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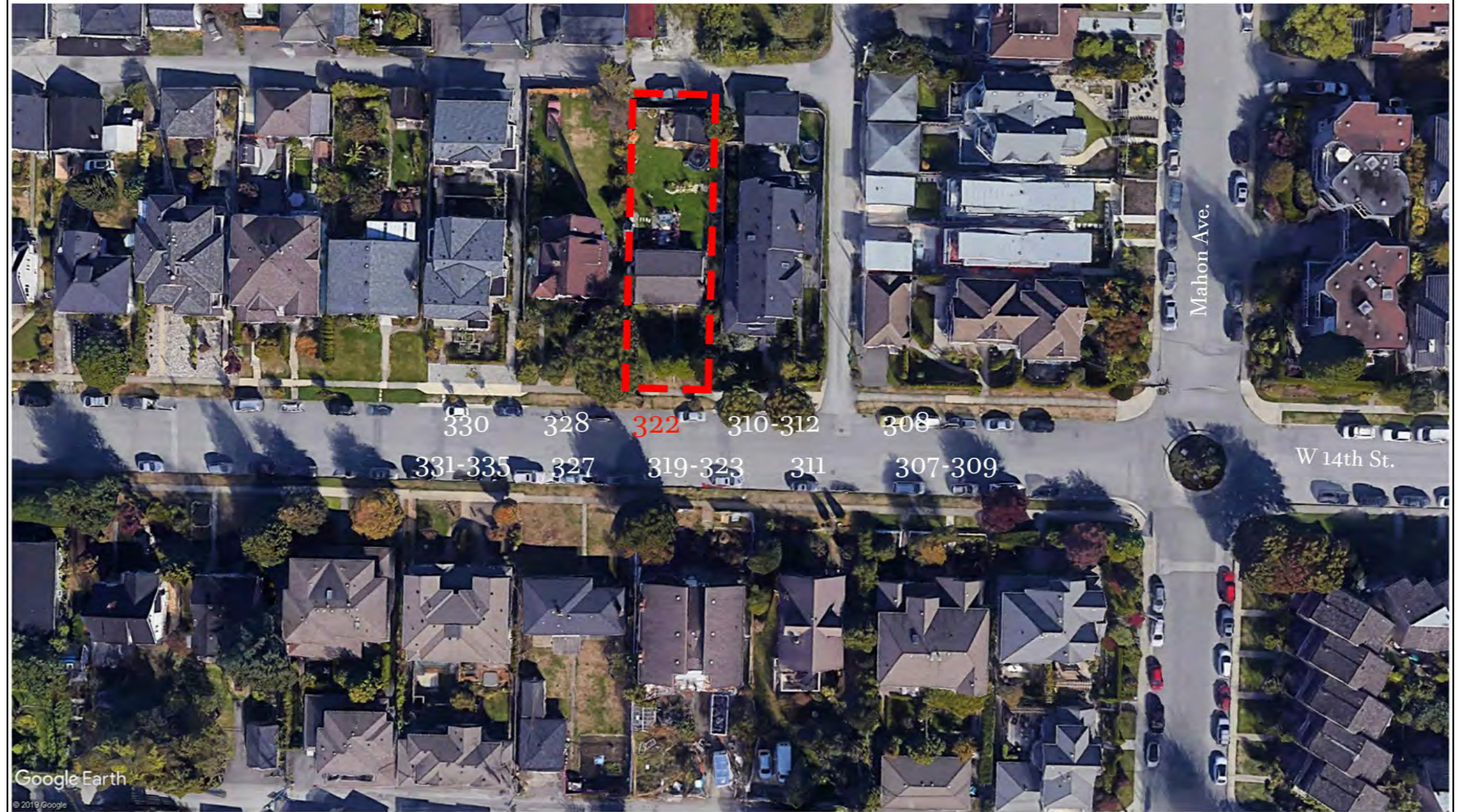
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328

322

310-312

308



331-335

327

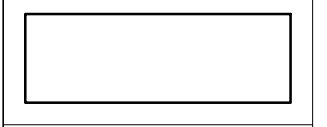
319-323

311

307-309



NO	DESCRIPTION	DATE
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2	ISSUED FOR REZONING AND DEVELOPMENT PERMIT	01-08-2020
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4	RE-ISSUED FOR REZONING AND DEVELOPMENT PERMIT	02-05-2021
5	ISSUED FOR REZONING AND ADP	02-23-2021
6	RE-ISSUED FOR REZONING AND ADP	04-16-2021
7	RE-ISSUED FOR DP	08-12-2021



SALEHI ARCHITECT INC.

207 - 132 15th West Street
NORTH VANCOUVER
TEL : 778-996 7833
EMAIL : rsalehi@salehiarchitect.ca

CLIENT :
LTD.

PROJECT NO. 01 - 18

PROJECT :
322 - W 14TH
NORTH VANCOUVER

DRAWING TITLE :
CONTEXT PLAN

SEAL

A-0

DATE : 10-04-2019 DRAWN : M.K

SCALE : CHECKED : R.S.

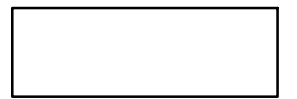


INFILL SOUTH WEST VIEW

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3	RE-ISSUED FOR REZONING AND DEVELOPMENT PERMIT	12 - 10 - 2020
4	RE-ISSUED FOR REZONING AND DEVELOPMENT PERMIT	02 - 05 - 2021
5	ISSUED FOR REZONING AND ADP	02 - 23 - 2021
6	RE-ISSUED FOR REZONING AND ADP	04 - 16 - 2021
7	RE-ISSUED FOR DP	08 - 12 - 2021



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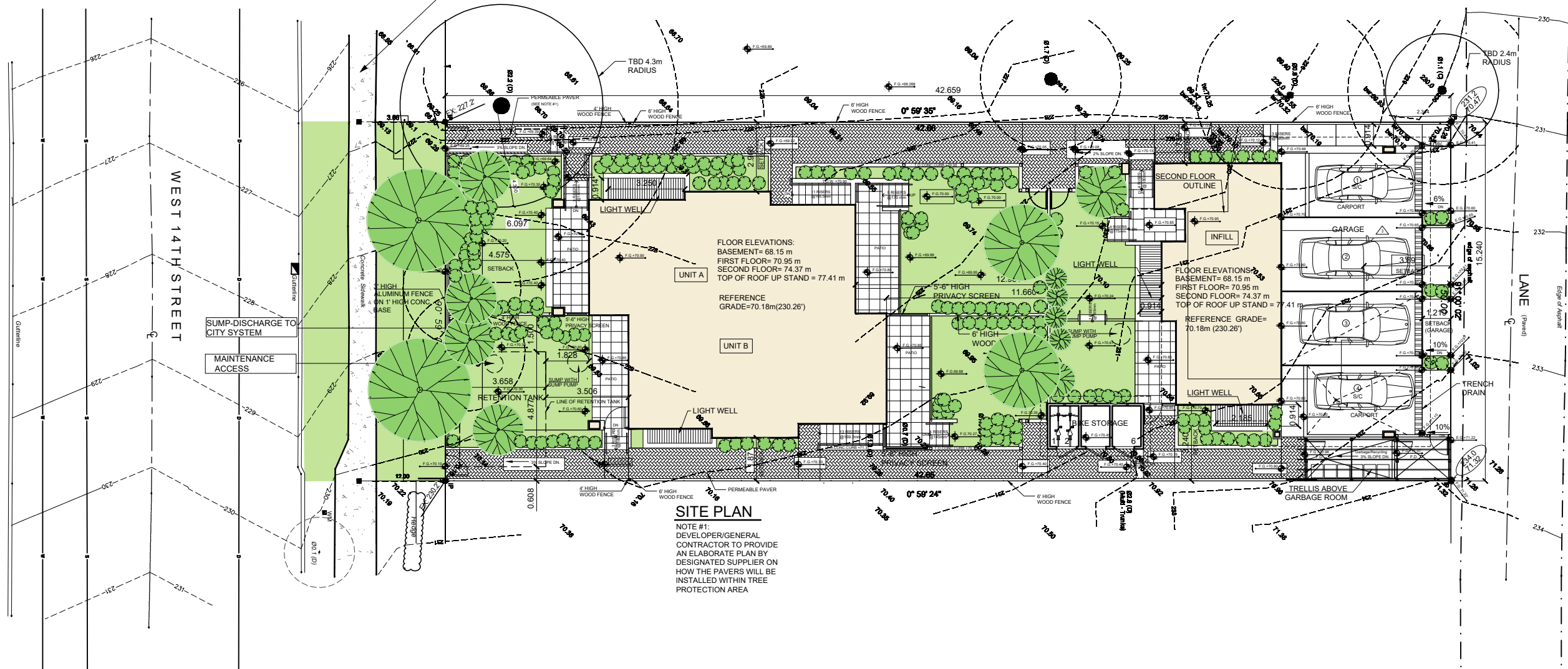
PROJECT NO. 01 - 18

PROJECT :
 322 - W 14TH
 NORTH VANCOUVER

DRAWING TITLE :
 3D VIEW

SEAL	A-000 0
DATE : 10-04-2019	DRAWN : M.K
SCALE :	CHECKED : R.S.

STREET INFRASTRUCTURE WILL BE DESIGNED AS PER FOLLOWING GUIDELINES AND THE COMPLETE DESIGN DRAWINGS WILL BE PROVIDED AT THE TIME OF BUILDING PERMIT STAGE:
 -NEW 1.8M WIDE BOULEVARD SIDEWALK COMPLETE WITH TRANSITION PANELS BEYOND EAST AND WEST PROPERTY LINES TO MEET EXISTING SIDEWALK.
 -PROPOSED SIDEWALKS TO BE INSTALLED TO CNV AND MMCD STANDARDS.
 -NEW MMCD C5 BARRIER CURB & GUTTER TO CNV STANDARDS.
 -NEW LED OVERHEAD AND PEDESTRIAN LEVEL STREET LIGHTING TO CNV STANDARDS.
 -MILL AND PAVE 1/2 READ ADJACENT TO SITE TO CNV STANDARDS.
 -REGULATORY STAGE AND THERMOPLASTIC PAVEMENT MARKINGS AS REQUIRED.



SITE PLAN

NOTE #1:
 DEVELOPER/GENERAL CONTRACTOR TO PROVIDE AN ELABORATE PLAN BY DESIGNATED SUPPLIER ON HOW THE PAVERS WILL BE INSTALLED WITHIN TREE PROTECTION AREA

PROJECT DATA:

LEGAL DESCRIPTION :

LOT 18 BLOCK 47
 DISTRICT LOTS 271 AND 548 GROUP 1 NWD PLAN 1658
 P.I.D 009-788-735

CIVIC ADDRESS

322 WEST 14TH STREET, NORTH VANCOUVER, BC

ZONING

EXISTING ZONING: RS1
 PROPOSED ZONING: CD (COMPREHENSIVE DEVELOPMENT R2)

SITE AREA: 650.14 M²(6998 FT²)

FSR : 0.5

BUILDABLE AREA= 650.14 M²X 0.5 = 325.07 M²(3499 FT²)

PROPOSED BUILDABLE AREA

UNIT A: 55.51 + 57.44 = 112.95 M²(1215.78 FT²)
 BASEMENT= 55.51 M²(597.50 FT²) (EXEMPT)
 UNIT B: 53.85+57.33=111.18 M²(1196.73 FT²)
 BASEMENT= 53.85 M²(579.66 FT²) (EXEMPT)
 INFILL UNIT: 49.06+51.79=100.85 M²(1085.54 FT²)
 BASEMENT= 47.82 M²(514.73 FT²) (EXEMPT)

TOTAL AREA: 324.98 M²(3498.05 FT²)

BUILDING HEIGHT

HEIGHT ENVELOPE CALCULATION:
 AVERAGE FRONT = (227.2+230.2) / 2 = 228.7'
 AVERAGE REAR = (231.2+234.0) / 2 = 232.6'
 REF. GRADE = 228.7+(232.6-228.7)x0.4 = 228.7+1.56 = 230.26'(70.18M)
 FIRST FLOOR ELEVATION: 230.26+2.50 = 232.76'(70.95M)
 TOP OF UPSTAND = 232.76'+21.2' = 253.96'(77.41M)
 PERMITTED HEIGHT ENVELOPE: 7.986M (26.2')
 PROVIDED HEIGHT ENVELOPE: 7.23M (23.72')

SET BACKS:

DUPLEX BUILDING (TYPE "A+B")
 FRONT SETBACK: 4.57M (15.0')
 REAR SETBACK: 11.14M (36.55')
 (DISTANCE BETWEEN DUPLEX AND UNIT "C")
 WEST SETBACK: 2.96M (9.71')
 EAST SETBACK: 1.87M (6.13')

INFILL UNIT (TYPE "C")
 FRONT SETBACK: 11.14M (36.55')
 (DISTANCE BETWEEN UNIT "C" AND DUPLEX)
 REAR SETBACK: 3.69M (11.87')
 REAR SETBACK (GARAGE): 1.20M (4.0')
 WEST SETBACK: 1.75M (5.74')
 WEST SETBACK (GARAGE): 0.99 M (3.25')
 EAST SETBACK: 3.24M (10.63')

SITE COVERAGE

PERMITTED= 650.14 X35%=227.55M²(2449.3 FT²)
 PROVIDED: 287.87M²(3098.60 FT²) 44.28%
 INCLUDING GARAGES,CARPORT,BICYCLE STORAGE AND GARBAGE/RECYCLING ROOM

PARKING & BIKE STORAGE

REQUIRED PARKING: 3 STALLS
 PROVIDED PARKING: 4 STALLS
 REQUIRED BIKE STORAGE: 6
 PROVIDED BIKE STORAGE: 6

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4	RE-ISSUED FOR REZONING AND DEVELOPMENT PERMIT	02-06-2021
5	ISSUED FOR REZONING AND ADP	02-23-2021
6	RE-ISSUED FOR REZONING AND ADP	04-16-2021
7	REVISED AS PER ENGINEERING DEPARTMENT COMMENTS DATED 05-22	08-09-2021
8	RE-ISSUED FOR DP	08-12-2021
9	ADJUSTED THE FLOOR ELEVATIONS	08-26-2021



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PROJECT NO. 01 - 18

PROJECT :

322 - W 14TH
 NORTH VANCOUVER

DRAWING TITLE :

SITE PLAN

SEAL

A-01

DATE : 10-04-2019 DRAWN : F.N.

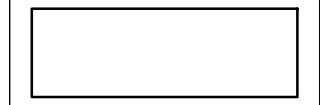
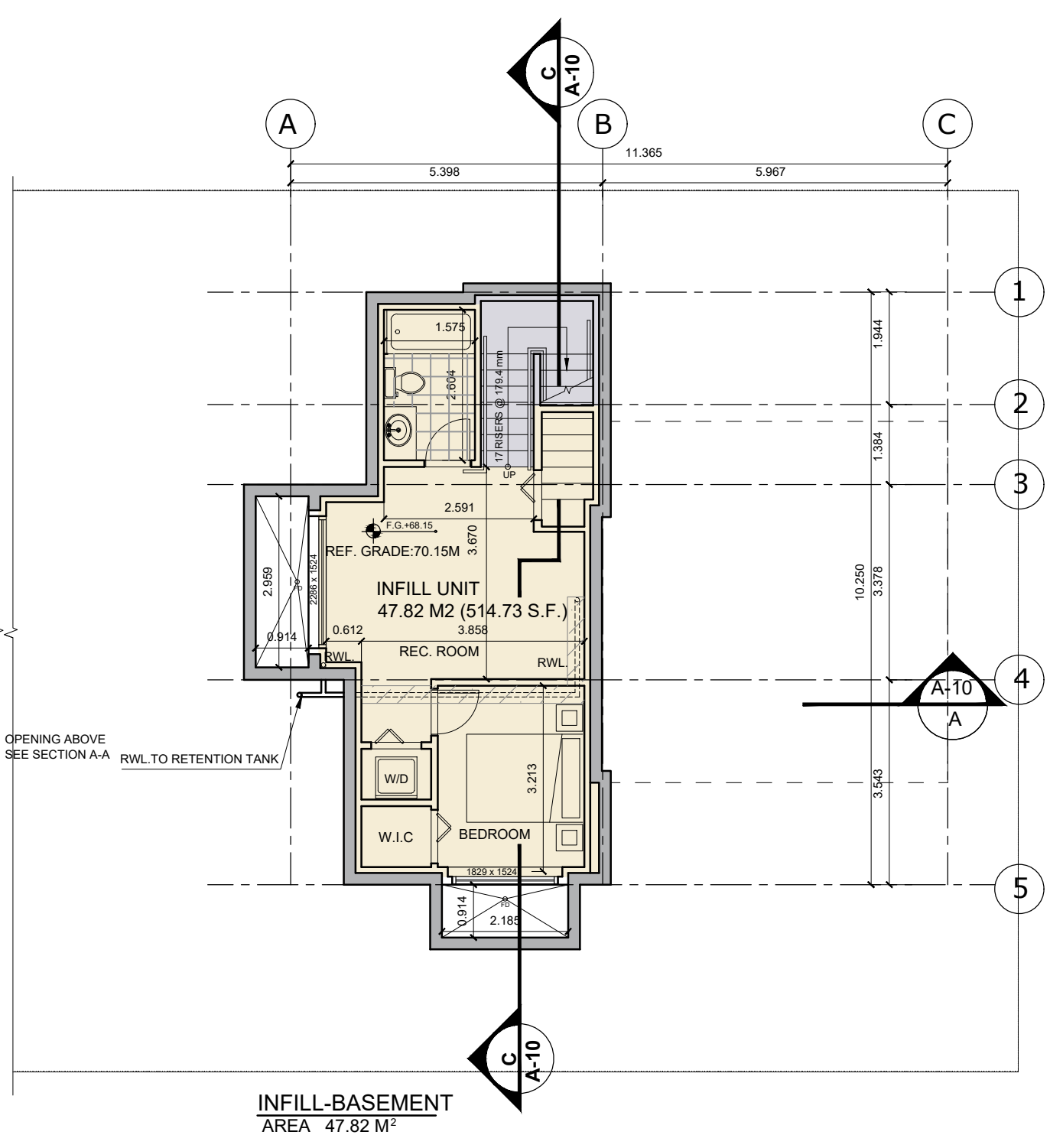
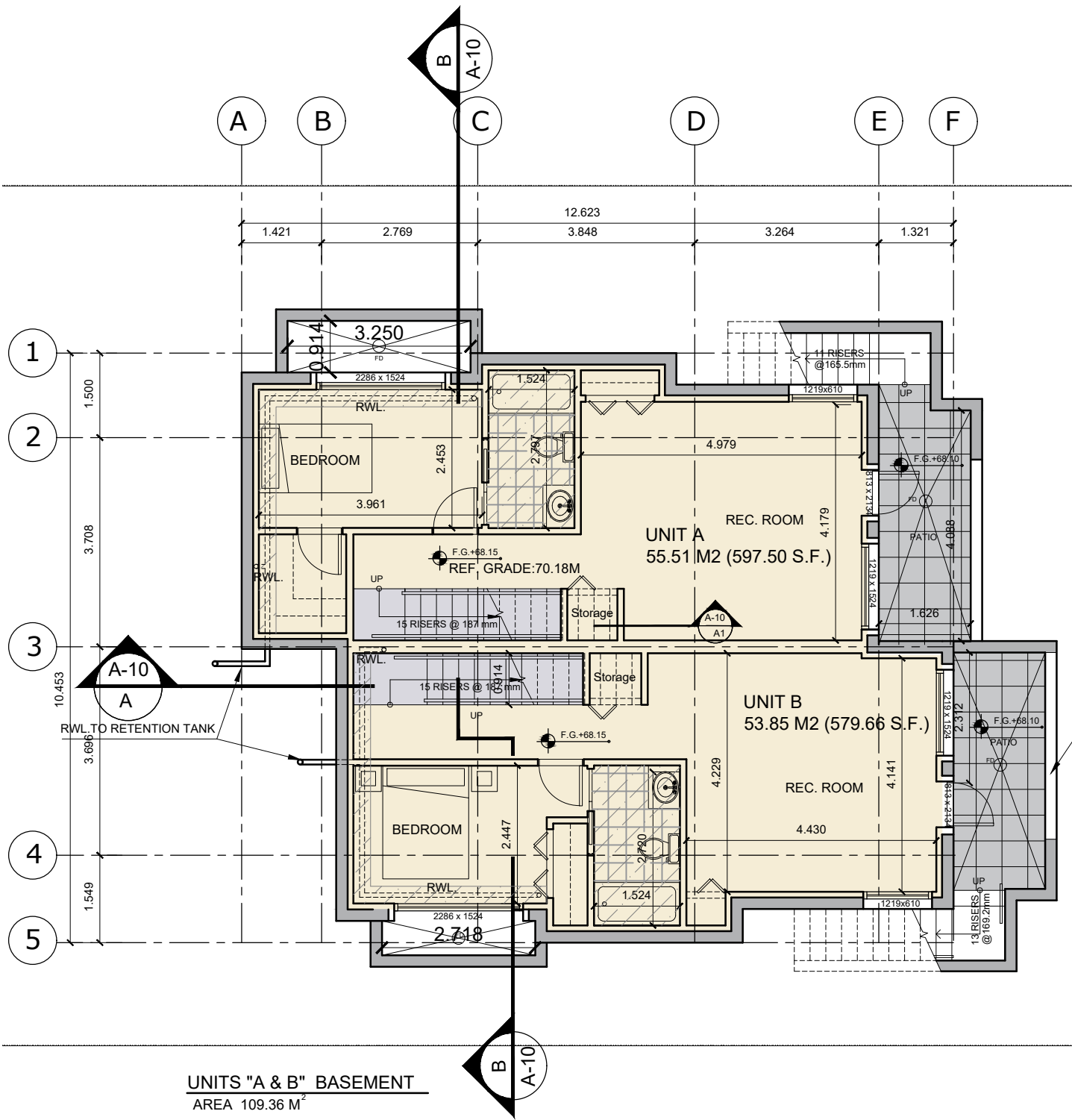
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PROJECT NO. 01 - 18

