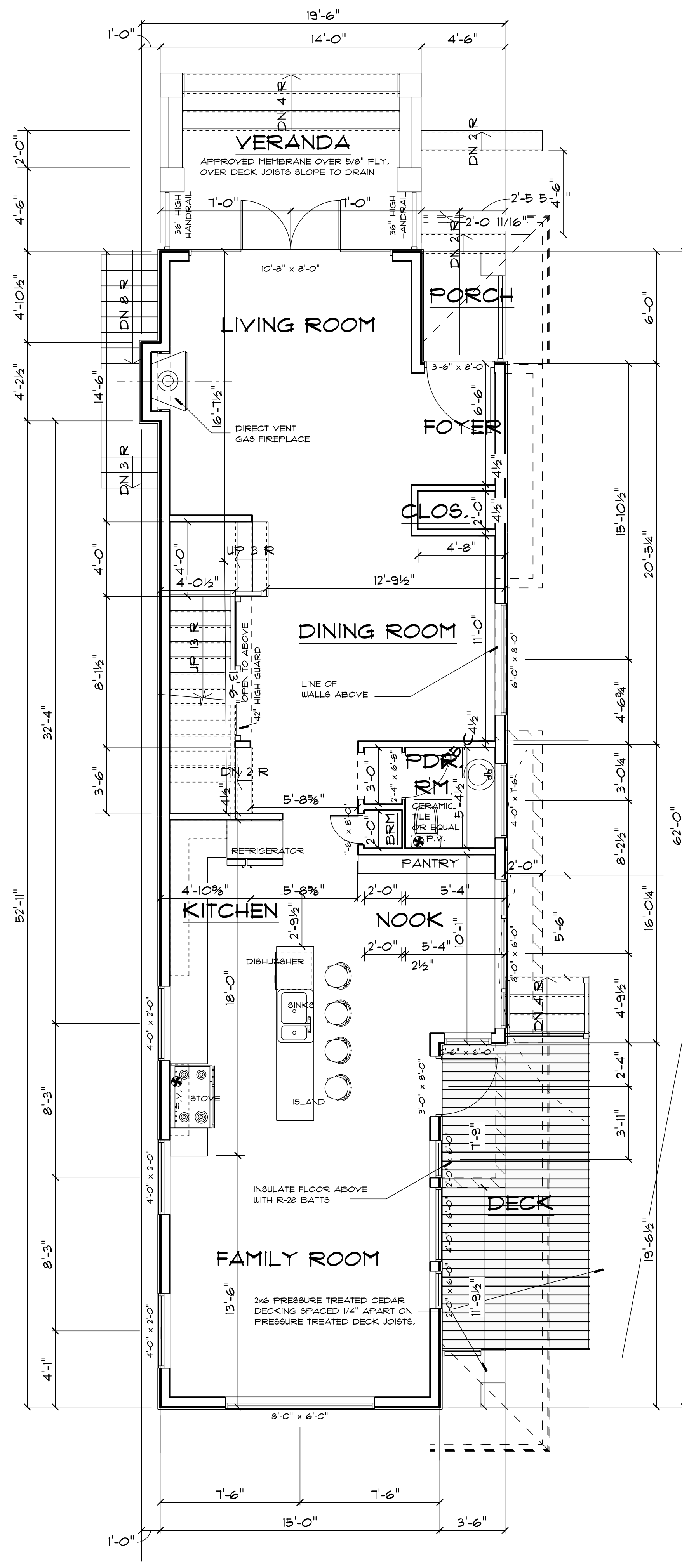
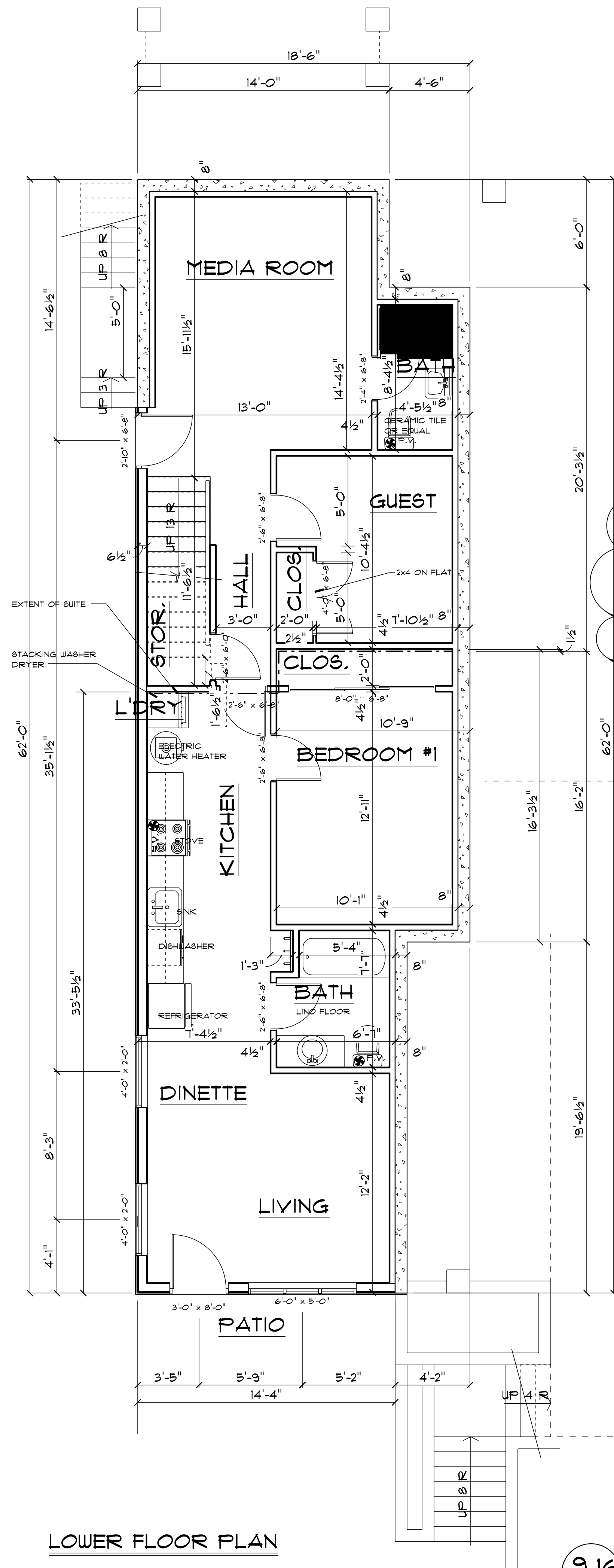


UPPER FLOOR PLAN



MAIN FLOOR PLAN

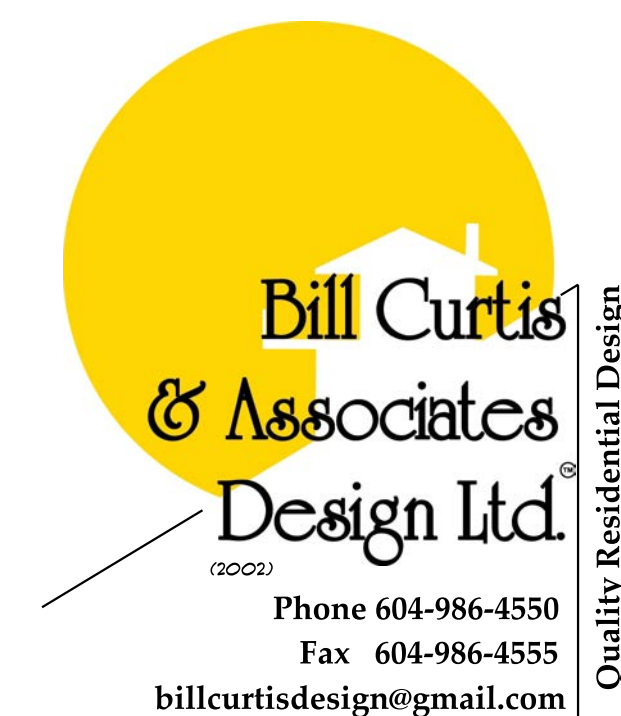


LOWER FLOOR PLAN

- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
- 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
- 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
- 1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FOR REDUCED BICYCLE & GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE & GARBAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2" TO CONFORM WITH FOR ALLOWED

REVISIONS

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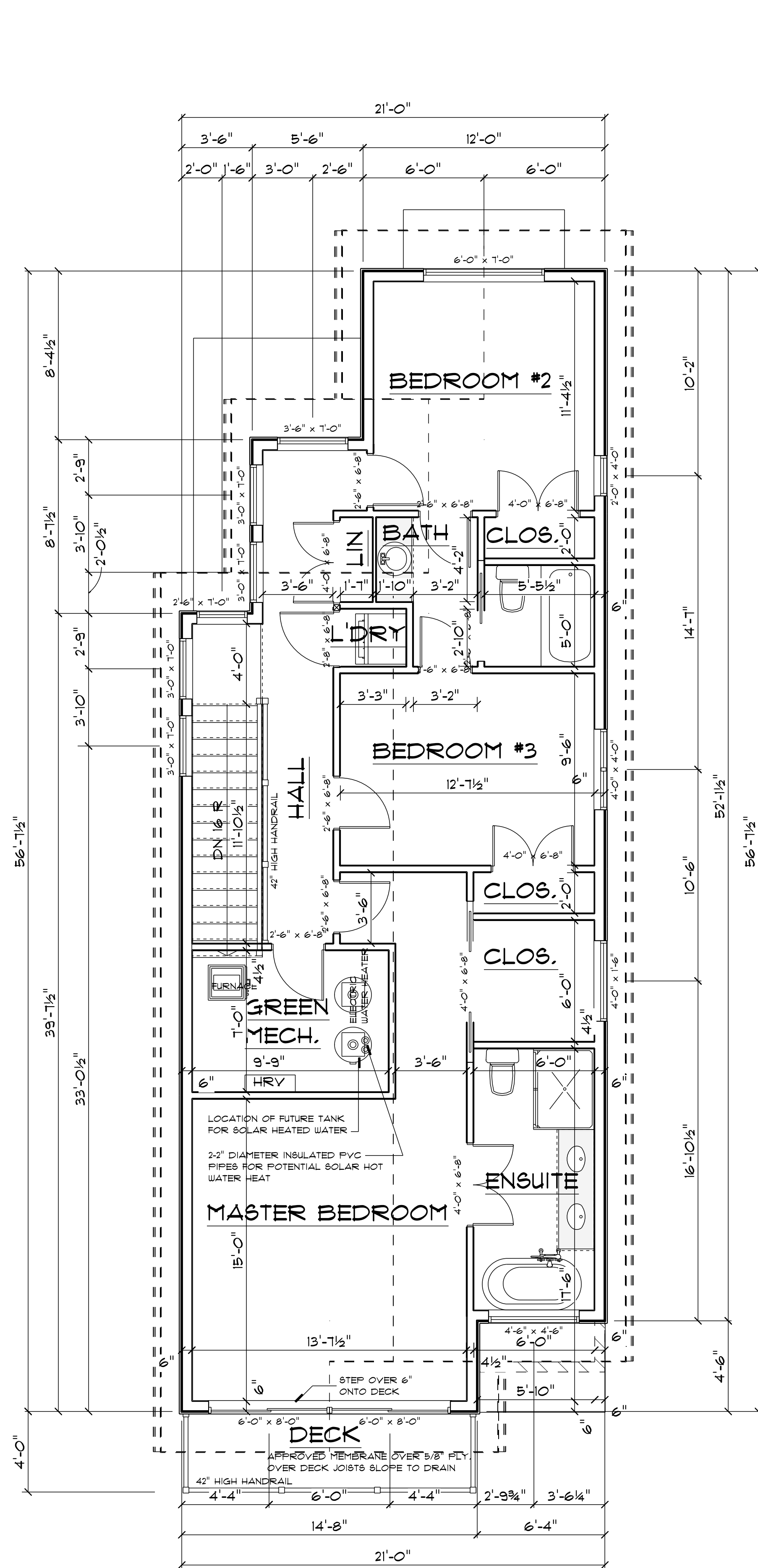


Harbourfront Business Centre  
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**EAST LOT**

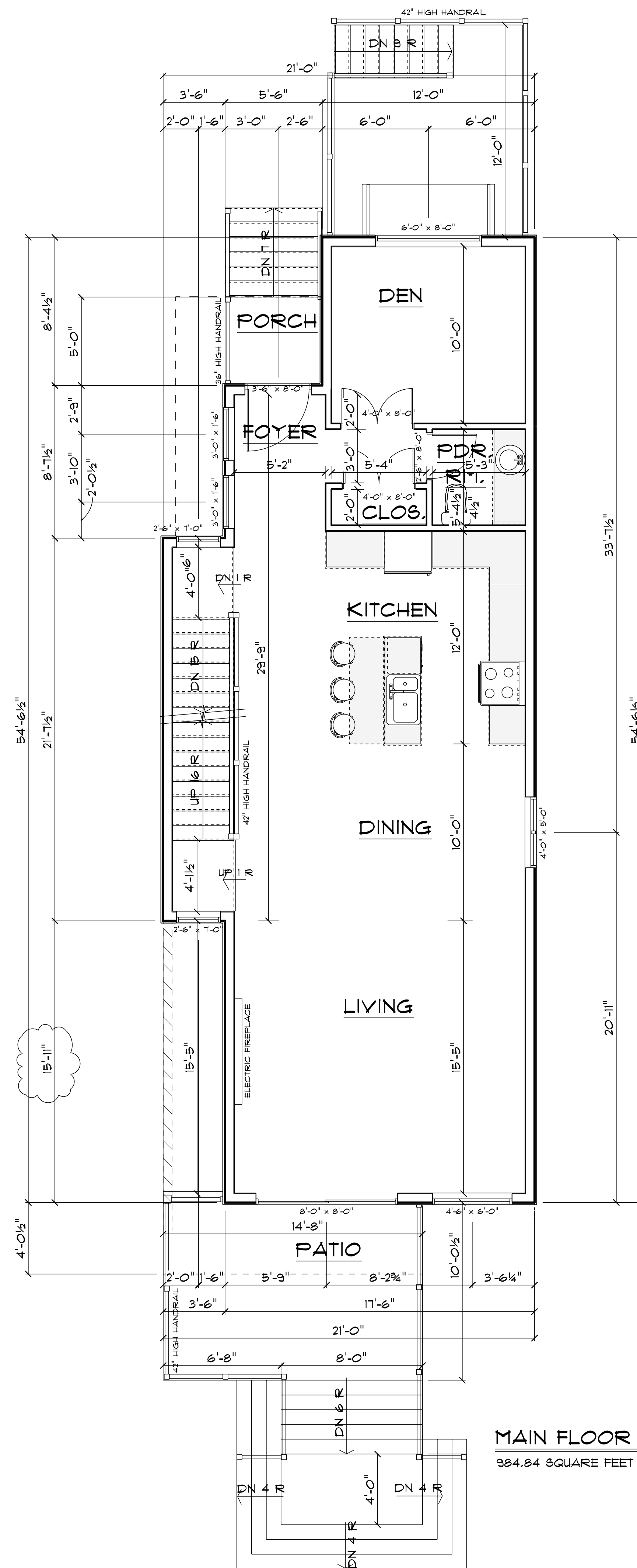
Drawing: FLOOR PLANS  
 Drawn By: B.C. Date: FEB. 2023  
 Scale: 1/4" = 1'-0"

Project: GOLDEN DREAM HOMES REZONING OF 365 EAST 22ND STREET NORTH VANCOUVER

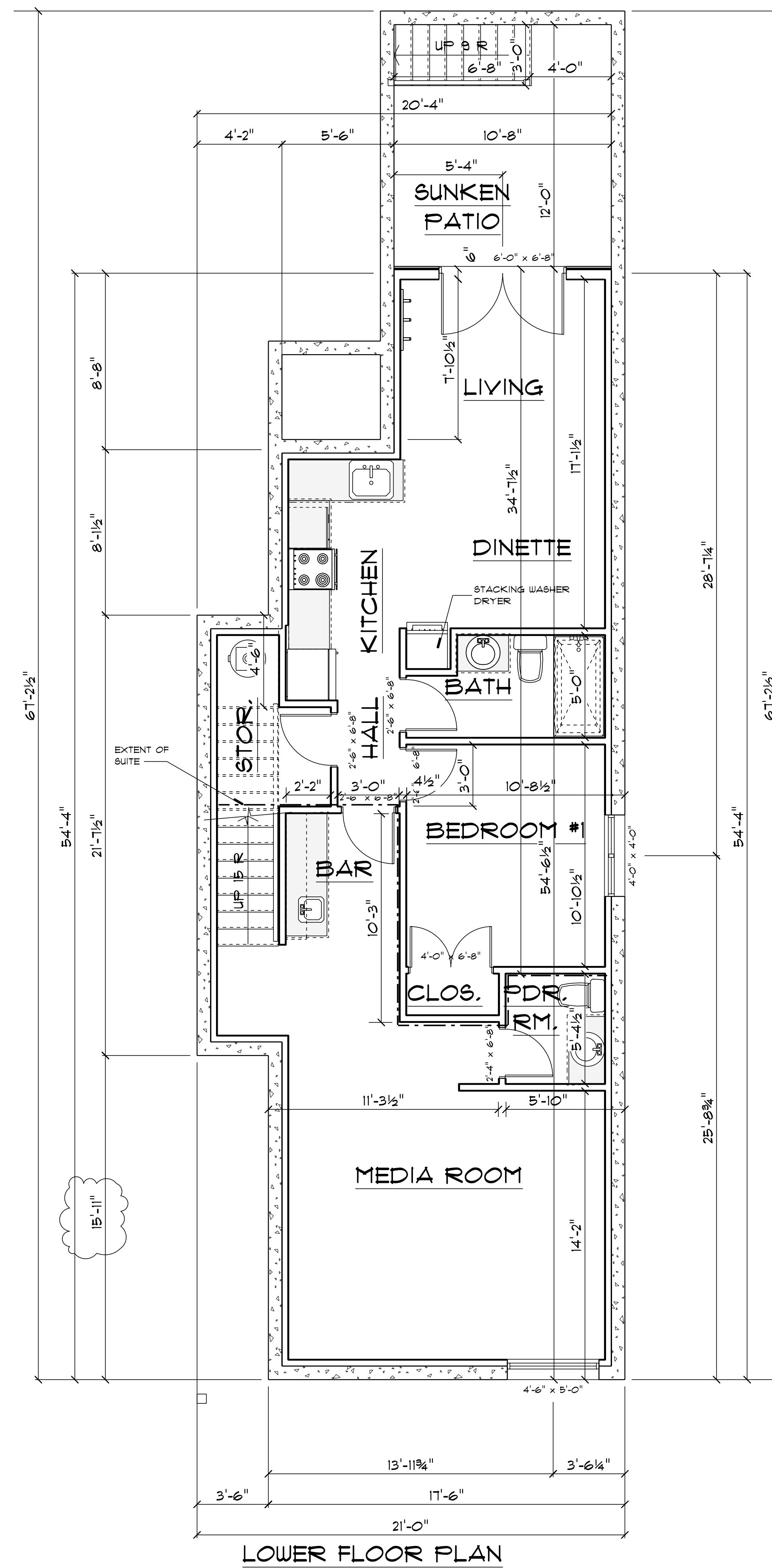




UPPER FLOOR PLAN



MAIN FLOOR PLAN  
984.84 SQUARE FEET



LOWER FLOOR PLAN

- REVISIONS
- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
  - 1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FOR REDUCED FSR ALLOWED BICYCLE & GARAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE & GARAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2" TO CONFORM WITH FSR ALLOWED

