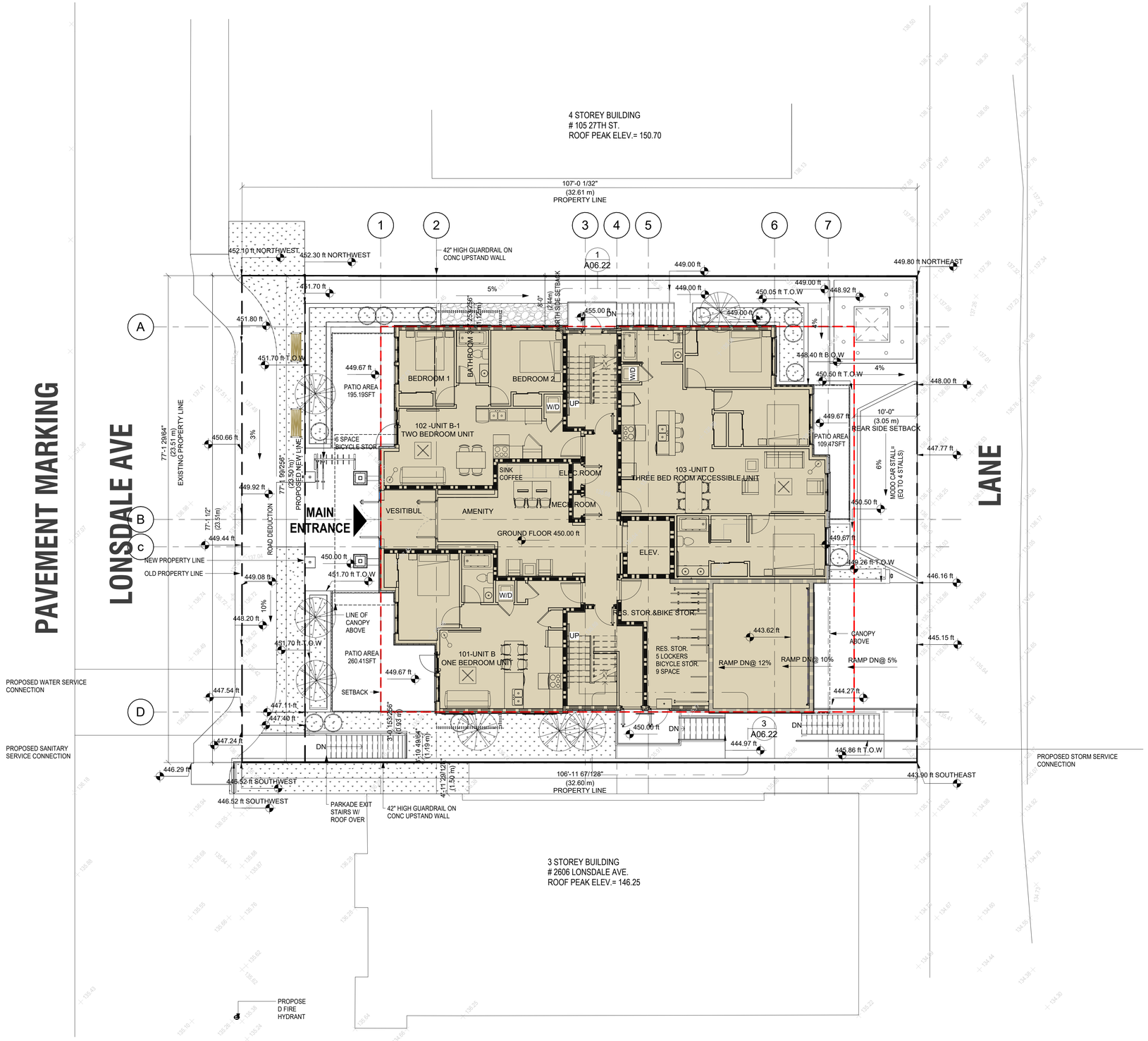
SCALE	As indicated
DRAWN	AP
CHECKED	Checker
PROJECT NO.	22042

DRAWING NO.

A00.25

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt



1 **SITE PLAN**
1/8" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

SITE PLAN

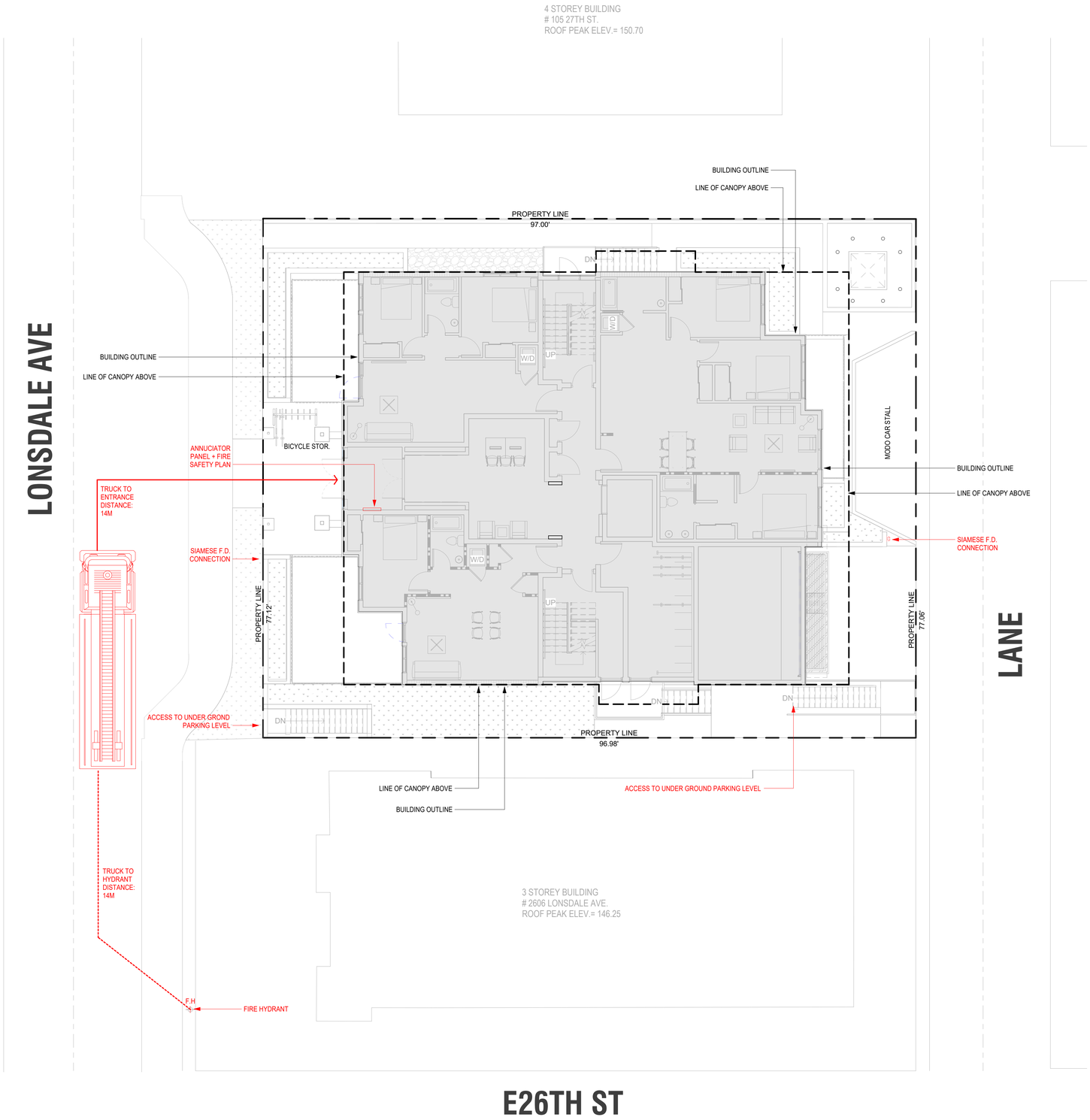
SCALE	1/8" = 1'-0"
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A01.01

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt



1 CODE ANALYSIS- FIRE ACCESS PLAN

1/8" = 1'-0"

FIRE ACCESS LEGEND

1/4" = 1'-0"

- SIAMESE F.D. CONNECTION
- DISTANCE FROM FIRE TRUCK TO ENTRANCE DOOR
- DISTANCE FROM FIRE HYDRANT TO FIRE TRUCK
- F.H — FIRE HYDRANT
- FIRE TRUCK

NOTE:

- ALL SURFACES WITHIN THE REQUIRED FIRE ACCESS ROUTE SHALL BE DESIGNED TO ACCOMMODATE FIRE FIGHTING EQUIPMENT LOADS AS PER THE C.O.S. FIRE DEPARTMENT REQUIREMENTS & B.C.B.C. 2018.
- MAXIMUM FIRE DEPT. TRUCK ACCESS ROUTE TO BE 90M. TRUCK TURN AROUND FACILITIES REQUIRED IF ACCESS ROUTE EXCEEDS 90M.
- NO PARKING SIGNS TO BE POSTED ALONG TRUCK FIRE ACCESS ROUTES
- MIN. WIDTH OF FIRE TRUCK ACCESS ROUTE = 6M

