



SEAL
2021-10-05

ISSUED

REVISION		
No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
3	2021 10 01	DP SUBMISSION

PROJECT
KNOWLES RESIDENCE
 328 W 14th ST,
 CITY OF NORTH VANCOUVER,
 BC V7M 1P6

DRAWING
COVER

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	07/23/21
SCALE	REVIEWED
12" = 1'-0"	
PROJECT NO	2085

A0



328 W 14th Street

KNOWLES RESIDENCE RENOVATION + ADDITION

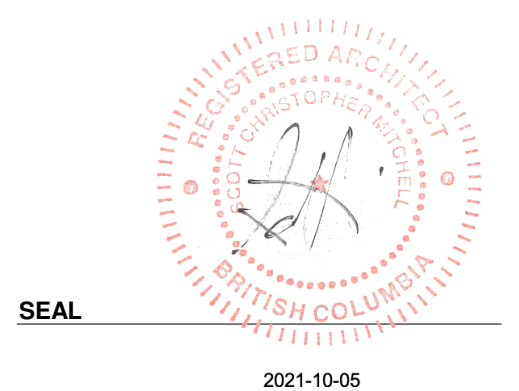
CITY OF NORTH VANCOUVER, BC V7M 1P6

328 W 14th Street

CITY OF NORTH VANCOUVER, BC V7M 1P6

KNOWLES RESIDENCE RENOVATION + ADDITION

KNOWLES RESIDENCE RENOVATION + ADDITION - REZONING DP APPLICATION 2021 10 01



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1	2021 07 23	REZONING APP DRAFT
2	2021 08 27	CLIENT REVIEW
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DRAWING
STATS

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	07/20/21
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As indicated	
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A0-01



PROJECT DATA

CIVIC ADDRESS	328 WEST 14TH STREET, NORTH VANCOUVER, BC
LEGAL DESCRIPTION	LOT 19 BLOCK 47 DISTRICT LOT 271 PLAN: 1658
ZONING	OCP RESIDENTIAL LEVEL 2 EXISTING ZONING: RS1 PROPOSED REZONING : CD ~ 50 F x 140 F
LOT DIMENSIONS	
SITE AREA	7,002 SF / 650.5 m ²
RS-1 FSR	0.5
RS-1 FSR AREA	3,501 SF
HERITAGE BONUS (HB) (~ 1/2 EXISTING ABOVE GRADE AREA)	989 SF
TOTAL FSR ALLOWED	4,490 SF
TOTAL FSR PROPOSED	4,485 SF
SITE COVERAGE	PERMITTED: 35% = 2,451 SF EXISTING: 16% = 1,110 SF PROPOSED: 51% = 3,571 SF
EXISTING HEIGHT	RIDGE HEIGHT 33'-8"
PROPOSED HEIGHT	MAIN RIDGE HEIGHT 33'-8" INFILL RIDGE HEIGHT 26'-10"
EXISTING SETBACKS	FRONT YARD 35.9 FT REAR YARD 68.0 FT SIDE YARD WEST 9.3 FT SIDE YARD EAST 7.6 FT
PROPOSED SETBACKS	PRINCIPAL FRONT YARD 15.9 FT PRINCIPAL REAR YARD 66.0 FT PRINCIPAL SIDE YARD WEST 9.9 FT PRINCIPAL SIDE YARD EAST 6.2 FT INFILL SIDE YARD WEST 4.0 FT INFILL SIDE YARD EAST 4.0 FT INFILL REAR YARD 10.0 FT PRINCIPAL TO INFILL @ GRADE 20.7 FT PRINCIPAL TO INFILL @ LEVEL 1 ~33.0 FT

DRAWING LIST

A0	COVER
A0-01	STATS
A0-03	EXISTING SITE PLAN (SURVEY)
A0-04	SITE PLAN
A0-05	EXISTING ELEVATIONS S&W
A0-06	EXISTING ELEVATIONS N&E
A0-07	EXISTING FLOOR PLANS
A0-08	DEMO PLANS
A0-09	NEW CONSTRUCTION PLANS
A1-00	BASEMENT PLAN - HERITAGE
A1-01	MAIN LEVEL PLAN - HERITAGE
A1-02	UPPER LEVEL PLAN - HERITAGE
A2-00	BASEMENT PLANS - INFILL
A2-01	MAIN LEVEL PLANS - INFILL
A2-02	UPPER LEVEL PLANS - INFILL
A3-01	ELEVATIONS - HERITAGE
A3-02	ELEVATIONS - HERITAGE
A3-03	ELEVATIONS - INFILL
A3-04	ELEVATIONS - INFILL
A3-05	ELEVATIONS - HERITAGE & INFILL + REFLECTED WINDOWS
A4-01	HERITAGE SECTIONS
A4-02	INFILL SECTIONS
A5-01	LEVEL 2 ADAPTABLE GUIDELINES - LOCK-OFF SUITES
A6-01	AREA PLANS
A6-02	SHADOW STUDIES
25	

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE ADDITION	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
HERITAGE DECK TO BE REINSTATED	628 SF	226 SF	408 SF	634 SF	1,262 SF
			LESS 31 SF	LESS 31 SF	LESS 31 SF
	1,609 SF	1,337 SF	1,240 SF	2,577 SF	4,186 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	481 SF	936 SF	1,334 SF
	767 SF	831 SF	1,078 SF	1,909 SF	2,676 SF
	2,376 SF (EXCLUDED)			4,485 SF	6,861 SF

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	682 SF	638 SF	1,361 SF	2,126 SF
UNIT 1 LOCK-OFF	765 SF	0 SF	0 SF	765 SF	
UNIT 2 EAST	42 SF	655 SF	603 SF	1,299 SF	2,059 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	481 SF	1,335 SF	1,335 SF
	2,375 SF	2,168 SF	2,318 SF	6,862 SF	

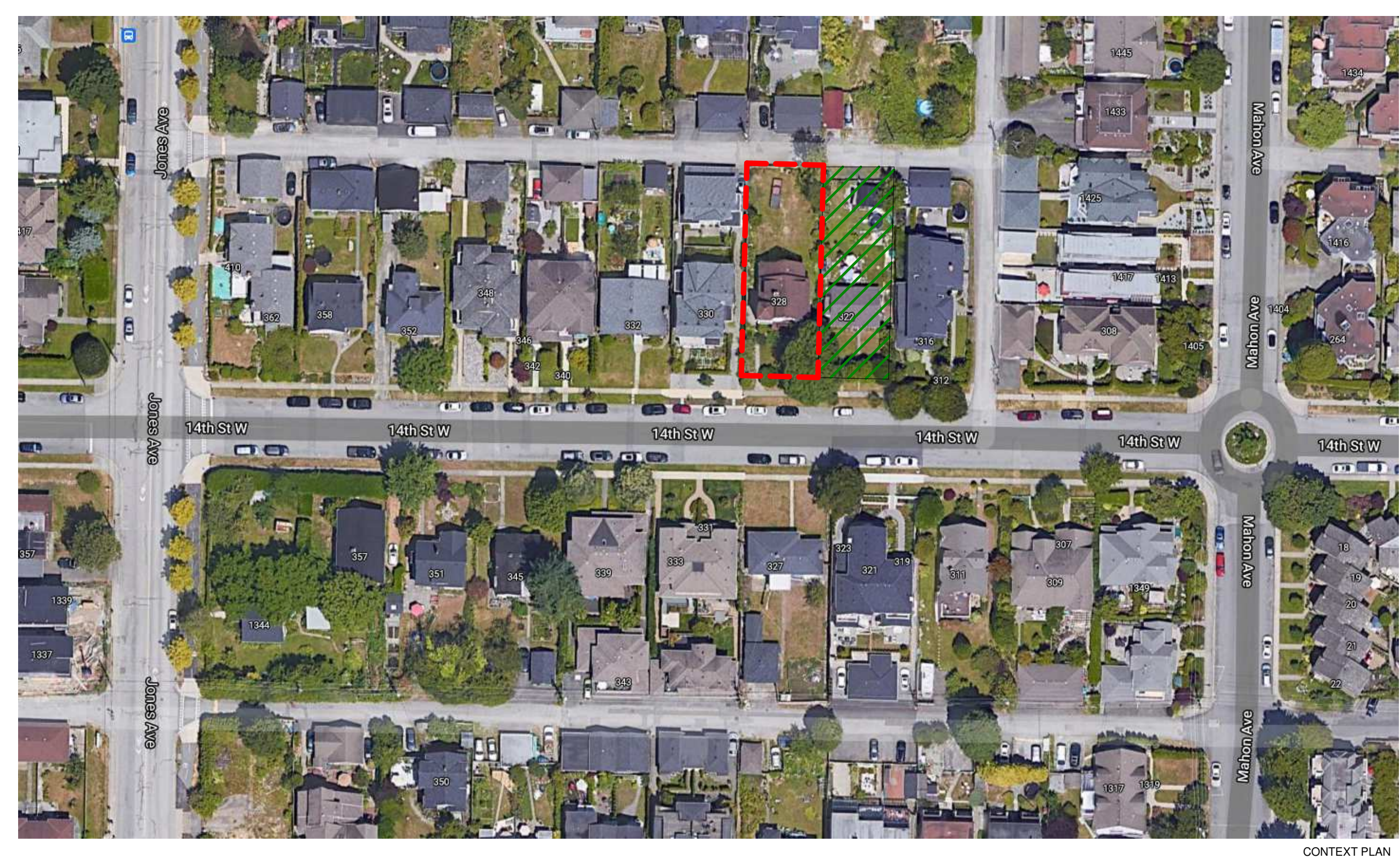
EXCLUSIONS:	TOTAL
BASEMENT	2,375 SF
BIKE STORAGE	124 SF
CARPOR	720 SF
HERITAGE DECK	31 SF
GREEN MECH. ROOM	65 SF
WASTE ENCLOSURE	99 SF
	3,415 SF

TOTAL GROSS FLOOR AREA 4,486 SF + 3,414 SF = **7,900 SF**

CONSULTANTS

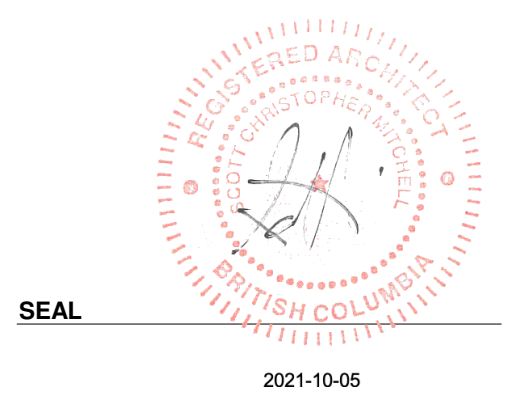
CLIENT KEVIN LESKIW UPWARD CONSTRUCTION 101-1305 WELCH ST, NORTH VANCOUVER, BC V7P 1B3 TEL: 778.403.3976 kevin@upwardconstruction.com	ARCHITECTURE METRIC ARCHITECTURE SCOTT C. MITCHELL ARCHITECT AIBC 671b MARKET HILL VANCOUVER B.C. V5Z 4B5 TEL: 604.785.4315 info@metricarchitects.com	HERITAGE CONSULTANT CUMMER HERITAGE CONSULTING KATIE CUMMER 639 MOSS STREET VICTORIA, BC, V8V 4N8 TEL: 778.678.1913	LANDSCAPE DURANTE KREUK REYHANEH SOBHANI 102 - 1637 W 5TH AVENUE VANCOUVER BC V6J 1N5 TEL: 604.684.4611 reyhaneh@dki.bc.ca
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ARBORIST DAVEY RESOURCE GROUP MARC LAVERDIERE #200, 8208 SWENSON WAY DELTA, BC V4G 1J6 TEL: 604.499.6568 marc.laverdiere@davey.com	SURVEYOR HOBBS WINTER & MACDONALD SURVEYS DAN MACHON 828 HARBOURSIDE DR, NORTH VANCOUVER, BC V7P 3R9 TEL: 604.986.1371 admin@hwmsurveys.com
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CONTEXT PLAN

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DRAWING
EXISTING SITE PLAN
(SURVEY)

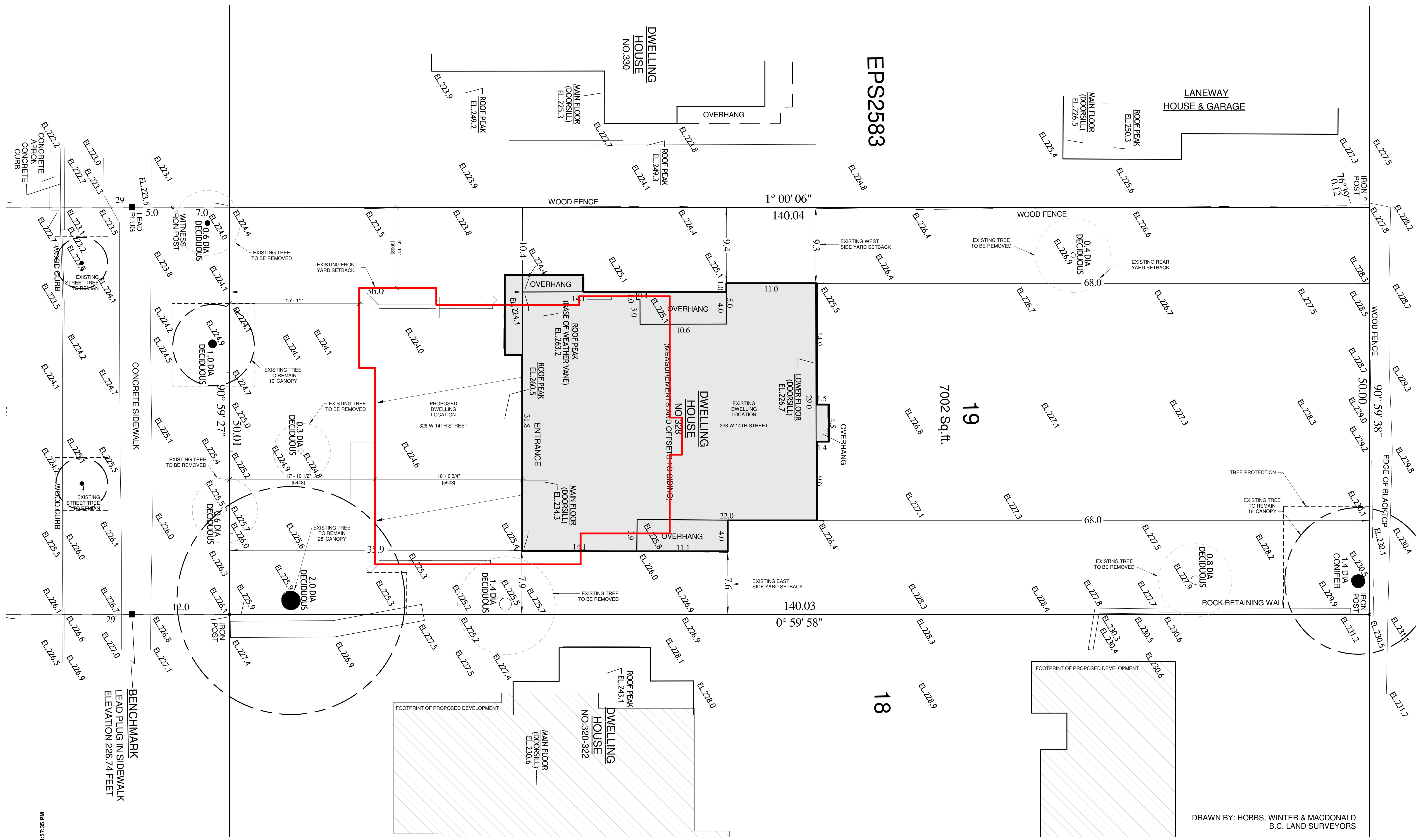
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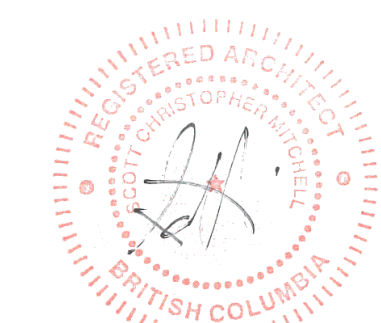
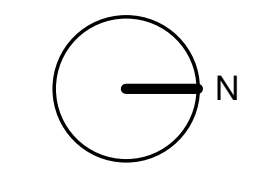
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SCALE	REVIEWED
3/16" = 1'-0"	
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A0-03



DRAWN BY: HOBBS, WINTER & MACDONALD
B.C. LAND SURVEYORS

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DRAWING
SITE PLAN

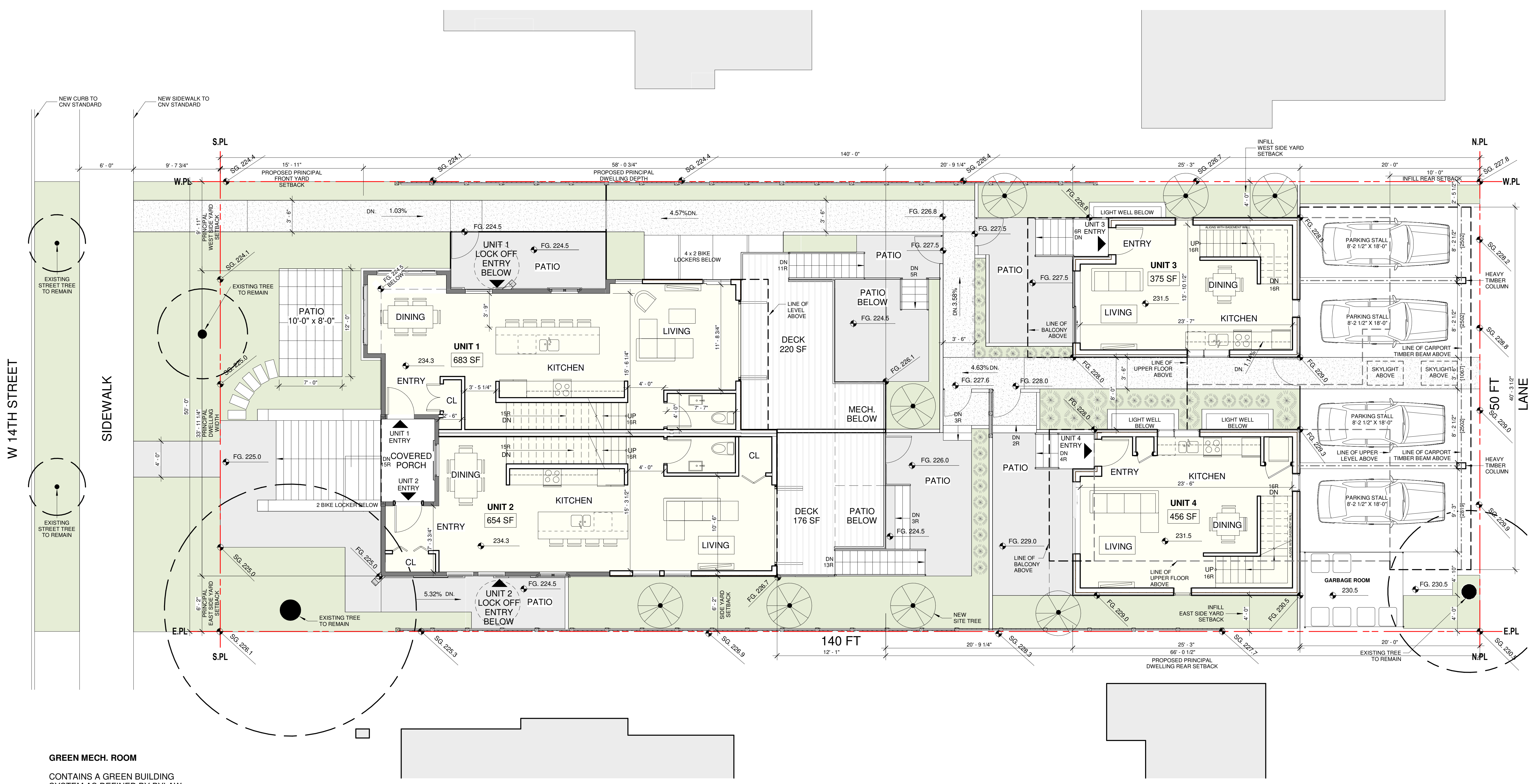
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	2021 06 11
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A0-04