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 Fax 604-986-4555  
 billcurtisdesign@gmail.com

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 Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**WEST LOT**  
 Drawing **FLOOR PLANS**  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0"  
 Project **GOLDEN DREAM HOMES REZONING**  
**OF 365 East 22nd STREET**  
**NORTH VANCOUVER**



# EAST 22ND STREET AVENUE

LEGAL DESCRIPTION:  
 LOT H BLOCK 209 DISTRICT LOT 546  
 GROUP 1 NWD PLAN 9912  
 PID: 010-221-319

**WEST LOT SITE DEVELOPMENT DATA**

EXISTING ZONE: R61  
 PROPOSED ZONING: R52

LOT AREA: 3,917.5 SQUARE FEET

SITE COVERAGE:

PERMITTED: 1,175.25 SQUARE FEET (30%)  
 PROPOSED: 1,175 SQUARE FEET (30%)

FLOOR SPACE RATIO:

PERMITTED: 1,958.75 SQUARE FEET (50%)  
 PROPOSED: 1,957.88 SQUARE FEET (50%)

GARAGE:  
 AREA ALLOWED: 6 SQUARE FEET  
 AREA PROPOSED: 6 SQUARE FEET

PARKING:  
 REQUIRED: 2 STALLS  
 PROVIDED: 2 STALLS

ELEVATIONS:

ROOF RIDGE	454.2'
TOP OF UPPER FL. WALL	441.81'
UPPER FLOOR	438.79'
MAIN FLOOR	427.79'
LOWER FLOOR	418.71'
REFERENCE GRADE	421.61'

GARAGE:

ROOF RIDGE	429.8'
TOP OF WALL	425.15'
TOP OF SLAB	416.65'
TOP OF SLAB	415.95'
AVERAGE LANE EL.	417.8'

**EAST LOT SITE DEVELOPMENT DATA**

EXISTING ZONE: R61  
 PROPOSED ZONING: R52

LOT AREA: 4,348.5 SQUARE FEET

SITE COVERAGE:

PERMITTED: 1,304.55 SQUARE FEET (30%)  
 PROPOSED: 1,303.2 SQUARE FEET (30%)

FLOOR SPACE RATIO:

PERMITTED: 2,174.25 SQUARE FEET (50%)  
 PROPOSED: 2,167.49 SQUARE FEET (50%)

GARAGE:  
 AREA ALLOWED: 434.8 SQUARE FEET  
 AREA PROPOSED: 0 SQUARE FEET

PARKING:  
 REQUIRED: 2 STALLS  
 PROVIDED: 2 STALLS

ELEVATIONS:

ROOF RIDGE	457.84'
TOP OF UPPER FL. WALL	451.88'
UPPER FLOOR	442.8'
MAIN FLOOR	431.8'
LOWER FLOOR	422.72'
REFERENCE GRADE	425.68'

GARAGE:

ROOF RIDGE	
TOP OF WALL	
TOP OF SLAB	
AVERAGE LANE EL.	423.55'

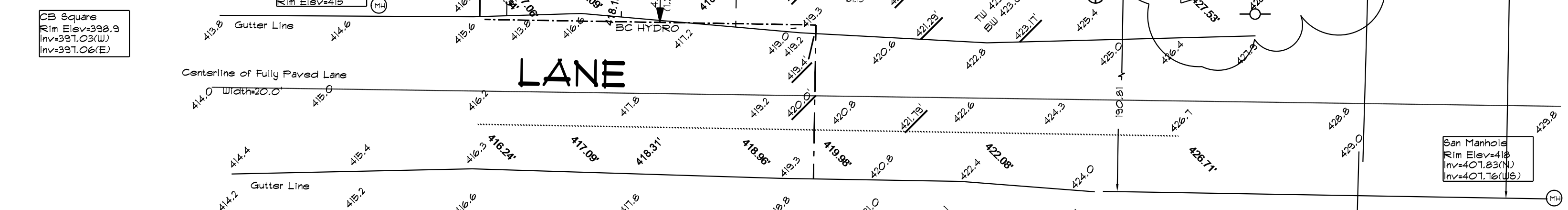
CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND

THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS, AND ENVIRONMENT AT 604-983-1333 PRIOR TO POURING ANY SLABS ASSOCIATED WITH VEHICLE OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTOR'S SURVEYOR MUST PROVIDE THE CITY WITH AS BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE FORMING STAGE.

ALL WARPING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

BLACKTOP TO PROPERTY LINE AT DEVELOPER'S COST AND TO CITY OF NORTH VANCOUVER ENGINEERING STANDARDS

CB Square  
 Rim Elev: 439.9  
 Inv: 439.3 (U)  
 Inv: 439.1 (E)



REFER TO CIVIL DRAWINGS FOR DETAILED GRADING INFORMATION

- Legend:**
- Tree (diameter in mm, measured at 1.3m above ground and species)
  - Manhole
  - Water Valve
  - Water Meter
  - Traffic Sign
  - Catch Basin
  - Fire Hydrant
  - Power Pole
  - Guy Wire
  - Inspection Chamber
  - Interpolated Grade
  - Finished Grade
  - TOP & BOTTOM OF RETAINING WALL

**Benchmark Notes:**  
 Elevations Are Geodetic (CVD28GVRD2018)  
 Referred To Monument T3H1034  
 Monument Elevation: 437.471(33.340m)

Parcel dimensions and grid bearing are derived from observation between geodetic control monuments T3H1034 and B7H3666. Lot dimensions are based on field survey.

Amray Land Surveying Ltd. 2022  
 #201-5010 Smith Avenue, Burnaby, BC, V5G 2W5  
 Tel: (604)620-5293  
 Email Address: raymond@amraysurveying.com

File No. NV2800-TOPO  
 All distances and elevation are in feet and decimals thereof unless otherwise stated.

- REVISIONS**
- 4-JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3-NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2-NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
  - 1-SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FOR REDUCED BICYCLE & GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STOR'GE ACCESS REVISED WEST LOT BIKE & GARBAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2' TO CONFORM WITH FSR ALLOWED

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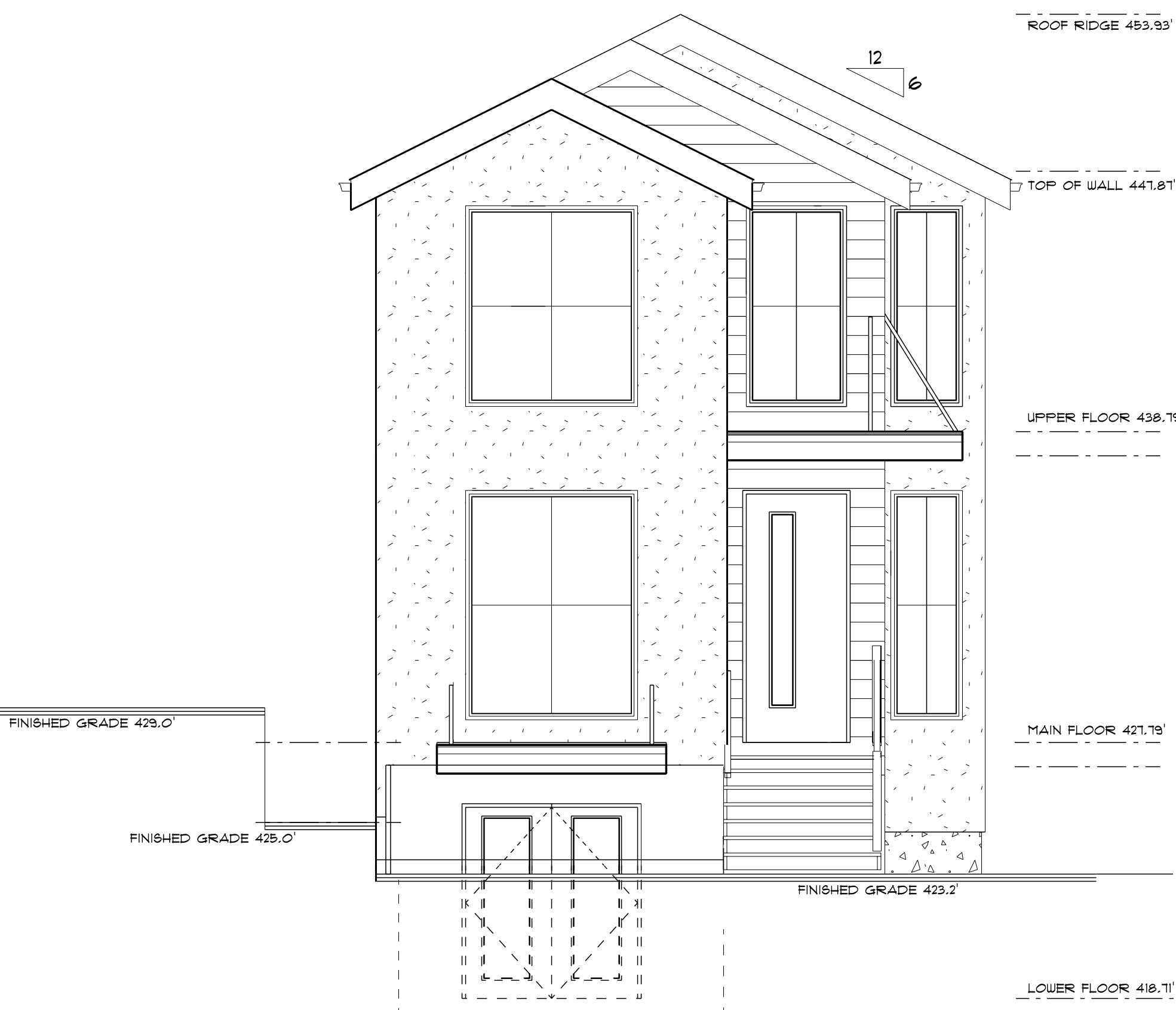
Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

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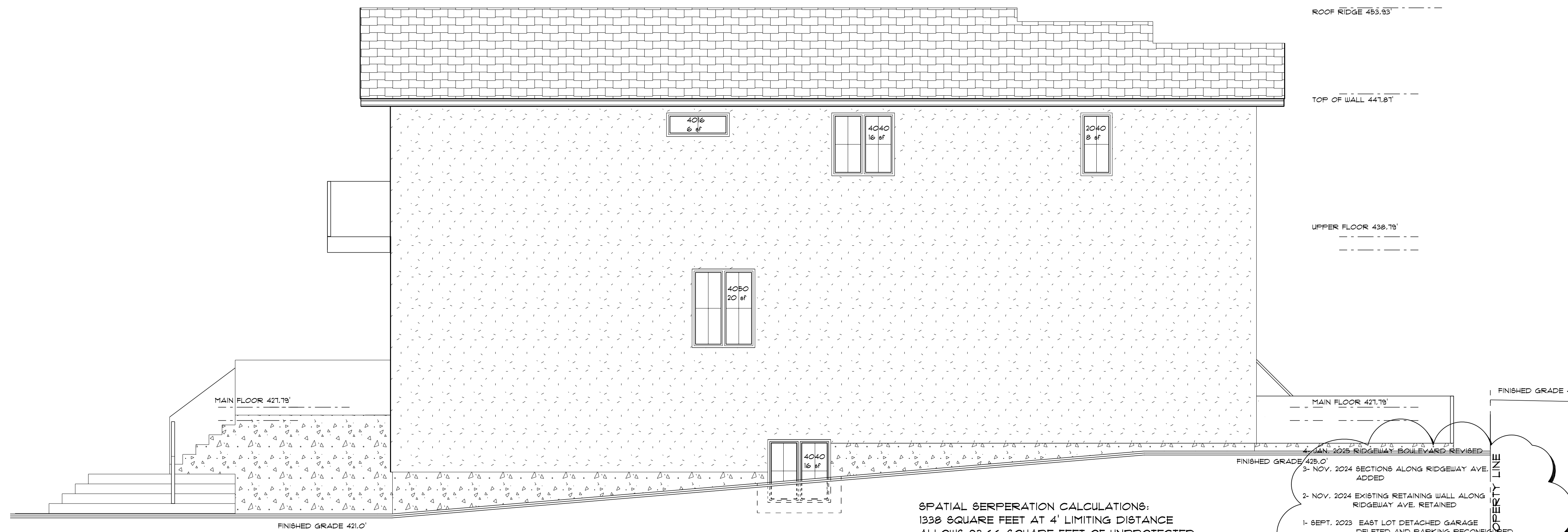
**SITE PLAN**

Drawing  
 Drawn By B.C. Date FEB. 2023  
 Scale  
 Project  
**GOLDEN DREAM HOMES REZONING**  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER





**NORTH ELEVATION**



**EAST ELEVATION**

SPATIAL SEPERATION CALCULATIONS:  
 1338 SQUARE FEET AT 4' LIMITING DISTANCE  
 ALLOWS 93.66 SQUARE FEET OF UNPROTECTED  
 OPENING AT 7% OF WALL AREA  
 66.0 SQUARE FEET PROPOSED

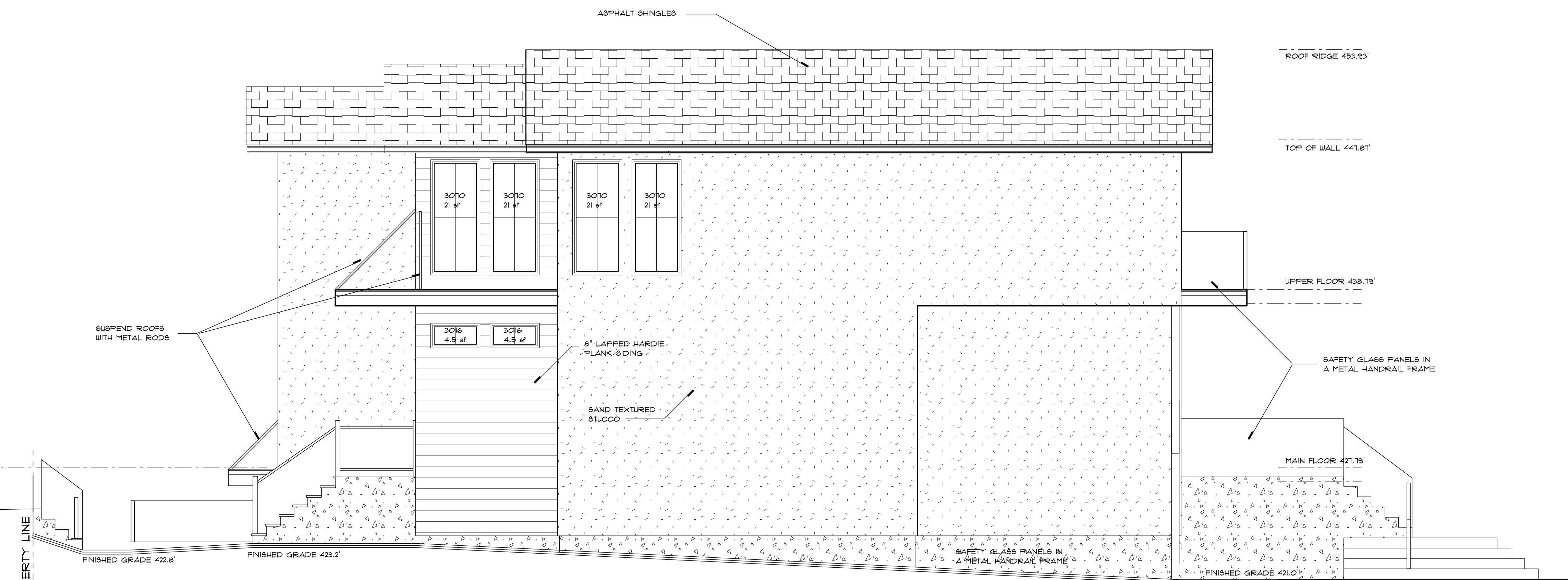
REVISIONS

1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED LOWER FLOOR FOR REDUCED ACCESS REVISED