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

FIRE ACCESS PLAN

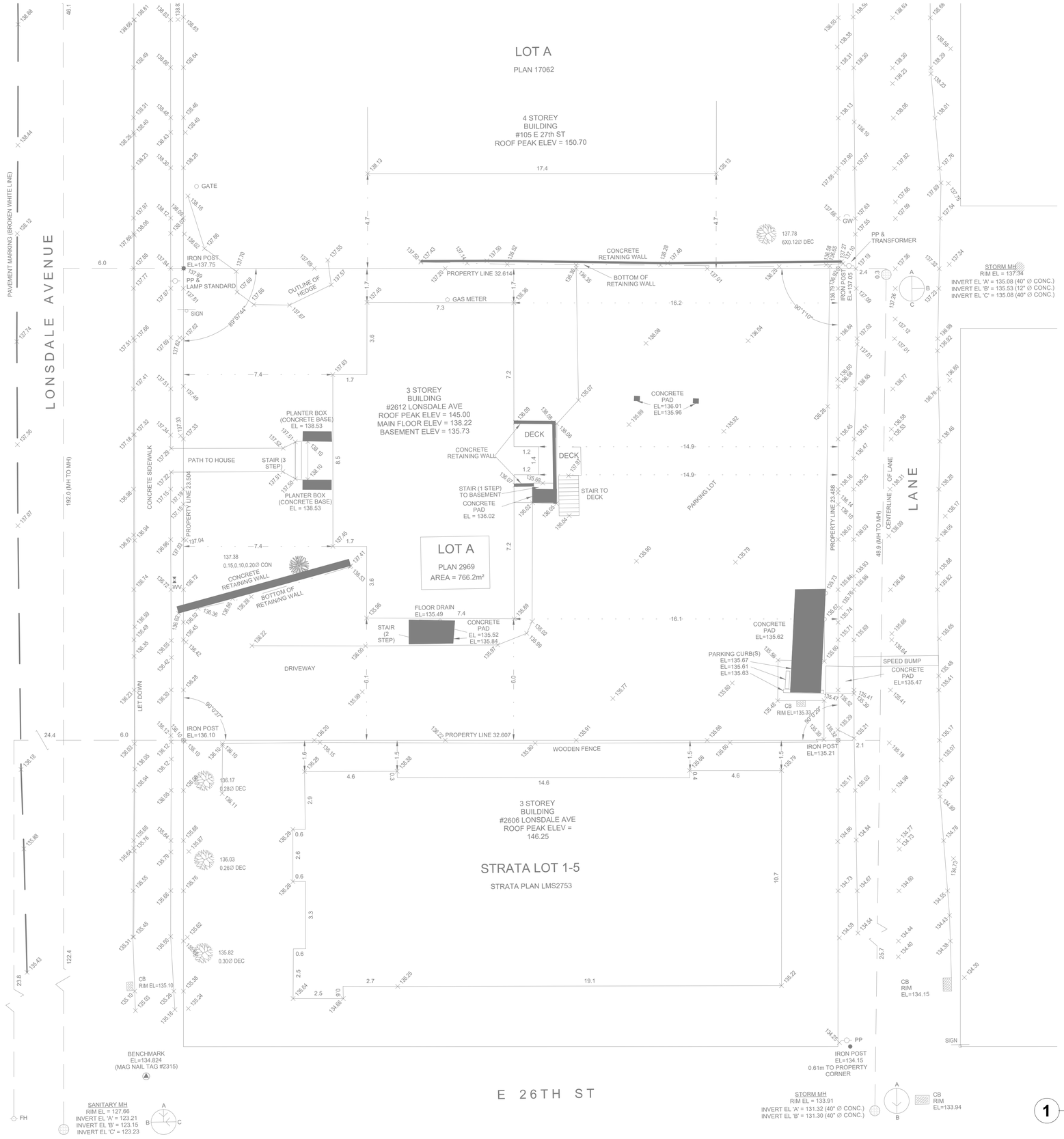
SCALE	As indicated
DRAWN	AT
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A01.20

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt



1 **SURVAY PLAN**
1/8" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

SURVAY PLAN

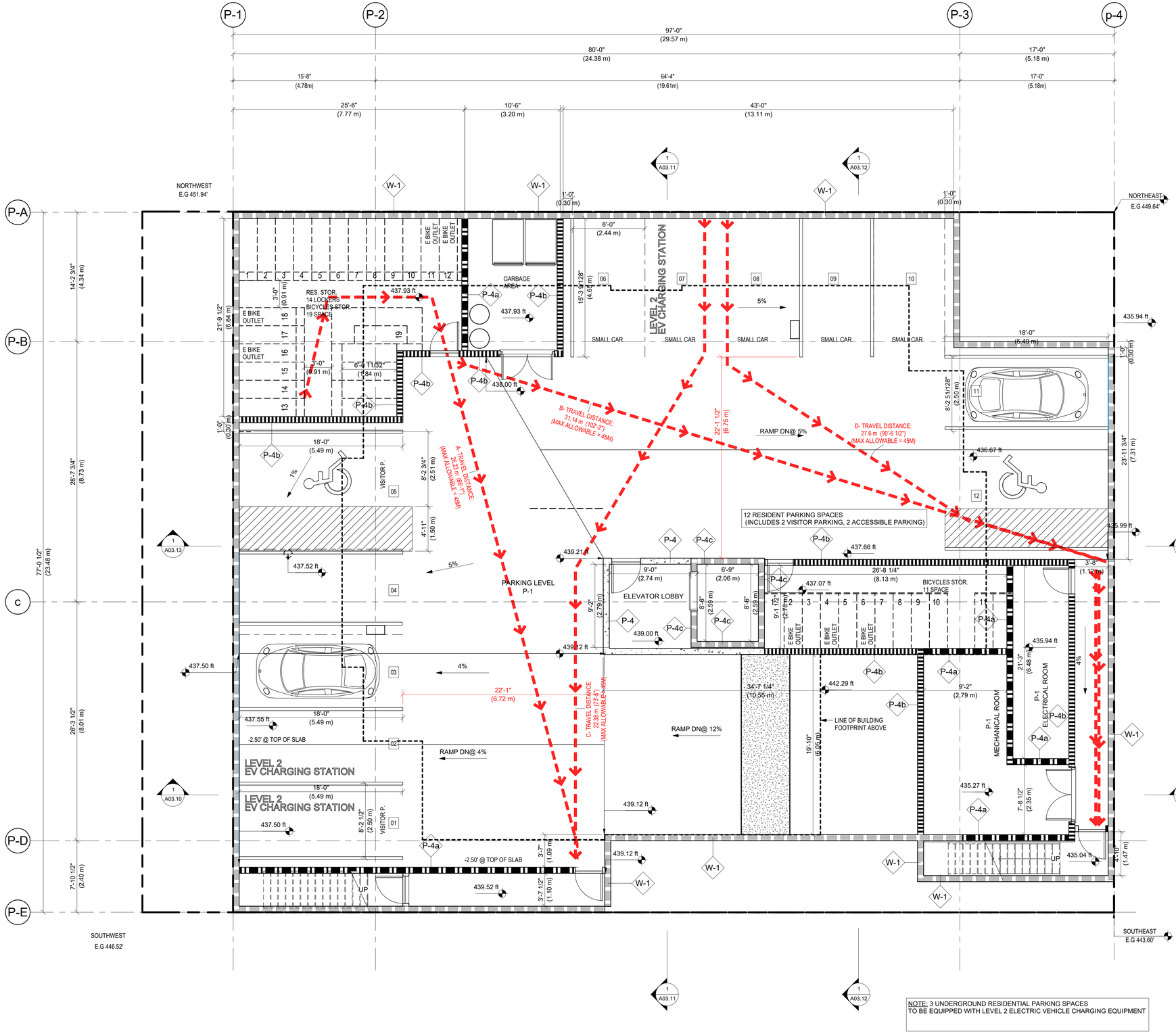
SCALE	1/8" = 1'-0"
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A02.11

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BWFC.rvt



NOTE: 3 UNDERGROUND RESIDENTIAL PARKING SPACES TO BE EQUIPPED WITH LEVEL 2 ELECTRIC VEHICLE CHARGING EQUIPMENT

FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

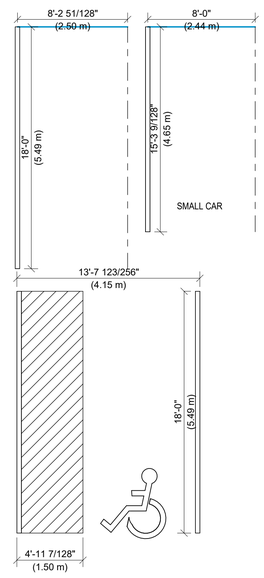
JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

EXIT

ACCESS TO EXIT

PARKING LEVEL AREA			
NAME	AREA (SFT)	AREA (SM)	LEVEL
BICYCLE STOR.	797 ft²	74.08 m²	PARKING LEVEL L
COMMON AREA	629 ft²	58.43 m²	PARKING LEVEL L
PPARKING SPACE	5456 ft²	506.87 m²	PARKING LEVEL L
	6882 ft²	639.38 m²	
TOTAL	6882 ft²	639.38 m²	



1 **UNDER GROUND PARKING**
3/16" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