GREEN MECH. ROOM
CONTAINS A GREEN BUILDING SYSTEM AS DEFINED BY BYLAW NO.6700

MINIMUM HEADROOM CLEARANCE OF 2 METRES (6.6 FT)

VEHICLE PARKING & BIKE STORAGE
EACH CAR STALL TO PROVIDE LEVEL 2 CHARGING
EACH BIKE LOCKER TO PROVIDE CHARGING

1 SITE PLAN
SCALE: 3/16" = 1'-0"

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EXISTING SOUTH ELEVATION IMAGE



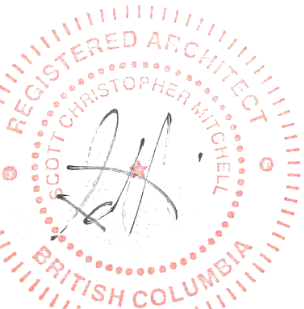
1 EXISTING SOUTH ELEVATION
A0-05 SCALE: 1/4" = 1'-0"

EXISTING MATERIAL SCHEDULE

- C1. CLADDING: HARDI SHINGLE
- C2. CLADDING: HARDI PLANK
- CH1. CHIMNEY: BRICK
- D1. DOORS: SOLID ENTRY DOOR
- S1. STAIRS: WOOD
- W1. WINDOWS: WOOD
- R1. ROOF: ASPHALT SHINGLE
- RA1. RAFTERS: WOOD
- T1. TRIM: WOOD



2 EXISTING WEST ELEVATION
A0-05 SCALE: 1/4" = 1'-0"



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DRAWING

**EXISTING ELEVATIONS
S&W**

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EXISTING NORTH ELEVATION IMAGE



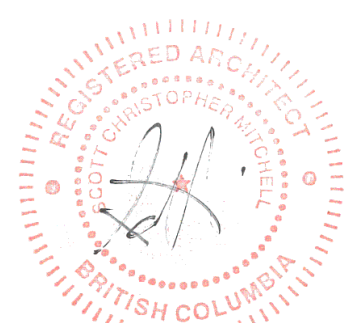
1 EXSITING NORTH ELEVATION
A0-06 SCALE: 1/4" = 1'-0"

EXISTING MATERIAL SCHEDULE

- C1. CLADDING: HARDI SHINGLE
- C2. CLADDING: HARDI PLANK
- CH1. CHIMNEY: BRICK
- D1. DOORS: SOLID ENTRY DOOR
- S1. STAIRS: WOOD
- W1. WINDOWS: WOOD
- R1. ROOF: ASPHALT SHINGLE
- RA1. RAFTERS: WOOD
- T1. TRIM: WOOD



2 EXISTING EAST ELEVATION
A0-06 SCALE: 1/4" = 1'-0"



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DRAWING
EXISTING ELEVATIONS
N&E

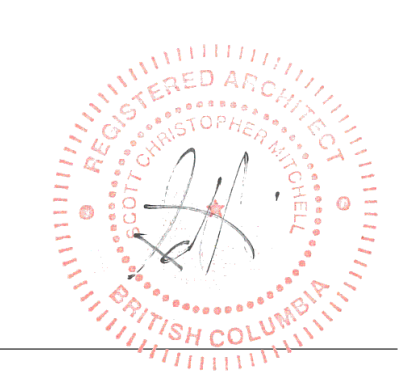
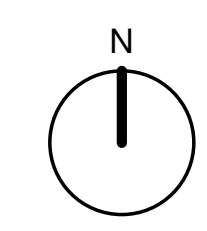
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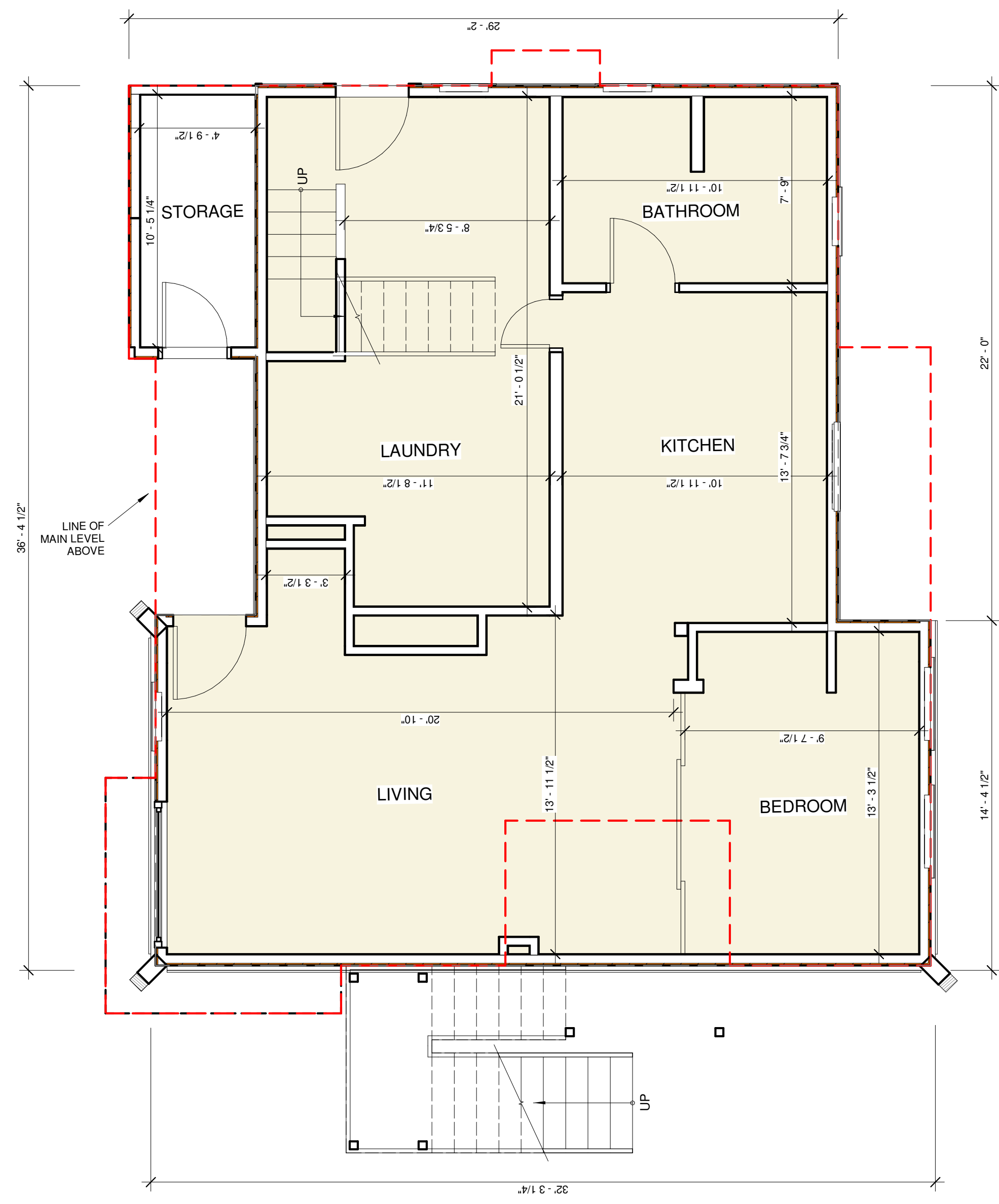
EXISTING FLOOR PLANS

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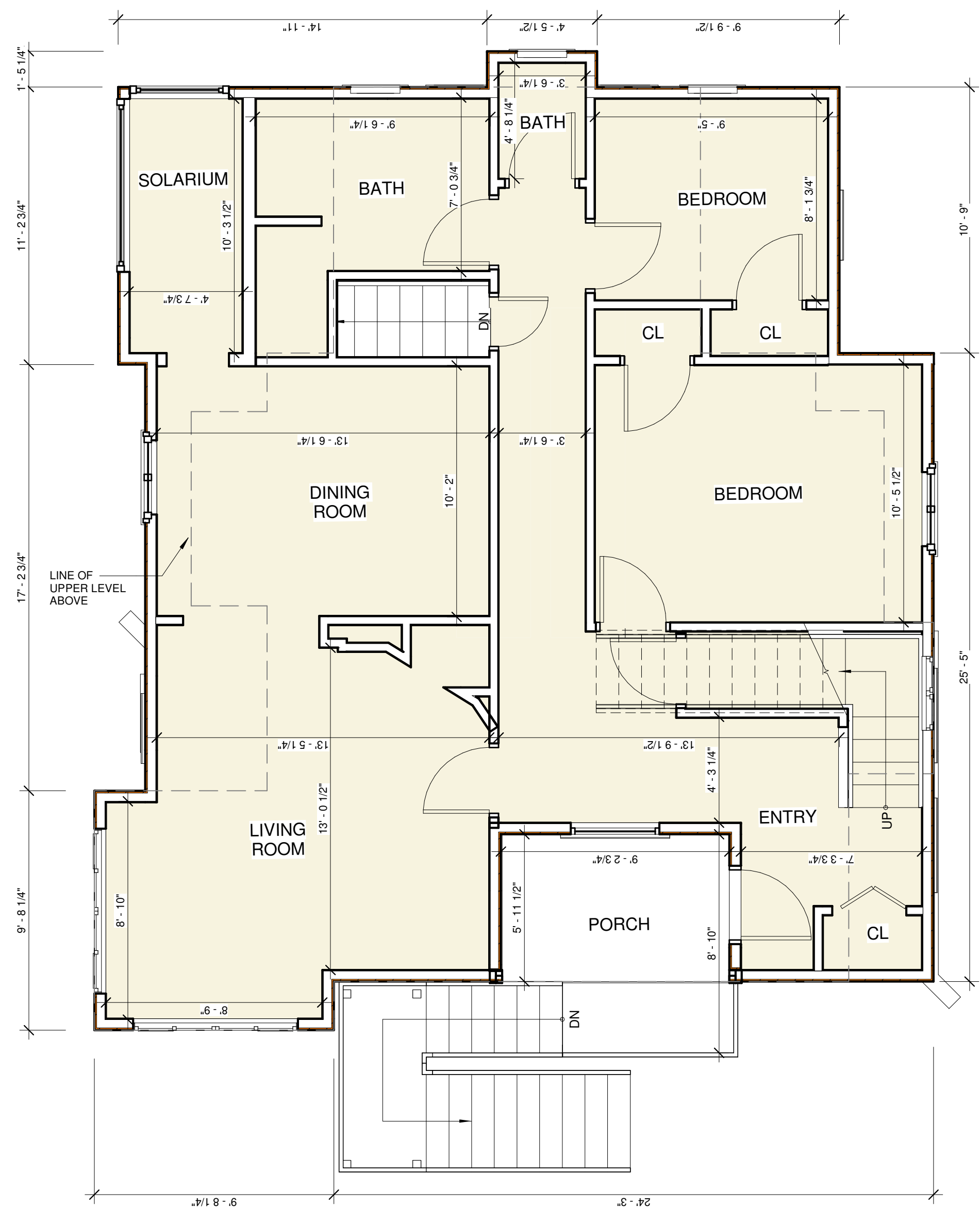
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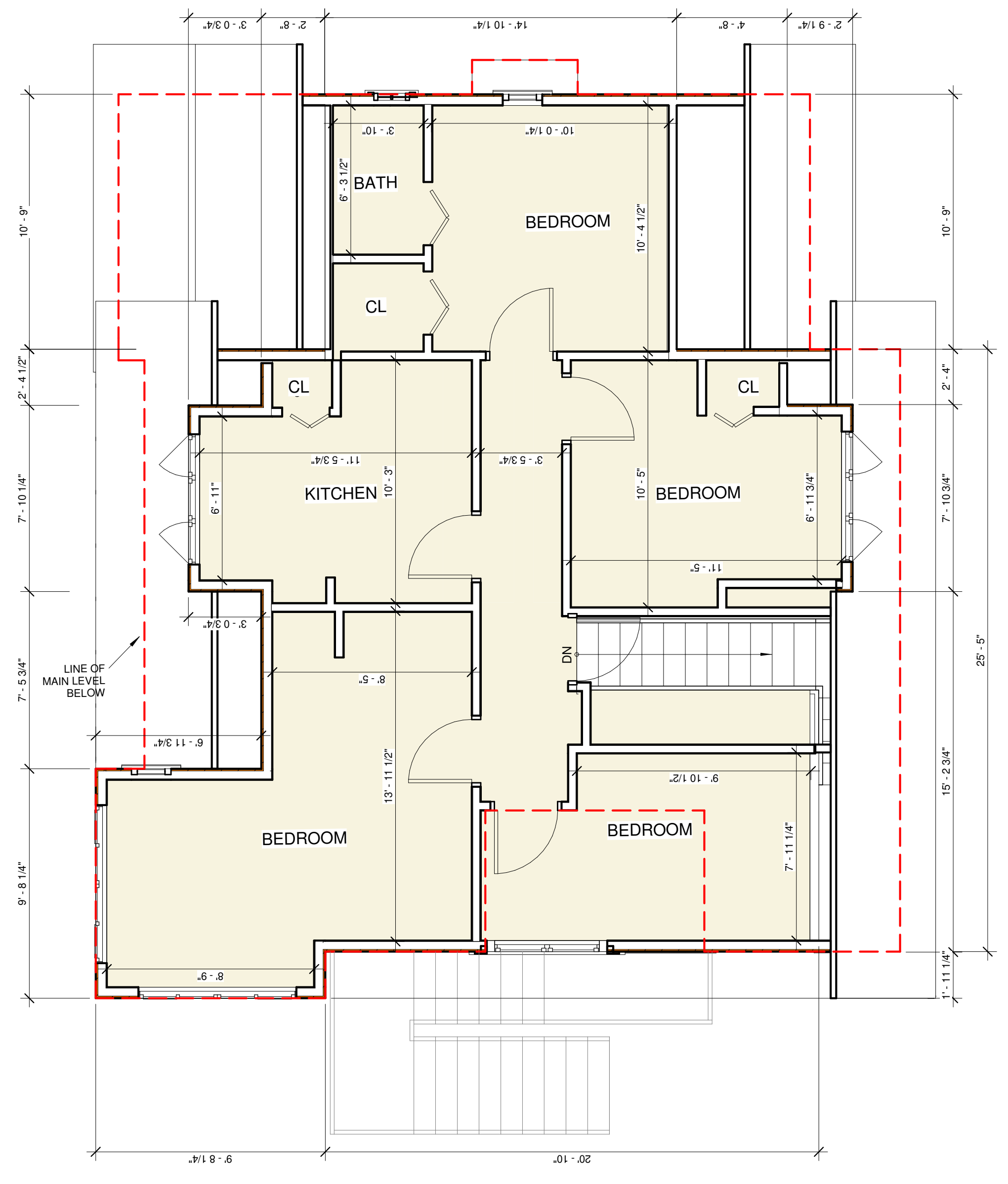
980 SF

1 BASEMENT LEVEL - EXISTING
SCALE: 1/4" = 1'-0"



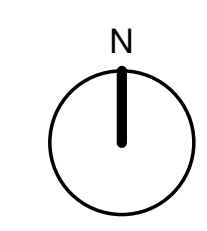
1111 SF

2 MAIN LEVEL - EXISTING
SCALE: 1/4" = 1'-0"



863 SF

3 UPPER LEVEL - EXISTING
SCALE: 1/4" = 1'-0"



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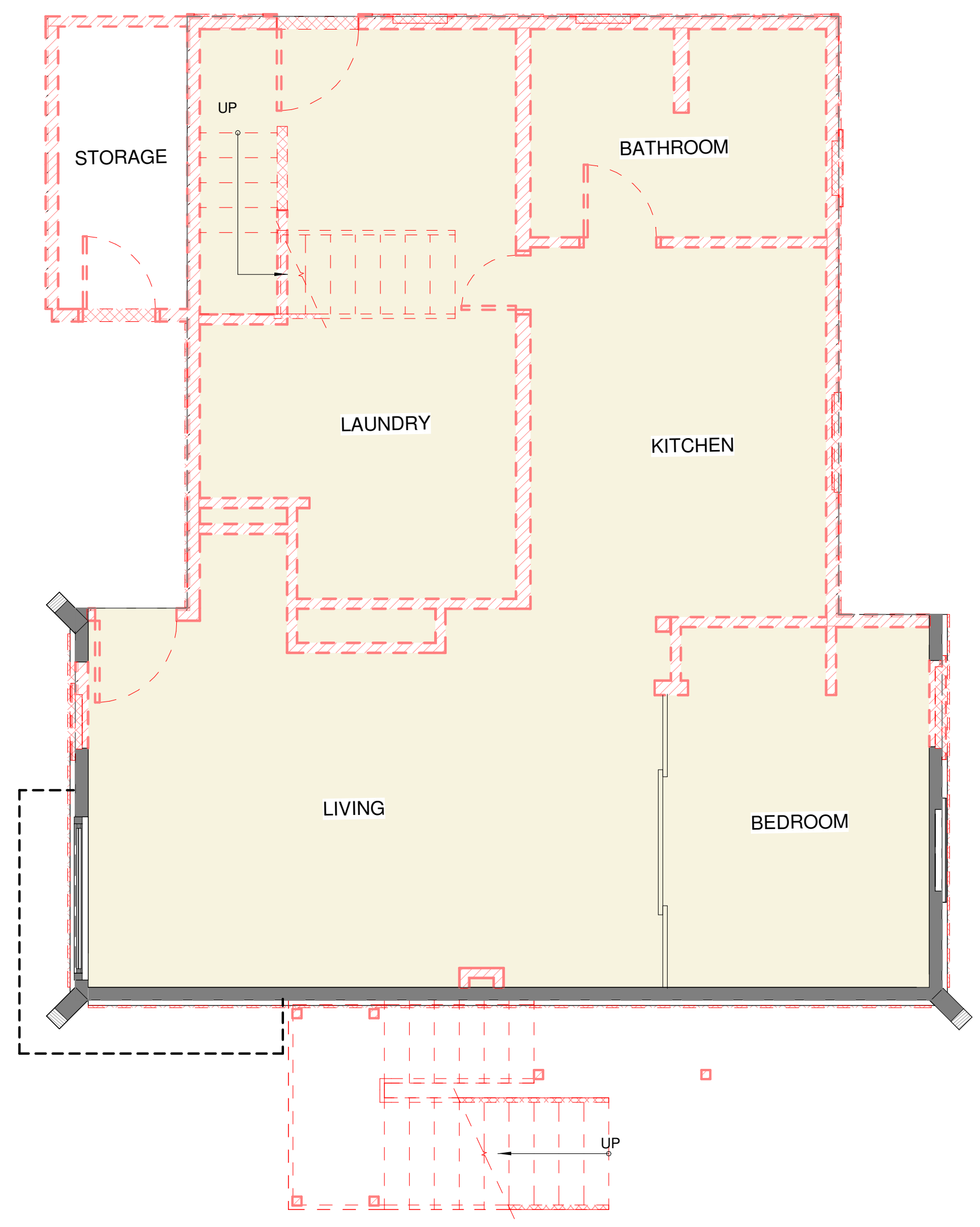
DRAWING
DEMO PLANS

