



1 311 w 14th st FRONT VIEW  
 DP1.0 Scale - NTS

**DRAWING LIST**

- DP1.0 COVER SHEET
- DP1.1 SITE PLAN & PROJECT DATA
- DP1.2 3D VIEWS
- DP2.0 BASEMENT PLANS
- DP2.1 MAIN FLOOR PLANS
- DP2.2 2ND FLOOR PLANS
- DP2.3 ROOF PLANS
- DP2.4 ROOF PLANS
- DP3.0 ELEVATIONS
- DP3.1 ELEVATIONS
- DP3.2 ELEVATIONS
- DP3.3 ELEVATIONS
- DP3.4 ELEVATIONS
- DP3.5 ELEVATIONS
- DP4.0 SECTIONS

**CONSULTANT LIST**

**ARCHITECT:**  
 LUCIO PICCIANO  
 DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V5L 4W3  
 778-889-6849

**STRUCTURAL ENGINEER:**

**CIVIL ENGINEER:**  
 Fred Ciambrelli P.Eng  
 CREUS  
 221 ESPLANADE WEST  
 UNIT 610 EAST TOWER  
 NORTH VANCOUVER, BC V7M 3J3  
 FCIAMBRELLI@CREUS.CA

**ARBORIST:**  
**XUDONG BAO, MF**  
 ISA CERTIFIED ARBORIST, TRAQ, PN-8671A  
 M2 LANDSCAPE ARCHITECTURE AND  
 ARBORICULTURE LTD.  
 #220 - 26 LORNE MEWS,  
 NEW WESTMINSTER, BC V3M 3L7  
 OFFICE: (604) 553-0044 EXT. 107  
 CELL: 778-791-0612

**LANDSCAPE DESIGNER:**  
 QING LI  
 M2 LANDSCAPE ARCHITECTURE AND  
 ARBORICULTURE LTD.  
 #220 - 26 LORNE MEWS,  
 NEW WESTMINSTER, BC V3M 3L7  
 OFFICE: (604) 553-0044

**PASSIVE HOUSE DESIGNER:**  
 LUCIO PICCIANO  
 DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V5L 4W3  
 778-889-6849

**PASSIVE HOUSE CERTIFIER:**  
 FRANCESCO NESI  
 ZEPHIR - ZERO ENERGY AND PASSIVHAUS INSTITUTE FOR  
 RESEARCH  
 VIA PENNELLA, 39 - 38057 PERGINE VALSUGANA (TN)  
 TEL: +39 331 8146937  
 EMAIL: G.PINCERATO@ZEPHIR.PH

ARCHITECT:

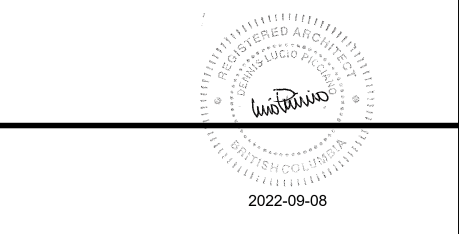
DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V5L 4W3  
 778-889-6849

PRIMARY CONTACT:  
 D. LUCIO PICCIANO  
 202-460 NANAIMO ST  
 VANCOUVER BC V5L 4W3  
 778-889-6849

PROJECT:  
**HERITAGE  
 REVITALIZATION and  
 NEW LOW ENERGY  
 DUPLEX**

PROJECT ADDRESS:  
 311 West 14th Street.  
 City of North Vancouver, BC

OWNER:  
 1352644 BC LTD



**ARCHITECT SEAL**

-	-	-
-	-	-
-	-	-

No.	Date	Description

**REVISIONS**

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

**ISSUE INFORMATION**

No.	Date	Description

PLOT DATE: 24-Aug-22

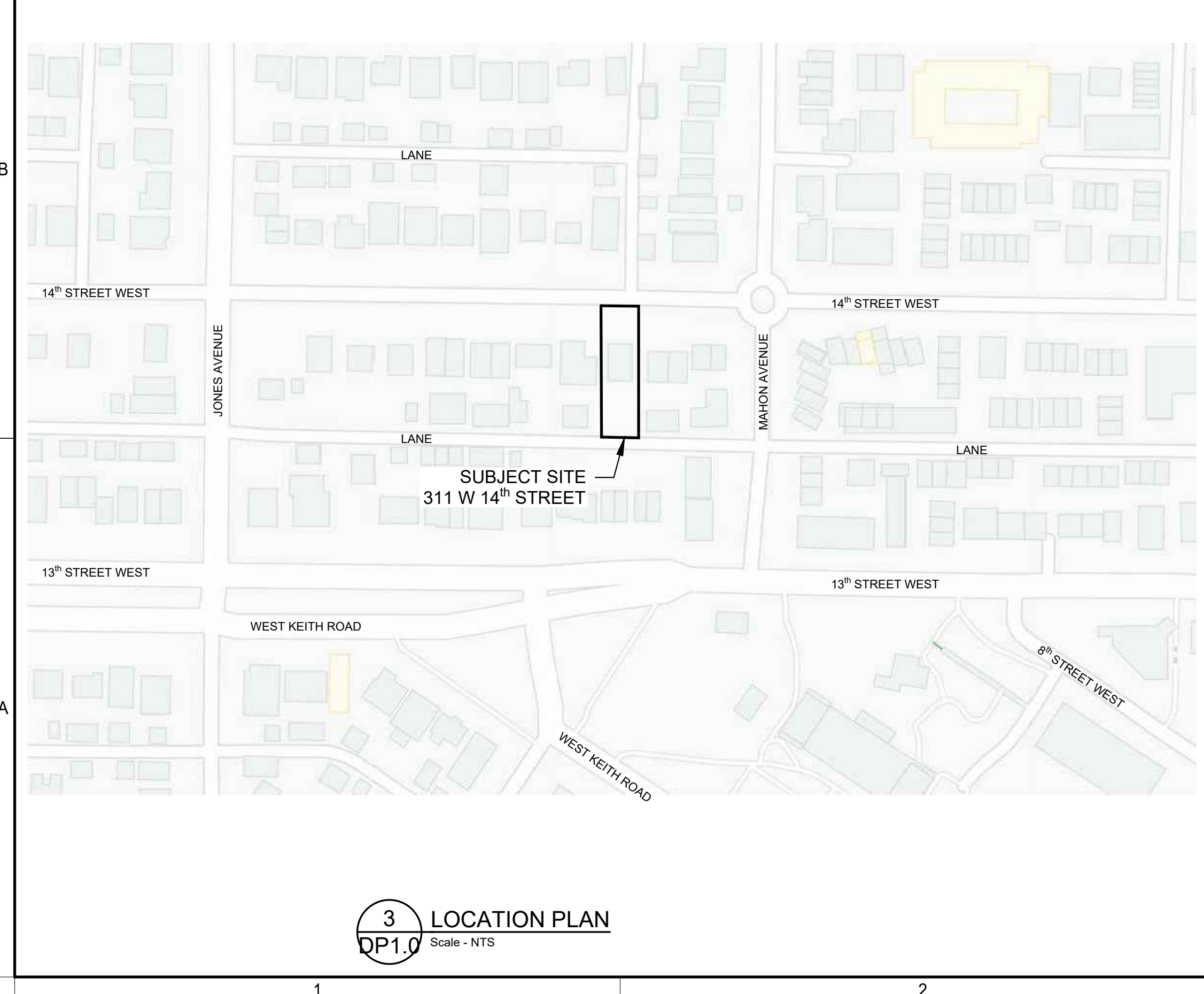
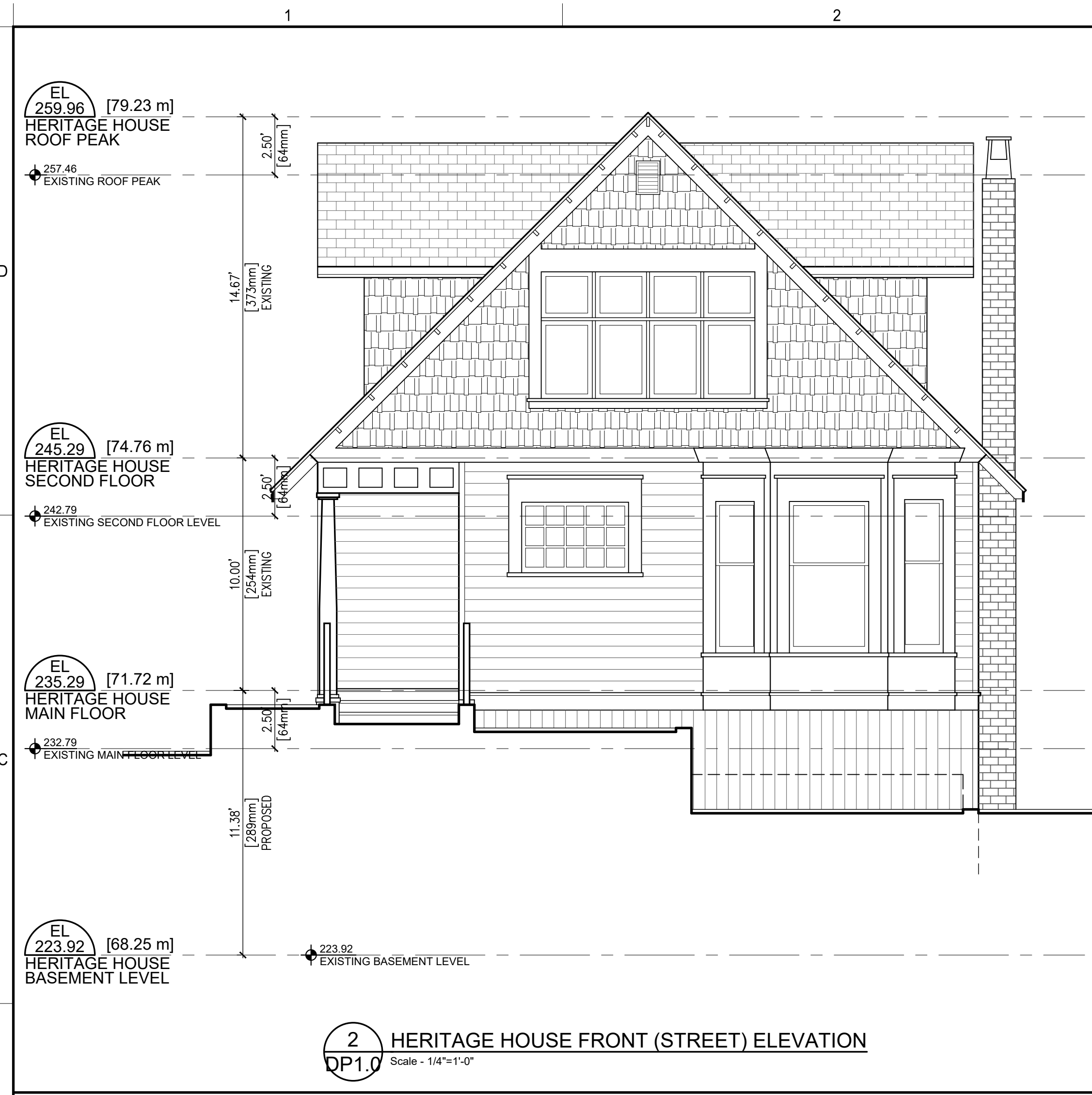
PROJECT NO.: **21-06**  
 DRAWN BY: CDS  
 CHECKED BY: dlp  
 PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
 OWNER APPROVAL:

SCALE: 1/8"=1'-0"  
 SHEET TITLE

COVER SHEET  
 DRAWING LIST

SHEET NO.  
**DP1.0**





**CIVIC ADDRESS** 311 WEST 14<sup>th</sup> STREET  
 CITY OF NORTH VANCOUVER, BC

**LEGAL DESCRIPTION** LOT 9 BLOCK 64 DISTRICT  
 LOT 548 PLAN 750

**PID** 015-143-023

**CURRENT ZONING** RT-2

**LOT AREA** 8399 ft<sup>2</sup> 780.26 m<sup>2</sup>

**FLOOR SPACE RATIO STATEMENT**

**PROPOSED FSR** **0.67**  
 NET PROJECT AREA / LOT AREA  
 (5655 ft<sup>2</sup> / 8399 ft<sup>2</sup>)

**UNITS 2 and 3**

BASEMENT FLOOR	806 ft <sup>2</sup>	74.88 m <sup>2</sup>
MAIN FLOOR	791 ft <sup>2</sup>	73.49 m <sup>2</sup>
2 <sup>nd</sup> FLOOR	806 ft <sup>2</sup>	74.88 m <sup>2</sup>
3 <sup>rd</sup> FLOOR	437 ft <sup>2</sup>	40.60 m <sup>2</sup>