PARKING PLAN

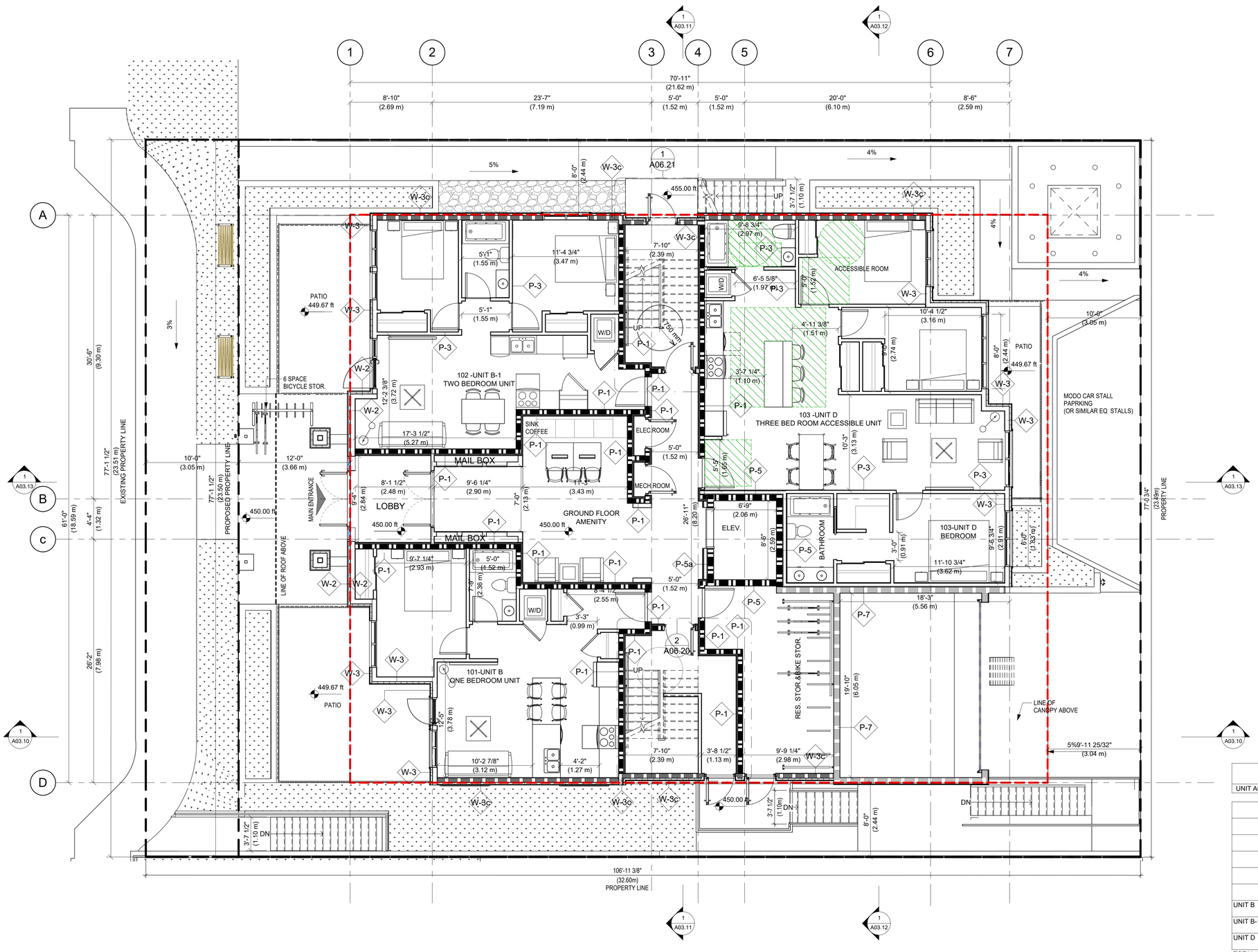
SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A02.12

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\BKFC.rvt



FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

EXIT

ACCESS TO EXIT

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

GROUND FLOOR AREA CALCULATION

UNIT ADDRESS	NAME	AREA (SFT)	AREA (SM)	LEVEL
	COMMON AREA	588 ft²	54.6 m²	GROUND FLOOR
	BICYCLE STOR.	256 ft²	23.82 m²	GROUND FLOOR
	ELECROOM	12 ft²	1.11 m²	GROUND FLOOR
	MECHANICHAL ROOM	11 ft²	1.01 m²	GROUND FLOOR
	AMENITY	317 ft²	29.44 m²	GROUND FLOOR
	LOBBY	90 ft²	8.39 m²	GROUND FLOOR
UNIT B	UNIT 101	594 ft²	55.18 m²	GROUND FLOOR
UNIT B-1	UNIT 102	665 ft²	61.77 m²	GROUND FLOOR
UNIT D	UNIT 103	1127 ft²	104.69 m²	GROUND FLOOR
TOTAL AREA		3660 ft²	340.02 m²	

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

GROUND FLOOR PLAN

SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

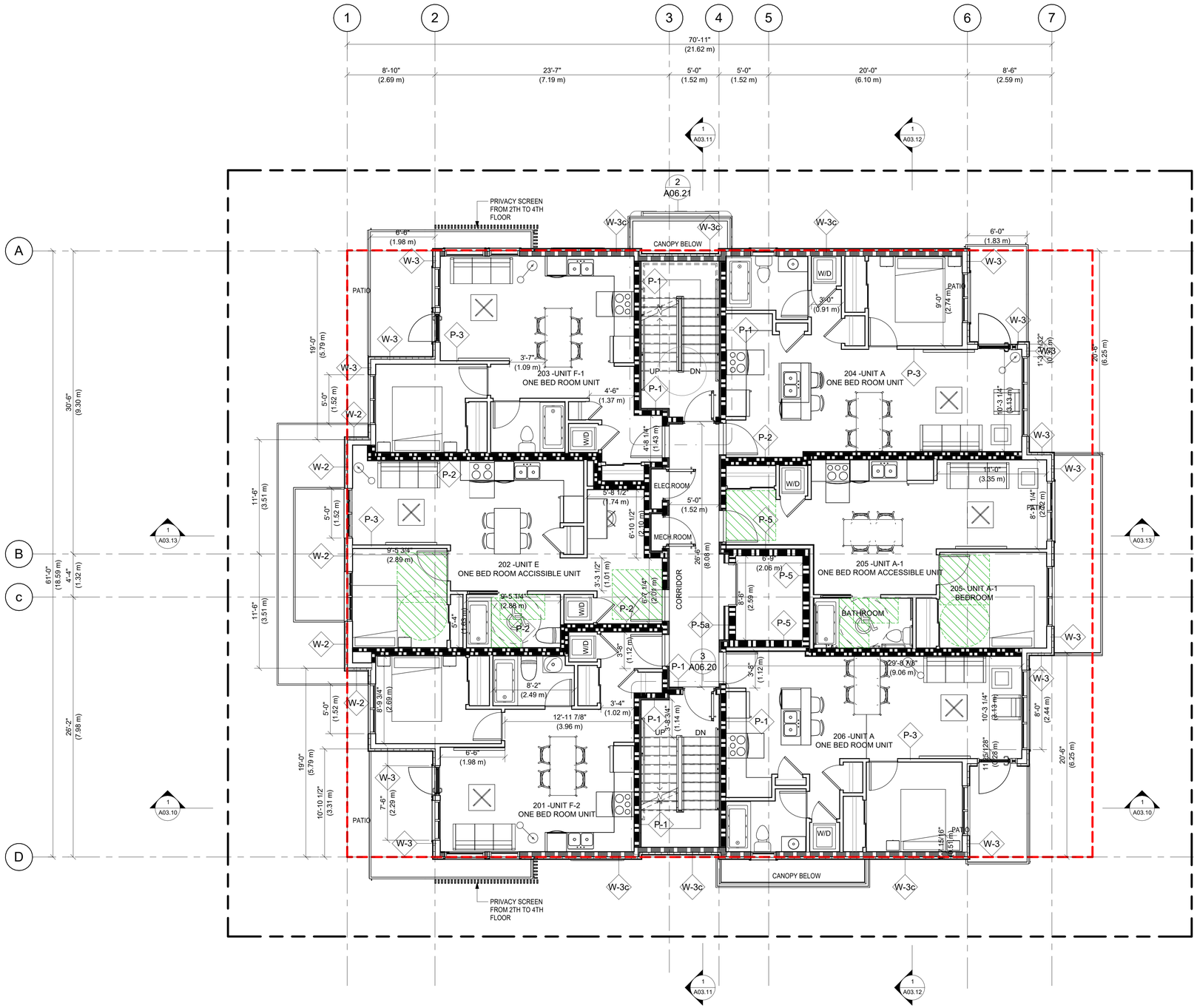
A02.13

1 GROUND FLOOR

3/16" = 1'-0"

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\BKFC.rvt



FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

EXIT

ACCESS TO EXIT

2ND FLOOR AREA CALCULATION				
UNIT ADDRESS	NAME	AREA (SFT)	AREA (SM)	LEVEL
	COMMON AREA	515 ft²	47.81 m²	2ND FLOOR PLAN
UNIT F2	UNIT 201	526 ft²	48.87 m²	2ND FLOOR PLAN
UNIT E	UNIT 202	580 ft²	53.93 m²	2ND FLOOR PLAN
UNIT F-1	UNIT 203	517 ft²	48.05 m²	2ND FLOOR PLAN
UNIT A-1	UNIT 205	564 ft²	52.43 m²	2ND FLOOR PLAN
UNIT A	UNIT 206	1168 ft²	108.53 m²	2ND FLOOR PLAN
TOTAL AREA		3871 ft²	359.62 m²	