PROJECT :
322 - W 14TH
NORTH VANCOUVER

DRAWING TITLE :
BASEMENT
FLOOR PLAN

SEAL

A-02

DATE : 10-04-2019 DRAWN : F.N.

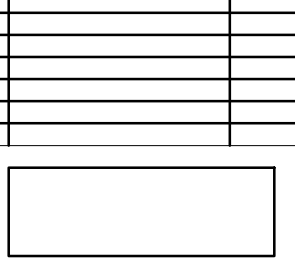
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5	ISSUED FOR REZONING AND ADP	02-23-2021
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7	RE-ISSUED FOR DP	08-12-2021
8	ADJUSTED THE FLOOR ELEVATIONS	09-28-2021



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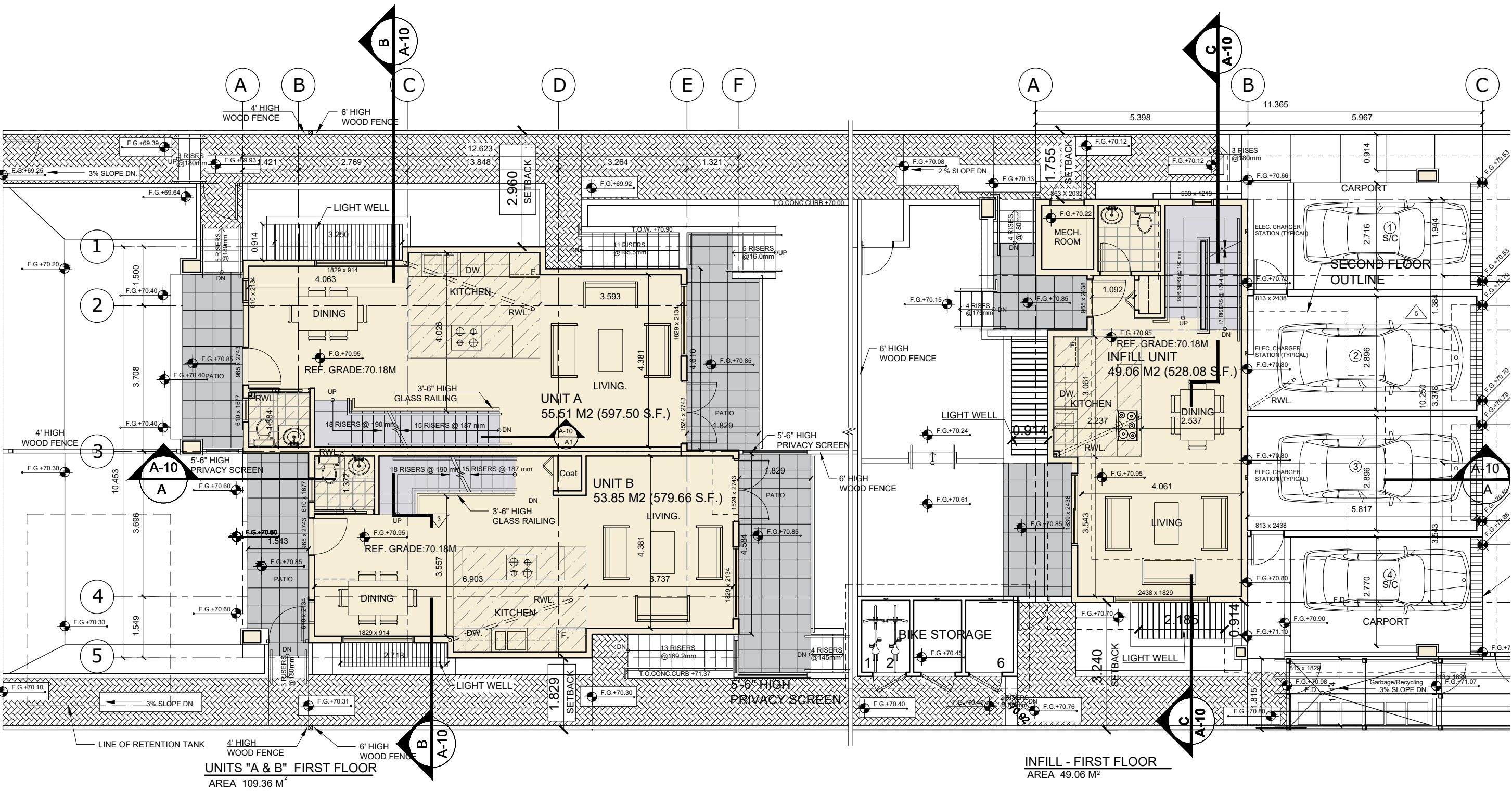
DRAWING TITLE :
FIRST FLOOR PLAN

SEAL

A-03

DATE : 10-04-2019 DRAWN : F.N.

SCALE : 1/100 CHECKED : R.S.



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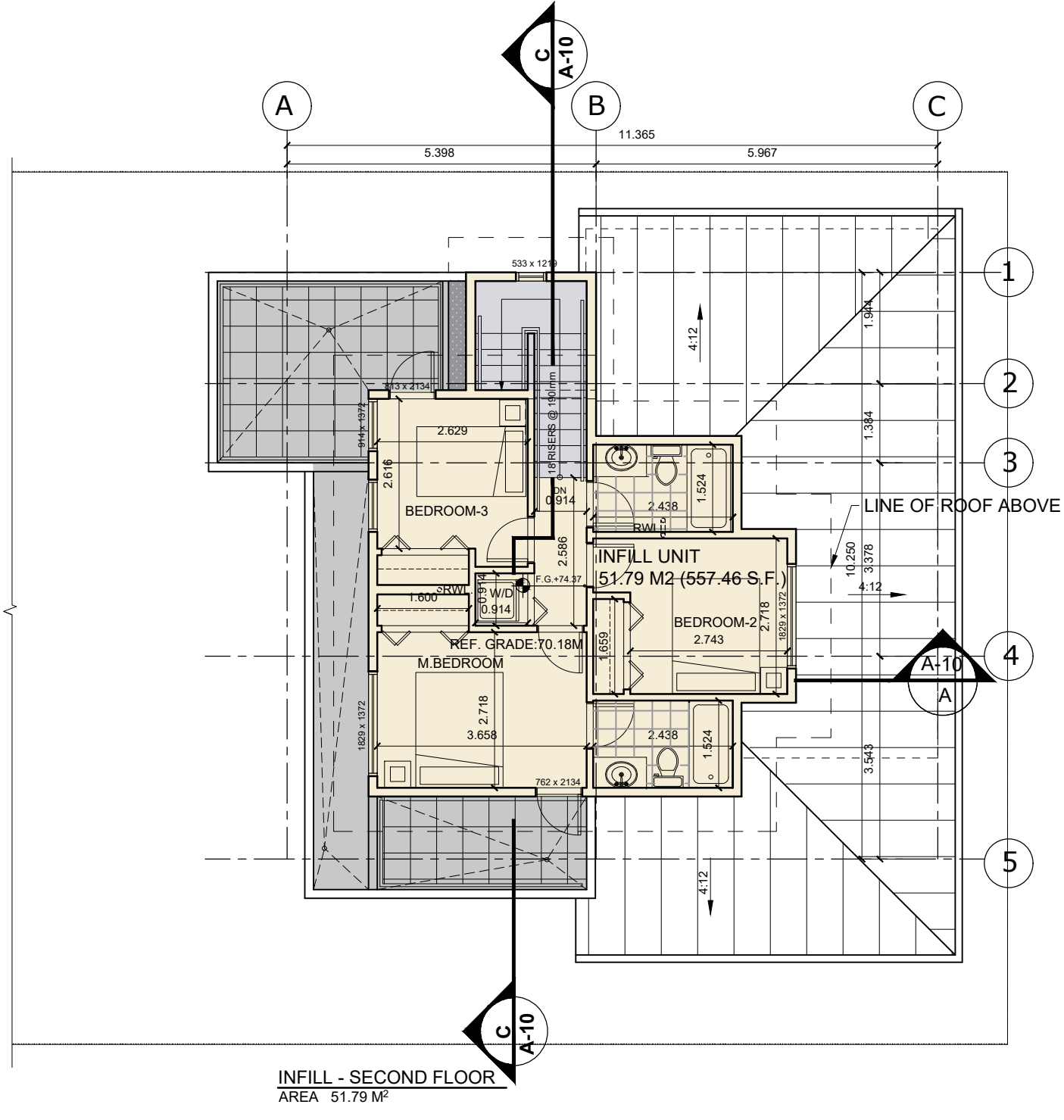
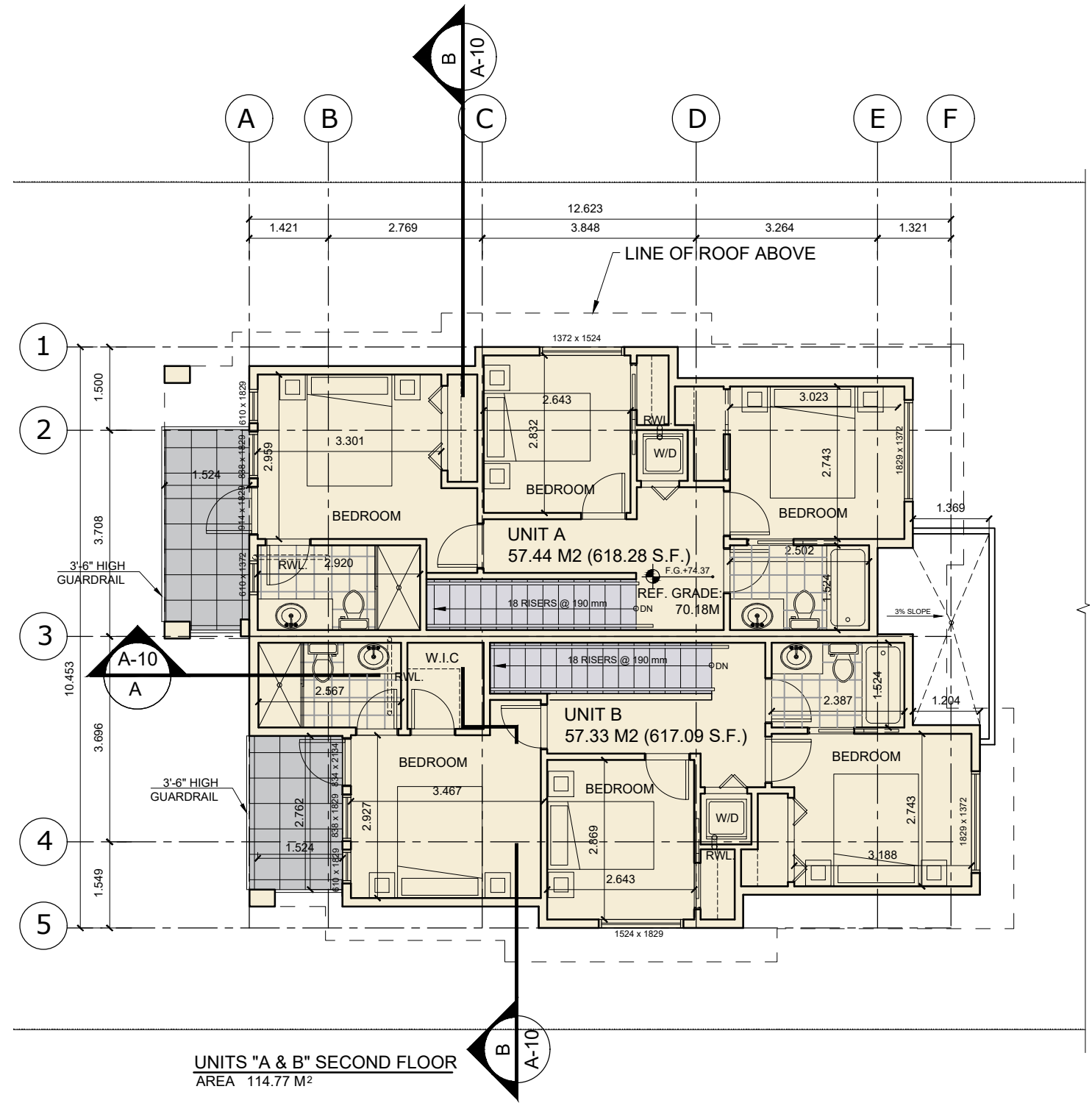
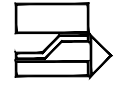
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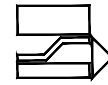
SEAL

A-04

DATE : 10-04-2019 DRAWN : F.N.