**DUPLEX TOTAL** 2 840 ft<sup>2</sup> X 2

**PROPOSED DUPLEX GFA** 5 680 ft<sup>2</sup> 525.69 m<sup>2</sup>

**EXISTING HERITAGE HOUSE**

BASEMENT FLOOR	1 149 ft <sup>2</sup>	106.75 m <sup>2</sup>
MAIN FLOOR	1 102 ft <sup>2</sup>	102.38 m <sup>2</sup>
2 <sup>nd</sup> FLOOR	810 ft <sup>2</sup>	75.25 m <sup>2</sup>

**HERITAGE HOUSE GFA** 3 061 ft<sup>2</sup> 284.38 m<sup>2</sup>

**TOTAL GROSS FLOOR AREA** 8 741 ft<sup>2</sup> 812.07 m<sup>2</sup>

**EXEMPTIONS**

WALL THICKNESS ABOVE GRADE 650 lf X 0.5 ft	325 ft <sup>2</sup>	30.19 m <sup>2</sup>
BASEMENTS	2 761 ft <sup>2</sup>	256.51 m <sup>2</sup>

**TOTAL EXEMPTIONS** 3 086 ft<sup>2</sup> 286.70 m<sup>2</sup>

**NET PROJECT AREA** **5 655 ft<sup>2</sup> 525.37 m<sup>2</sup>**

**AMENITIES**

GARBAGE / RECYCLING	130 ft <sup>2</sup>	12.08 m <sup>2</sup>
ACCESSORY BICYCLE STORAGE	96 ft <sup>2</sup>	8.92 m <sup>2</sup>
ROOF DECKS	UNIT 2: 279 ft <sup>2</sup> / 25.91 m <sup>2</sup> UNIT 3: 279 ft <sup>2</sup> / 25.91 m <sup>2</sup>	

**PARKING**

DWELLING PARKING	REQUIRED	PROVIDED
1 PER DWELLING UNIT	4	4
BICYCLE PARKING	2 PER DWELLING UNIT	8

**SITE COVERAGE**

**PROPOSED SITE COVERAGE** **0.359**  
 GROSS BUILDING AREA / LOT AREA  
 (3 016 ft<sup>2</sup> / 8399 ft<sup>2</sup>)

EXISTING HERITAGE HOUSE (MINUS NON-CONFORMING ADDITION)	1 204 ft <sup>2</sup>	111.90 m <sup>2</sup>
PROPOSED DUPLEX	1 812 ft <sup>2</sup>	168.30 m <sup>2</sup>

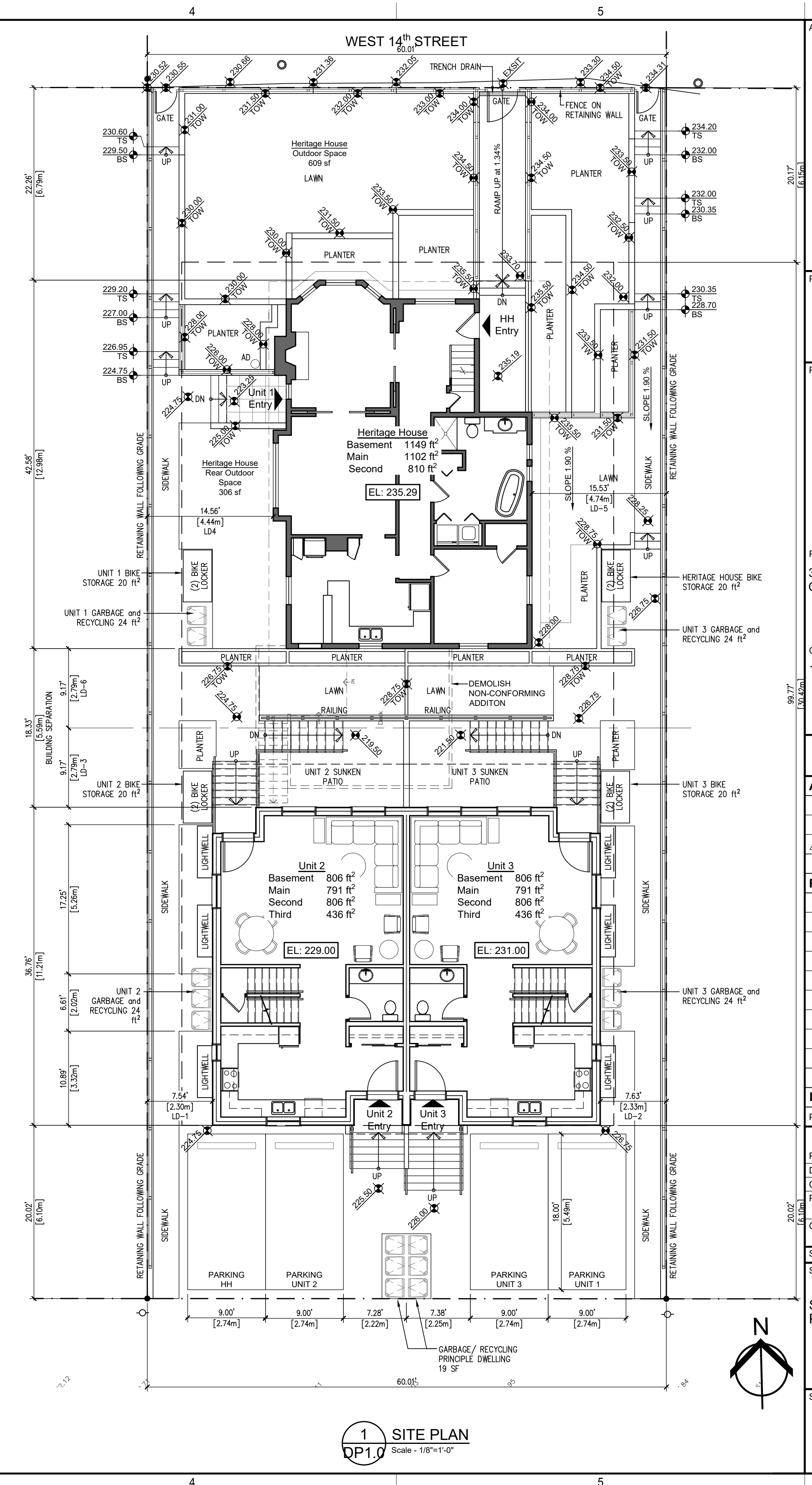
**TOTAL SITE COVERAGE** 3 016 ft<sup>2</sup> 280.20 m<sup>2</sup>

**BUILDING HEIGHT**

AVERAGE GRADE	227.47 ft	69.33 m
PROPOSED ROOF PEAK (8.9 m FROM AVERAGE GRADE)	256.67 ft	78.23 m
TOP PLATE (8.5 m FROM AVERAGE GRADE)	255.37 ft	77.84 m

**REFERENCE HEIGHT**

FRONT (230.94 + 232.35)/2	229.17 ft	69.85 m
REAR (222.73 + 228.15)/2	231.65 ft	
231.65 + ((225.44-231.65)/0.4)	229.17 ft	



ARCHITECT:

**dlp**  
 architecture

DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PRIMARY CONTACT:  
 D. LUCIO PICCIANO  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
 311 West 14th Street,  
 City of North Vancouver, BC

OWNER:  
 1352644 BC LTD

2022-09-08

**ARCHITECT SEAL**

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

**ISSUE INFORMATION**

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**

DRAWN BY: CDS

CHECKED BY: dlp

PRINCIPAL IN CHARGE: Lucio Picciano AIBC

OWNER APPROVAL:

SCALE: 1/8"=1'-0"

SHEET TITLE  
**SITE PLAN PROJECT DATA**

SHEET NO.  
**DP1.1**

ORIGINAL SHEET SIZE 34" x 22"





AERIAL VIEW OF FRONT YARD HERITAGE HOUSE



FRONT VIEW SE OF HERITAGE HOUSE



REAR OF HERITAGE HOUSE



PERSPECTIVE SOUTH FROM WEST SIDEYARD



PERSPECTIVE EAST FROM WEST SIDEYARD



REAR OF LANEWAY DUPLEX



1 311 w 14th st LANE VIEW  
 DP1.2 Scale - NTS

ARCHITECT:

**dlp**  
 architecture

DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PRIMARY CONTACT:

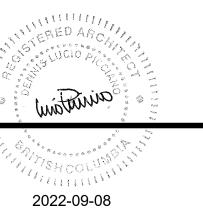
D. LUCIO PICCIANO  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PROJECT:

**HERITAGE  
 REVITALIZATION and  
 NEW LOW ENERGY  
 DUPLEX**

PROJECT ADDRESS:  
 311 West 14th Street,  
 City of North Vancouver, BC

OWNER:  
 1352644 BC LTD



ARCHITECT SEAL

-	-	-
-	-	-
△	-	-

No. Date Description

REVISIONS

B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

No. Date Description

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**

DRAWN BY: CDS

CHECKED BY: dlp

PRINCIPAL IN CHARGE: Lucio Picciano AIBC

OWNER APPROVAL:

SCALE:

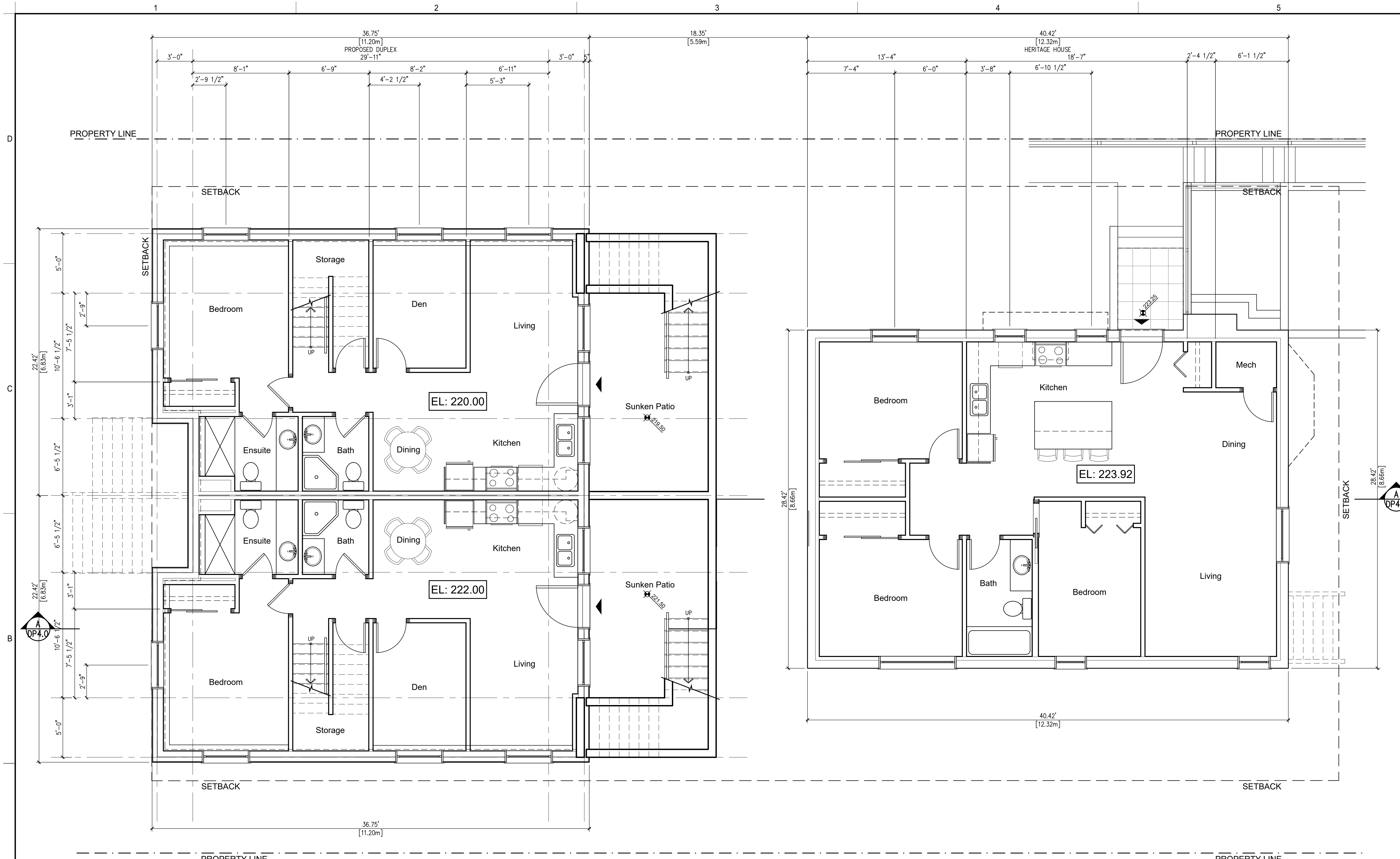
SHEET TITLE

3D VIEWS

SHEET NO.

