

2 3D VIEW - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX INFILL



CONTEXT PLAN
12" = 1'-0"

CONSULTANTS

SURVEYOR: BENNETT LAND SURVEYING LTD. #201-275 FELL AVENUE NORTH VANCOUVER, BC, V7P 3R5 (604) 980-4868	ARCHITECT: BRADBURY ARCHITECTURE #350-440 W HASTINGS STREET VANCOUVER, BC, V6B 1L1 (604) 731-7227
STRUCTURAL ENGINEER: TBD ADDRESS #209-980 WEST 1ST STREET NORTH VANCOUVER, BC, V7P 3N9 (604) 904-9803	CIVIL ENGINEER: CREUS ENGINEERING #610 EAST TOWER- 221 ESPLANADE WEST NORTH VANCOUVER, BC, V7M 3J3 (604) 987-9070
LANDSCAPE: PD GROUP LANDSCAPE ARCHITECTURE LTD. #209-980 WEST 1ST STREET NORTH VANCOUVER, BC, V7P 3N9 (604) 904-9803	ARBORIST: TALUS CONSULTING LTD 1934 PARKSIDE LAND NORTH VANCOUVER, BC, V7G 1K5 (604) 354-7359

PROJECT SUMMARY

PROPERTY DESCRIPTION:
CIVIC ADDRESS: LOT 14, 14TH STREET EAST, CITY OF NORTH VANCOUVER, BC
LEGAL DESCRIPTION: LOT 14, BLOCK 52, DL 550, PLAN 1363, PID 009-773-797
CURRENT ZONING: RS-1 / OCP LAND USE R-2
PROPOSAL: MINOR EXTERIOR ALTERATIONS TO EXISTING HERITAGE HOUSE & PROPOSED INFILL (DUPLEX WITH SECONDARY SUITE) ON NORTH SIDE OF SITE.

ZONING ANALYSIS AS PER ZONING BYLAW 6700

LOT DIMENSION: 8797.34 SF (817.30m²)
LOT WIDTH: 59.99' (18.28m)
LOT DEPTH: 146.71' (44.72m)

LOT COVERAGE CALCULATION - REFER TO SHEET A105

PROPOSED BUILDING COVERAGE: 3213.78 SF (298.56m²), 36.5%

GROSS FLOOR AREA CALCULATION - REFER TO SHEET A105

PROPOSED FSR: 4375.12 SF (406.46m²), 0.49 FSR

HEIGHT CALCULATION:

EXISTING BUILDING HEIGHT (HERITAGE): 31.27' (9.53m)

PROPOSED BUILDING HEIGHT (DUPLEX INFILL): 29.10' (8.87m)

BUILDING SETBACKS:

REFER TO SITE PLAN

DRAWING LIST	
Sheet	Sheet Name
A0.00	COVER SHEET
A1.00	HERITAGE HOUSE - EXISTING PLANS
A1.01	BASEMENT FLOOR PLAN - PROPOSED
A1.02	MAIN FLOOR PLAN - PROPOSED
A1.03	UPPER FLOOR PLAN - PROPOSED
A1.04	ROOF PLAN - PROPOSED
A1.05	AREA CALCULATIONS (G.F.A)
A1.06	SHADOW IMPACT STUDY
A2.00	INFILL - N & S ELEVATIONS
A2.01	INFILL & EXISTING H.H. - E & W ELEVATIONS
A2.02	EXISTING H.H. - S & N ELEVATIONS
A2.03	INFILL - S & W ELEVATIONS (LDC)
A2.04	INFILL - E & N ELEVATIONS (LDC)
A3.00	SECTIONS
A4.00	DETAILS
A4.01	DETAILS
A4.02	DETAILS
A4.03	WINDOW & DOOR SCHEDULES

REVISION: OVERSIGHT CONCERN - DATED FEBRUARY 23RD, 2022
SHEETS: A102, A103, A105, A200, A201, A203, A204, A300, A4.03

BRADBURY ARCHITECTURE

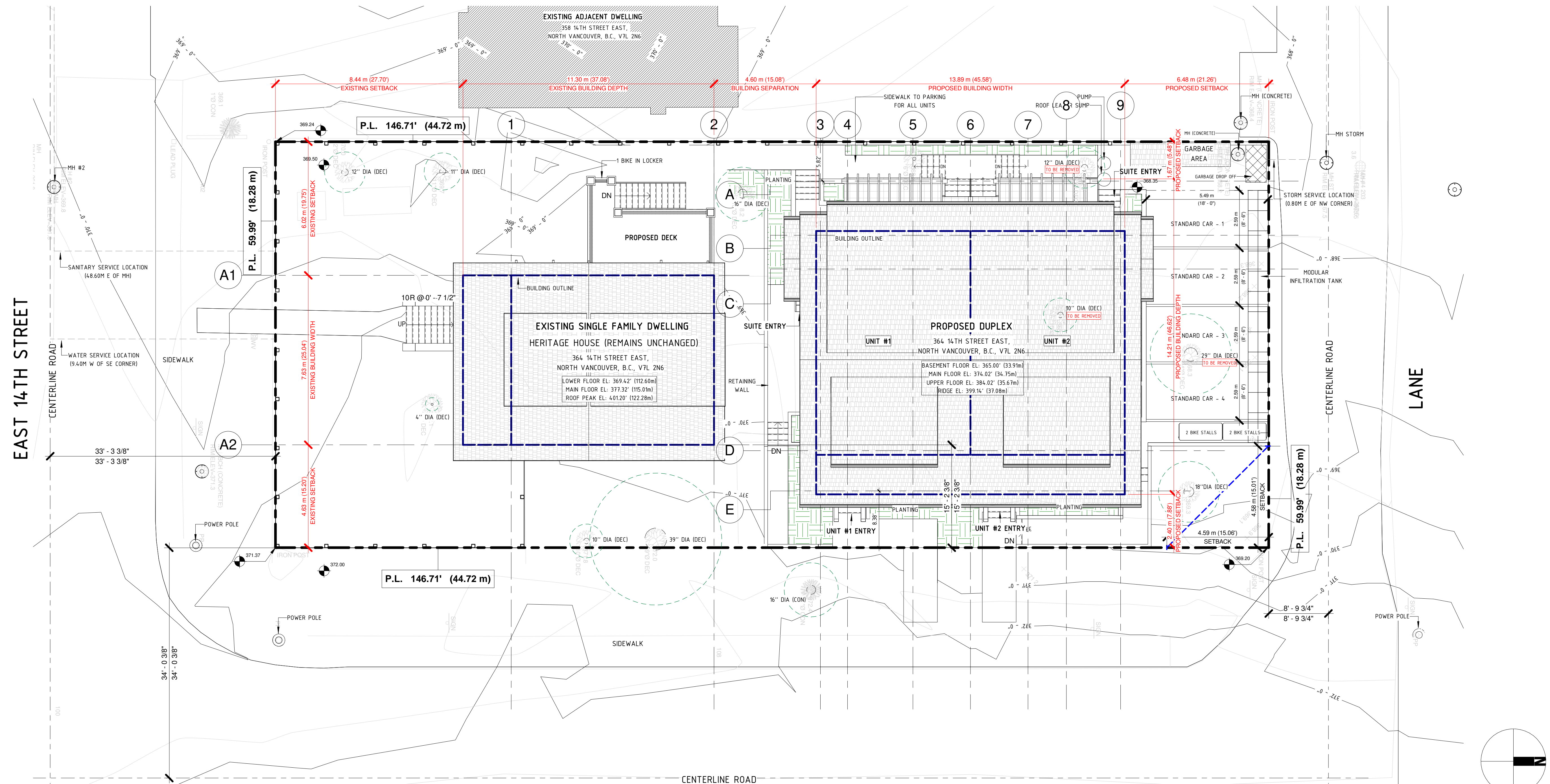
350-440 W Hastings Street,
Vancouver, B.C. Canada, V6B 1L1
info@bradburyarchitecture.ca
604-731-7227

KARL WEIN ASSOCIATES

135/2 1451 MARINE DV
WEST VANCOUVER
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1 SITE PLAN
1/8" = 1'-0"

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET
DUPLEX INFILL
COVER SHEET

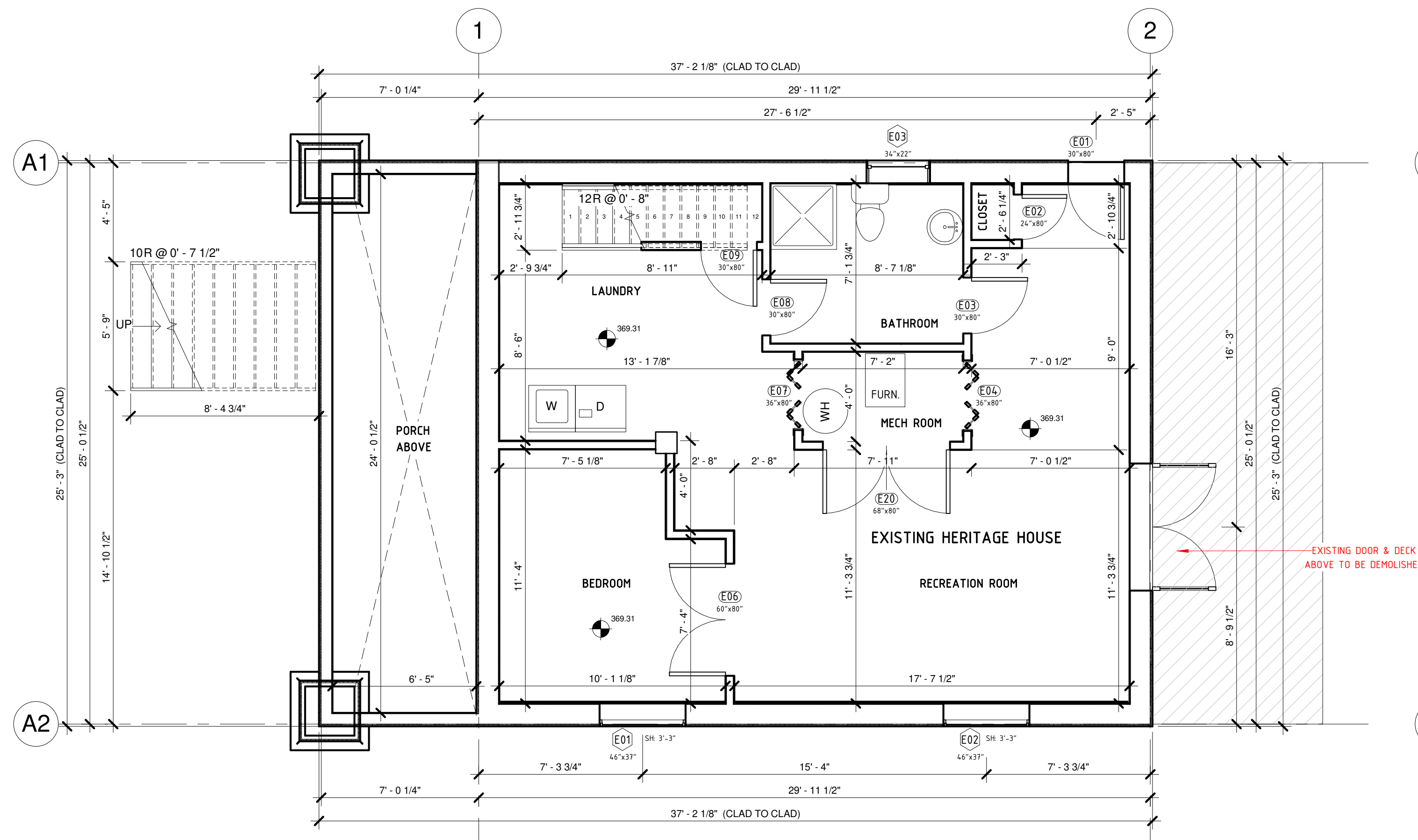
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DATE	01/25/2022
DRAWN BY	RMR
CHECKED BY	KW
SCALE	As indicated

A0.00

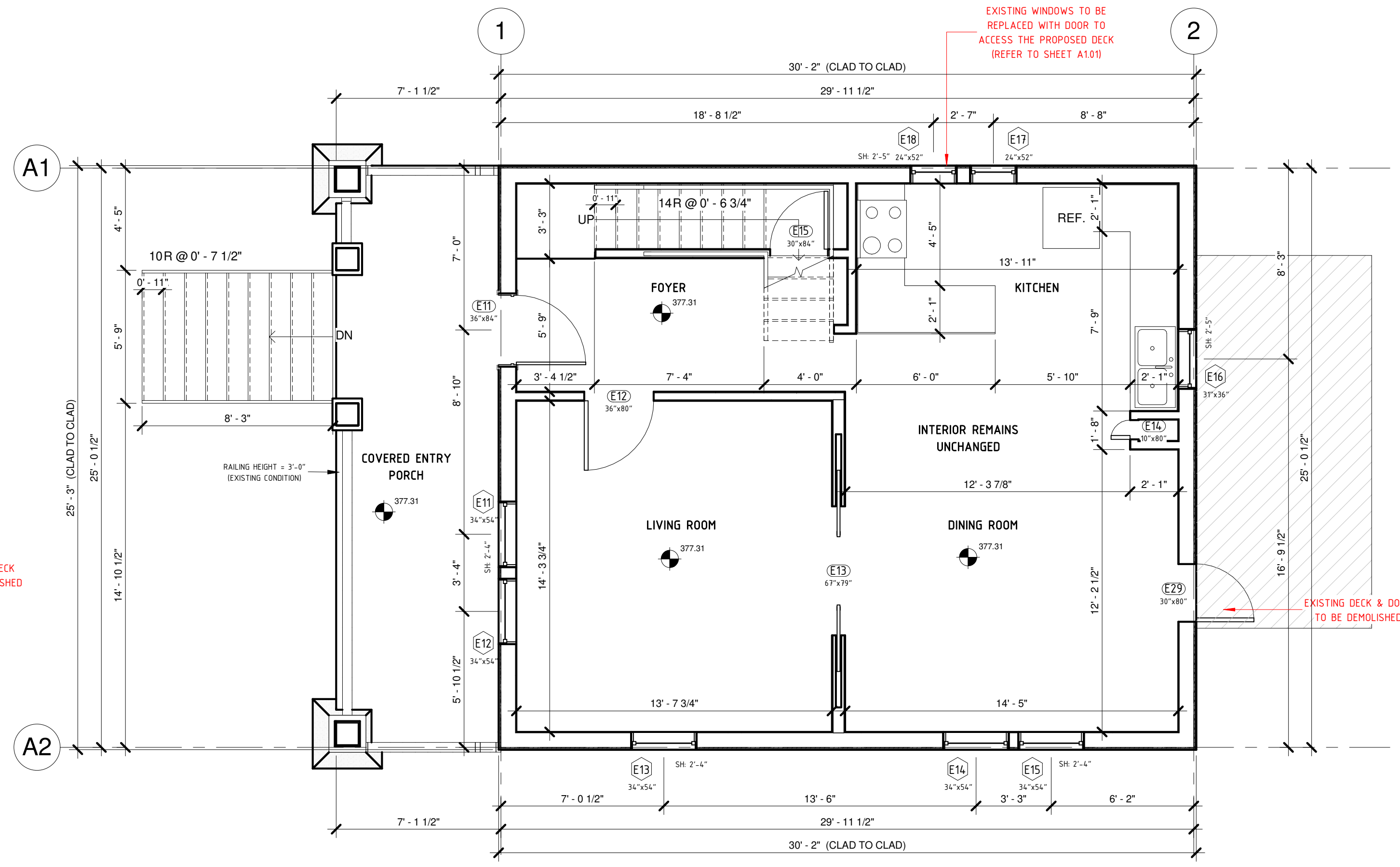
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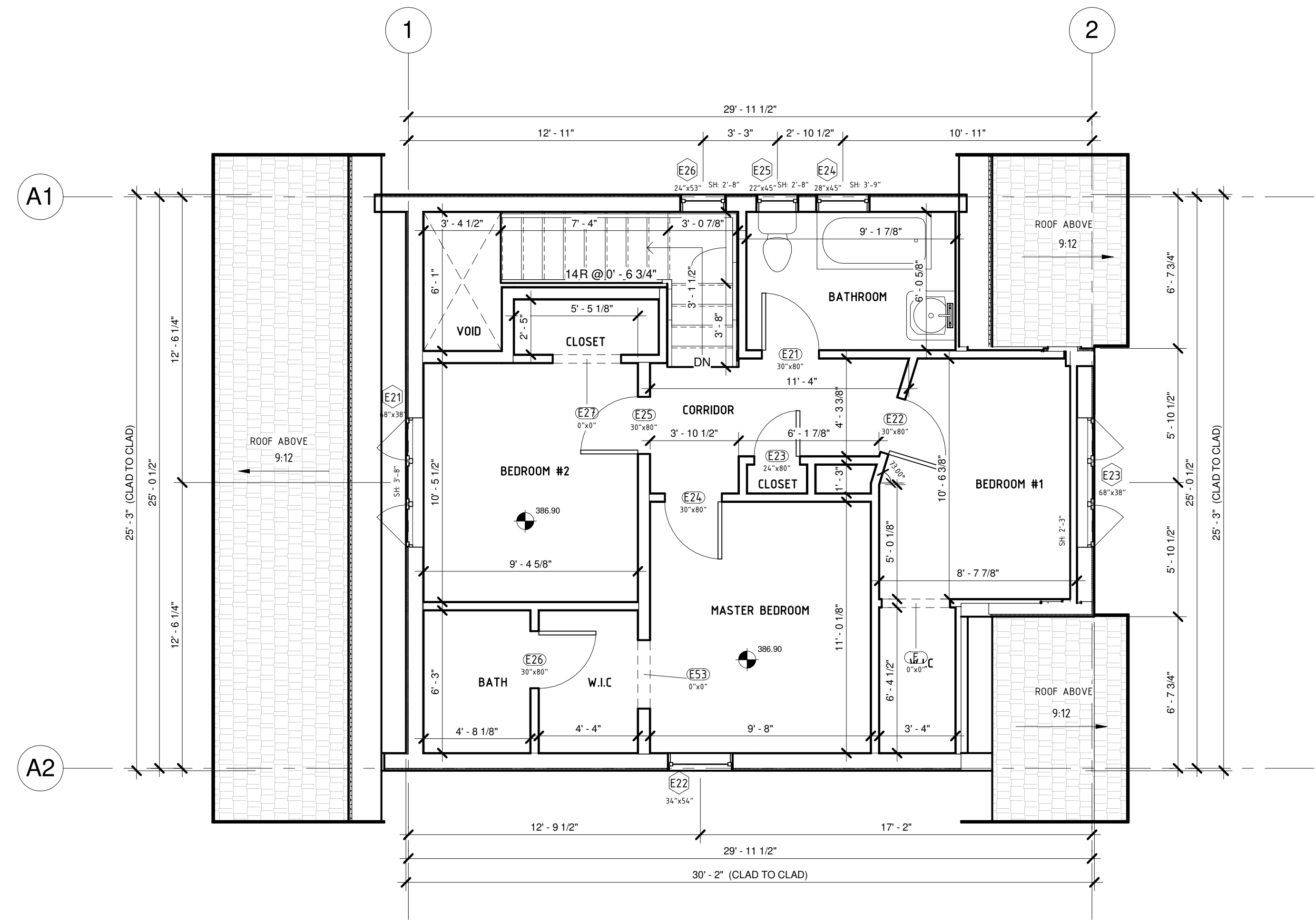
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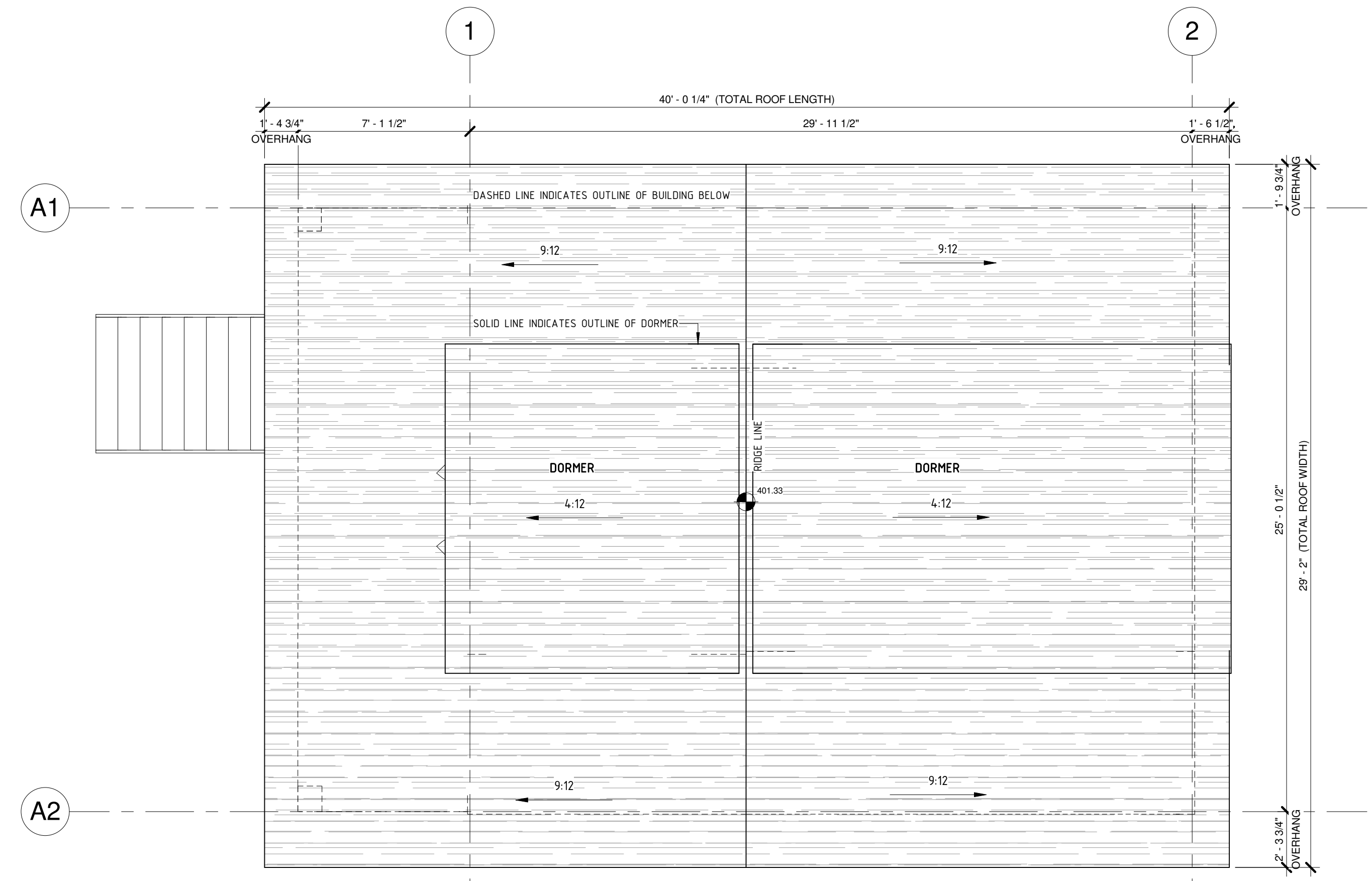
1 HERITAGE HOUSE - EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



2 HERITAGE HOUSE - EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



3 HERITAGE HOUSE - EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



4 HERITAGE HOUSE - EXISTING ROOF PLAN
1/4" = 1'-0"

REVISIONS / ISSUES:

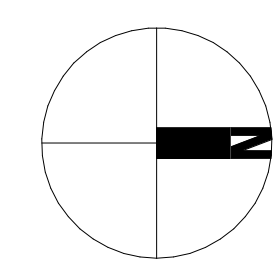
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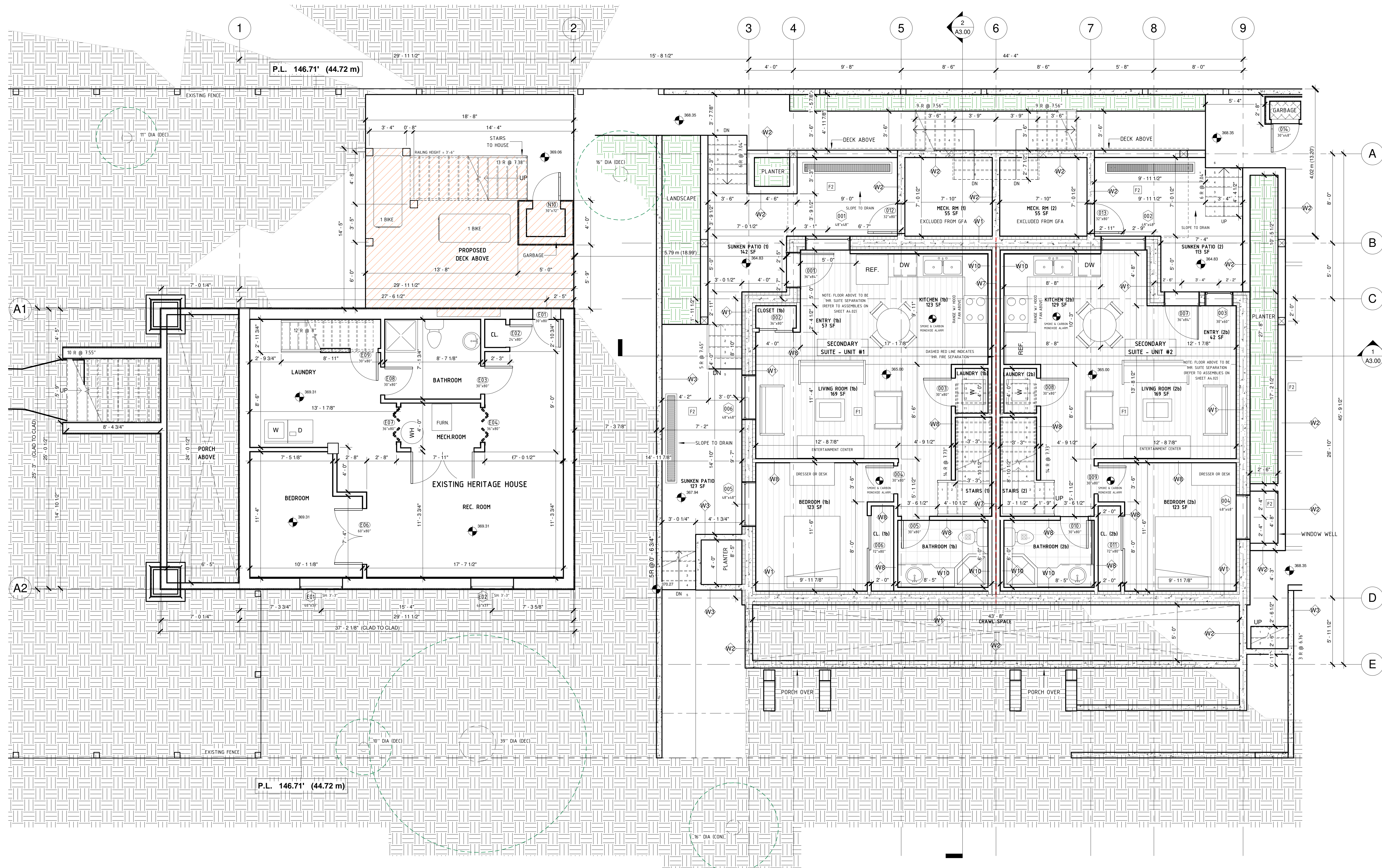
364 E 14TH STREET
DUPLEX INFILL
HERITAGE HOUSE - EXISTING PLANS