1 **2ND FLOOR PLAN**
3/16" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

SECOND FLOOR PLAN

SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A02.14

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design6R4FC.rvt

FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

EXIT

ACCESS TO EXIT

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

THIRD FLOOR PLAN

SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A02.15

3RD FLOOR AREA CALCULATION

UNIT ADDRESS	NAME	AREA (SFT)	AREA (SM)	LEVEL
	COMMON AREA	515 ft²	47.83 m²	3RD FLOOR
UNIT F2	UNIT 301	526 ft²	48.87 m²	3RD FLOOR
UNIT E-1	UNIT 302	580 ft²	53.93 m²	3RD FLOOR
UNIT F-1	UNIT 303	517 ft²	48.05 m²	3RD FLOOR
UNIT A	UNIT 304	584 ft²	54.23 m²	3RD FLOOR
UNIT A-1	UNIT 305	564 ft²	52.41 m²	3RD FLOOR
UNIT A	UNIT 306	584 ft²	54.26 m²	3RD FLOOR
TOTAL AREA		3870 ft²	359.58 m²	

1 **3RD FLOOR**
3/16" = 1'-0"

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\5BKFC.rvt

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

EXIT

ACCESS TO EXIT

4TH FLOOR AREA CALCULATION				
UNIT ADDRESS	NAME	AREA (SFT)	AREA (SM)	LEVEL
	COMMON AREA	515 ft²	47.81 m²	4TH FLOOR
UNIT C-2	UNIT 401	820 ft²	76.23 m²	4TH FLOOR
UNIT C-1	UNIT 402	803 ft²	74.64 m²	4TH FLOOR
UNIT D-1	UNIT 403	1144 ft²	106.3 m²	4TH FLOOR
UNIT A	UNIT 404	584 ft²	54.26 m²	4TH FLOOR
TOTAL AREA		3867 ft²	359.23 m²	

1 4TH FLOOR
3/16" = 1'-0"

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

FORTH FLOOR PLAN

SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A02.16

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt

FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

EXIT

ACCESS TO EXIT

5TH FLOOR AREA CALCULATION

UNIT ADDRESS	NAME	AREA (SFT)	AREA (SM)	LEVEL
	COMMON AREA	515 ft²	47.83 m²	5TH FLOOR
UNIT C-2	UNIT 501	820 ft²	76.18 m²	5TH FLOOR
UNIT C-1	UNIT 502	803 ft²	74.59 m²	5TH FLOOR
UNIT D-1	UNIT 503	1145 ft²	106.33 m²	5TH FLOOR
UNIT A	UNIT 504	584 ft²	54.27 m²	5TH FLOOR
TOTAL AREA		3866 ft²	359.19 m²	

1 **5TH FLOOR**
3/16" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

FIFTH FLOOR PLAN

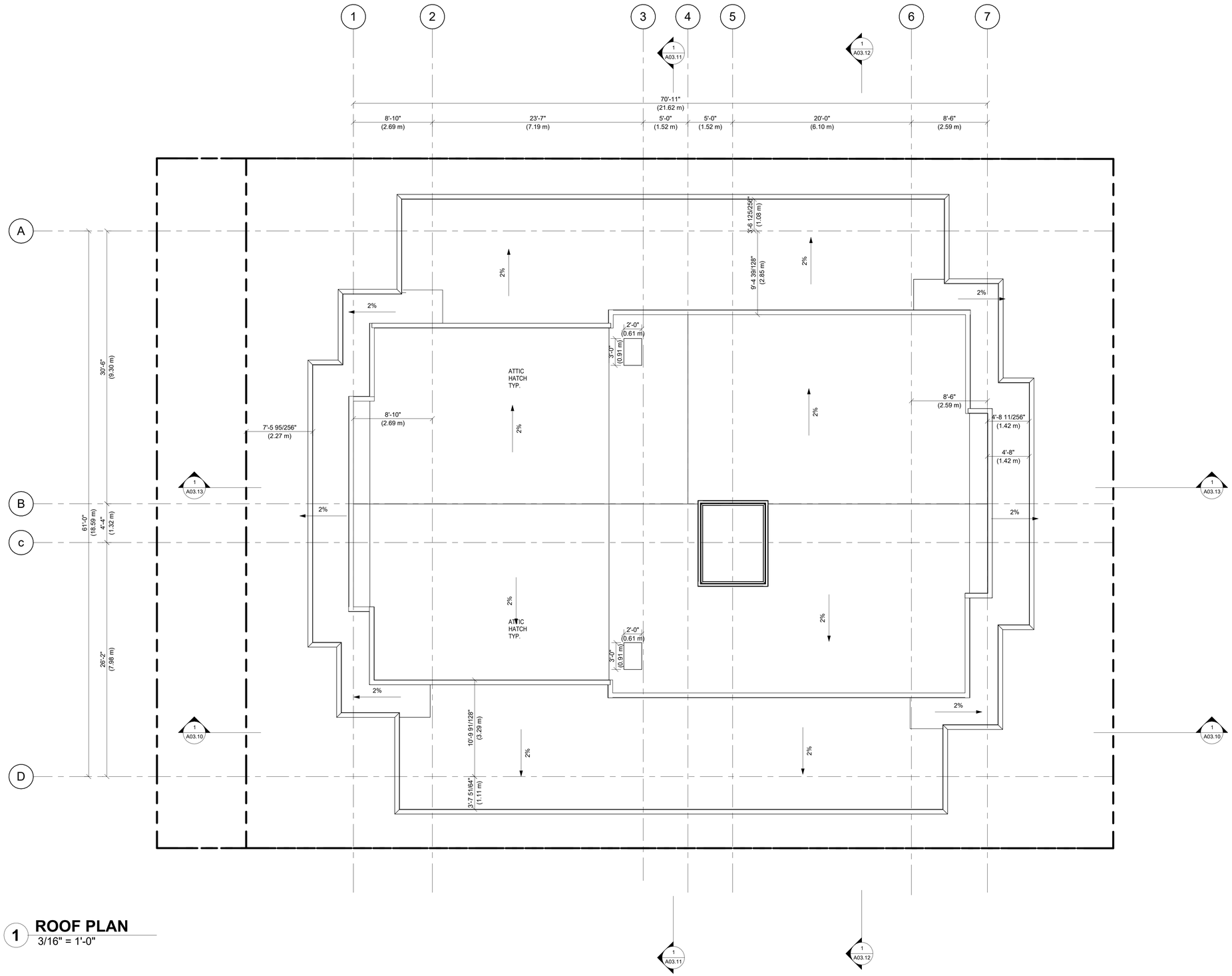
SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A02.17

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\6BKFC.rvt



1 ROOF PLAN

3/16" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

ROOF PLAN

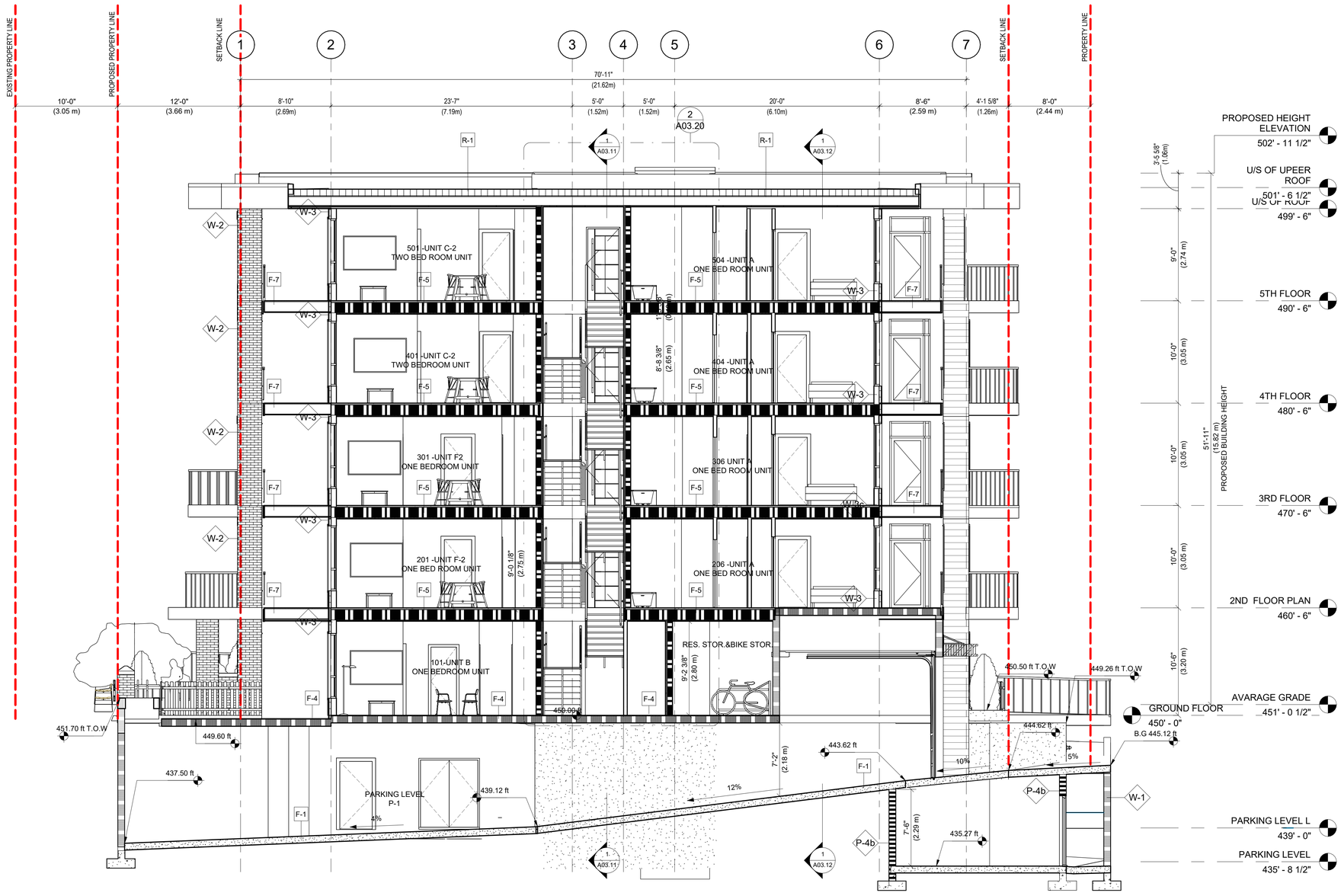
SCALE	3/16" = 1'-0"
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A02.18