**DP1.2**





**BASEMENT AREAS (GFA)**

HERITAGE HOUSE	1 149	ft <sup>2</sup>	[106.75 m <sup>2</sup> ]
DUPLEX UNIT 2	806	ft <sup>2</sup>	[74.88 m <sup>2</sup> ]
DUPLEX UNIT 3	806	ft <sup>2</sup>	[74.88 m <sup>2</sup> ]
<b>TOTAL BASEMENT GFA</b>	<b>2 761</b>	<b>ft<sup>2</sup></b>	<b>[256.50 m<sup>2</sup>]</b>

**1** Proposed Duplex  
Basement Floor Plans  
Scale - 1/4"=1'-0"

**2** Heritage House  
Basement Floor Plan  
Scale - 1/4"=1'-0"

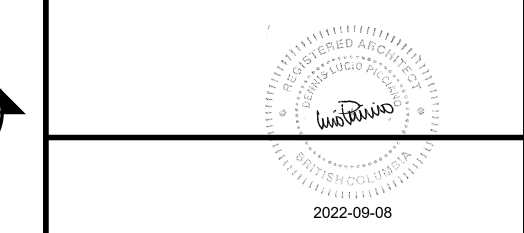
ARCHITECT:  
**dip**  
architecture  
DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:  
D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
311 West 14th Street.  
City of North Vancouver, BC

OWNER:  
1352644 BC LTD



**ARCHITECT SEAL**

No.	Date	Description

**REVISIONS**

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

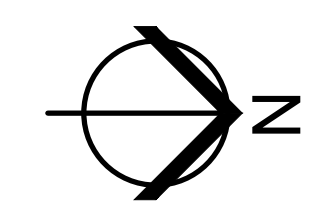
**ISSUE INFORMATION**  
PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**  
DRAWN BY: CDS  
CHECKED BY: dip  
PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
OWNER APPROVAL:

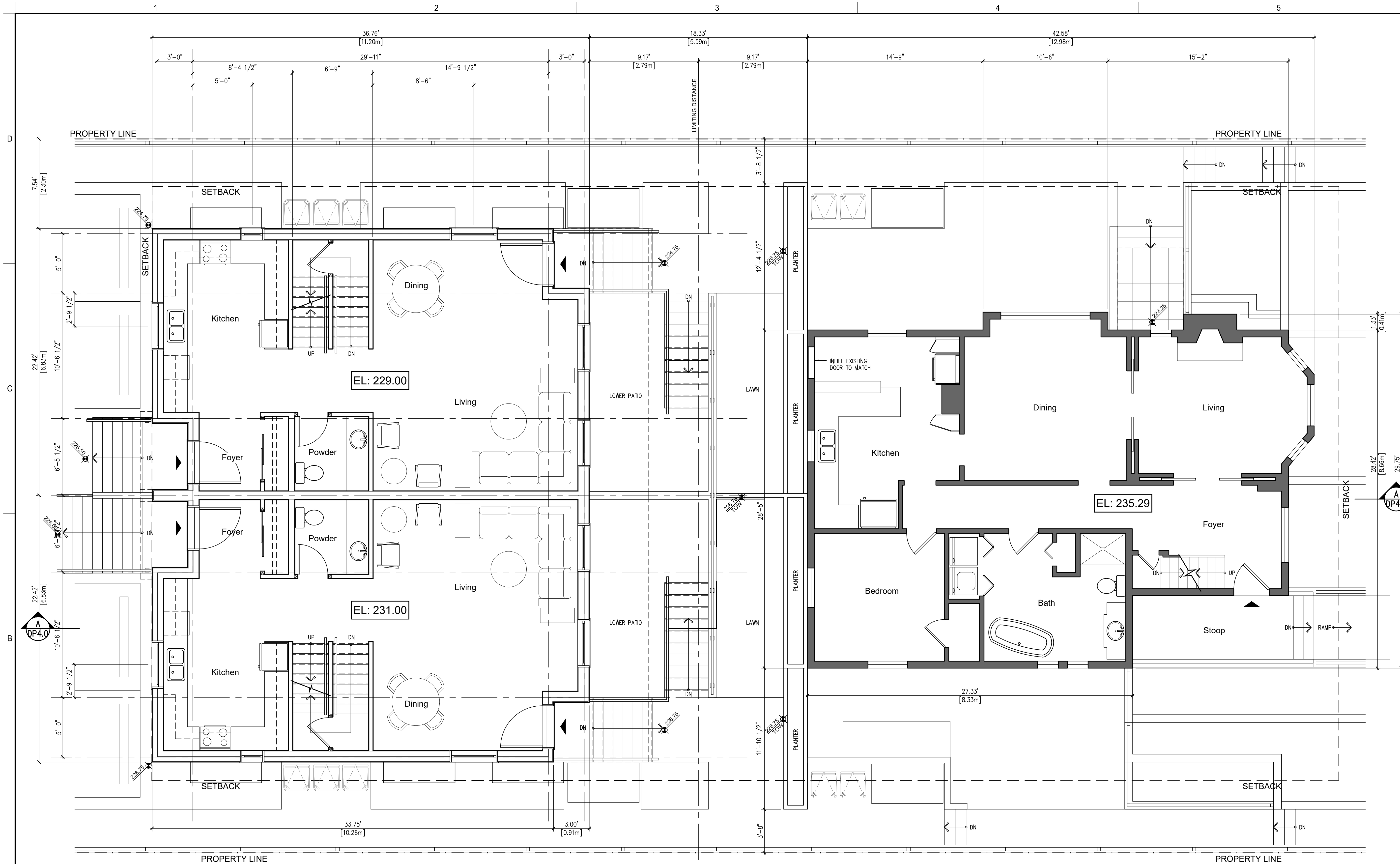
SCALE: 1/4"=1'-0"  
SHEET TITLE

Heritage House  
Basemnt Floor Plan  
Proposed Duplex  
Basement Floor Plans

SHEET NO.  
**DP2.0**





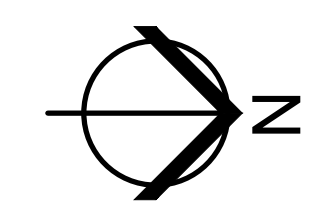


MAIN FLOOR AREAS (GFA)

HERITAGE HOUSE	1 102	ft <sup>2</sup>	[102.38 m <sup>2</sup> ]
DUPLEX UNIT 2	791	ft <sup>2</sup>	[73.49 m <sup>2</sup> ]
DUPLEX UNIT 3	791	ft <sup>2</sup>	[73.49 m <sup>2</sup> ]
<b>TOTAL MAIN FLOOR GFA</b>	<b>2 684</b>	<b>ft<sup>2</sup></b>	<b>[249.35 m<sup>2</sup>]</b>

1 Proposed Duplex Main Floor Plans  
 DP2.1 Scale - 1/4"=1'-0"

2 Heritage House Main Floor Plan  
 DP2.1 Scale - 1/4"=1'-0"



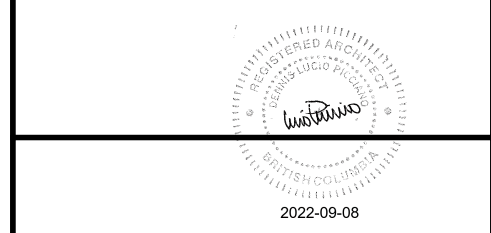
ARCHITECT:  
**dlp**  
 architecture  
 DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PRIMARY CONTACT:  
 D. LUCIO PICCIANO  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
 311 West 14th Street.  
 City of North Vancouver, BC

OWNER:  
 1352644 BC LTD



ARCHITECT SEAL

No.	Date	Description

REVISIONS

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

ISSUE INFORMATION  
 PLOT DATE: 24-Aug-22

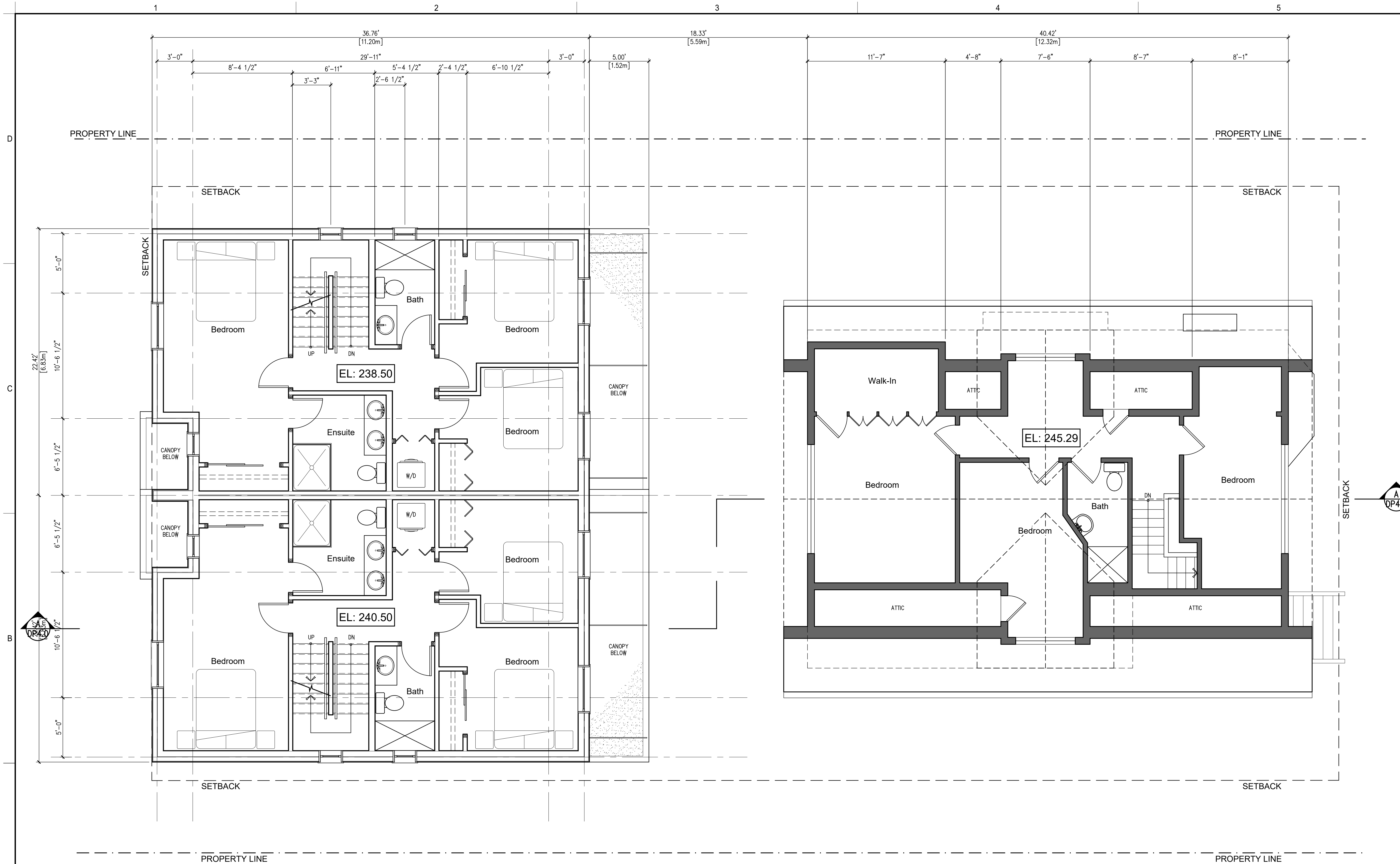
PROJECT NO.: **21-06**  
 DRAWN BY: CDS  
 CHECKED BY: dlp  
 PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
 OWNER APPROVAL:

SCALE: 1/4"=1'-0"

SHEET TITLE  
 Heritage House Main Floor Plan  
 Proposed Duplex Main Floor Plans

SHEET NO.  
**DP2.1**





SECOND FLOOR AREAS (GFA)

HERITAGE HOUSE	810	ft <sup>2</sup>	[75.25	m <sup>2</sup> ]
DUPLEX UNIT 2	806	ft <sup>2</sup>	[74.88	m <sup>2</sup> ]
DUPLEX UNIT 3	806	ft <sup>2</sup>	[74.88	m <sup>2</sup> ]

TOTAL SECOND FLOOR GFA 2 422 ft<sup>2</sup> [225.00 m<sup>2</sup>]

1 Proposed Duplex Second Floor Plans  
Scale - 1/4"=1'-0"

2 Heritage House Second Floor Plan  
Scale - 1/4"=1'-0"

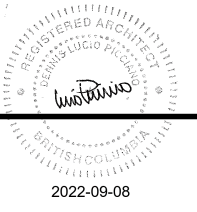
ARCHITECT:  
**dip**  
architecture  
DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:  
D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
311 West 14th Street.  
City of North Vancouver, BC