PROJECT NUMBER 36414TH / 1920
DATE 01/25/2022
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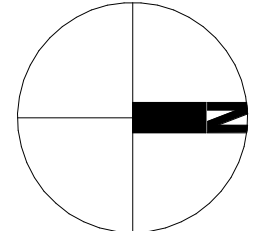
NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27

364 E 14TH STREET
DUPLEX INFILL
BASEMENT FLOOR PLAN - PROPOSED

PROJECT NUMBER 36414TH / 1920
DATE 01/25/2022
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1 BASEMENT FLOOR PLAN - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX
1/4" = 1'-0"



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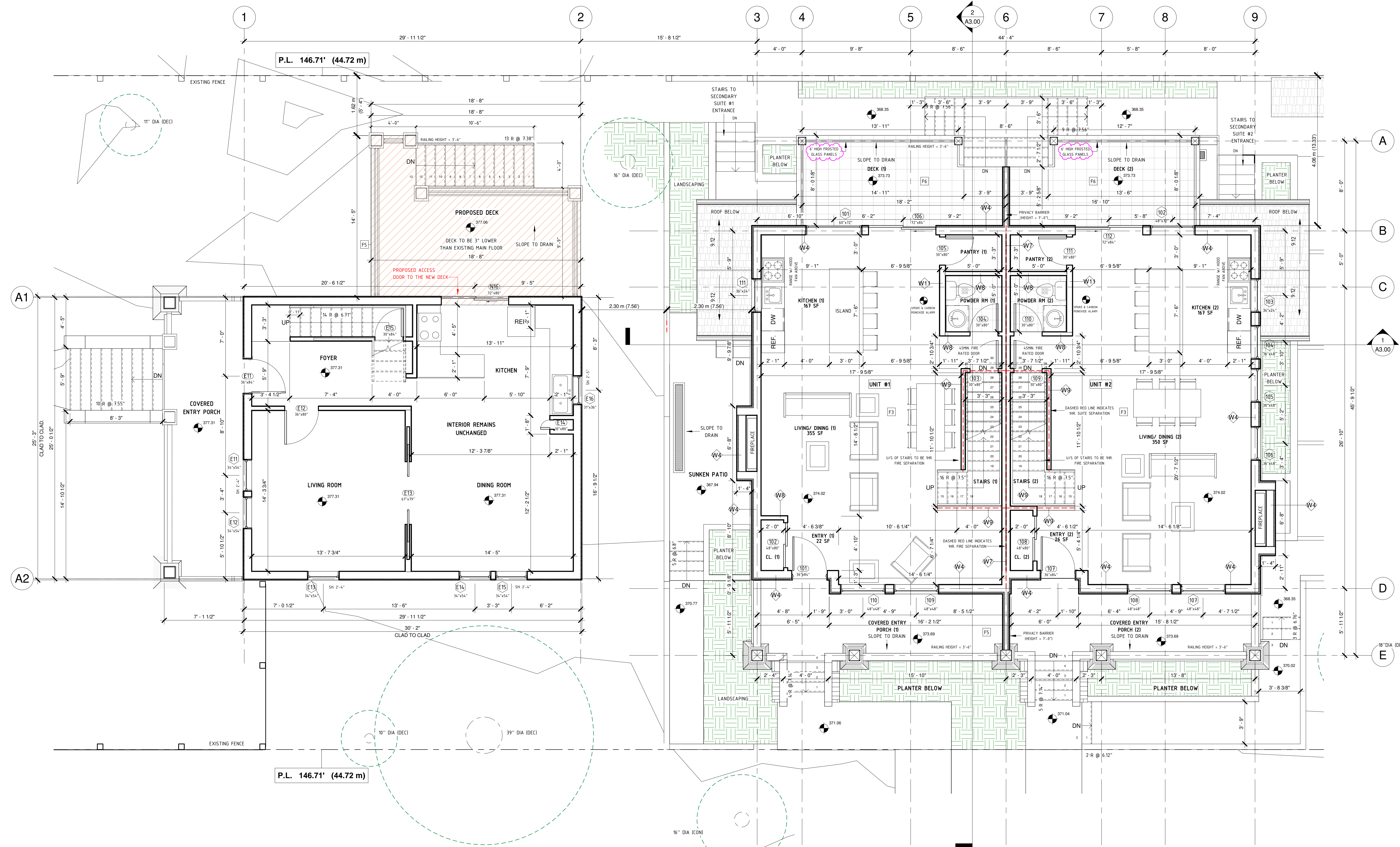
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NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET
DUPLEX INFILL
MAIN FLOOR PLAN - PROPOSED

PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
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SCALE	As indicated

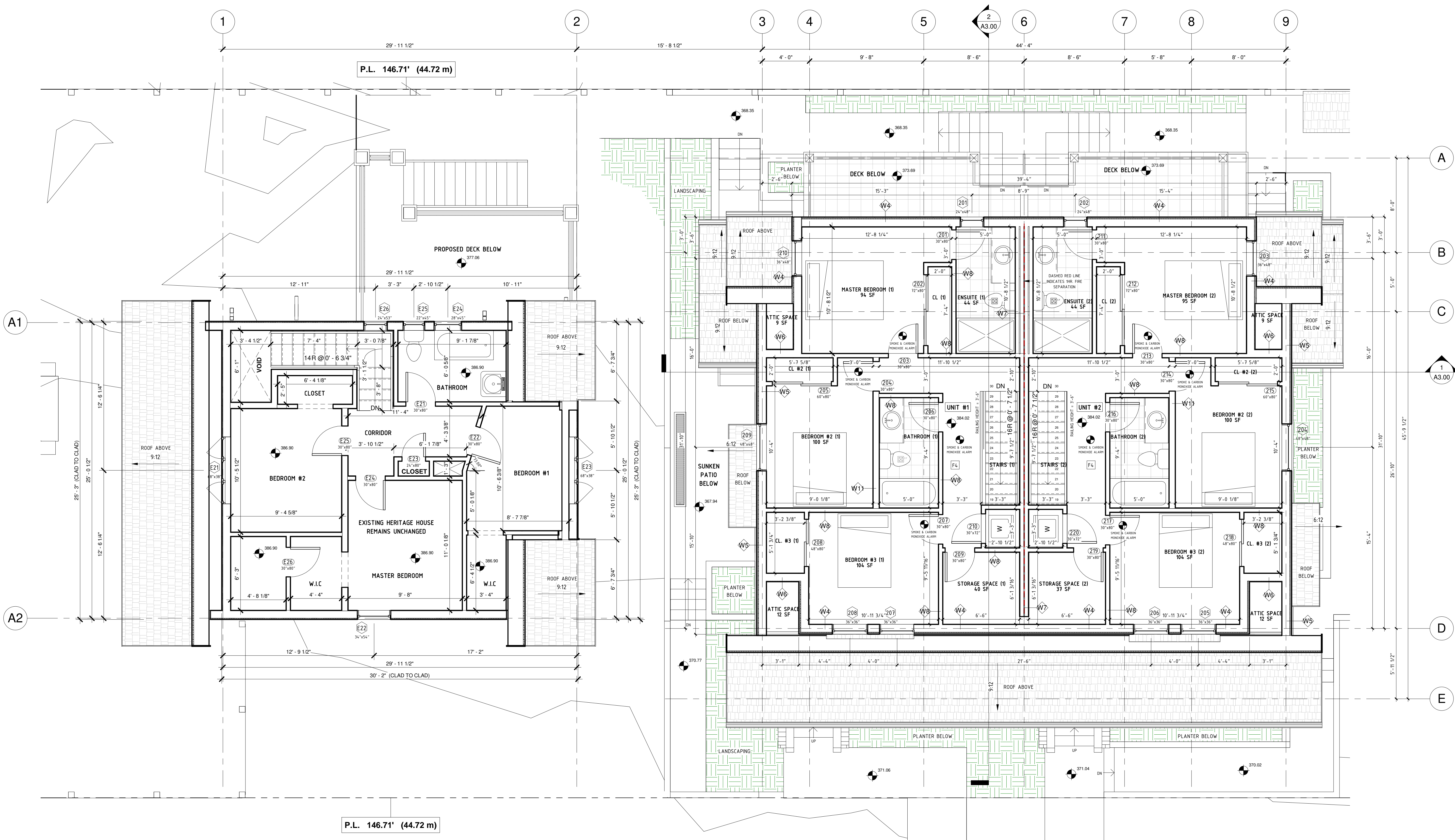


REVISION:
11 6" HIGH FROSTED GLASS PANELS ADDED ALONG THE FACE OF THE WEST DECKS TO CREATE MORE PRIVACY BOTH WAYS

1 MAIN FLOOR PLAN - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX
1/4" = 1'-0"

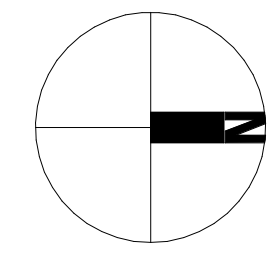
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1 UPPER FLOOR PLAN - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX
1/4" = 1'-0"

REVISION:
1) REDESIGN OF THE UPPER FLOOR TO PUT THE BEDROOM WINDOWS FACING NORTH AND SOUTH INSTEAD OF WEST
2) BATHROOM WINDOWS FACING WEST TO BE FROSTED GLASS.



REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET
DUPLEX INFILL
UPPER FLOOR PLAN - PROPOSED

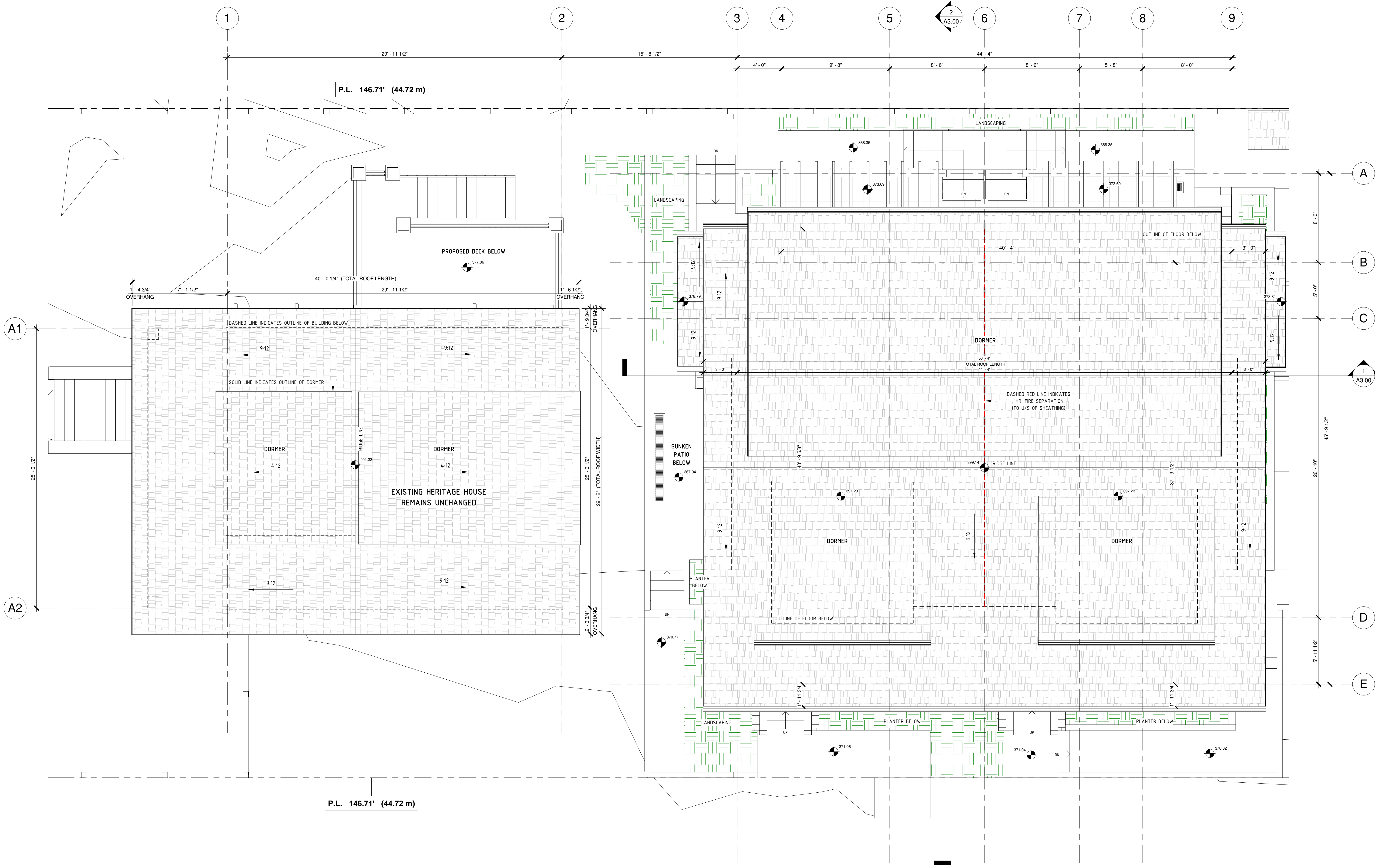
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1 ROOF PLAN
1/4" = 1'-0"

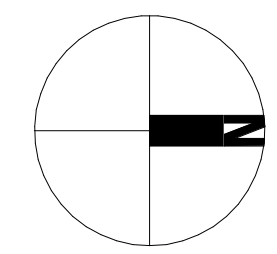
REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE
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364 E 14TH STREET
DUPLEX INFILL
ROOF PLAN - PROPOSED

PROJECT NUMBER 36414TH / 1920
DATE 01/25/2022
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CHECKED BY KW

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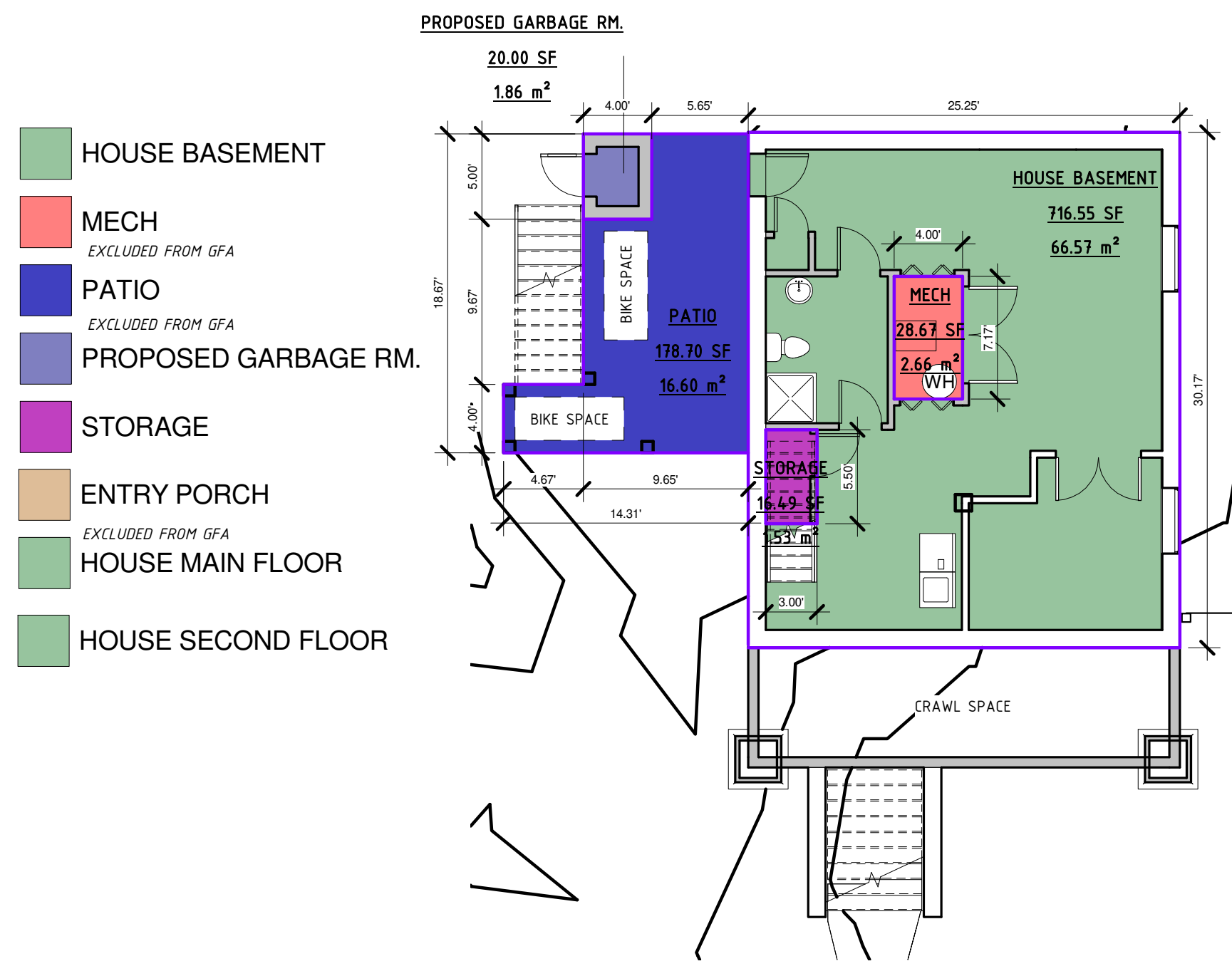
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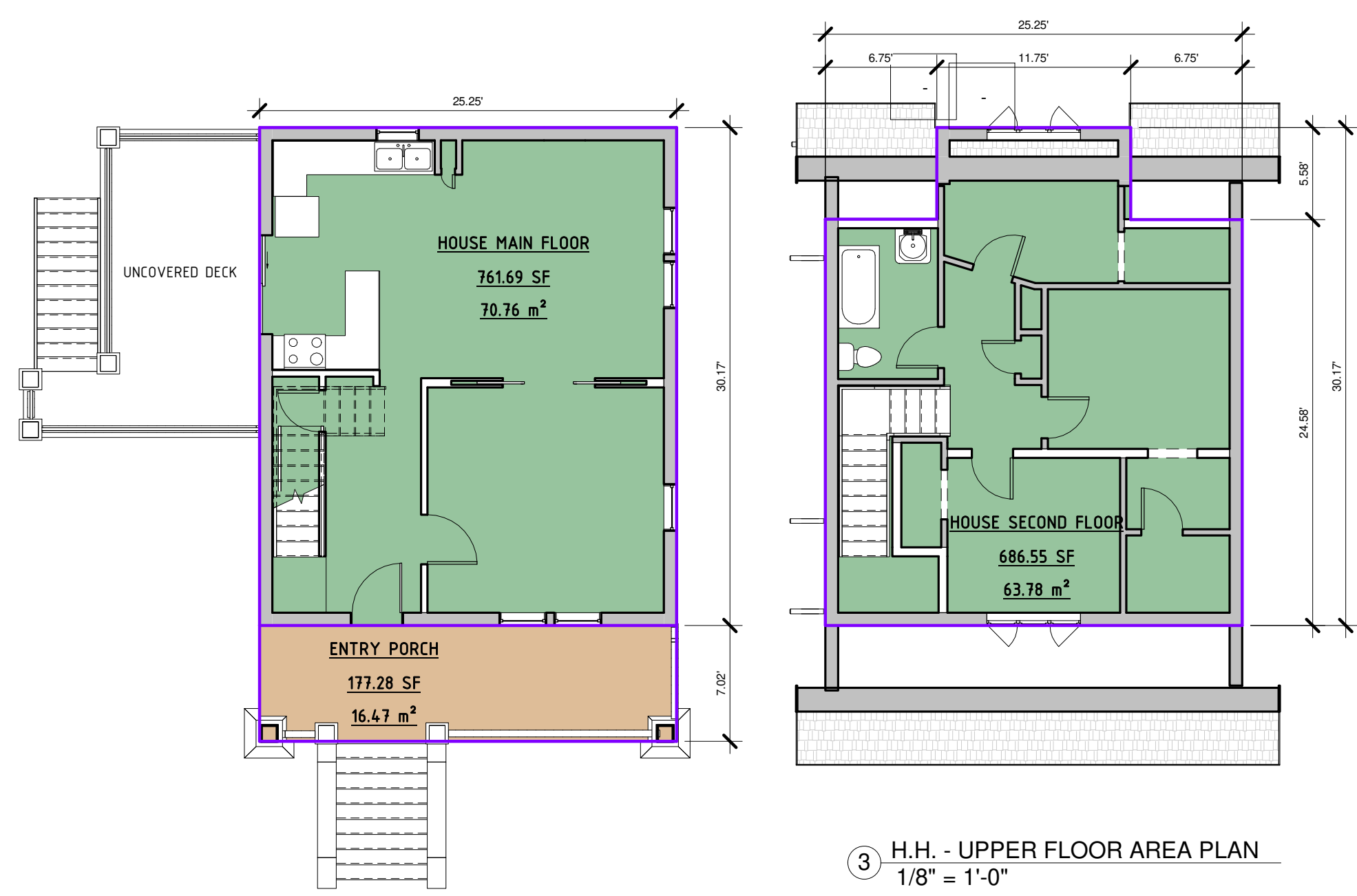
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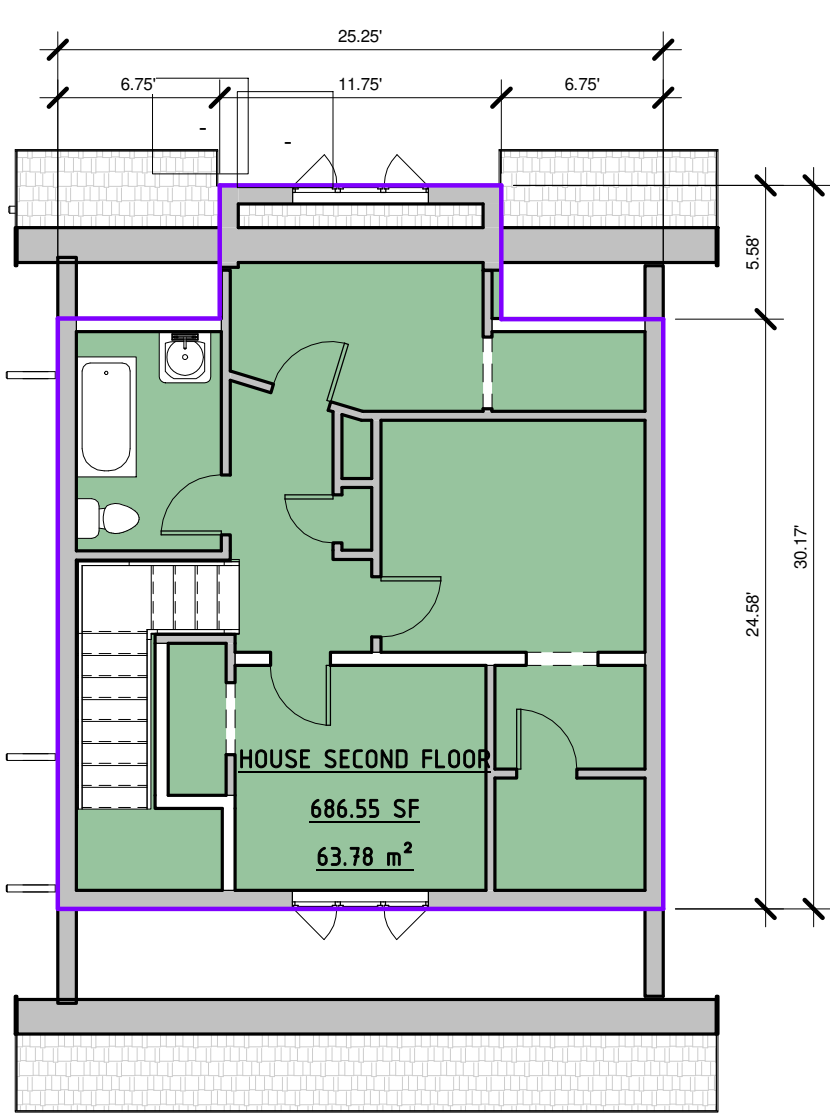
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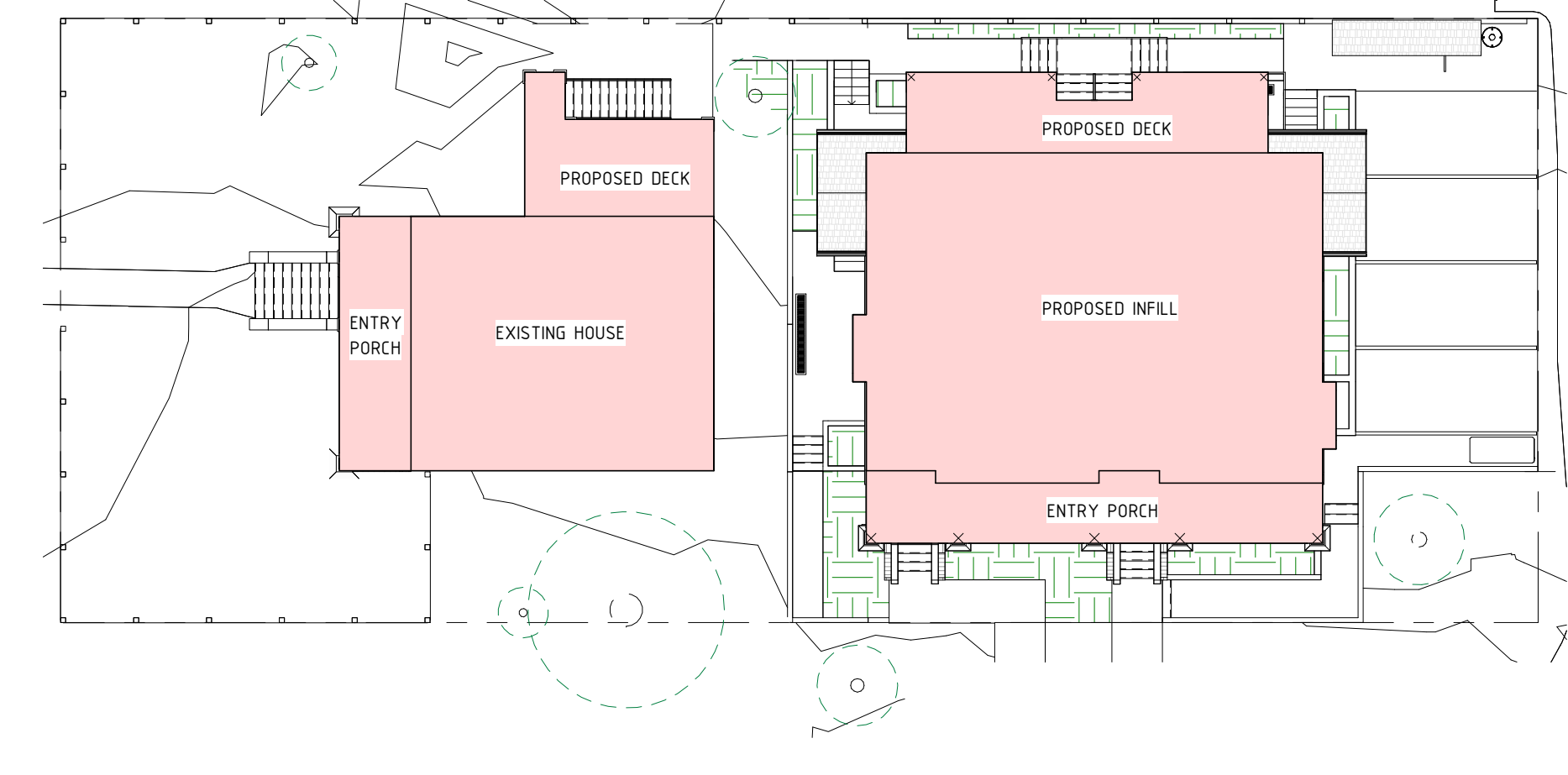
1 H.H - BASEMENT FLOOR AREA PLAN
1/8" = 1'-0"