2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED

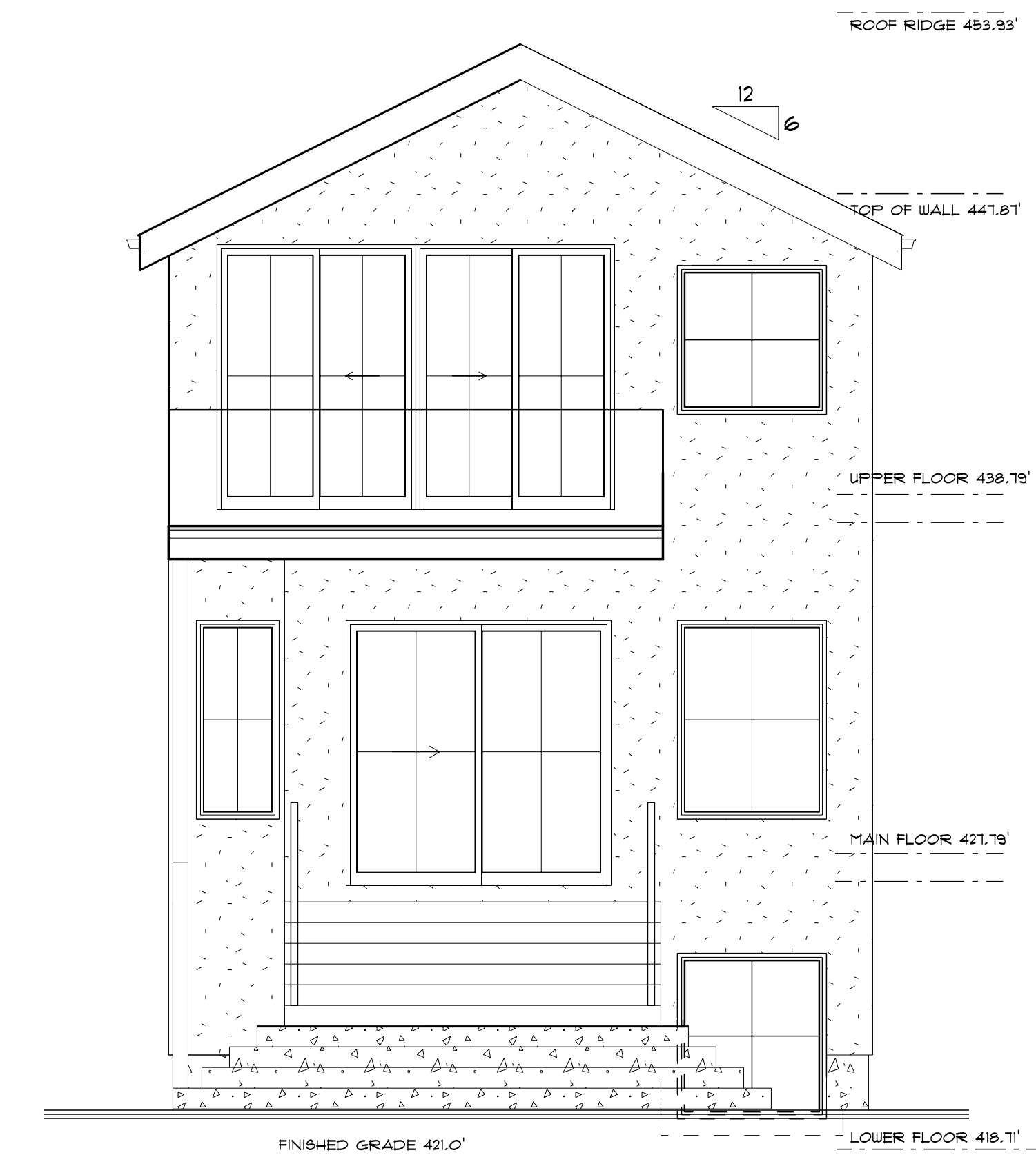
3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED

4- JAN. 2025 RIDGEWAY BOULEVARD REVISED



**WEST ELEVATION**

SPATIAL SEPERATION CALCULATIONS:  
 1338 SQUARE FEET AT 4' LIMITING DISTANCE  
 ALLOWS 93.66 SQUARE FEET OF UNPROTECTED  
 OPENING AT 7% OF WALL AREA  
 93.0 SQUARE FEET PROPOSED



**SOUTH ELEVATION**

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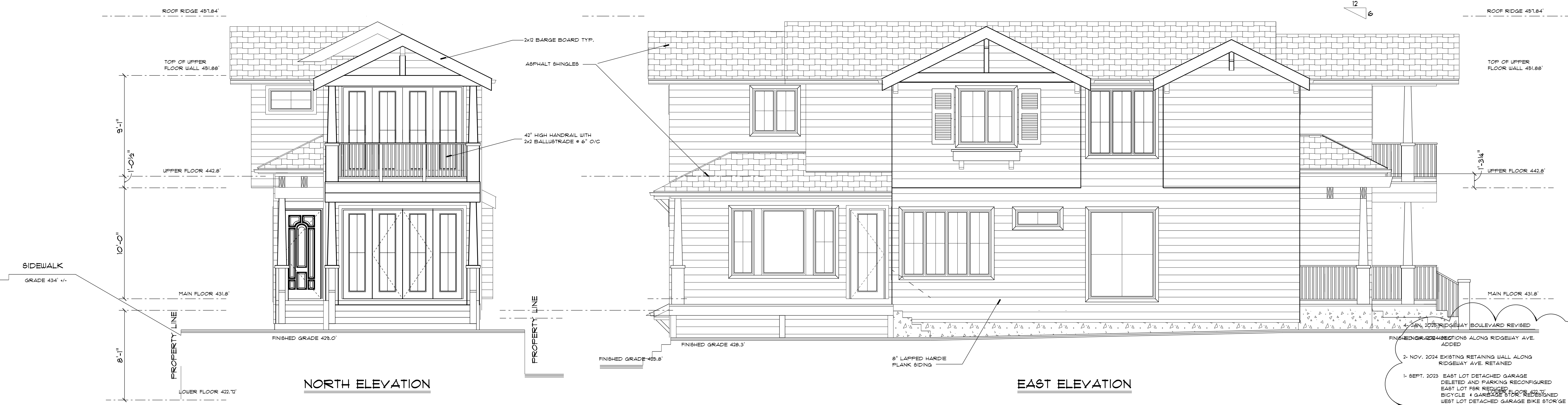
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 Fax 604-986-4555  
 billcurtisdesign@gmail.com

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 North Vancouver, BC V7M 3M6  
**WEST LOT**

Drawing **ELEVATIONS**  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0"

Project  
**GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER**





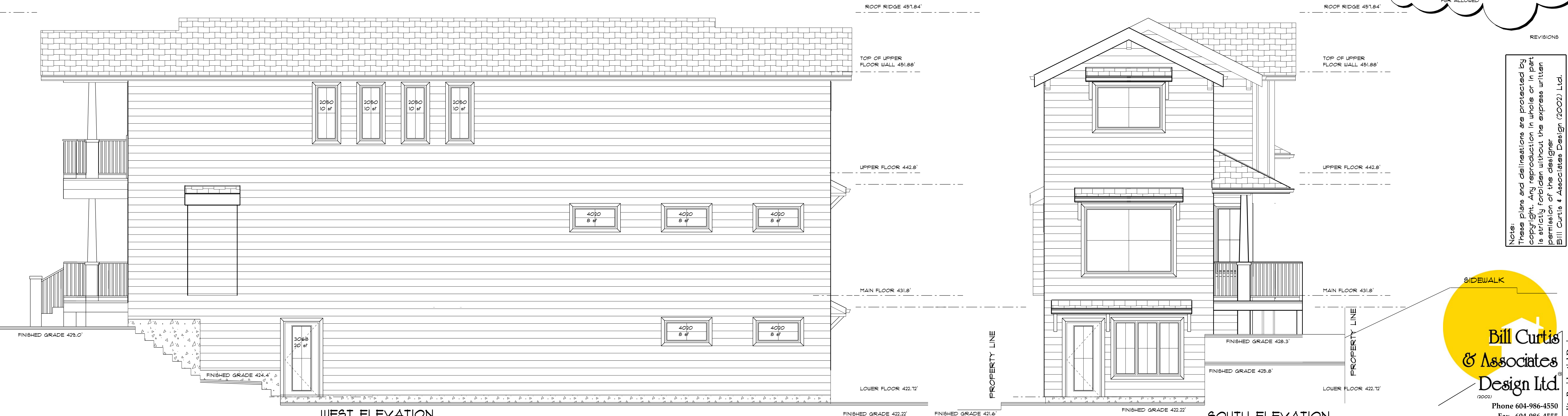
**NORTH ELEVATION**

**EAST ELEVATION**

2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEBAY AVE. RETAINED  
 1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FOR REVISED FLOOR 422.7 BICYCLE & GARAGE STORAGE REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE & GARAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2' TO CONFORM WITH FSR ALLOWED

REVISIONS

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**WEST ELEVATION**

**SOUTH ELEVATION**

SPATIAL SEPERATION CALCULATIONS:  
 1,199.75 SQUARE FEET AT 4' LIMITING DISTANCE  
 ALLOWS 125.98 SQUARE FEET OF UNPROTECTED OPENING AT 1% OF WALL AREA  
 120.0 SQUARE FEET PROPOSED

SIDEWALK  
  
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 (2022)  
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 Fax 604-986-4555  
 billcurtisdesign@gmail.com

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**EAST LOT**  
**ELEVATIONS**  
 Drawing  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0"  
 Project  
 GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER



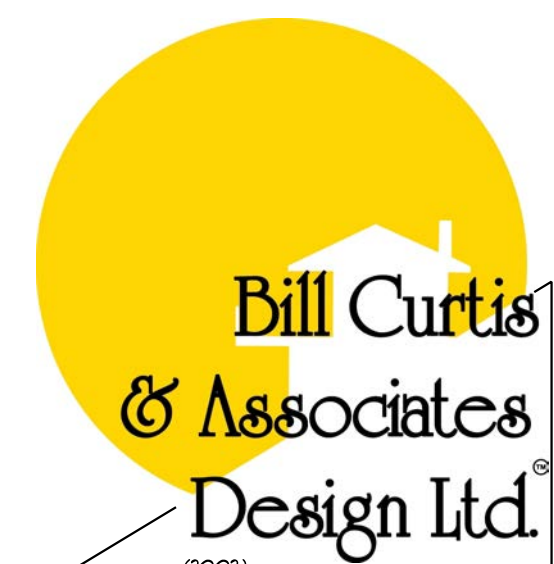


RIDGEWAY AVENUE

- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
- 3- NOV. 2024 SECTION6 ALONG RIDGEWAY AVE. ADDED
- 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
- 1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT F&R REDUCED BICYCLE + GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE + GARBAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2' TO CONFORM WITH F&R ALLOWED

REVISIONS

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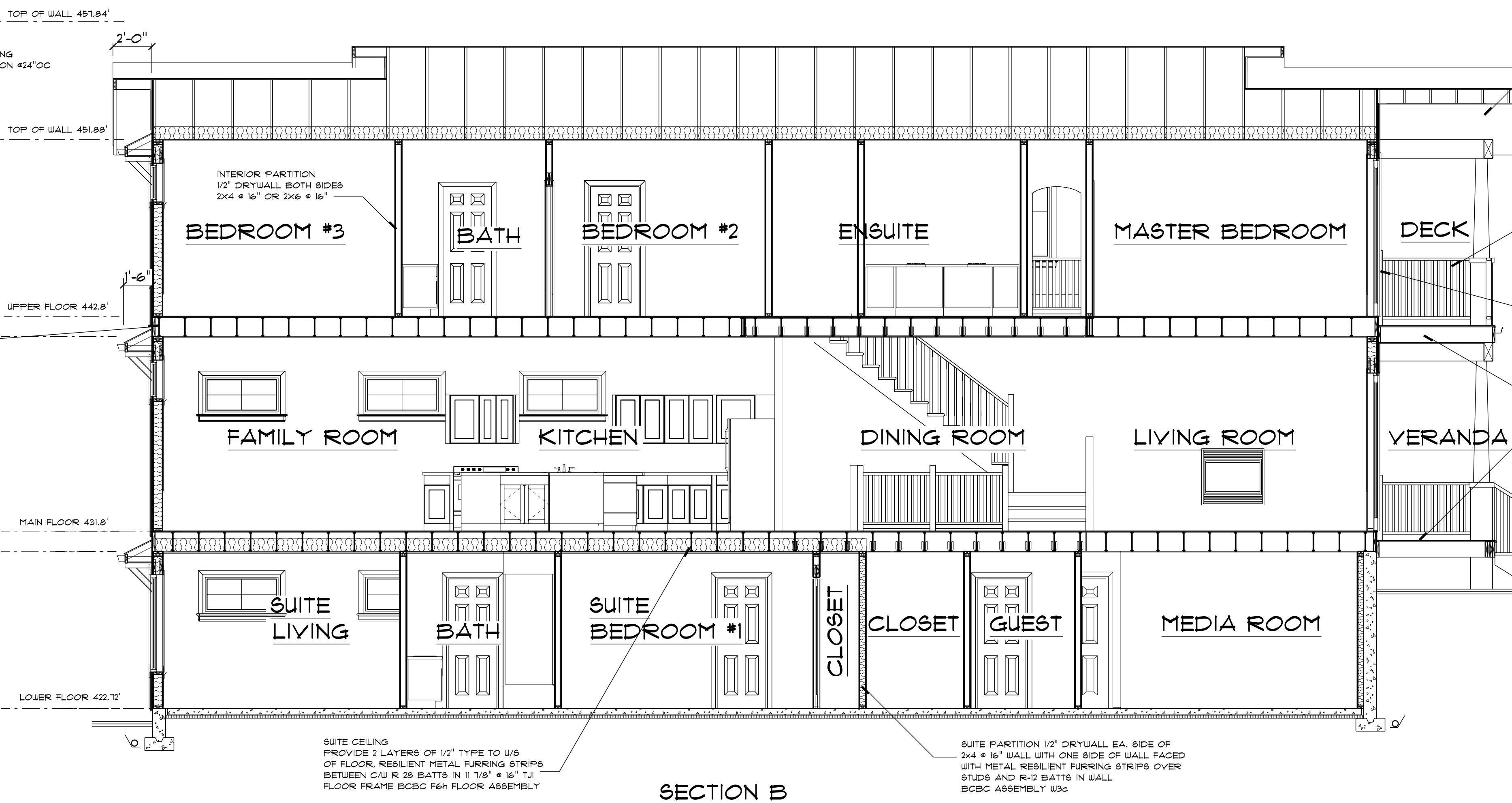
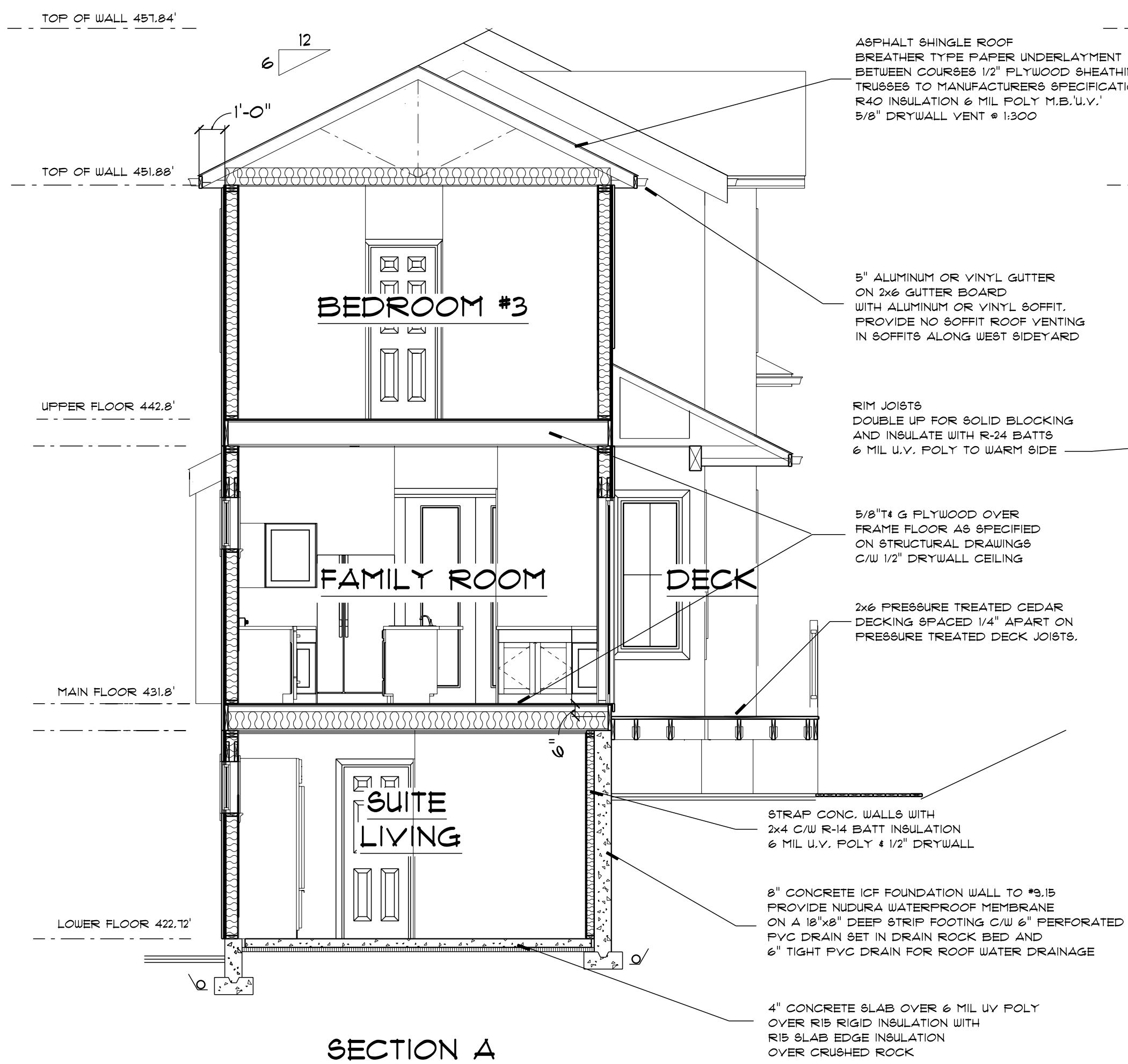
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**STREETSCAPE**