OWNER:  
1352644 BC LTD



ARCHITECT SEAL

No.	Date	Description

REVISIONS

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**  
DRAWN BY: CDS  
CHECKED BY: dip  
PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
OWNER APPROVAL:

SCALE: 1/4"=1'-0"

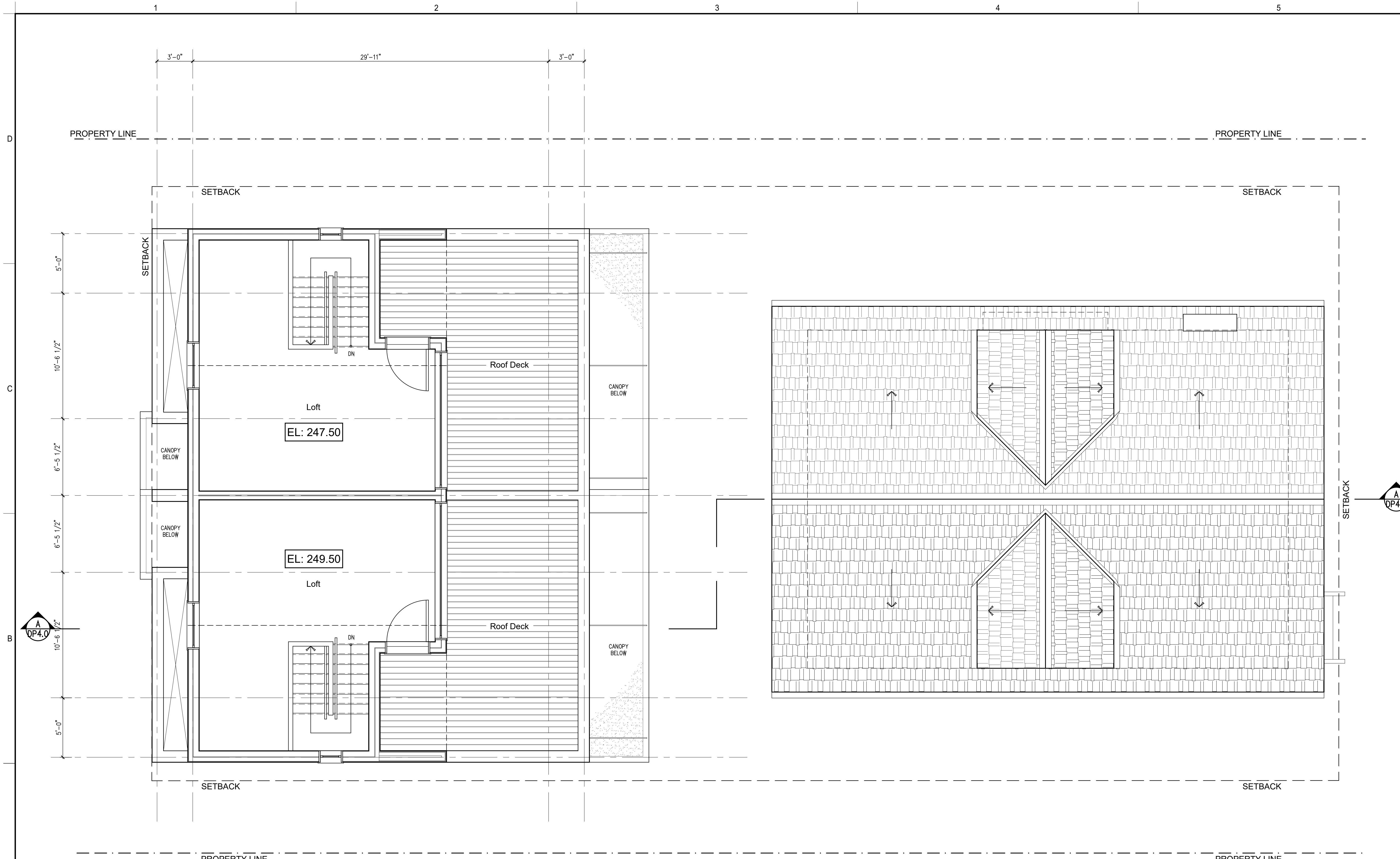
SHEET TITLE

Heritage House Second Floor Plan  
Proposed Duplex Second Floor Plans

SHEET NO.

**DP2.2**





THIRD FLOOR AREAS (GFA)

DUPLEX UNIT 2	437	ft <sup>2</sup>	[40.60 m <sup>2</sup> ]
DECK	279	ft <sup>2</sup>	[25.91 m <sup>2</sup> ]
DUPLEX UNIT 3	437	ft <sup>2</sup>	[40.60 m <sup>2</sup> ]
DECK	279	ft <sup>2</sup>	[25.91 m <sup>2</sup> ]

TOTAL THIRD FLOOR GFA 1 432 ft<sup>2</sup> [133.04 m<sup>2</sup>]

1 Proposed Duplex Third Floor Plans  
DP2.3 Scale - 1/4"=1'-0"

2 Heritage House Roof Plan  
DP2.3 Scale - 1/4"=1'-0"

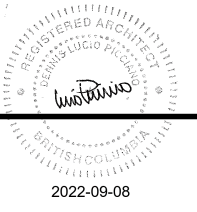
ARCHITECT:  
**dip**  
architecture  
DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:  
D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
311 West 14th Street.  
City of North Vancouver, BC

OWNER:  
1352644 BC LTD



ARCHITECT SEAL

No.	Date	Description

REVISIONS

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**  
DRAWN BY: CDS  
CHECKED BY: dip  
PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
OWNER APPROVAL:

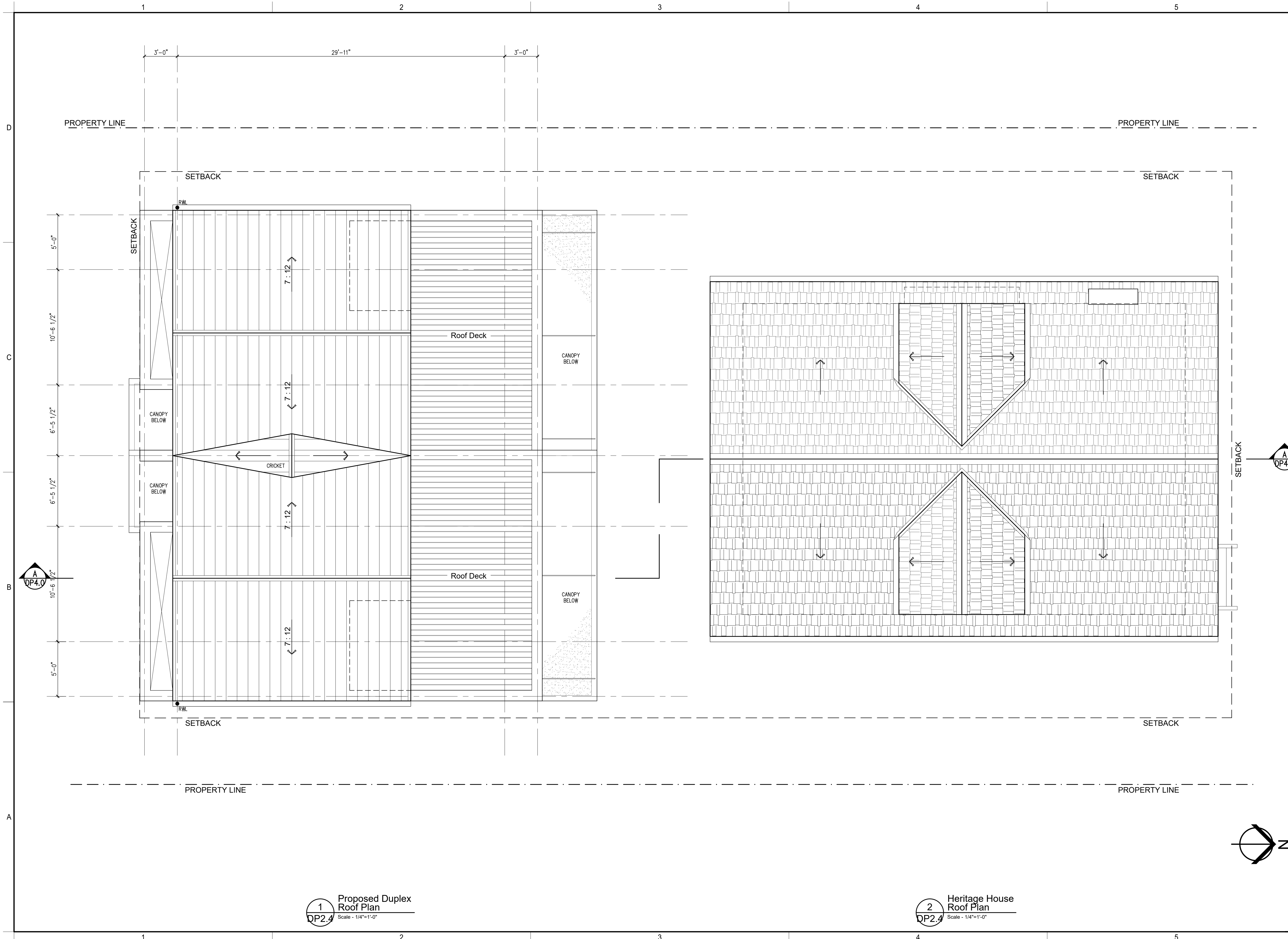
SCALE: 1/4"=1'-0"

SHEET TITLE  
Heritage House Roof plan  
Proposed Duplex Third Floor Plan

SHEET NO.

**DP2.3**





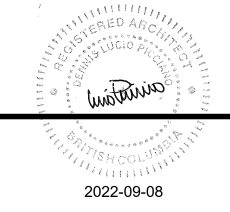
ARCHITECT:  
**dip**  
 architecture  
 DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PRIMARY CONTACT:  
 D. LUCIO PICCIANO  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
 311 West 14th Street,  
 City of North Vancouver, BC

OWNER:  
 1352644 BC LTD



ARCHITECT SEAL

No.	Date	Description

REVISIONS

B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**  
 DRAWN BY: CDS  
 CHECKED BY: dip  
 PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
 OWNER APPROVAL:

SCALE: 1/4"=1'-0"

SHEET TITLE  
 Heritage House  
 Roof Plan  
 Proposed Duplex  
 Roof Plan

SHEET NO.

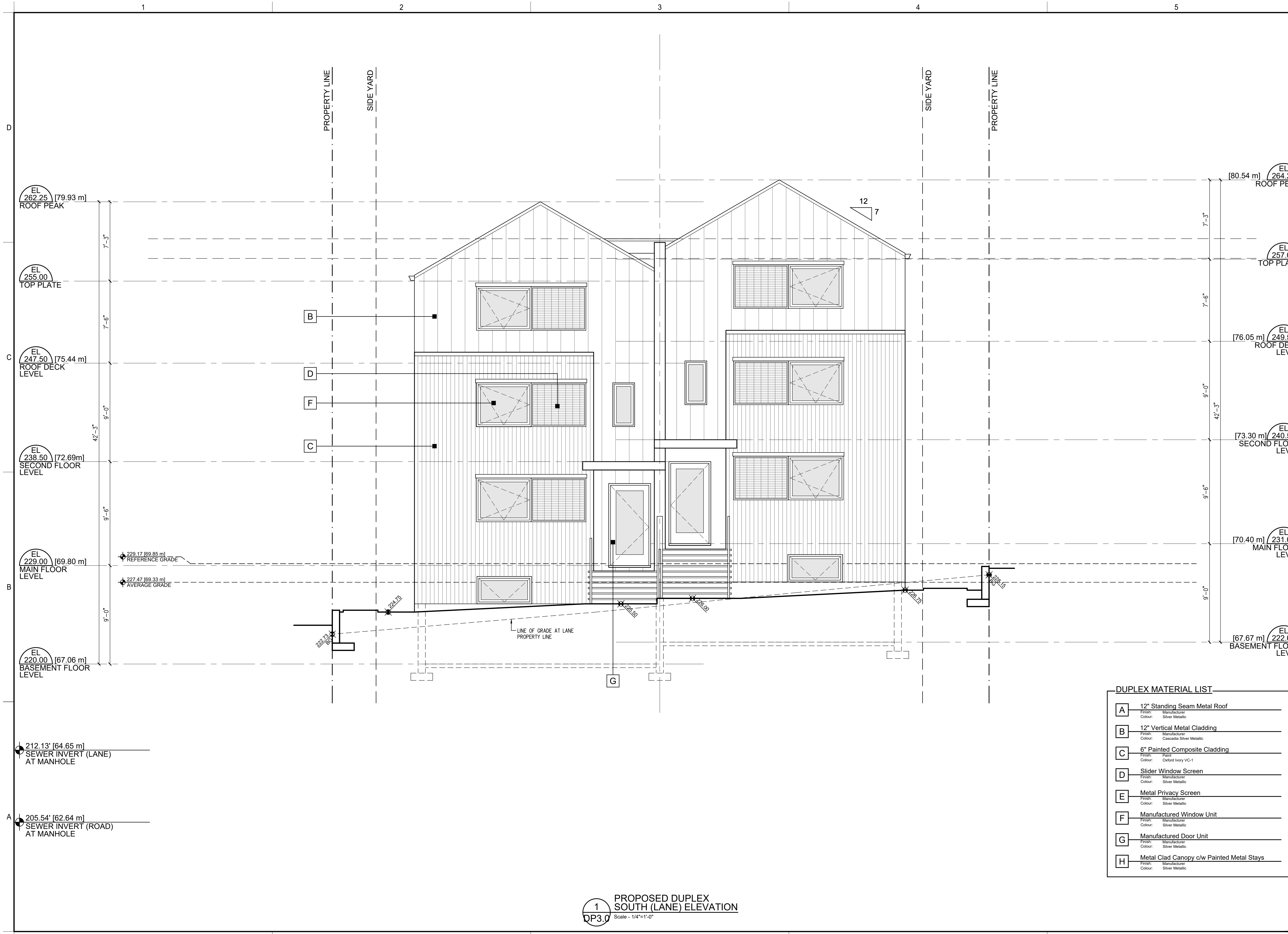
**DP2.4**

ORIGINAL SHEET SIZE 34" x 22"