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE - R2023_design\BKFC.rvt



1 **Section 1**
3/16" = 1'-0"

FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

- EXIT
- ACCESS TO EXIT

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC. V5C 0J3
T: 604.780.8461 604.780.3243
WWW.M-AARCHITECTS.COM
WWW.M-AARCHITECTS.CA

NO.	DATE Y/M/D	DESCRIPTION
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

BUILDING SECTIONS

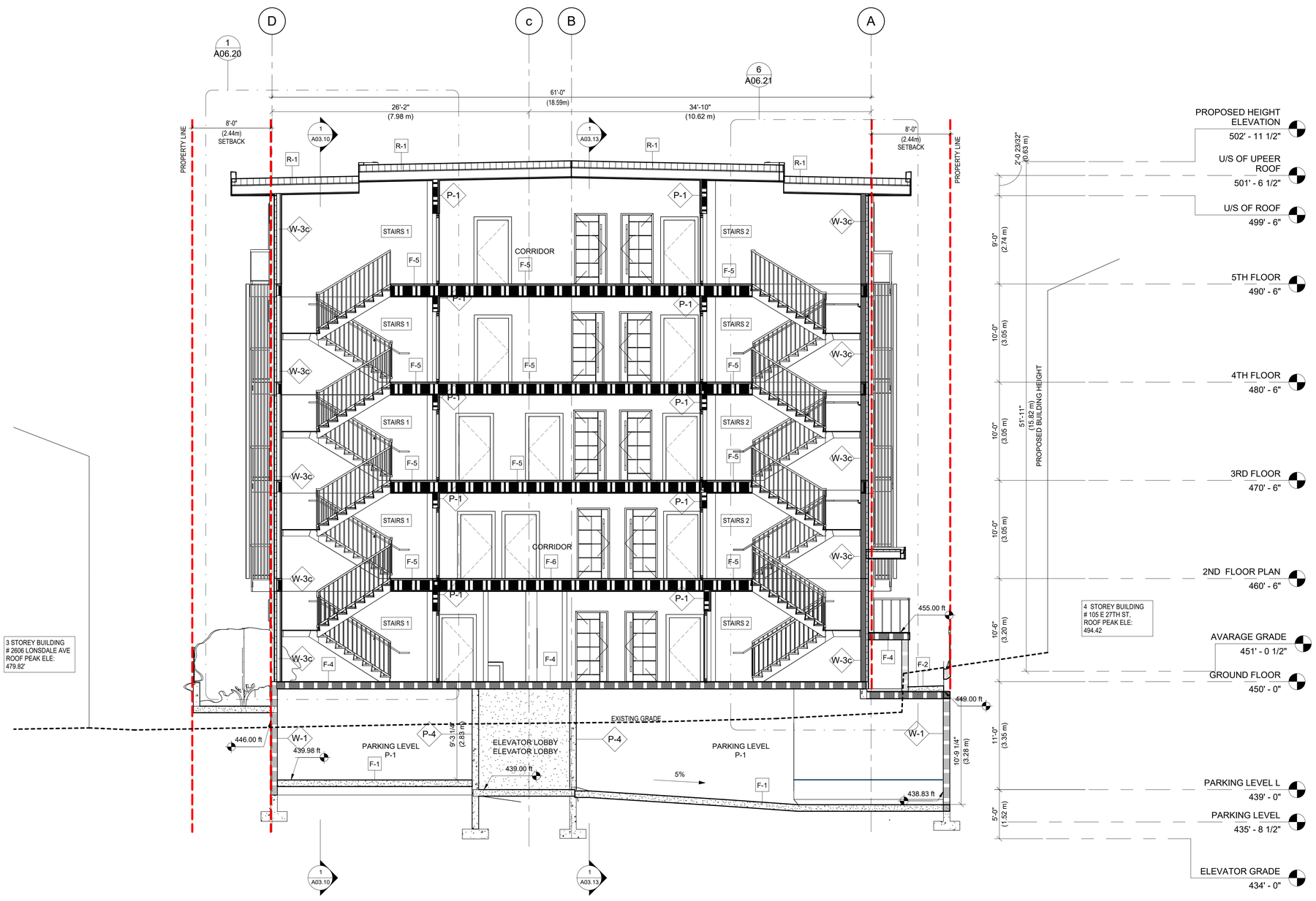
SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A03.10

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\5BKFC.rvt



1 **Section 2**
3/16" = 1'-0"

FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

- EXIT
- ACCESS TO EXIT

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC. V5C 0J3
T: 604.780.8461 604.780.3243
WWW.M-AARCHITECTS.COM
WWW.M-AARCHITECTS.CA

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

BUILDING SECTIONS

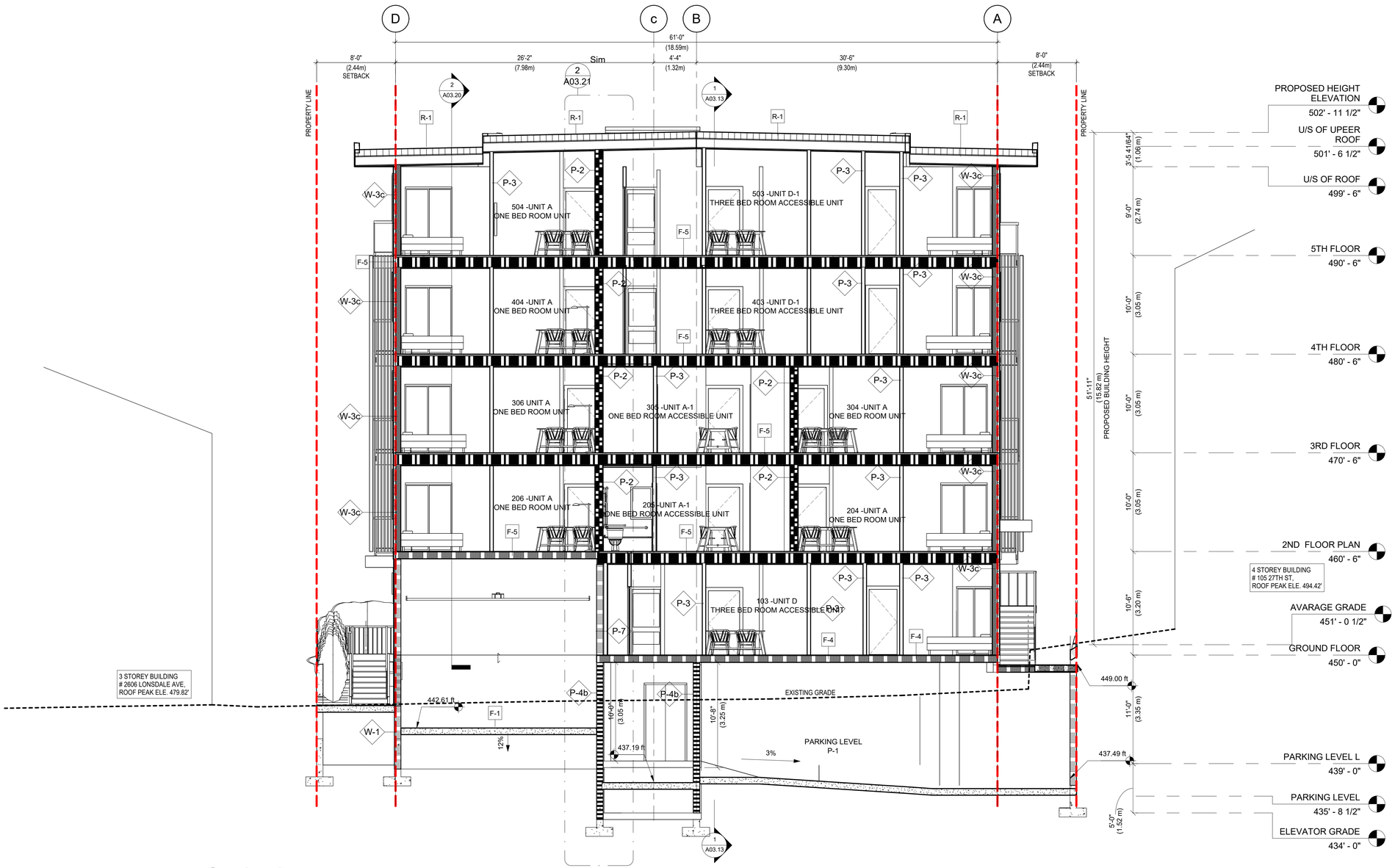
SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A03.11