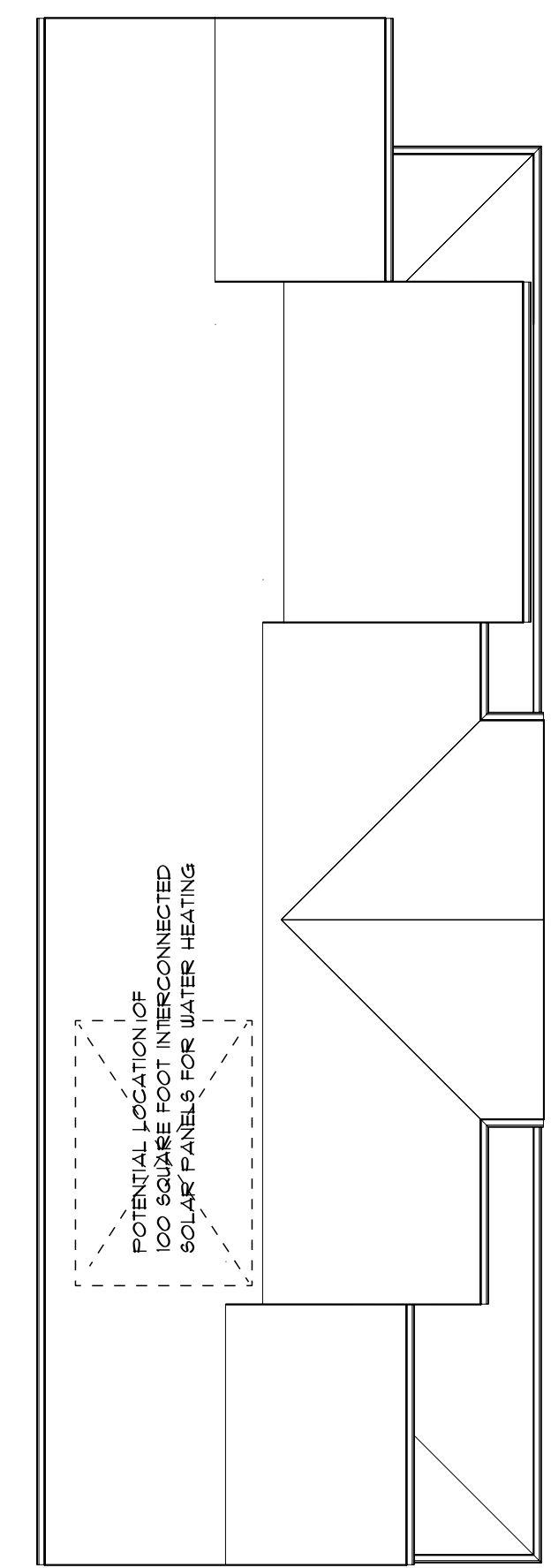
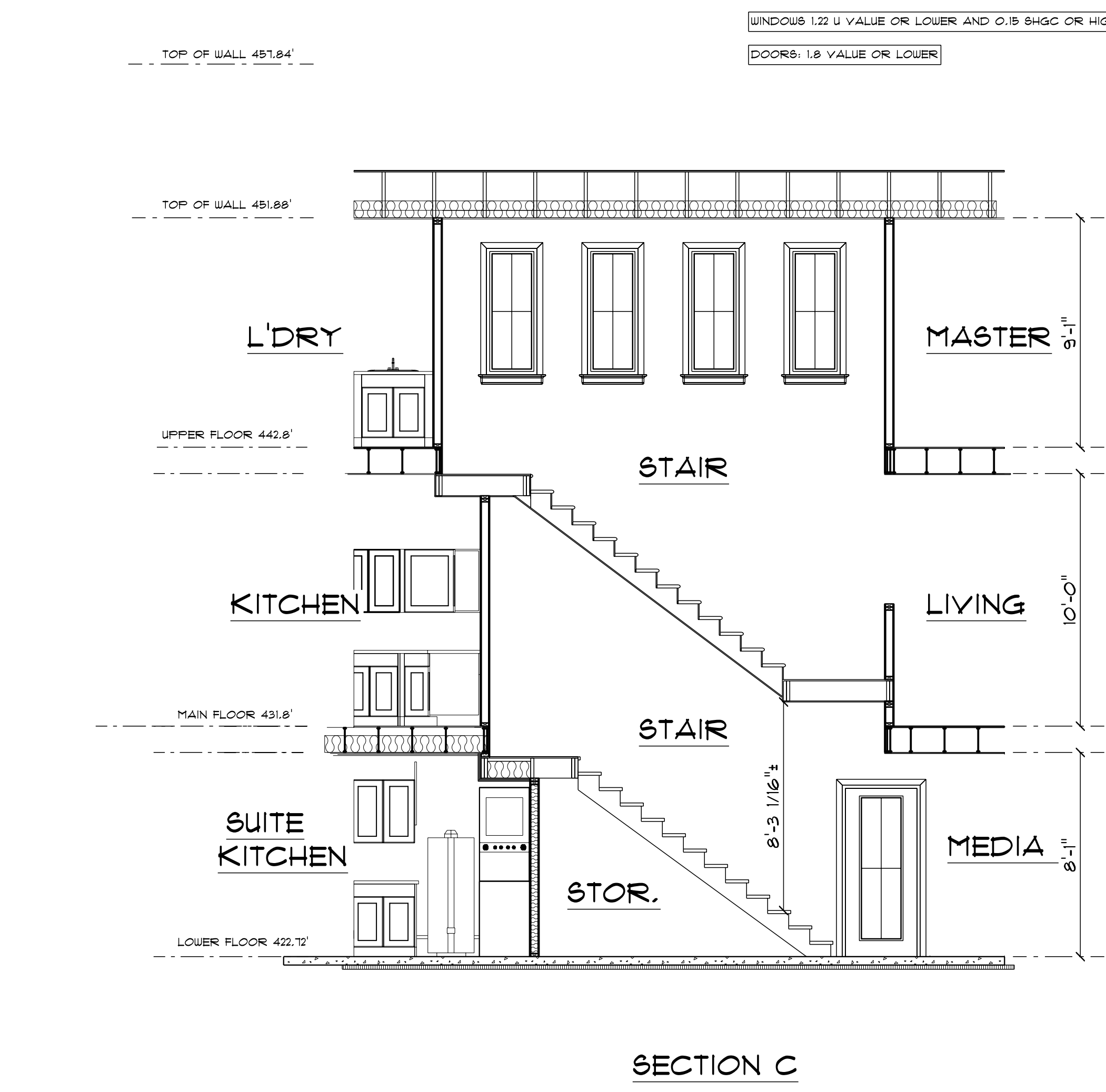
Drawing  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0"

Project  
**GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER**





- REVISIONS
- 1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FBR REDUCED BICYCLE & GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STOR'GE ACCESS REVISED WEST LOT BIKE & GARB'GE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2' TO CONFORM WITH FBR ALLOWED
  - 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED



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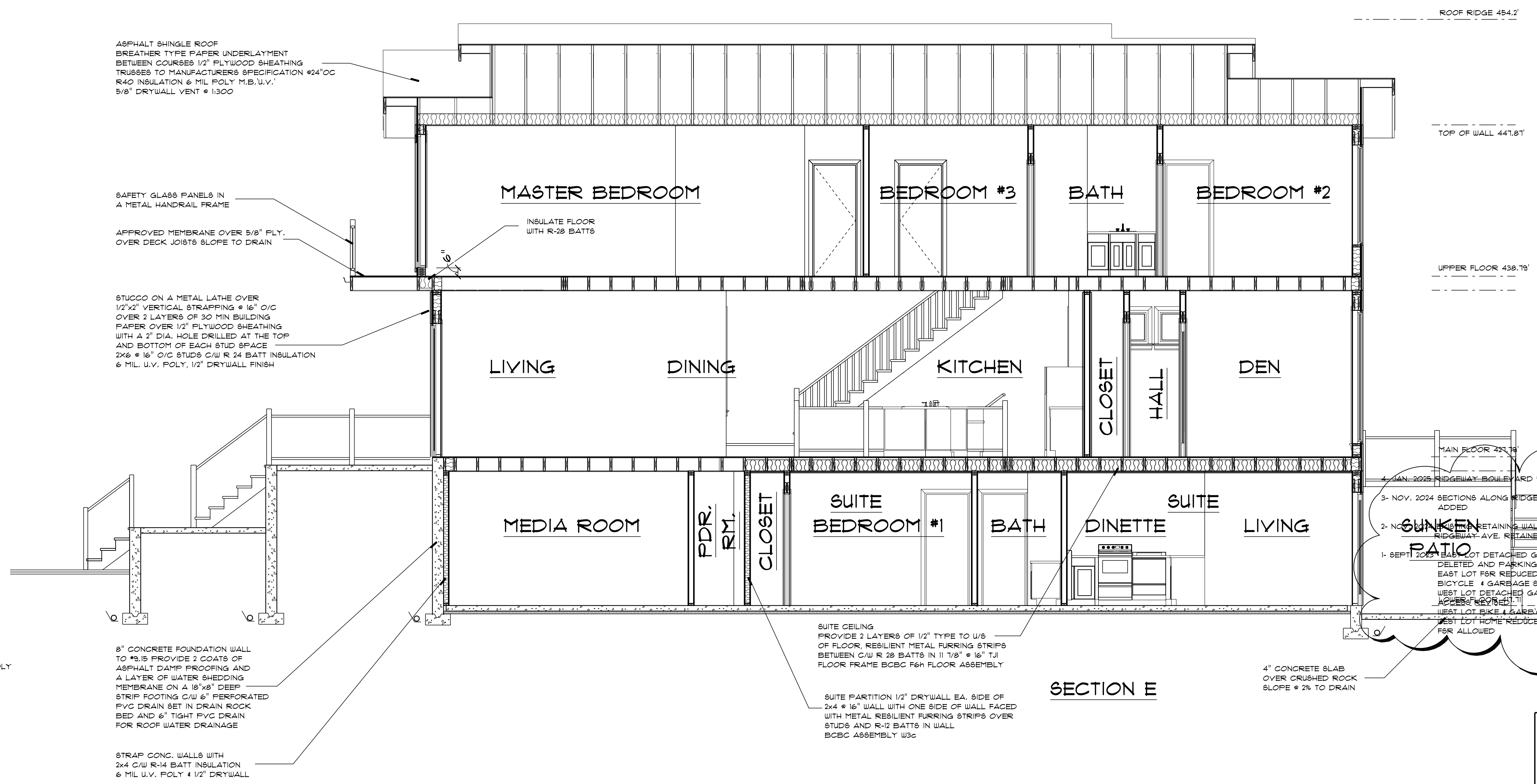
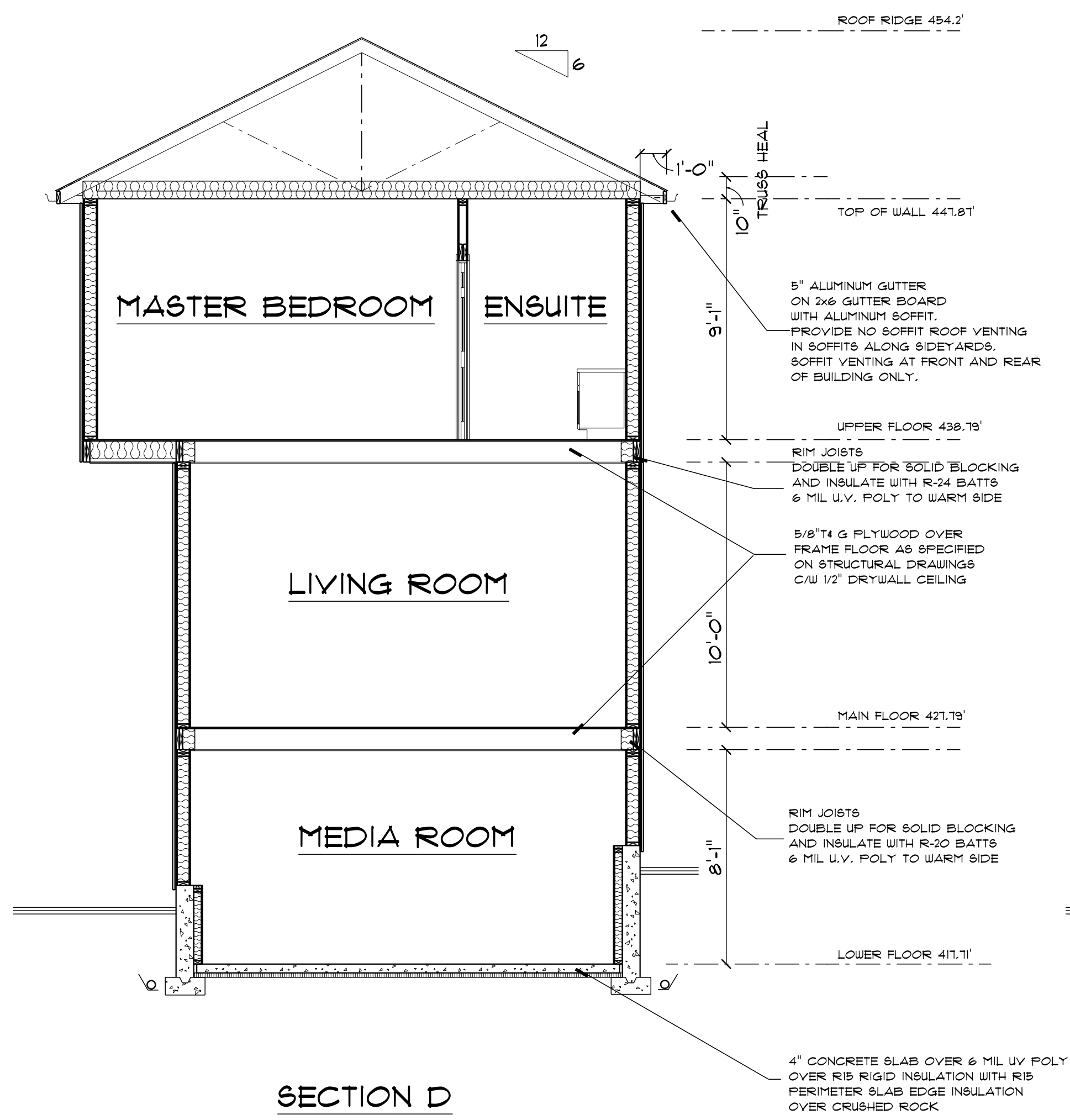
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 Fax 604-986-4555  
 billcurtisdesign@gmail.com

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**EAST LOT**

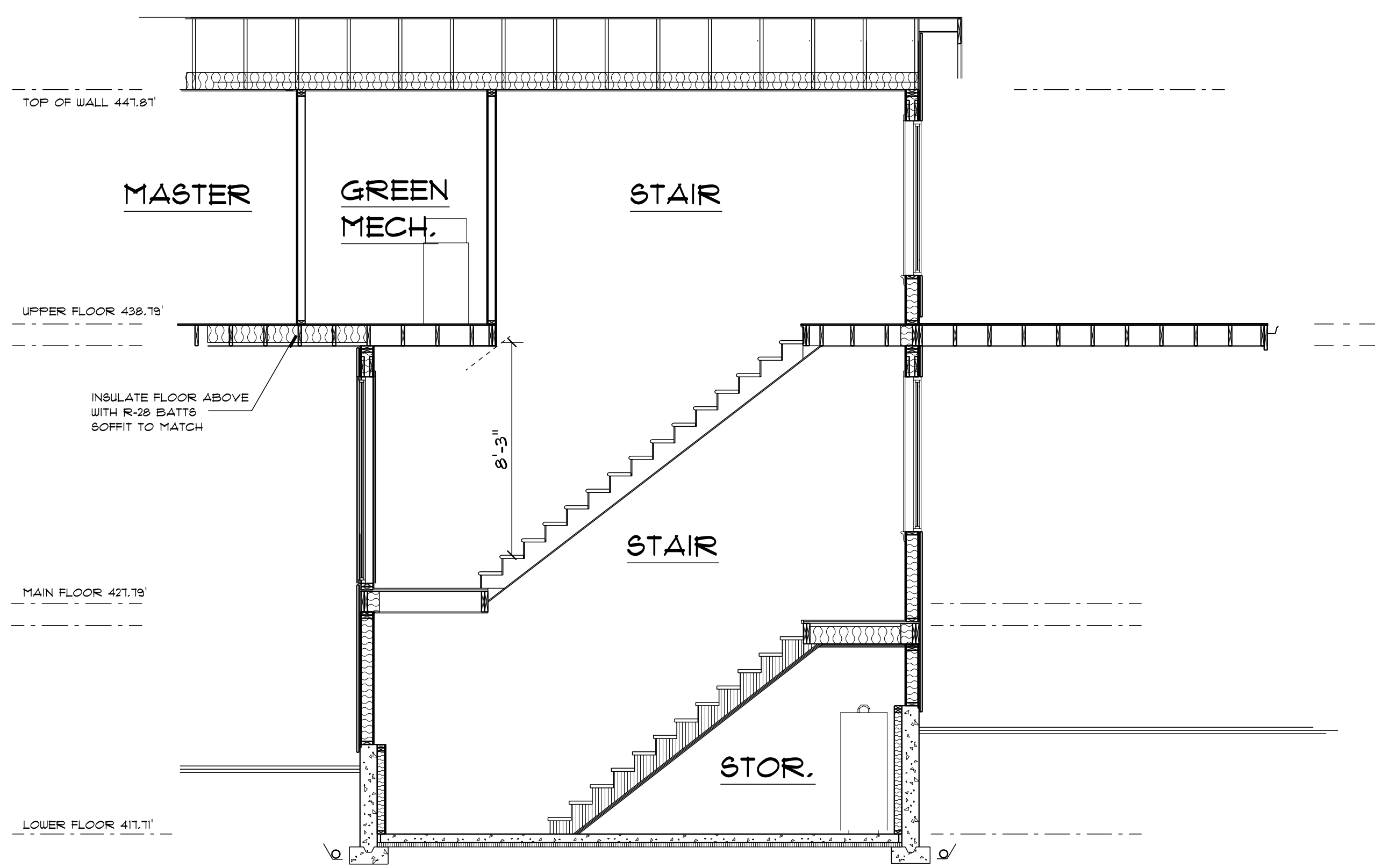
Drawing **SECTIONS**  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0"

Project  
**GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER**



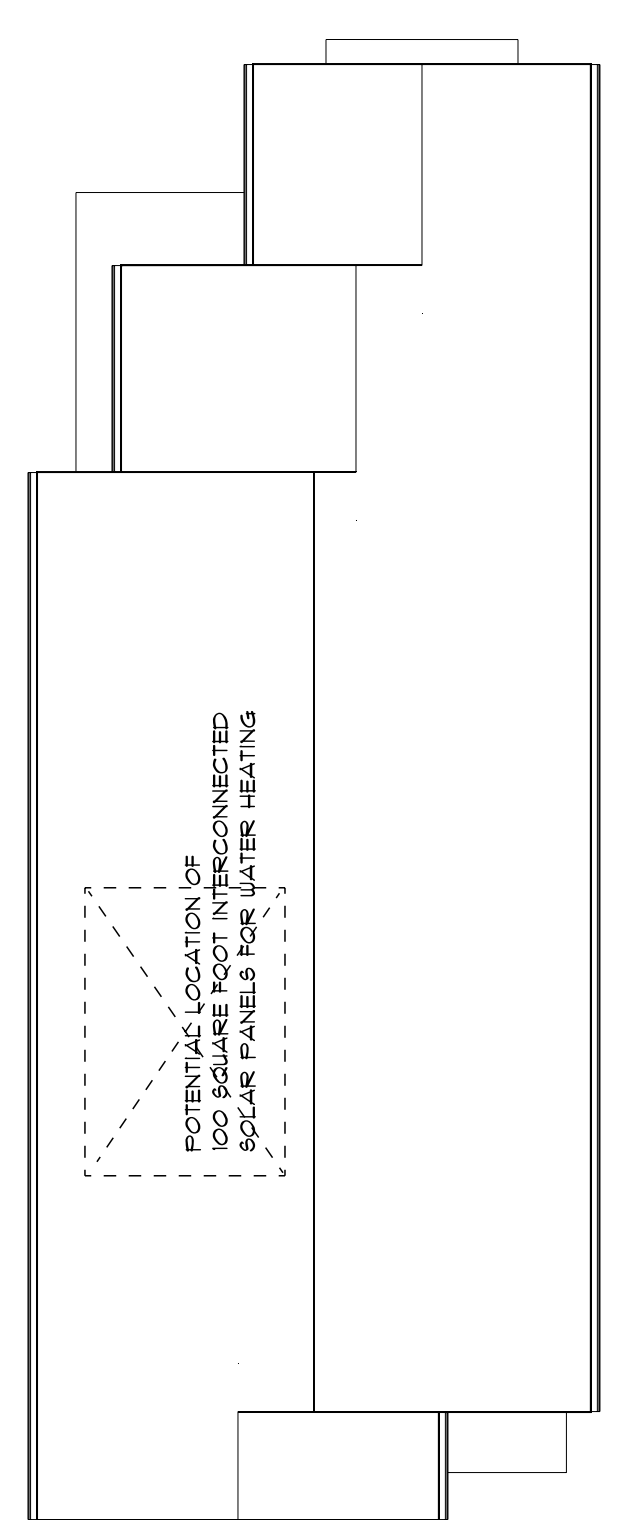


ROOF RIDGE 454.2



SECTION F

WINDOWS: 1.22 U VALUE OR LOWER AND 0.15 SHGC OR HIGHER  
DOORS: 1.8 VALUE OR LOWER



ROOF PLAN  
SCALE: 1/8" = 1'-0"