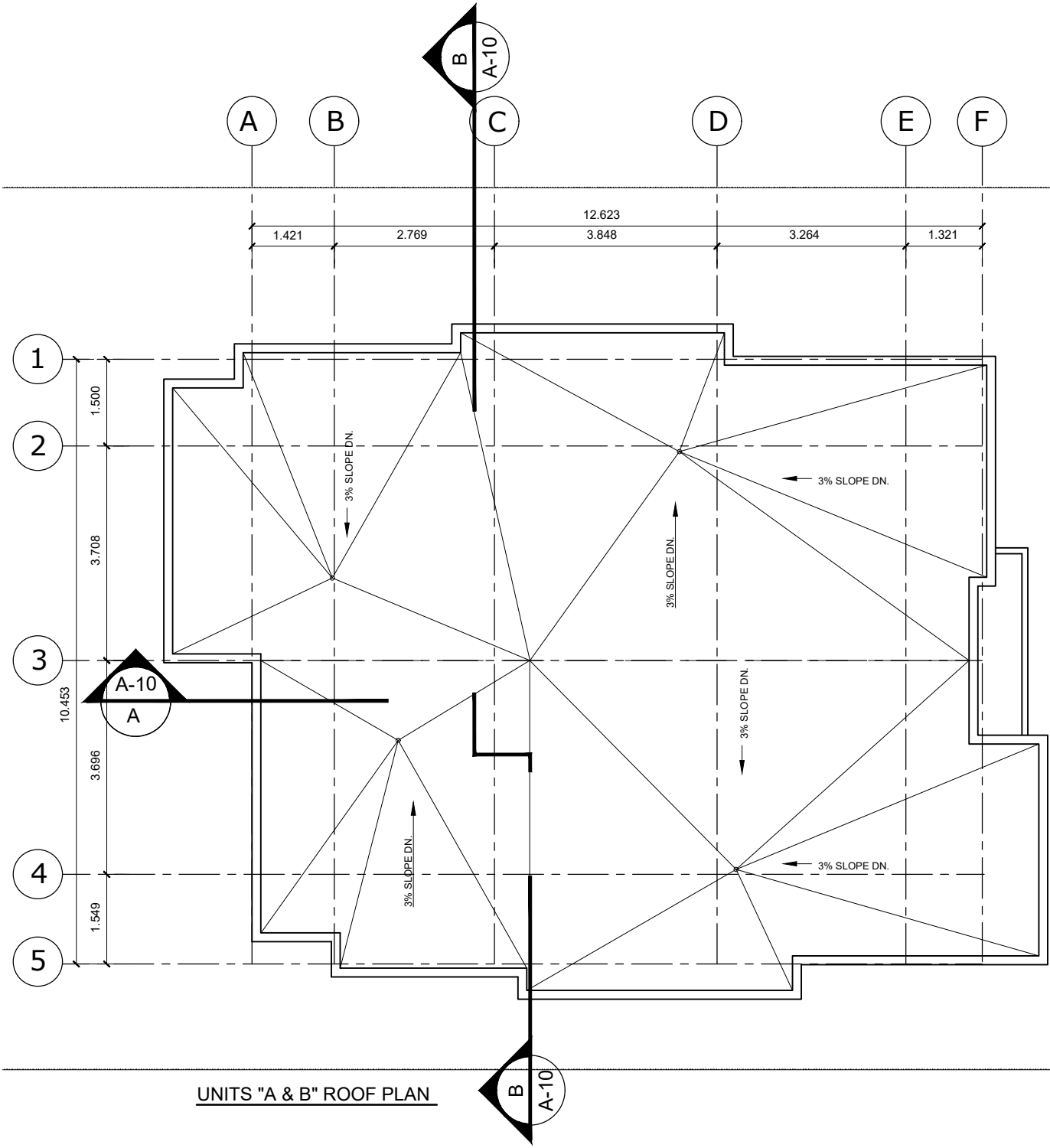
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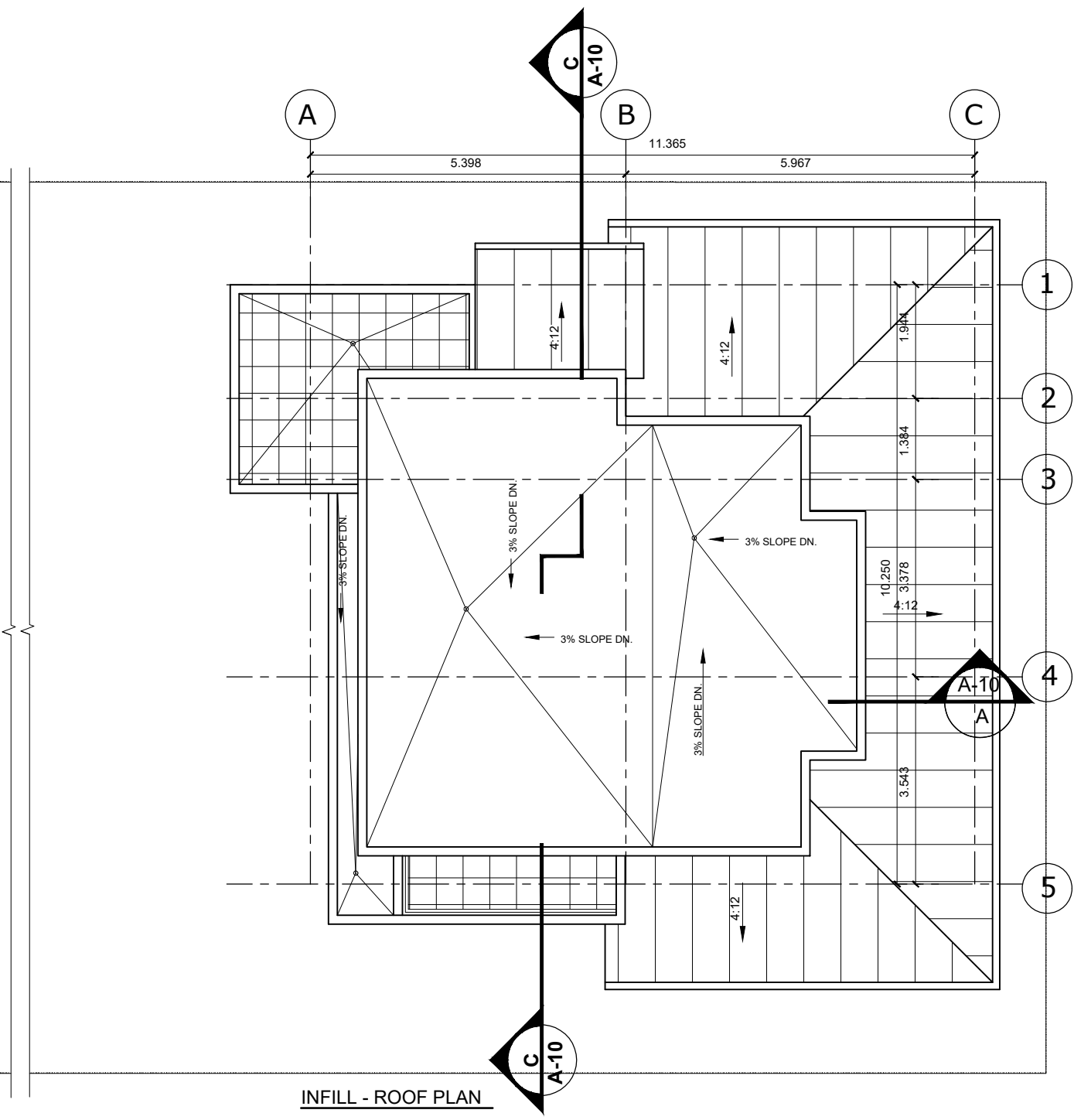


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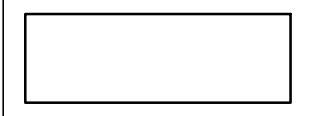


UNITS "A & B" ROOF PLAN



INFILL - ROOF PLAN

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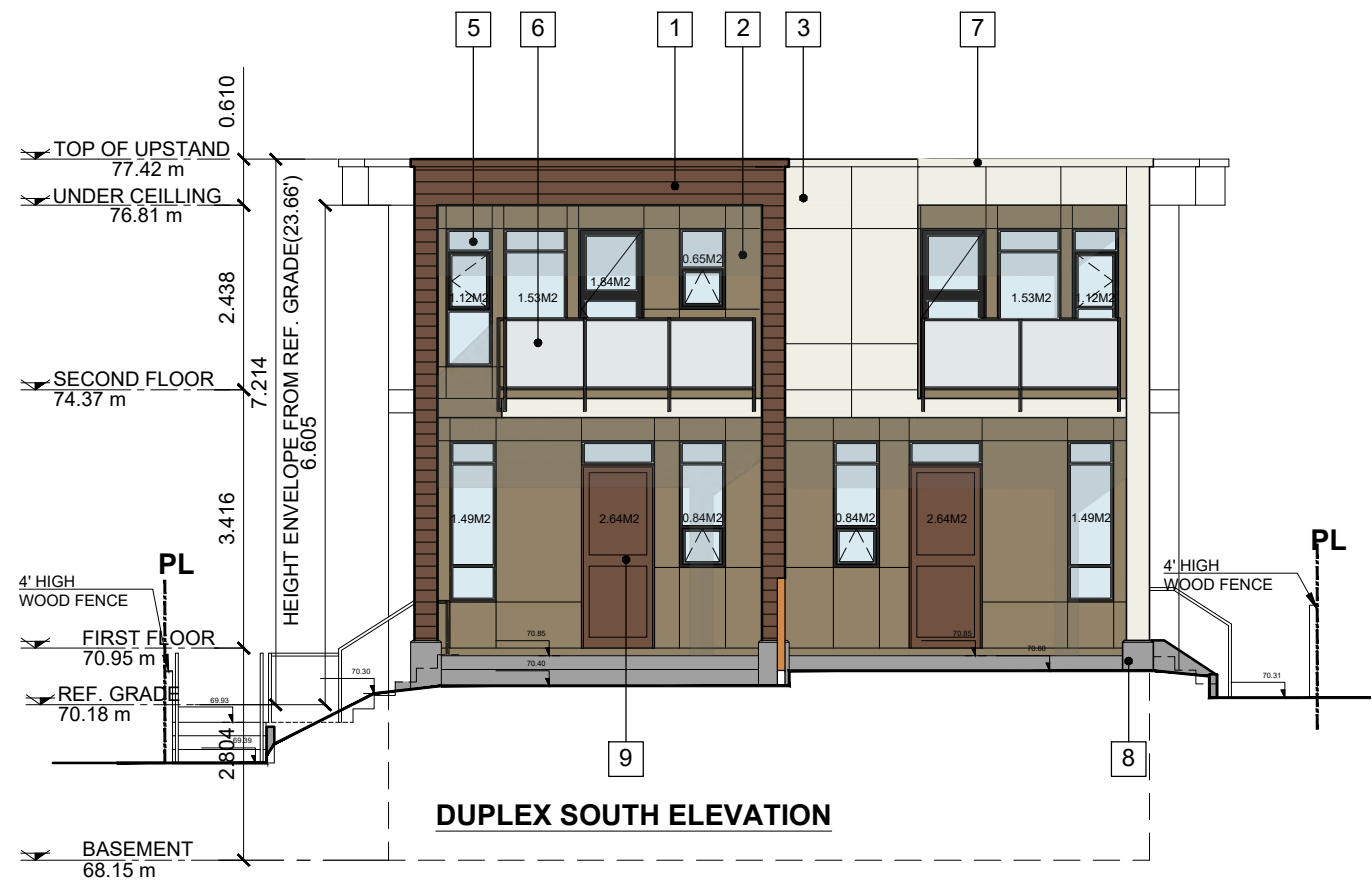
PROJECT :
 322 - W 14TH
 NORTH VANCOUVER

DRAWING TITLE :
 ROOF PLAN

SEAL	A-05
DATE : 10-04-2019	DRAWN : F.N.
SCALE : 1/100	CHECKED : R.S.

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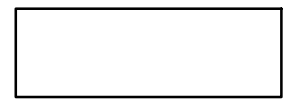
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FINISH MATERIALS LIST :

1 STAINED CEDAR SIDING PINE CONE - SW 3046	5 RESIDENTIAL VINYL WINDOW FRAMES WHITE COLOUR	10 INSULATED PVC GARAGE DOOR SHADOW GRAY- 2125-40 BENJAMIN MOORE
2 FIBER CEMENT HARDIE PANEL HAMMERED SILVER - SW 2840	6 ALUMINUM GUARDRAIL WITH CLEAR GLAZING BLACK	11 ALUMINUM PATIO / BALCONY DOORS
3 FIBER CEMENT HARDIE PANEL WHITE DOVE - OC 17 BENJAMIN MOORE	7 METAL FLASHING TO MATCH BACKGROUND COLOUR	12 STUCCO GALLERY BUFF- 305P-225 BENJAMIN MOORE
4 METAL ROOF LIGHT BRONZE	8 PAINTED CAST IN PLACE CONCRETE (SW 6254)	13 STAINED CEDAR POST CEDAR MILL SW 3512
	9 OAK SOLID WOOD DOOR PINE CONE - SW 3046	14 ALUMINUM GUARDRAIL (BLACK)

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6	RE-ISSUED FOR REZONING AND ADP	04-16-2021
7	RE-ISSUED FOR DP	08-12-2021
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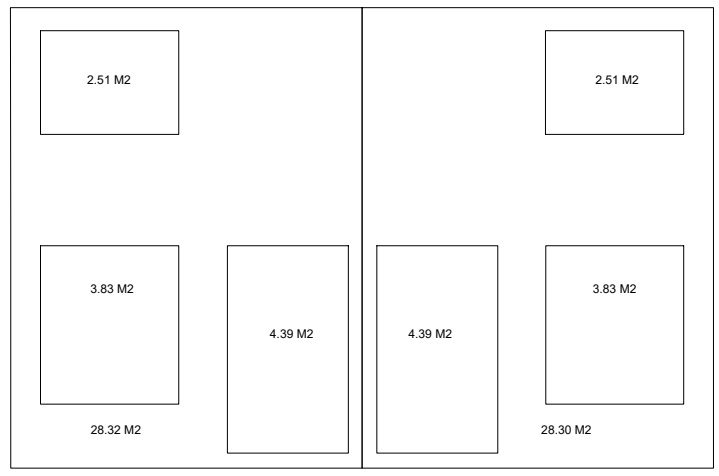
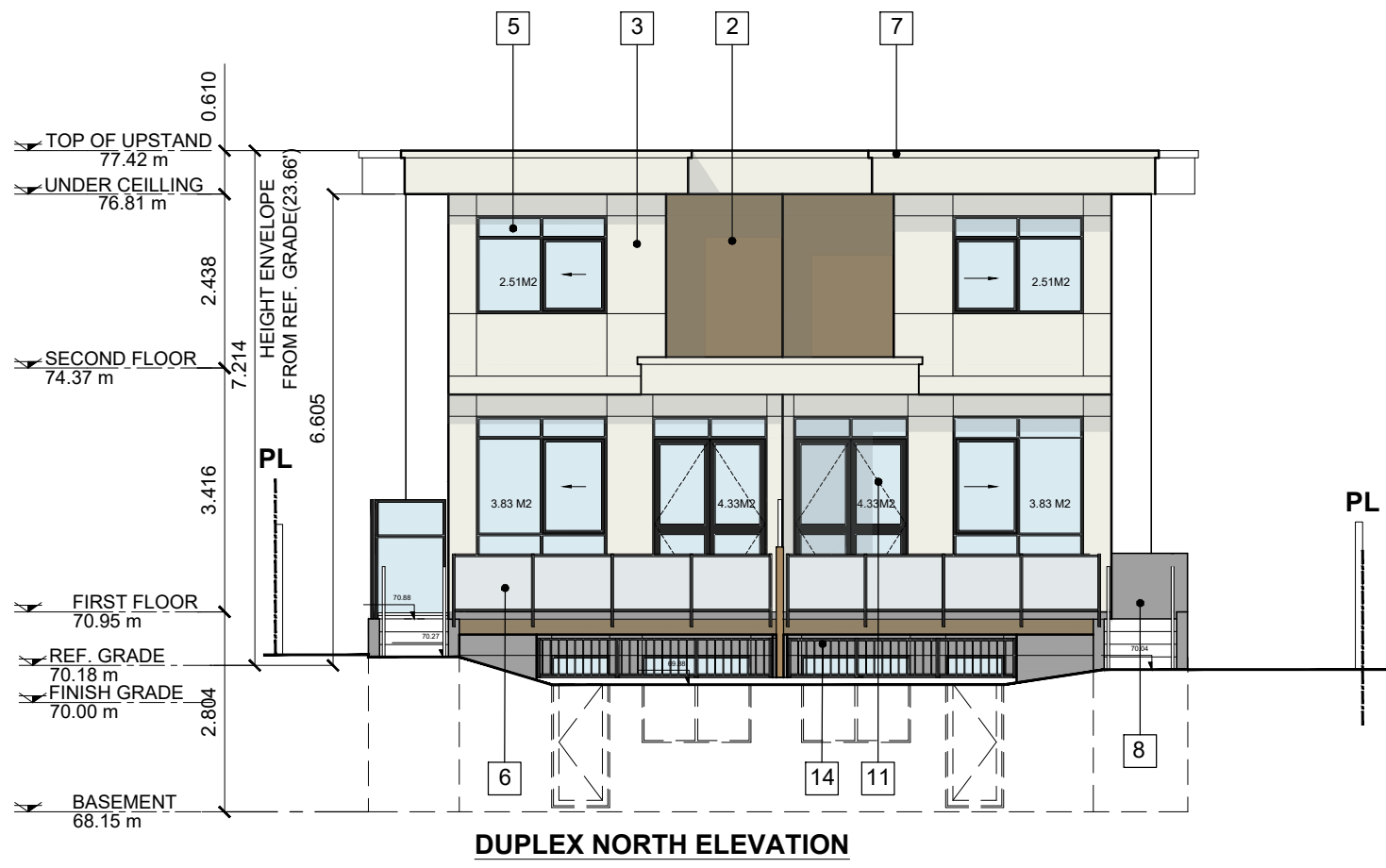
DRAWING TITLE :
NORTH & SOUTH
ELEVATIONS
"DUPLEX"

SEAL

A-06

DATE : 10-04-2019 DRAWN : F.N.

SCALE : 1/100 CHECKED : R.S.



UNPROTECTED OPENINGS UNIT "A"

EXPOSING BUILDING FACE AREA : TOTAL :	28.30 m ²
LIMITING DISTANCE :	6.66 m
ALLOWABLE UNPROTECTED OPENINGS :	26.55 m ² = 91.96%
PROPOSED UNPROTECTED OPENINGS :	10.73 m ² = 37.91%

UNPROTECTED OPENINGS UNIT "B"

EXPOSING BUILDING FACE AREA : TOTAL :	28.32 m ²
LIMITING DISTANCE :	5.48 m
ALLOWABLE UNPROTECTED OPENINGS :	21.88 m ² = 75.26%
PROPOSED UNPROTECTED OPENINGS :	10.73 m ² = 37.88 %

REF. : TABLE 9.10.15.4 BCBC 2018

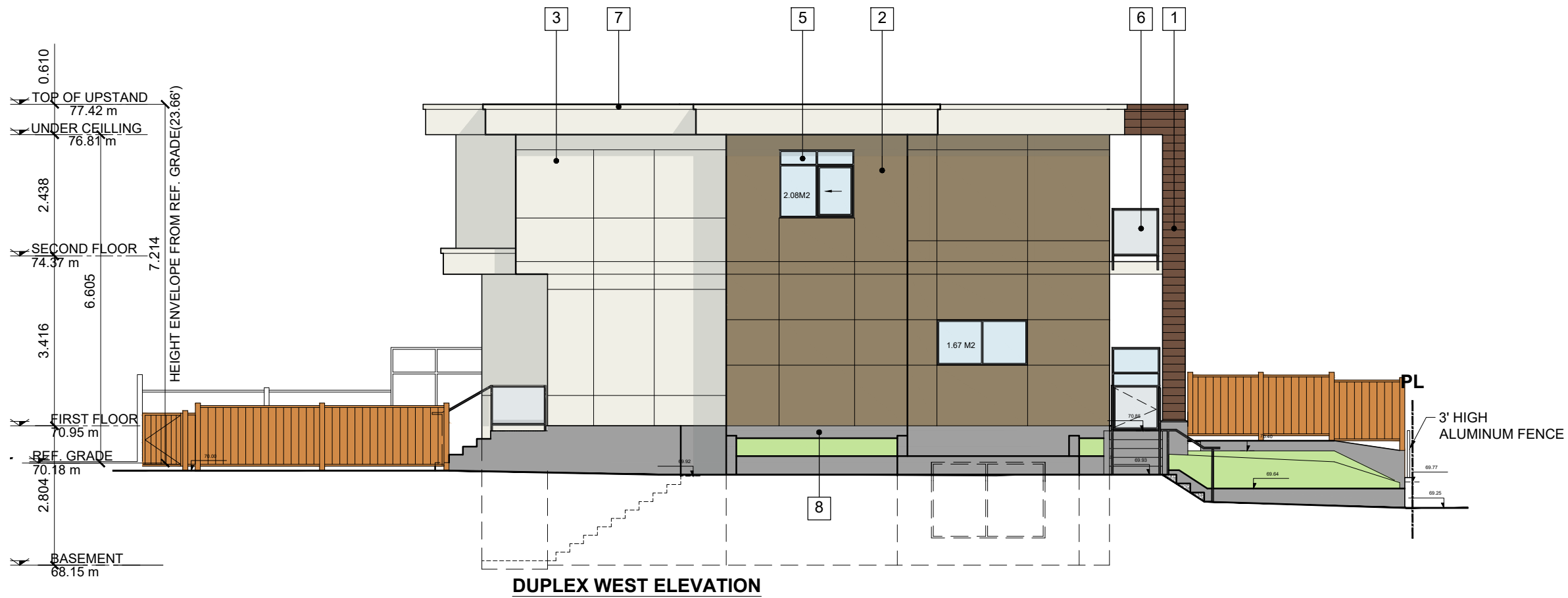
UNIT "B"