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt



1 **Section 3**
3/16" = 1'-0"

FIRE SEPARATION LEGEND

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

EXIT

ACCESS TO EXIT

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

BUILDING SECTIONS

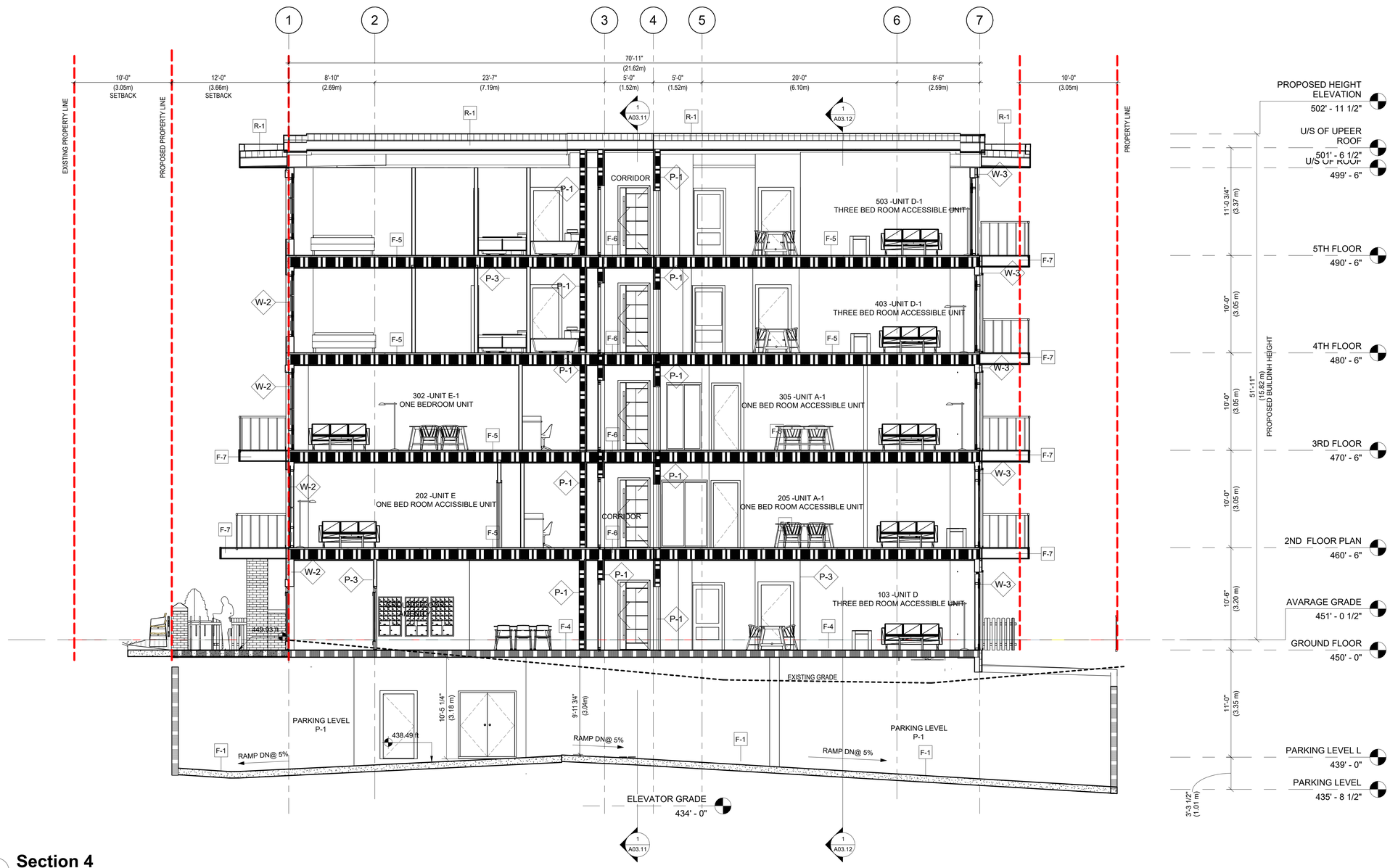
SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A03.12

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\5BKFC.rvt



1 **Section 4**
3/16" = 1'-0"

FIRE SEPARATION LEGEN

- 0 HR FRR FIRE SEPARATION
- 3/4 HR FRR FIRE SEPARATION
- 1 HR FRR FIRE SEPARATION
- 1.5 HR FRR FIRE SEPARATION
- 2 HR FRR FIRE SEPARATION

WALL CONSTRUCTION

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO u/s STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 150mm (6") ABOVE CEILING

WET WALLS

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

EXIT INDICATION

- EXIT
- ACCESS TO EXIT

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

BUILDING SECTIONS

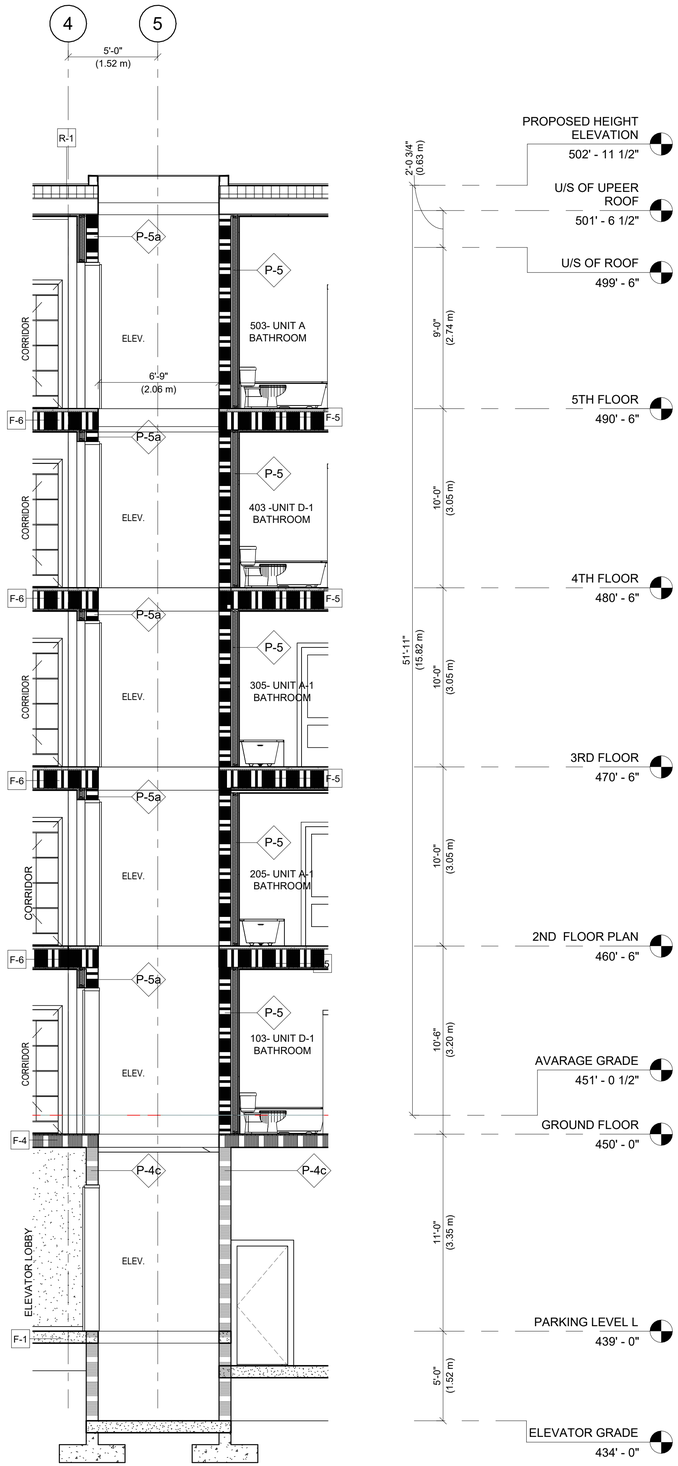
SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.