REVISIONS

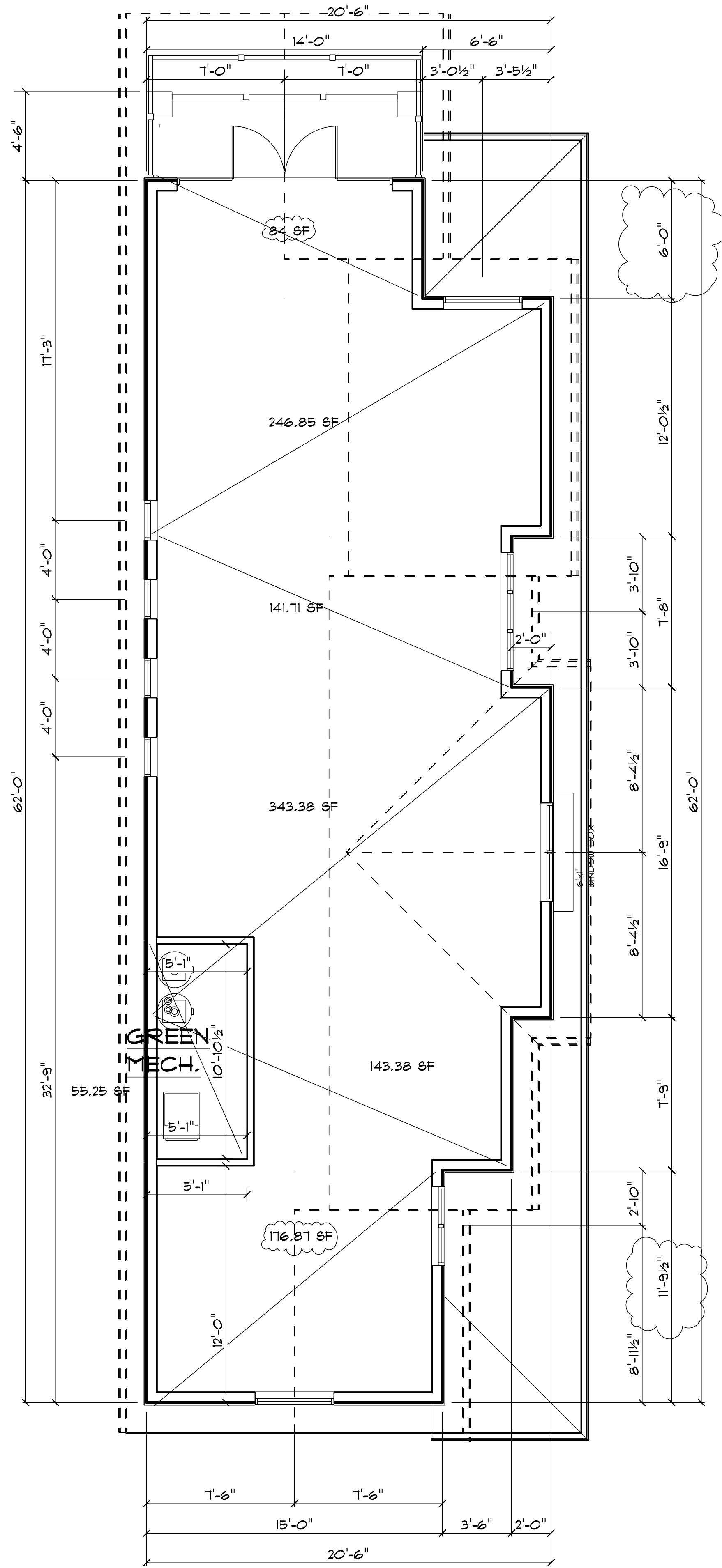
- 1- SEPT 2023: WEST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FOR REDUCED BICYCLE & GARAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE LOCUS REDESIGN
- 2- NOV 2023: WEST LOT BIKE & GARAGE STORAGE ENLARGED WEST LOT HOME REDUCED TO 17% TO CONFORM WITH FRR ALLOWED
- 3- NOV 2024: SECTION 8 ALONG RIDGEWAY AVE ADDED
- 4- JAN 2025: RIDGEWAY BOULEVARD REVISED

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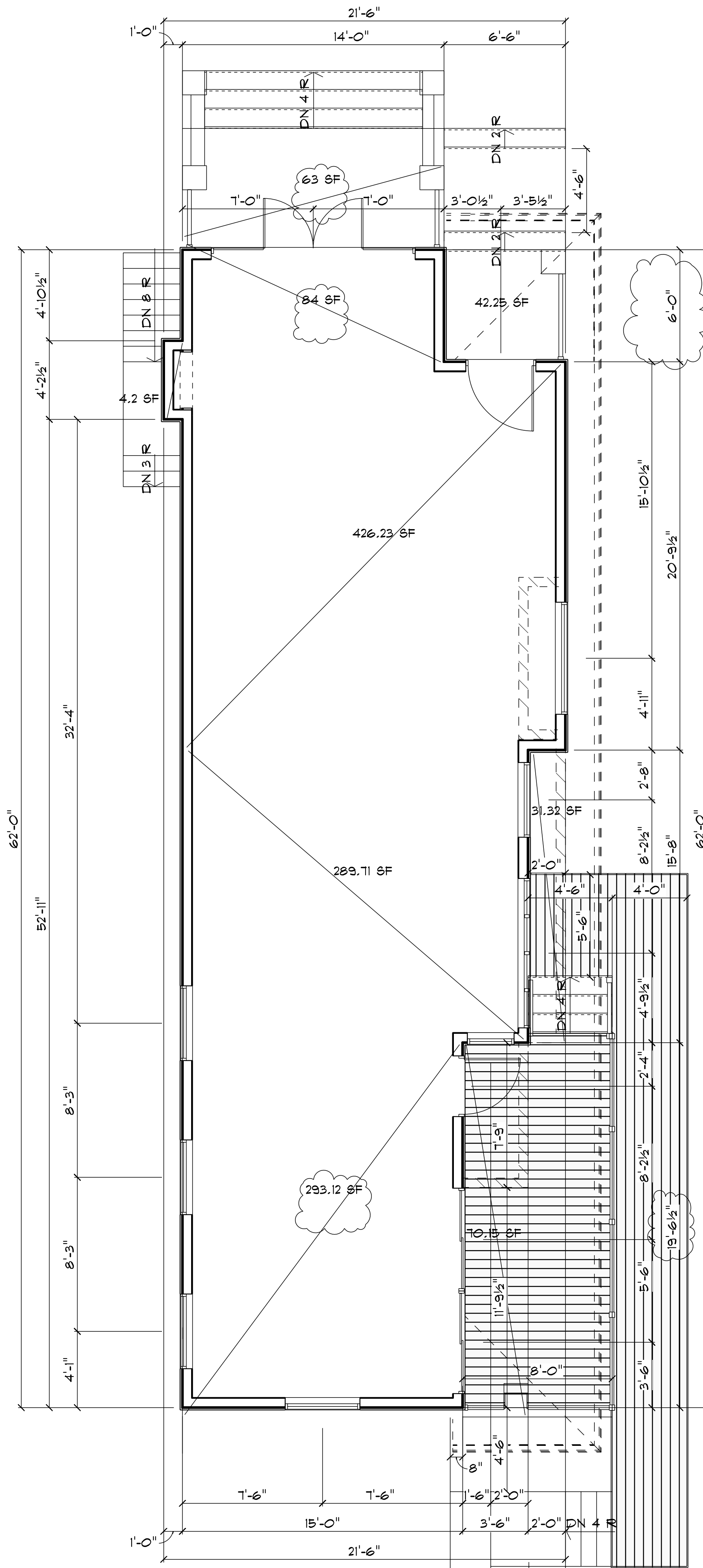
Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6  
**WEST LOT**  
Drawing **SECTIONS**  
Drawn By B.C. Date FEB, 2023  
Scale 1/4" = 1'-0"  
Project **GOLDEN DREAM HOMES REZONING**  
OF 365 East 22nd STREET  
NORTH VANCOUVER





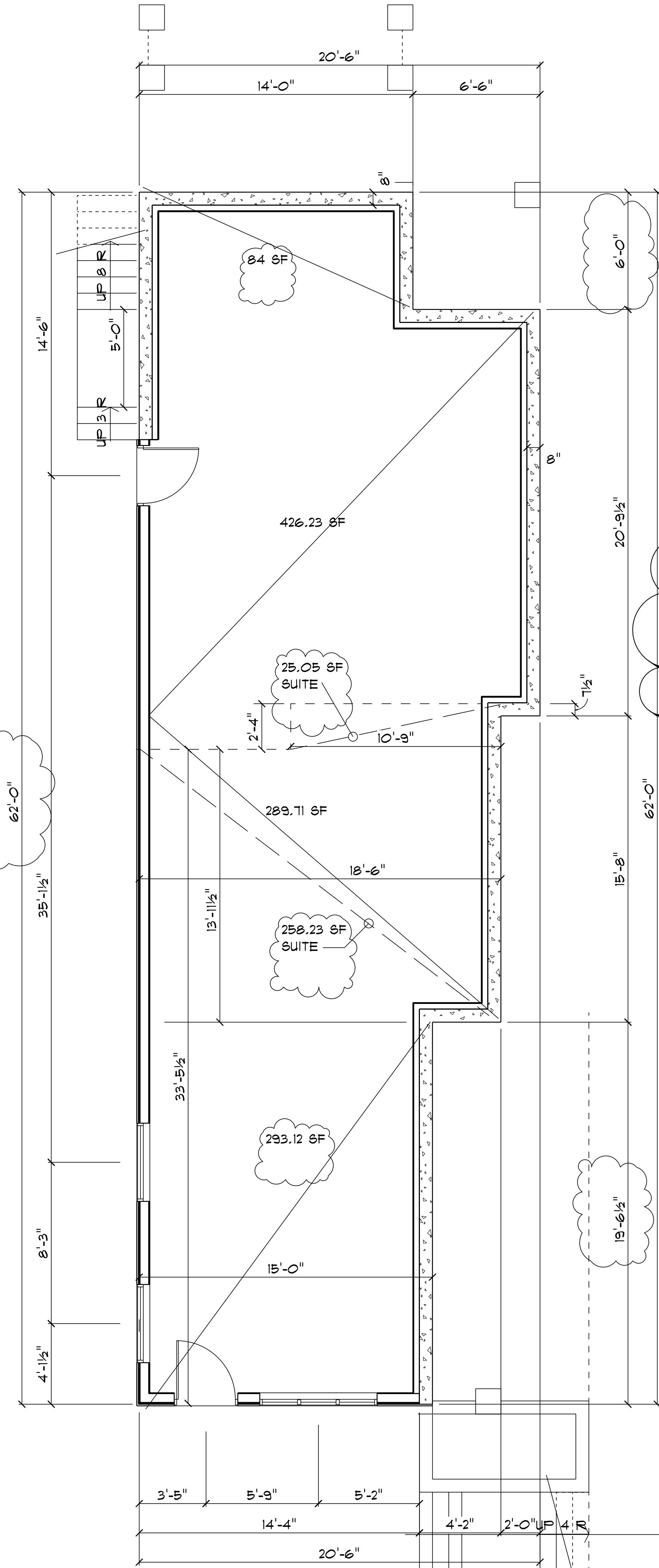
**UPPER FLOOR AREAS**

1,136.13 SQUARE FEET GROSS AREA  
 - GREEN MECHANICAL 55.25 SQUARE FEET  
 = 1,080.84 SQUARE FEET NET AREA



**MAIN FLOOR AREAS**

1,093.09 SQUARE FEET FLOOR AREA  
 + 136.1 SQUARE FEET COVERED SPACE  
 = 1,229.16 SQUARE FEET LOT COVERAGE

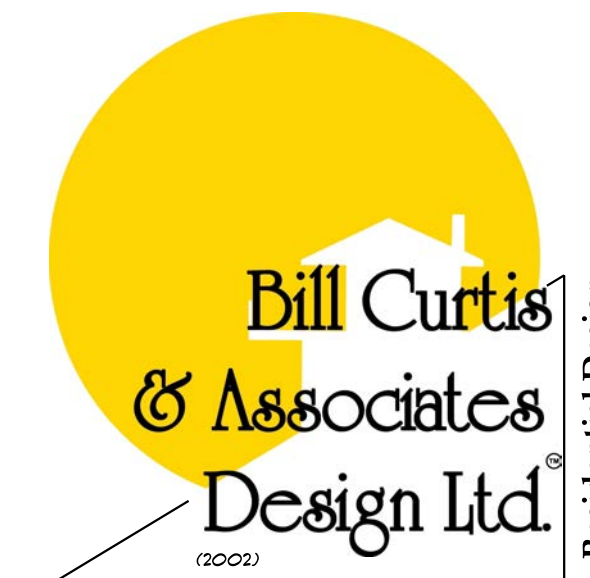


**LOWER FLOOR AREAS**

1,093.06 SQUARE FEET  
 SUITE AREA 516.4 SQUARE FEET

- REVISIONS
- 4 JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3 NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2 NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
  - 1 SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FSR REDUCED BICYCLE + GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE + GARBAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2" TO CONFORM WITH FSR ALLOWED

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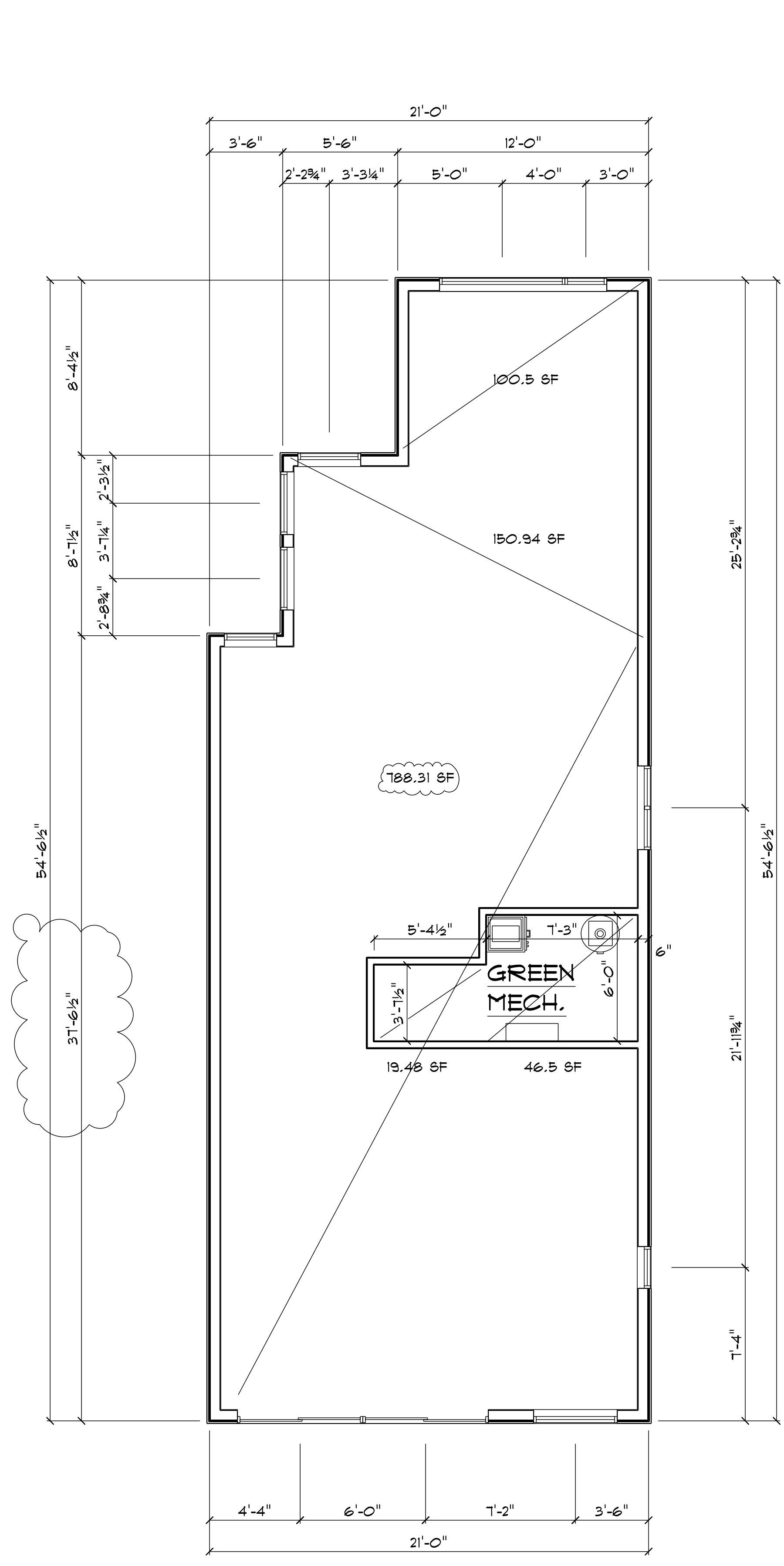