UNIT "A"

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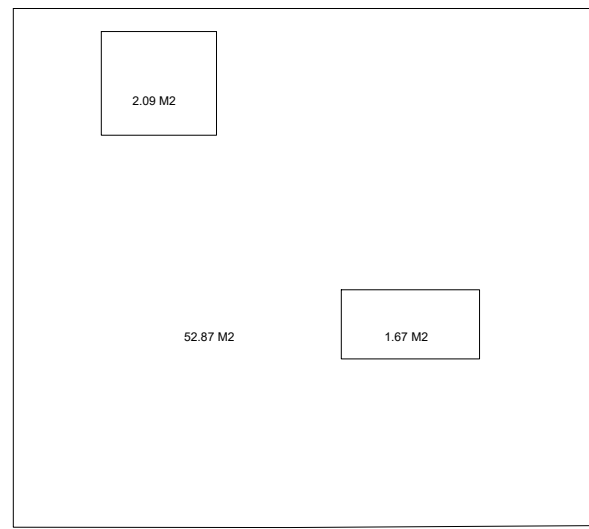
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5	ISSUED FOR REZONING AND ADP	02-23-2021
6	RE-ISSUED FOR REZONING AND ADP	04-16-2021
7	RE-ISSUED FOR DP	08-12-2021
8	ADJUSTED THE FLOOR ELEVATIONS	08-26-2021



DUPLEX WEST ELEVATION

FINISH MATERIALS LIST :		
1 STAINED CEDAR SIDING PINE CONE - SW 3046	5 RESIDENTIAL VINYL WINDOW FRAMES WHITE COLOUR	10 INSULATED PVC GARAGE DOOR SHADOW GRAY- 2125-40 BENJAMIN MOORE
2 FIBER CEMENT HARDIE PANEL HAMMERED SILVER - SW 2840	6 ALUMINUM GUARDRAIL WITH CLEAR GLAZING BLACK	11 ALUMINUM PATIO / BALCONY DOORS
3 FIBER CEMENT HARDIE PANEL WHITE DOVE - OC 17 BENJAMIN MOORE	7 METAL FLASHING TO MATCH BACKGROUND COLOUR	12 STUCCO GALLERY BUFF- 305P-225 BENJAMIN MOORE
4 METAL ROOF LIGHT BRONZE	8 PAINTED CAST IN PLACE CONCRETE (SW 6254)	13 STAINED CEDAR POST CEDAR MILL SW 3512
	9 OAK SOLID WOOD DOOR PINE CONE - SW 3046	14 ALUMINUM GUARDRAIL (BLACK)



UNPROTECTED OPENINGS UNIT "A"	
EXPOSING BUILDING FACE AREA : TOTAL :	52.87 m ²
LIMITING DISTANCE :	2.96 m
ALLOWABLE UNPROTECTED OPENINGS :	8.06 m ² = 22.99%
PROPOSED UNPROTECTED OPENINGS :	3.76 m ² = 7 %

REF. : TABLE 9.10.15.4 BCBC 2018



SALEHI ARCHITECT INC.

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CLIENT :

LTD.

PROJECT NO. 01 - 18

PROJECT :

322 - W 14TH
NORTH VANOUVER

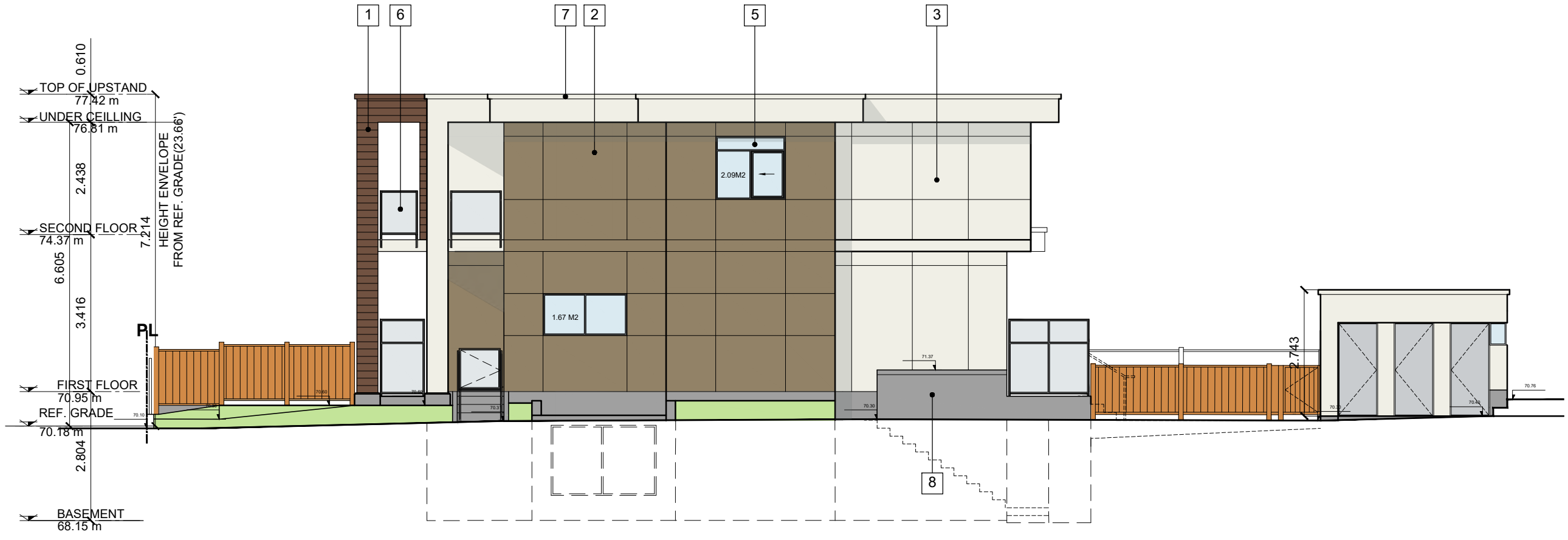
DRAWING TITLE :

WEST ELEVATION
"DUPLEX"

SEAL	A-07
DATE : 10-04-2019	
SCALE : 1/100	CHECKED : R.S.
	DRAWN : F.N.

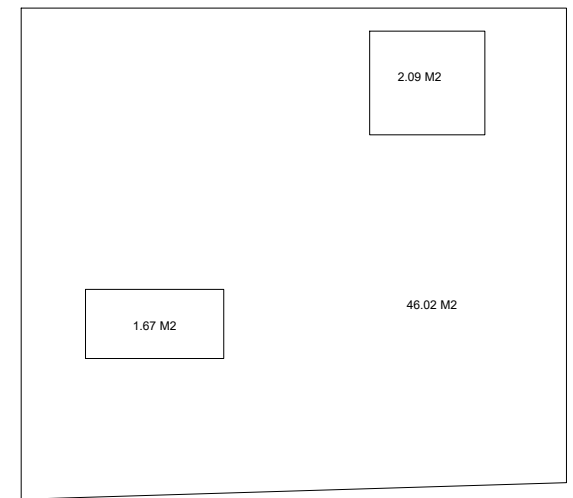
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DUPLEX EAST ELEVATION

FINISH MATERIALS LIST :					
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3	FIBER CEMENT HARDIE PANEL WHITE DOVE - OC 17 BENJAMIN MOORE	7	METAL FLASHING TO MATCH BACKGROUND COLOUR	12	STUCCO GALLERY BUFF- 305P-225 BENJAMIN MOORE
4	METAL ROOF LIGHT BRONZE	8	PAINTED CAST IN PLACE CONCRETE (SW 6254)	13	STAINED CEDAR POST CEDAR MILL SW 3512
		9	OAK SOLID WOOD DOOR PINE CONE - SW 3046	14	ALUMINUM GUARDRAIL (BLACK)



UNPROTECTED OPENINGS UNIT "B"	
EXPOSING BUILDING FACE AREA : TOTAL :	46.02 m ²
LIMITING DISTANCE :	1.87 m
ALLOWABLE UNPROTECTED OPENINGS :	3.68 m ² = 11.22%
PROPOSED UNPROTECTED OPENINGS :	3.76 m ² = 8 %

REF. : TABLE 9.10.15.4 BCBC 2018

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PROJECT NO. 01 - 18

PROJECT :
322 - W 14TH
NORTH VANOUVER

DRAWING TITLE :
EAST ELEVATION
"DUPLEX"

SEAL

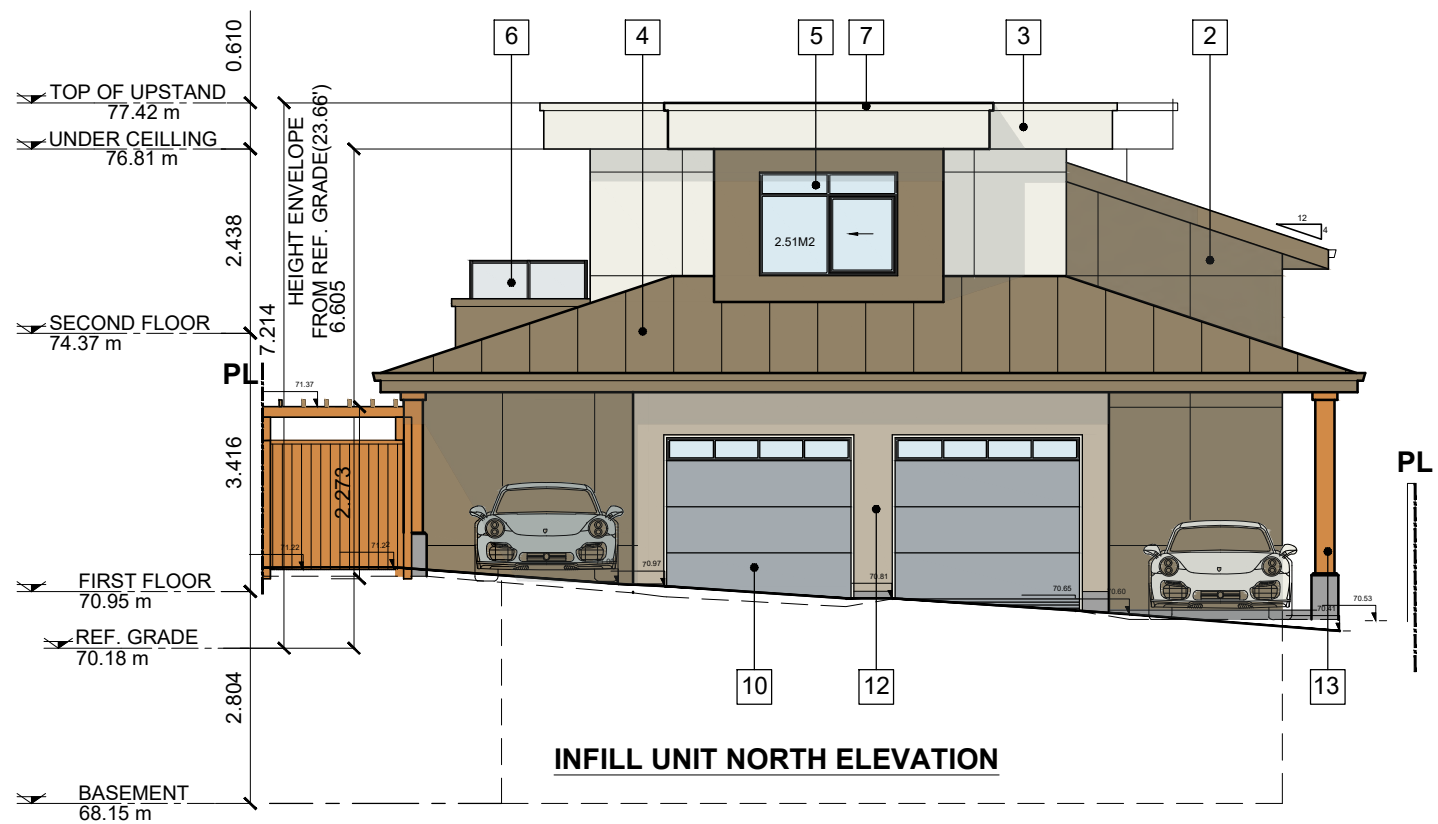
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DATE : 10-04-2019 DRAWN : F.N.

SCALE : 1/100 CHECKED : R.S.

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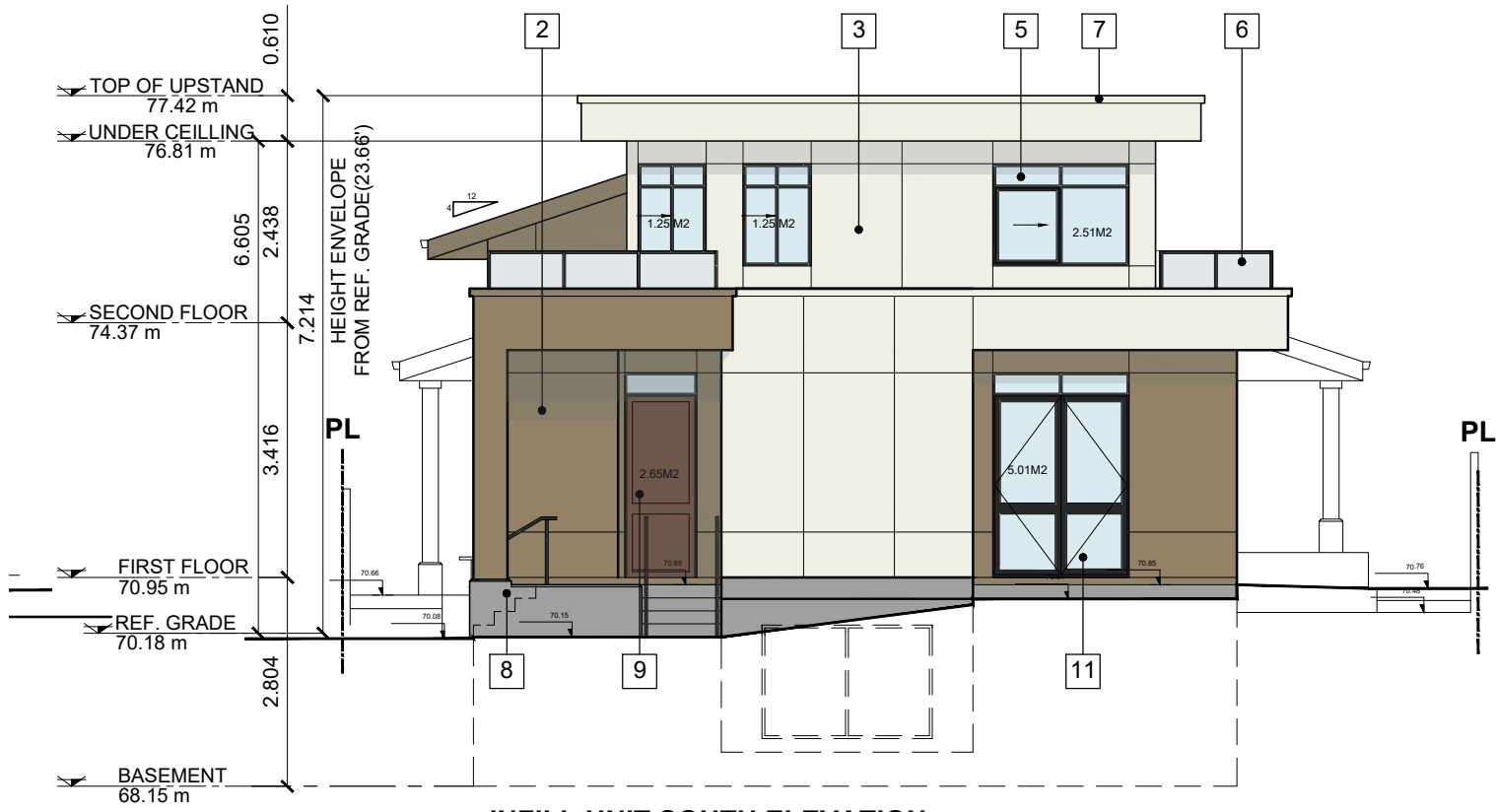
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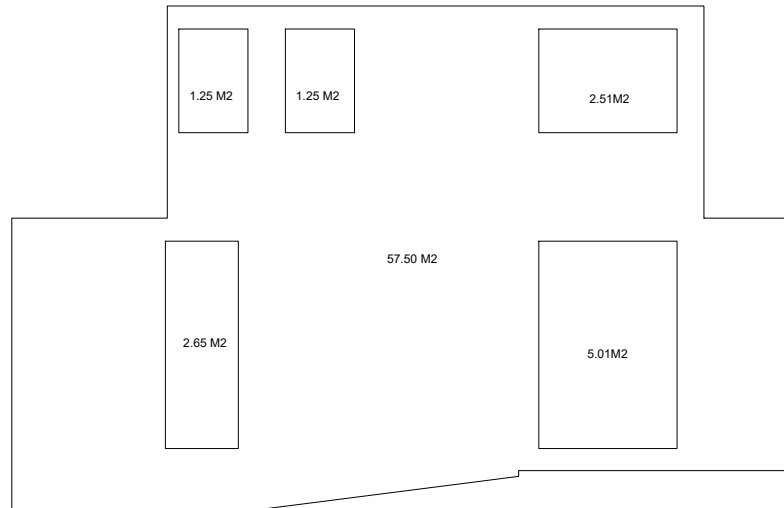
INFILL UNIT NORTH ELEVATION

FINISH MATERIALS LIST :

1 STAINED CEDAR SIDING PINE CONE - SW 3046	5 RESIDENTIAL VINYL WINDOW FRAMES WHITE COLOUR	10 INSULATED PVC GARAGE DOOR SHADOW GRAY- 2125-40 BENJAMIN MOORE
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4 METAL ROOF LIGHT BRONZE	8 PAINTED CAST IN PLACE CONCRETE (SW 6254)	13 STAINED CEDAR POST CEDAR MILL SW 3512
	9 OAK SOLID WOOD DOOR PINE CONE - SW 3046	14 ALUMINUM GUARDRAIL (BLACK)



INFILL UNIT SOUTH ELEVATION



UNPROTECTED OPENINGS UNIT "C"

EXPOSING BUILDING FACE AREA : TOTAL :	56.82 m ²
LIMITING DISTANCE :	5.48 m.
ALLOWABLE UNPROTECTED OPENINGS :	25.17 m ² = 48.87%
PROPOSED UNPROTECTED OPENINGS :	12.67 m ² = 22.3 %