2 H.H - MAIN FLOOR AREA PLAN
1/8" = 1'-0"



3 H.H - UPPER FLOOR AREA PLAN
1/8" = 1'-0"



7 LOT COVERAGE - KEY PLAN
1/16" = 1'-0"

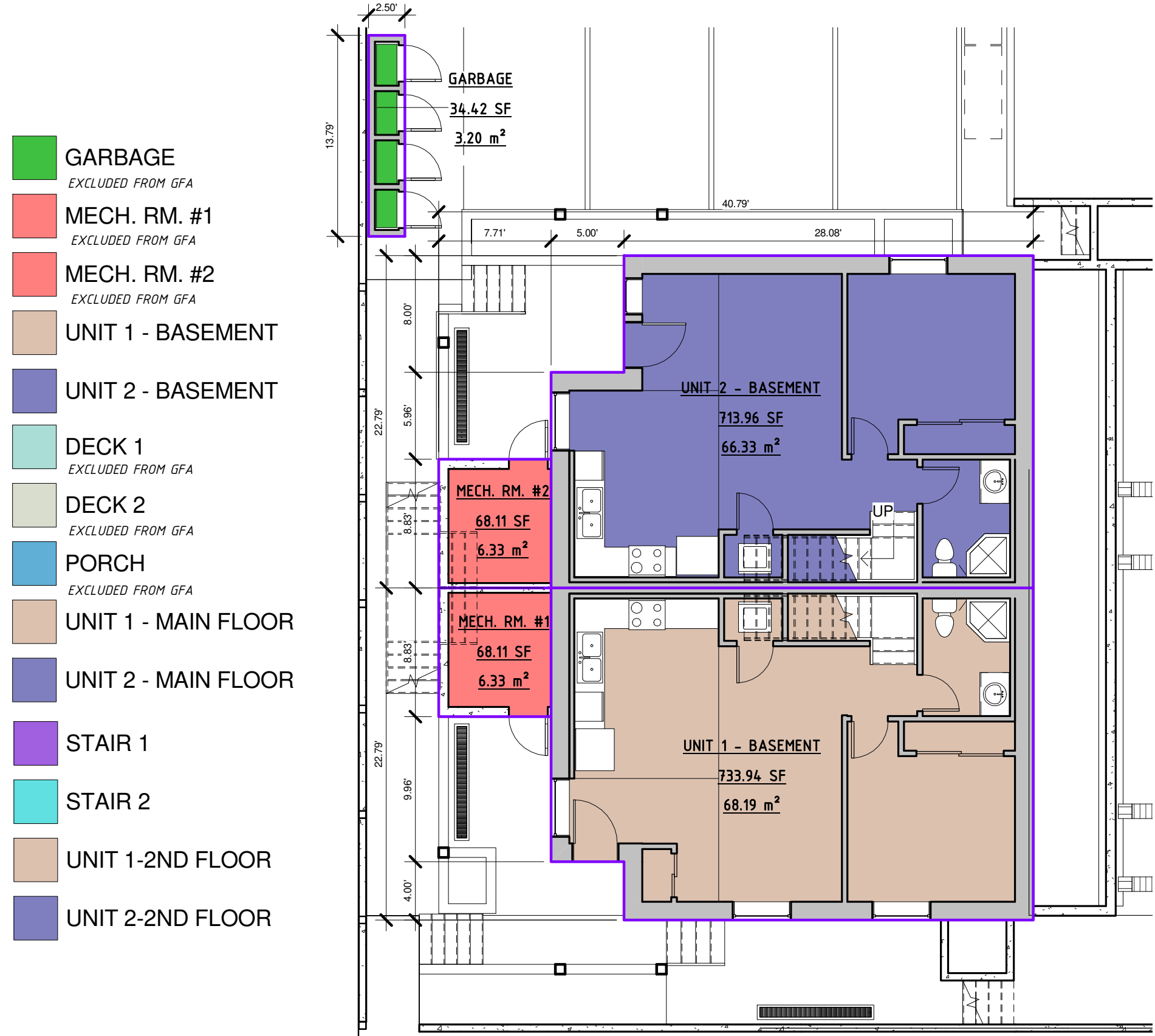
LOT COVERAGE CALCULATIONS:

LOT SIZE: 817.30m² / 8797.34 SF

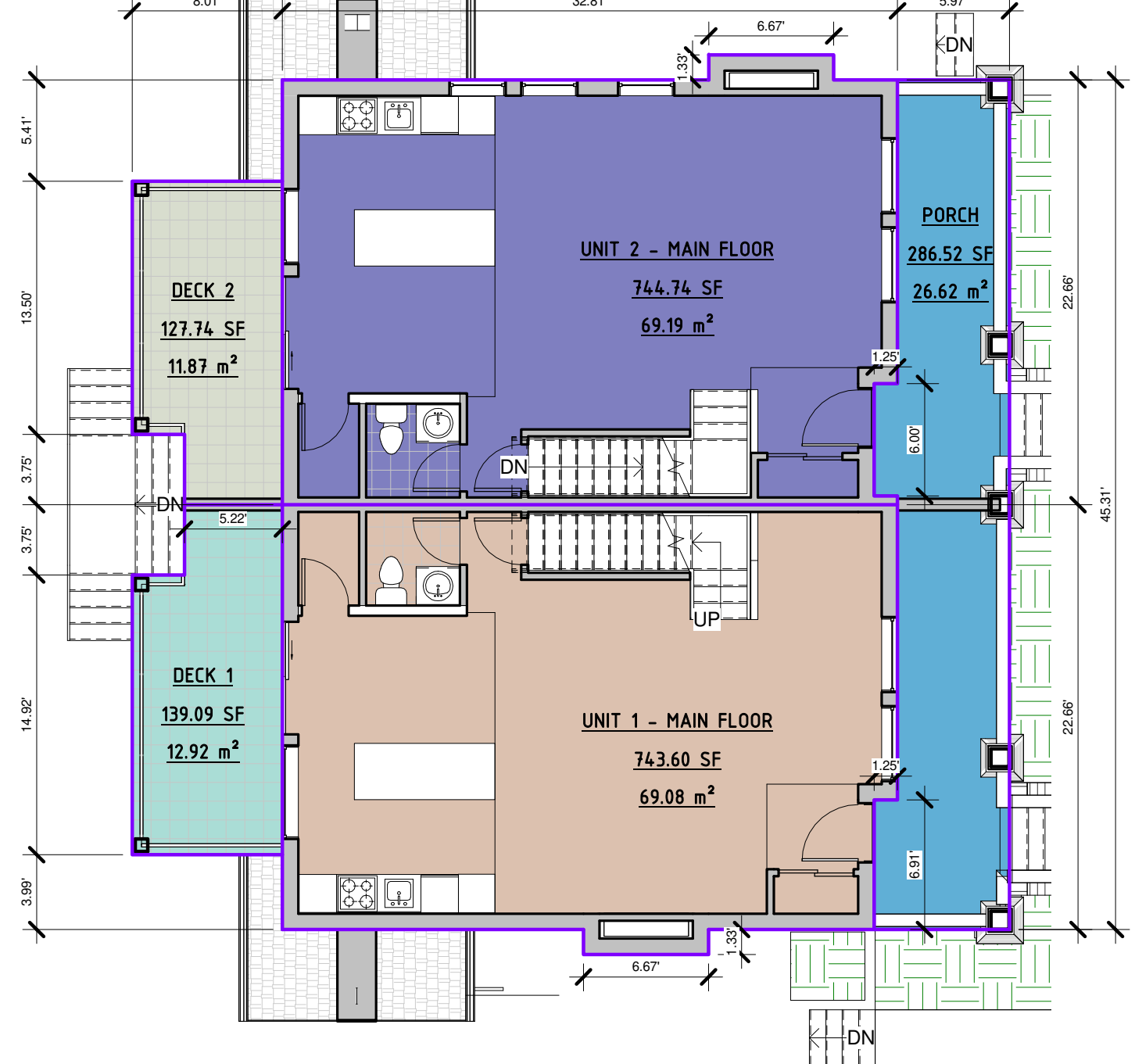
LOT COV:	MAX. ALLOWED	PROPOSED
	286.05m ² / 3079.07 SF	298.56m ² / 3213.78 SF
FSR	35%	36.5%

HERITAGE HOUSE TOTAL LOT COV= 105.69m² / 1137.67 SF
(PATIO, GARBAGE, MAIN FLOOR & ENTRY PORCH)

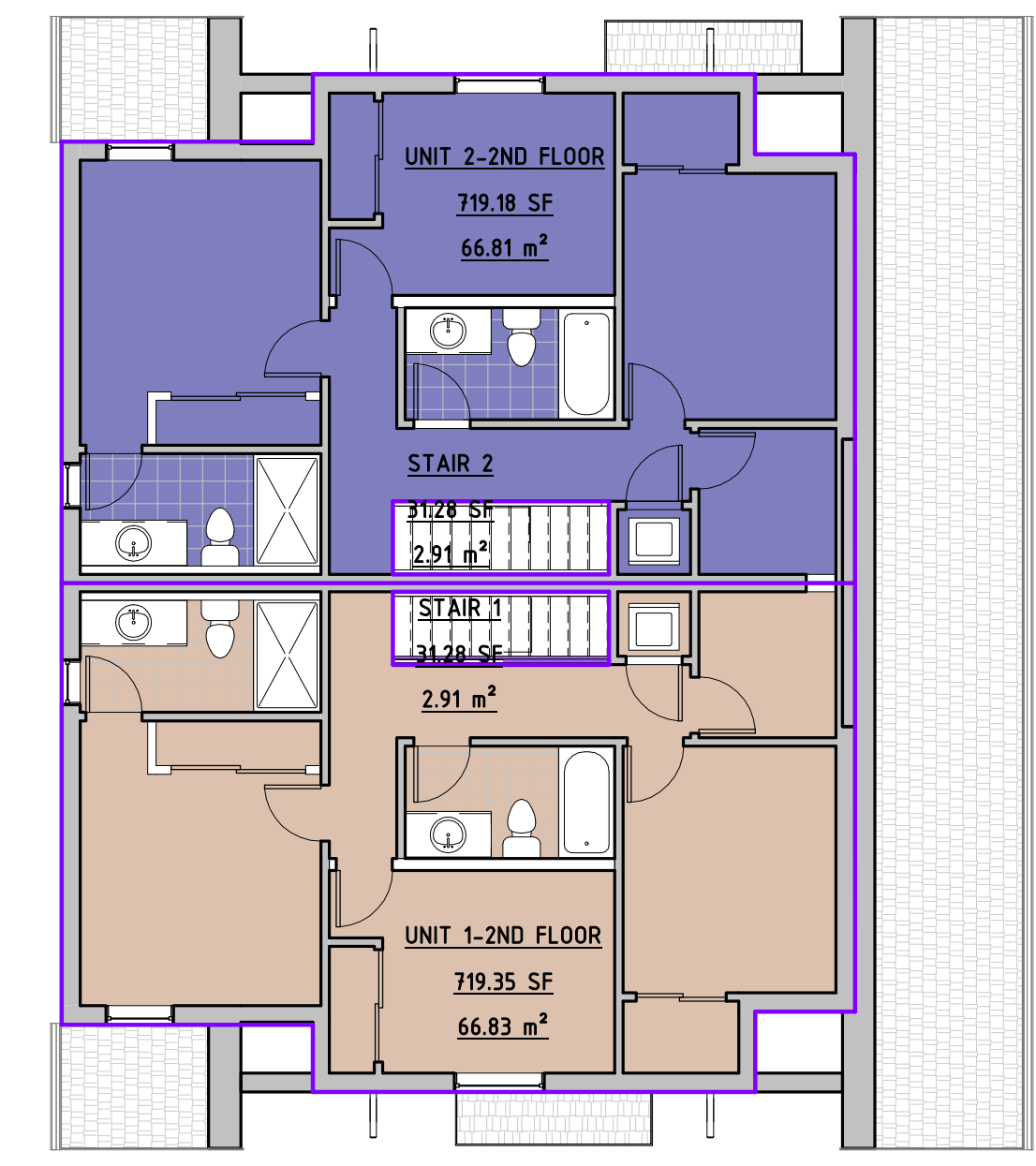
DUPLEX TOTAL LOT COV= 192.87m² / 2076.11 SF
(GARBAGE, DECK 1 & 2, MAIN FLOOR 1 & 2, & ENTRY PORCH)



4 DUPLEX INFILL - BASEMENT FLOOR AREA PLAN
1/8" = 1'-0"



5 DUPLEX INFILL - MAIN FLOOR AREA PLAN
1/8" = 1'-0"



6 DUPLEX INFILL - UPPER FLOOR AREA PLAN
1/8" = 1'-0"

UNIT 1 DUPLEX INFILL - AREA SCHEDULE

UNIT 1 - BASEMENT	733.94 SF	68.19 m ²
MECH. RM. #1	68.11 SF	6.33 m ²
BASEMENT	802.05 SF	74.51 m ²
UNIT 1 - MAIN FLOOR	743.60 SF	69.08 m ²
DECK 1	139.09 SF	12.92 m ²
MAIN FLOOR	882.70 SF	82.01 m ²
UNIT 1-2ND FLOOR	719.35 SF	66.83 m ²
STAIR 1	31.28 SF	2.91 m ²
UPPER FLOOR	750.63 SF	69.74 m ²
UNIT #1 - TOTAL AREA =	2435.38 SF	226.25 m ²

UNIT 2 DUPLEX INFILL - AREA SCHEDULE

UNIT 2 - BASEMENT	713.96 SF	66.33 m ²
MECH. RM. #2	68.11 SF	6.33 m ²
BASEMENT	782.08 SF	72.66 m ²
UNIT 2 - MAIN FLOOR	744.74 SF	69.19 m ²
DECK 2	127.74 SF	11.87 m ²
MAIN FLOOR	872.48 SF	81.06 m ²
UNIT 2-2ND FLOOR	719.18 SF	66.81 m ²
STAIR 2	31.28 SF	2.91 m ²
UPPER FLOOR	750.46 SF	69.72 m ²
UNIT #2 - TOTAL AREA =	2405.02 SF	223.43 m ²

HERITAGE HOUSE - AREA CALCULATIONS

NAME	GROSS FLOOR AREA	FSR EXCLUSIONS	AREA (FSR)
HOUSE BASEMENT	716.55 SF	EXCLUDED	0.00 SF
PROPOSED GARBAGE RM.	20.00 SF	EXCLUDED	0.00 SF
MECH.	28.67 SF	EXCLUDED	0.00 SF
STORAGE	16.49 SF	EXCLUDED	0.00 SF
PATIO	178.70 SF	EXCLUDED	0.00 SF
HH - BASEMENT LEVEL	960.41 SF		0.00 SF
HOUSE MAIN FLOOR	761.69 SF	INCLUDED	761.69 SF
ENTRY PORCH	177.28 SF	EXCLUDED	0.00 SF
HH - MAIN FLOOR LEVEL	938.97 SF		761.69 SF
HOUSE SECOND FLOOR	686.55 SF	INCLUDED	686.55 SF
HH - UPPER FLOOR LEVEL	686.55 SF		686.55 SF
HH - TOTAL AREA =	2595.93 SF		1448.24 SF

DUPLEX INFILL - AREA CALCULATIONS

NAME	GROSS FLOOR AREA	FSR EXCLUSIONS	AREA (FSR)
UNIT 2 - BASEMENT	713.96 SF	EXCLUDED	0.00 SF
UNIT 1 - BASEMENT	733.94 SF	EXCLUDED	0.00 SF
MECH. RM. #2	68.11 SF	EXCLUDED	0.00 SF
MECH. RM. #1	68.11 SF	EXCLUDED	0.00 SF
GARBAGE	34.42 SF	EXCLUDED	0.00 SF
BASEMENT	1618.55 SF		0.00 SF
UNIT 2 - MAIN FLOOR	744.74 SF	INCLUDED	744.74 SF
UNIT 1 - MAIN FLOOR	743.60 SF	INCLUDED	743.60 SF
DECK 1	139.09 SF	EXCLUDED	0.00 SF
DECK 2	127.74 SF	EXCLUDED	0.00 SF
PORCH	286.52 SF	EXCLUDED	0.00 SF
MAIN FLOOR	2041.69 SF		1488.34 SF
UNIT 2-2ND FLOOR	719.18 SF	INCLUDED	719.18 SF
UNIT 1-2ND FLOOR	719.35 SF	INCLUDED	719.35 SF
STAIR 2	31.28 SF	EXCLUDED	0.00 SF
STAIR 1	31.28 SF	EXCLUDED	0.00 SF
UPPER FLOOR	1501.10 SF		1438.53 SF
INFILL DUPLEX - TOTAL AREA =	5161.35 SF		2926.88 SF

GFA/FSR CALCULATIONS:

AS PER ZONING OCP AND BYLAW 6700 - PART 2 INTERPRETATION OF GROSS FLOOR AREA:

LOT SIZE: 817.30m² / 8797.34 SF

GFA	MAX. ALLOWED	PROPOSED
	408.65m ² / 4398.67 SF	406.46m ² / 4375.12 SF
FSR	0.50	0.49

GFA EXCLUSIONS: 313.28 SM / 3372.16 SF

HERITAGE HOUSE TOTAL AREA 240.24m² / 2585.93 SF
TOTAL EXCLUSIONS HOUSE 105.69m² / 1137.69 SF
GFA HOUSE 134.54 SM / 1448.24 SF

DUPLEX TOTAL AREA 479.50m² / 5161.35 SF
TOTAL EXCLUSIONS DUPLEX 207.58m² / 2234.47 SF
GFA DUPLEX 271.91m² / 2926.88 SF

REVISIONS:
1 UPPER FLOOR AREA PLAN & CALCULATIONS UPDATED AS PER LAYOUT CHANGES

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET

DUPLEX INFILL

AREA CALCULATIONS (G.F.A.)