**1**  
 Proposed Duplex  
 Roof Plan  
 Scale - 1/4"=1'-0"

**2**  
 Heritage House  
 Roof Plan  
 Scale - 1/4"=1'-0"





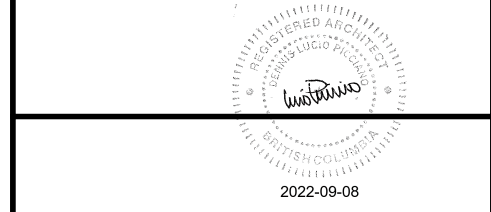
ARCHITECT:  
**dip**  
 architecture  
 DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PRIMARY CONTACT:  
 D. LUCIO PICCIANO  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
 311 West 14th Street.  
 City of North Vancouver, BC

OWNER:  
 1352644 BC LTD



ARCHITECT SEAL

-	-	-
-	-	-
-	-	-
-	-	-

REVISIONS

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

ISSUE INFORMATION

PLOT DATE:	24-Aug-22
------------	-----------

PROJECT NO.: **21-06**  
 DRAWN BY: CDS  
 CHECKED BY: dip  
 PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
 OWNER APPROVAL:

SCALE: 1/4"=1'-0"  
 SHEET TITLE

Proposed Duplex  
 South Elevation

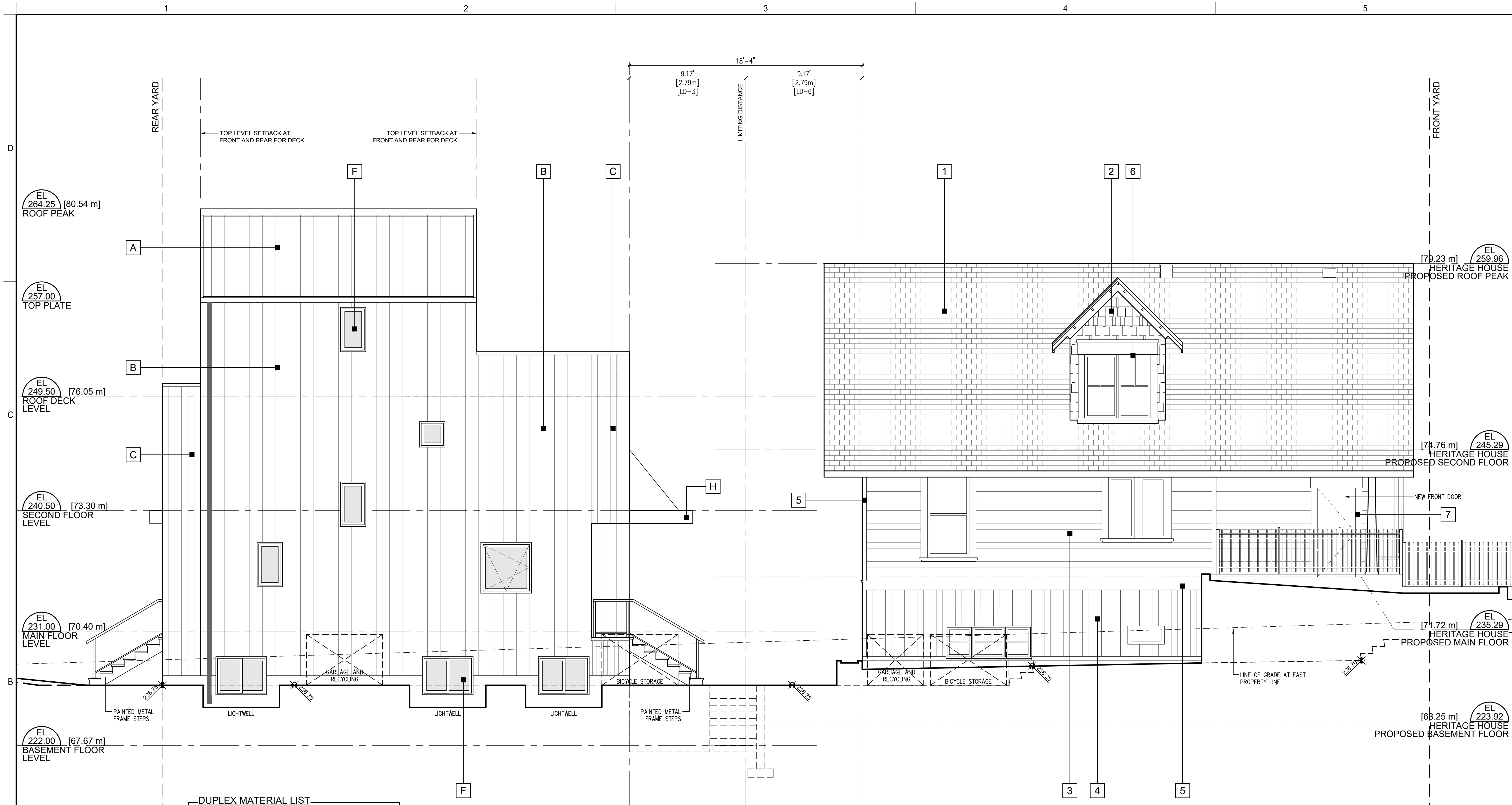
SHEET NO.  
**DP3.0**  
ORIGINAL SHEET SIZE 34" x 22"

DUPLEX MATERIAL LIST

<b>A</b>	12" Standing Seam Metal Roof <small>Finish: Manufacturer      Colour: Silver Metallic</small>
<b>B</b>	12" Vertical Metal Cladding <small>Finish: Manufacturer      Colour: Cascade Silver Metallic</small>
<b>C</b>	6" Painted Composite Cladding <small>Finish: Paint      Colour: Oxford Ivory VC-1</small>
<b>D</b>	Slider Window Screen <small>Finish: Manufacturer      Colour: Silver Metallic</small>
<b>E</b>	Metal Privacy Screen <small>Finish: Manufacturer      Colour: Silver Metallic</small>
<b>F</b>	Manufactured Window Unit <small>Finish: Manufacturer      Colour: Silver Metallic</small>
<b>G</b>	Manufactured Door Unit <small>Finish: Manufacturer      Colour: Silver Metallic</small>
<b>H</b>	Metal Clad Canopy c/w Painted Metal Stays <small>Finish: Manufacturer      Colour: Silver Metallic</small>

**1** PROPOSED DUPLEX SOUTH (LANE) ELEVATION  
 Scale - 1/4"=1'-0"  
**DP3.0**





**DUPLEX MATERIAL LIST**

<b>A</b>	12" Standing Seam Metal Roof Finish: Manufacturer Colour: Silver Metallic
<b>B</b>	12" Vertical Metal Cladding Finish: Manufacturer Colour: Cascade Silver Metallic
<b>C</b>	6" Painted Composite Cladding Finish: Manufacturer Colour: Oxford Ivory VC-1
<b>D</b>	Slider Window Screen Finish: Manufacturer Colour: Silver Metallic
<b>E</b>	Metal Privacy Screen Finish: Manufacturer Colour: Silver Metallic
<b>F</b>	Manufactured Window Unit Finish: Manufacturer Colour: Silver Metallic
<b>G</b>	Manufactured Door Unit Finish: Manufacturer Colour: Silver Metallic
<b>H</b>	Metal Clad Canopy c/w Painted Metal Stays Finish: Manufacturer Colour: Silver Metallic

**SPACIAL CALCULATION - DUPLEX EAST FACADE**

SPRINKLERED BUILDING	BCBC [2018] Table 3.2.3.1.D	
ALL OPENINGS	UNPROTECTED	
	BF-2	
LIMITING DISTANCE [LD-2]*	7.63 ft	2.33 m
AGGREGATE BUILDING FACE WALL AREA	950.68 sf	88.32 sm
ALLOWABLE UNPROTECTED OPENINGS AREA	195.89 sf	18.20 sm
ALLOWABLE UNPROTECTED OPENINGS (%)	20.60 %	
PROPOSED UNPROTECTED OPENINGS AREA	41.00 sf	3.81 sm
PROPOSED UNPROTECTED OPENINGS (%)	4.31 %	
* Using single plane at closest distance to the property line		
<b>CONFORMS</b>		

**SPACIAL CALCULATION - HERITAGE HOUSE EAST FACADE**

NON-SPRINKLER BUILDING	BCBC [2018] Table 9.10.14.4.A	
ALL OPENINGS	UNPROTECTED	
	HH-2	
LIMITING DISTANCE [LD-5]*	15.53 ft	4.73 m
AGGREGATE BUILDING FACE WALL AREA	883.06 sf	82.04 sm
ALLOWABLE UNPROTECTED OPENINGS AREA	257.62 sf	23.93 sm
ALLOWABLE UNPROTECTED OPENINGS (%)	29.17 %	
PROPOSED UNPROTECTED OPENINGS AREA	106.36 sf	9.88 sm
PROPOSED UNPROTECTED OPENINGS (%)	12.04 %	
* Using single plane at closest distance to the property line		
<b>CONFORMS</b>		

**HERITAGE HOUSE MATERIAL LIST**

<b>1</b>	Existing Asphalt Shingles Finish: Manufacturer Colour: Grey
<b>2</b>	Existing Wood Shingle Cladding Finish: Paint Colour: Strathcona Red VC-27 Egg Shell
<b>3</b>	Existing Horizontal Wood Cladding Finish: Paint Colour: Strathcona Red VC-27 Egg Shell
<b>4</b>	New Vertical Wood Cladding Finish: Paint Colour: Strathcona Red VC-27 Egg Shell
<b>5</b>	Existing Wood Trim Finish: Paint Colour: Oxford Ivory VC-1 Semi Gloss
<b>6</b>	Existing Window Frame Finish: Paint Colour: Gloss Black VC-35
<b>7</b>	Existing Door Frame Finish: Paint Colour: Gloss Black VC-35

**1** PROPOSED DUPLEX EAST (SIDE) ELEVATION  
Scale - 1/4"=1'-0"

**2** HERITAGE HOUSE EAST (SIDE) ELEVATION  
Scale - 1/4"=1'-0"

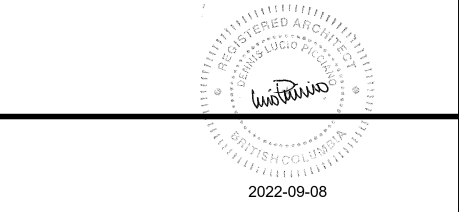
ARCHITECT:  
**dlp**  
architecture  
DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:  
D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
311 West 14th Street,  
City of North Vancouver, BC

OWNER:  
1352644 BC LTD



ARCHITECT SEAL

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

REVISIONS

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**  
DRAWN BY: CDS  
CHECKED BY: dlp  
PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
OWNER APPROVAL:

SCALE: 1/4"=1'-0"

SHEET TITLE

Proposed Duplex East Elevation  
Heritage House East Elevation

SHEET NO.