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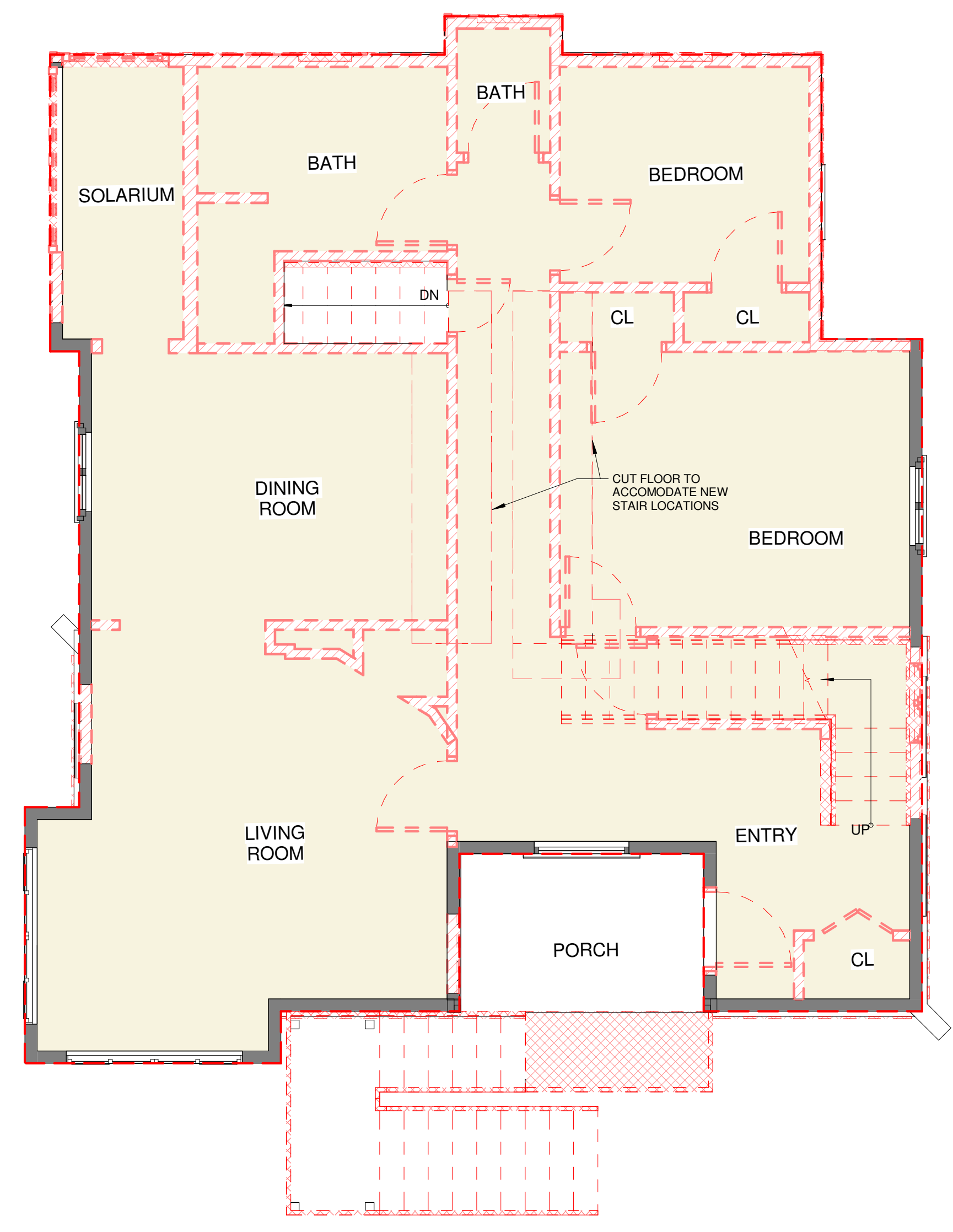
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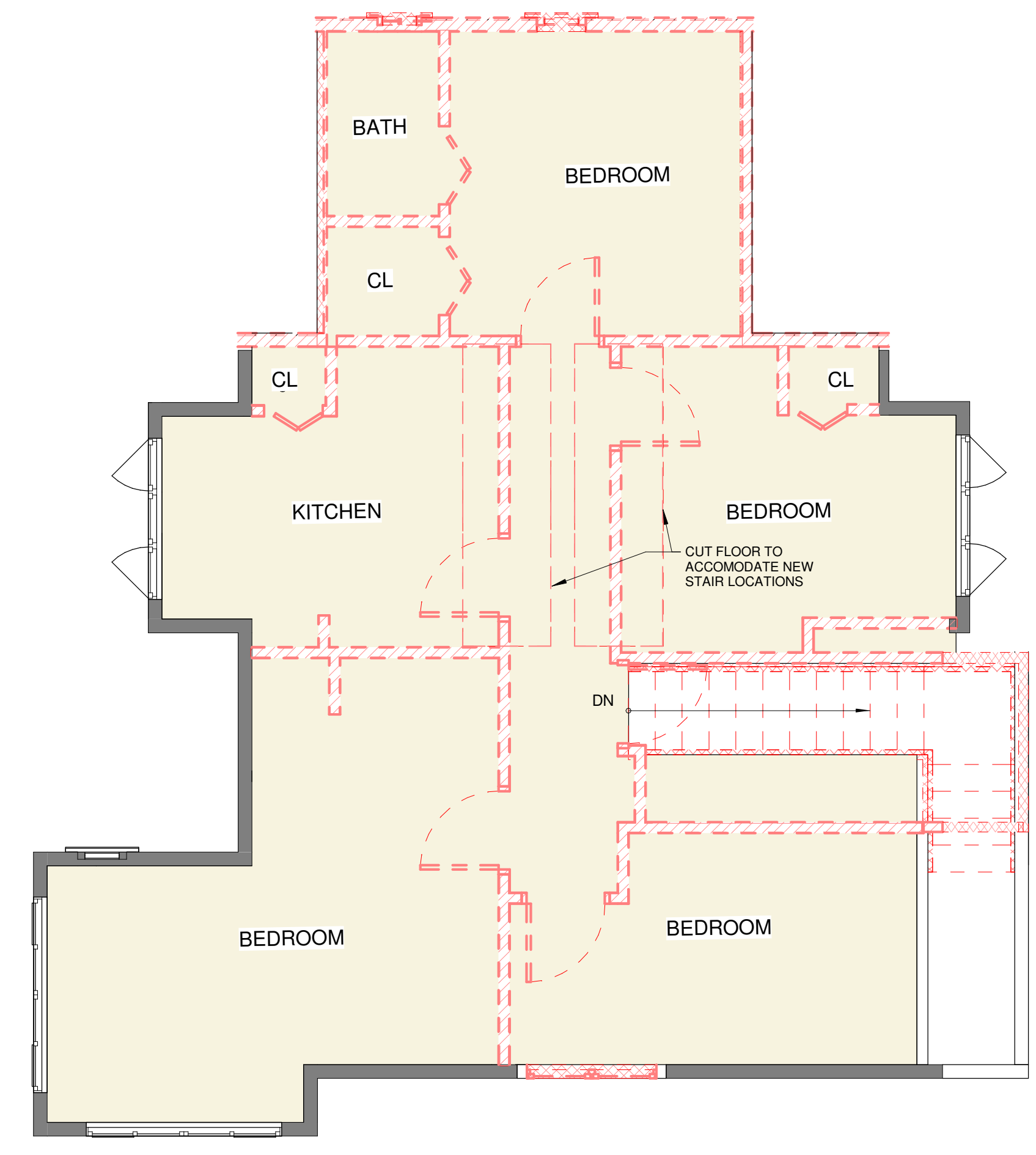
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1 BASEMENT LEVEL - DEMO
A0-08 SCALE: 1/4" = 1'-0"



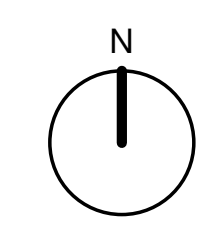
2 MAIN LEVEL - DEMO
A0-08 SCALE: 1/4" = 1'-0"



3 UPPER LEVEL - DEMO
A0-08 SCALE: 1/4" = 1'-0"

WALL STYLE LEGEND

- EXISTING TO BE RETAINED
- EXISTING TO BE REMOVED



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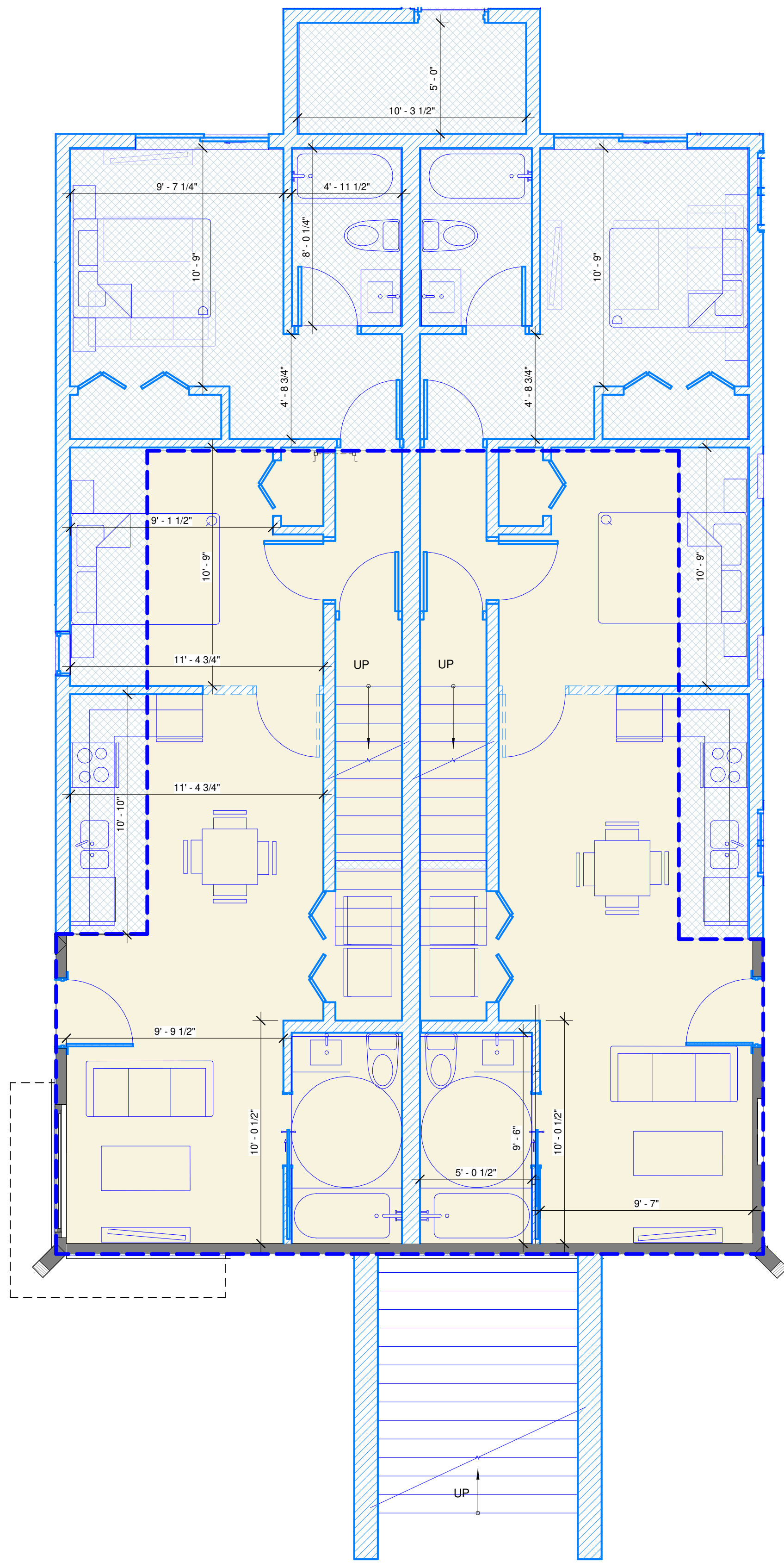
DRAWING
NEW CONSTRUCTION PLANS

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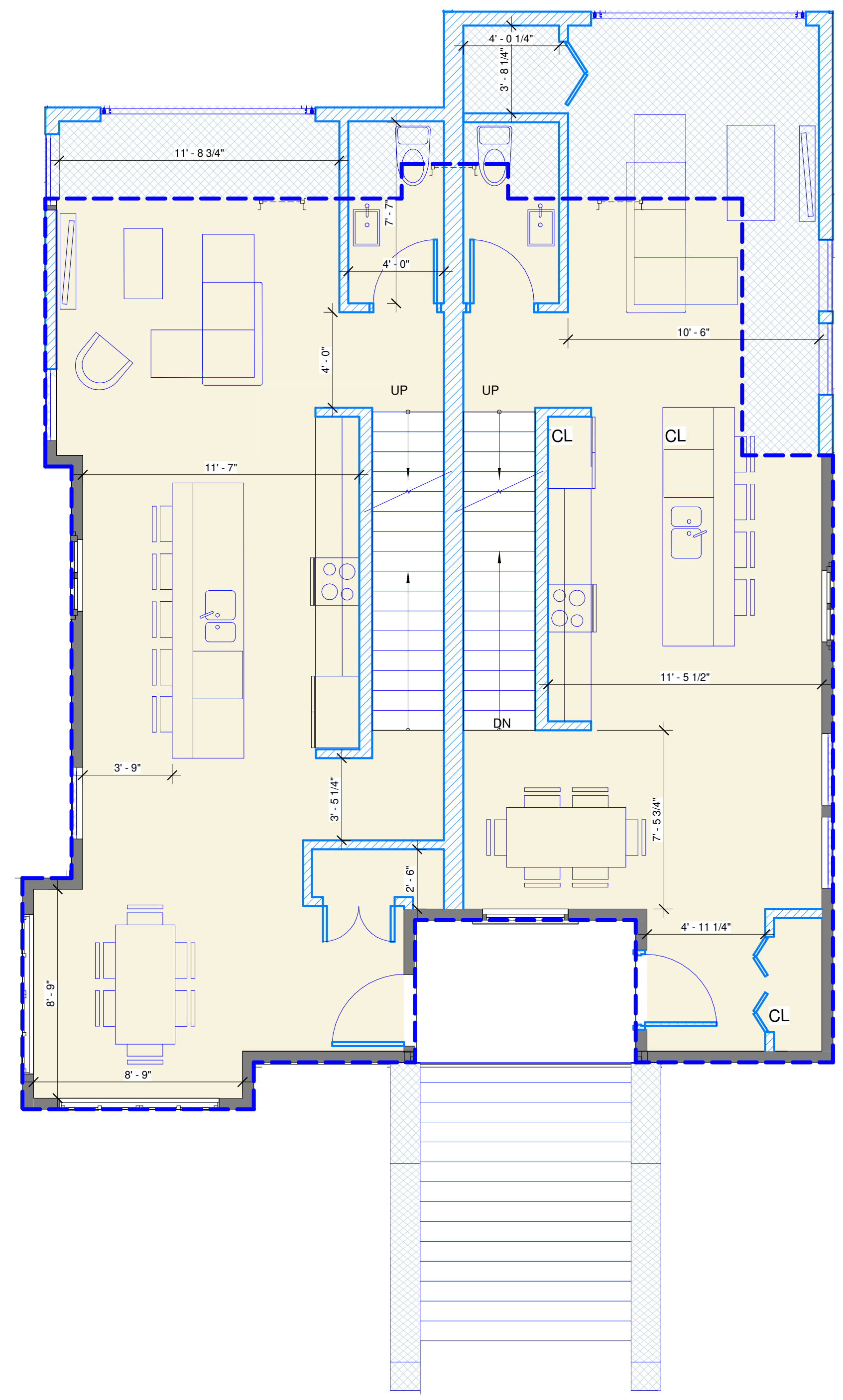
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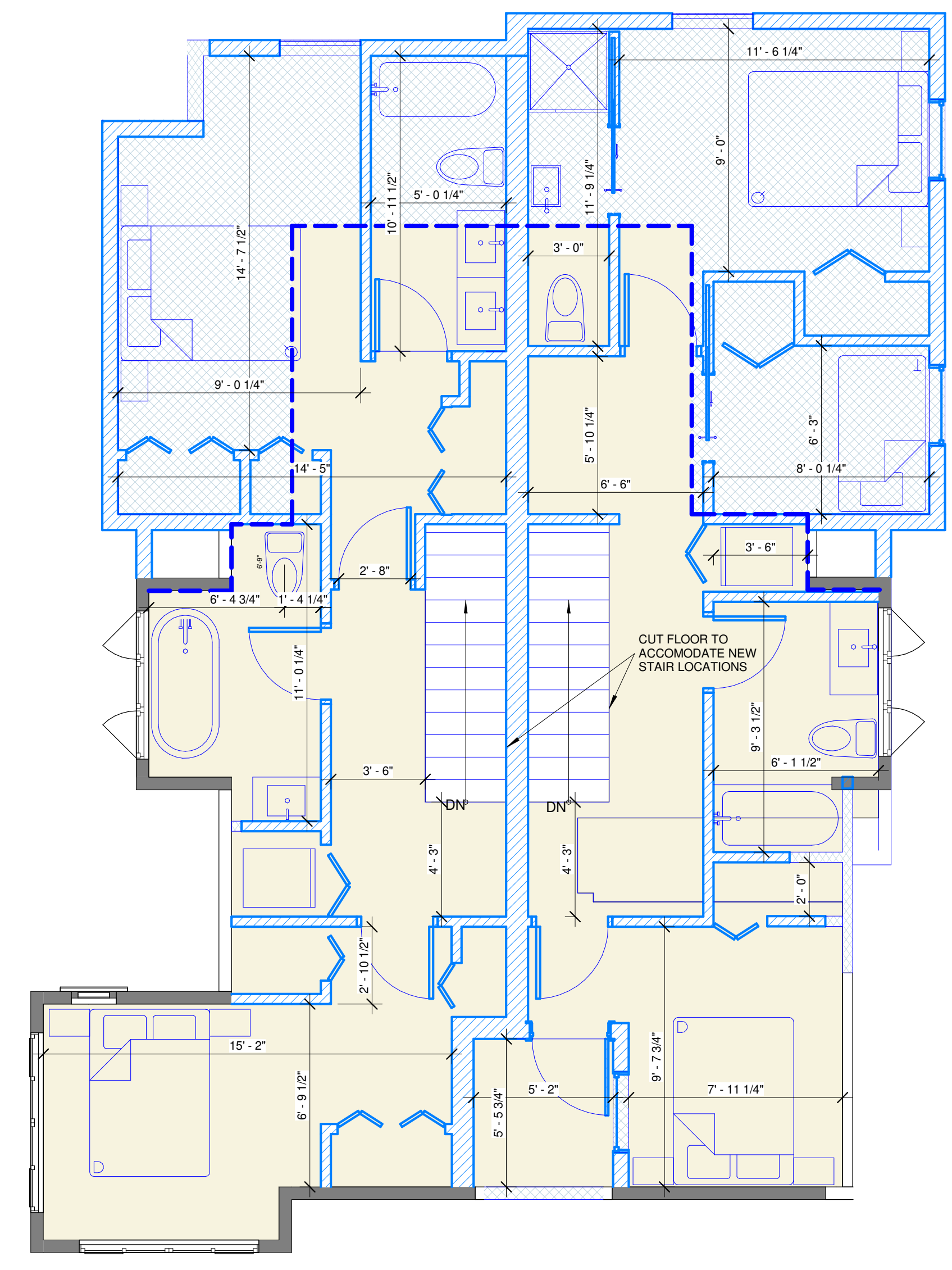
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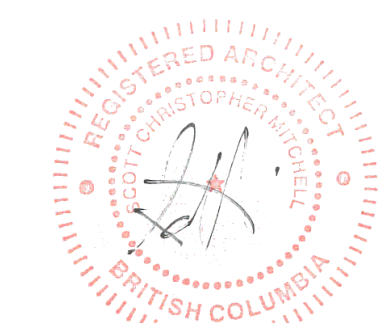
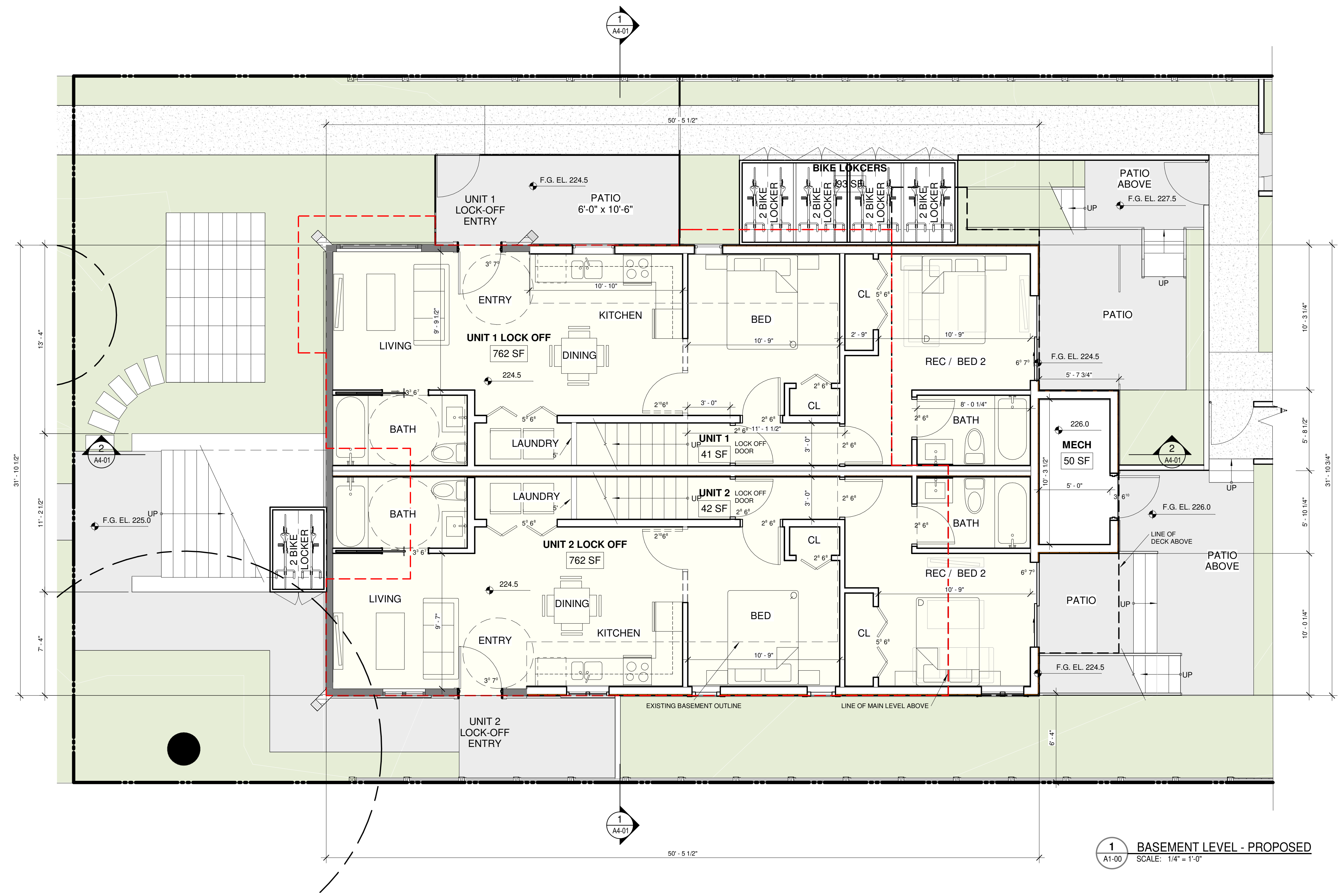
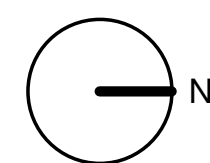
1 BASEMENT LEVEL - NEW
SCALE: 1/4" = 1'-0"