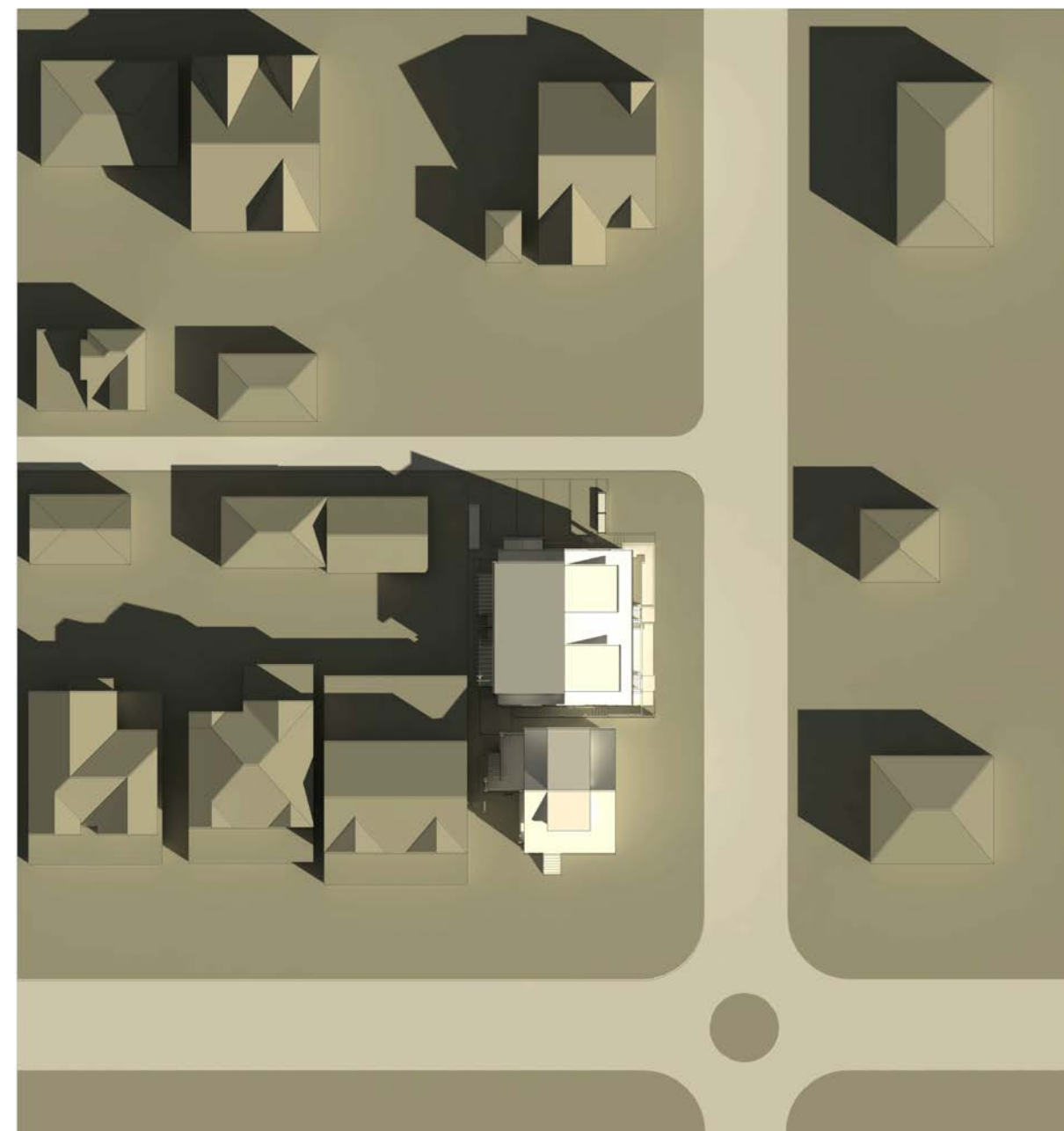
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DATE	01/25/2022
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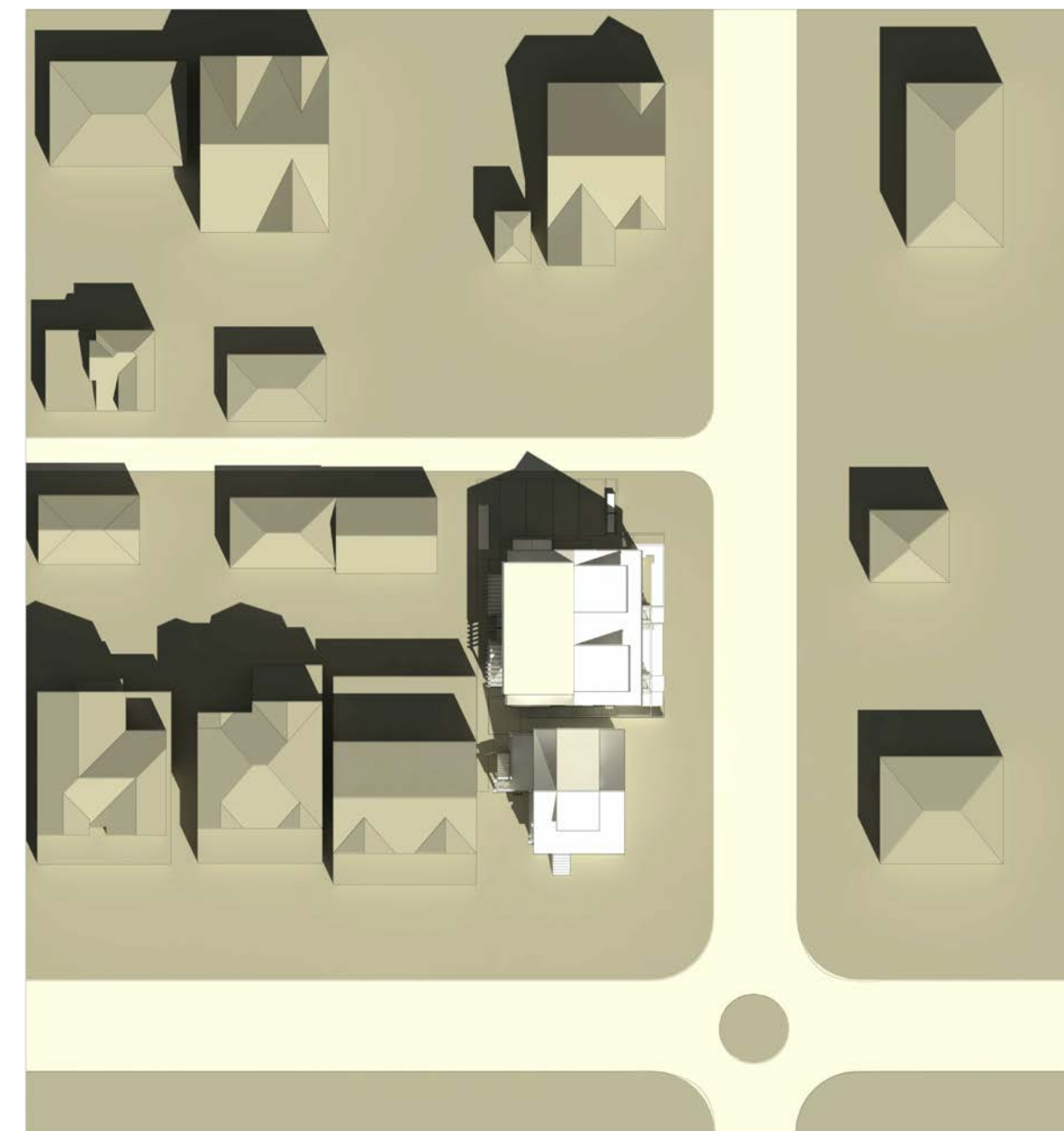
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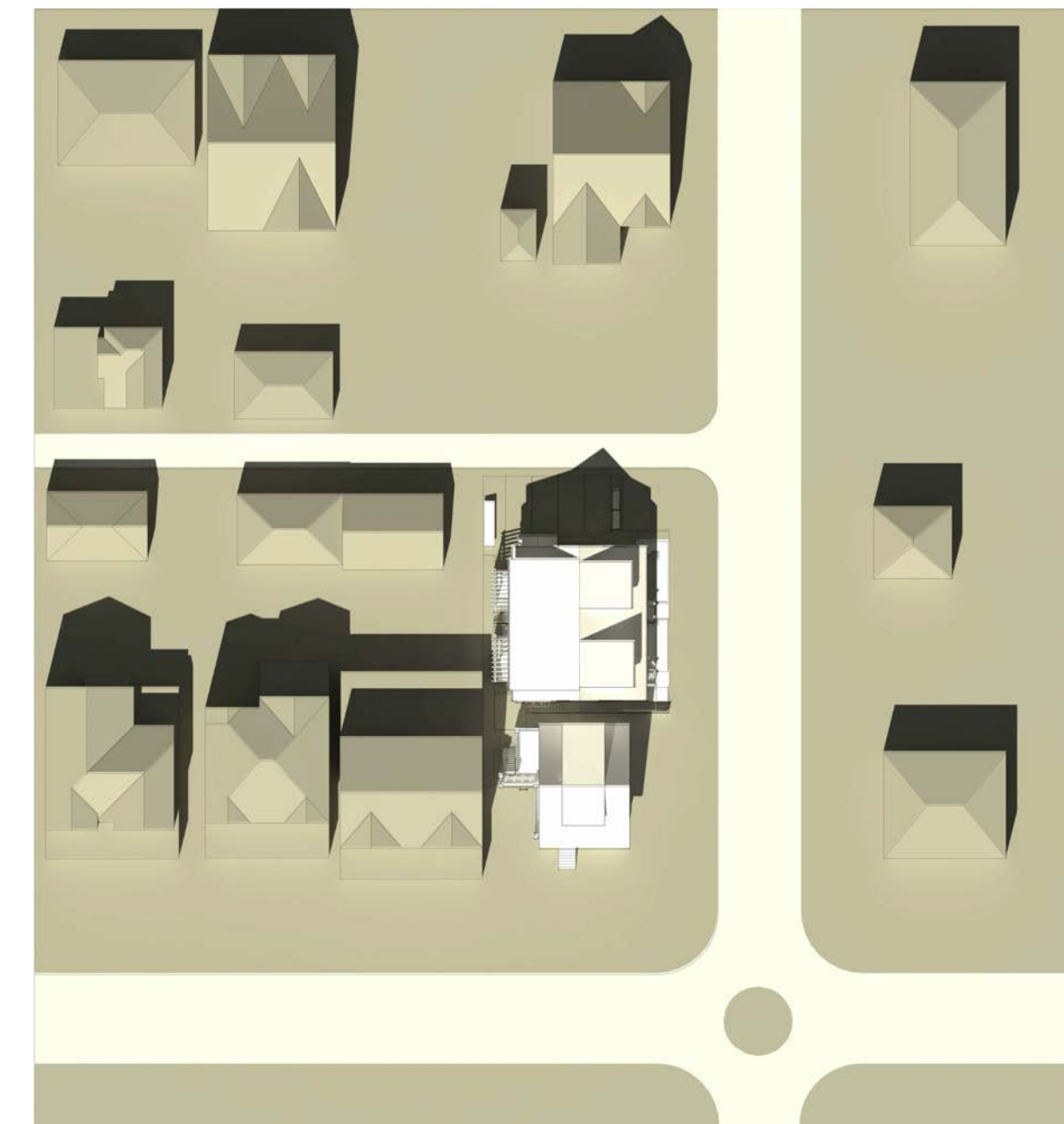
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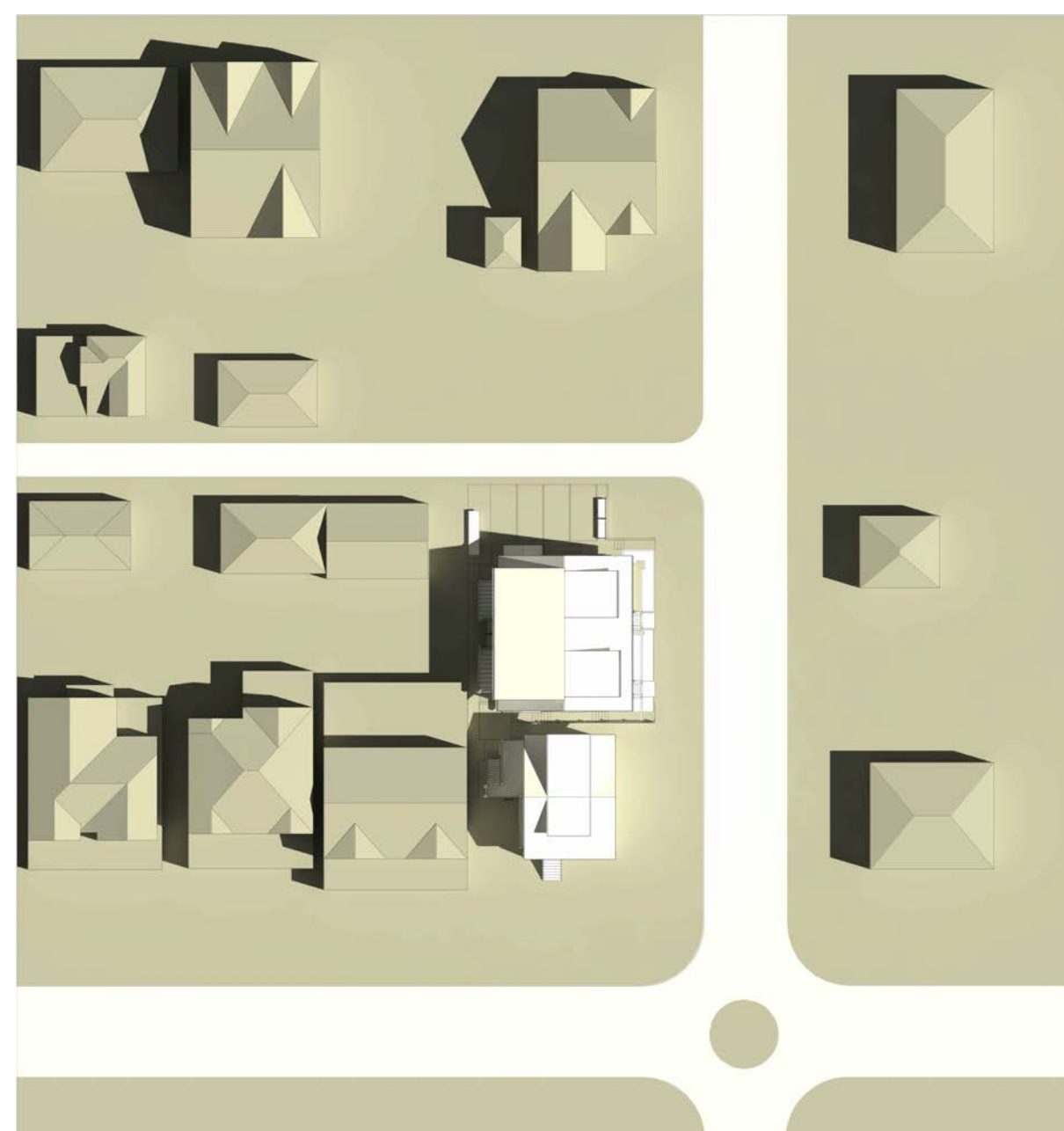
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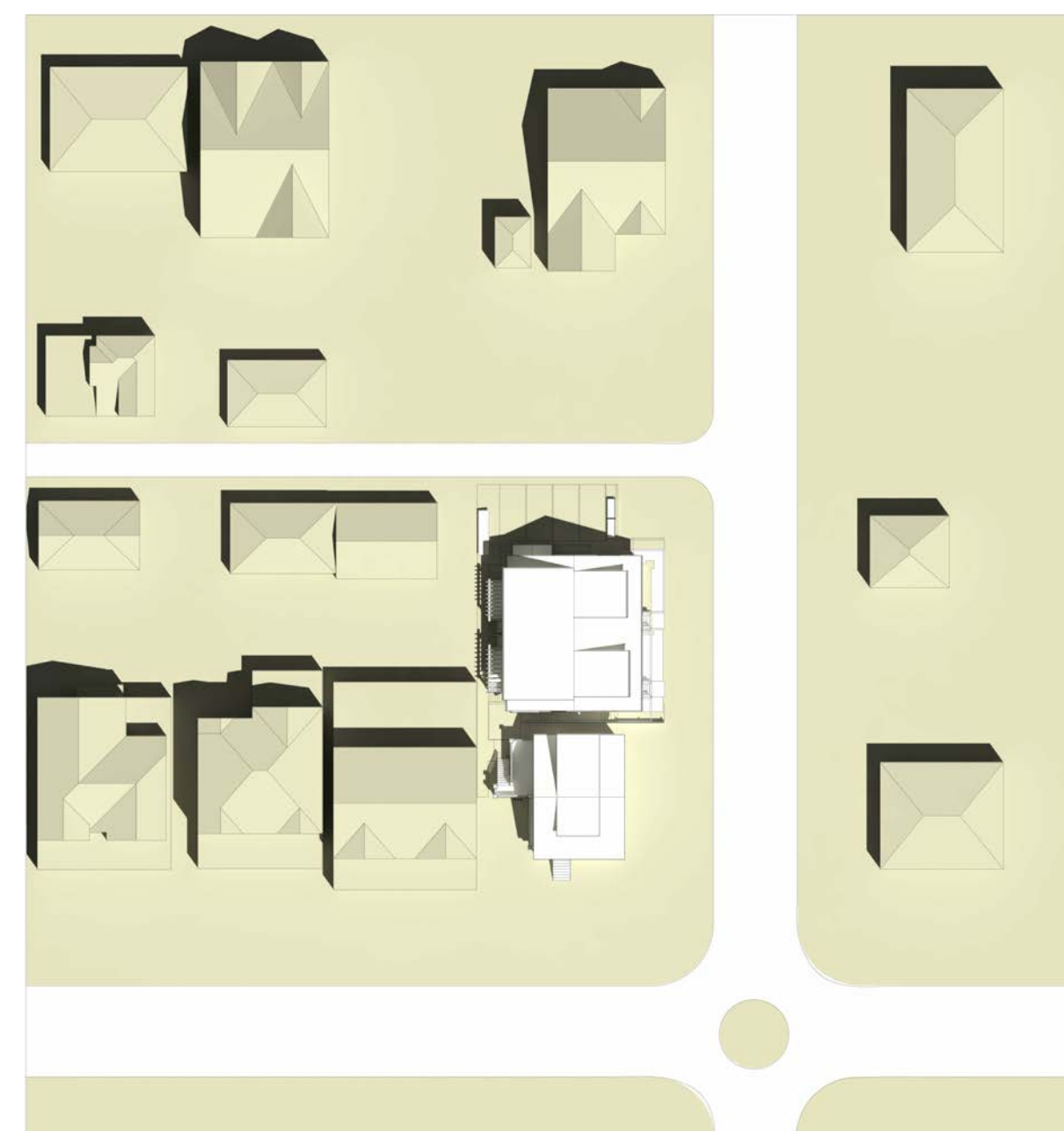
MAR 21ST, 12 PM



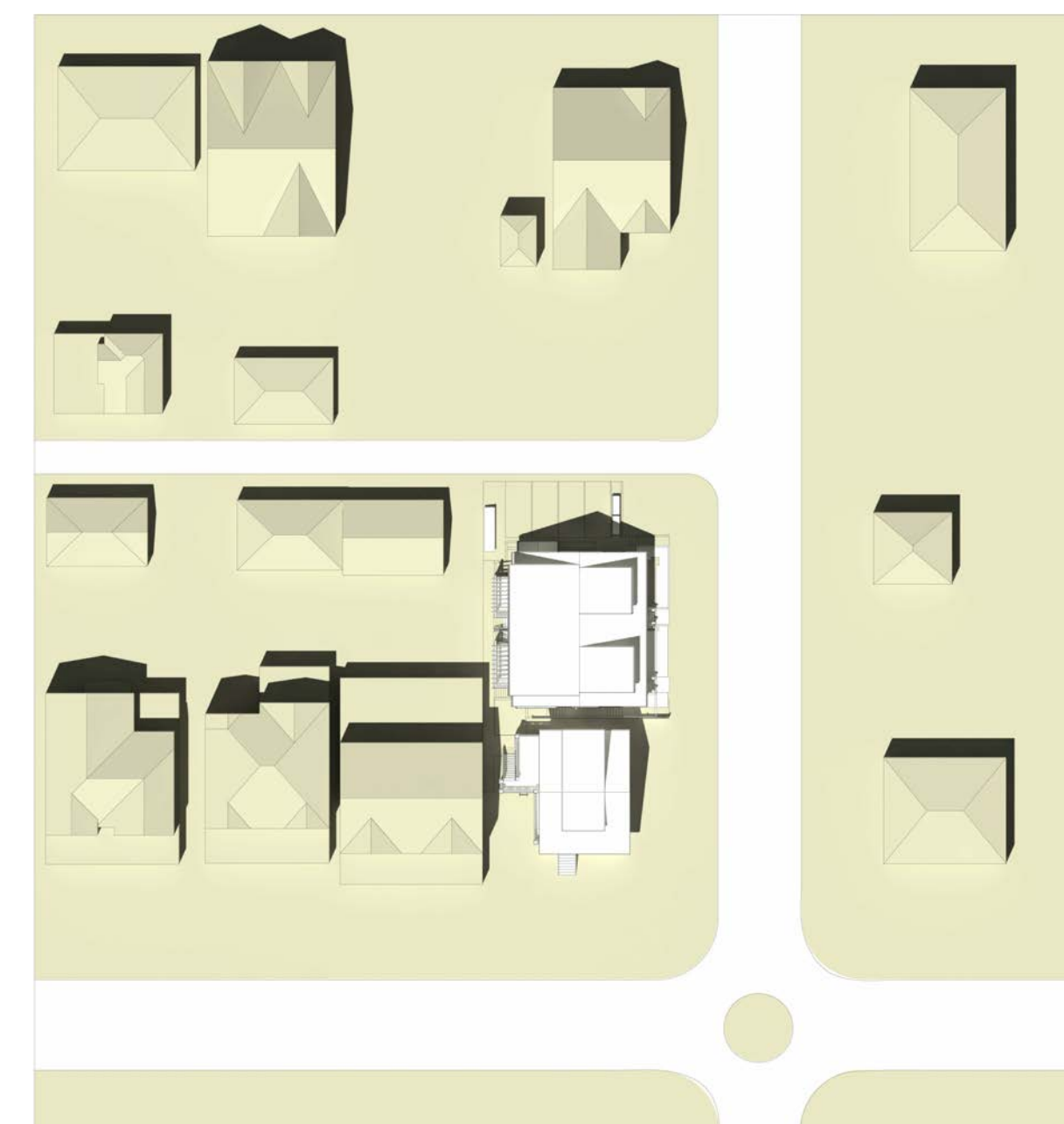
MAR 21ST, 2 PM



JUN 21ST, 10 AM



JUN 21ST, 12 PM



JUN 21ST, 2 PM



DEC 21ST, 10 AM



DEC 21ST, 12 PM



DEC 21ST, 2 PM

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
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364 E 14TH STREET

DUPLEX INFILL

SHADOW IMPACT STUDY

PROJECT NUMBER 36414TH / 1920

DATE 01/25/2022

DRAWN BY DV

CHECKED BY RB

A1.06

SCALE

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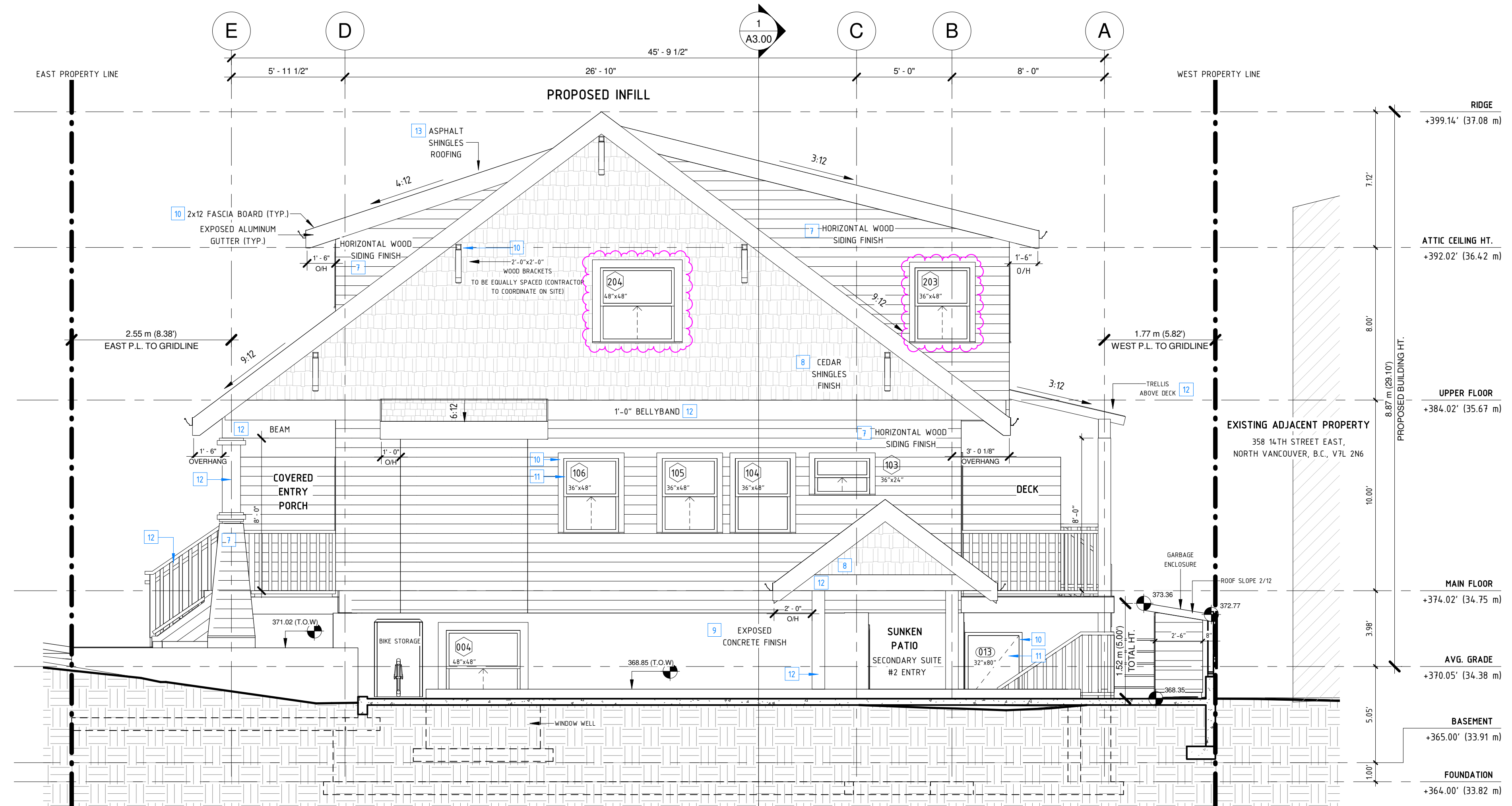
3 3D VIEW (INFILL) - NORTH WEST CORNER



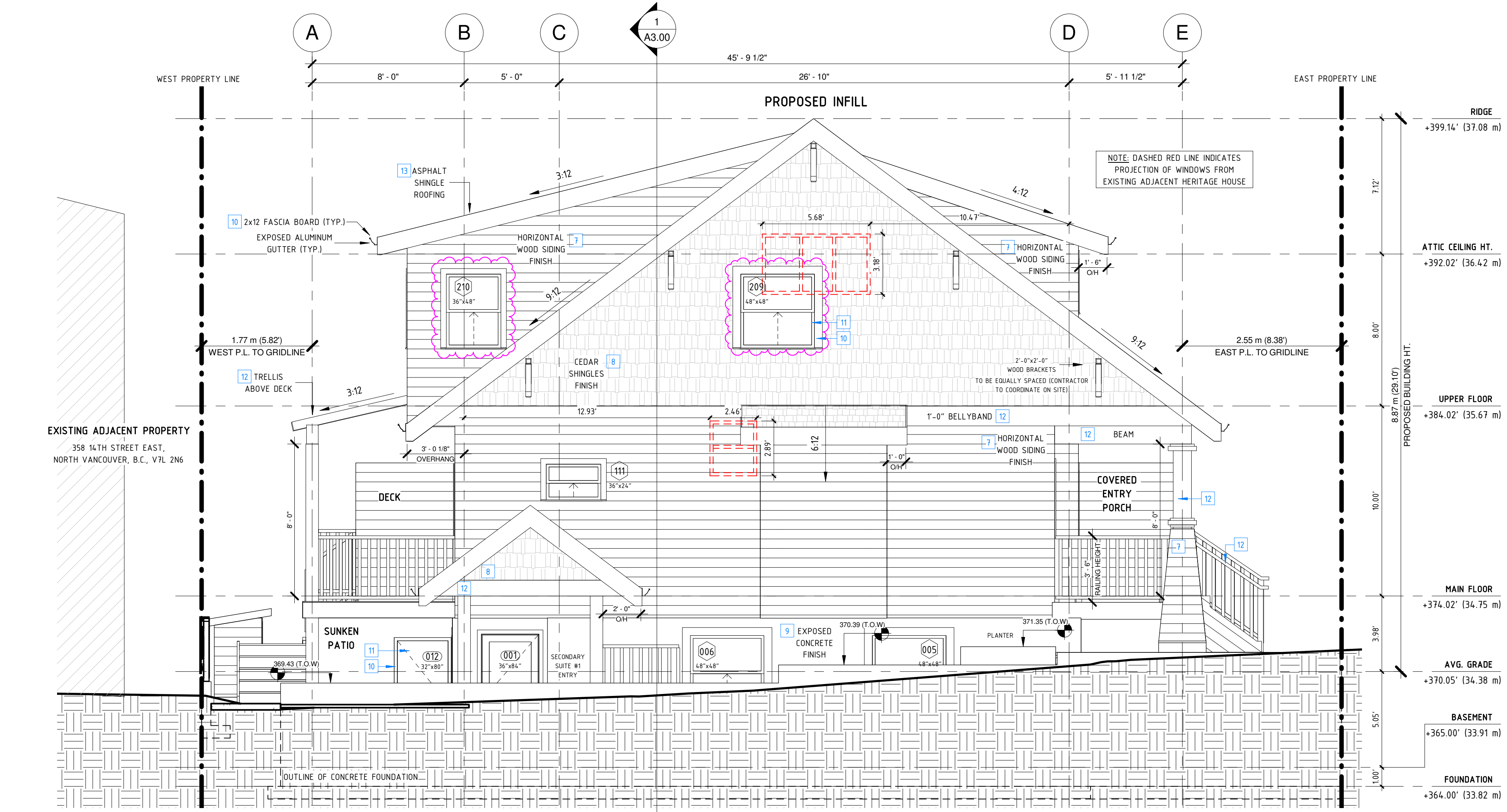
4 3D VIEW (INFILL) - SOUTH WEST CORNER



5 3D VIEW (INFILL) - SOUTH EAST CORNER



1 NORTH ELEVATION - PROPOSED INFILL
1/4" = 1'-0"



2 SOUTH ELEVATION - PROPOSED INFILL
1/4" = 1'-0"

REVISION:
1) REDESIGN OF THE UPPER FLOOR TO PUT THE BEDROOM WINDOWS FACING NORTH AND SOUTH INSTEAD OF WEST
2) BATHROOM WINDOWS FACING WEST TO BE Frosted GLASS

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
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2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET
DUPLEX INFILL
INFILL - N & S ELEVATIONS

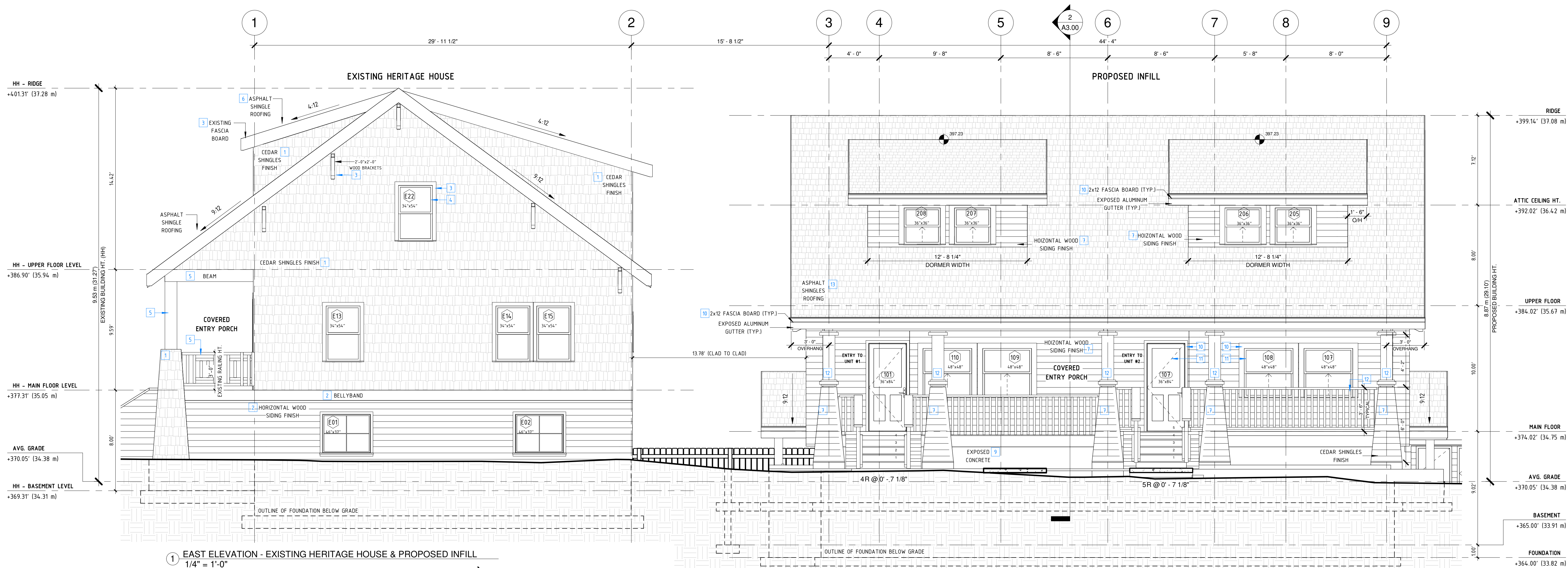
PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
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CHECKED BY	KW
SCALE	As indicated