**DP3.1**





EL 264.25 [80.54 m]  
ROOF PEAK

EL 257.00  
TOP PLATE

EL 249.50 [76.05 m]  
ROOF DECK LEVEL

EL 240.50 [73.30 m]  
SECOND FLOOR LEVEL

EL 231.00 [70.40 m]  
MAIN FLOOR LEVEL

EL 222.00 [67.67 m]  
BASEMENT FLOOR LEVEL

EL 262.25 [79.93 m]  
ROOF PEAK

EL 255.00  
TOP PLATE

EL 247.50 [75.44 m]  
ROOF DECK LEVEL

EL 238.50 [72.69 m]  
SECOND FLOOR LEVEL

EL 229.00 [69.80 m]  
MAIN FLOOR LEVEL

EL 220.00 [67.06 m]  
BASEMENT FLOOR LEVEL

212.13' [64.65 m]  
SEWER INVERT (LANE)  
AT MANHOLE

205.54' [62.64 m]  
SEWER INVERT (ROAD)  
AT MANHOLE

SPACIAL CALCULATION - NORTH FACADE

SPRINKLERED BUILDING	BCBC [2018] Table 3.2.3.1.D	
ALL OPENINGS	UNPROTECTED	
	BF-3	
LIMITING DISTANCE [LD-3]*	9.17 ft	2.80 m
AGGREGATE BUILDING FACE WALL AREA	1379.83 sf	128.19 sm
ALLOWABLE UNPROTECTED OPENINGS AREA	311.39 sf	28.93 sm
ALLOWABLE UNPROTECTED OPENINGS (%)	22.57 %	
PROPOSED UNPROTECTED OPENINGS AREA	293.52 sf	27.27 sm
PROPOSED UNPROTECTED OPENINGS (%)	21.27 %	
	CONFORMS	

\* Using single plane at closest distance to mean distance between Heritage House and Proposed Duplex

DUPLEX MATERIAL LIST

A	12" Standing Seam Metal Roof
B	12" Vertical Metal Cladding
C	6" Painted Composite Cladding
D	Slider Window Screen
E	Metal Privacy Screen
F	Manufactured Window Unit
G	Manufactured Door Unit
H	Metal Clad Canopy c/w Painted Metal Stays

1  
DP3.2  
PROPOSED DUPLEX  
NORTH (YARD) ELEVATION  
Scale - 1/4"=1'-0"

ARCHITECT:

**dip**  
architecture

DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:

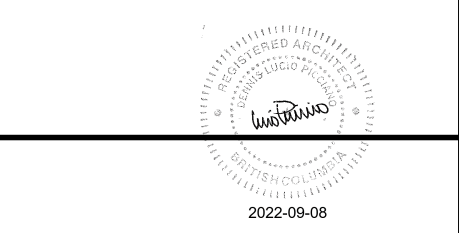
D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:

**HERITAGE  
REVITALIZATION and  
NEW LOW ENERGY  
DUPLEX**

PROJECT ADDRESS:  
311 West 14th Street,  
City of North Vancouver, BC

OWNER:  
1352644 BC LTD



ARCHITECT SEAL

-	-	-
-	-	-
-	-	-
No.	Date	Description

REVISIONS

B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App
No.	Date	Description

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

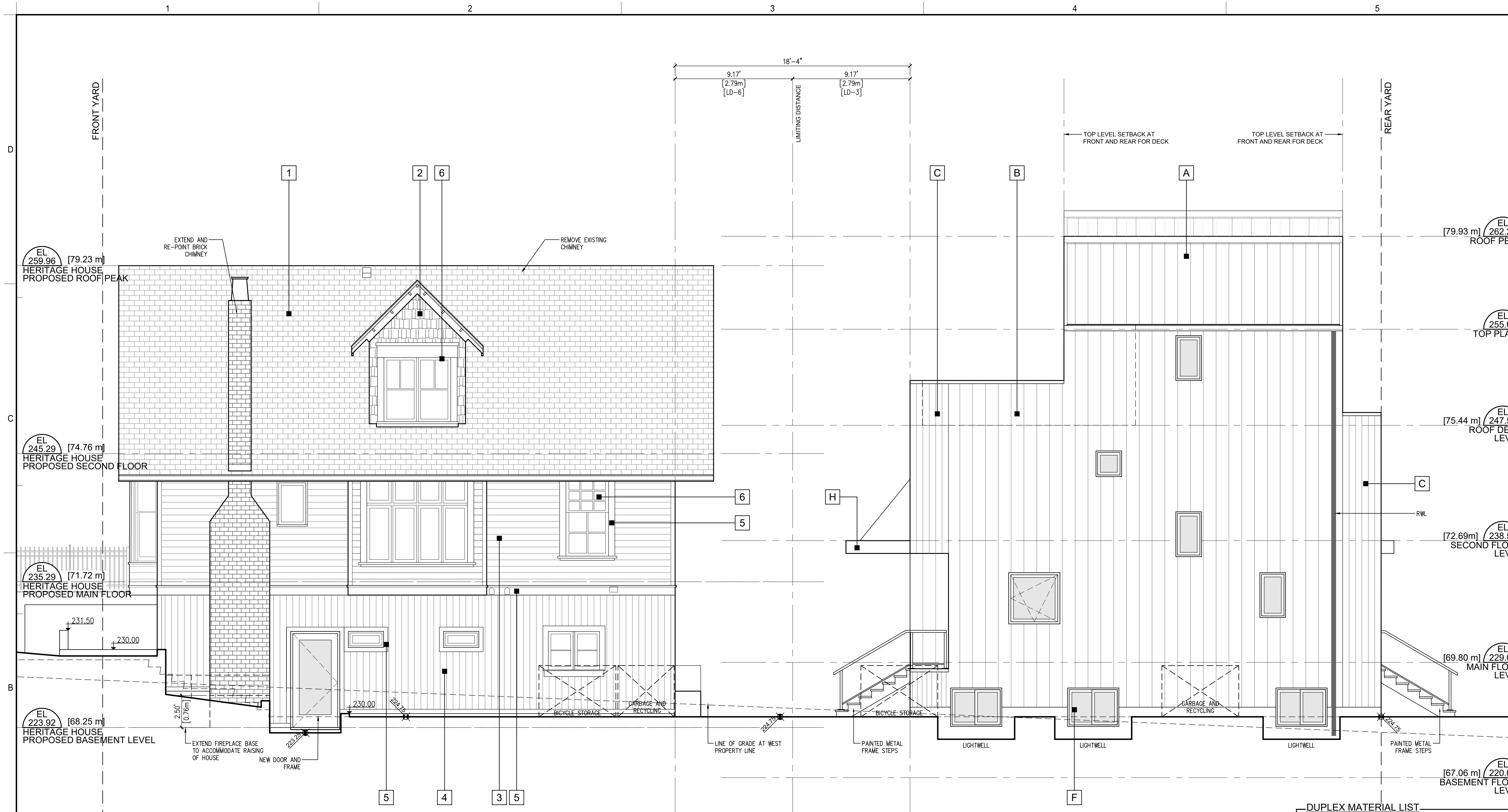
PROJECT NO.: **21-06**  
DRAWN BY: CDS  
CHECKED BY: dip  
PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
OWNER APPROVAL:

SCALE: 1/4"=1'-0"

SHEET TITLE  
Proposed Duplex  
North Elevation

SHEET NO.  
**DP3.2**





**HERITAGE HOUSE MATERIAL LIST**

1	Existing Asphalt Shingles
2	Existing Wood Shingle Cladding
3	Existing Horizontal Wood Cladding
4	New Vertical Wood Cladding
5	Existing Wood Trim
6	Existing Window Frame
7	Existing Door Frame

**SPECIAL CALCULATION - HERITAGE HOUSE WEST FACADE**

NON-SPRINKLER BUILDING	BCBC (2018) Table 9.10.14.4.A	
ALL OPENINGS	UNPROTECTED	
	HH-1	
LIMITING DISTANCE [LD-4]*	14.56 ft	4.44 m
AGGREGATE BUILDING FACE WALL AREA	1095.53 sf	101.78 sm
ALLOWABLE UNPROTECTED OPENINGS AREA	165.43 sf	15.37 sm
ALLOWABLE UNPROTECTED OPENINGS (%)	15.10 %	
PROPOSED UNPROTECTED OPENINGS AREA	158.20 sf	14.70 sm
PROPOSED UNPROTECTED OPENINGS (%)	14.44 %	
* Using single plane at closest distance to the property line		
<b>CONFORMS</b>		

**SPECIAL CALCULATION - DUPLEX WEST FACADE**

SPRINKLERED BUILDING	BCBC (2018) Table 3.2.3.1.D	
ALL OPENINGS	UNPROTECTED	
	BF-1	
LIMITING DISTANCE [LD-1]*	7.54 ft	2.30 m
AGGREGATE BUILDING FACE WALL AREA	1043.52 sf	96.95 sm
ALLOWABLE UNPROTECTED OPENINGS AREA	195.04 sf	18.12 sm
ALLOWABLE UNPROTECTED OPENINGS (%)	18.69 %	
PROPOSED UNPROTECTED OPENINGS AREA	67.68 sf	6.29 sm
PROPOSED UNPROTECTED OPENINGS (%)	6.49 %	
* Using single plane at closest distance to the property line		
<b>CONFORMS</b>		

**DUPLEX MATERIAL LIST**

A	12" Standing Seam Metal Roof
B	12" Vertical Metal Cladding
C	6" Painted Composite Cladding
D	Slider Window Screen
E	Metal Privacy Screen
F	Manufactured Window Unit
G	Manufactured Door Unit
H	Metal Clad Canopy c/w Painted Metal Stays

**1** HERITAGE HOUSE WEST (SIDE) ELEVATION  
Scale - 1/4"=1'-0"

**2** PROPOSED DUPLEX WEST (SIDE) ELEVATION  
Scale - 1/4"=1'-0"

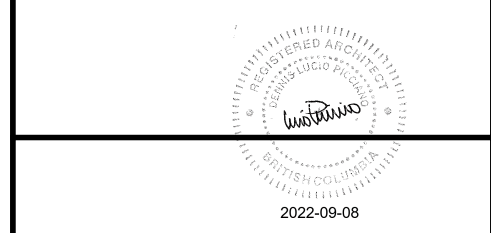
ARCHITECT:  
**dip**  
architecture  
DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:  
D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
311 West 14th Street.  
City of North Vancouver, BC

OWNER:  
1352644 BC LTD



ARCHITECT SEAL

No.	Date	Description

**REVISIONS**

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

**ISSUE INFORMATION**

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**  
DRAWN BY: CDS  
CHECKED BY: dip  
PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
OWNER APPROVAL:

SCALE: 1/4"=1'-0"

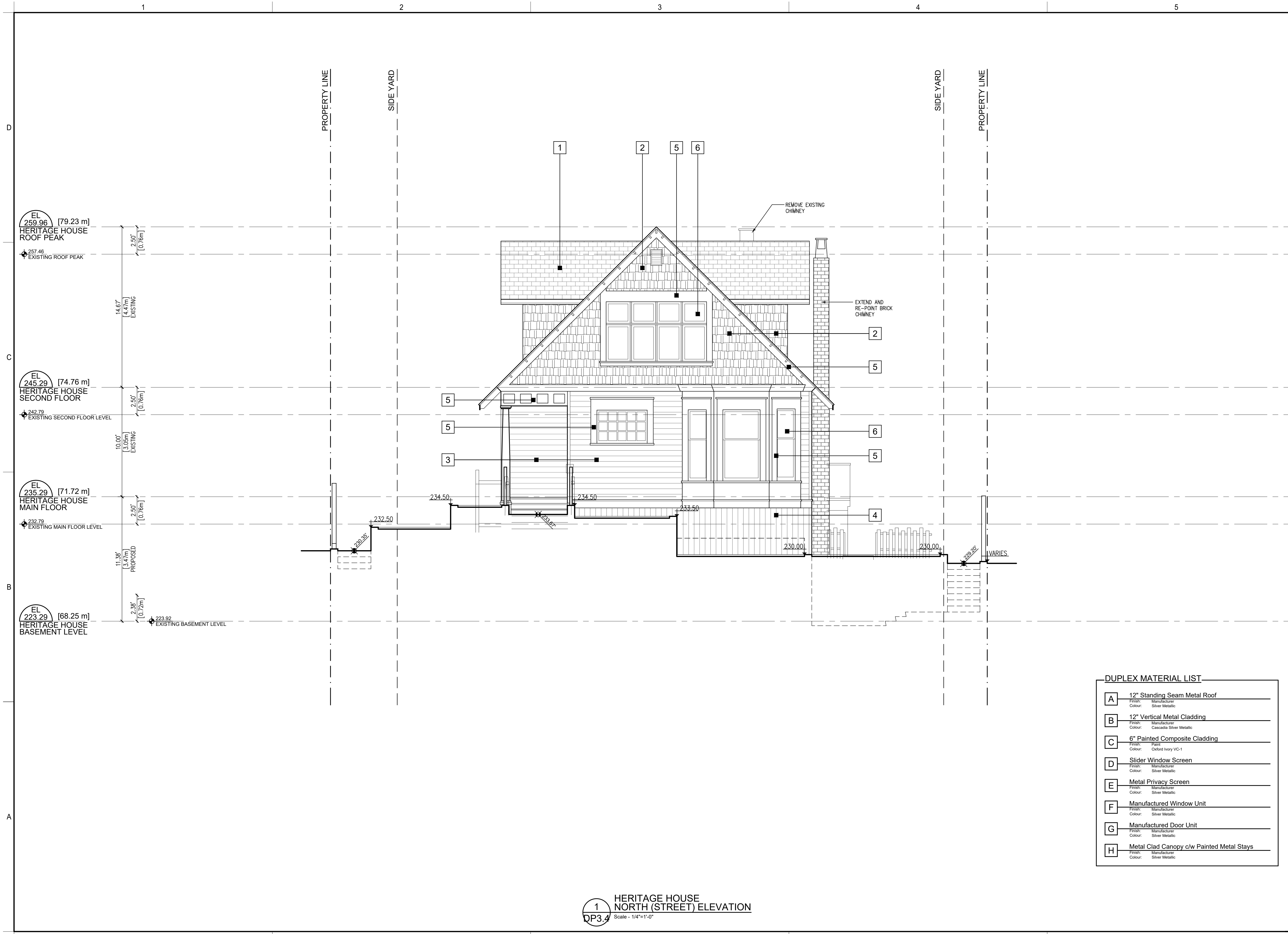
SHEET TITLE

Heritage House West Elevation  
Proposed Duplex West Elevation

SHEET NO.