2 MAIN LEVEL - NEW
SCALE: 1/4" = 1'-0"



3 UPPER LEVEL - NEW
SCALE: 1/4" = 1'-0"



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DRAWING
**BASEMENT PLAN -
 HERITAGE**

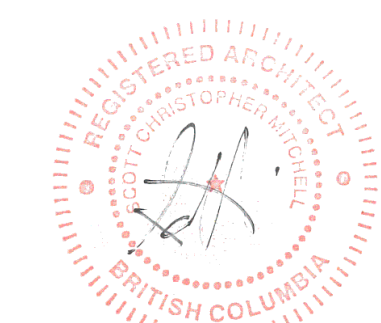
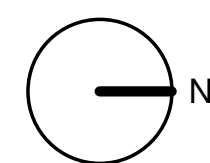
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DRAWING
**MAIN LEVEL PLAN -
 HERITAGE**

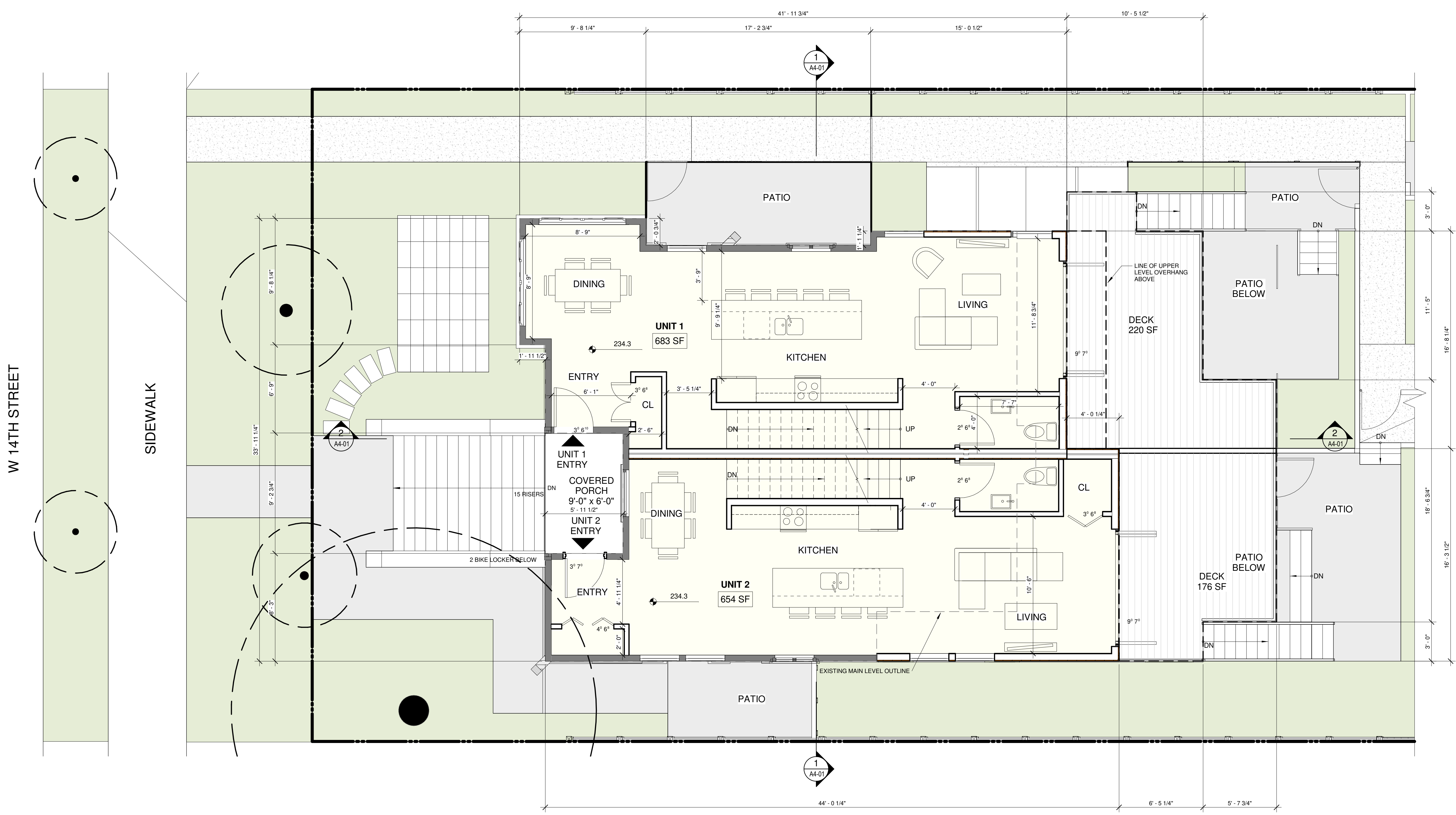
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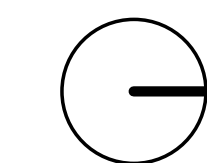
A1-01



1
 A1-01 MAIN LEVEL - PROPOSED
 SCALE: 1/4" = 1'-0"

W 14TH STREET

SIDEWALK



SEAL

2021-10-05

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1	2021 07 23	REZONING APP DRAFT
2	2021 08 27	CLIENT REVIEW
3	2021 10 01	DP SUBMISSION

PROJECT

KNOWLES RESIDENCE
328 W 14th ST.
CITY OF NORTH VANCOUVER,
BC V7M 1P6

DRAWING

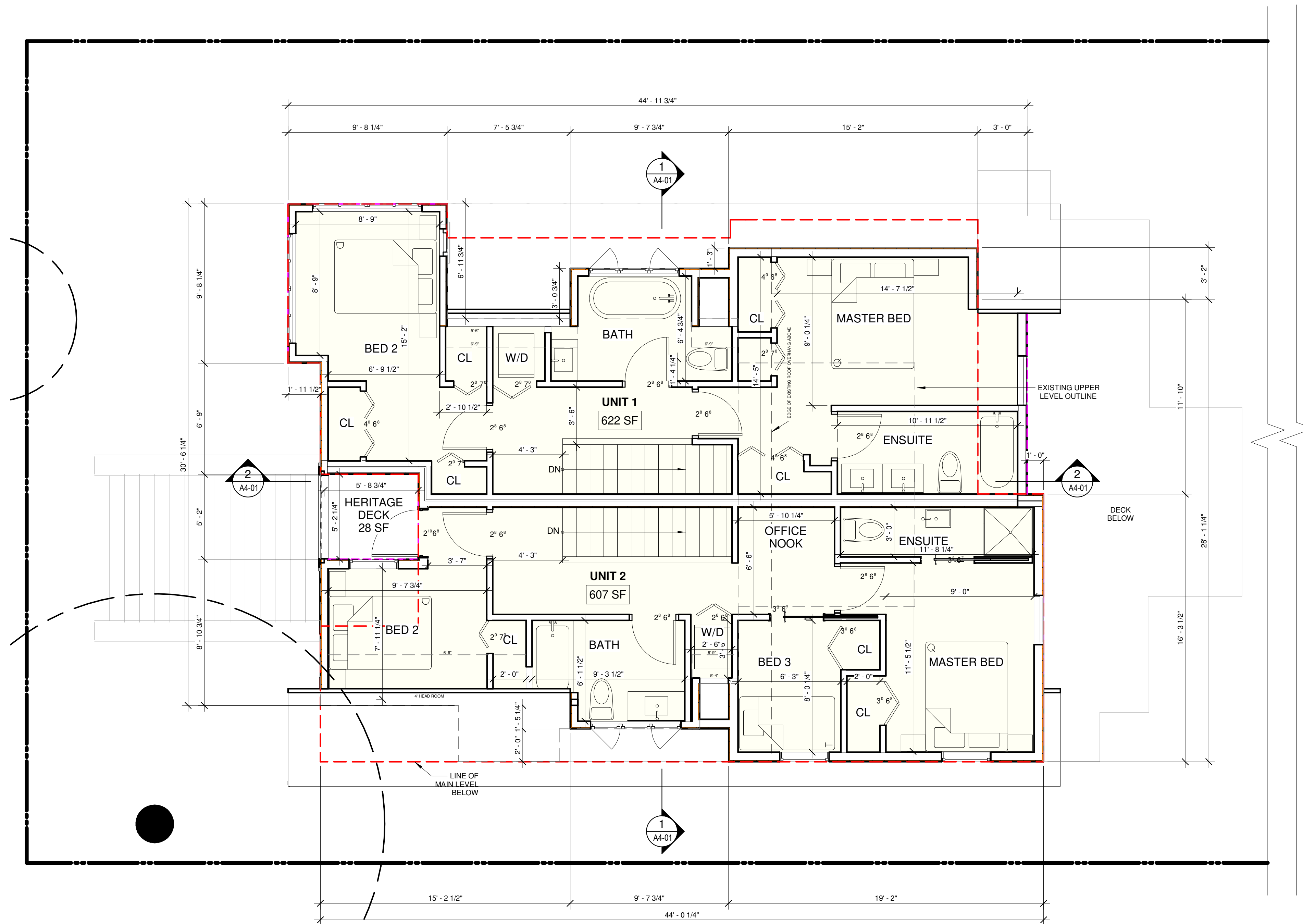
**UPPER LEVEL PLAN -
HERITAGE**

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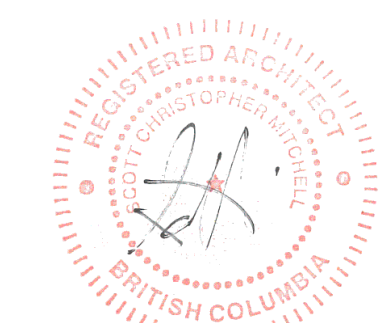
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	2021 06 11
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2085



1 UPPER LEVEL - PROPOSED
A1-02 SCALE: 1/4" = 1'-0"



SEAL
 2021-10-05

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REVISION

No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
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3	2021 10 01	DP SUBMISSION

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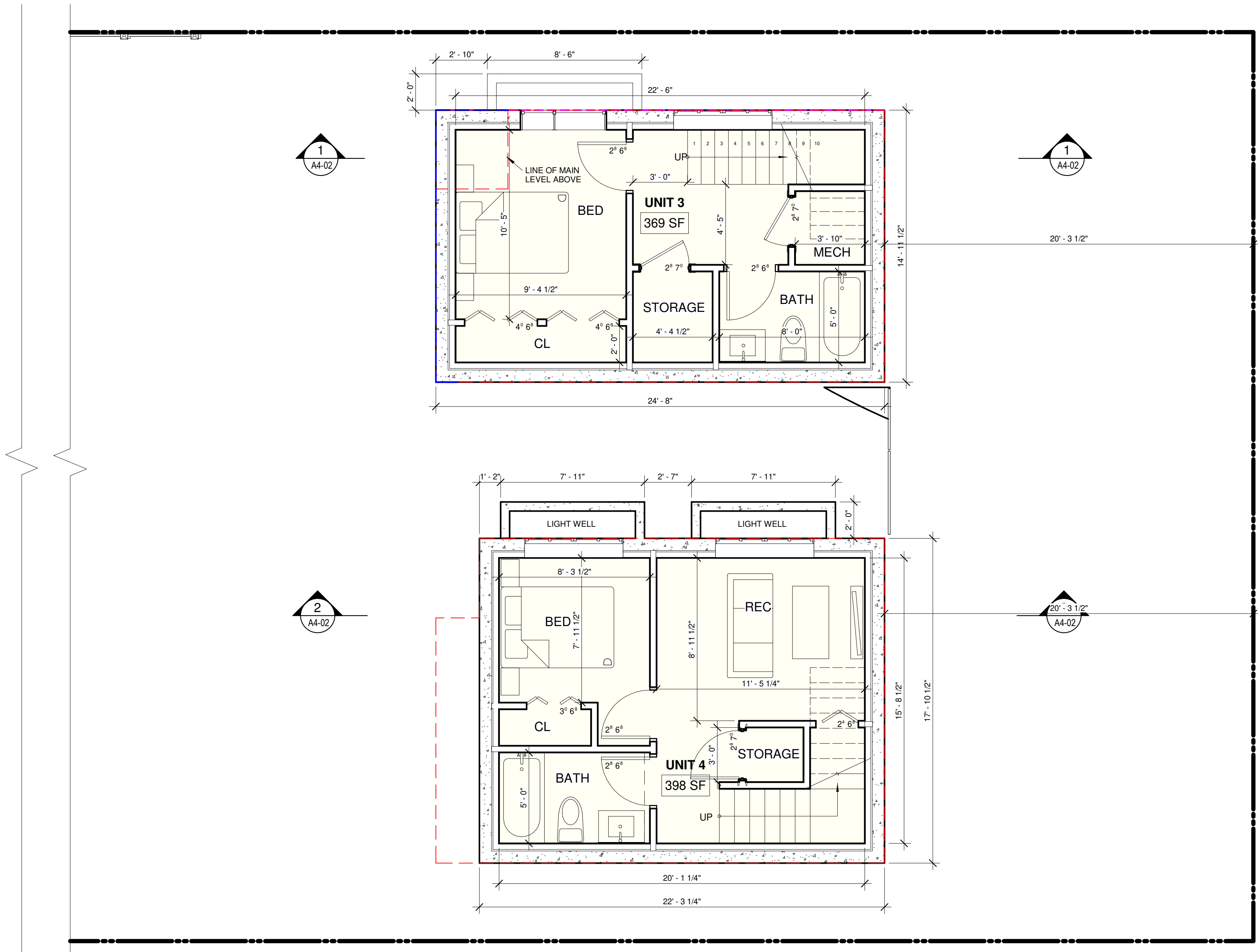
DRAWING
**BASEMENT PLANS -
 INFILL**

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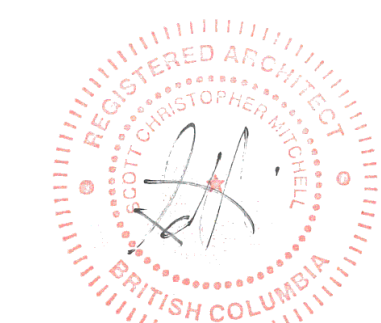
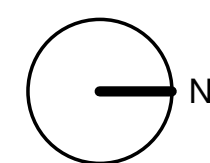
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1/4" = 1'-0"	
PROJECT NO	2085



1 BASEMENT LEVEL - INFILL
 A2-00 SCALE: 1/4" = 1'-0"



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 2021-10-05

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REVISION

No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
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DRAWING
**MAIN LEVEL PLANS -
 INFILL**

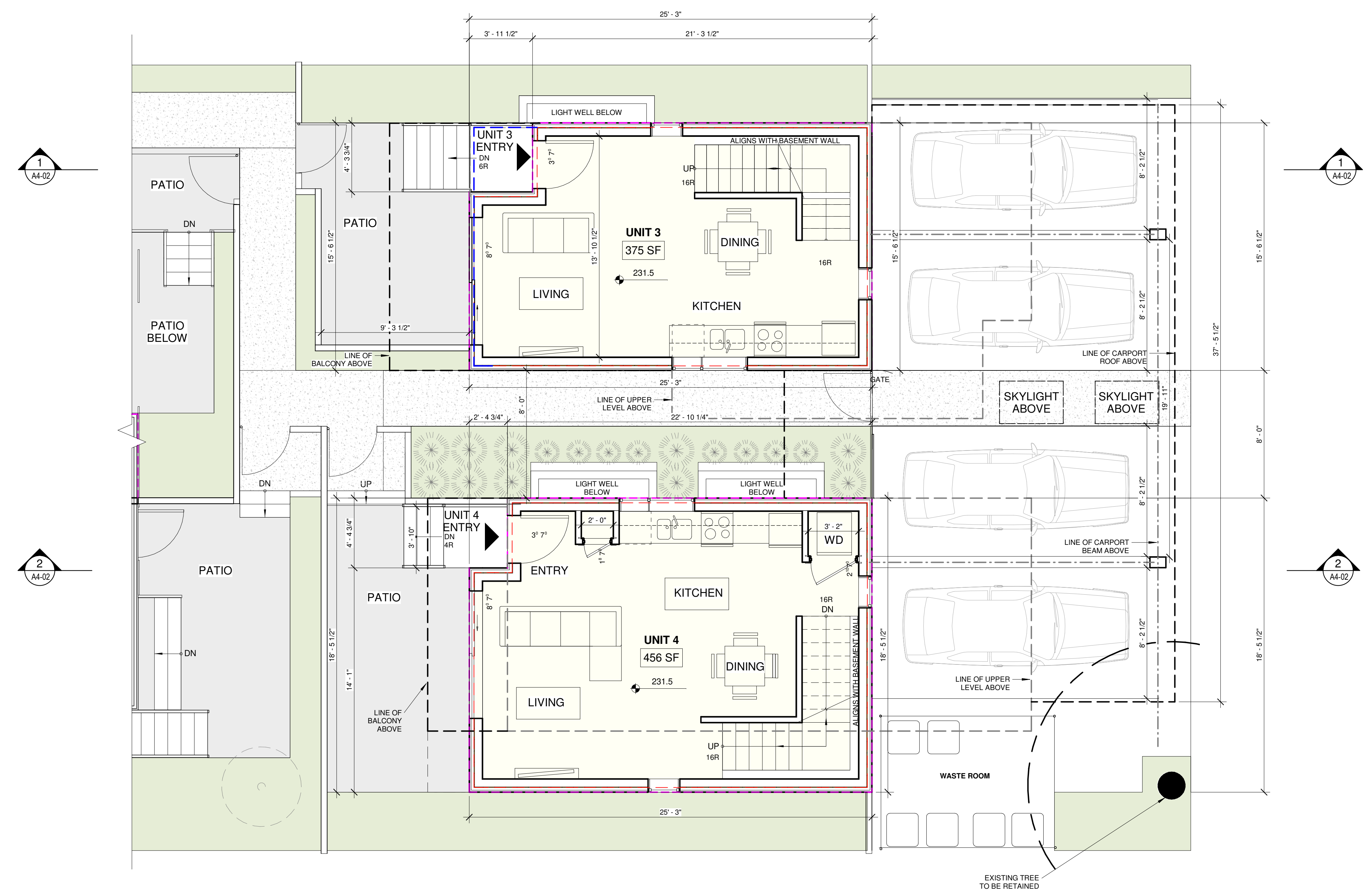
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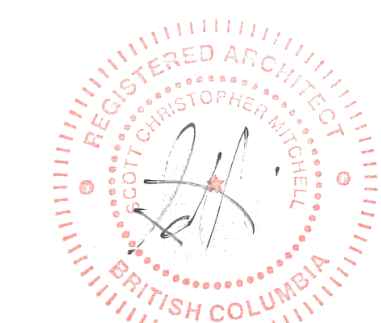
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SCALE	REVIEWED
PROJECT NO	2085