A03.13

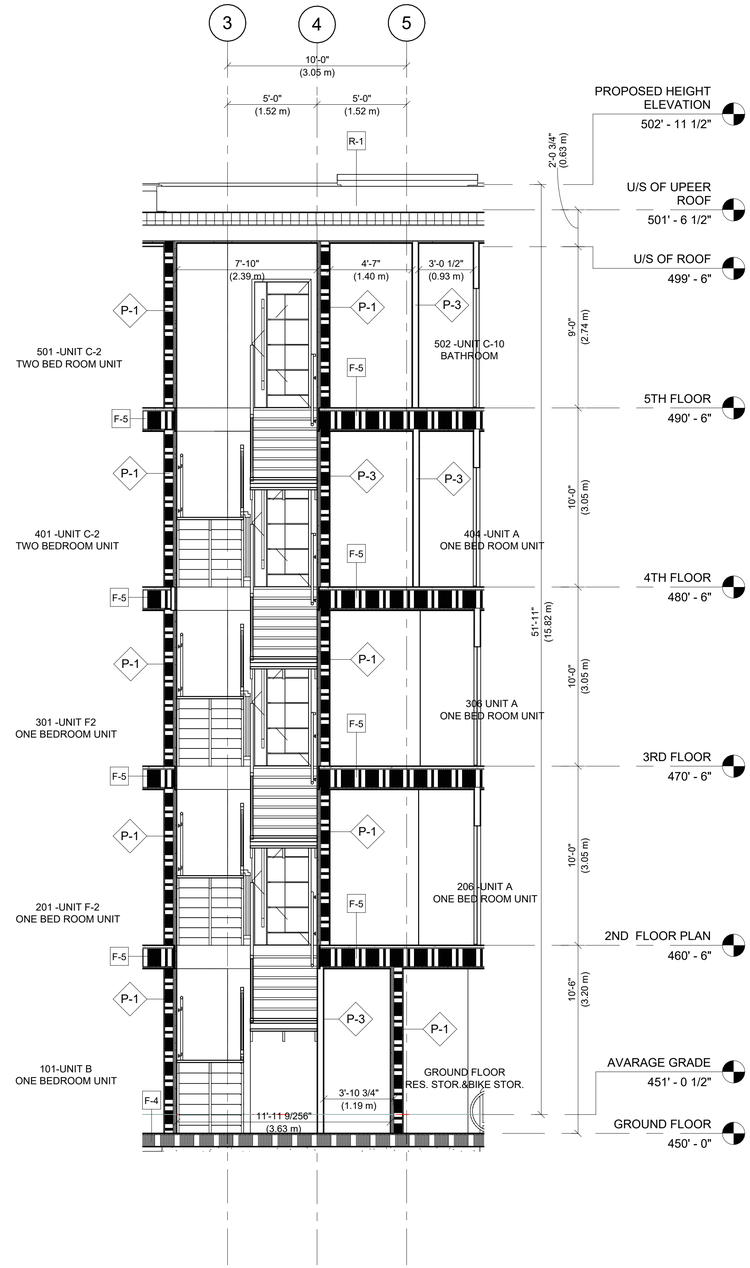
THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design\5BKFC.rvt



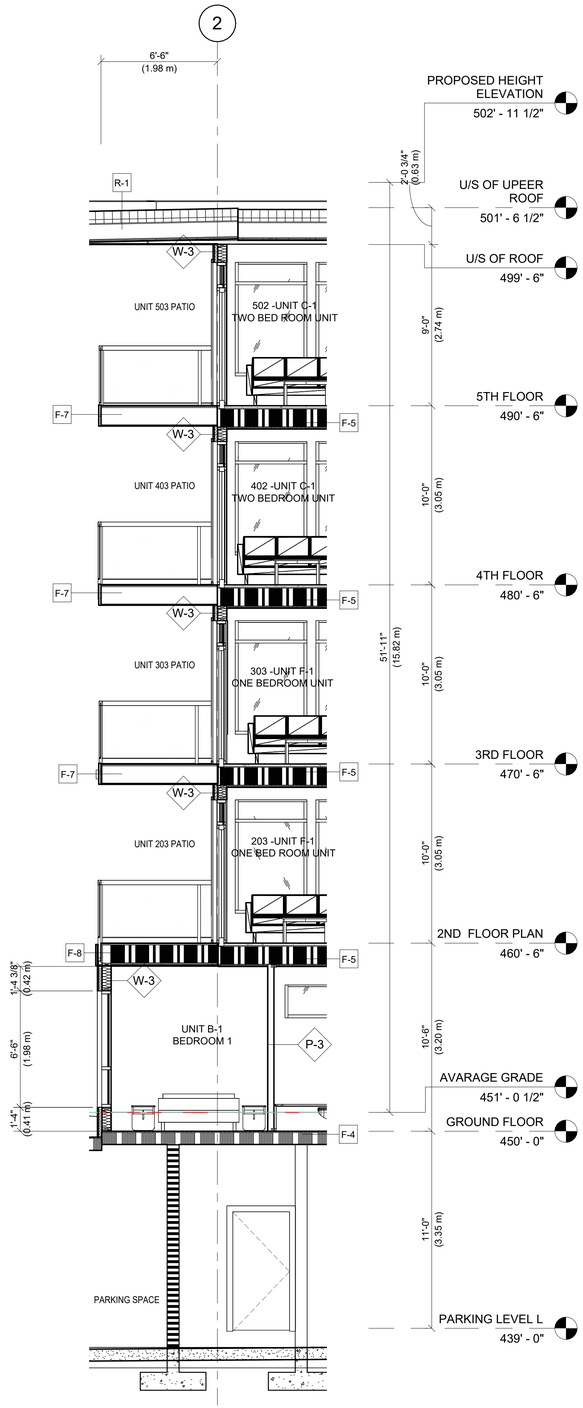
1 WALL SECTION@ ELEVATOR

1/4" = 1'-0"



2 WALL SECTTION@ STAIR

1/4" = 1'-0"



3 WALL SECTION @ DECK

1/4" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME

LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS

2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE

WALL SECTION

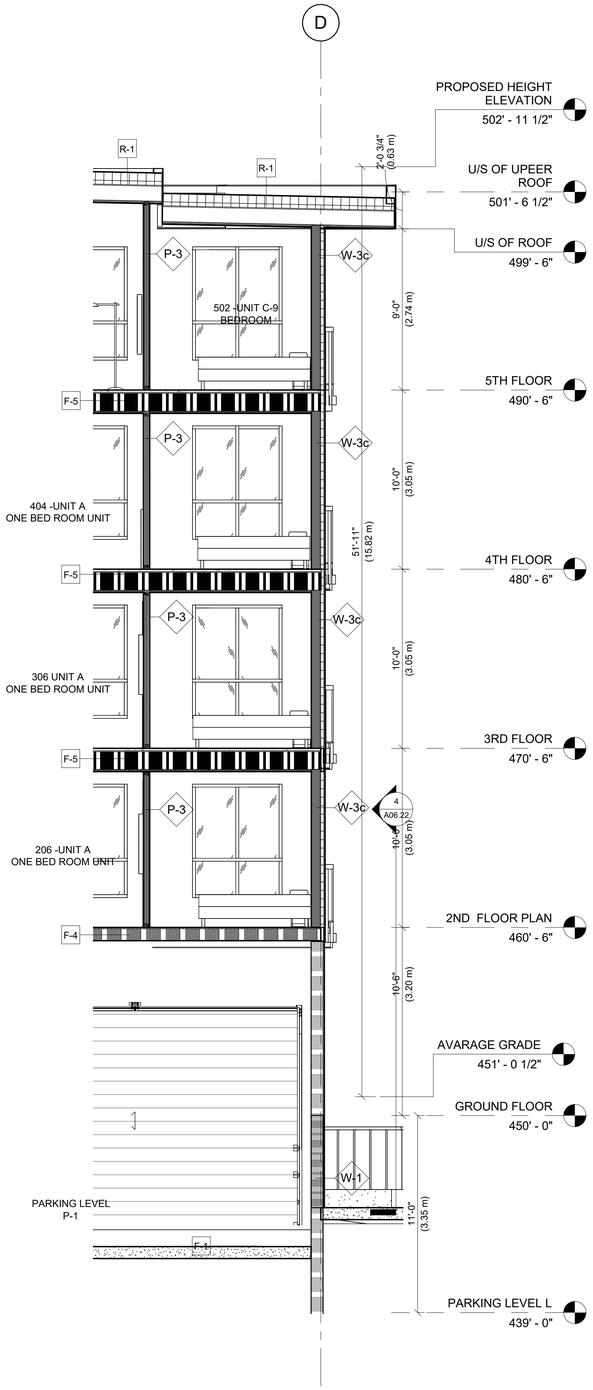
SCALE	1/4" = 1'-0"
DRAWN	AP
CHECKED	Checker
PROJECT NO.	22042

DRAWING NO.