**DP3.3**





ARCHITECT:  
**dlp**  
 architecture  
 DLP ARCHITECTURE INC  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PRIMARY CONTACT:  
 D. LUCIO PICCIANO  
 202-460 NANAIMO ST  
 VANCOUVER BC V6L 4W3  
 778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
 311 West 14th Street,  
 City of North Vancouver, BC

OWNER:  
 1352644 BC LTD



**ARCHITECT SEAL**

No.	Date	Description

**REVISIONS**

No.	Date	Description
B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

**ISSUE INFORMATION**

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**

DRAWN BY: CDS

CHECKED BY: dlp

PRINCIPAL IN CHARGE: Lucio Picciano AIBC

OWNER APPROVAL:

SCALE: 1/4"=1'-0"

SHEET TITLE

Proposed Heritage House North (Front) Elevation

SHEET NO.

**DP3.4**

ORIGINAL SHEET SIZE 34" x 22"

**DUPLEX MATERIAL LIST**

<b>A</b>	12" Standing Seam Metal Roof Finish: Manufacturer Colour: Silver Metallic
<b>B</b>	12" Vertical Metal Cladding Finish: Manufacturer Colour: Cascadia Silver Metallic
<b>C</b>	6" Painted Composite Cladding Finish: Paint Colour: Oxford Ivory VC-1
<b>D</b>	Slider Window Screen Finish: Manufacturer Colour: Silver Metallic
<b>E</b>	Metal Privacy Screen Finish: Manufacturer Colour: Silver Metallic
<b>F</b>	Manufactured Window Unit Finish: Manufacturer Colour: Silver Metallic
<b>G</b>	Manufactured Door Unit Finish: Manufacturer Colour: Silver Metallic
<b>H</b>	Metal Clad Canopy c/w Painted Metal Stays Finish: Manufacturer Colour: Silver Metallic

**1** HERITAGE HOUSE NORTH (STREET) ELEVATION  
 Scale - 1/4"=1'-0"



ARCHITECT:

dip

architecture

DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:

D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:

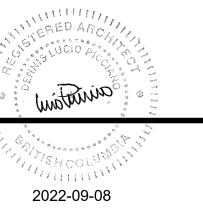
**HERITAGE  
REVITALIZATION and  
NEW LOW ENERGY  
DUPLEX**

PROJECT ADDRESS:

311 West 14th Street,  
City of North Vancouver, BC

OWNER:

1352644 BC LTD



ARCHITECT SEAL

-	-	-
-	-	-
-	-	-
-	-	-

No.	Date	Description
-----	------	-------------

REVISIONS

No.	Date	Description
-----	------	-------------

B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

No. Date Description

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

PROJECT NO.: 21-06

DRAWN BY: CDS

CHECKED BY: dip

PRINCIPAL IN CHARGE: Lucio Picciano AIBC

OWNER APPROVAL:

SCALE: 1/4"=1'-0"

SHEET TITLE

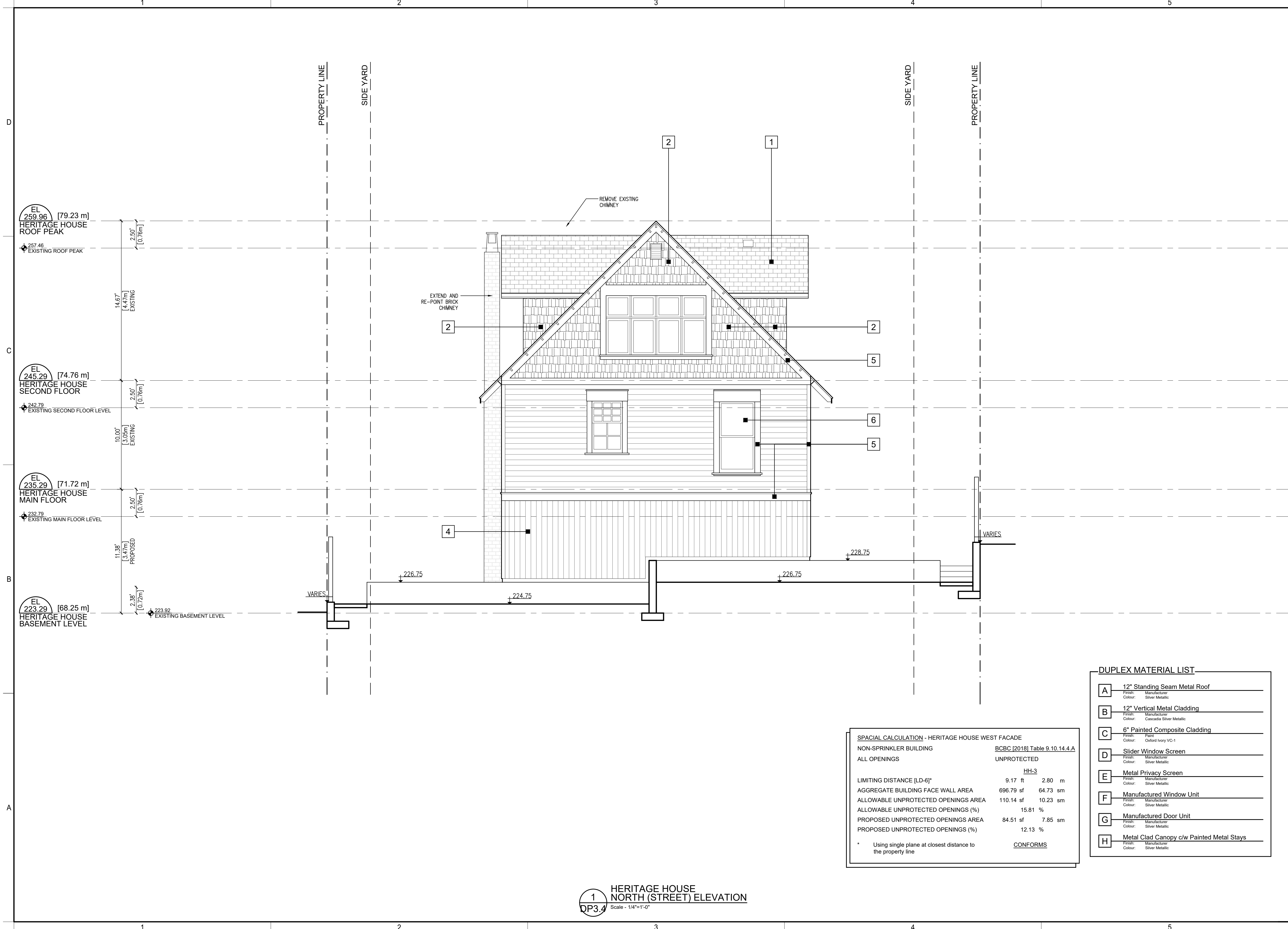
Proposed Heritage House

South (Rear) Elevation

SHEET NO.

DP3.5

ORIGINAL SHEET SIZE 34" x 22"



SPACIAL CALCULATION - HERITAGE HOUSE WEST FACADE

NON-SPRINKLER BUILDING		BCBC (2018) Table 9.10.14.4.A	
ALL OPENINGS		UNPROTECTED	
		HH-3	
LIMITING DISTANCE [LD-6]*	9.17 ft	2.80 m	
AGGREGATE BUILDING FACE WALL AREA	696.79 sf	64.73 sm	
ALLOWABLE UNPROTECTED OPENINGS AREA	110.14 sf	10.23 sm	
ALLOWABLE UNPROTECTED OPENINGS (%)		15.81 %	
PROPOSED UNPROTECTED OPENINGS AREA	84.51 sf	7.85 sm	
PROPOSED UNPROTECTED OPENINGS (%)		12.13 %	
		CONFORMS	

\* Using single plane at closest distance to the property line

DUPLEX MATERIAL LIST

- A** 12" Standing Seam Metal Roof  
Finish: Manufacturer  
Colour: Silver Metallic
- B** 12" Vertical Metal Cladding  
Finish: Manufacturer  
Colour: Cascadia Silver Metallic
- C** 6" Painted Composite Cladding  
Finish: Paint  
Colour: Oxford Ivory VC-1
- D** Slider Window Screen  
Finish: Manufacturer  
Colour: Silver Metallic
- E** Metal Privacy Screen  
Finish: Manufacturer  
Colour: Silver Metallic
- F** Manufactured Window Unit  
Finish: Manufacturer  
Colour: Silver Metallic
- G** Manufactured Door Unit  
Finish: Manufacturer  
Colour: Silver Metallic
- H** Metal Clad Canopy c/w Painted Metal Stays  
Finish: Manufacturer  
Colour: Silver Metallic

1 HERITAGE HOUSE  
NORTH (STREET) ELEVATION  
DP3.4 Scale - 1/4"=1'-0"



1

2

3

4

5

D

C

B

A

ARCHITECT:



DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:

D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:

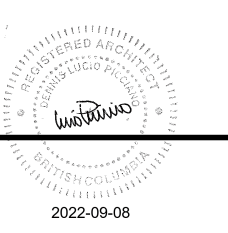
**HERITAGE  
REVITALIZATION and  
NEW LOW ENERGY  
DUPLEX**

PROJECT ADDRESS:

311 West 14th Street.  
City of North Vancouver, BC

OWNER:

1352644 BC LTD



ARCHITECT SEAL

-	-	-
-	-	-
-	-	-
-	-	-
No.	Date	Description

REVISIONS

B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App
No.	Date	Description

ISSUE INFORMATION

PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**

DRAWN BY: CDS

CHECKED BY: dlp

PRINCIPAL IN CHARGE: Lucio Picciano AIBC

OWNER APPROVAL:

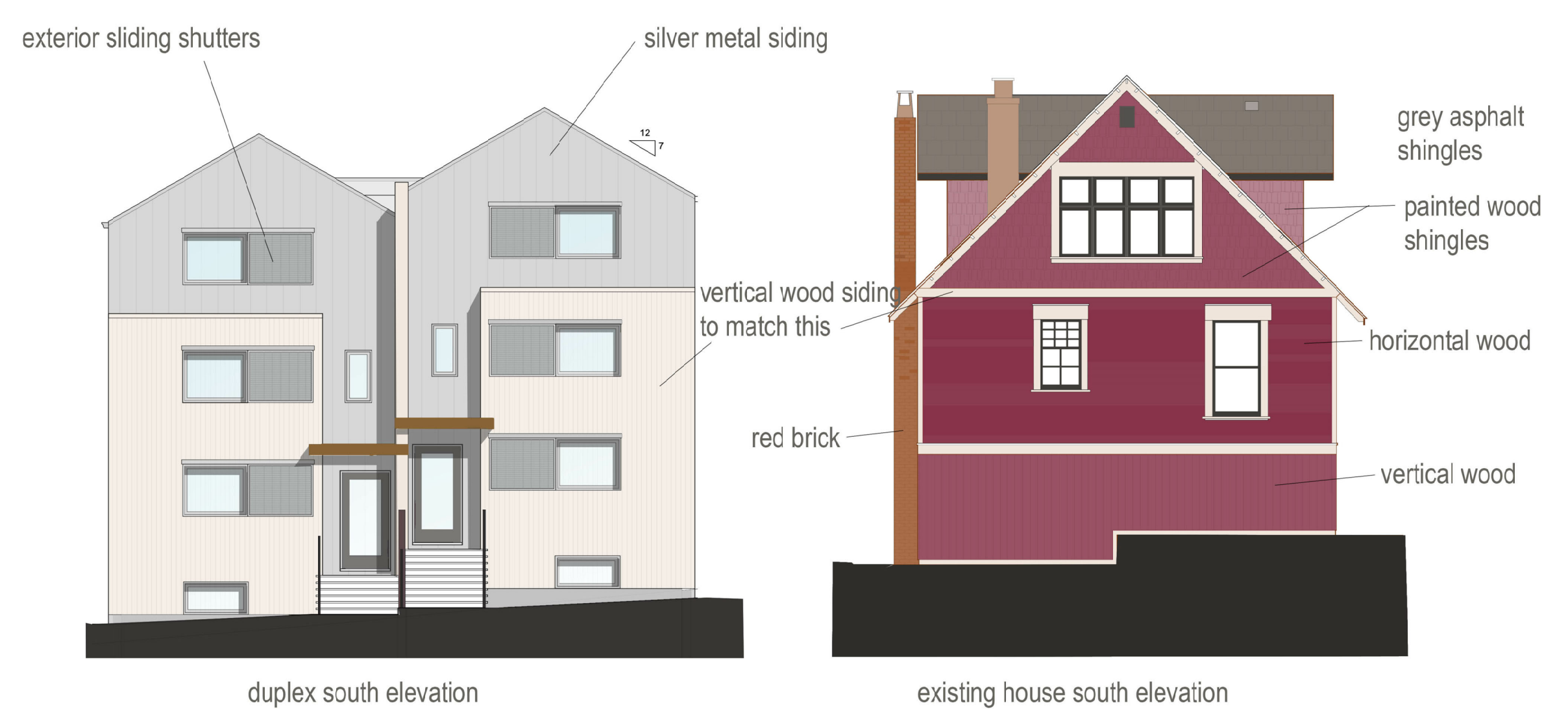
SCALE: 1/4"=1'-0"

SHEET TITLE

COLOUR ELEVATIONS  
South Elevations

SHEET NO.