1
 A2-01 MAIN LEVEL - INFILL
 SCALE: 1/4" = 1'-0"





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 2021-10-05

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3	2021 10 01	DP SUBMISSION

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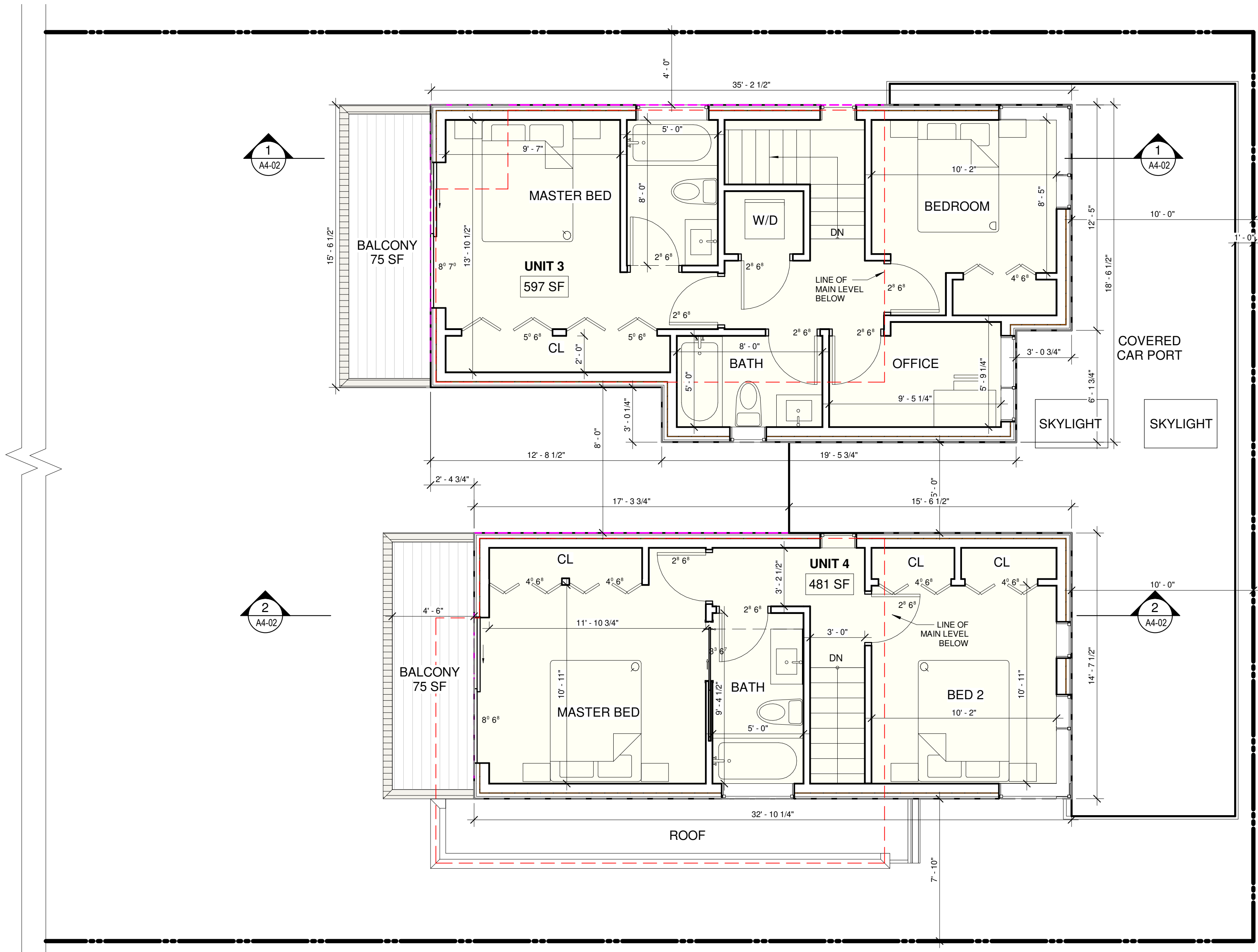
DRAWING
**UPPER LEVEL PLANS -
 INFILL**

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	07/23/21
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2085



1 UPPER LEVEL - INFILL
 A4-02 SCALE: 1/4" = 1'-0"

REVISION		
No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
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PROJECT
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DRAWING
ELEVATIONS - HERITAGE

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DRAWN	DATE
	07/19/21
SCALE	REVIEWED
As indicated	
PROJECT NO	2085

A3-01



2 SOUTH ELEVATION-MAIN
A3-01 SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

C1. CLADDING: HARDI SHINGLE (MATCH EXIST)
C2. CLADDING: HARDI PLANK (MATCH EXIST)
CH1. CHIMNEY: BRICK
D1. DOORS: SOLID ENTRY DOOR
D2. DOORS: SLIDING DOOR WITH GLASS PANEL
D3. DOORS: 3-PANEL FOLDING
S2. STAIRS: WOOD
S3. STAIRS: CIP CONCRETE
W1. WINDOWS: WOOD REPLACEMENT (HERITAGE)
W2. WINDOWS: HIGH PERFORM VINYL (ADDITION)
R1. ROOF: ASPHALT SHINGLE
R2. ROOF: LOW SLOPE TORCH ON
RA1. RAFTERS: WOOD (EXISTING)
RA2. RAFTERS: WOOD (NEW)
F1. FASCIA: ALUMINUM
T1. TRIM: WOOD
T2. TRIM: WOOD (NEW)
B1. BIKE LOCKER: METAL
P1. PARAPET FLASHING: ALUMINUM
CA1. CARPORT STRUCTURE: WOOD

HEIGHT ENVELOPE CALCULATION

1) **FRONT AND REAR PROPERTY GRADES**
FRONT
S/E CORNER: 226.1 **FRONT** = 226.1 + 224.4 / 2 = 225.25
S/W CORNER: 224.4
REAR
N/W CORNER: 227.8 **REAR** = 227.8 + 230.5 / 2 = 229.15
N/E CORNER: 230.5

2) **REFERENCE GRADE**
REFERENCE = 225.25 + (229.15 - 225.25) X 0.4 = 226.81

3) **MAX. TOP PLATE AND ROOF RIDGE**
MAX. TOP PLATE = 226.81 + 26.2 = 253.01
MAX. ROOF RIDGE = 226.81 + 33.0 = 259.81



1 WEST ELEVATION
A3-01 SCALE: 1/4" = 1'-0"

C1 

C2 

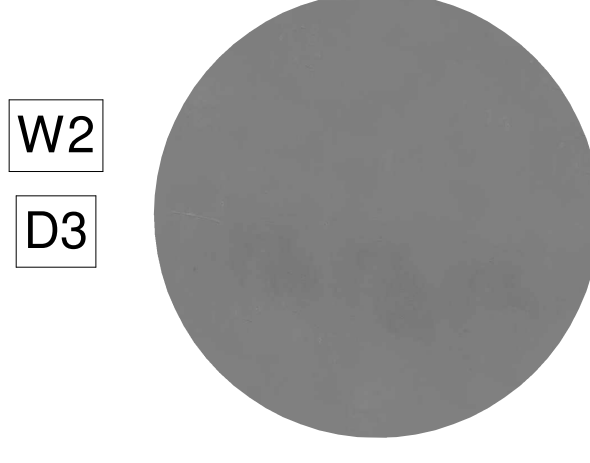
S1 

D1 

T1 

CH1 

R1 

W2 

D3 

B1 

S3 

S2 

D2 

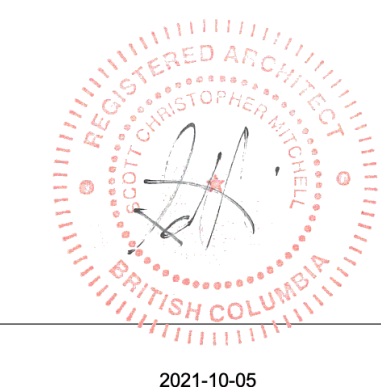
CA1 

F1 

P1 

RA2 

T2 



MATERIAL SCHEDULE

- C1. CLADDING: HARDI SHINGLE (MATCH EXIST)
- C2. CLADDING: HARDI PLANK (MATCH EXIST)
- CH1. CHIMNEY: BRICK
- D1. DOORS: SOLID ENTRY DOOR
- D2. DOORS: SLIDING DOOR WITH GLASS PANEL
- D3. DOORS: 3-PANEL FOLDING
- S2. STAIRS: WOOD
- S3. STAIRS: C/P CONCRETE
- W1. WINDOWS: WOOD REPLACEMENT (HERITAGE)
- W2. WINDOWS: HIGH PERFORM VINYL (ADDITION)
- R1. ROOF: ASPHALT SHINGLE
- R2. ROOF: LOW SLOPE TORCH ON
- RA1. RAFTERS: WOOD (EXISTING)
- RA2. RAFTERS: WOOD (NEW)
- F1. FASCIA: ALUMINUM
- T1. TRIM: WOOD
- T2. TRIM: WOOD (NEW)
- B1. BIKE LOCKER: METAL
- P1. PARAPET FLASHING: ALUMINUM
- CA1. CARPORT STRUCTURE: WOOD



1 NORTH ELEVATION-MAIN
 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

REVISION

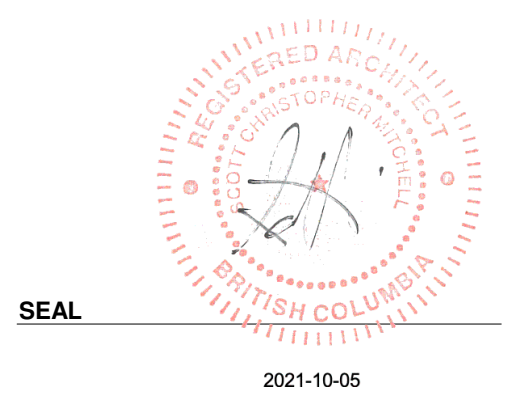
No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
3	2021 10 01	DP SUBMISSION

PROJECT
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DRAWING
ELEVATIONS - HERITAGE

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SCALE	REVIEWED
As indicated	
PROJECT NO	2085



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REVISION		
No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
3	2021 10 01	DP SUBMISSION

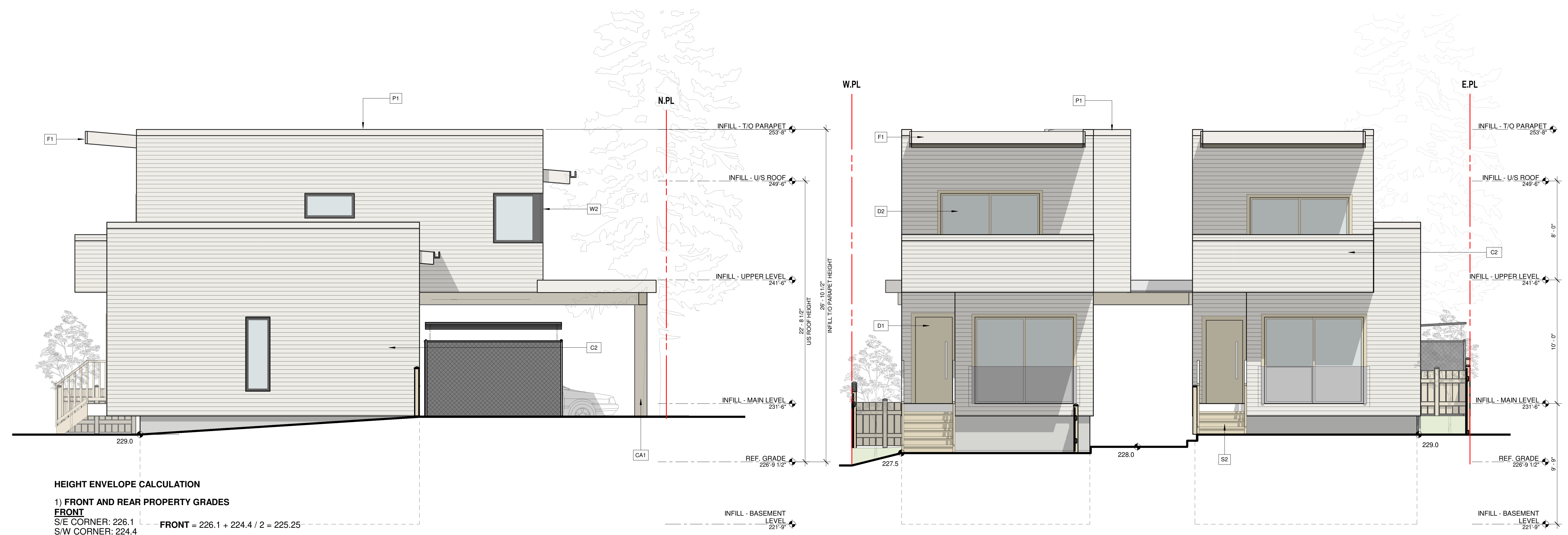
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DRAWING
ELEVATIONS - INFILL

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DRAWN	DATE
SCALE	REVIEWED
PROJECT NO	2085

A3-03



4 EAST ELEVATION - INFILL UNIT 4
A3-03 SCALE: 1/4" = 1'-0"

3 SOUTH ELEVATION - INFILL UNIT 3 & 4
A3-03 SCALE: 1/4" = 1'-0"

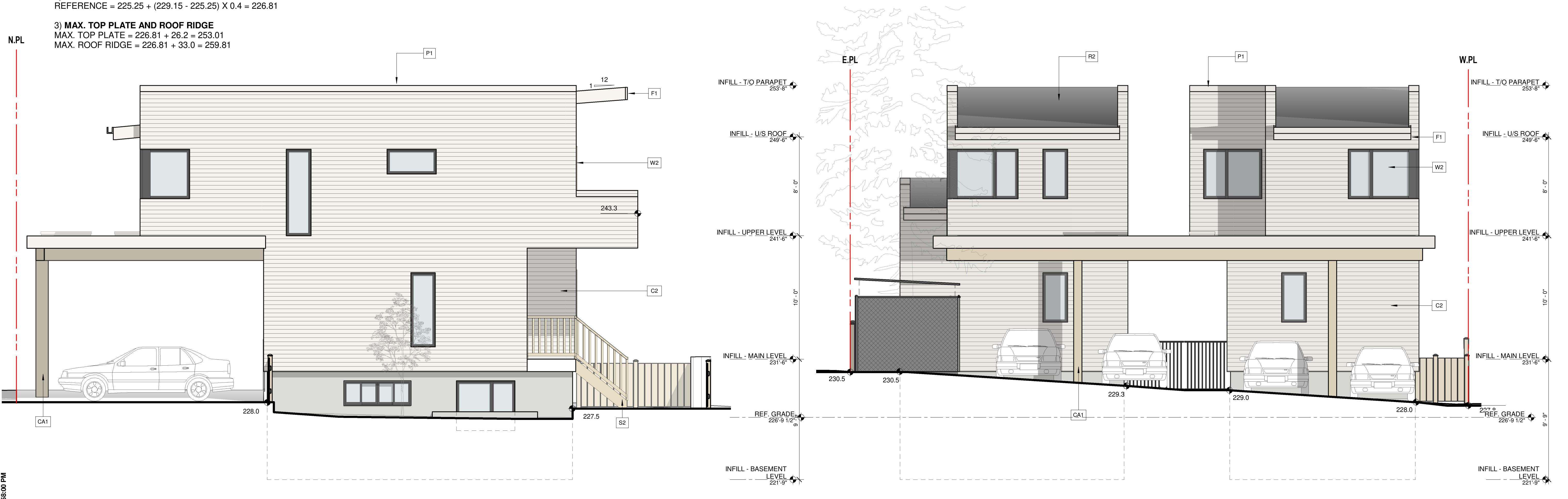
HEIGHT ENVELOPE CALCULATION

1) FRONT AND REAR PROPERTY GRADES
FRONT
S/E CORNER: 226.1 **FRONT** = 226.1 + 224.4 / 2 = 225.25
S/W CORNER: 224.4

REAR
N/W CORNER: 227.8 **REAR** = 227.8 + 230.5 / 2 = 229.15
N/E CORNER: 230.5

2) REFERENCE GRADE
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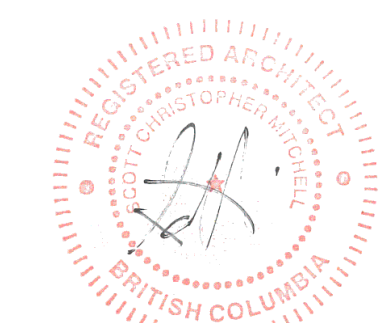
3) MAX. TOP PLATE AND ROOF RIDGE
MAX. TOP PLATE = 226.81 + 26.2 = 253.01
MAX. ROOF RIDGE = 226.81 + 33.0 = 259.81



2 WEST ELEVATION - INFILL UNIT 3
A3-03 SCALE: 1/4" = 1'-0"

1 NORTH ELEVATION - INFILL UNIT 3 & 4
A3-03 SCALE: 1/4" = 1'-0"

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 2021-10-05

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REVISION		
No.	Date	Description
3	2021 10 01	DP SUBMISSION