REF. : TABLE 9.10.15.4 BCBC 2018



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PROJECT NO. 01 - 18

PROJECT :
322 - W 14TH
NORTH VANOUVER

DRAWING TITLE :
NORTH & SOUTH
ELEVATIONS
"INFILL"

SEAL

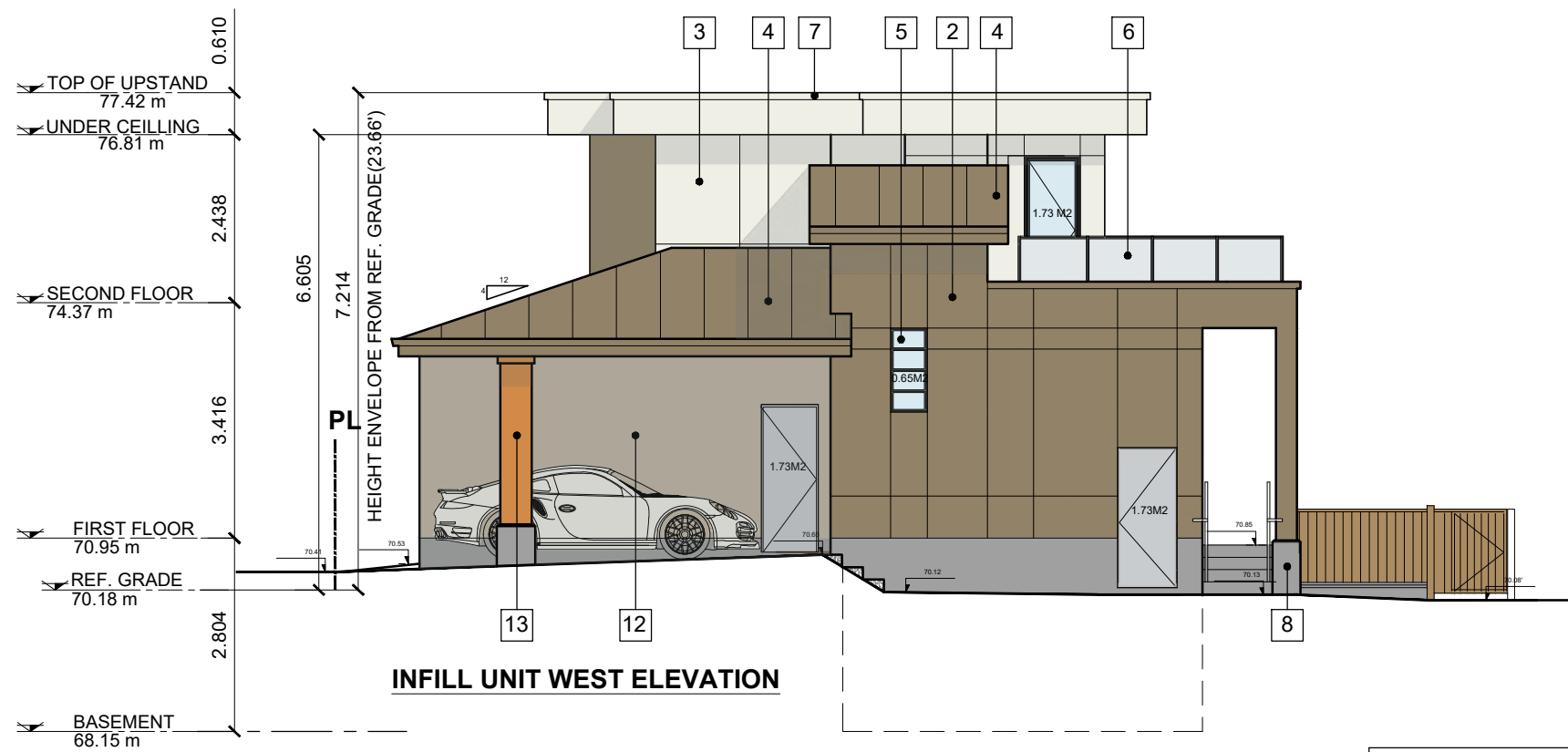
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DATE : 10-04-2019

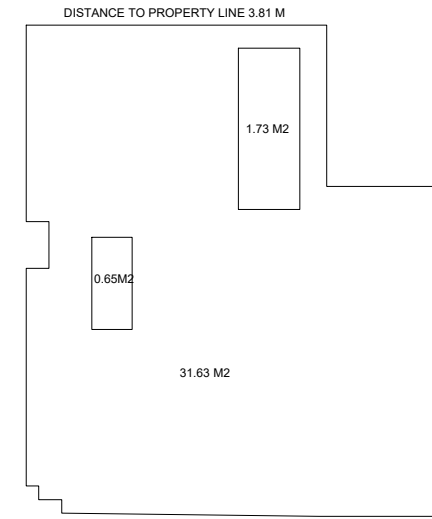
DRAWN : F.N.

SCALE : 1/100

CHECKED : R.S.



INFILL UNIT WEST ELEVATION



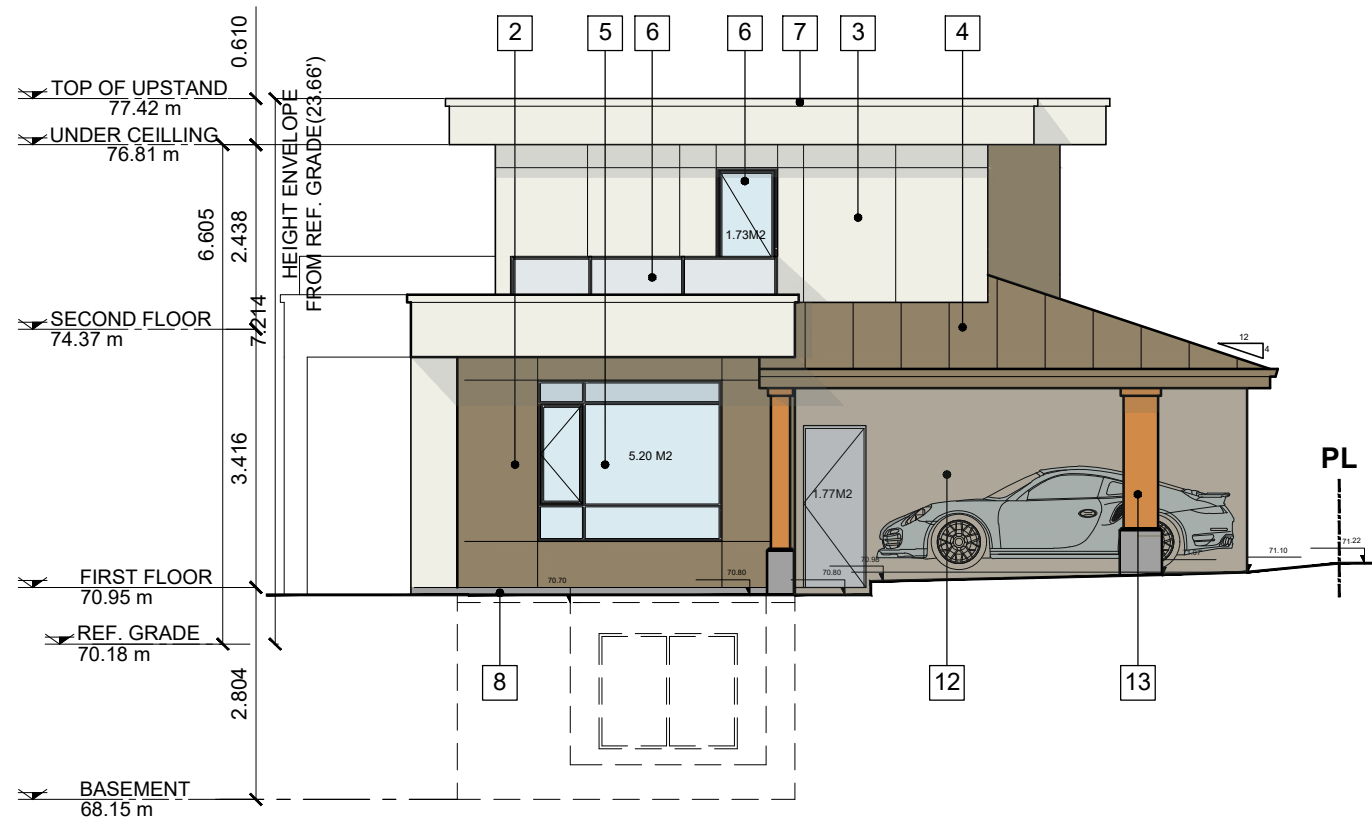
UNPROTECTED OPENINGS UNIT "INFILL"

EXPOSING BUILDING FACE AREA : TOTAL :	31.63 m ²
LIMITING DISTANCE :	1.75 m. - 3.81 m.
ALLOWABLE UNPROTECTED OPENINGS :	3.25 m ² = 10.5%
PROPOSED UNPROTECTED OPENINGS :	2.38 m ² = 7.5 %

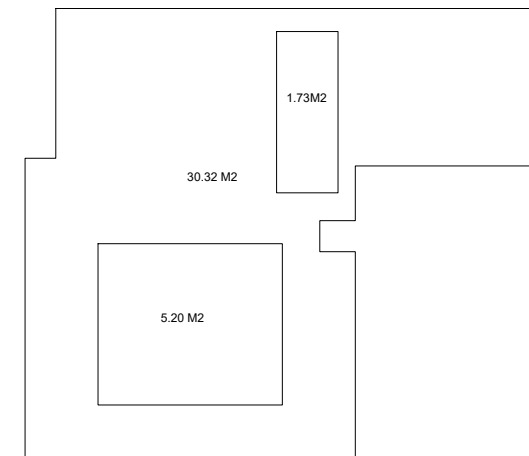
REF. : TABLE 9.10.15.4 BCBC 2018

FINISH MATERIALS LIST :

- | | | |
|--|---|---|
| 1 STAINED CEDAR SIDING
PINE CONE - SW 3046 | 5 RESIDENTIAL VINYL WINDOW FRAMES
WHITE COLOUR | 10 INSULATED PVC GARAGE DOOR
SHADOW GRAY- 2125-40 BENJAMIN MOORE |
| 2 FIBER CEMENT HARDIE PANEL
HAMMERED SILVER - SW 2840 | 6 ALUMINUM GUARDRAIL WITH CLEAR GLAZING
BLACK | 11 ALUMINUM PATIO / BALCONY DOORS |
| 3 FIBER CEMENT HARDIE PANEL
WHITE DOVE - OC 17 BENJAMIN MOORE | 7 METAL FLASHING
TO MATCH BACKGROUND COLOUR | 12 STUCCO
GALLERY BUFF- 305P-225 BENJAMIN MOORE |
| 4 METAL ROOF
LIGHT BRONZE | 8 PAINTED CAST IN PLACE CONCRETE
(SW 6254) | 13 STAINED CEDAR POST
CEDAR MILL SW 3512 |
| | 9 OAK SOLID WOOD DOOR
PINE CONE - SW 3046 | 14 ALUMINUM GUARDRAIL (BLACK) |



INFILL UNIT EAST ELEVATION



UNPROTECTED OPENINGS UNIT "INFILL"

EXPOSING BUILDING FACE AREA : TOTAL :	30.32 m ²
LIMITING DISTANCE :	3.16 m.
ALLOWABLE UNPROTECTED OPENINGS :	6.57 m ² = 21.86%
PROPOSED UNPROTECTED OPENINGS :	6.93 m ² = 22.8 %

REF. : TABLE 9.10.15.4 BCBC 2018

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PROJECT :

322 - W 14TH
NORTH VANOUVER

DRAWING TITLE :

WEST & EAST
ELEVATIONS
"INFILL"

SEAL

A-10

DATE : 10-04-2019

DRAWN : F.N.

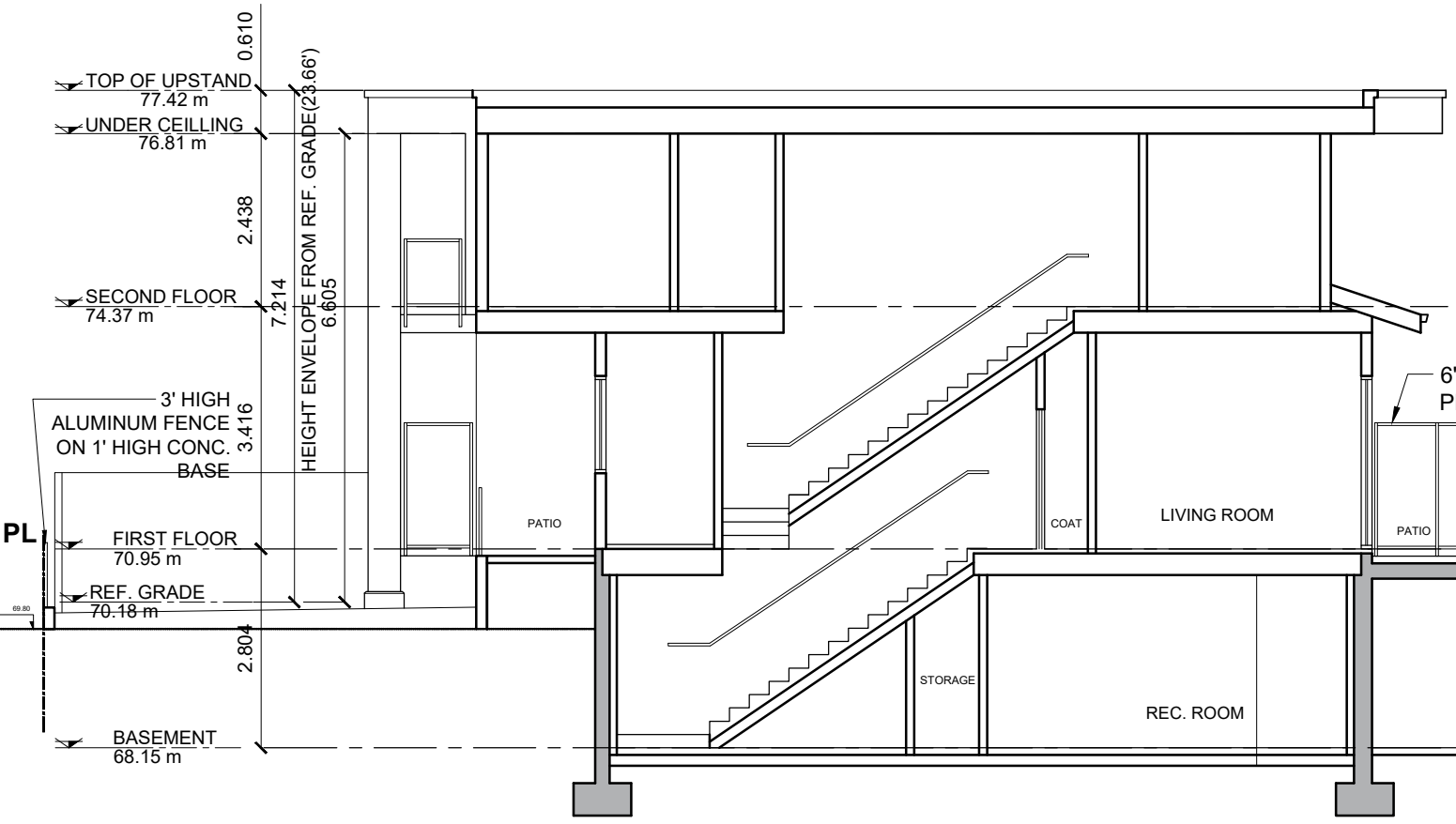
SCALE : 1/100

CHECKED : R.S.