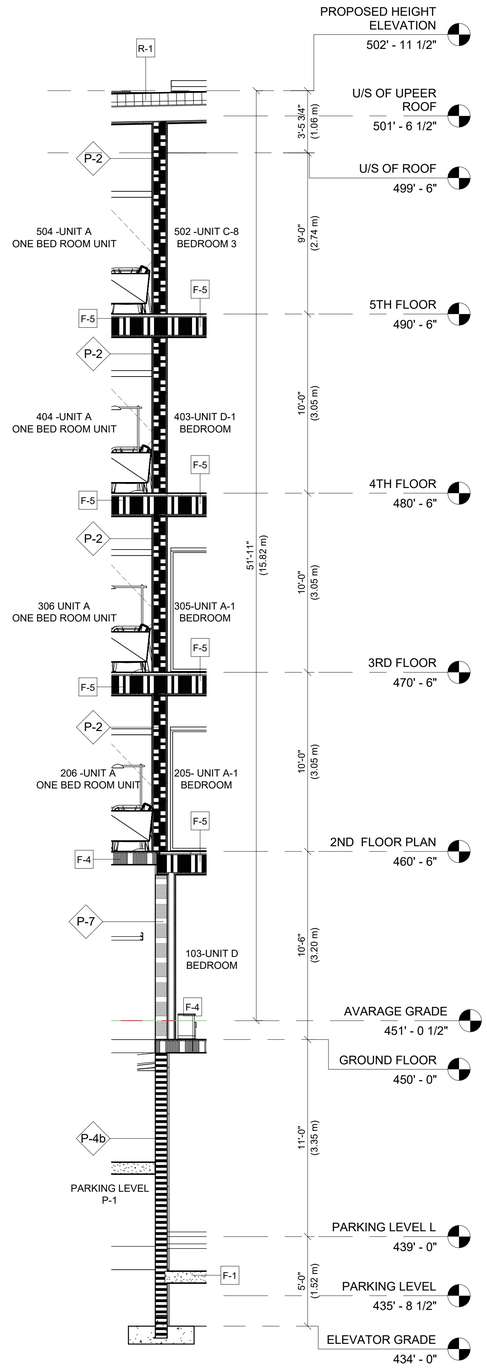
A03.20

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

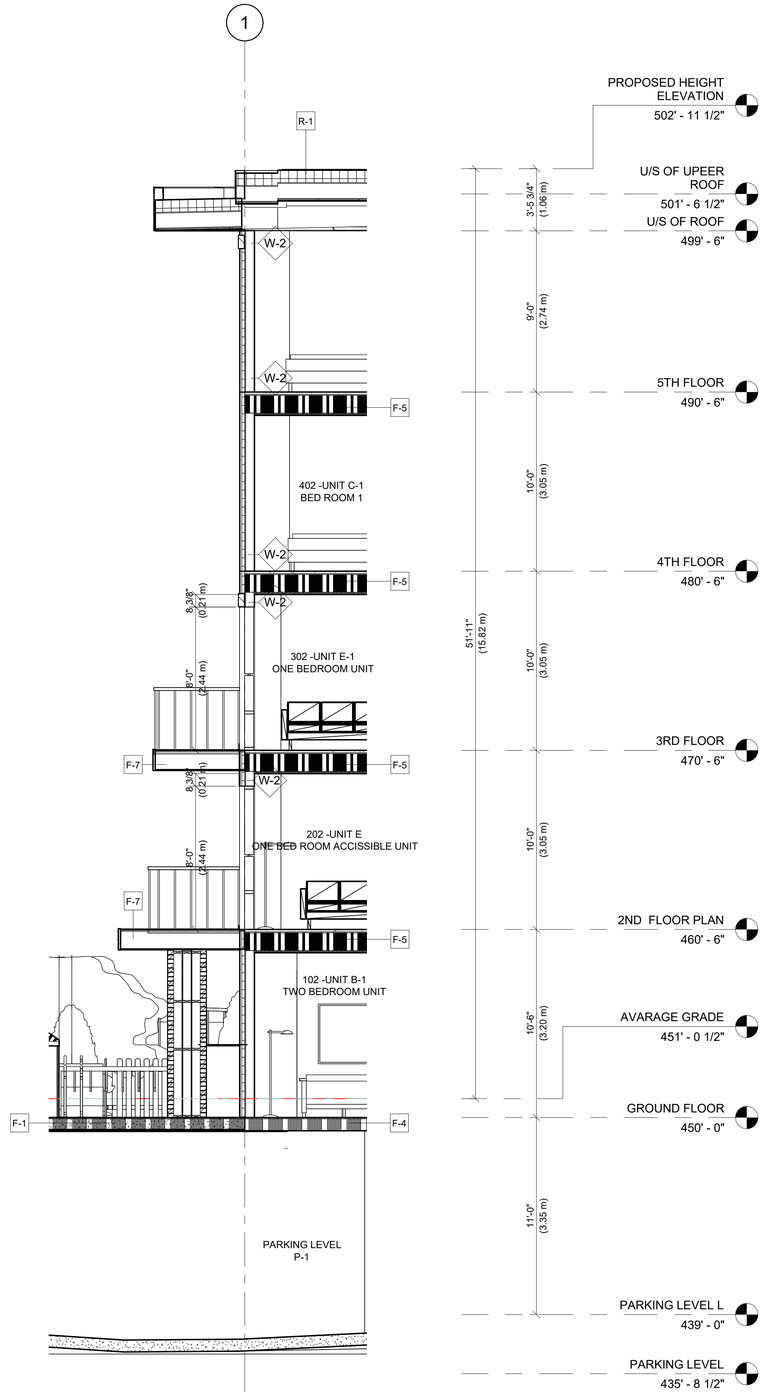
C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design583KFC.rvt



1 WALL SECTION@PARKING
1/4" = 1'-0"



2 WALL SECTION @ SEPARATION UNIT
1/4" = 1'-0"



3 WALL SECTION @ BRICK VENEER WALL
1/4" = 1'-0"

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME
LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS
2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE
WALL SECTION

SCALE	1/4" = 1'-0"
DRAWN	AP
CHECKED	Checker
PROJECT NO.	22042

DRAWING NO.
A03.21

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE_R2023_design\KBKFC.rvt

1 WEST ELEVATION
1/8" = 1'-0"

2 EAST ELEVATION
1 : 100

EXTERIOR MATERIAL LEGEND

01	BRICK MISSION FINISH, COLOR: HARBOR MIST
02	FIBRE CEMENT PANEL SMOOTH, PAINTED, COLOR: BM-BLACK PANTHER 2125-10
03	ARCHITECTURAL FINISH CONCRETE
04	WOOD TONE SOFFIT
05	WOOD FASCIA/TRIM BOARD, PAINTED, COLOR: TO MATCH BM-BLACK PANTHER 2125-10
06	ANODIZED METAL PANEL FINISH
07	PRECAST CONCRETE WALL CAP AND SILL
08	VINYL FRAME WINDOW, COLOR: BLACK
09	ALUMINUM GUARDRAIL, COLOR: BLACK WITH CLEAR GLASS
10	ALUMINUM SCREENING, WOOD TONE FINISH.
12	ALUMINUM GUARDRAIL COLOR: BLACK
13	SOLDIER COURSE BRICK DETAIL
14	FIBRE CEMENT SIDING SMOOTH, PAINTED, COLOR: BM-CHANTILLY LACE 2121-70

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME
LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS
2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE
ELEVATION

SCALE	As indicated
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.
A04.10

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE -R2023_design5BKFC.rvt

1 NORTH ELEVATION
1 : 100

2 SOUTH ELEVATION
1 : 100

EXTERIOR MATERIAL LEGEND

01	BRICK MISSION FINISH, COLOR: HARBOR MIST
02	FIBRE CEMENT PANEL SMOOTH, PAINTED, COLOR: BM-BLACK PANTHER 2125-10
03	ARCHITECTURAL FINISH CONCRETE
04	WOOD TONE SOFFIT
05	WOOD FASCIA/TRIM BOARD, PAINTED, COLOR: TO MATCH BM-BLACK PANTHER 2125-10
06	ANODIZED METAL PANEL FINISH
07	PRECAST CONCRETE WALL CAP AND SILL
08	VINYL FRAME WINDOW, COLOR: BLACK
09	ALUMINUM GUARDRAIL, COLOR: BLACK WITH CLEAR GLASS
10	ALUMINUM SCREENING, WOOD TONE FINISH.
12	ALUMINUM GUARDRAIL COLOR: BLACK
13	SOLDIER COURSE BRICK DETAIL
14	FIBRE CEMENT SIDING SMOOTH, PAINTED, COLOR: BM-CHANTILLY LACE 2121-70

MA ARCHITECTS LTD.

OFFICE
2025 Willingdon Avenue #900, Burnaby, BC, V5C 0J3
OFFICE: +1 (778)-372-8650, +1 (778)-372-8651
CELL: +1 (604)-780-3243, +1 (604)-780-6461
EMAIL: INFO@M-AARCHITECTS.COM
WWW.M-AARCHITECTS.COM

NO.	DATE Y/M/D	DESCRIPTION
5	2023/01/27	ISSUED FOR LEGAL DOC.
4	2023/01/23	ISSUED FOR CONSULTANT
3	2023/01/19	ISSUED FOR CLIENT REVIEW
2	2023/01/10	ISSUED FOR CLIENT REVIEW
1	2022/12/09	ISSUED FOR CONSULT. USES

ISSUES AND REVISIONS

SEAL

COPYRIGHT NOTICE:
All rights reserved. All ideas, designs, drawings and reproductions either in print or electronic format, are the property of MA ARCHITECTS Ltd., and are an instrument of service that may not be used, forwarded to others, transmitted, downloaded or reproduced either in print or electronic format, without the express written permission of the copyright owner.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification. This drawing shall not be used for construction purposes until it is issued for the purpose.

PROJECT NAME
LONSDALE RESIDENTAL APARTMENT

PROJECT ADDRESS
2612 LONSDALE AVE, NORTH VANCOUVER

DRAWING TITLE
ELEVATION

SCALE	1 : 100
DRAWN	SH
CHECKED	AP
PROJECT NO.	22042

DRAWING NO.
A04.11

THIS DRAWING IS PROPERTY OF MA ARCHITECTS LTD. AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

C:\Users\DESIGN TEAM\Documents\22042-CONDO-LONSDALE_R2023_designSBKFC.rvt