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**EAST LOT**

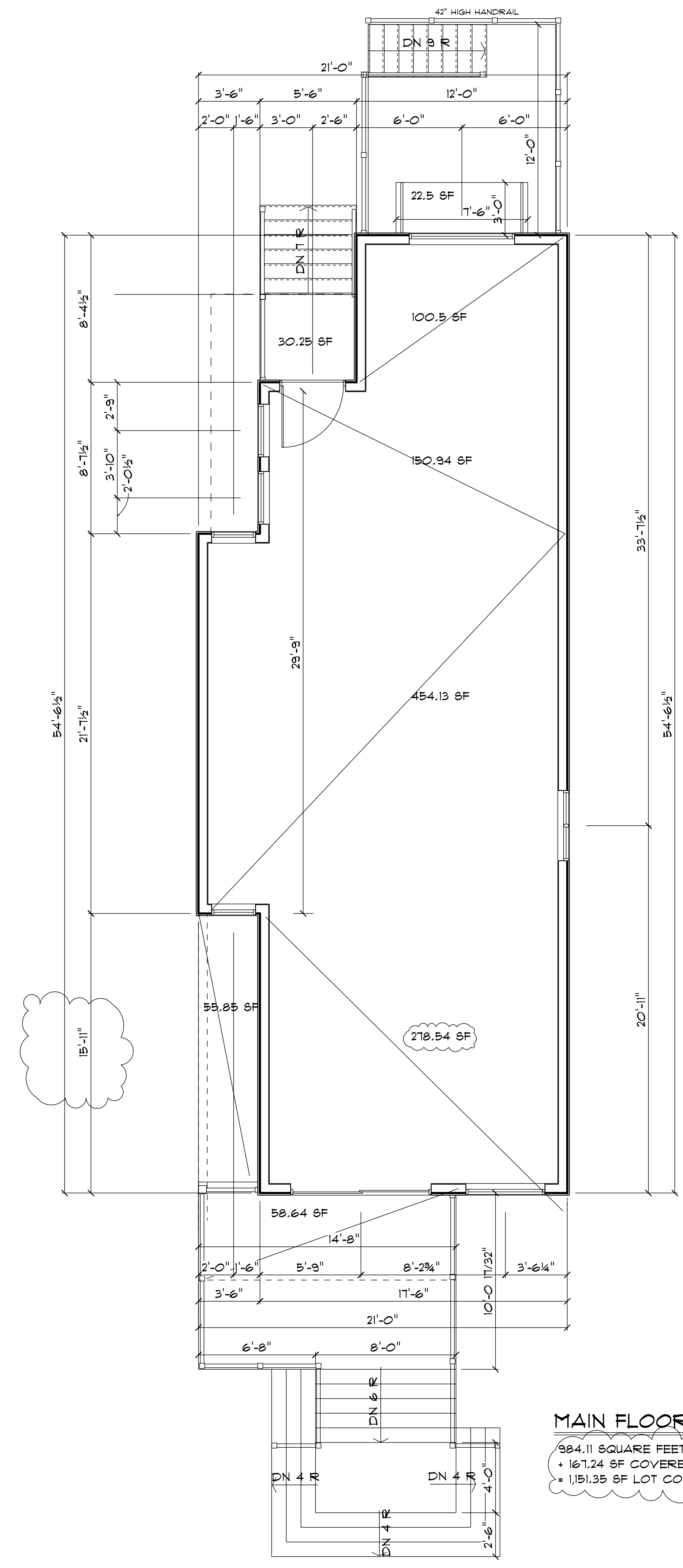
Drawing **FLOOR AREAS**  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0"  
 Project **GOLDEN DREAM HOMES REZONING OF 365 East 22nd STREET NORTH VANCOUVER**





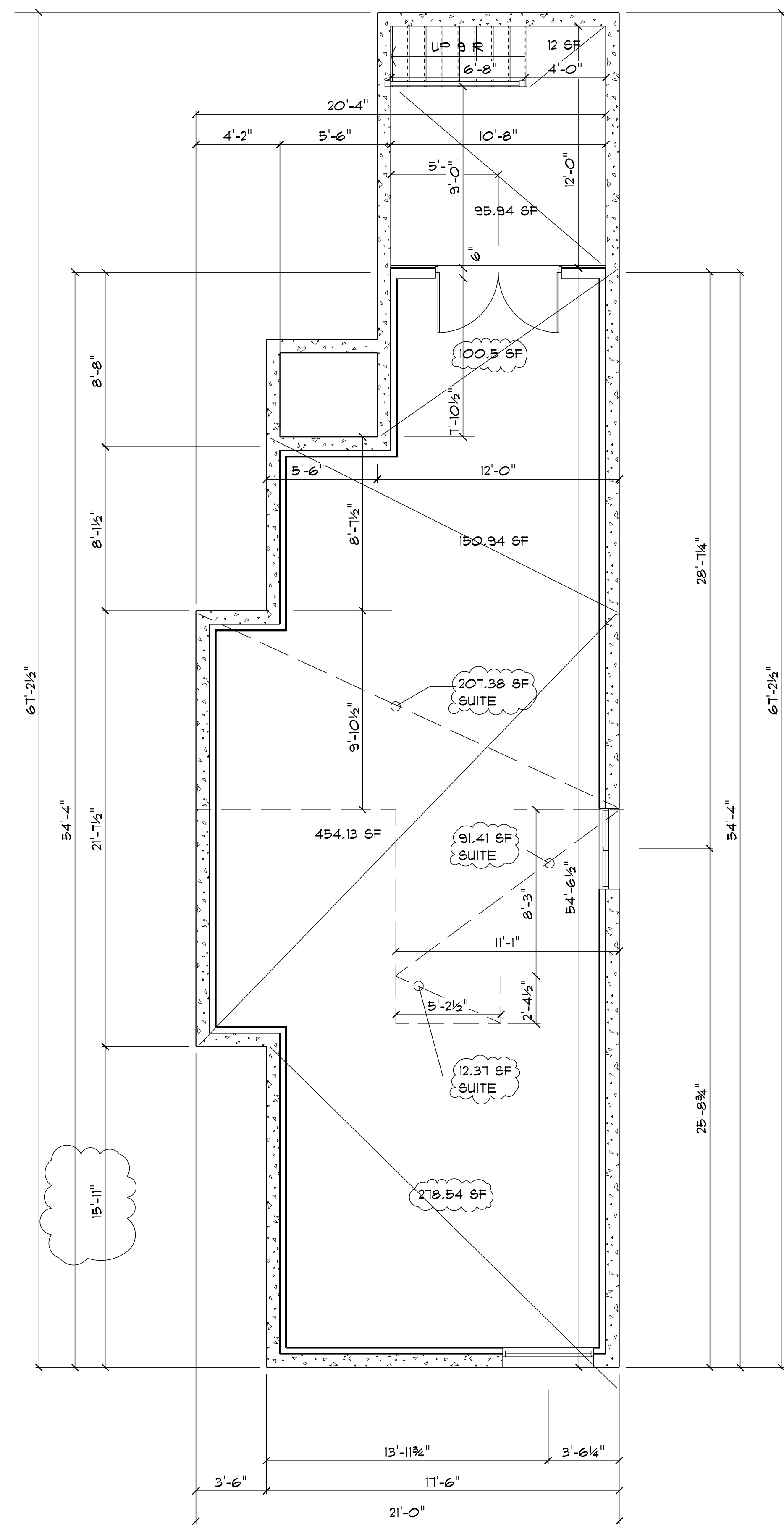
**UPPER FLOOR AREAS**

1,039.75 SQUARE FEET  
 - GREEN MECH. 66 SQUARE FEET  
 = 973.75 SQUARE FEET



**MAIN FLOOR AREAS**

984.11 SQUARE FEET  
 + 167.24 SF COVERED AREA  
 = 1,151.35 SF LOT COVERAGE

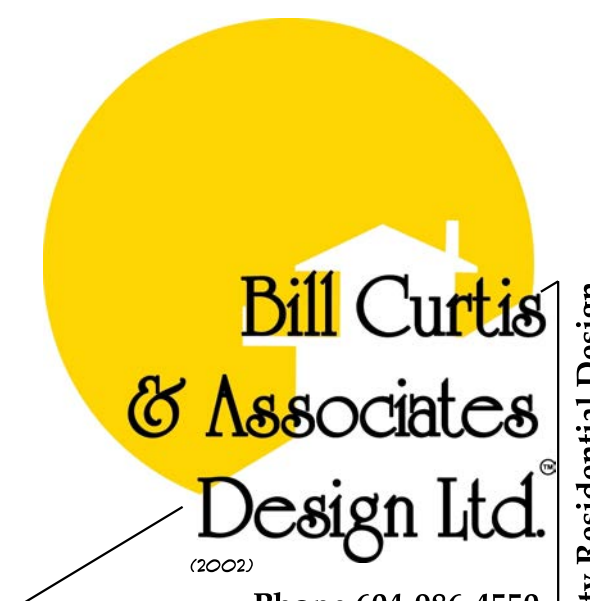


**LOWER FLOOR AREAS**

984.11 SF  
 SUITE AREA  
 562.6 SQUARE FEET

- REVISIONS
- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
  - 1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FOR REDUCED BICYCLE & GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE & GARBAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2" TO CONFORM WITH PERMITTED

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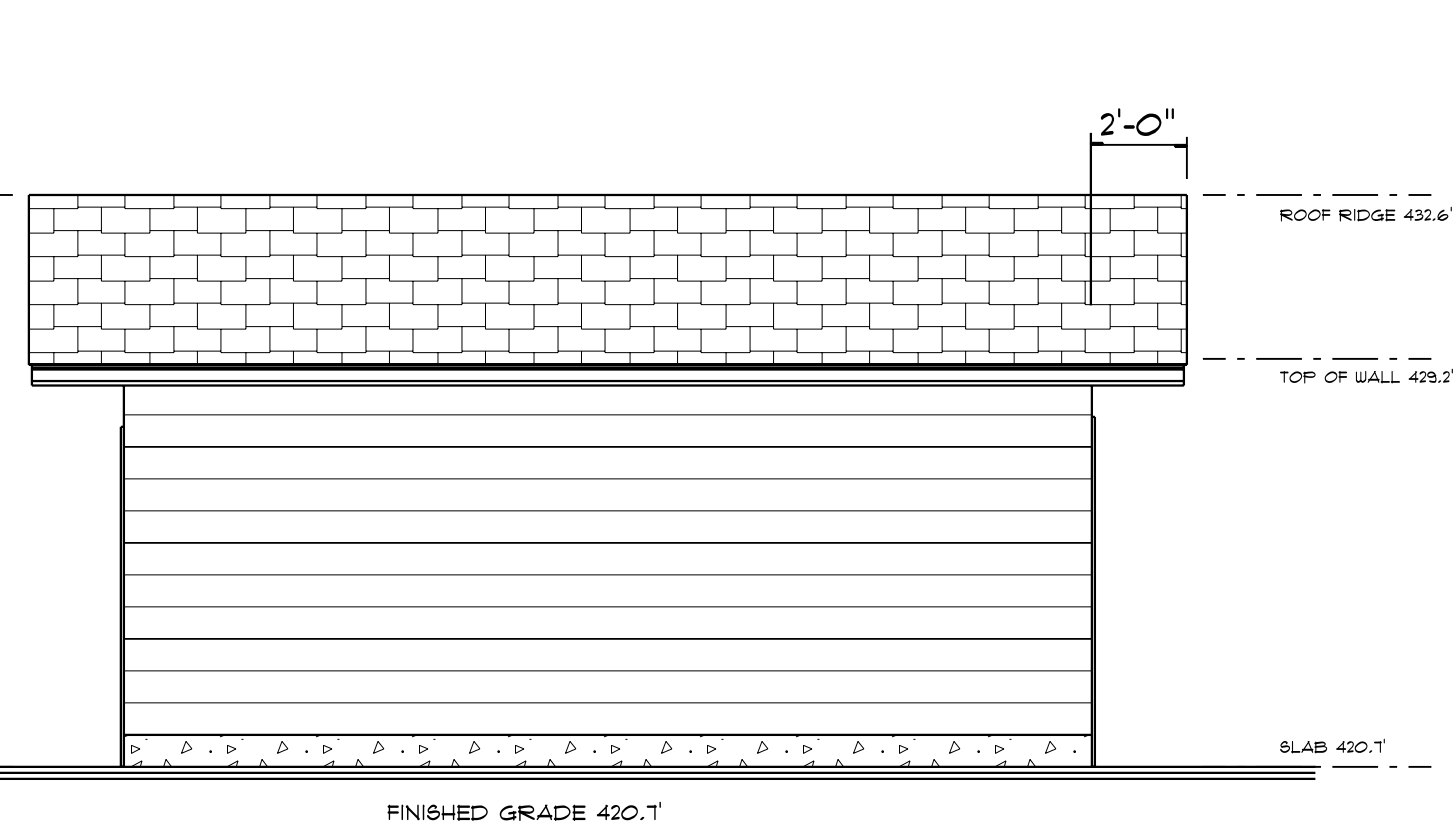


Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

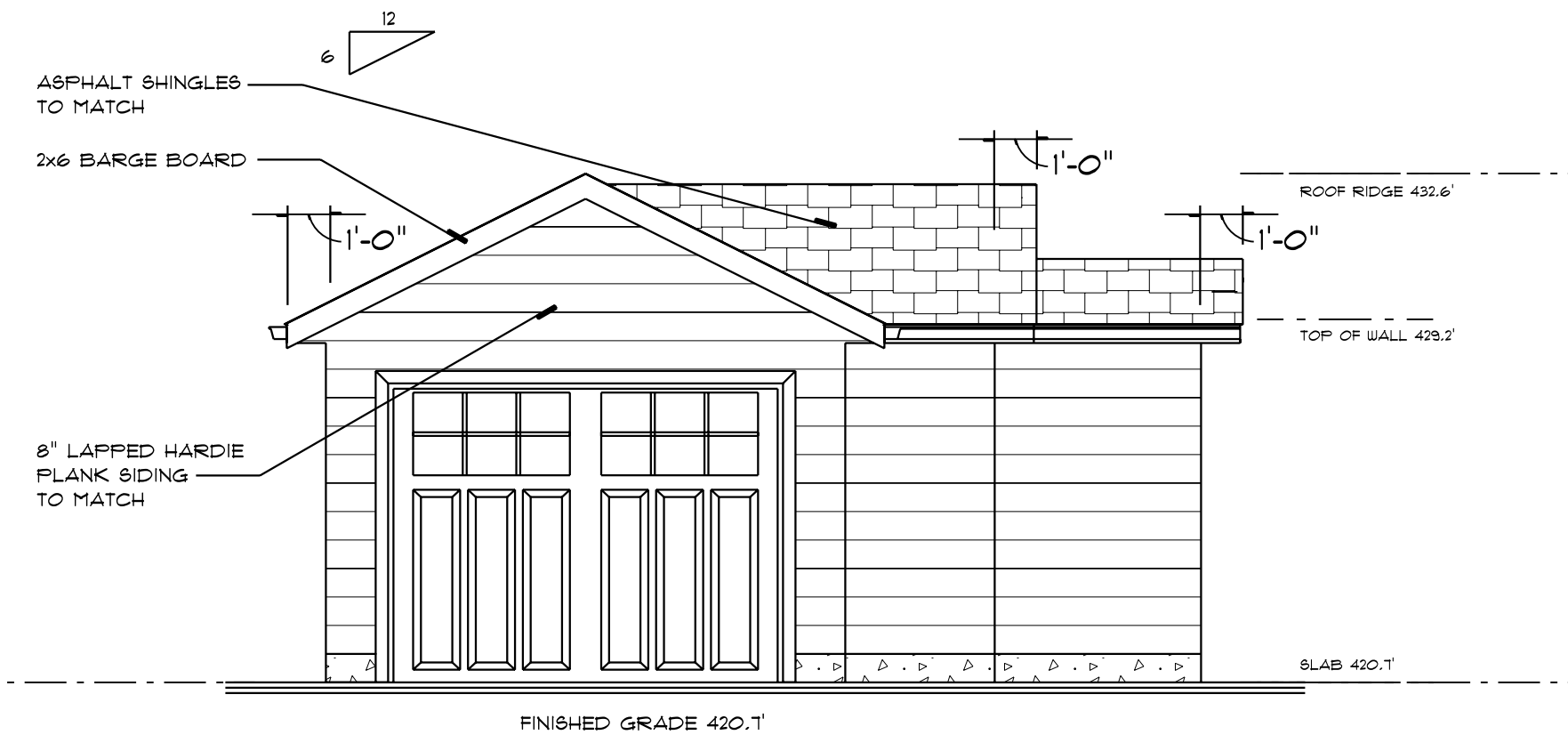
Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**WEST LOT**

Drawing **FLOOR AREAS**  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0"  
 Project GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER