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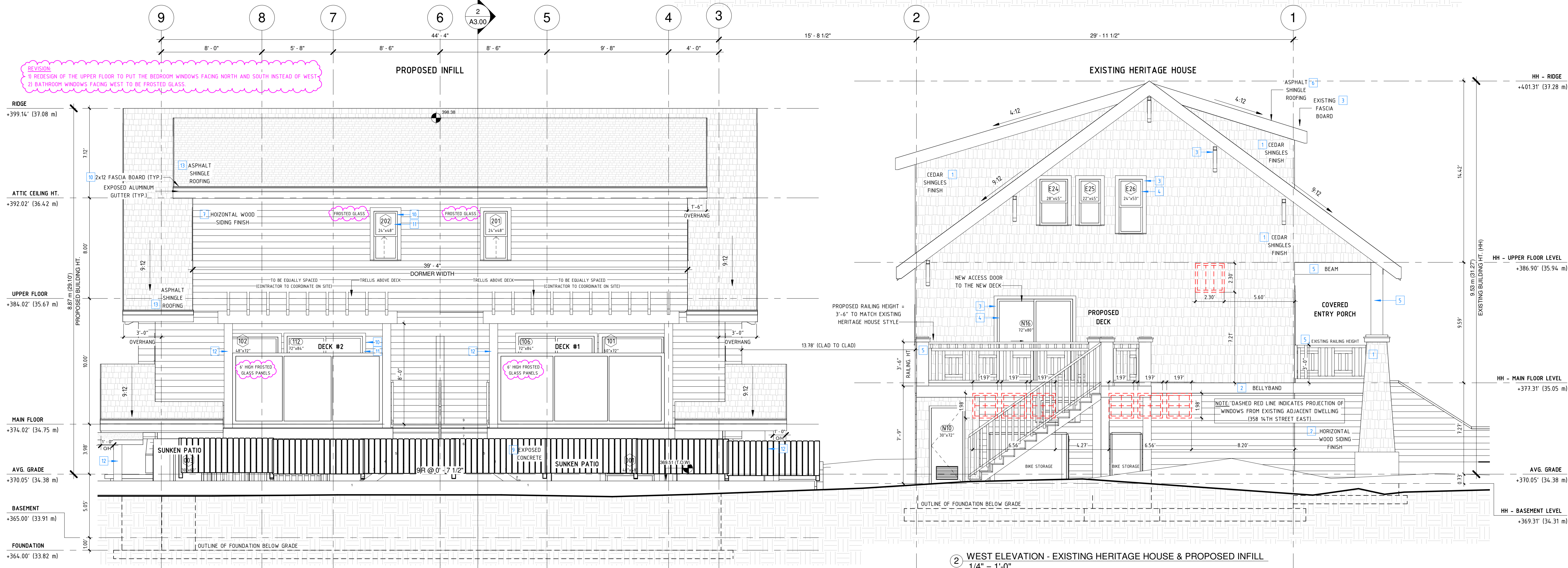
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1 EAST ELEVATION - EXISTING HERITAGE HOUSE & PROPOSED INFILL
1/4" = 1'-0"



2 WEST ELEVATION - EXISTING HERITAGE HOUSE & PROPOSED INFILL
1/4" = 1'-0"

REVISION
1 REDESIGN OF THE UPPER FLOOR TO PUT THE BEDROOM WINDOWS FACING NORTH AND SOUTH INSTEAD OF WEST
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2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET

DUPLEX INFILL

INFILL & EXISTING H.H. - E & W ELEVATIONS

PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
DRAWN BY	RMR
CHECKED BY	KW

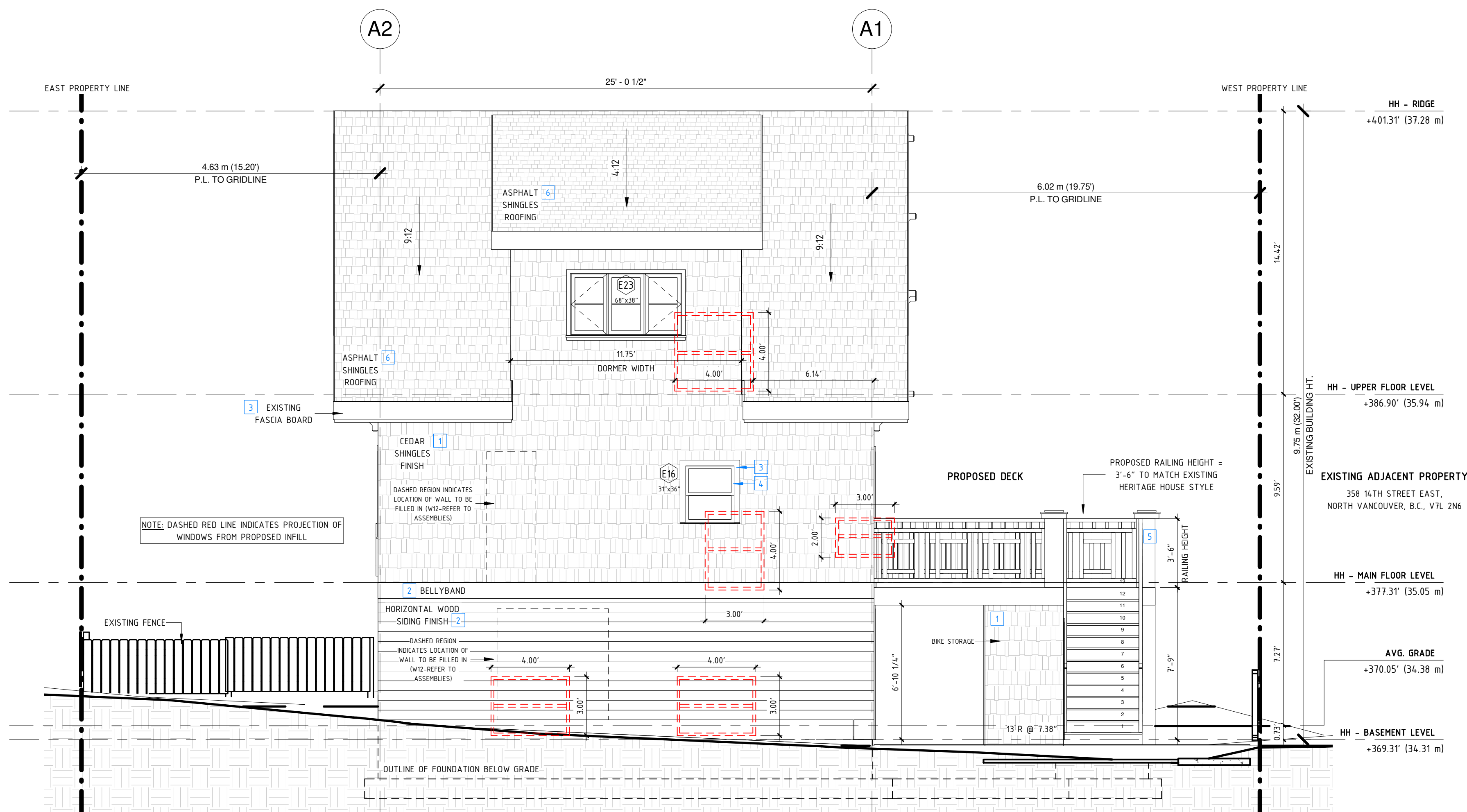
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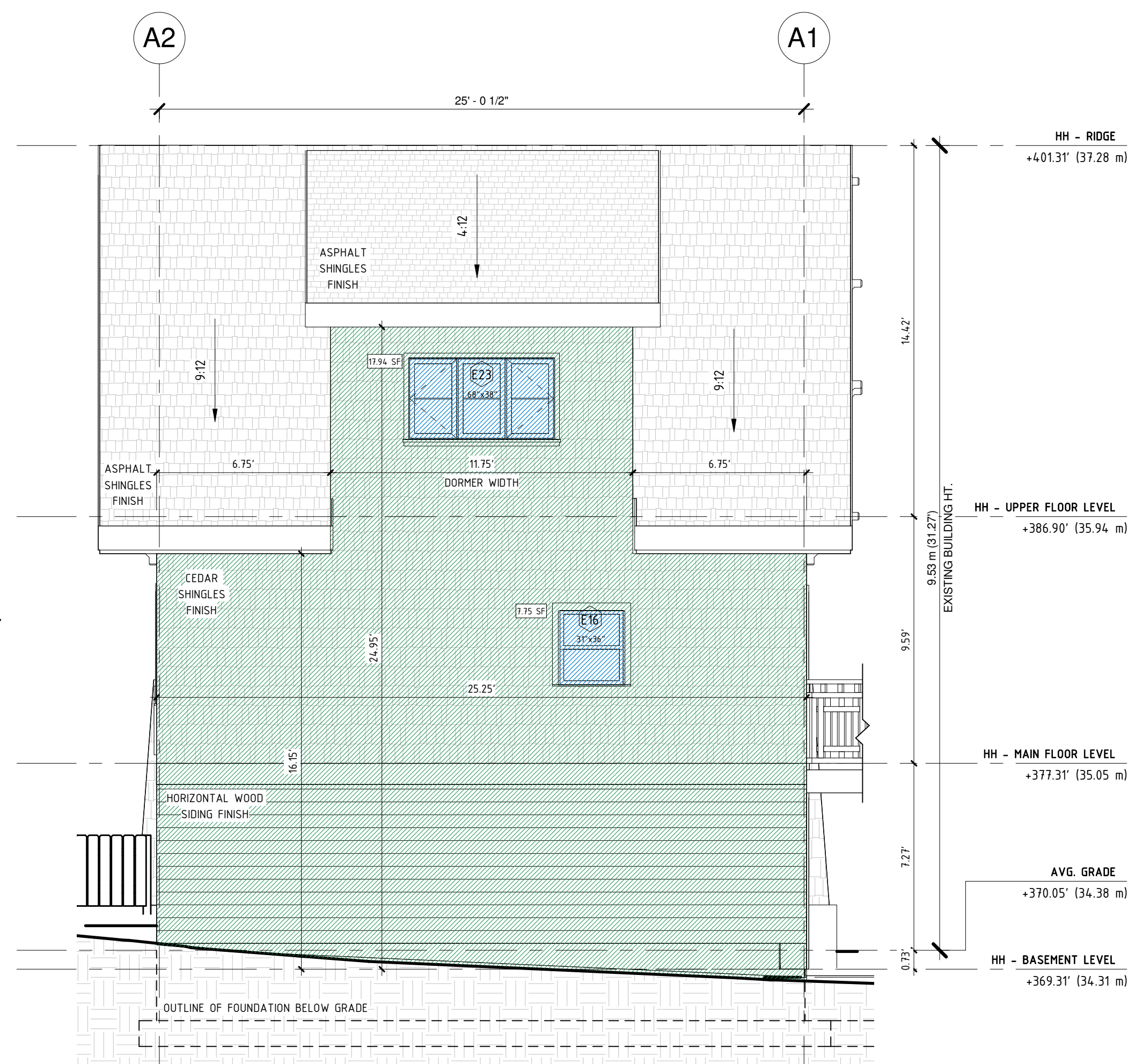
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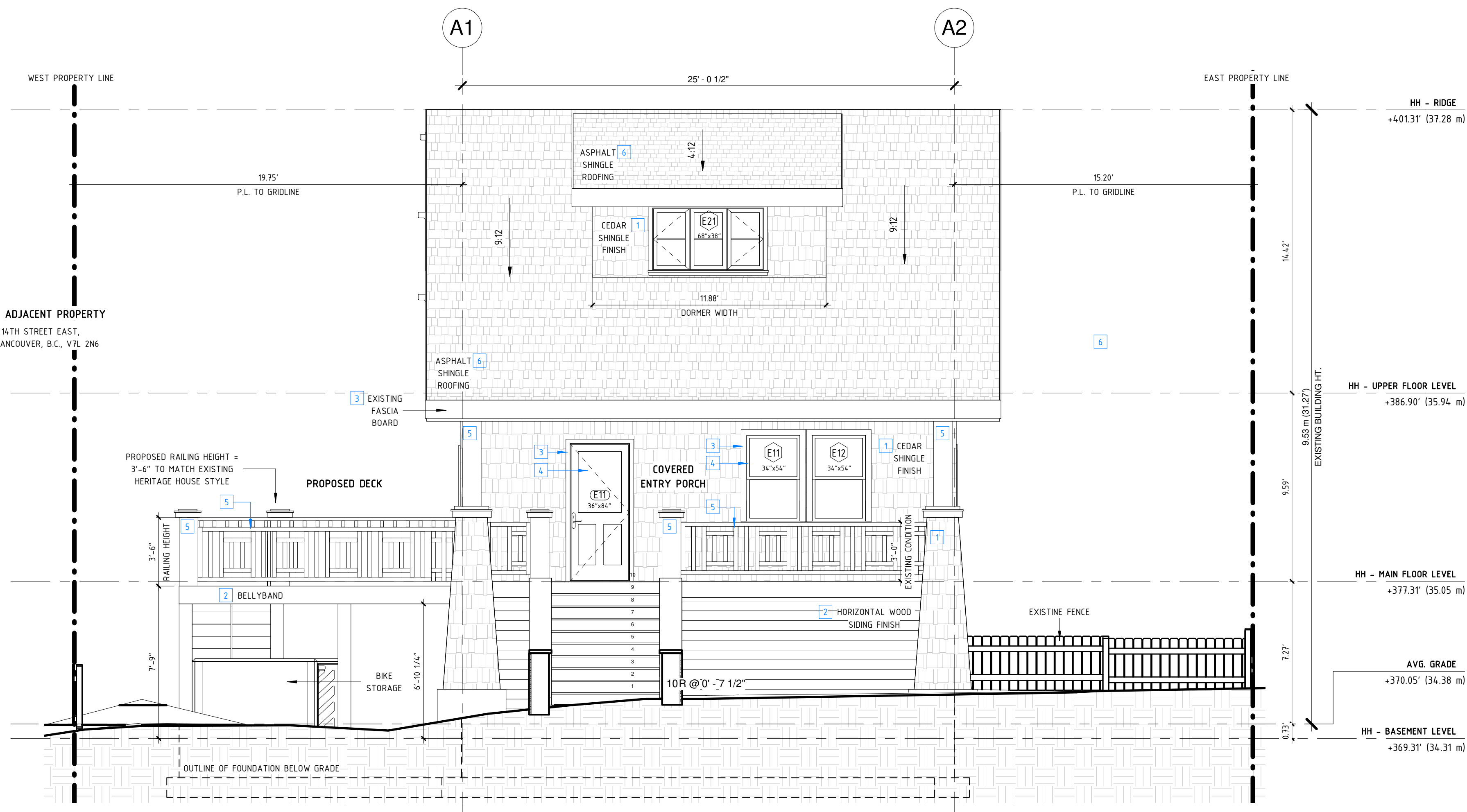
1 NORTH ELEVATION - EXISTING HERITAGE HOUSE
1/4" = 1'-0"



3 NORTH ELEVATION - EXISTING HERITAGE HOUSE (L.D.C.)
1/4" = 1'-0"

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4 - A GREEN HATCH
TOTAL AREA OF EXPOSED BUILDING FACE @ 2.31 m = 507 SF (47.10 m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 10.5%, 53.24 SF (4.94 m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 5.1%, 25.69 SF (2.38 m²)

CONSTRUCTION OF F.R.F. AS PER BCBC 2018 - TABLE 9.10.14.5 - A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 10.5%
MIN. REQUIRED F.R.R. = 1HR
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE



2 SOUTH ELEVATION - EXISTING HERITAGE HOUSE
1/4" = 1'-0"



5 3D VIEW (H.H.) - SOUTH WEST CORNER



4 3D VIEW (H.H.) - SOUTH EAST CORNER



7 3D VIEW (H.H. & INFILL) - EAST ELEVATION

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
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364 E 14TH STREET
DUPLEX INFILL
EXISTING H.H. - S & N ELEVATIONS

PROJECT NUMBER 36414TH / 1920
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A2.02

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FIRE COMPARTMENT #1

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A DORNER HATCH
TOTAL AREA OF E.B.F. = 383.90 SF (35.66m²)
LIMITING DISTANCE = 10'-9 3/4" (3.30m)
TOTAL AREA OF INDIVIDUAL E.B.F. = 157.33 SF (14.61m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 295%, 46.41 SF (4.31m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 7.62%, 12 SF (1.11m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 295%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A PURPLE HATCH
TOTAL AREA OF E.B.F. = 383.90 SF (35.66m²)
LIMITING DISTANCE = 13'-4" (4.06m)
TOTAL AREA OF INDIVIDUAL E.B.F. = 226.56 SF (21.05m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%, 88.36 SF (8.21m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 2913%, 66 SF (6.13m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE

FIRE COMPARTMENT #2

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A GREEN HATCH
TOTAL AREA OF E.B.F. = 383.90 SF (35.66m²)
LIMITING DISTANCE = 10'-9 3/4" (3.30m)
TOTAL AREA OF INDIVIDUAL E.B.F. = 157.33 SF (14.61m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 295%, 46.41 SF (4.31m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 7.62%, 12 SF (1.11m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 295%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A BURGUNDY HATCH
TOTAL AREA OF E.B.F. = 383.90 SF (35.66m²)
LIMITING DISTANCE = 13'-4" (4.06m)
TOTAL AREA OF INDIVIDUAL E.B.F. = 226.56 SF (21.05m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%, 88.36 SF (8.21m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 3178%, 72 SF (6.69m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE

FIRE COMPARTMENT #3

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A BLUE HATCH
TOTAL AREA OF E.B.F. = 228.39 SF (21.21m²)
LIMITING DISTANCE = 12'-0" (4.02m)
TOTAL AREA OF INDIVIDUAL E.B.F. = 157.33 SF (14.61m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%, 89.07 SF (8.27m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 217%, 49.5 SF (4.59m²)

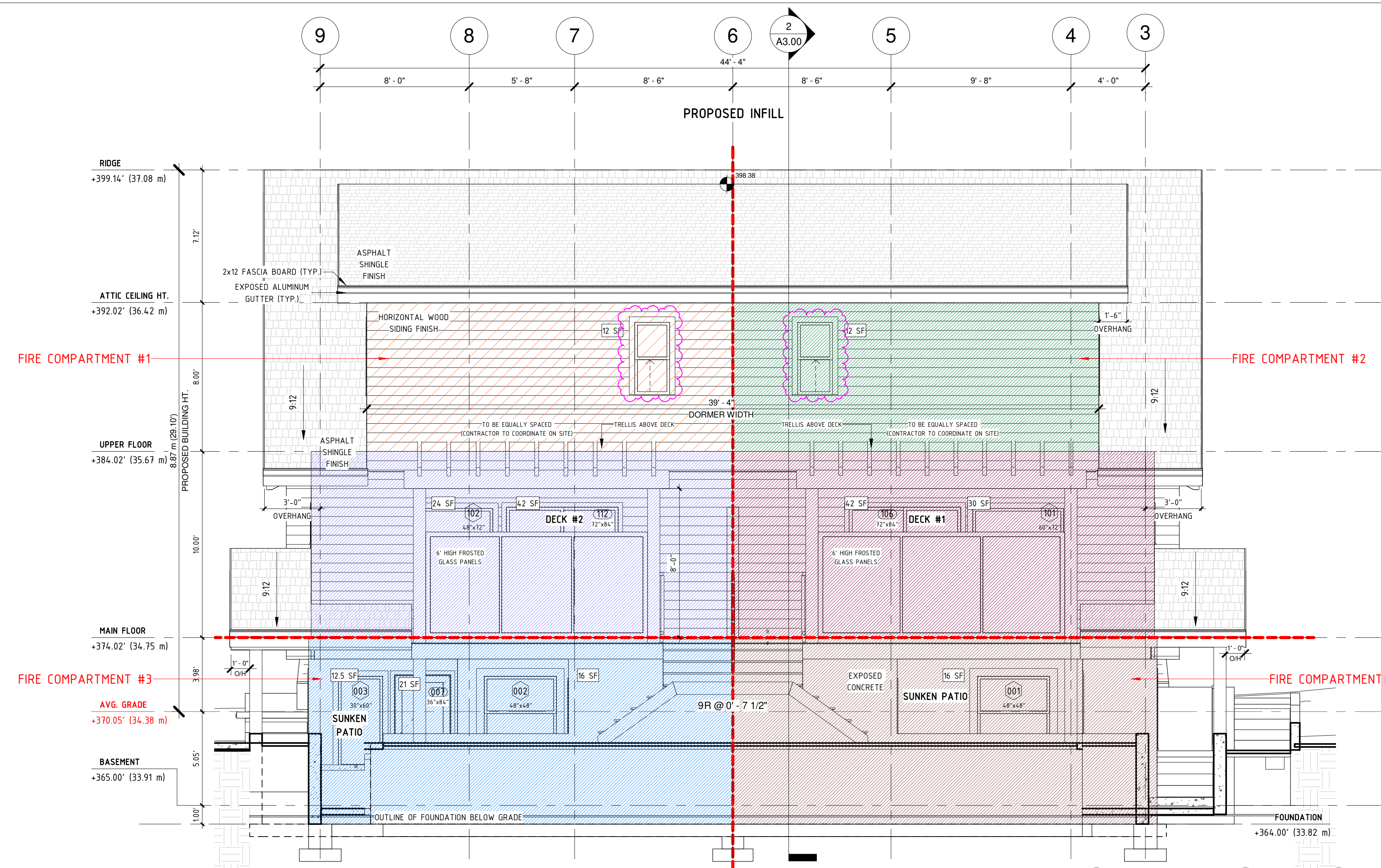
CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE

FIRE COMPARTMENT #4

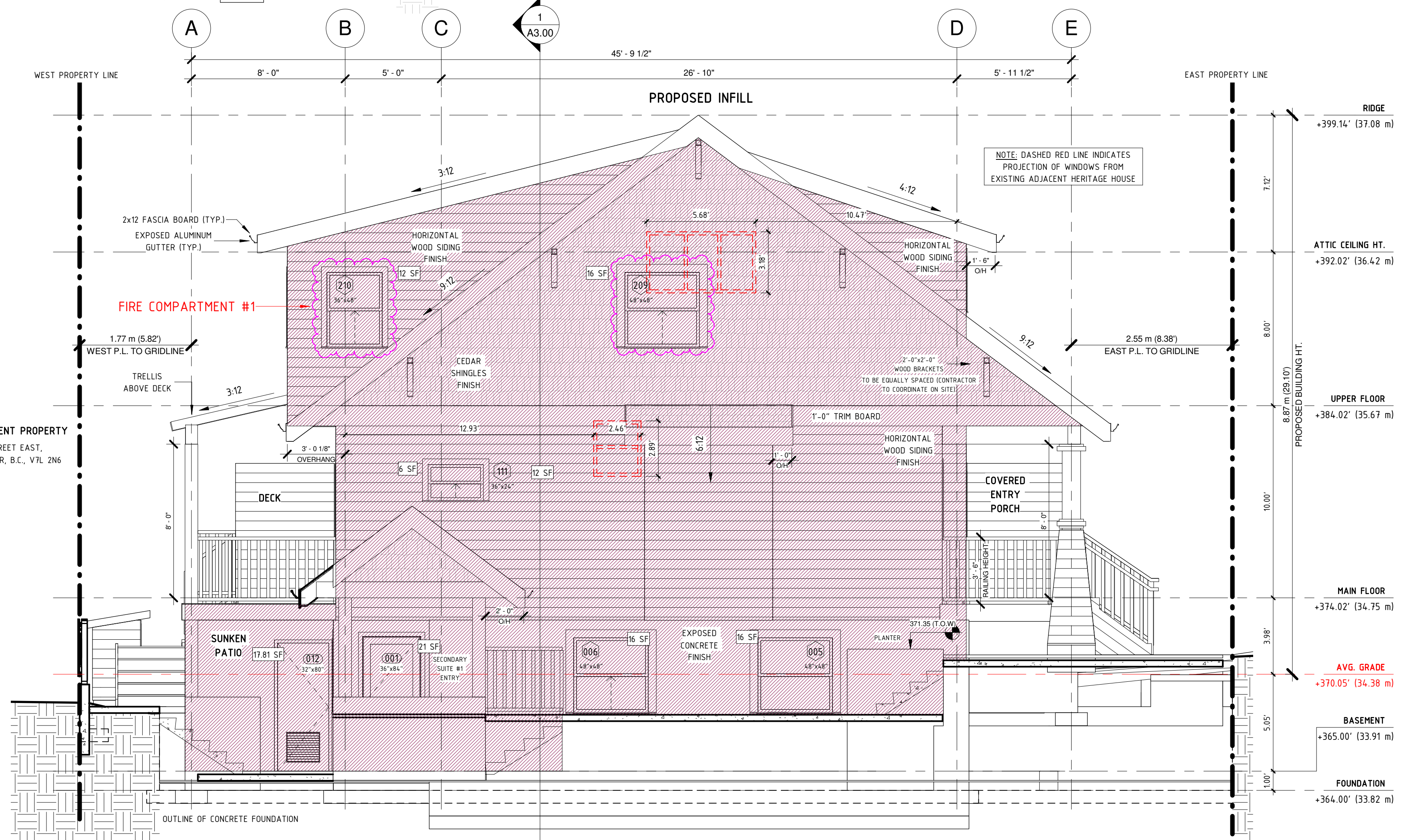
SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A BROWN HATCH
TOTAL AREA OF E.B.F. = 228.39 SF (21.21m²)
LIMITING DISTANCE = 12'-0" (4.02m)
TOTAL AREA OF INDIVIDUAL E.B.F. = 157.33 SF (14.61m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%, 89.07 SF (8.27m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 7%, 16 SF (1.48m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 39%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE

REVISIONS
SPATIAL SEPARATIONS CALCULATIONS UPDATED AS PER LAYOUT CHANGES



4 WEST ELEVATION - EXISTING HERITAGE HOUSE & PROPOSED INFILL (LDC)
1/4" = 1'-0"



3 SOUTH ELEVATION - PROPOSED INFILL (LDC)
1/4" = 1'-0"

FIRE COMPARTMENT #1

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A BURGUNDY HATCH
TOTAL AREA OF E.B.F. = 1029.04 SF (95.60m²)
LIMITING DISTANCE = 7'-5" (2.30m)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 10.35%, 106.50 SF (9.89m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 10.18%, 104.81 SF (9.74m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 10.35%
MIN. REQUIRED F.R.R. = 1HR.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = NON-COMBUSTIBLE

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET

DUPLEX INFILL
INFILL - S & W ELEVATIONS (LDC)