PROJECT
KNOWLES RESIDENCE
 328 W 14th ST.
 CITY OF NORTH VANCOUVER,
 BC V7M 1P6

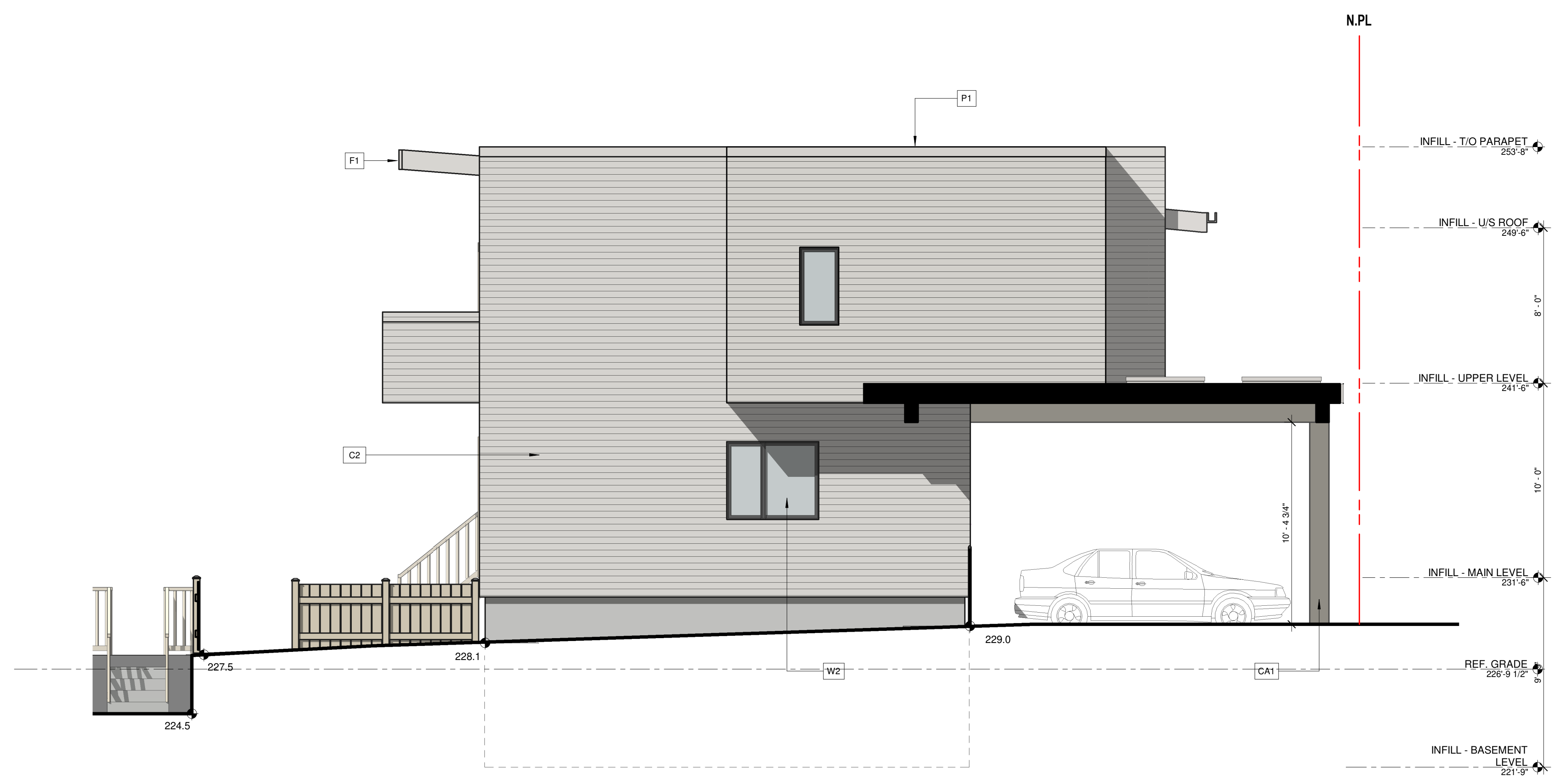
DRAWING
ELEVATIONS - INFILL

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As indicated	08/30/21
SCALE	REVIEWED
As indicated	
PROJECT NO	2085

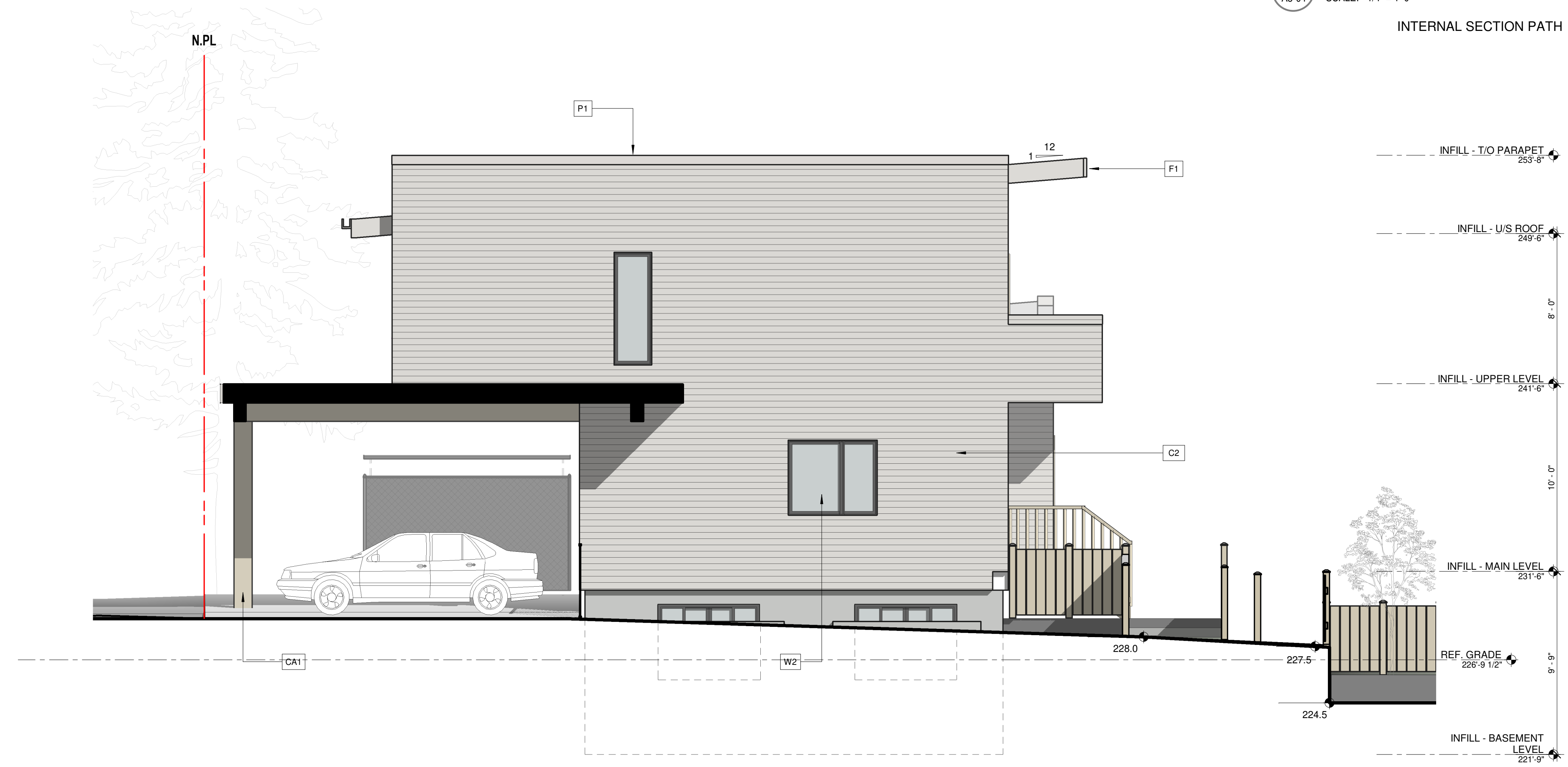
A3-04



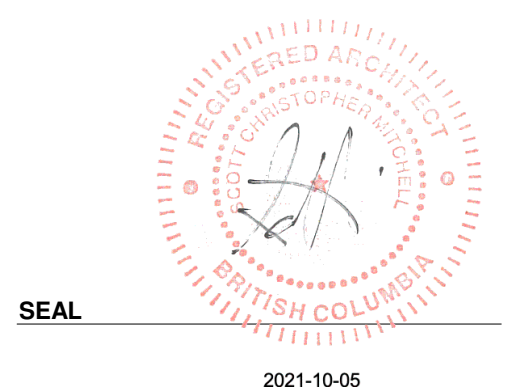
1 EAST ELEVATION - INFILL UNIT 3
 A3-04 SCALE: 1/4" = 1'-0"
 INTERNAL SECTION PATH

MATERIAL SCHEDULE

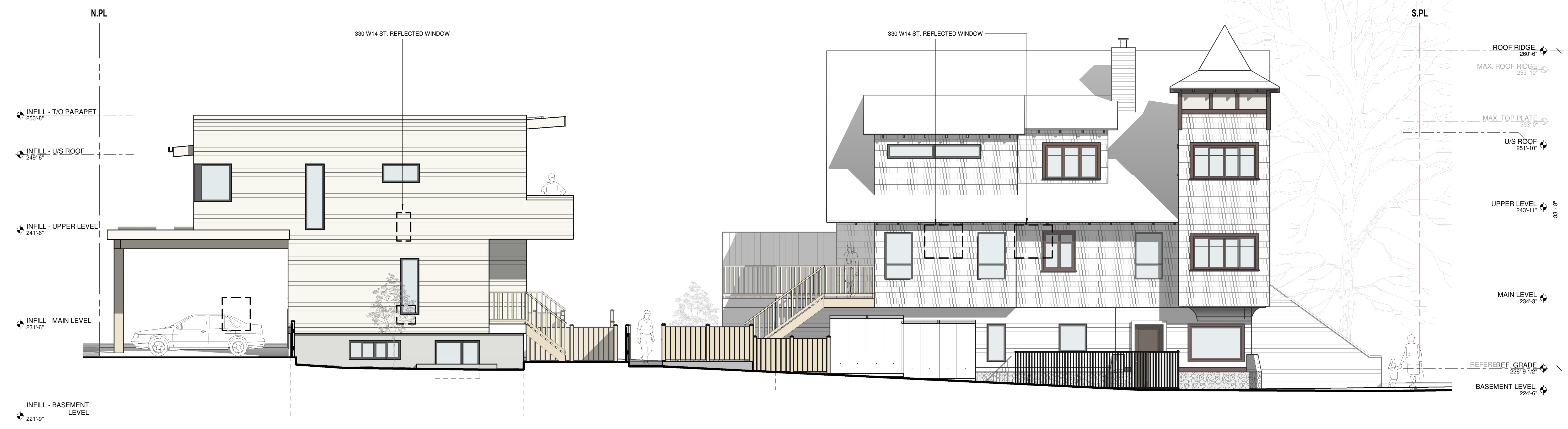
- C1. CLADDING: HARDI SHINGLE (MATCH EXIST)
- C2. CLADDING: HARDI PLANK (MATCH EXIST)
- CH1. CHIMNEY: BRICK
- D1. DOORS: SOLID ENTRY DOOR
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- W1. WINDOWS: WOOD REPLACEMENT (HERITAGE)
- W2. WINDOWS: HIGH PERFORM VINYL (ADDITION)
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- T2. TRIM: WOOD (NEW)
- B1. BIKE LOCKER: METAL
- P1. PARAPET FLASHING: ALUMINUM
- CA1. CARPORT STRUCTURE: WOOD



2 WEST ELEVATION - INFILL UNIT 4
 A3-04 SCALE: 1/4" = 1'-0"
 INTERNAL SECTION PATH



ISSUED



1 WEST SITE ELEVATION
 A3-05 SCALE: 3/16" = 1'-0"

REVISION		
No.	Date	Description
3	2021 10 01	DP SUBMISSION



2 EAST SITE ELEVATION
 A3-05 SCALE: 3/16" = 1'-0"

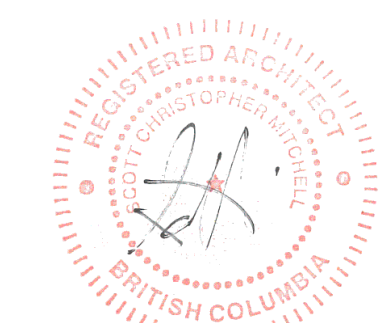
PROJECT
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DRAWING
ELEVATIONS - HERITAGE & INFILL + REFLECTED WINDOWS

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SCALE	REVIEWED
3/16" = 1'-0"	
PROJECT NO	2085

A3-05



SEAL
2021-10-05

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No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
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DRAWING
HERITAGE SECTIONS

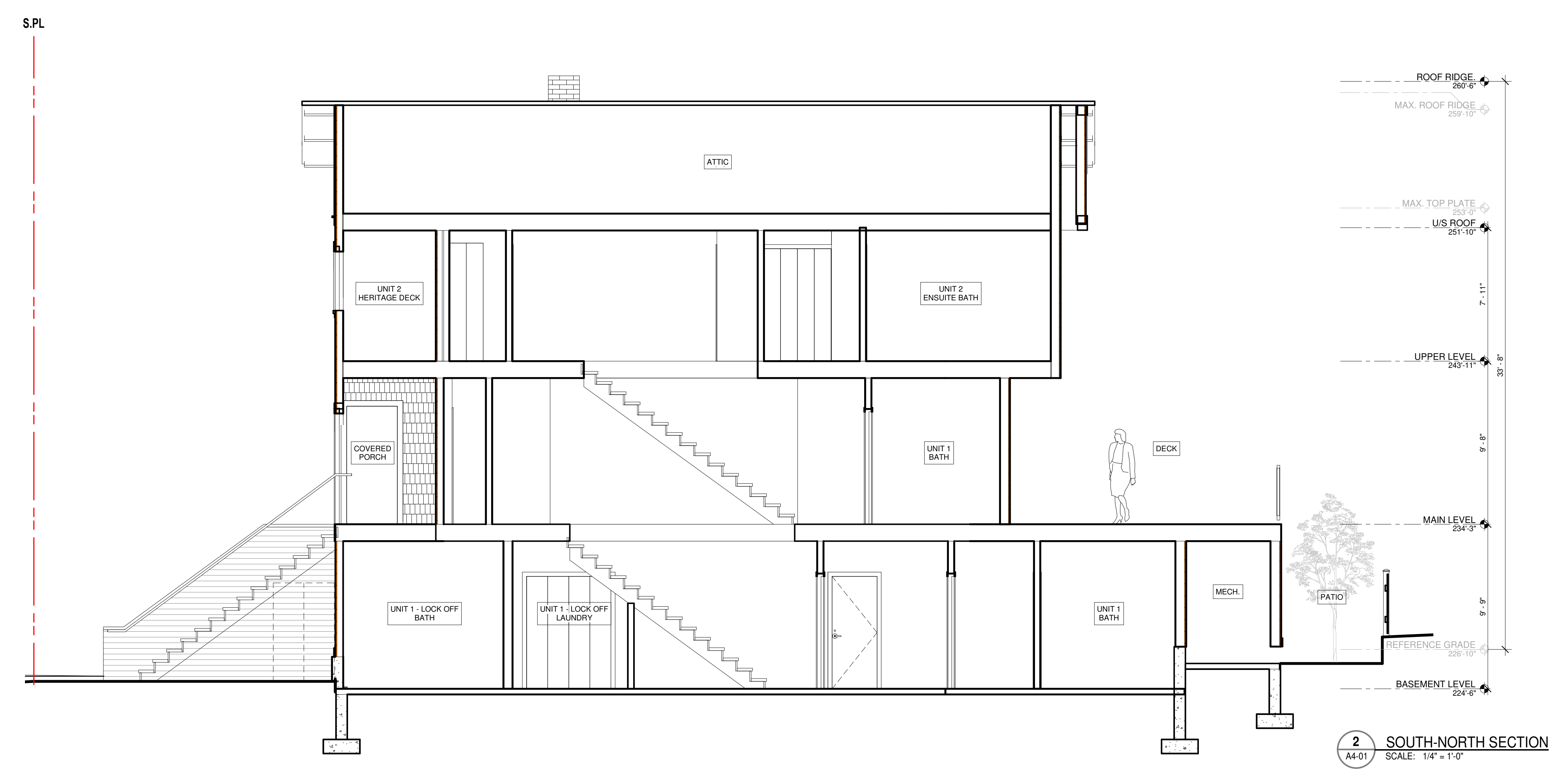
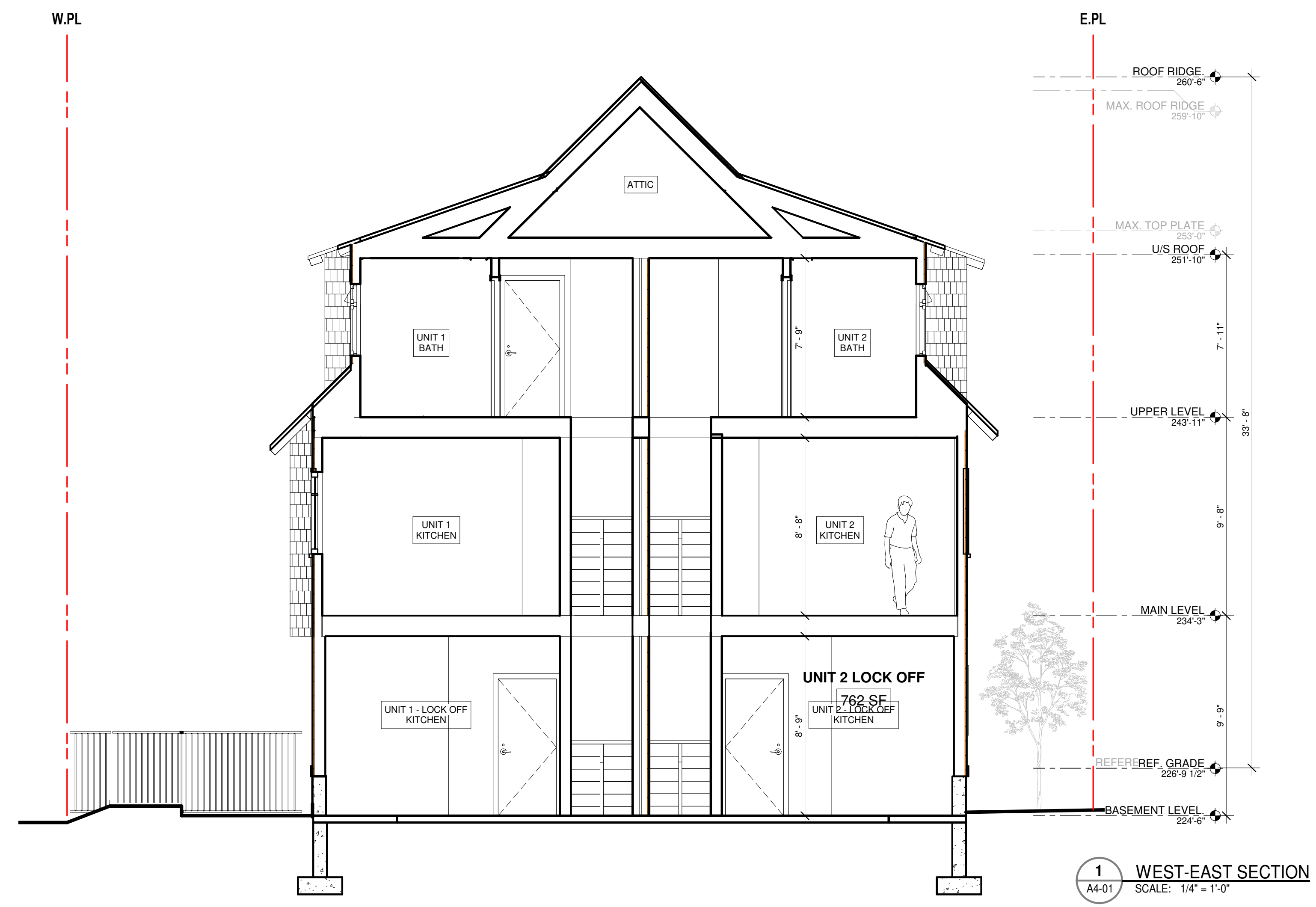
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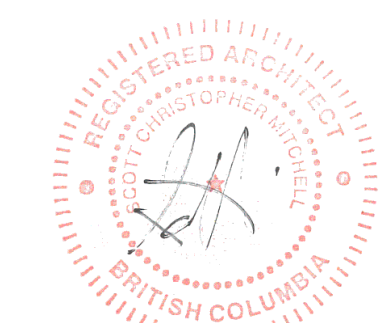
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DRAWN	DATE
REVIEWED	06/23/21
PROJECT NO	2085

A4-01



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SEAL

2021-10-05

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REVISION

No.	Date	Description
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PROJECT