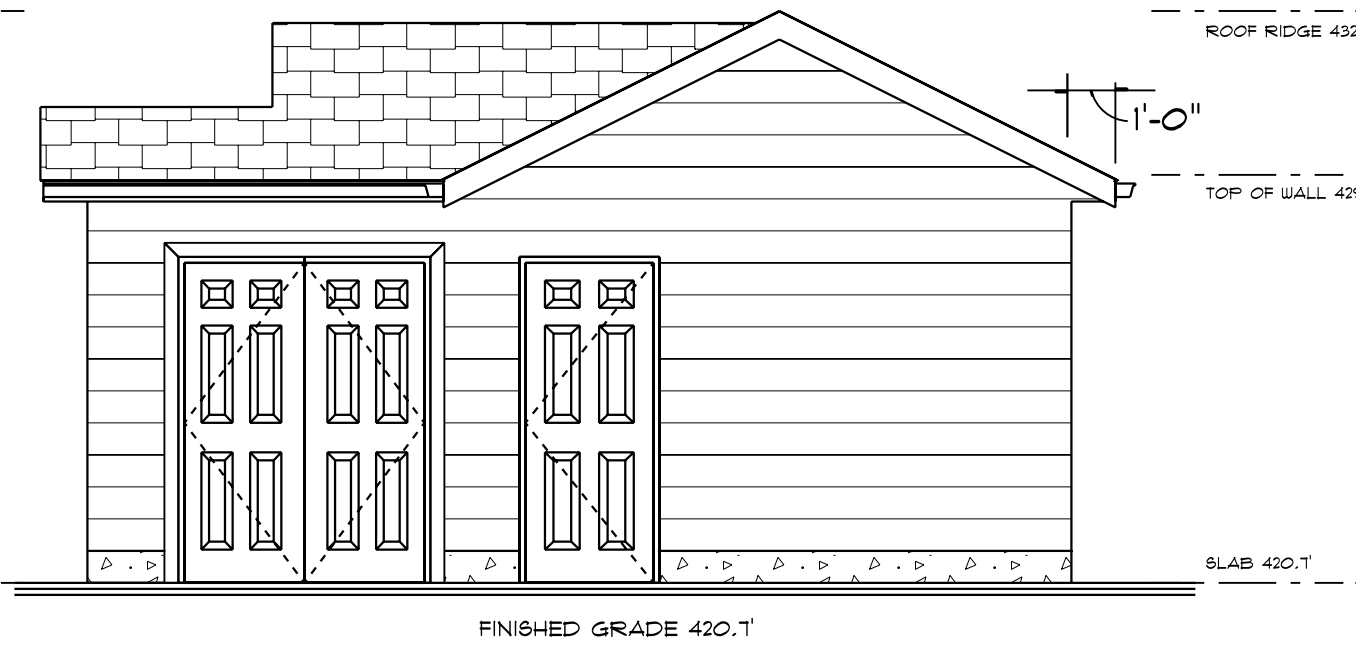




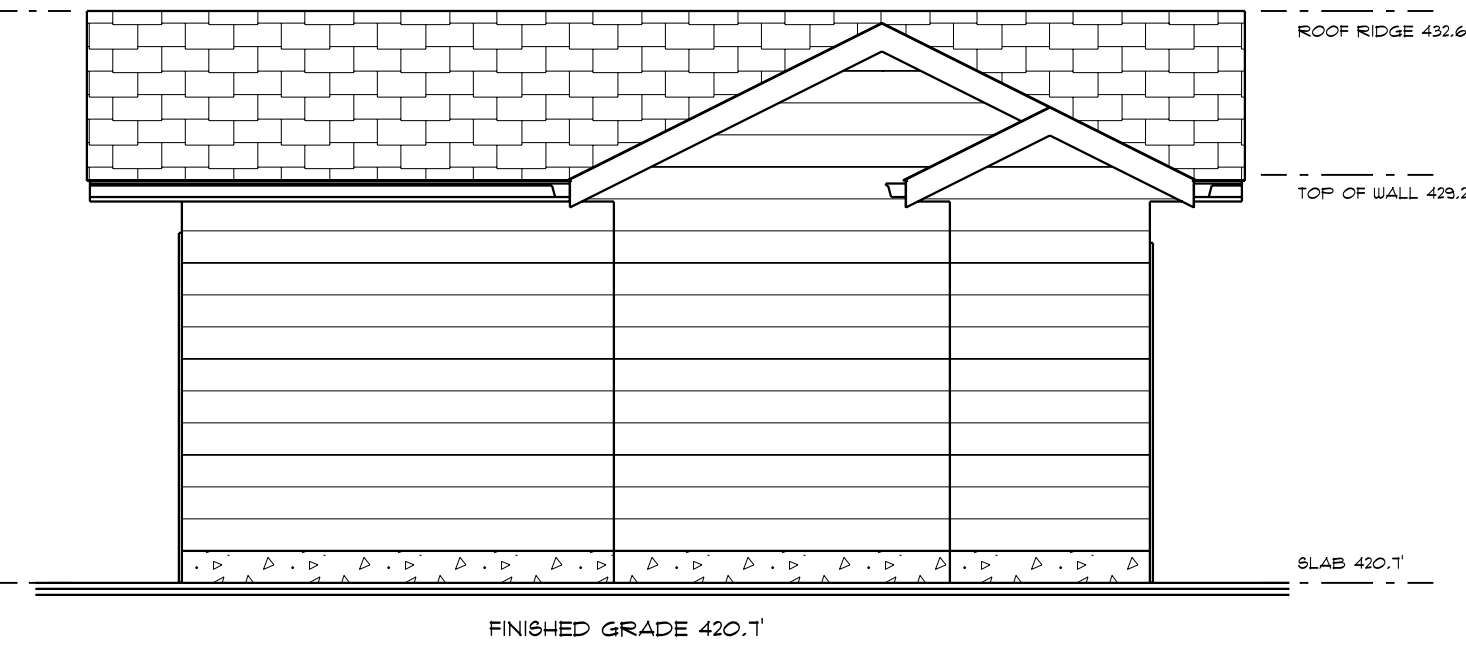
**GARAGE WEST ELEVATION**



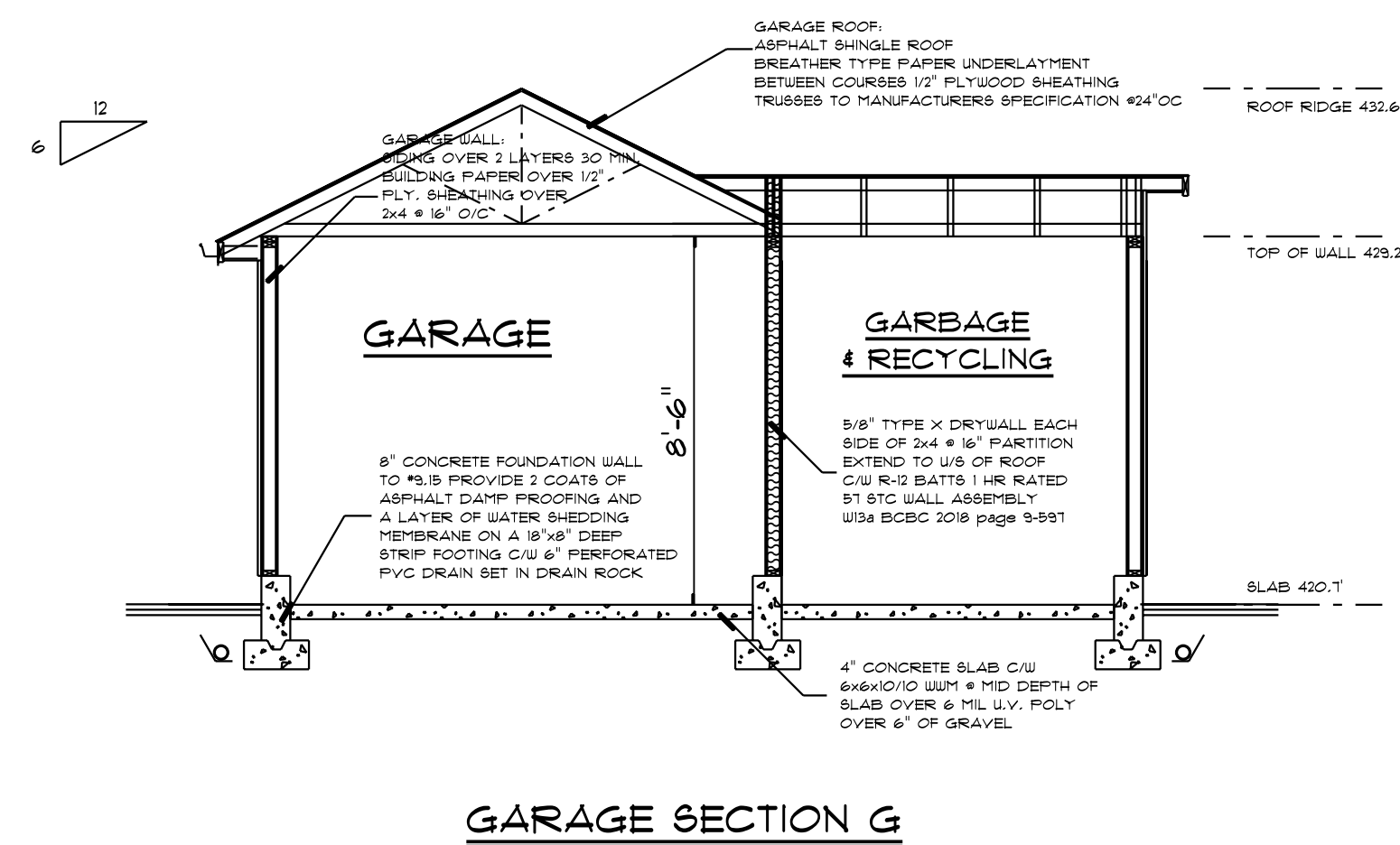
**GARAGE SOUTH ELEVATION**



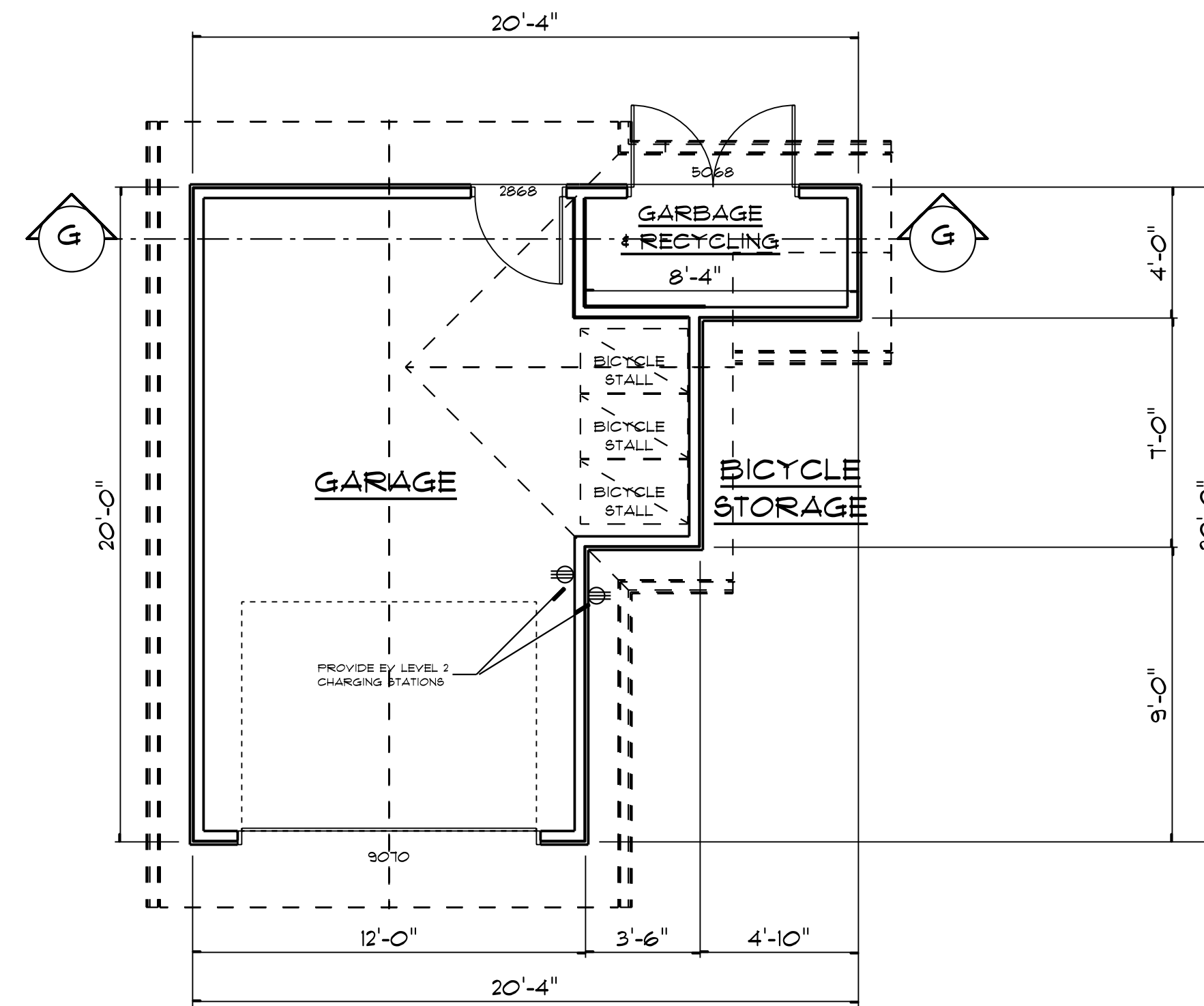
**GARAGE NORTH ELEVATION**



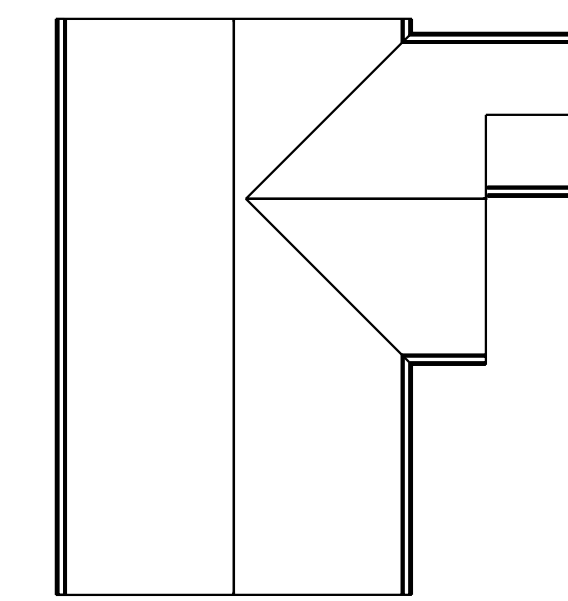
**GARAGE EAST ELEVATION**



**GARAGE SECTION G**



**GARAGE PLAN**



**GARAGE ROOF PLAN**

SCALE: 1/8" = 1'-0"

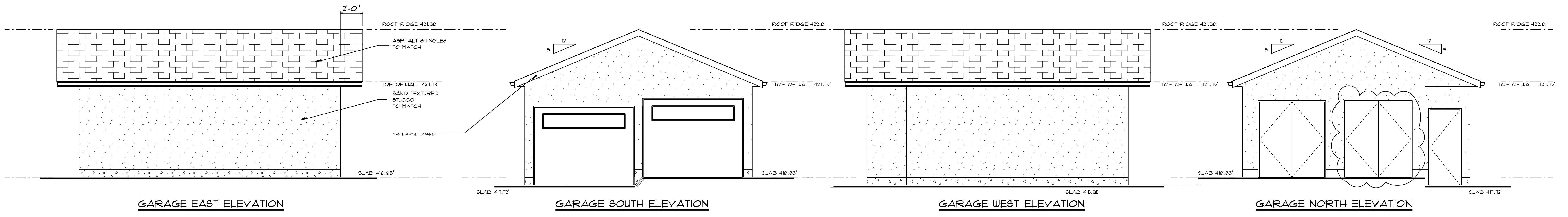
- REVISIONS
- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
  - 1- SEPT. 2023 EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT F&R REDUCED BICYCLE & GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE & GARBAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2" TO CONFORM WITH F&R ALLOWED

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 Fax 604-986-4555  
 billcurtisdesign@gmail.com

Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**EAST LOT**  
**GARAGE PLANS**  
 Drawing  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0" OR AS NOTED  
 Project  
**GOLDEN DREAM HOMES REZONING**  
**OF 365 East 22nd STREET**  
**NORTH VANCOUVER**