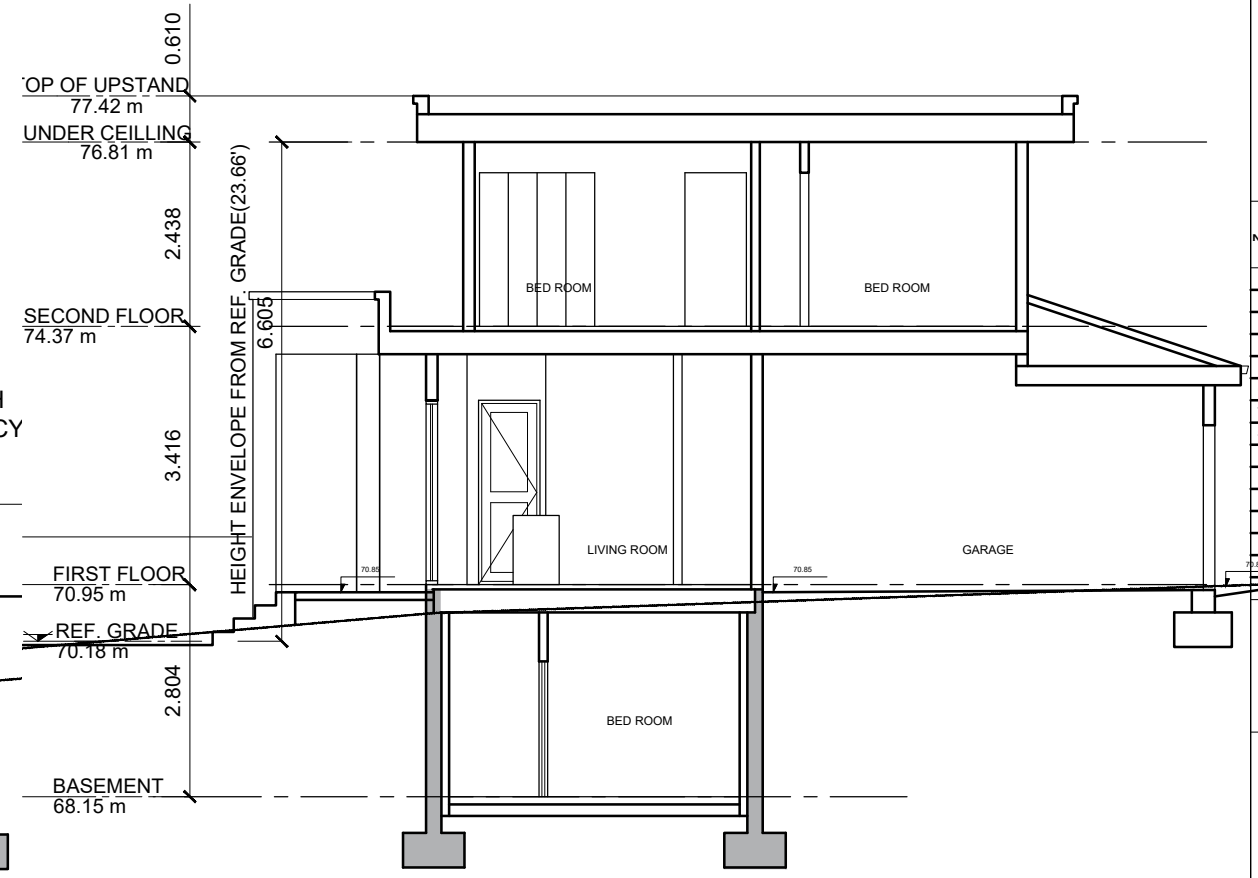
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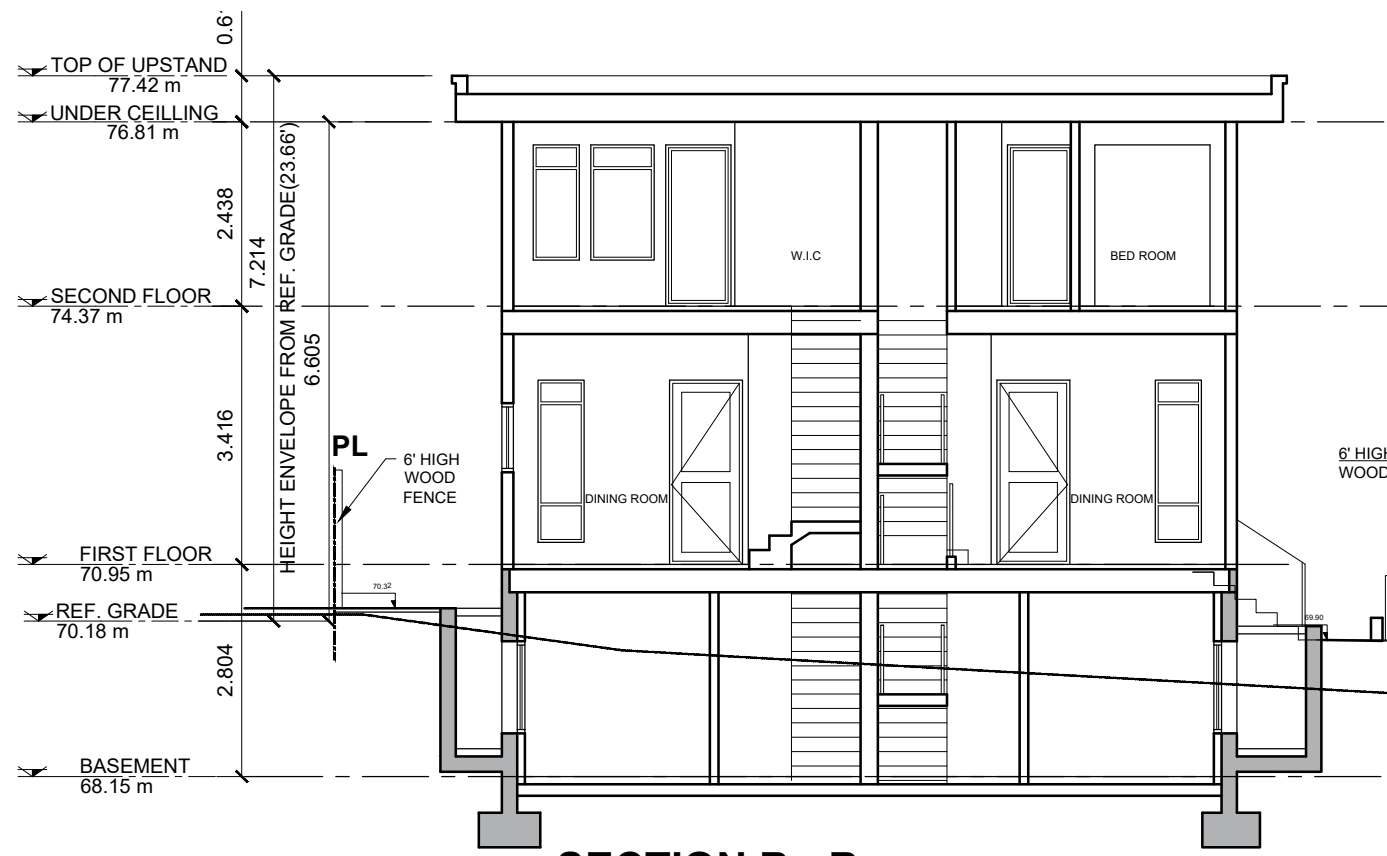
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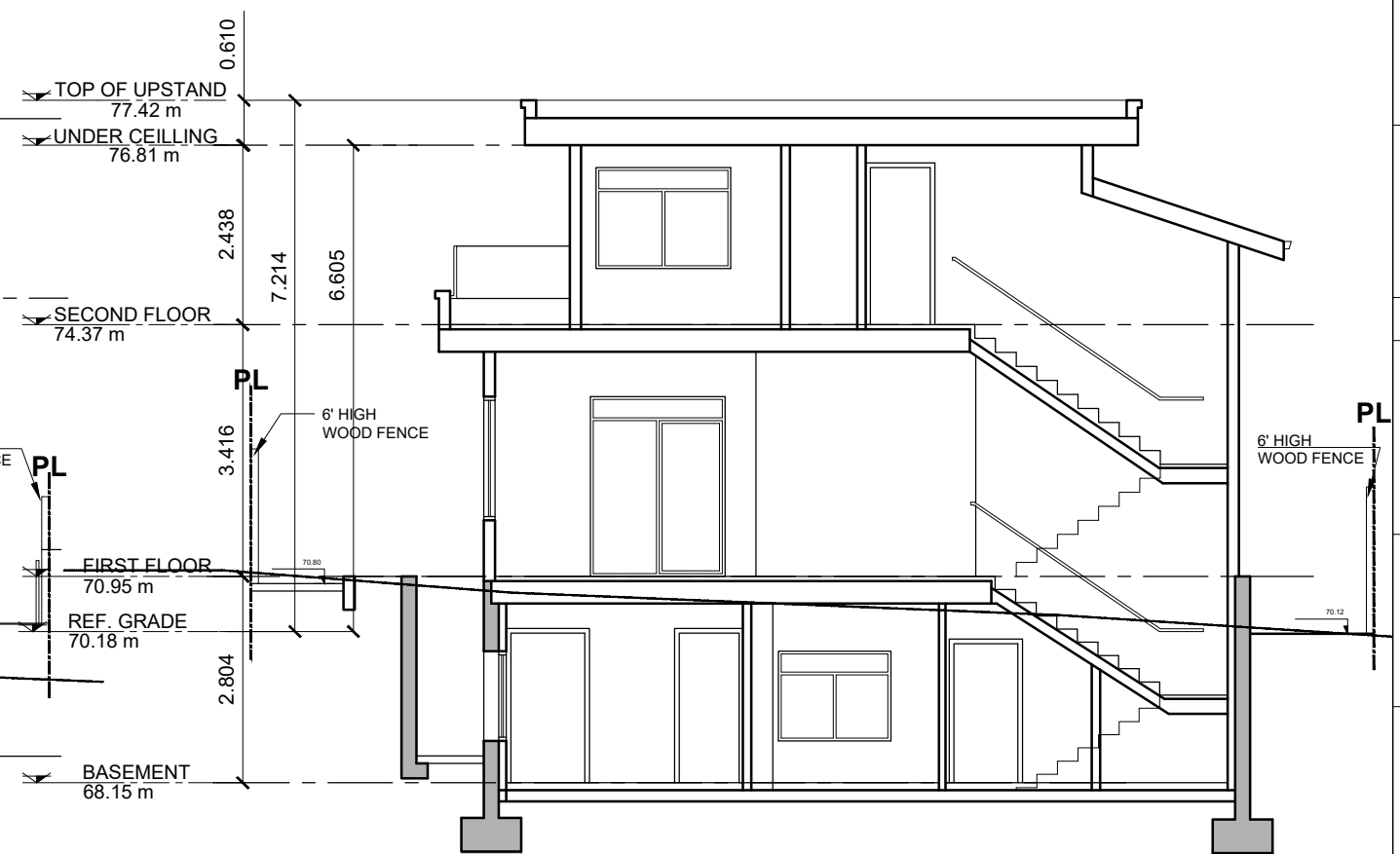
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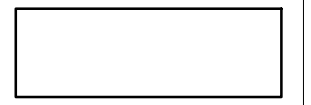
SECTION B - B



SECTION C - C



SECTION D - D



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322 - W 14TH
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DRAWING TITLE :

SECTIONS

SEAL

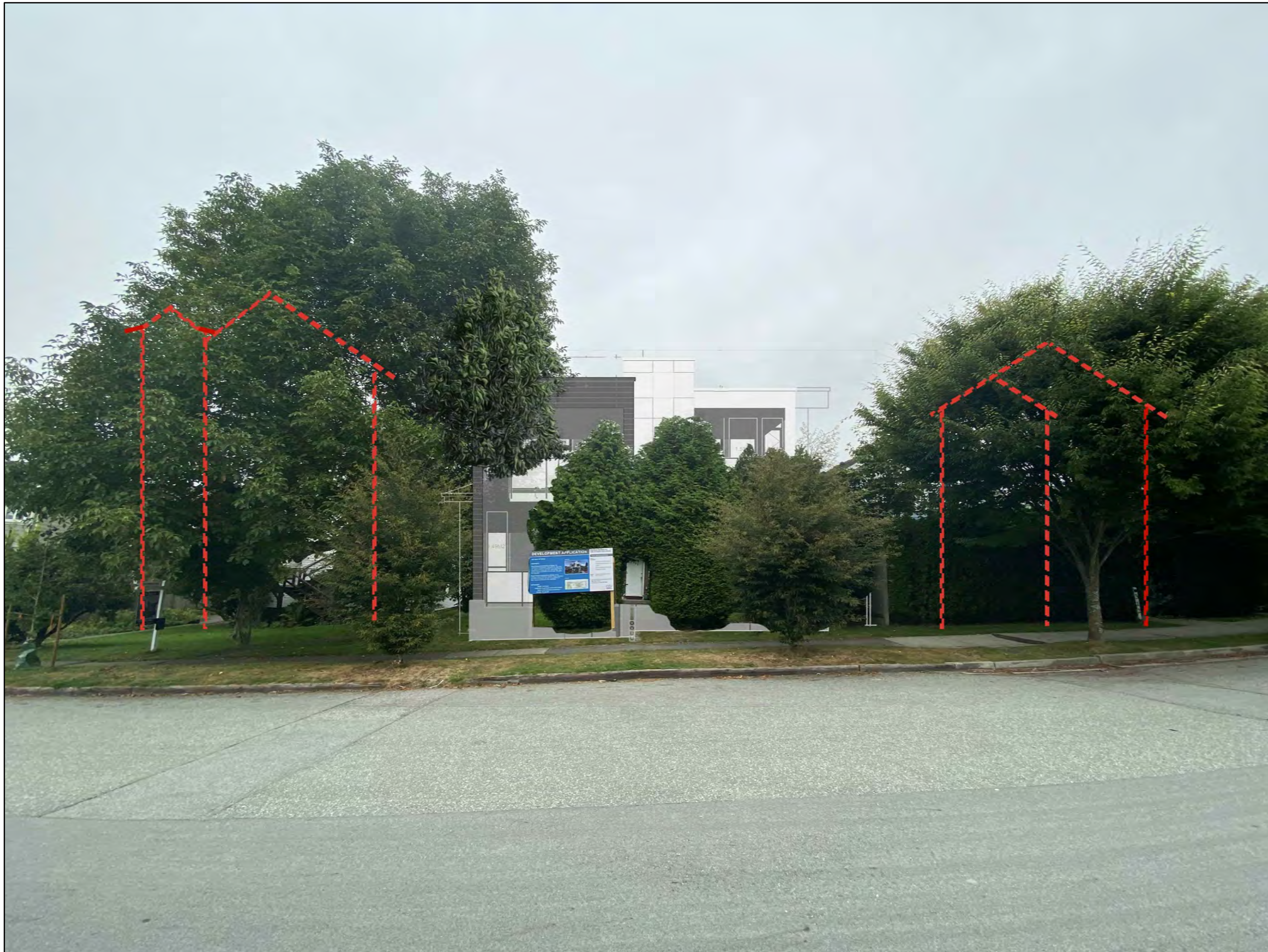
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DATE : 10-04-2019

DRAWN : F.N.

SCALE : 1/100

CHECKED : R.S.



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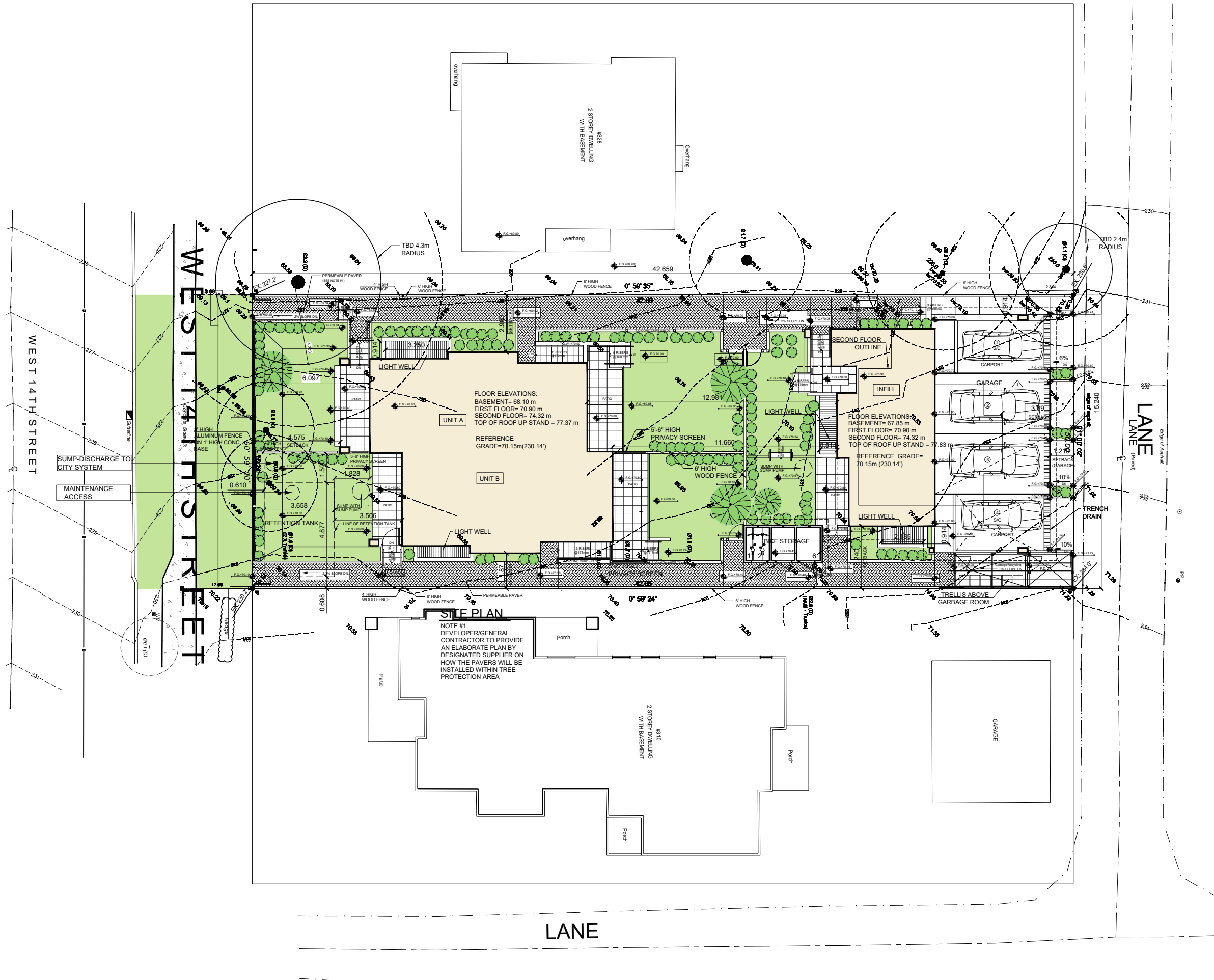
DRAWING TITLE :
 SUMMER STREETSCAPE

SEAL	A-15
DATE : 10-04-2019	DRAWN : F.N.
SCALE :	CHECKED : R.S.

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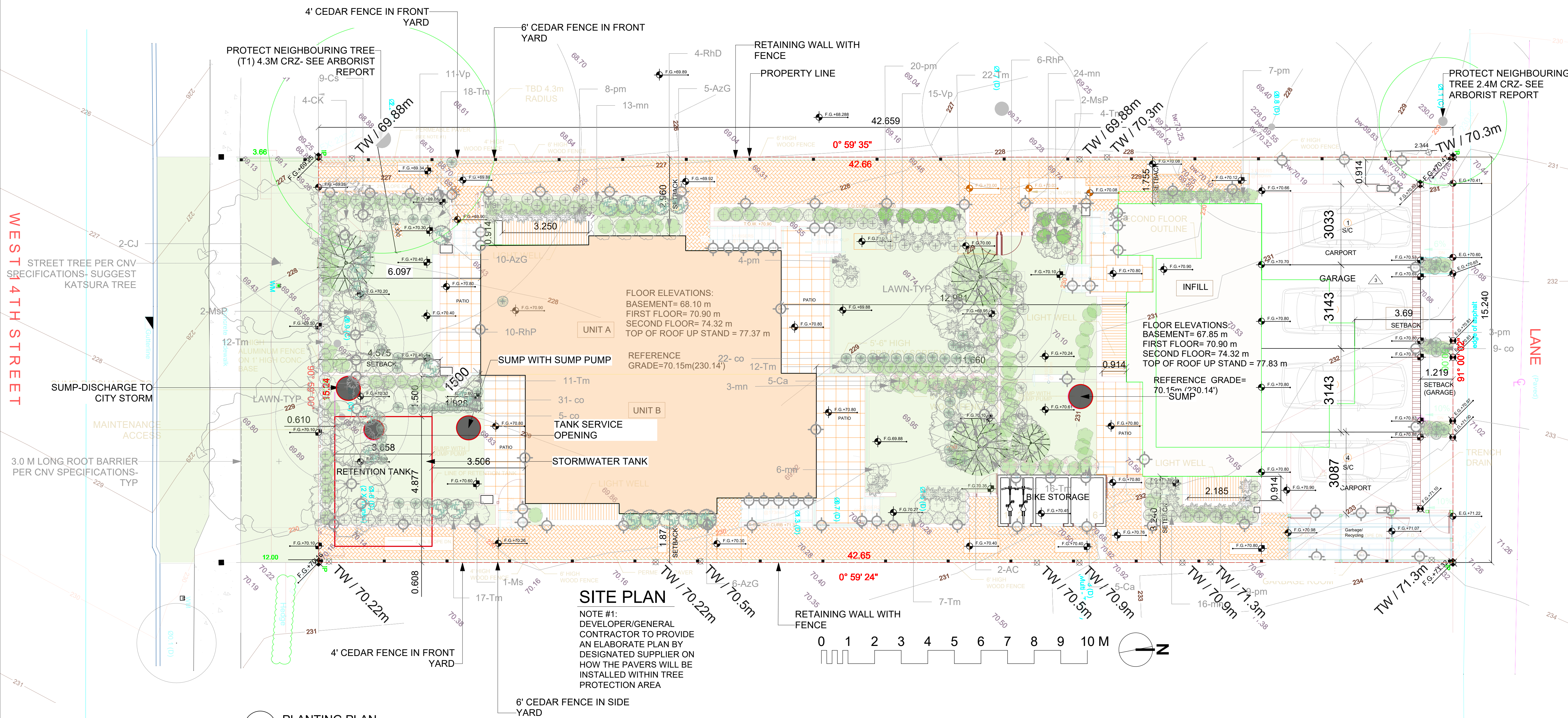
PROJECT NO. 01 - 18

PROJECT :
 322 - W 14TH
 NORTH VANCOUVER

DRAWING TITLE :
 CONTEXT SITE PLAN

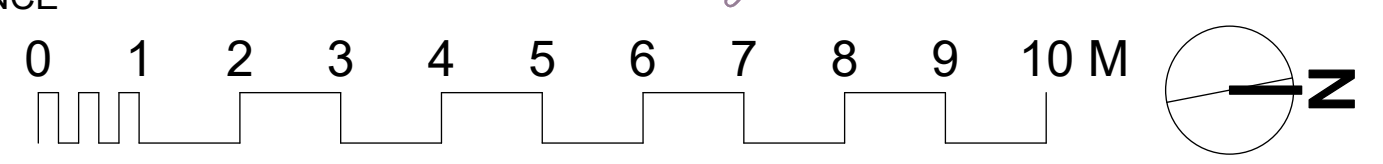
SEAL	A-16
DATE : 10-04-2019	DRAWN : F.N.
SCALE : 1/200	CHECKED : R.S.