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DRAWING

INFILL SECTIONS

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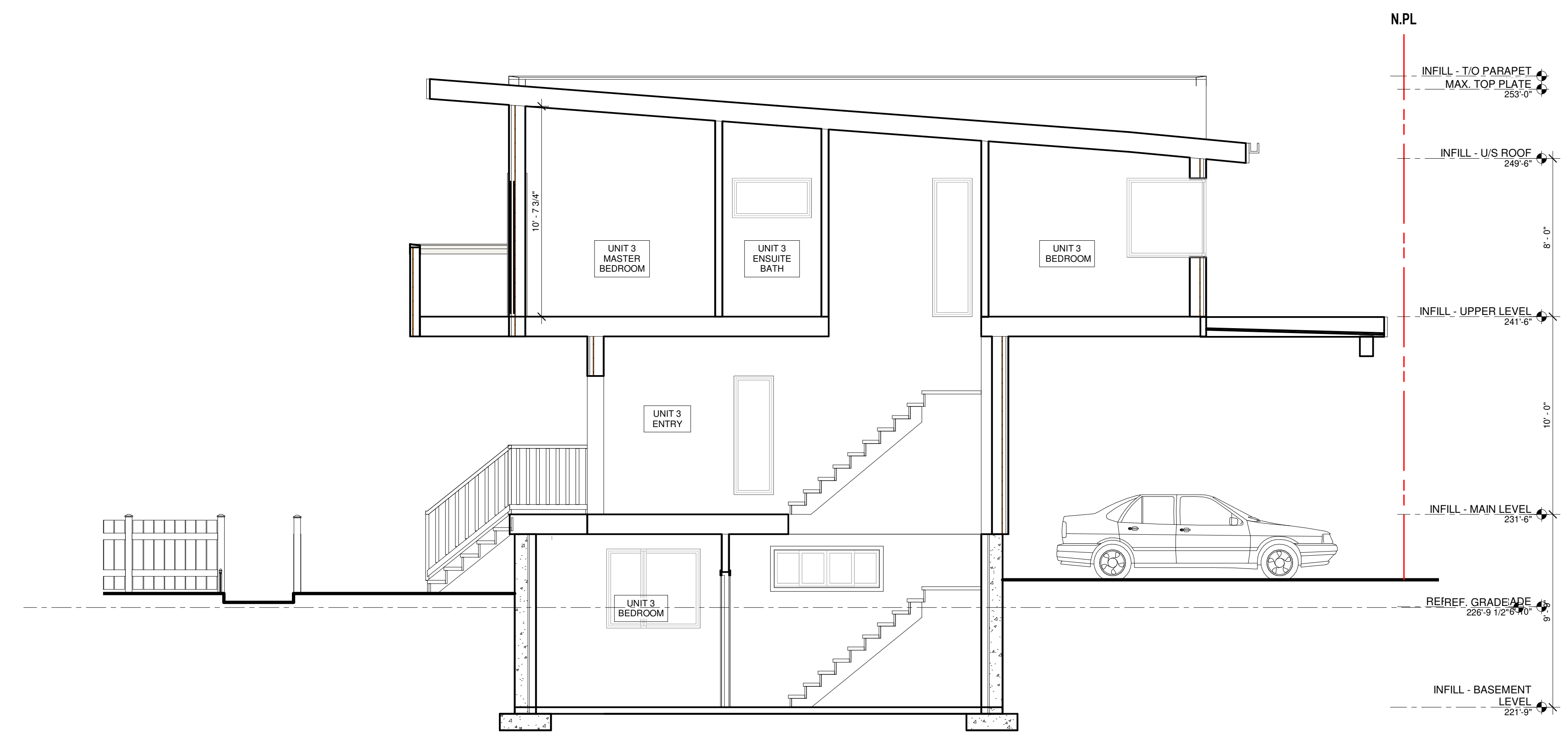
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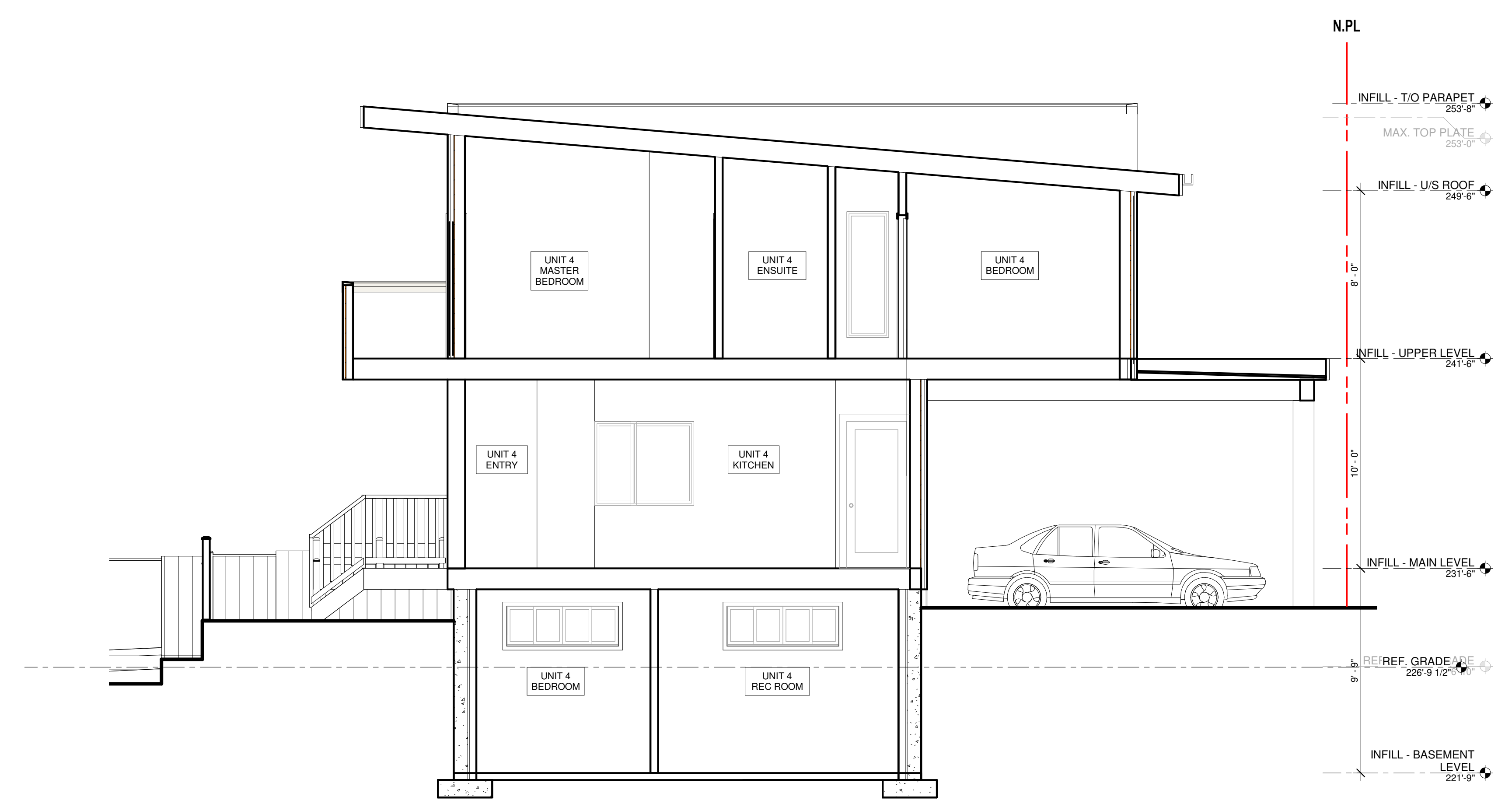
DRAWN DATE
 06/24/21

SCALE REVIEWED
 1/4" = 1'-0"

PROJECT NO 2085



1 UNIT 3 - SECTION
 A4-02 SCALE: 1/4" = 1'-0"



2 UNIT 4 - SECTION
 A4-02 SCALE: 1/4" = 1'-0"

LEVEL 1

DESIGN ELEMENTS

BUILDING ACCESS

- Outside stairs – maximum degree of colour contrast on nosing of each stair
- Curb cuts have tactile and visual cues
- Unobstructed access to main building entrances from street/sidewalks
- Canopy over main building entrances (3' or 915mm) and entherphone
- Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)
- Accessible building entherphone, call buttons and, where provided, suite door bells *

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas) *

FIXTURES AND FINISHES

BASIC

- Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
- Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
- No polished finish on building entry flooring (provide flooring samples)
- Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
- Signage throughout common areas has well contrasted colours
- Elevators have well contrasted control buttons

CIRCULATION

- Slip resistant flooring
- Colour contrasting exit doors

ELECTRICAL

- Within suites a duplex outlet is required within 8" or 200mm of a telephone jack
- Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system

LEVEL 2

FIXTURES AND FINISHES

BASIC

- Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
- Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
- No polished finish on building entry flooring (provide flooring samples)
- Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
- Signage throughout common areas has well contrasted colours
- Elevators have well contrasted control buttons

CIRCULATION

- Slip resistant flooring
- Colour contrasting exit doors

BUILDING MEETING / AMENITY ROOMS

- Provide carpet and drapes to absorb sound and decrease echoes

UNIT ENTRIES

- Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
- Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below

UNIT FLOORING

- Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
- High density, low level loop carpet and underlay maximum 1/2" or 13mm height

PATIOS AND BALCONIES

- Outdoor light fixture provided
- Electrical outlet provided

ELECTRICAL

- Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
- Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
- Within suites a duplex outlet is required within 8" or 200mm of a telephone jack
- Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
- Rocker switches

WINDOWS

- Easily grasped and operated mechanism for opening and locking windows

KITCHEN

- Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
- Pull-out work board in addition to a cutlery drawer at 28" or 810mm height *
- Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
- Adjustable shelves in all cabinets

MIN. ONE BATHROOM

- Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *
- Pressure balanced tub / shower valves
- Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
- Provision for vanity sink removal
- Adjustable height shower head or hand-held shower head on adjustable bracket*

LIVING ROOM

- One switched electrical outlet

BEDROOMS

- Three-way switched outlet at bed area and doorway
- Provide light fixture in or adjacent to closet
- Telephone jack

IN-SUITE STORAGE

- Provide light and electrical outlet provided

DESIGN ELEMENTS

BUILDING ACCESS

- Outside stairs – maximum degree of colour contrast on nosing of each stair
- Curb cuts have tactile and visual cues
- Unobstructed access to main building entrances from street/sidewalks
- Unobstructed internal access:
 - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) *
 - garbage and recycling receptacles and storage lockers
 - no stairs within building circulation including corridors on residential levels
 - accessible storage lockers for each unit
- Canopy over main building entrances (3' or 915mm) and entherphone
- Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided
- Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached
- 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)
- Accessible building entherphone, call buttons and, where provided, suite door bells *

COMMON AREAS

- Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front *

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas) *
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening**

PATIOS AND BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold**
- Minimum 5' or 1520mm turning radius on patio / balcony

WINDOWS

- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-6" or 750mm above the floor

KITCHEN

- Continuous counter between sink and stove*

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length) *
- Provide turning radius within bathroom (may result from removal of vanity cabinet)**
- 3' or 915mm clearance along full length of tub *
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position *
- Accessible storage *

* Illustrations available [09/2006]

* Illustrations available [09/2006]
** Options considered

UNIT ENTRY DOOR:

- Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
- 3' or 915mm building and suite entry doors
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit
- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user
- Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
- Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)
- Accessible building entherphone, call buttons and, where provided, suite door bells
- Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries

ENTRY:

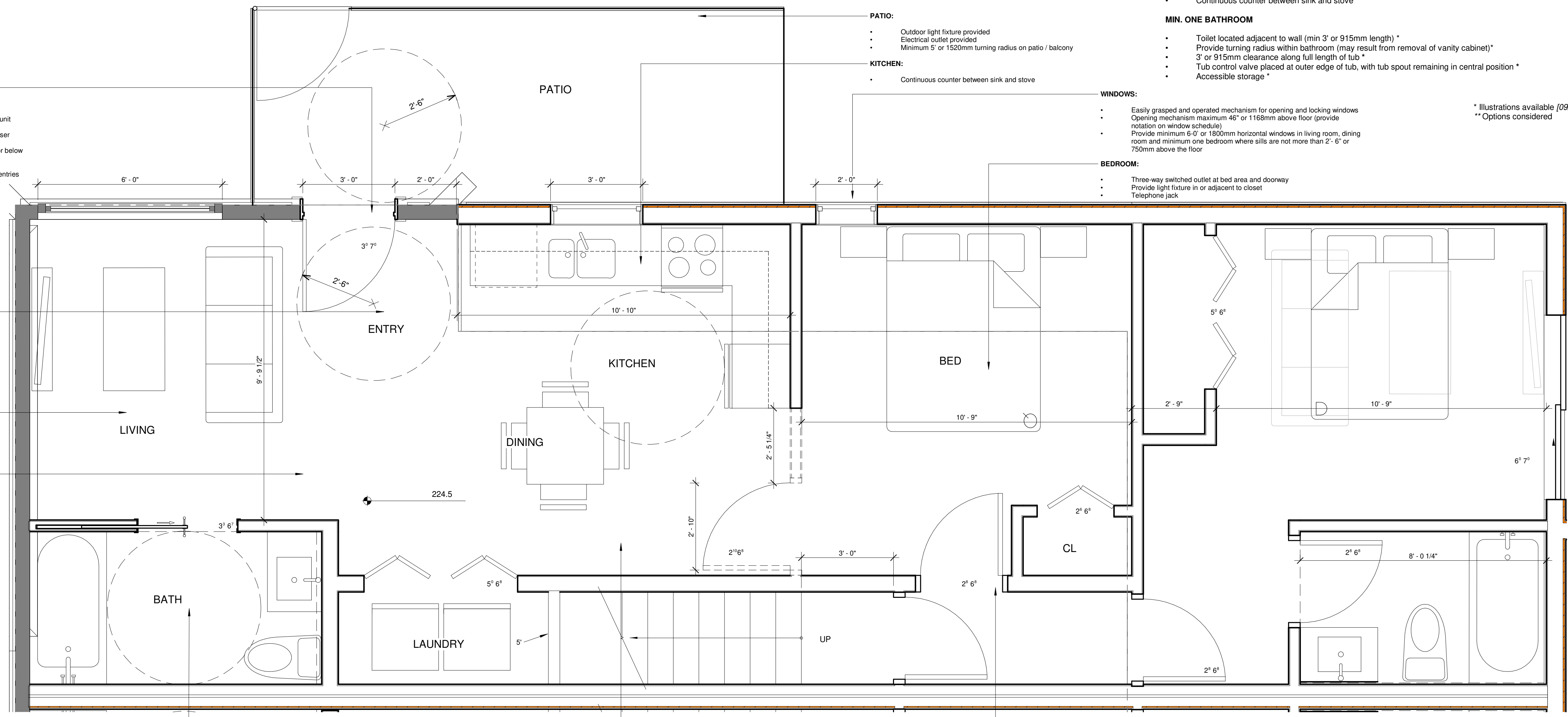
- No polished finish on building entry flooring

LIVING ROOM:

- One switched electrical outlet

ELECTRICAL:

- Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
- Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
- Within suites a duplex outlet is required within 8" or 200mm of a telephone jack
- Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
- Rocker switches



BATHROOM:

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position
- Accessible storage
- Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars
- Pressure balanced tub / shower valves
- Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
- Provision for vanity sink removal
- Adjustable height shower head or hand-held shower head on adjustable bracket

FLOORING:

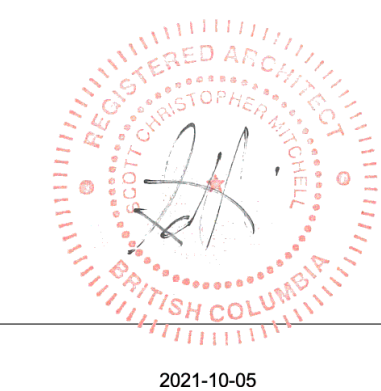
- Non-slip flooring in kitchen and minimum one bathroom
- High density, low level loop carpet and underlay maximum 1/2" or 13mm height

INTERIOR DOORS:

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening**
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)

2 | ADAPTABLE UNIT 1 (UNIT 2 SIMILAR)

SCALE: 1/2" = 1'-0"



SEAL

ISSUED

REVISION

No.	Date	Description
1	2021 07 23	REZONING APP DRAFT
3	2021 10 01	DP SUBMISSION

PROJECT

KNOWLES RESIDENCE
328 W 14th ST.
CITY OF NORTH VANCOUVER,
BC V7M 1P6

DRAWING

AREA PLANS

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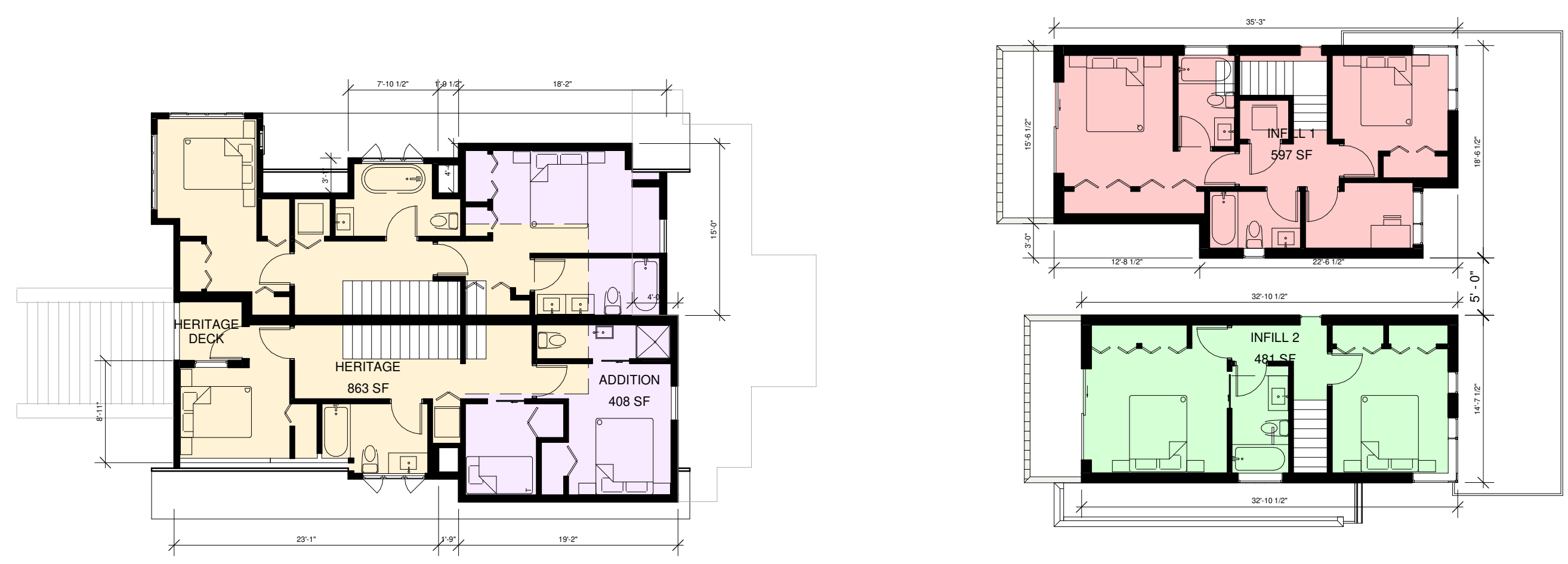
This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents and, bring these items to the attention of the Architect for clarification.