PROJECT NUMBER 36414TH / 1920

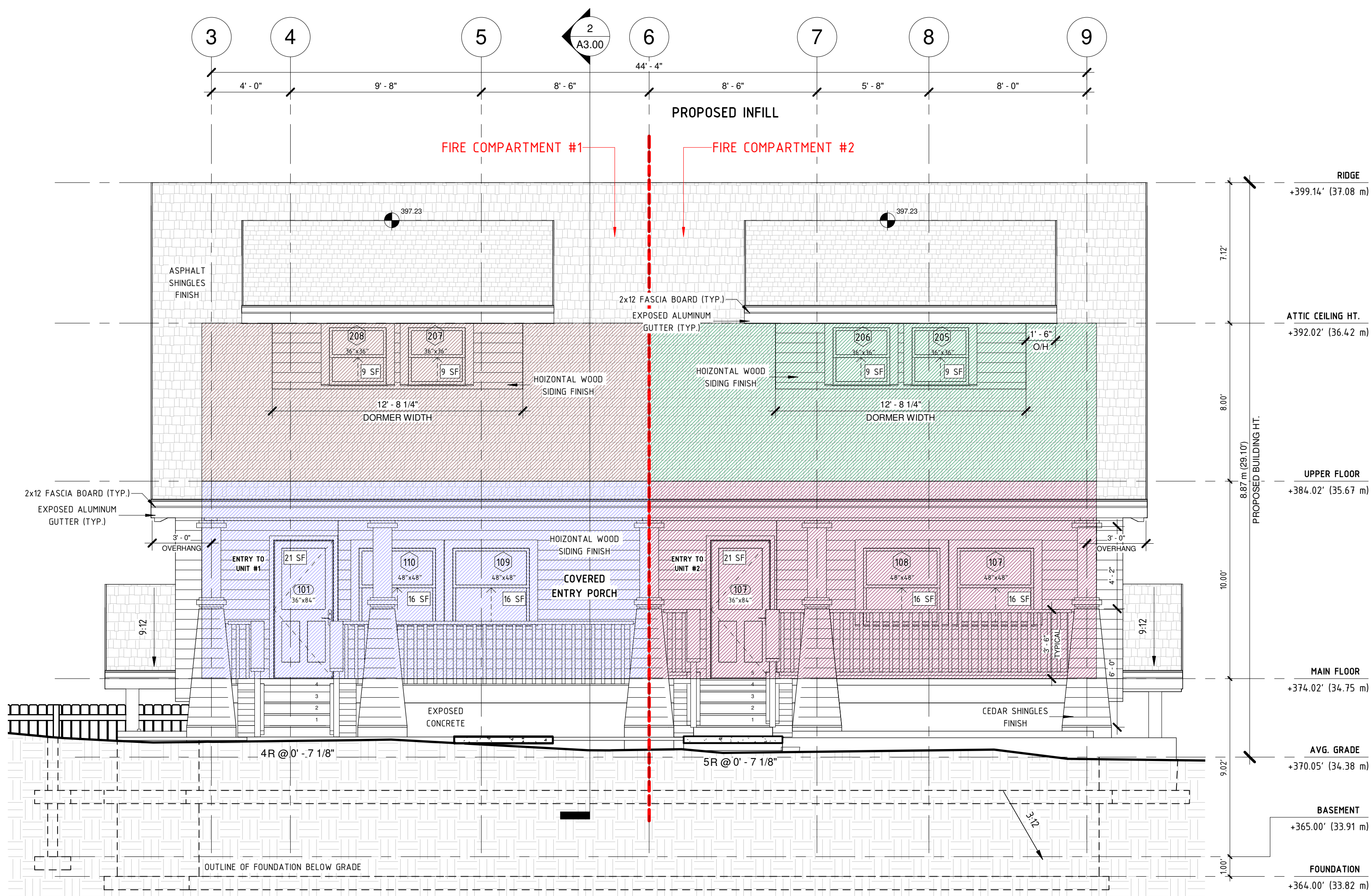
DATE 01/25/2022

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SCALE 1/4" = 1'-0"



1 EAST ELEVATION - PROPOSED INFILL (LDC)
1/4" = 1'-0"

FIRE COMPARTMENT #1

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A BROWN HATCH
TOTAL AREA OF E.B.F. = 407.81 SF (37.87m²)
LIMITING DISTANCE = 47.90' (14.60m) TO THE CENTER LINE OF STREET
TOTAL AREA OF INDIVIDUAL E.B.F. = 18125 SF (16.84 m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%, 18125 SF (16.84 m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 9.93%, 18 SF (1.67m²)
CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = COMBUSTIBLE OR NON-COMBUSTIBLE

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A PURPLE HATCH
TOTAL E.B.F. AREA = 407.81 SF (37.87m²)
LIMITING DISTANCE = 47.90' (14.60m) TO THE CENTER LINE OF STREET
TOTAL AREA OF INDIVIDUAL E.B.F. = 22656 SF (2105m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%, 22656 SF (2105m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 23.39%, 53 SF (4.92m²)

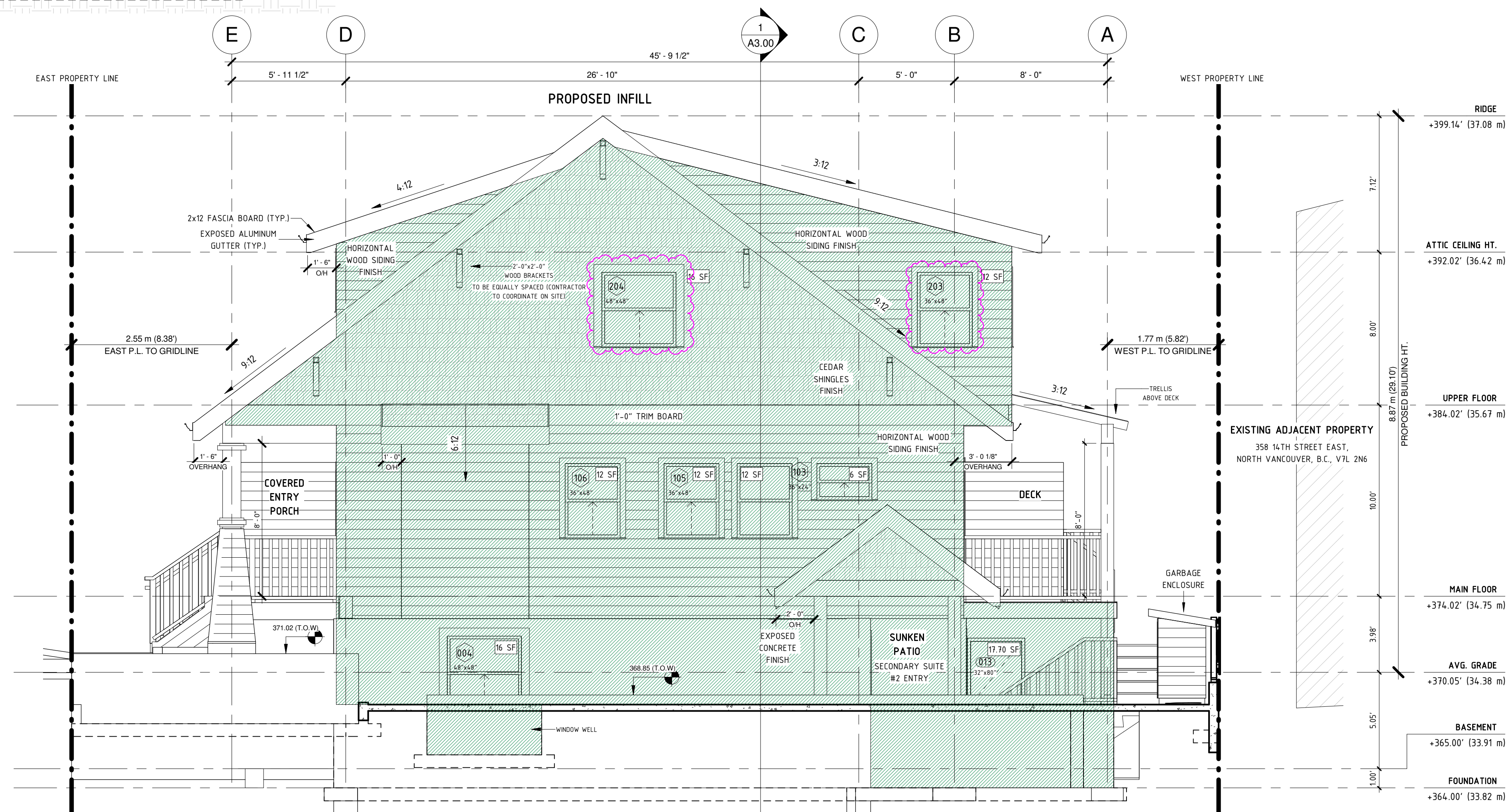
CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = COMBUSTIBLE OR NON-COMBUSTIBLE

FIRE COMPARTMENT #2

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A GREEN HATCH
TOTAL AREA OF E.B.F. = 407.81 SF (37.87m²)
LIMITING DISTANCE = 47.90' (14.60m) TO THE CENTER LINE OF STREET
TOTAL AREA OF INDIVIDUAL E.B.F. = 18125 SF (16.84 m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%, 18125 SF (16.84 m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 9.93%, 18 SF (1.67m²)
CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = COMBUSTIBLE OR NON-COMBUSTIBLE

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A BURGUNDY HATCH
TOTAL E.B.F. AREA = 407.81 SF (37.87m²)
LIMITING DISTANCE = 47.90' (14.60m) TO THE CENTER LINE OF STREET
TOTAL AREA OF INDIVIDUAL E.B.F. = 22656 SF (2105m²)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%, 22656 SF (2105m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 23.39%, 53 SF (4.92m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 100%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = COMBUSTIBLE OR NON-COMBUSTIBLE



2 NORTH ELEVATION - PROPOSED INFILL (LDC)
1/4" = 1'-0"

FIRE COMPARTMENT #1

SPATIAL SEPARATION CALCULATION AS PER BCBC 2018 - TABLE 9.10.14.4.-A GREEN HATCH
TOTAL AREA OF E.B.F. = 1029.04 SF (95.60m²)
LIMITING DISTANCE = 30.08' (9.17m)
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 70%, 720.33 SF (66.92m²)
AREA OF UNPROTECTED OPENINGS PROPOSED = 10%, 103.7 SF (9.63m²)

CONSTRUCTION OF E.B.F. AS PER BCBC 2018 - TABLE 9.10.14.5.-A
MAX. AREA OF UNPROTECTED OPENINGS PERMITTED = 70%
MIN. REQUIRED F.R.R. = 45MIN.
TYPE OF CONSTRUCTION REQUIRED = COMBUSTIBLE OR NON-COMBUSTIBLE
TYPE OF CLADDING = COMBUSTIBLE OR NON-COMBUSTIBLE

REVISIONS:
1 SPATIAL SEPARATIONS CALCULATIONS UPDATED AS PER LAYOUT CHANGES

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET

DUPLEX INFILL
INFILL- E & N ELEVATIONS (LDC)

PROJECT NUMBER 36414TH / 1920

DATE 01/25/2022

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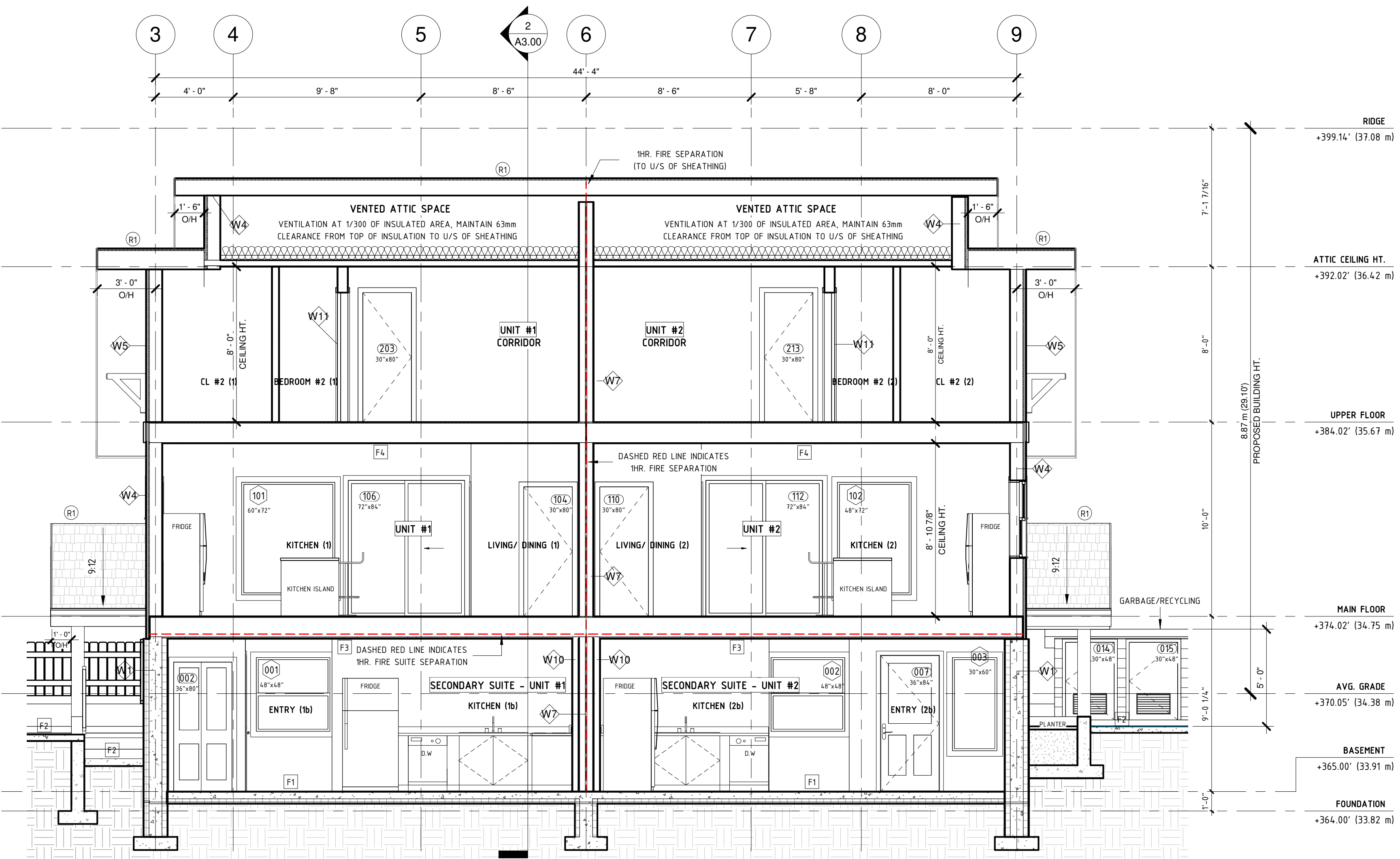
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SCALE As indicated

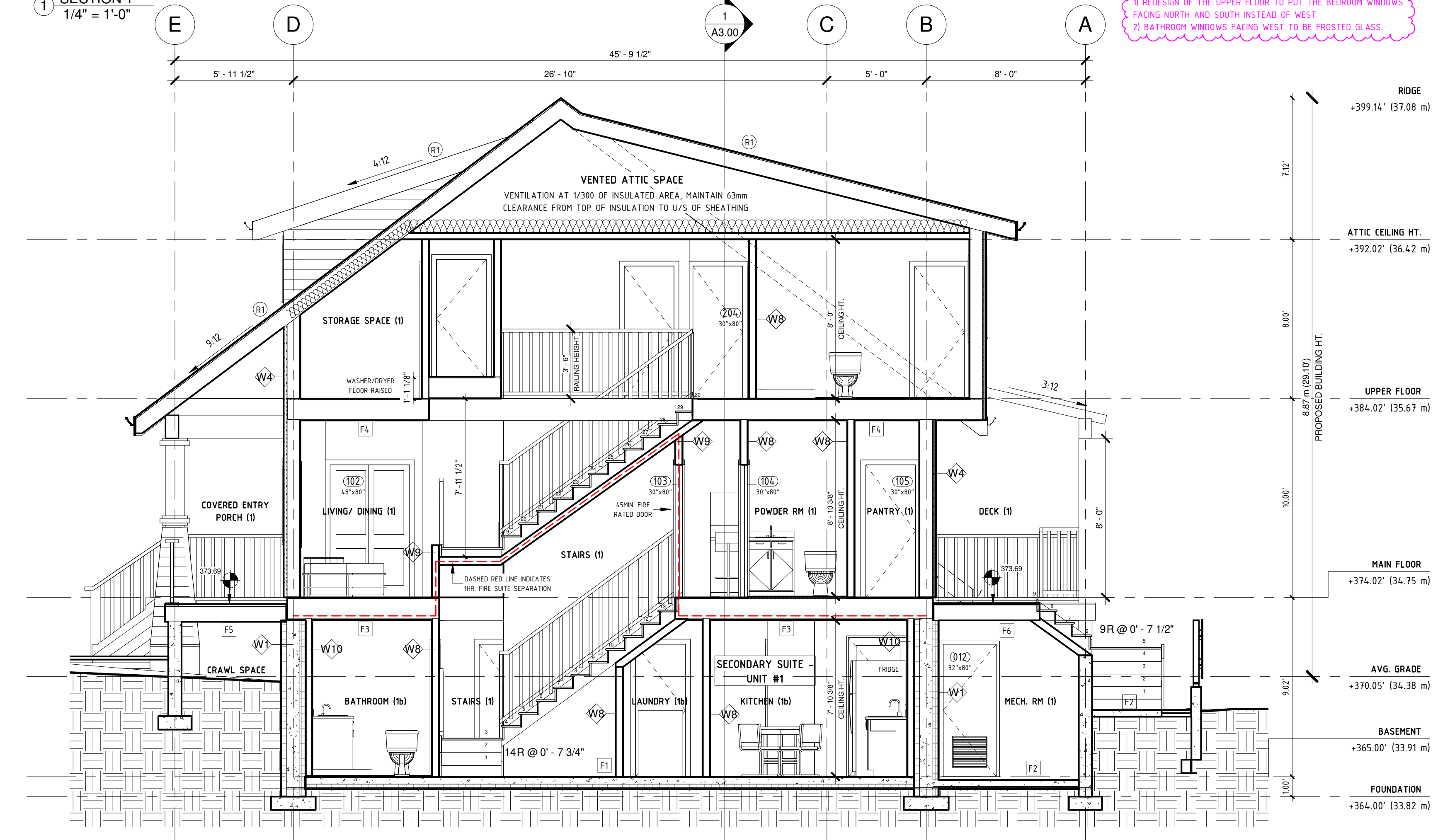
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- DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.
- SHOP DRAWINGS SHALL BE SUBMITTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL WORKMANSHIP AND MATERIALS SHALL AT LEAST CONFORM TO THE CURRENT EDITIONS OF ALL BUILDING CODES AND BY-LAWS APPLICABLE IN THE MUNICIPALITY.
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SECTION 1
1/4" = 1'-0"

REVISION:
1) REVISION OF THE UPPER FLOOR TO PUT THE BEDROOM WINDOWS FACING NORTH AND SOUTH INSTEAD OF WEST
2) BATHROOM WINDOWS FACING WEST TO BE FROSTED GLASS.



SECTION 2
1/4" = 1'-0"

WALL ASSEMBLIES		DESCRIPTION
TYPE	PLAN	
W1		14" ICF FOUNDATION WALL - 1/2" GYPSUM WALLBOARD - 14" ICF WITH REINFORCED CONCRETE FILL - SELF-ADHERED WATERPROOFING MEMBRANE (PEEL & STICK) - DRAINAGE MAT - COMPACTED GRAVEL AS SPECIFIED BY GEOTECHNICAL ENGINEER REPLACED BY CEMENTITIOUS SIDING WHEN IT IS NOT IN CONTACT WITH SOIL
W2		8" CONCRETE RETAINING WALL - 8" CONCRETE FOUNDATION WALL - BITUMINOUS DAMPPROOFING - DRAINAGE MAT - COMPACTED GRAVEL AS SPECIFIED BY GEOTECHNICAL ENGINEER
W3		6" CONCRETE RETAINING WALL - 6" CONCRETE FOUNDATION WALL - BITUMINOUS DAMPPROOFING - DRAINAGE MAT - COMPACTED GRAVEL AS SPECIFIED BY GEOTECHNICAL ENGINEER
W4		EXTERIOR WOOD STUD (2x8) - HORIZONTAL SIDING - 1/2" GYPSUM WALLBOARD - 6 ML POLYETHYLENE (VBI) - 2x8 #2 SPF WOOD STUDS @ 16" O.C. - ROXUL BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED AB) - 1x2 P.T. VERTICAL WOOD STRAPPING - HORIZONTAL SIDING
W5		EXTERIOR WOOD STUD (2x8) - CEDAR SHINGLES - 1/2" GYPSUM WALLBOARD - 6 ML POLYETHYLENE (VBI) - 2x8 #2 SPF WOOD STUDS @ 16" O.C. - ROXUL BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED AB) - 1x2 P.T. VERTICAL WOOD STRAPPING - CEDAR SHINGLES
W6		EXTERIOR WOOD STUD (2x8) - 1/2" GYPSUM WALLBOARD - 6 ML POLYETHYLENE (VBI) - 2x8 #2 SPF WOOD STUDS @ 16" O.C. - ROXUL BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED AB)
W7		LOADBEARING PARTY WALL (W13a in TABLE 9.10.3.1-A BCBC 2018) STC = 57, FRR = 1HR. - 5/8" TYPE X GYPSUM WALLBOARD - SMART INTERIOR AIR BARRIER & VAPOUR BARRIER (INTELLO FROM PROCLIMA OR SIMILAR) - 2x4 #2 SPF WOOD JOIST @ 16" O/C - ROXUL BATT INSULATION IN CAVITY (FOR ACOUSTICS) - 1" AIR GAP (IF RESTOPPED @ FLOOR & CEILING LEVELS) - 2x4 #2 SPF WOOD JOIST @ 16" O/C - ROXUL BATT INSULATION IN CAVITY (FOR ACOUSTICS) - SMART INTERIOR AIR BARRIER & VAPOUR BARRIER (INTELLO FROM PROCLIMA OR SIMILAR) - 5/8" TYPE X GYPSUM WALLBOARD
W8		INTERIOR WOOD STUD (2x4) - 1/2" GYPSUM WALLBOARD - 2x4 #2 SPF WOOD JOIST @ 16" O/C - 1/2" GYPSUM WALLBOARD
W9		INTERIOR WOOD STUD (2x4) - 1HR. FIRE RATED (W1d in TABLE 9.10.3.1-A BCBC 2018) - 5/8" TYPE X GYPSUM WALLBOARD - 2x4 #2 SPF WOOD JOIST @ 16" O/C - 5/8" TYPE X GYPSUM WALLBOARD
W10		INTERIOR WOOD STUD (2x4) - PLUMBING WALL - 1/2" GYPSUM WALLBOARD - 2x4 #2 SPF WOOD JOIST @ 16" O/C *WALL USED IN BASEMENT ONLY (REFER TO SHEET A10)
W11		INTERIOR WOOD STUD (2x6) - 1/2" GYPSUM WALLBOARD - 2x6 #2 SPF WOOD JOIST @ 16" O/C - 1/2" GYPSUM WALLBOARD
W12		EXISTING EXTERIOR WOOD STUD - SIDING OR SHINGLES - 3/4" PLASTERING - 1/2" WOODEN LATH - 6 ML POLYETHYLENE (VBI) - "TRIE" 2x4 #2 SPF WOOD STUDS @ 16" O.C. - BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED AB) - 1x2 P.T. VERTICAL WOOD STRAPPING - HORIZONTAL SIDING OR CEDAR SHINGLES (TO MATCH EXISTING)

NOTE: USE THIS ASSEMBLY TO FILL IN EXISTING WALL ASSEMBLIES WHERE DOORS/WINDOWS HAVE BEEN REMOVED

FLOOR ASSEMBLIES		DESCRIPTION
TYPE	PLAN	
F1		4" CONCRETE SLAB ON GRADE - CONDITIONED SPACE - 4" CONCRETE SLAB ON GRADE - 6 ML POLYETHYLENE (VBI) - 3" RIGID INSULATION - 6" MIN. COMPACTED FILL AS SPECIFIED BY GEOTECHNICAL ENGINEER
F2		4" CONCRETE SLAB ON GRADE - UNCONDITIONED SPACE - 4" CONCRETE SLAB ON GRADE - 6" MIN. COMPACTED FILL AS SPECIFIED BY GEOTECHNICAL ENGINEER
F3		FRAMED FLOOR - MAIN FLOOR - 1HR. FIRE RATED (F3c in TABLE 9.10.3.1-B BCBC 2018) STC = 52, FRR = 1HR, IIC = 46 - FLOOR FINISH MATERIAL TBD - 3/4" T&G PLYWOOD SUBFLOOR - ROXUL BATT INSULATION IN CAVITY (FOR ACOUSTICS OR OVER EXTERIOR ONLY) - 11 7/8" TJI FLOOR JOISTS @ 16" O.C. - RESILIENT METAL CHANNELS @ 16" O.C. - 2 LAYERS OF 5/8" TYPE X GYPSUM WALLBOARD
F4		FRAMED FLOOR - UPPER FLOOR (F4d in TABLE 9.10.3.1-B BCBC 2018) STC = 50, IIC = 44 - FLOOR FINISH MATERIAL TBD - 3/4" T&G PLYWOOD SUBFLOOR - ROXUL BATT INSULATION IN CAVITY (FOR ACOUSTICS OR OVER EXTERIOR ONLY) - 11 7/8" TJI FLOOR JOISTS @ 16" O.C. - RESILIENT METAL CHANNELS @ 16" O.C. - 1 LAYERS OF 5/8" TYPE X GYPSUM WALLBOARD
F5		FRAMED DECK - MAIN FLOOR - 2x6 P.T. CEDAR DECKING ON FLAT WITH 1/4" GAPS - 2x10 P.T. #2 SPF WOOD STUDS @ 16" O.C.
F6		TYP. DECK (2x10, WOOD TAPERS) - DECK OVER MECH. RM. - 20mm EXT. TILE, TYPE-BRAND/MODEL TBD - STACKED RUBBER FEELERS - TORCH-ON MODIFIED BITUMEN ROOF MEMBRANE (2 LAYERS) - 1/4" PROTECTION BOARD - 3/4" T&G PLYWOOD SUBFLOOR (PER STRUCTURAL DRAWINGS) - TAPPED WOODEN SLEEPERS, 2X SLOPE TO DRAIN - 2x10 #2 SPF WOOD JOIST (SEE STRUCTURAL) - CLOSED-CELL SPRAY FOAM INSULATION / R28 MIN (IF OVER INTERIOR) - 6ml POLYETHYLENE VAPOUR BARRIER (IF OVER INTERIOR) - 1/2" GYPSUM WALLBOARD OR SOFFIT TBD