CONTRACTOR'S RESPONSIBILITIES: Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Engineer)



18 PLANTING PLAN
Scale: 1:75

SITE PLAN
NOTE #1:
DEVELOPER/GENERAL CONTRACTOR TO PROVIDE AN ELABORATE PLAN BY DESIGNATED SUPPLIER ON HOW THE PAVERS WILL BE INSTALLED WITHIN TREE PROTECTION AREA



No.	Date	Issue/Revision Notes
1	1/20/2020	REVIEW
2	7/1/2020	SUBMIT
3	11/2/2020	ADP
4	2/2/2021	ADP
5	3/1/2021	ADP
6	4/7/2021	SUBMIT TO CITY
7	8/9/2021	BUILDING PERMIT

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Design Firm: SW LANDSCAPE ARCHITECT
919 MELBOURNE AVENUE, NORTH VANCOUVER
www.swlandscapearchitect.com
778 834-8959 cell

Client: 1209661 BC LTD.

Project Title: MULTI-FAMILY DWELLING
322 WEST 14TH STREET
NORTH VANCOUVER

Sheet Title: LAYOUT

Project Manager: STEVE WONG
Drawn By: SW

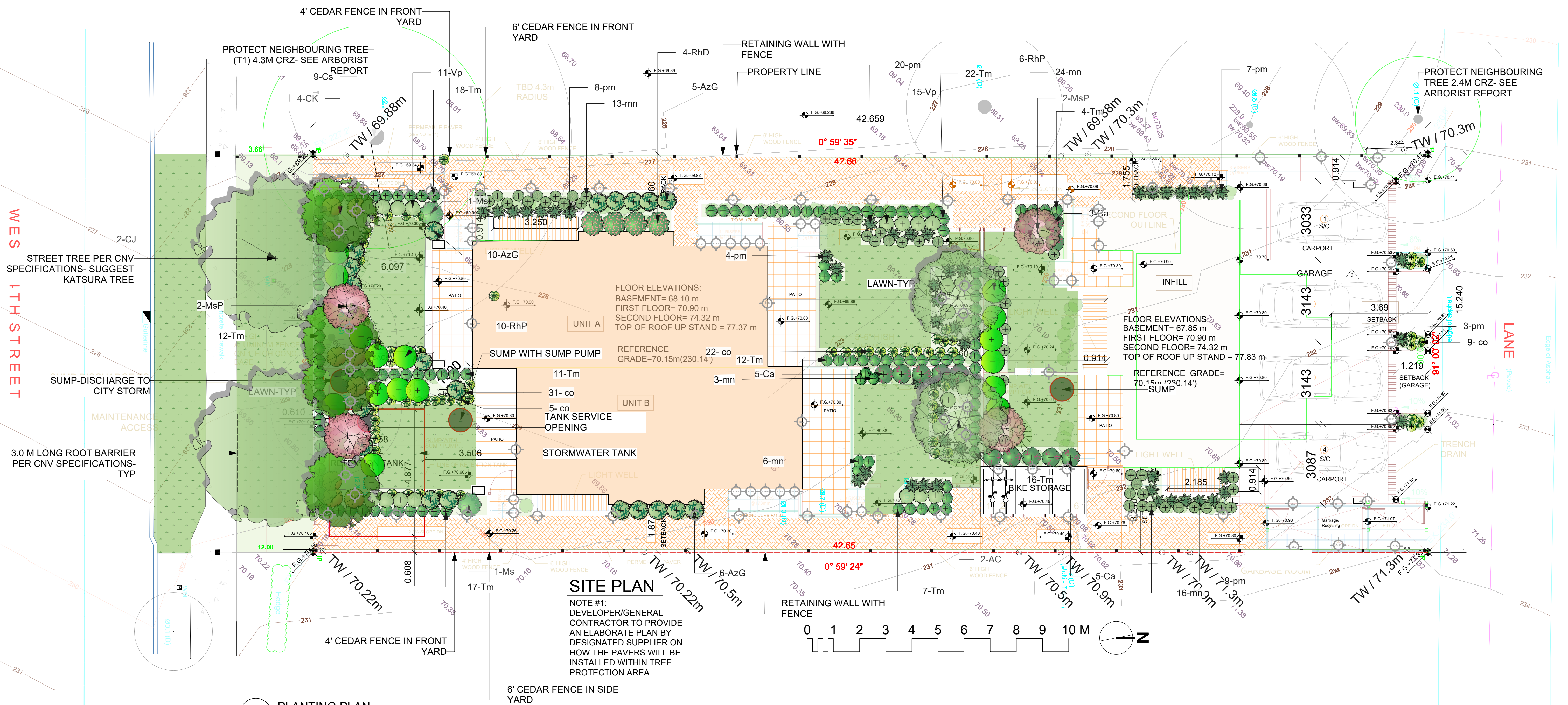
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Date: JANUARY/20/2020
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PLANT LIST 322 WEST 14 ST., CNV

Botanical Name	Common Name	No.	Size	Spacing	Sym
TREES					
Acer circinatum	Vine maple	2	2.4m	as shown	AC
Cercidiphyllum japonicum	Katsura tree	2	7 cm cal	as shown	CJ
(suggested street tree species)					
Cornus kousa 'Milky Way'	Chinese dogwood	4	7 cm cal	as shown	CK
SHRUBS					
Azalea 'Girard Fuchsia'	Azalea	21	#2 pot	as shown	AzG
Cornus alba 'Elegantissima'	Variegated dogwood	13	#2 pot	as shown	Ca
Cornus stolonifera	Redtwig dogwood	9	#2 pot	as shown	Cs
Magnolia stellata	Star magnolia	2	1.8m	as shown	Ms
Magnolia stellata 'Pink Star'	Star magnolia PS	4	1.8m	as shown	MsP
Rhododendron 'Dora Amateis'	Rhododendron	4	#5 pot	as shown	RhD
Rhododendron 'PJM'	Rhododendron	16	#5 pot	as shown	RhP
Taxus media 'Hillii'	Yew	119	1.2m	as shown	Tm
Vaccinium parvifolium	Red huckleberry	26	#2 pot	as shown	Vp
VINES, GROUND COVERS AND HERBACEOUS PERENNIALS					
Carex oshimensis 'Evergold'	Sedge	67	#1 pot	as shown	co
Mahonia nervosa	Dull Oregon grape	62	#1 pot	as shown	mn
Polystichum munitum	Western sword fern	51	#1 pot	as shown	pm

Contractor to be certified by BCNA
 All plants and installation to meet or exceed latest Canadian Landscape standard (CLS) #1 standards
 Contractor to verify numbers and placement of plants prior to installation



PLANTING PLAN
 Scale: 1:75

No.	Date	Issue/Revision Notes
1	1/20/2020	REVIEW
2	7/1/2020	SUBMIT
3	11/2/2020	ADP
4	2/2/2021	ADP
5	3/1/2021	ADP
6	4/7/2021	SUBMIT TO CITY
7	8/9/2021	BUILDING PERMIT

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 778 834-8959 cell

Client: 1209661 BC LTD.

Project Title: **MULTI-FAMILY DWELLING**
 322 WEST 14TH STREET
 NORTH VANCOUVER

Sheet Title: **PLANTING PLAN**

Project Manager: **STEVE WONG** Project ID: 2020-06
 Drawn By: **SW** Scale: AS NOTED

Date: **JANUARY/20/2020**
 CAD File Name: W 14 ST v5.vwx
 Sheet No.: **L-2**
 of 5

NOTE: REFER TO, AND COORDINATE
LANDSCAPE DRAWINGS WITH ARCHITECT
AND ENGINEER DRAWINGS

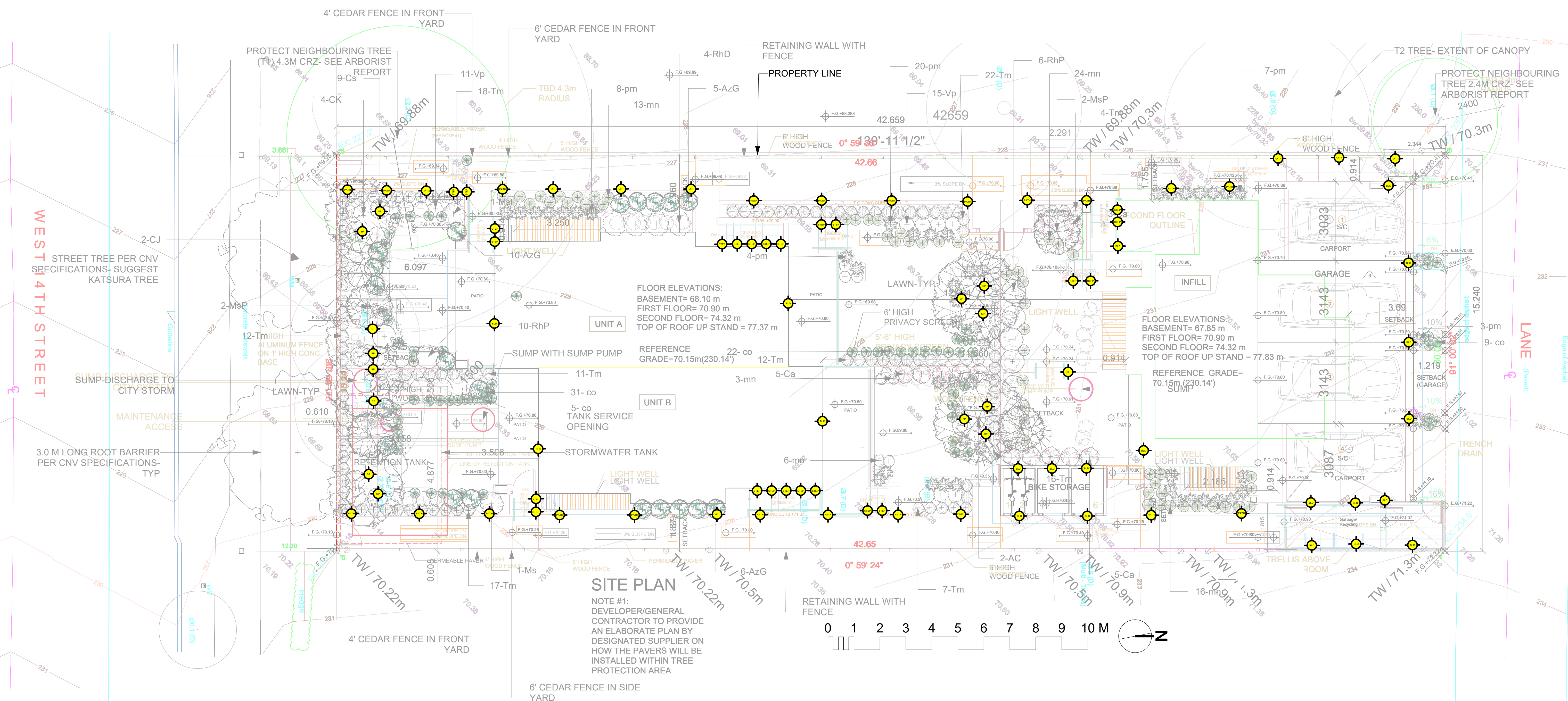
LIGHTING SCHEDULE

LIGHTING: ALL FIXTURES TO BE ENERGY EFFICIENT WITH LED LAMPS: by Maxtar Lighting, available from Builderpack Supplier, 604 770-3315, all lights to be LED lighting, 3000k running on 24 volts. Uplighting/ Spotlights: Model EM-SP16W292L-COL, 6 watt/fixture; Powdercoated black aluminum. Wall/ Step Lighting: Model EM-STE5WW245407-KP, 5.3 watts/fixture; Stainless Steel finish. Pathlighting: Model EM-LAW8W12558-600/1000-ROY, 7.5 watt/fixture; Powdercoated black aluminum

LIGHTING LEGEND

- BUILDING
- PATH
- SPOT
- STEPWALL

CONTRACTOR'S RESPONSIBILITIES: Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Engineer)



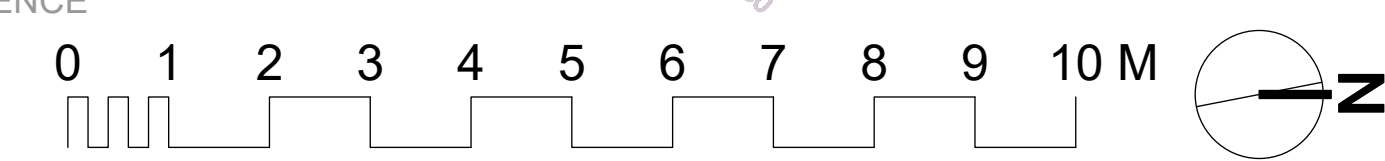
WEST 4TH STREET

LANE (Paved)

FLOOR ELEVATIONS:
BASEMENT= 68.10 m
FIRST FLOOR= 70.90 m
SECOND FLOOR= 74.32 m
TOP OF ROOF UP STAND = 77.37 m

FLOOR ELEVATIONS:
BASEMENT= 67.85 m
FIRST FLOOR= 70.90 m
SECOND FLOOR= 74.32 m
TOP OF ROOF UP STAND = 77.83 m

SITE PLAN
NOTE #1:
DEVELOPER/GENERAL
CONTRACTOR TO PROVIDE
AN ELABORATE PLAN BY
DESIGNATED SUPPLIER ON
HOW THE PAVERS WILL BE
INSTALLED WITHIN TREE
PROTECTION AREA



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322 WEST 14TH STREET
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Sheet Title
LIGHTING PLAN

Project Manager
STEVE WONG

Project ID
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Drawn By
SW

Scale
AS NOTED

Date
JANUARY/20/2020

Sheet No.
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LIGHTING PLAN
Scale: 1:75

LANDSCAPE STATEMENT OF INTENT

The landscape was designed to be compatible with the 3 dwelling units that are planned for this small area. The plants help to define and provide some degree of separation and privacy between adjacent dwelling units. The landscape plants were chosen to be attractive in all seasons, low maintenance, sustainable and at a reasonable cost.

The exterior landscape provides for safe passage through the site at night, as well as including some upward spot lights directed to the trees for ambience as well as general lighting. All the lighting fixtures are low voltage LED for sustainable operation and long life.

GENERAL NOTES

- Contractor and their subcontractors and workers to be sufficiently insured and have WCB coverage
- Work to be done by the industry certified personnel. All work to be done to meet or exceed industry standards
- Contractor to adhere to safe work practices on site
- Contractor to confirm location of all utilities and to protect throughout construction
- Contractor to verify layout dimensions, measurements and grades prior to bidding and construction and to inform consultant of any discrepancies
- The landscape drawings are intended to meet municipal Zoning and Building By-Laws. The Contractor is responsible for obtaining approved Engineering drawings and sign-off for all structural and geotechnical work, including all retaining walls over 4 feet in height, or where there are issues with soil stability
- All stairs to have handrails and all drops in elevation of 600 mm or more to have guardrails per BC Building By-Law
- All manufactured products (eg segmental block walls/stairs, pavers, irrigation, lighting) to be installed per manufacturer's instructions
- If there are retained trees on site, all work to be outside the tree protection zone unless approved by certified ISA arborist

LANDSCAPE NOTES

- All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery landscape Association, per Specifications section.
- All landscape works to be carried out by a contractor with minimum 5 years' experience doing similar work, who is a member in good standing with the appropriate trade organization: eg. B.C. Landscape and Nursery Association (BCLNA), Irrigation Industry Association of B.C. (IIABC). Execution of work to be under the direct supervision of qualified industry certified technicians.
- All grades to meet adjacent grades at property line
- All stormwater is to be contained on site and away from adjacent properties
- All hard surfaces to be sloped a minimum of 1.0% to avoid standing water
- All lawns to be sloped a minimum of 2% to avoid standing water
- No slopes to be steeper than 2.5 horizontal: 1 vertical
- All plant material and growing medium to meet Canadian Landscape Standard #1 specifications
- All shrub beds to contain minimum 18" (450) mm depth of approved growing medium over scarified subgrade

- All lawn areas to contain minimum 6" (150) mm of approved growing medium over scarified subgrade
- Installation to be reviewed by a registered Landscape Architect

MATERIALS LIST (as applicable)

CONCRETE WALKS: Medium broom finish with 2% cross slope, over 4" compacted granular base, expansion joints as required, control joints 5'OC and where potential for cracking

CONCRETE STEPS: Medium broom finish, sloped 2% to front of tread

PAVERS: by Abbotsford Concrete Products, Standard Series, 4 7/16" by 8 7/8" by 2 3/8" inches, Granite Blend, mixed with half standard and double standard sizes to suit owner; pavers over 1" bedding sand and minimum 4" compacted 3/4" minus base course.

PERMEABLE PAVERS: by Abbotsford Concrete Products, Standard Series, 4 5/16" by 8 3/4" by 3 1/8" inches, Granite Blend, running bond with soldier course, installed per manufacturer's instructions.

LANDSCAPE SLABS: by Abbotsford Concrete Products, Hydrapressed slabs, typically 18" by 18", 24" by 24" by 1 5/8", over 4" compacted granular base

ASPHALT: 3" of compacted hot mix asphalt applied in 2 lifts over 4" of well compacted 3/4" minus base course.