DRAWN DATE
07/20/21

SCALE REVIEWED
1" = 10'-0"

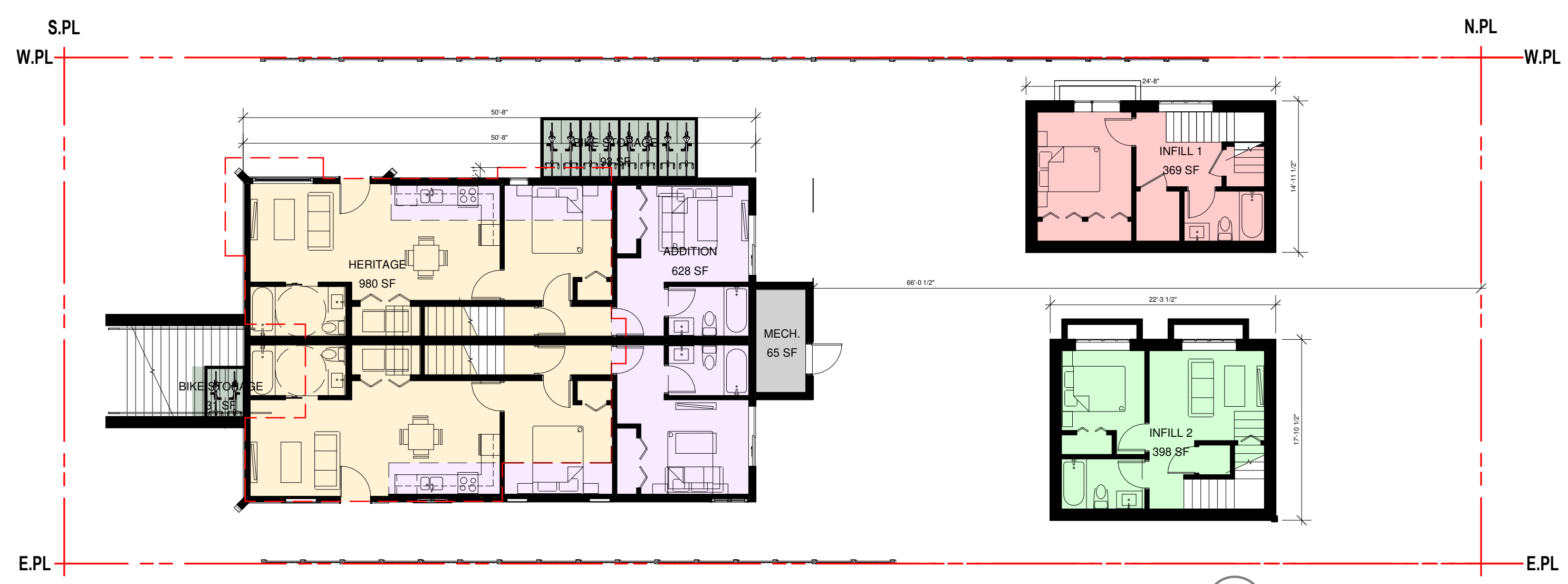
PROJECT NO 2085



4 UPPER LEVEL
A6-01 SCALE: 1" = 10'-0"



3 MAIN LEVEL
A6-01 SCALE: 1" = 10'-0"



1 BASEMENT LEVEL N.P.L.
A6-01 SCALE: 1" = 10'-0"

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
ADDITION	628 SF	226 SF	408 SF	634 SF	1,262 SF
HERITAGE DECK TO BE REINSTATED			LESS 31 SF	LESS 31 SF	LESS 31 SF
	1,609 SF	1,337 SF	1,240 SF	2,577 SF	4,186 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	481 SF	936 SF	1,334 SF
	767 SF	831 SF	1,078 SF	1,909 SF	2,676 SF
	2,376 SF (EXCLUDED)			4,485 SF	6,861 SF

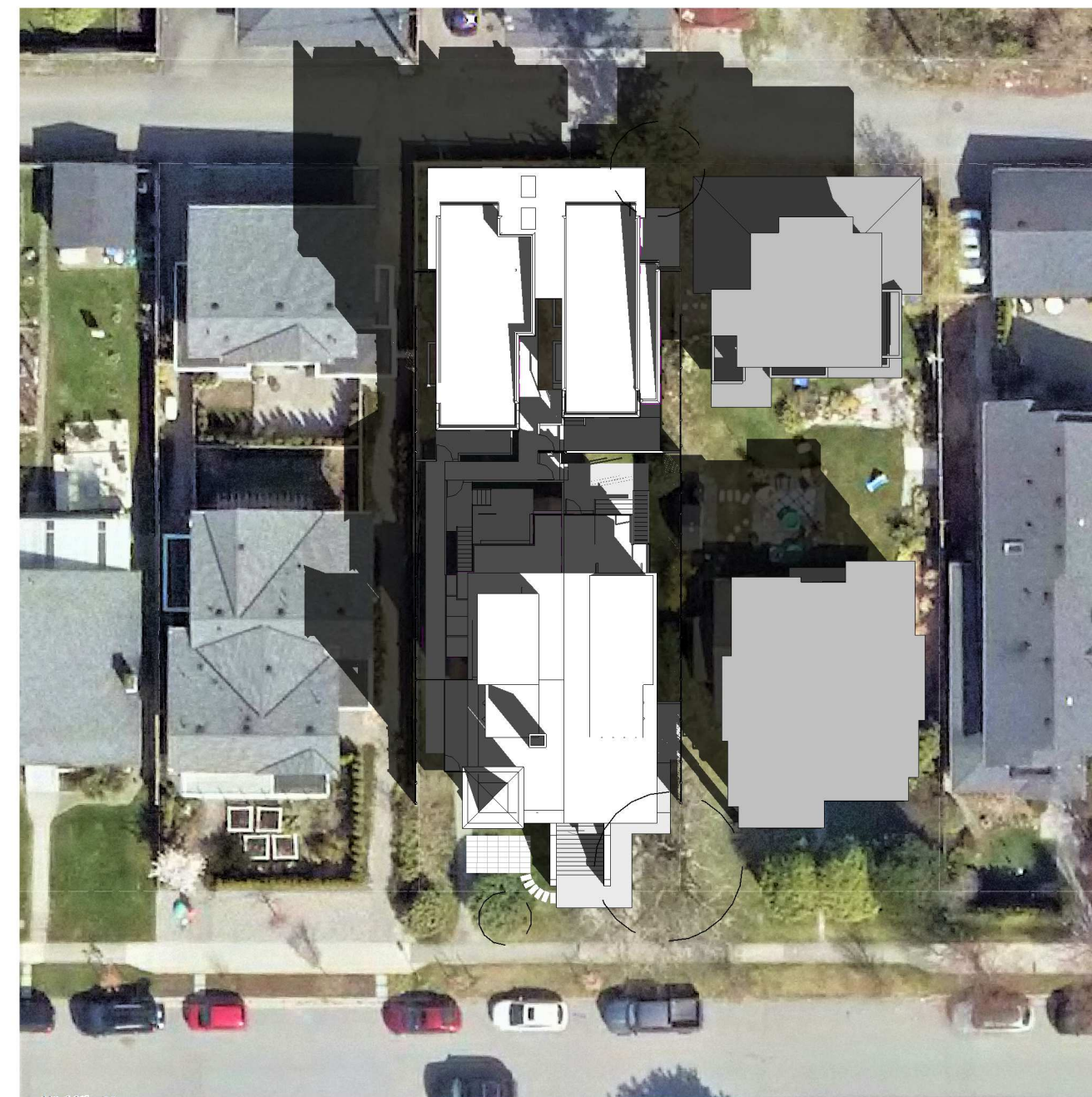
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	682 SF	638 SF	1,361 SF	2,126 SF
UNIT 1 LOCK-OFF	765 SF	0 SF	0 SF	765 SF	
UNIT 2 EAST	42 SF	655 SF	603 SF	1,299 SF	2,059 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	481 SF	1,335 SF	1,335 SF
	2,375 SF	2,168 SF	2,318 SF	6,862 SF	

EXCLUSIONS:	TOTAL
BASEMENT	2,375 SF
BIKE STORAGE	124 SF
CARPORT	720 SF
HERITAGE DECK	31 SF
GREEN MECH. ROOM	65 SF
WASTE ENCLOSURE	99 SF
	3,415 SF
TOTAL GROSS FLOOR AREA	4,486 SF + 3,414 SF = 7,900 SF

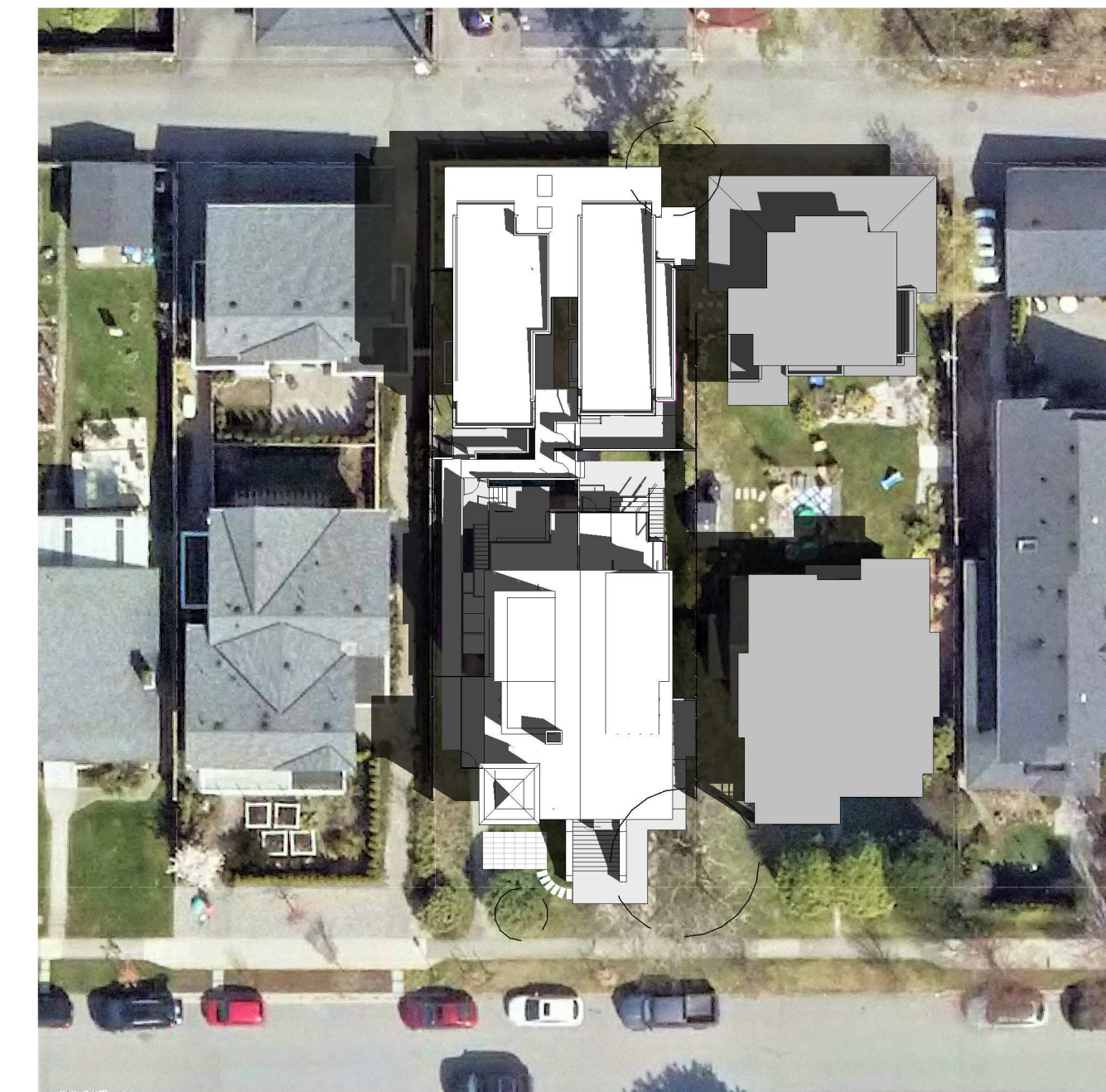
9/30/2021 4:56:09 PM



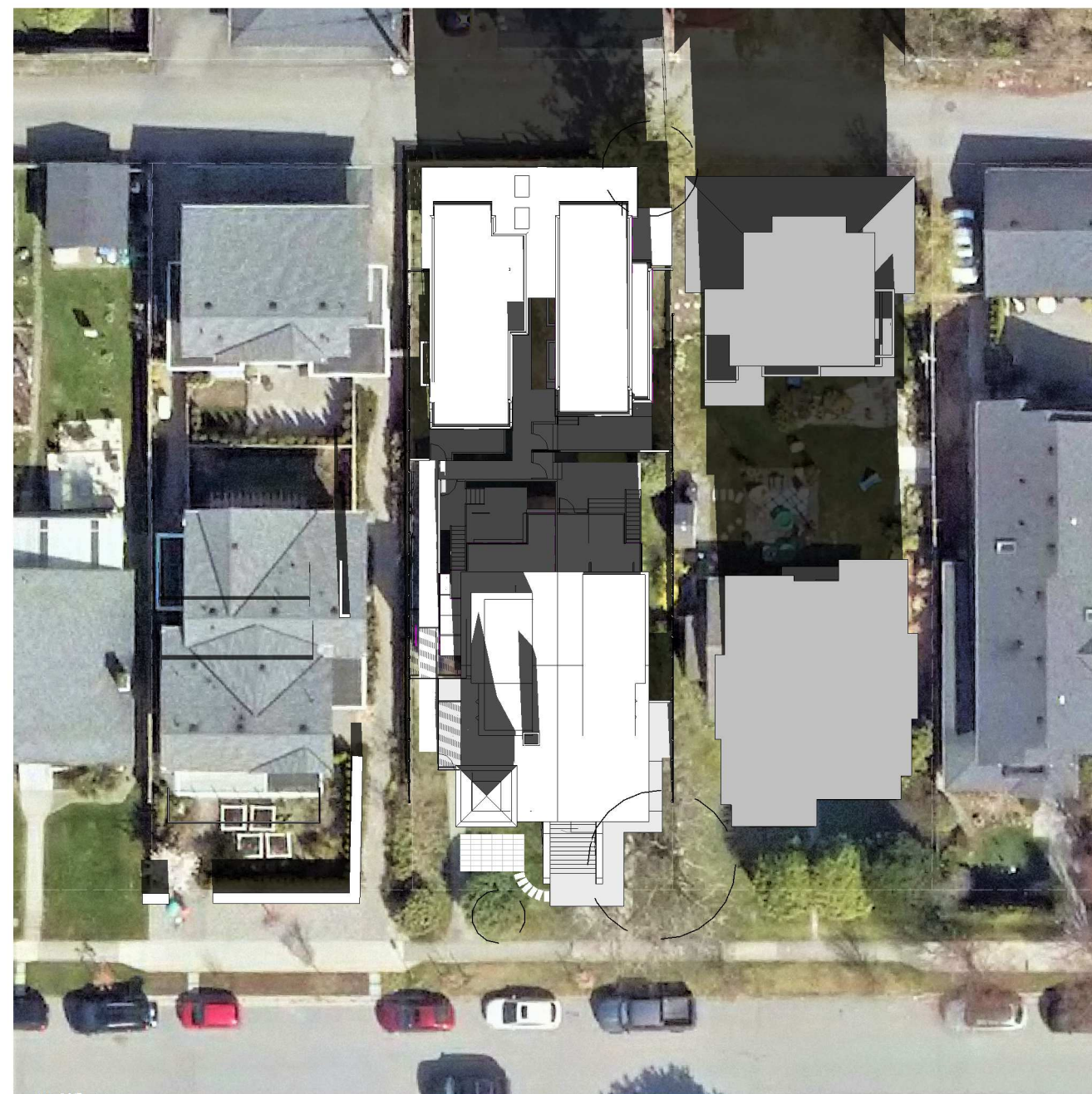
DECEMBER 21ST @ 10:00 am



MARCH 21ST @ 10:00 am



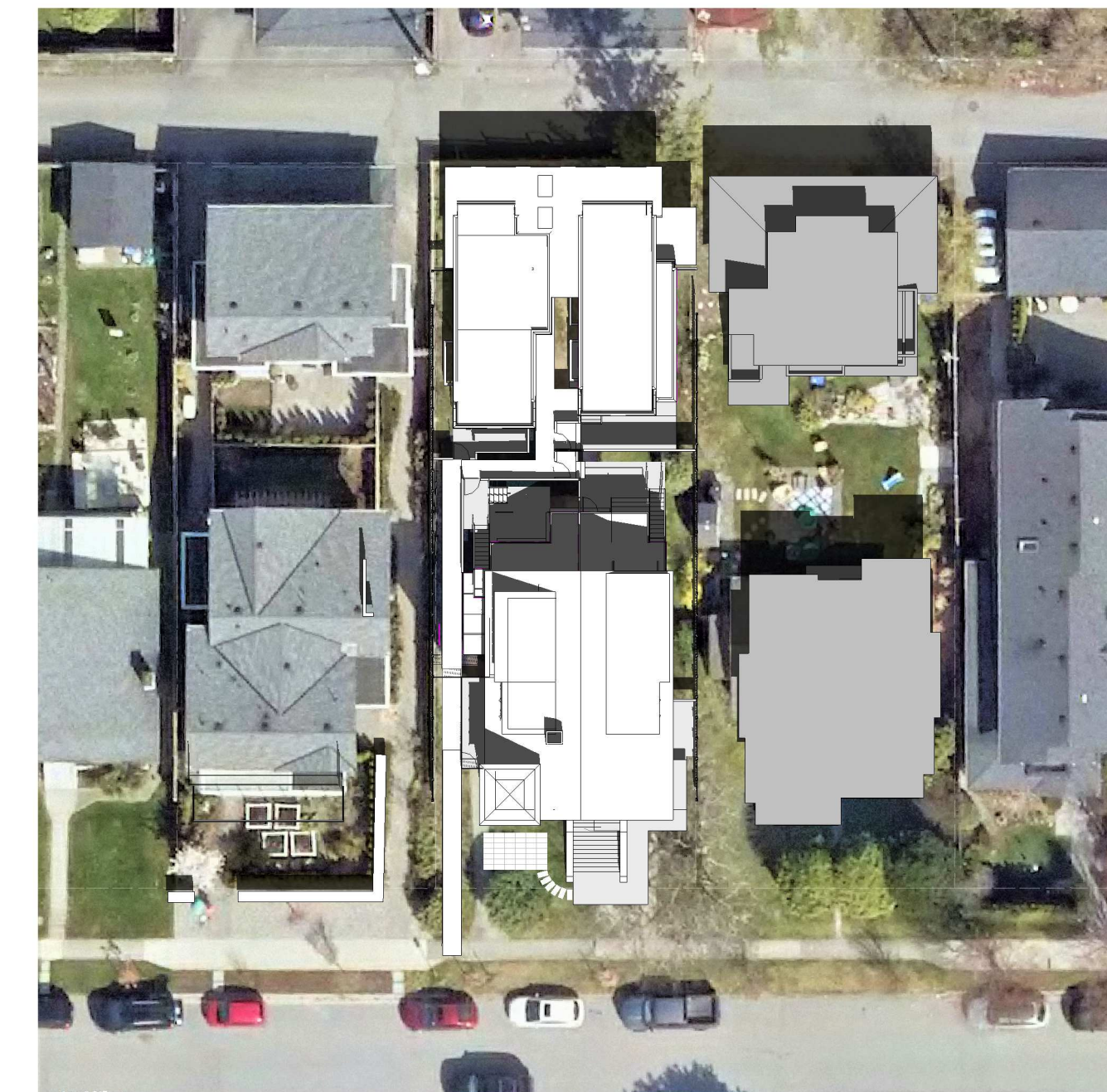
JUNE 21ST @ 10:00 am



DECEMBER 21ST @ 12:00 pm



MARCH 21ST @ 12:00 pm



JUNE 21ST @ 12:00 pm



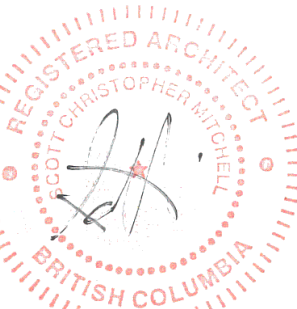
DECEMBER 21ST @ 2:00 pm



MARCH 21ST @ 2:00 pm



JUNE 21ST @ 2:00 pm



SEAL

2021-10-05

ISSUED

REVISION

No.	Date	Description
3	2021 10 01	DP SUBMISSION

PROJECT

KNOWLES RESIDENCE
328 W 14th ST.
CITY OF NORTH VANCOUVER,
BC V7M 1P6

DRAWING

SHADOW STUDIES

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DRAWN DATE
09/27/21

SCALE REVIEWED
1" = 30'-0"

PROJECT NO 2085