ROOF ASSEMBLIES		DESCRIPTION
TYPE	PLAN	
R1		SLOPED ATTIC ROOF - ROOF SHINGLES - SELF-ADHERED ROOFING MEMBRANE UNDERLAYMENT - 3/4" PLYWOOD SUBSTRATE - 2x10 JOISTS @ 16" O.C. PER STRUCTURAL DRAWINGS - FIBERGLASS BATT INSULATION IN CAVITY R4.0 MIN - 2x4 JOISTS @ 16" O.C. PER STRUCTURAL DRAWINGS - 6 ML POLYETHYLENE VAPOUR BARRIER - 1/2" GYPSUM WALLBOARD
R2		SLOPED CATEDRAL ROOF - ROOF SHINGLES - SELF-ADHERED ROOFING MEMBRANE UNDERLAYMENT - 3/4" PLYWOOD SUBSTRATE - 2x10 JOISTS @ 16" O.C. PER STRUCTURAL DRAWINGS - FIBERGLASS BATT INSULATION IN CAVITY R28 MIN (IF OVER INTERIOR) - 3/4" T&G STAINED HEMLOCK SOFFIT OR 1/2" GYPSUM WALLBOARD

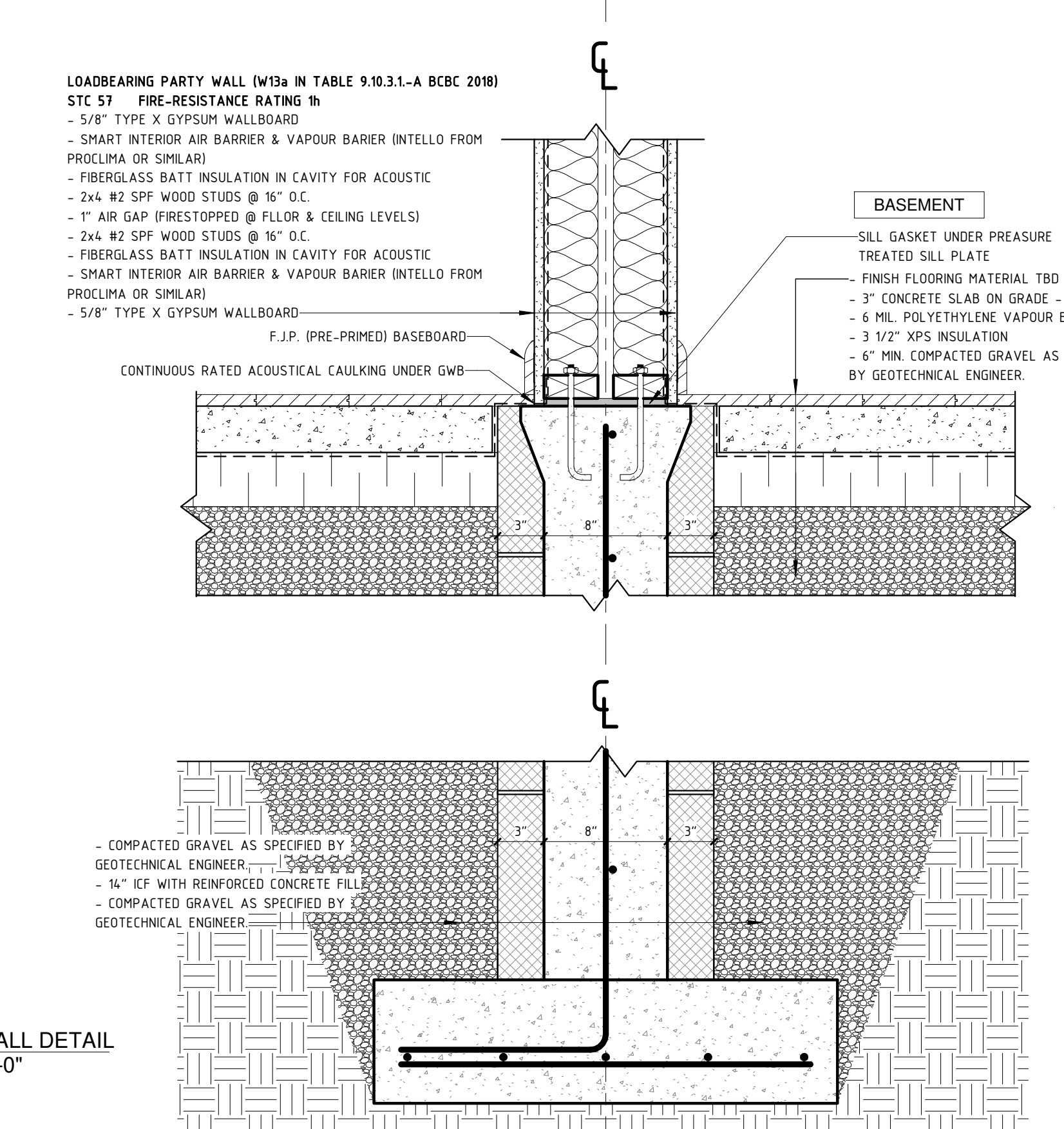
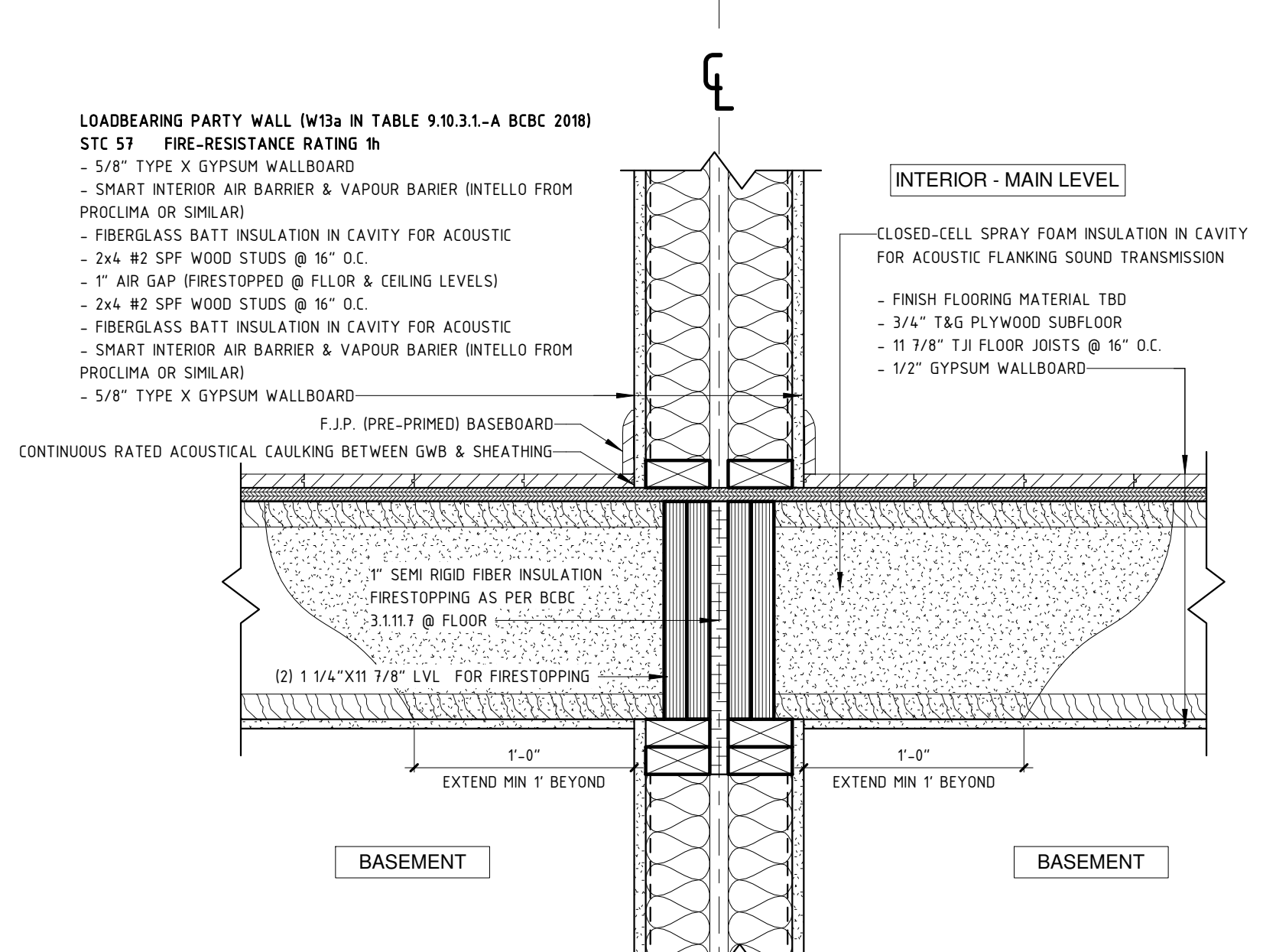
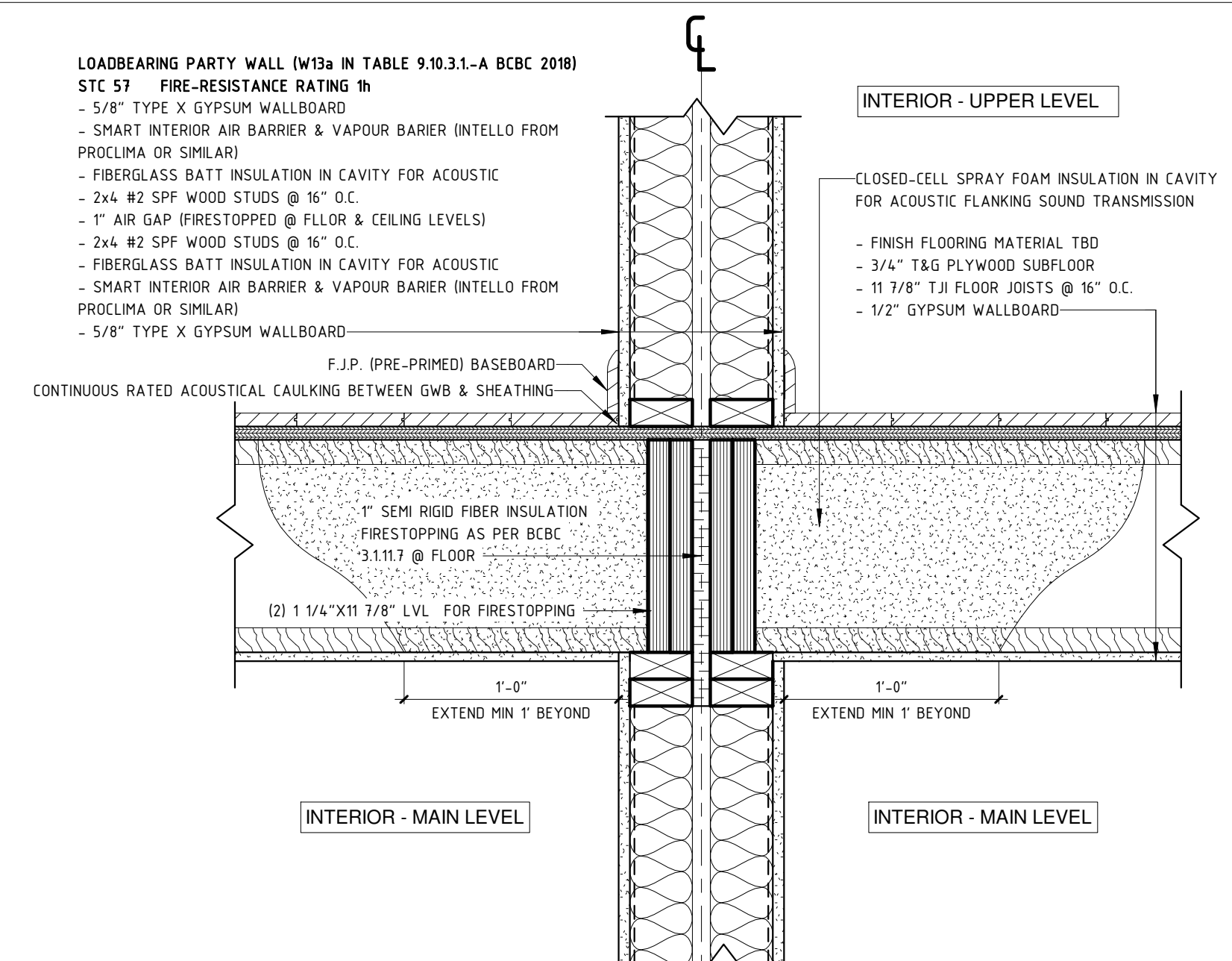
REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET	
DUPLIX INFILL	
SECTIONS	
PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
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SCALE	As indicated

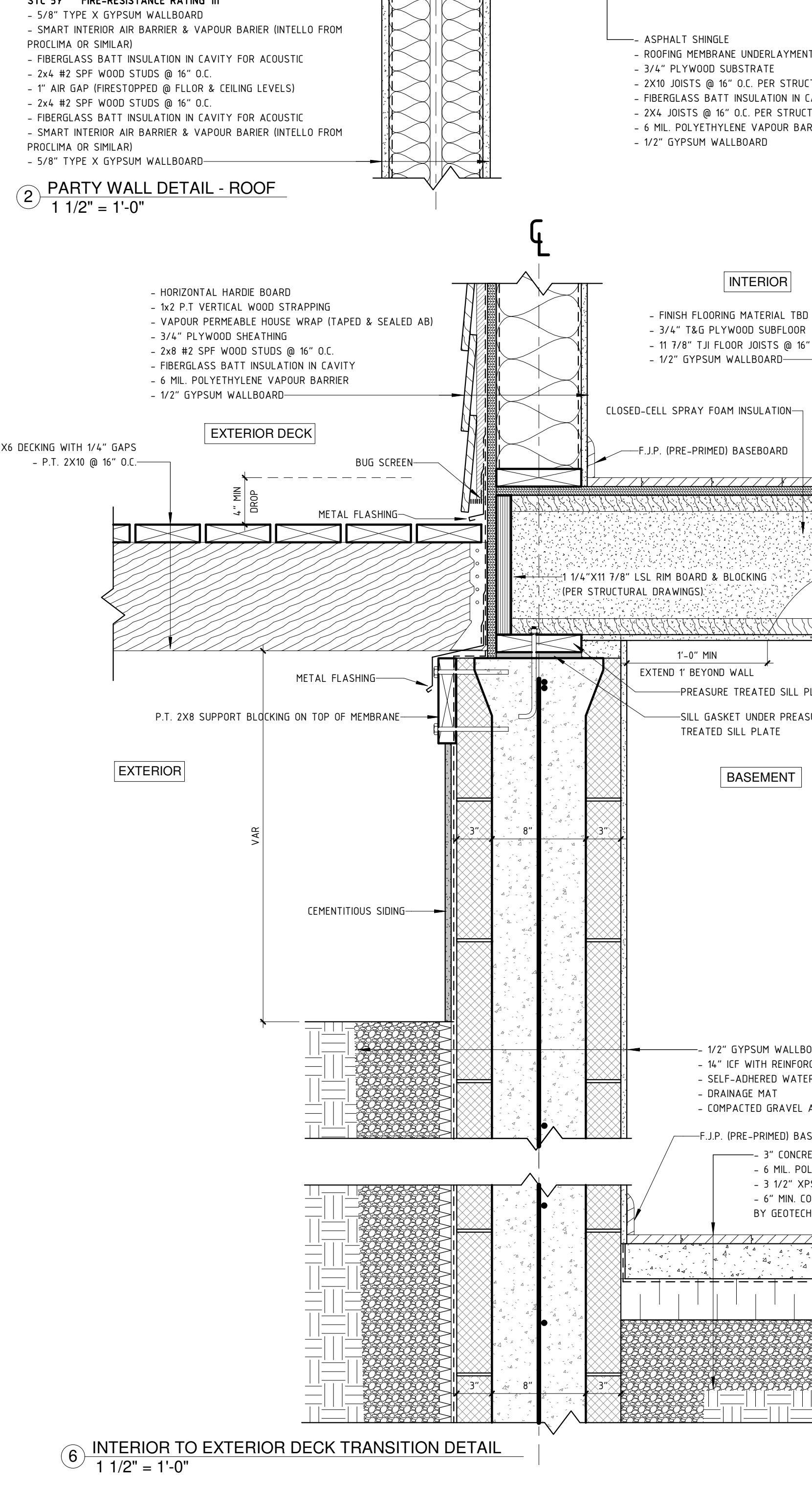
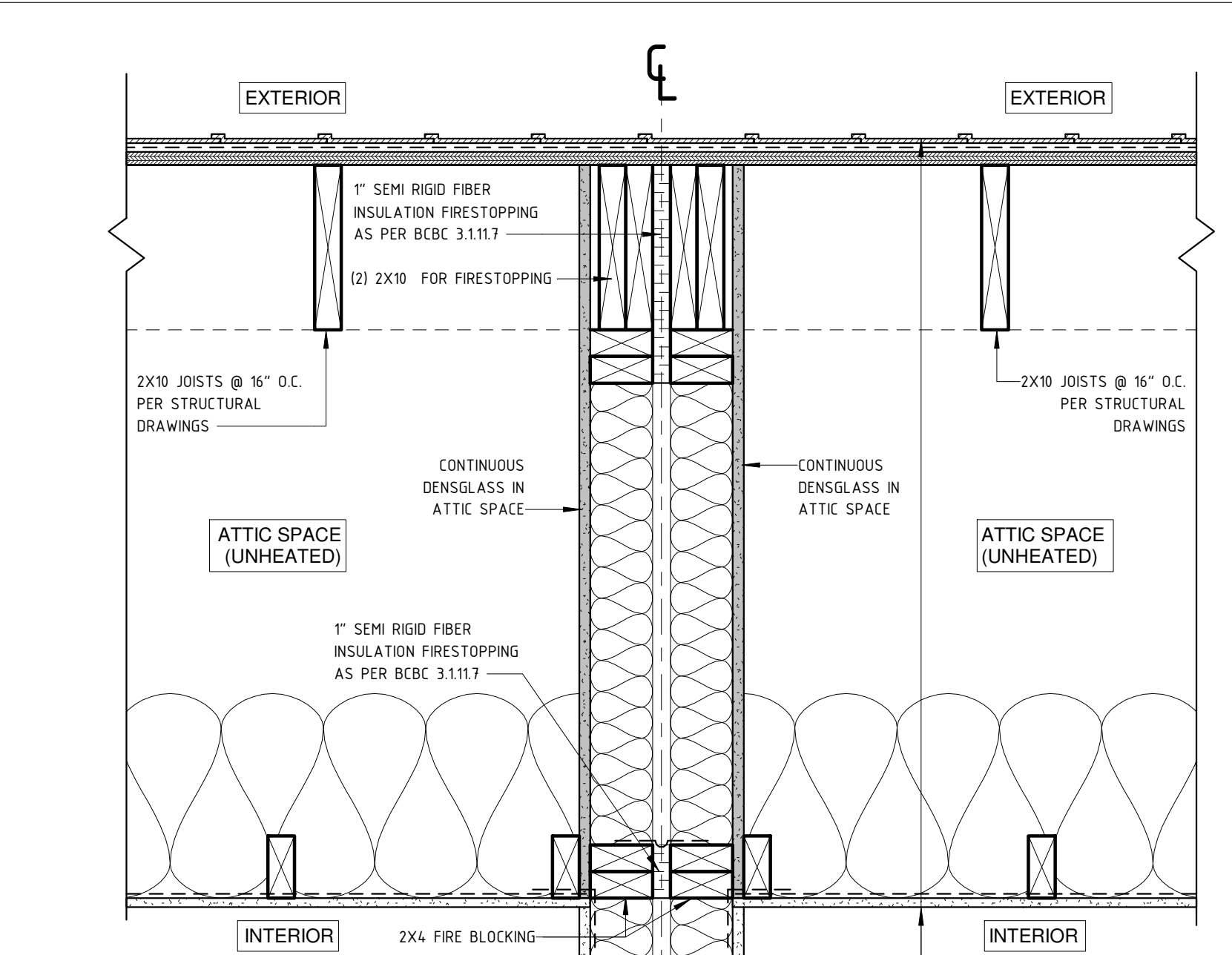
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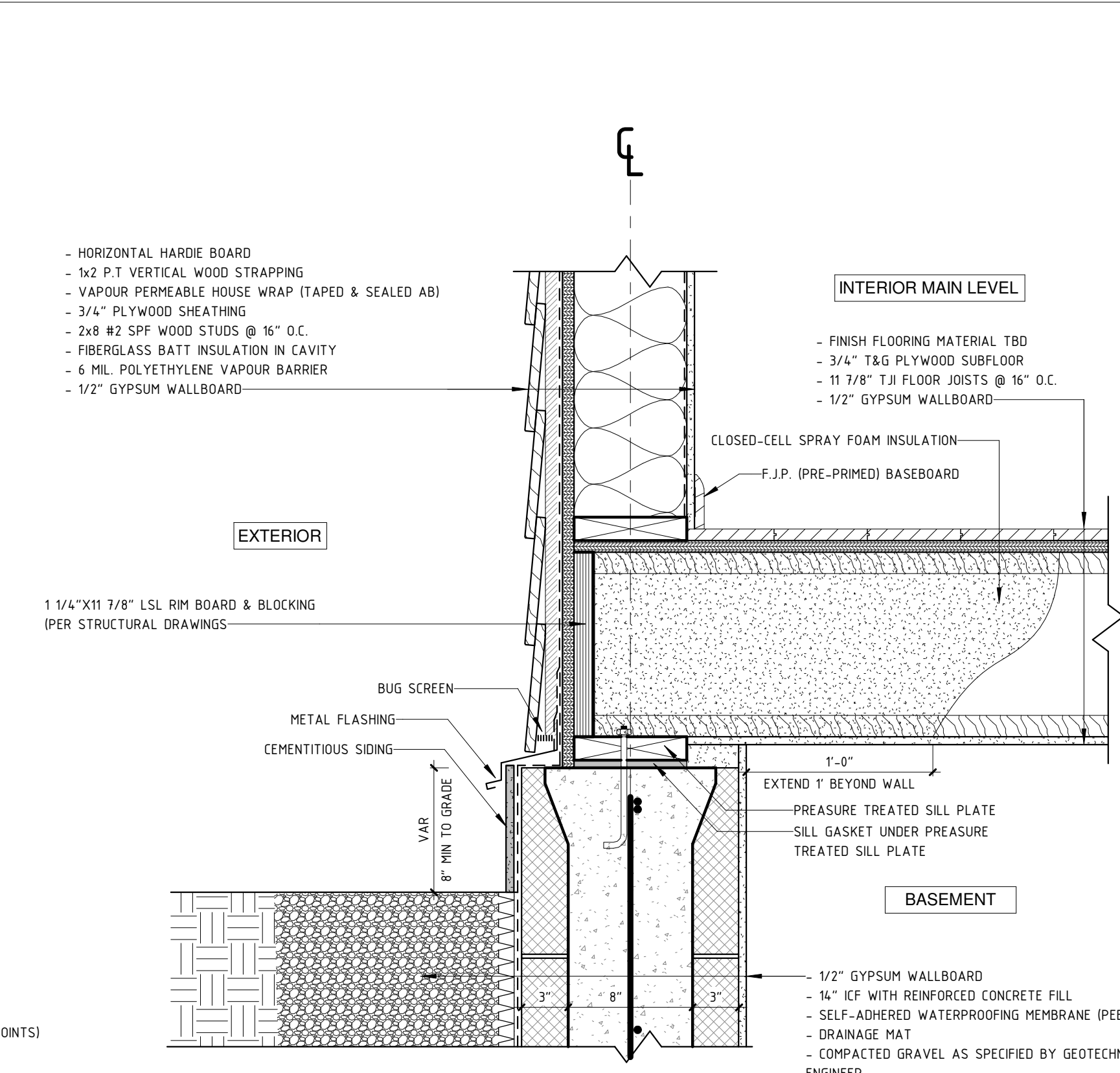
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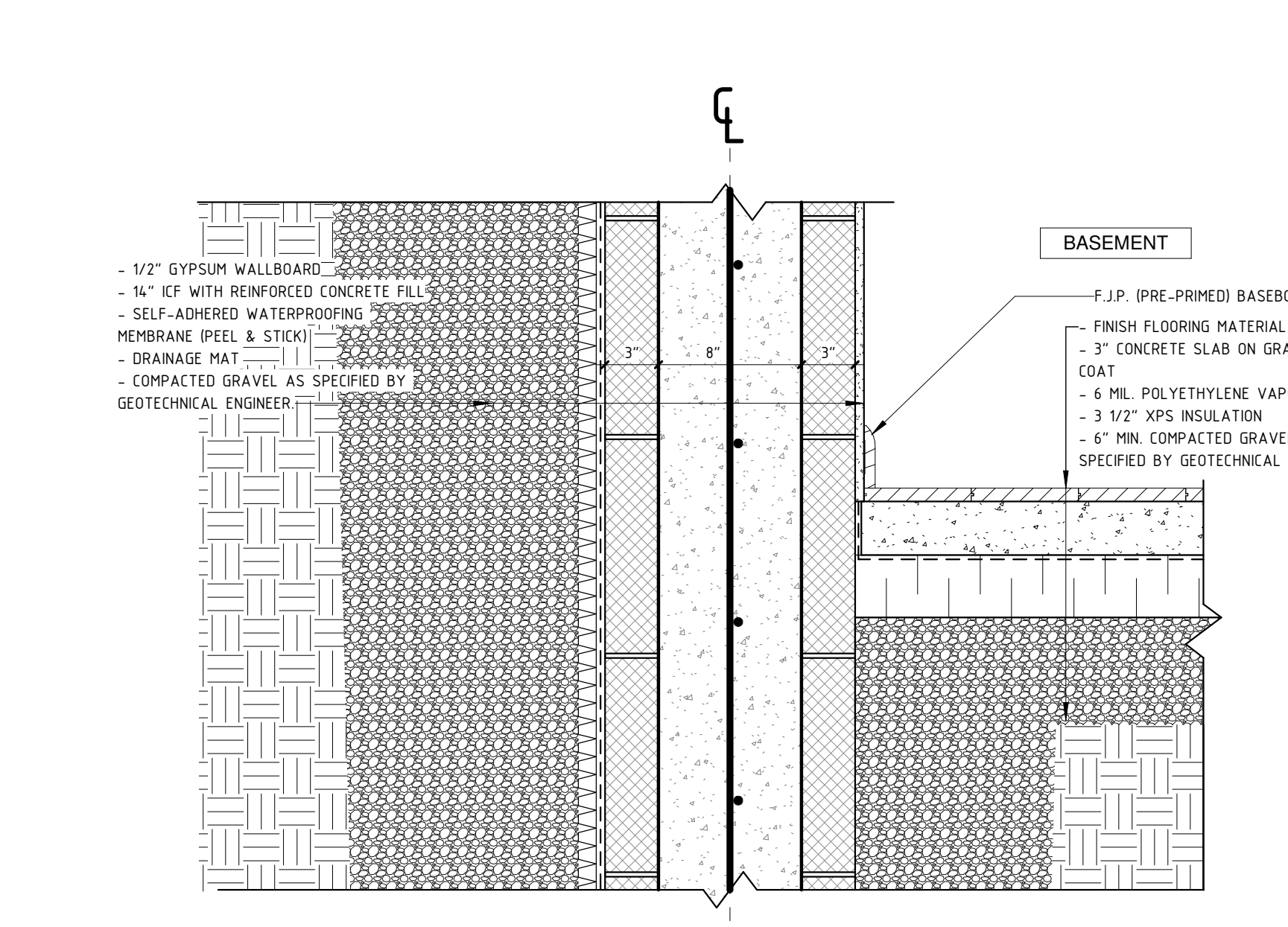
1 PARTY WALL DETAIL
1 1/2" = 1'-0"