**DP3.6**



DUPLEX MATERIAL LIST

<b>A</b>	12" Standing Seam Metal Roof Finish: Manufacturer Colour: Silver Metallic
<b>B</b>	12" Vertical Metal Cladding Finish: Manufacturer Colour: Cascadia Silver Metallic
<b>C</b>	6" Painted Composite Cladding Finish: Paint Colour: Oxford Ivory VC-1
<b>D</b>	Slider Window Screen Finish: Manufacturer Colour: Silver Metallic
<b>E</b>	Metal Privacy Screen Finish: Manufacturer Colour: Silver Metallic
<b>F</b>	Manufactured Window Unit Finish: Manufacturer Colour: Silver Metallic
<b>G</b>	Manufactured Door Unit Finish: Manufacturer Colour: Silver Metallic
<b>H</b>	Metal Clad Canopy c/w Painted Metal Stays Finish: Manufacturer Colour: Silver Metallic

**1**  
**HERITAGE HOUSE AND INFILL  
SOUTH ELEVATIONS**  
Scale - 1/4"=1'-0"

1

2

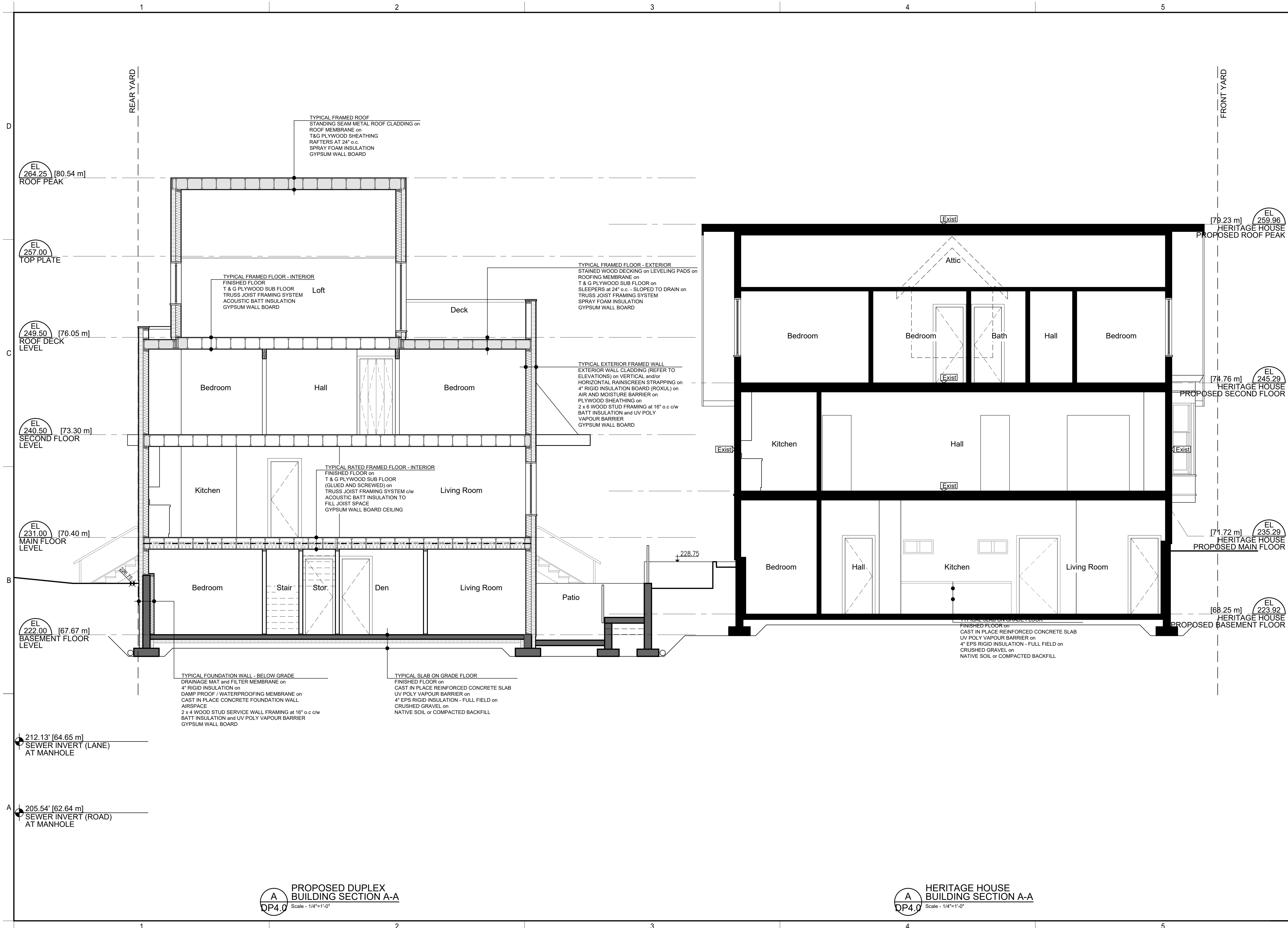
3

4

5

ORIGINAL SHEET SIZE 34" x 22"





REAR YARD

FRONT YARD

TYPICAL FRAMED ROOF  
STANDING SEAM METAL ROOF CLADDING on  
ROOF MEMBRANE on  
T&G PLYWOOD SHEATHING  
RAFTERS AT 24" o.c.  
SPRAY FOAM INSULATION  
GYPSUM WALL BOARD

TYPICAL FRAMED FLOOR - INTERIOR  
FINISHED FLOOR  
T & G PLYWOOD SUB FLOOR  
TRUSS JOIST FRAMING SYSTEM  
ACOUSTIC BATT INSULATION  
GYPSUM WALL BOARD

TYPICAL FRAMED FLOOR - EXTERIOR  
STAINED WOOD DECKING on LEVELING PADS on  
ROOFING MEMBRANE on  
T & G PLYWOOD SUB FLOOR on  
SLEEPERS at 24" o.c. - SLOPED TO DRAIN on  
TRUSS JOIST FRAMING SYSTEM  
SPRAY FOAM INSULATION  
GYPSUM WALL BOARD

TYPICAL EXTERIOR FRAMED WALL  
EXTERIOR WALL CLADDING (REFER TO  
ELEVATIONS) on VERTICAL and/or  
HORIZONTAL RAINSCREEN STRAPPING on  
4" RIGID INSULATION BOARD (ROXUL) on  
AIR AND MOISTURE BARRIER on  
PLYWOOD SHEATHING on  
2 x 6 WOOD STUD FRAMING at 16" o.c c/w  
BATT INSULATION and UV POLY  
VAPOUR BARRIER  
GYPSUM WALL BOARD

TYPICAL RATED FRAMED FLOOR - INTERIOR  
FINISHED FLOOR on  
T & G PLYWOOD SUB FLOOR  
(GLUED AND SCREWED) on  
TRUSS JOIST FRAMING SYSTEM c/w  
ACOUSTIC BATT INSULATION TO  
FILL JOIST SPACE  
GYPSUM WALL BOARD CEILING

FINISHED FLOOR on  
CAST IN PLACE REINFORCED CONCRETE SLAB  
UV POLY VAPOUR BARRIER on  
4" EPS RIGID INSULATION - FULL FIELD on  
CRUSHED GRAVEL on  
NATIVE SOIL or COMPACTED BACKFILL

TYPICAL FOUNDATION WALL - BELOW GRADE  
DRAINAGE MAT and FILTER MEMBRANE on  
4" RIGID INSULATION on  
DAMP PROOF / WATERPROOFING MEMBRANE on  
CAST IN PLACE CONCRETE FOUNDATION WALL  
AIRSPACE  
2 x 4 WOOD STUD SERVICE WALL FRAMING at 16" o.c c/w  
BATT INSULATION and UV POLY VAPOUR BARRIER  
GYPSUM WALL BOARD

TYPICAL SLAB ON GRADE FLOOR  
FINISHED FLOOR on  
CAST IN PLACE REINFORCED CONCRETE SLAB  
UV POLY VAPOUR BARRIER on  
4" EPS RIGID INSULATION - FULL FIELD on  
CRUSHED GRAVEL on  
NATIVE SOIL or COMPACTED BACKFILL

EL 264.25 [80.54 m]  
ROOF PEAK

EL 257.00  
TOP PLATE

EL 249.50 [76.05 m]  
ROOF DECK LEVEL

EL 240.50 [73.30 m]  
SECOND FLOOR LEVEL

EL 231.00 [70.40 m]  
MAIN FLOOR LEVEL

EL 222.00 [67.67 m]  
BASEMENT FLOOR LEVEL

EL 259.96 [79.23 m]  
HERITAGE HOUSE  
PROPOSED ROOF PEAK

EL 245.29 [74.76 m]  
HERITAGE HOUSE  
PROPOSED SECOND FLOOR

EL 235.29 [71.72 m]  
HERITAGE HOUSE  
PROPOSED MAIN FLOOR

EL 223.92 [68.25 m]  
HERITAGE HOUSE  
PROPOSED BASEMENT FLOOR

212.13' [64.65 m]  
SEWER INVERT (LANE)  
AT MANHOLE

205.54' [62.64 m]  
SEWER INVERT (ROAD)  
AT MANHOLE

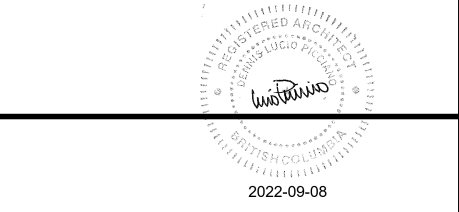
ARCHITECT:  
**dlp**  
architecture  
DLP ARCHITECTURE INC  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PRIMARY CONTACT:  
D. LUCIO PICCIANO  
202-460 NANAIMO ST  
VANCOUVER BC V6L 4W3  
778-889-6849

PROJECT:  
**HERITAGE REVITALIZATION and NEW LOW ENERGY DUPLEX**

PROJECT ADDRESS:  
311 West 14th Street,  
City of North Vancouver, BC

OWNER:  
1352644 BC LTD



ARCHITECT SEAL

-	-	-
-	-	-
-	-	-
-	-	-

REVISIONS

No.	Date	Description

B	24-Aug-22	Development Permit
-	19-May-22	Review
-	13-May-22	Consultants
-	05-May-22	Consultants
A	17-Dec-21	Rezoning Pre-App

ISSUE INFORMATION  
PLOT DATE: 24-Aug-22

PROJECT NO.: **21-06**  
DRAWN BY: CDS  
CHECKED BY: dlp  
PRINCIPAL IN CHARGE: Lucio Picciano AIBC  
OWNER APPROVAL:

SCALE: 1/4"=1'-0"

SHEET TITLE  
Heritage House Building Section A-A  
Proposed Duplex Building Section A-A

SHEET NO.  
**DP4.0**  
ORIGINAL SHEET SIZE 34" x 22"

**A** PROPOSED DUPLEX BUILDING SECTION A-A  
Scale - 1/4"=1'-0"

**A** HERITAGE HOUSE BUILDING SECTION A-A  
Scale - 1/4"=1'-0"