ADDRESS POST: Architectural concrete finish, with square edges

WOOD FENCE : 1 X6 cedar boards, finished with Sikkens semi-transparent cedar stain

GATES: 1 X6 cedar boards, finished with Sikkens semi-transparent cedar stain

RAILINGS: 42" high, powder coated medium gloss black aluminum, where there is a fall height of 2' or more, installed to code

HANDRAILS FOR STAIRS: 36" high, powder coated medium gloss black aluminum, installed to code

PLANT MATERIAL: All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards.

SOD: sand based sod (Perennial rye/Kentucky bluegrass) with no netting. Supplied by Bos Sod Farms, or equivalent

GROWING MEDIUM: in accordance with CLS standards; **FOR TURF AREAS:** Level 2H (High Traffic Lawn Areas), containing by weight: 70-90% sand, maximum 15% fines (max 15% clay), 3-5% organic matter, with pH between 6-7; **FOR PLANTING AREAS:** Level 2P (Planting Areas), containing by weight: 40-80% sand, maximum 35% fines (max 25% clay), 10-20% organic matter, with pH between 4.5-6.5. Supplied by Veratec Engineered Products, or equivalent; 6" min for lawn areas, 18" min for planted areas, over scarified base. Soil samples to be submitted by contractor to Pacific Soil Analysis for analysis to confirm conformance with CLS specifications. Address: 5-11720 Voyageur Way Richmond, BC V6X 3G9; Phone (604) 273-8226

MULCH: to be composted fir bark, having dark brown, fine texture and 1/2" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil and Mulch (604 465-5193) or equivalent.

IRRIGATION: SUSTAINABLE, LOW FLOW SYSTEM: Rainbird ESP-mw WiFi compatible controller, 4-22 stations, or equivalent, with outdoor control box, mounted on side of the house, with electrical plug-in. Shrub spray, turf heads and valves to be Rainbird, and installed per Irrigation Industry Association of B.C. (IIABC) standards for residential installations, with shrub and lawn areas on separate zones. Contractor to submit proposed irrigation design for approval by Landscape Architect.

LIGHTING: ALL FIXTURES TO BE ENERGY EFFICIENT WITH LED LAMPS: by Maxtar Lighting, available from Builderpack Supplier, 604 770-3315, all lights to be LED lighting, 3000k running on 24 volts. Uplighting/ Spotlights: Model EM-SP16W292L-COL, 6 watt/fixture; Powdercoated black aluminum. Wall/ Step Lighting: Model EM-STES5WW245407-KP, 5.3 watts/fixture; Stainless Steel finish. Pathlighting: Model EM-LAW8W12558-600/1000-ROY, 7.5 watt/fixture; Powdercoated black aluminum



L-PATH LIGHT

SPECIFICATIONS

Performance	
Wattage	6W
Voltage	10-15V
Lumen	500lm
CCT	3000K/4000K
CRI	>80

LED PATH LIGHTING Scale: 1:25

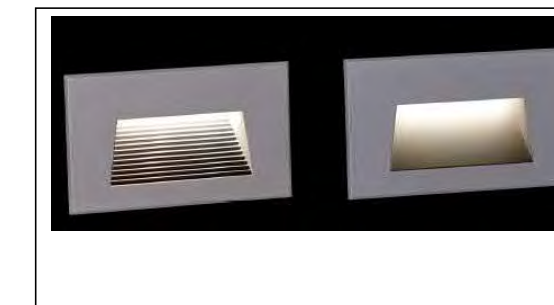


LED Garden SPOT LIGHT

SPECIFICATIONS

Performance	
Efficiency	80 lm/watt
CCT	3000 K
CRI	≥80
Voltage	12V AC/DC
Wattage	6W

LED SPOTLIGHT Scale: 1:25



RECESSED LED WALL LIGHT

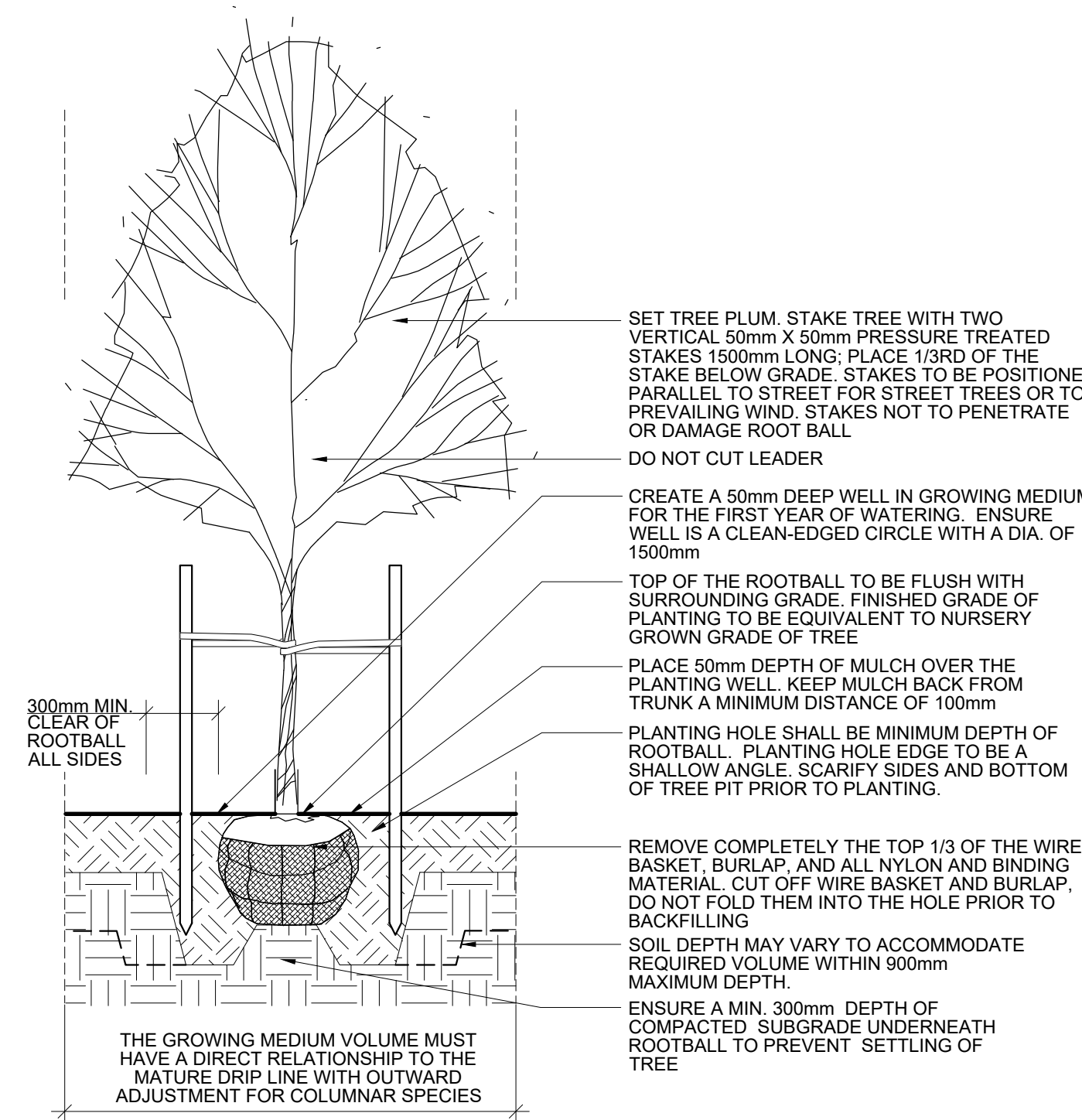
SPECIFICATIONS

Performance	
CCT	3000 K
Operating Current	227 MA
Voltage	24V DC
Wattage	5.4W
Lumens	96.5 lm

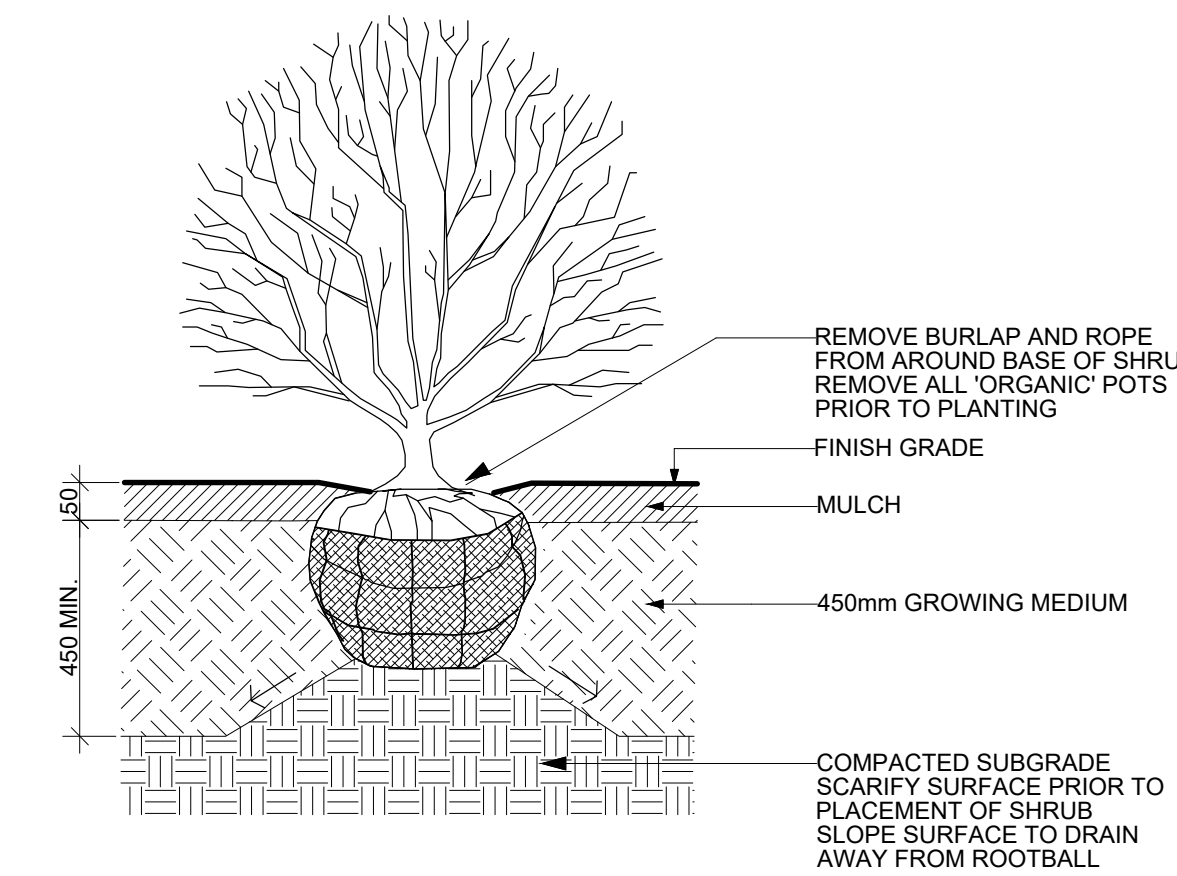
DESCRIPTION

•Housing: 12" Die-Casting Grey Powder

LED STEP LIGHT Scale: 1:25

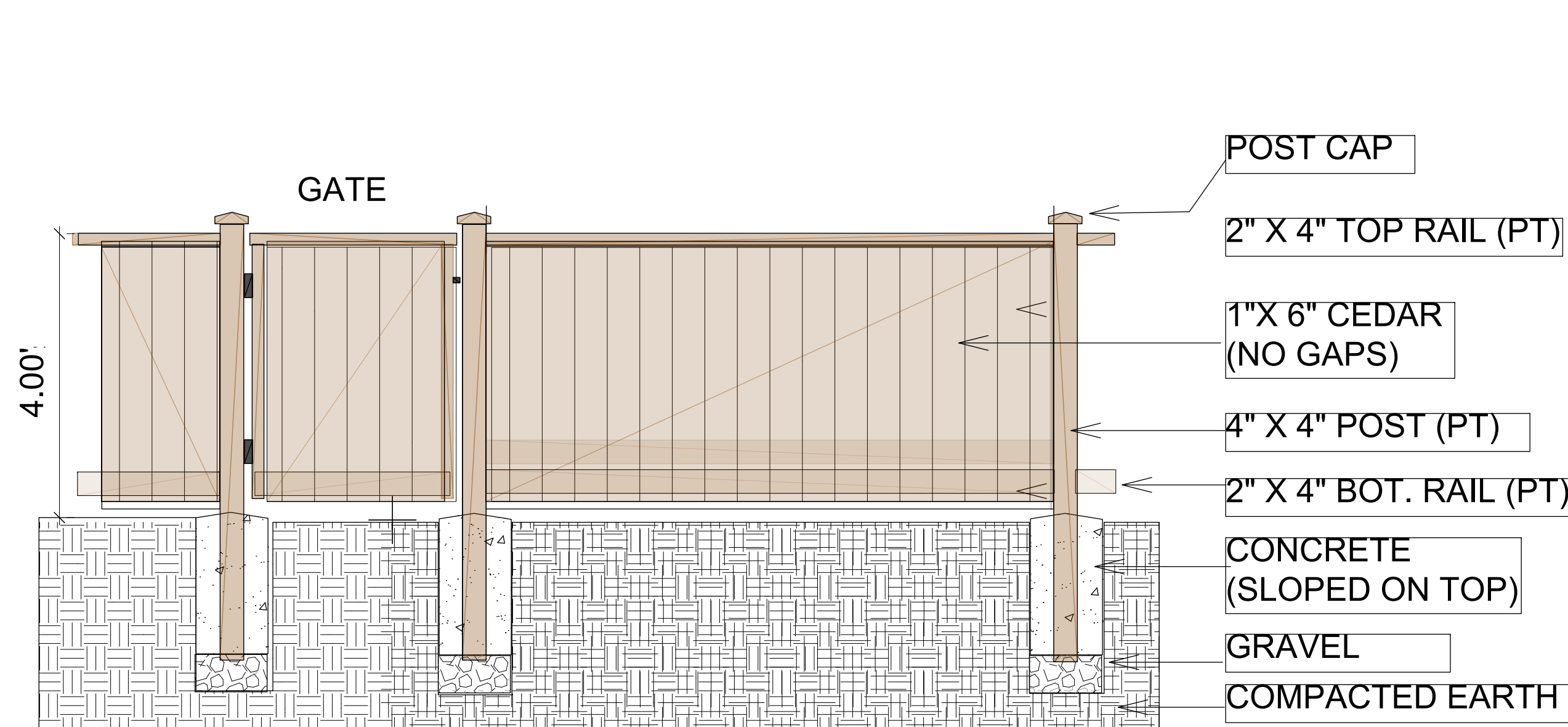


TREE PLANTING DETAIL Scale: N/A

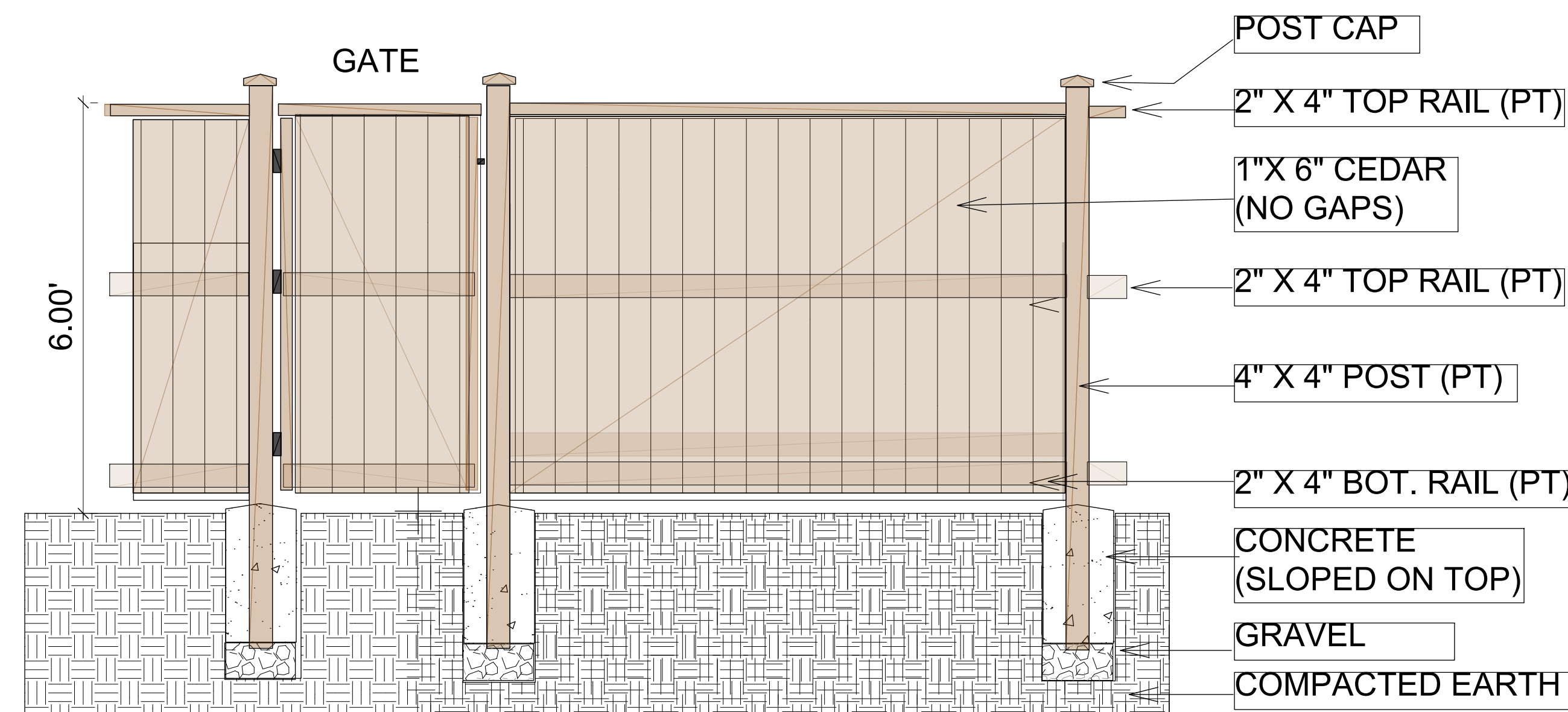


- NOTES:**
- SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE OF GROWING MEDIUM.
 - COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB
 - PLANTING PIT MUST BE FREE DRAINING

SHRUB PLANTING DETAIL Scale: N/A



4' WOOD FENCE-FRONT YARD Scale: 1:20



6' WOOD FENCE-BACK/SIDE YARD Scale: 1:20

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DETAILS

Project Manager: STEVE WONG Project ID: 2020-06

Drawn By: SW Scale: AS NOTED

Sheet No. L-4

Date: JANUARY/20/2020

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