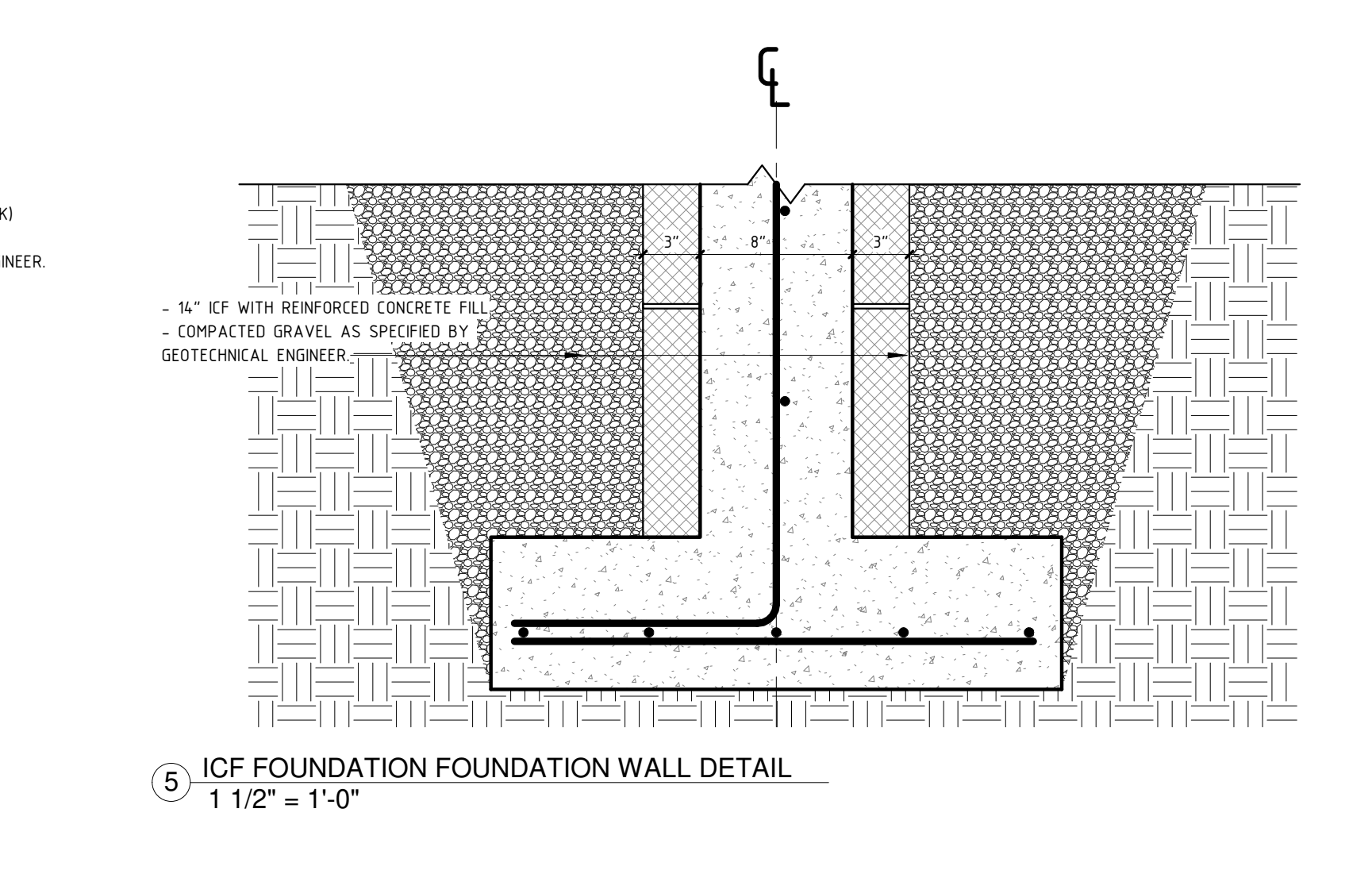
2 PARTY WALL DETAIL - ROOF
1 1/2" = 1'-0"



3 T.O. FOUNDATION WALL TO MAIN FLOOR CONNECTION DETAIL
1 1/2" = 1'-0"



4 BASEMENT FLOOR DETAIL
1 1/2" = 1'-0"



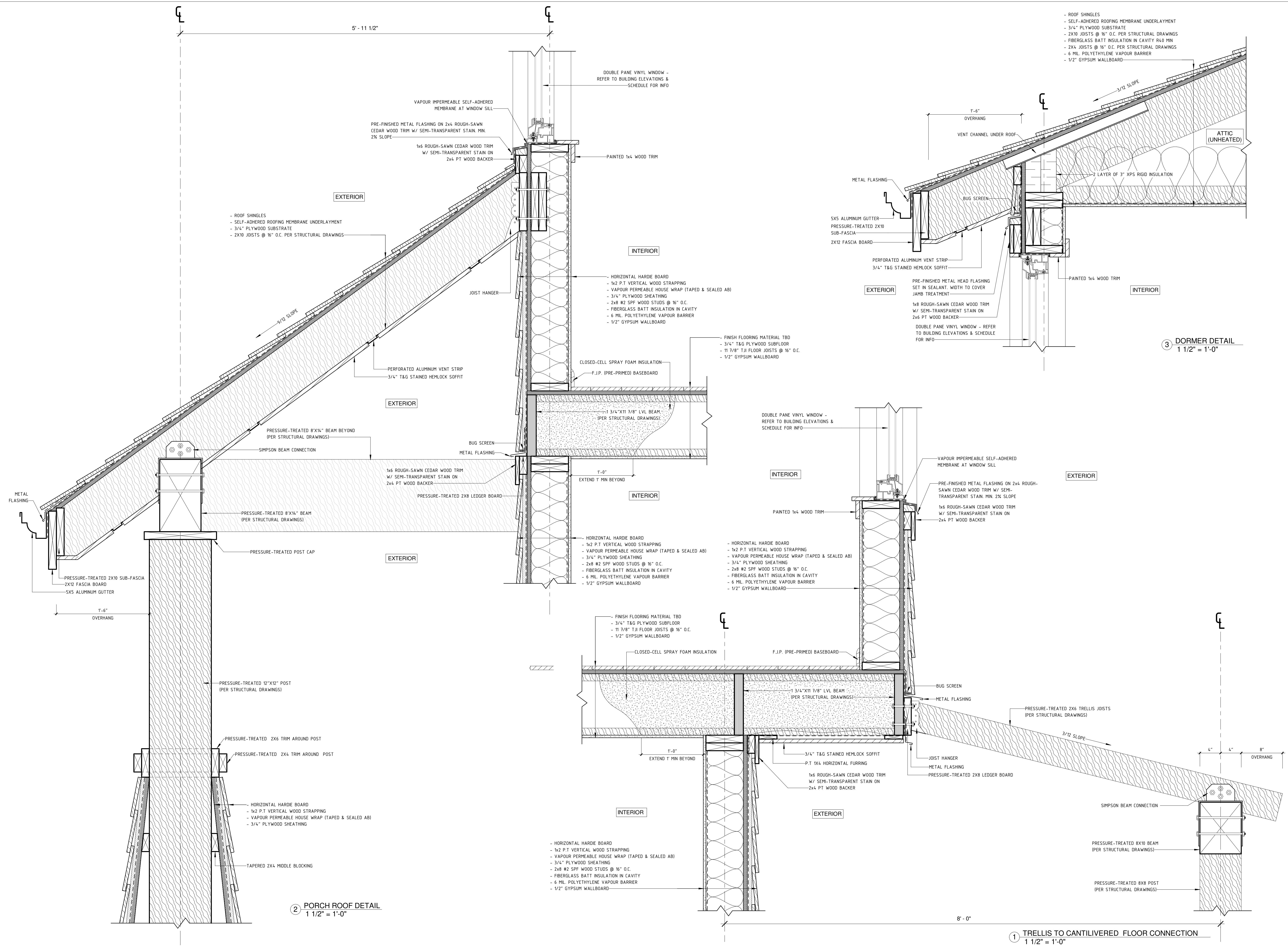
5 ICF FOUNDATION WALL DETAIL
1 1/2" = 1'-0"

REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27

364 E 14TH STREET	
DUPLEX INFILL	
DETAILS	
PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
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A4.00	
SCALE	1 1/2" = 1'-0"

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REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27

364 E 14TH STREET
DUPLEX INFILL
DETAILS

PROJECT NUMBER 36414TH / 1920
DATE 01/25/2022
DRAWN BY NK
CHECKED BY RB

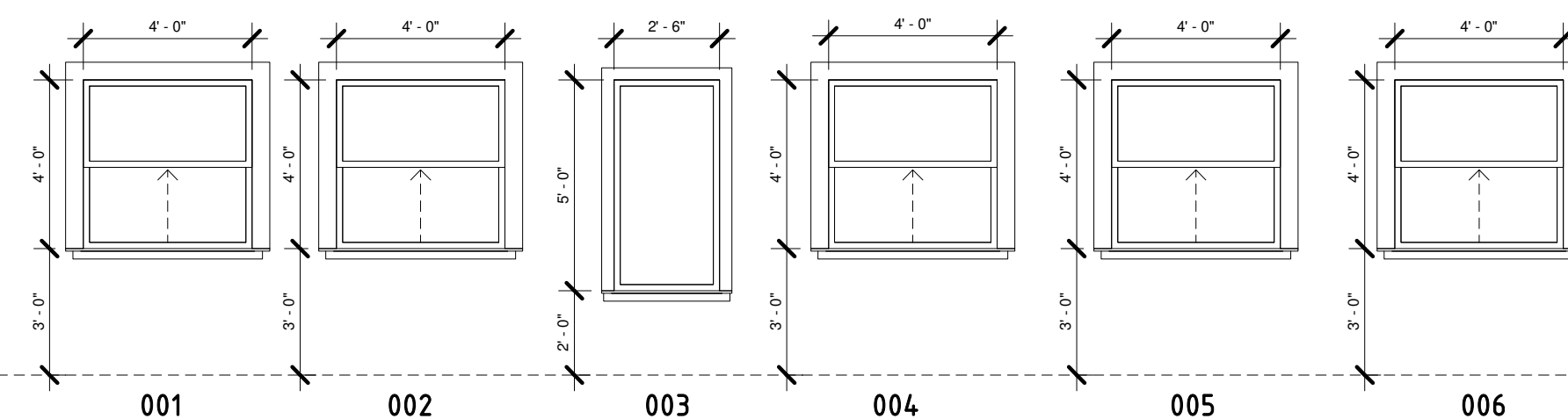
A4.01

SCALE 1 1/2" = 1'-0"

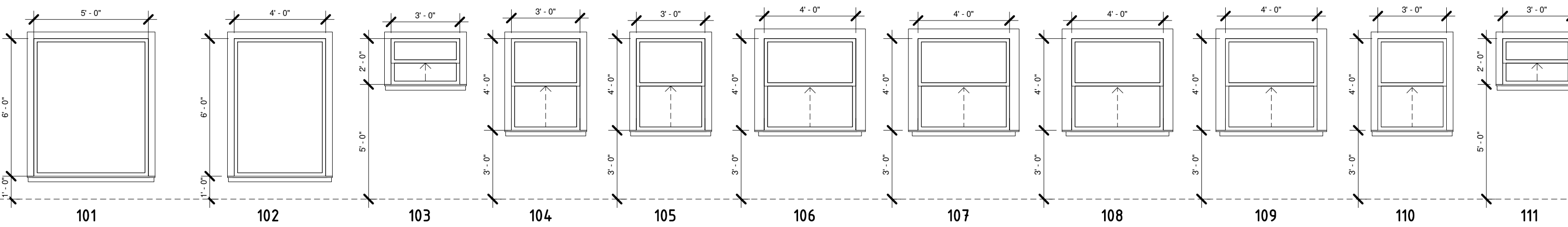
PLOT DATE: 2/23/2022 10:28 PM

DOOR SCHEDULE - PROPOSED INFILL				
Mark	Description	Access	Width	Height
BASEMENT				
001	SINGLE FLUSH DOOR	ENTRY (1b)	3' - 0"	7' - 0"
002	TWO PANEL SLIDING DOOR	CLOSET (1b)	3' - 0"	6' - 8"
003	SINGLE FLUSH DOOR	LAUNDRY (1b)	2' - 6"	6' - 8"
004	SINGLE FLUSH DOOR	BEDROOM (1b)	2' - 6"	6' - 8"
005	SINGLE FLUSH DOOR	BATHROOM (1b)	2' - 6"	6' - 8"
006	TWO PANEL SLIDING DOOR	CL. (1b)	6' - 0"	6' - 8"
007	SINGLE FLUSH DOOR	ENTRY (2b)	3' - 0"	7' - 0"
008	SINGLE FLUSH DOOR	LAUNDRY (2b)	2' - 6"	6' - 8"
009	SINGLE FLUSH DOOR	BEDROOM (2b)	2' - 6"	6' - 8"
010	SINGLE FLUSH DOOR	BATHROOM (2b)	2' - 6"	6' - 8"
011	TWO PANEL SLIDING DOOR	CL. (2b)	6' - 0"	6' - 8"
012	SINGLE FLUSH DOOR	MECH. RM (1)	2' - 8"	6' - 8"
013	SINGLE FLUSH DOOR	MECH. RM (2)	2' - 8"	6' - 8"
GROUND				
014	SINGLE FLUSH DOOR	GARBAGE ENCLOSURE	2' - 6"	4' - 0"
015	SINGLE FLUSH DOOR	GARBAGE ENCLOSURE	2' - 6"	4' - 0"
016	SINGLE FLUSH DOOR	GARBAGE ENCLOSURE	2' - 6"	4' - 0"
017	SINGLE FLUSH DOOR	GARBAGE ENCLOSURE	2' - 6"	4' - 0"
HH - BASEMENT LEVEL				
N10	SINGLE FLUSH DOOR	GARBAGE ENCLOSURE	2' - 6"	6' - 0"
HH - MAIN FLOOR LEVEL				
N16	DOUBLE SLIDING GLASS DOOR	KITCHEN	6' - 0"	6' - 8"
MAIN FLOOR				
101	SINGLE FLUSH DOOR	ENTRY (1)	3' - 0"	7' - 0"
102	TWO PANEL SLIDING DOOR	CL. (1)	4' - 0"	6' - 8"
103	SINGLE FLUSH DOOR	STAIRS (1)	2' - 6"	6' - 8"
104	SINGLE FLUSH DOOR	POWDER RM (1)	2' - 6"	6' - 8"
105	SINGLE FLUSH DOOR	PANTRY (1)	2' - 6"	6' - 8"
106	DOUBLE SLIDING GLASS DOOR	DECK (1)	6' - 0"	7' - 0"
107	SINGLE FLUSH DOOR	ENTRY (2)	3' - 0"	7' - 0"
108	TWO PANEL SLIDING DOOR	CL. (2)	4' - 0"	6' - 8"
109	SINGLE FLUSH DOOR	STAIRS (2)	2' - 6"	6' - 8"
110	SINGLE FLUSH DOOR	POWDER RM (2)	2' - 6"	6' - 8"
111	SINGLE FLUSH DOOR	PANTRY (2)	2' - 6"	6' - 8"
112	DOUBLE SLIDING GLASS DOOR	DECK (2)	6' - 0"	7' - 0"
UPPER FLOOR				
201	SINGLE FLUSH DOOR	CL. #1 (1)	2' - 6"	6' - 8"
202	TWO PANEL SLIDING DOOR	CL (1)	6' - 0"	6' - 8"
203	SINGLE FLUSH DOOR	MASTER BEDROOM (1)	2' - 6"	6' - 8"
204	SINGLE FLUSH DOOR	BEDROOM #2 (1)	2' - 6"	6' - 8"
205	TWO PANEL SLIDING DOOR	CL #2 (1)	5' - 0"	6' - 8"
206	SINGLE FLUSH DOOR	BATHROOM (1)	2' - 6"	6' - 8"
207	SINGLE FLUSH DOOR	BEDROOM #3 (1)	2' - 6"	6' - 8"
208	TWO PANEL SLIDING DOOR	CL. #3 (1)	4' - 0"	6' - 8"
209	SINGLE FLUSH DOOR	STORAGE SPACE (1)	2' - 6"	6' - 8"
210	SINGLE FLUSH DOOR	W/D (1)	2' - 6"	6' - 0"
211	SINGLE FLUSH DOOR	CL. #1 (1)	2' - 6"	6' - 8"
212	TWO PANEL SLIDING DOOR	CL (2)	6' - 0"	6' - 8"
213	SINGLE FLUSH DOOR	MASTER BEDROOM (2)	2' - 6"	6' - 8"
214	SINGLE FLUSH DOOR	BEDROOM #2 (2)	2' - 6"	6' - 8"
215	TWO PANEL SLIDING DOOR	CL #2 (2)	5' - 0"	6' - 8"
216	SINGLE FLUSH DOOR	BATHROOM (2)	2' - 6"	6' - 8"
217	SINGLE FLUSH DOOR	BEDROOM #3 (2)	2' - 6"	6' - 8"
218	TWO PANEL SLIDING DOOR	CL. #3 (2)	4' - 0"	6' - 8"
219	SINGLE FLUSH DOOR	STORAGE SPACE (2)	2' - 6"	6' - 8"
220	SINGLE FLUSH DOOR	W/D (2)	2' - 6"	6' - 0"

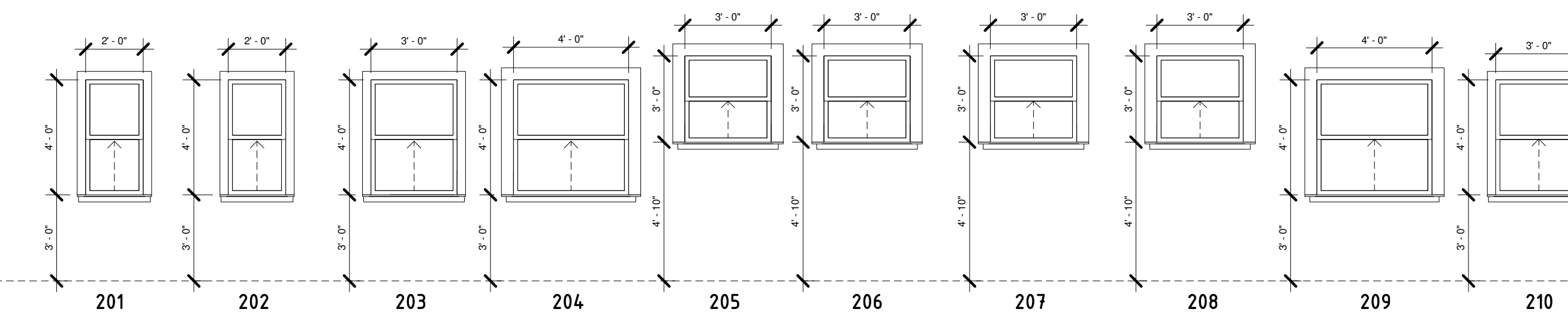
BASEMENT FLOOR



MAIN FLOOR

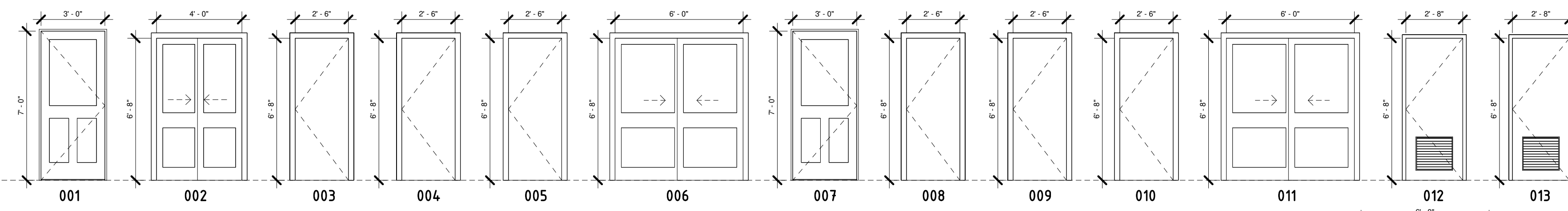


UPPER FLOOR



WINDOW ELEVATIONS
1/4" = 1'-0"

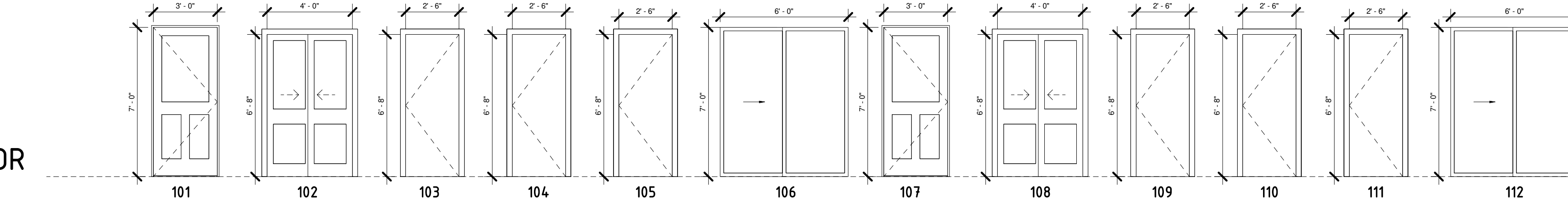
BASEMENT FLOOR



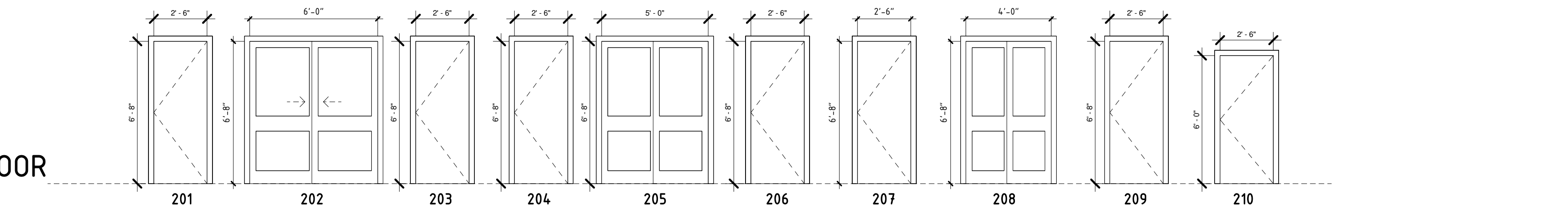
H.H. BASEMENT FLOOR



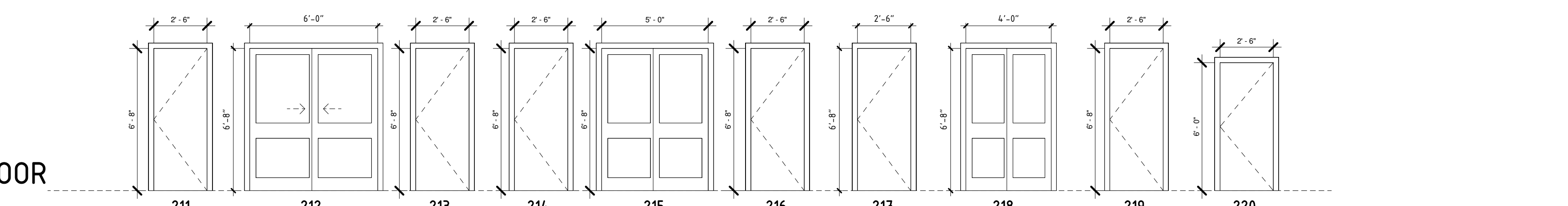
H.H. MAIN FLOOR



MAIN FLOOR



UPPER FLOOR



DOOR ELEVATIONS
1/4" = 1'-0"

WINDOW SCHEDULE - PROPOSED INFILL				
Mark	Panels	Width	Height	Sill Height
BASEMENT				
001	SINGLE HUNG	4' - 0"	4' - 0"	3' - 0"
002	SINGLE HUNG	4' - 0"	4' - 0"	3' - 0"
003	FIXED	2' - 6"	5' - 0"	2' - 0"
004	SINGLE HUNG	4' - 0"	4' - 0"	3' - 0"
005	SINGLE HUNG	4' - 0"	4' - 0"	3' - 0"
006	SINGLE HUNG	4' - 0"	4' - 0"	3' - 0"
MAIN FLOOR				
101	FIXED	5' - 0"	6' - 0"	1' - 0"
102	FIXED	4' - 0"	6' - 0"	1' - 0"
103	SINGLE HUNG	3' - 0"	2' - 0"	5' - 0"
104	SINGLE HUNG	3' - 0"	4' - 0"	3' - 0"
105	SINGLE HUNG	3' - 0"	4' - 0"	3' - 0"
106	SINGLE HUNG	3' - 0"	4' - 0"	3' - 0"
107	SINGLE HUNG	4' - 0"	4' - 0"	2' - 8"
108	SINGLE HUNG	4' - 0"	4' - 0"	2' - 8"

WINDOW SCHEDULE - PROPOSED INFILL				
Mark	Panels	Width	Height	Sill Height
109	SINGLE HUNG	4' - 0"	4' - 0"	2' - 8"
110	SINGLE HUNG	4' - 0"	4' - 0"	2' - 8"
111	SINGLE HUNG	3' - 0"	2' - 0"	5' - 0"
UPPER FLOOR				
201	SINGLE HUNG	2' - 0"	4' - 0"	3' - 0"
202	SINGLE HUNG	2' - 0"	4' - 0"	3' - 0"
203	SINGLE HUNG	3' - 0"	4' - 0"	3' - 0"
204	SINGLE HUNG	4' - 0"	4' - 0"	3' - 0"
205	SINGLE HUNG	3' - 0"	3' - 0"	4' - 10"
206	SINGLE HUNG	3' - 0"	3' - 0"	4' - 10"
207	SINGLE HUNG	3' - 0"	3' - 0"	4' - 10"
208	SINGLE HUNG	3' - 0"	3' - 0"	4' - 10"
209	SINGLE HUNG	4' - 0"	4' - 0"	3' - 0"
210	SINGLE HUNG	3' - 0"	4' - 0"	3' - 0"

REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-23

364 E 14TH STREET	
DUPLEX INFILL	
WINDOW & DOOR SCHEDULES	
PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
DRAWN BY	TJ
CHECKED BY	RB
A4.03	
SCALE	1/4" = 1'-0"

REVISIONS:
1 WINDOW/DOOR SCHEDULE & ELEVATIONS UPDATED AS PER LAYOUT CHANGES