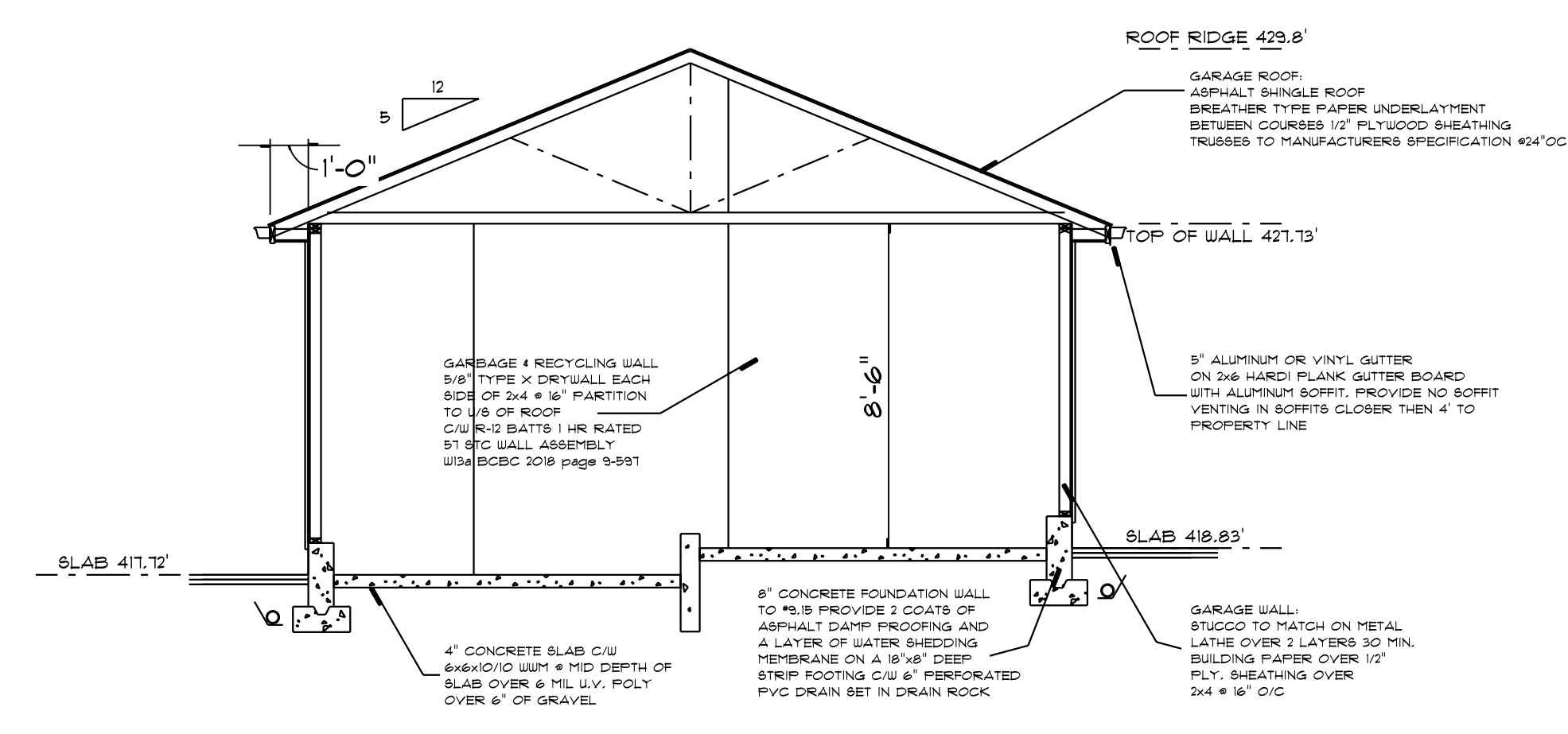


**GARAGE EAST ELEVATION**

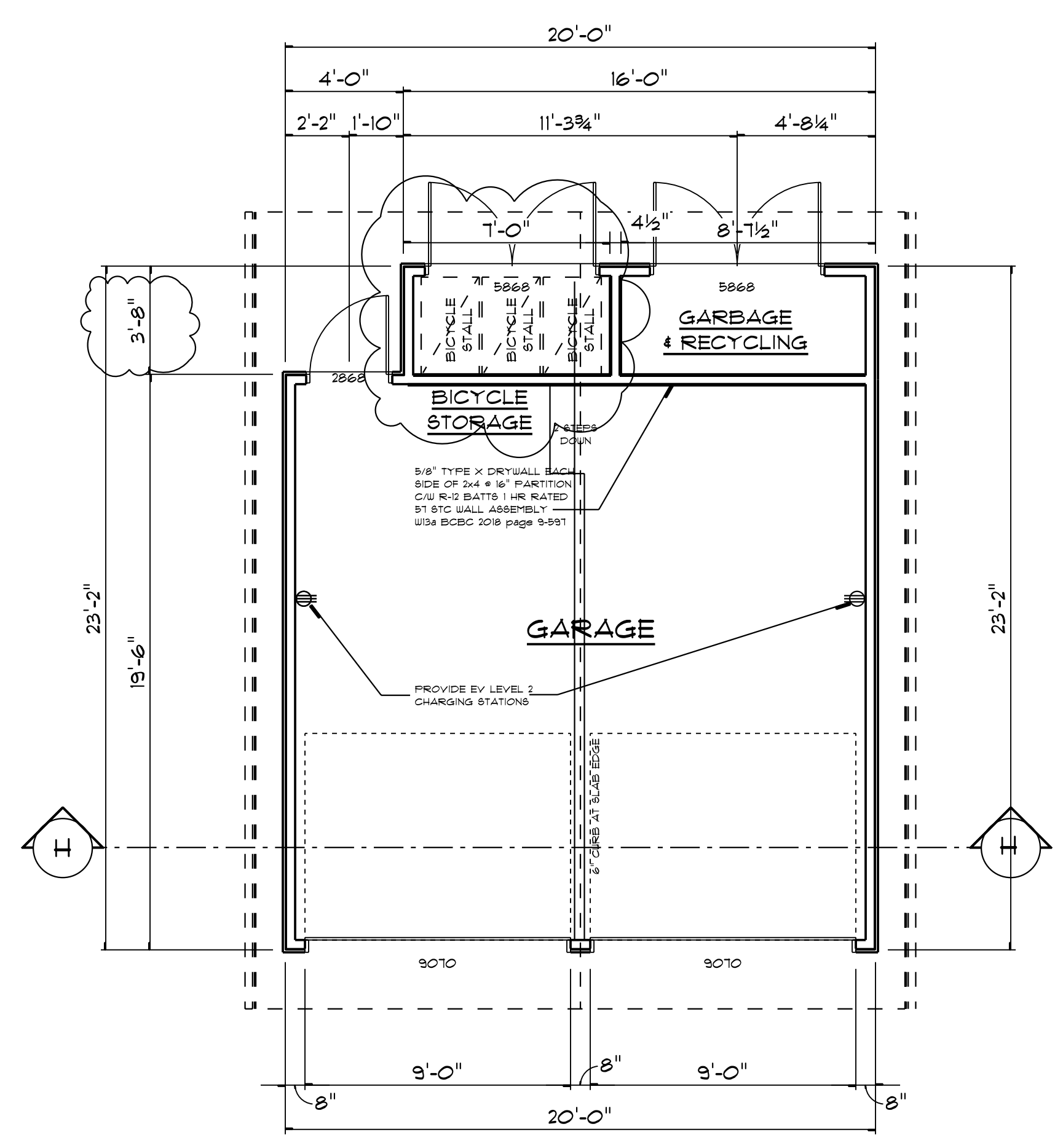
**GARAGE SOUTH ELEVATION**

**GARAGE WEST ELEVATION**

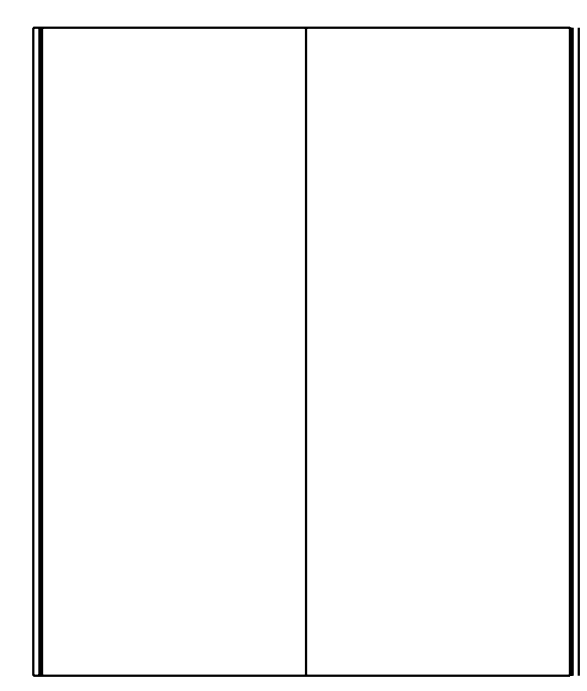
**GARAGE NORTH ELEVATION**



**GARAGE SECTION H**



**GARAGE PLAN**



**GARAGE ROOF PLAN**

SCALE: 1/8" = 1'-0"

- REVISIONS
- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
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 North Vancouver, BC V7M 3M6

**WEST LOT**  
**GARAGE PLANS**

Drawn By B.C. Date FEB. 2023  
 Scale 1/4" = 1'-0" OR AS NOTED

Project  
**GOLDEN DREAM HOMES**  
**REZONING**  
**OF 365 East 22nd STREET**  
**NORTH VANCOUVER**

Quality Residential Design



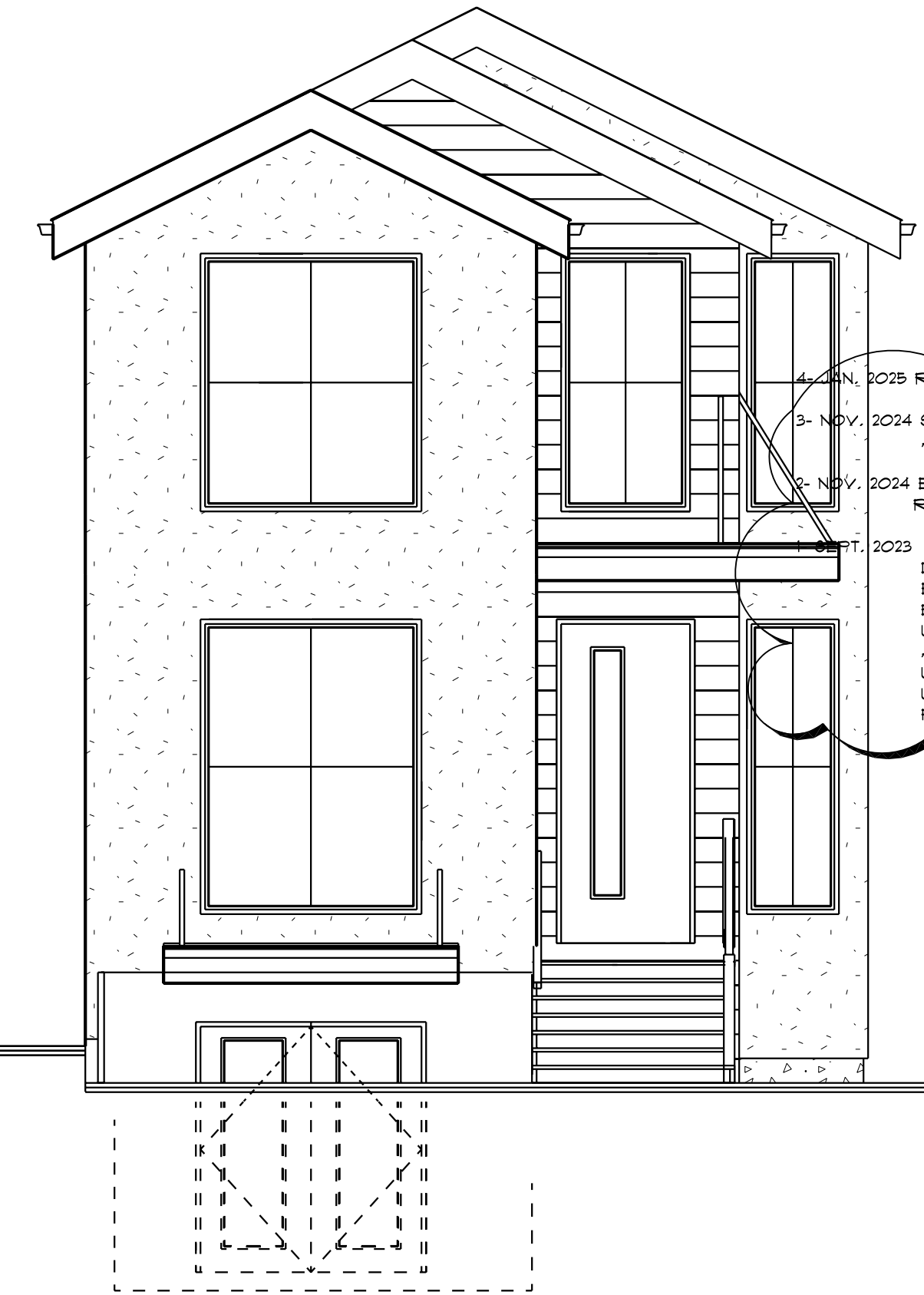
# 365 E 22nd Street

365 East 22nd Street



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365 East 22nd Street



STREETSCAPE

- 4. JUN. 2025 RIDGEWAY BOULEVARD REVISED
- 3. NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
- 2. NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
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REVISIONS

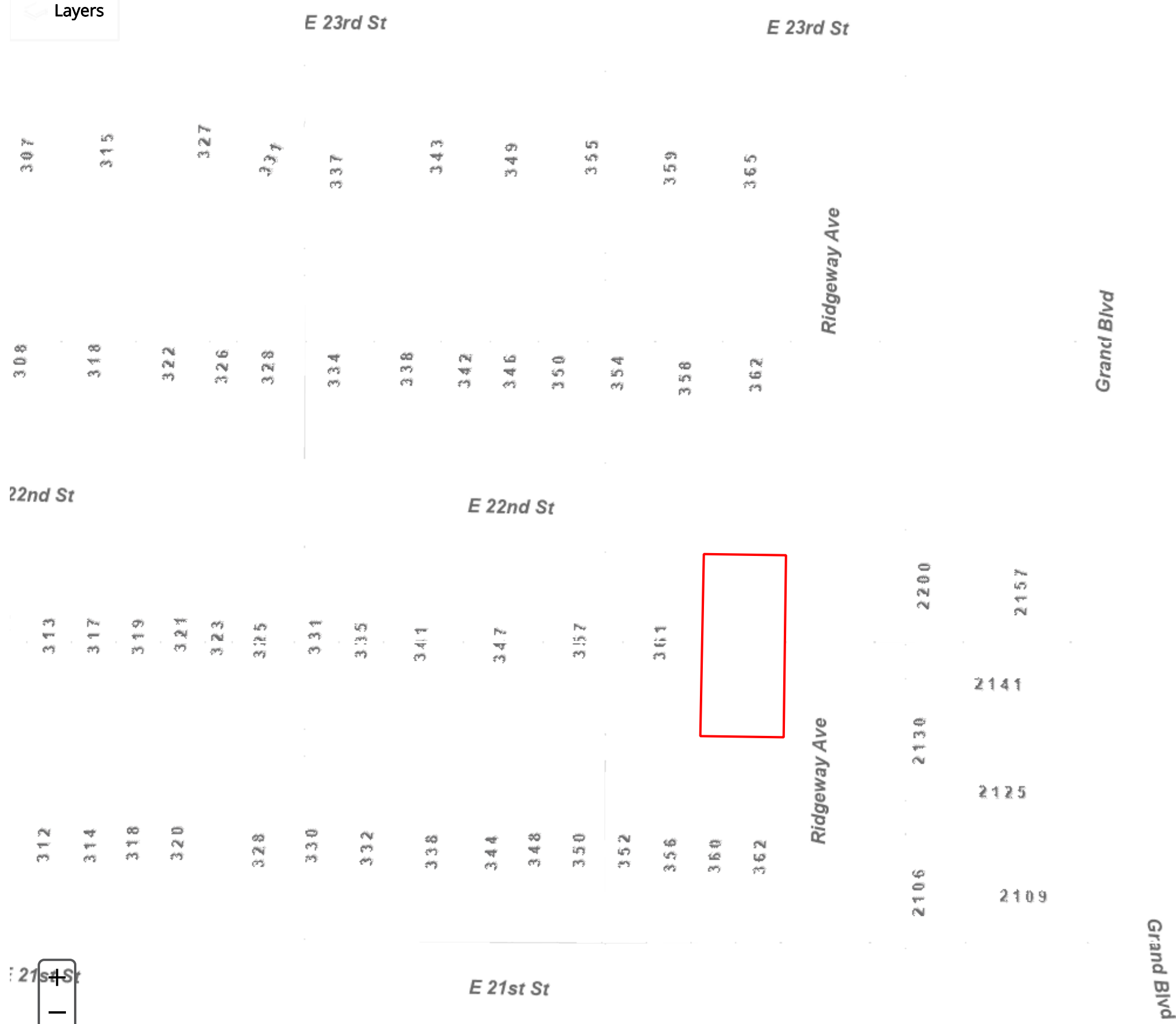
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06/27/2022

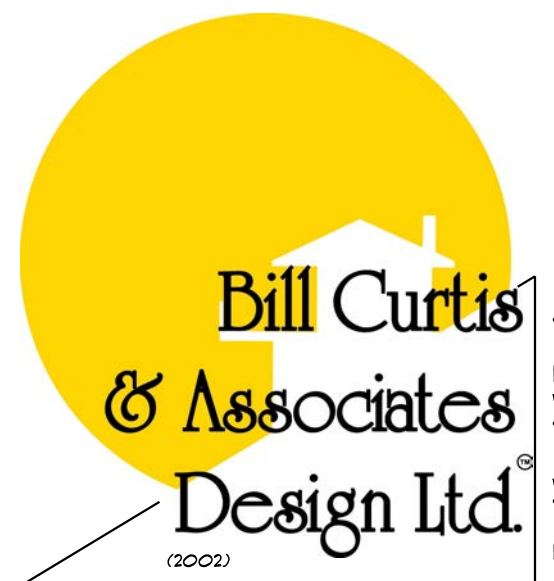
5/10/23, 2:01 PM

CityMap

Layers



21545



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billcurtisdesign@gmail.com

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North Vancouver, BC V7M 3M6

CONTEXT

Drawn By B.C. Date FEB, 2023  
Scale 1/4" = 1'-0"

Project  
GOLDEN DREAM HOMES  
REZONING  
OF 365 East 22nd STREET  
NORTH VANCOUVER

116  
of

Quality Residential Design





365 East 22nd Street



Looking West along East 22nd Street at Ridgeway Avenue



North Side of East 22nd Street



365 East 22nd Street seen from Ridgeway Ave.



East Side of Ridgeway Ave.



East Side of Ridgeway Ave.



East Side of Ridgeway Ave.

- REVISIONS
- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
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South side of the Lane behind 365 East 22nd Street



Looking West along the Lane behind 365 East 22nd Street



365 East 22nd Street seen from the Lane

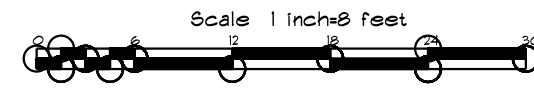
**Bill Curtis & Associates Design Ltd.**  
 (2002)  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com  
 Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
 CONTEXT PICTURES  
 Drawn By B.C. Date FEB. 2023  
 Scale  
 Project  
 GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER

Quality Residential Design



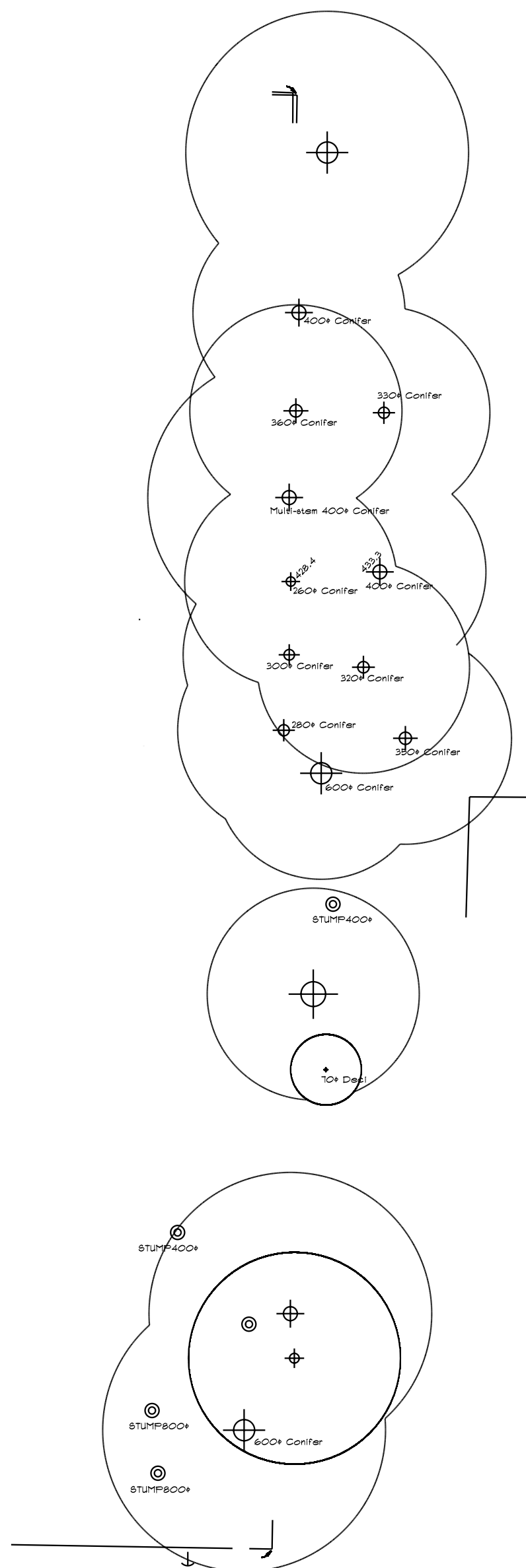
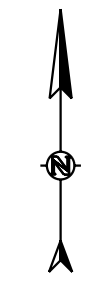
TOPOGRAPHIC AND PROPOSED SUBDIVISION PLAN OF LOT H  
 BLOCK 209 DISTRICT LOT 546 GROUP 1 NWD PLAN 9912

FIG. 010-20-375  
 Civic Address: 365 East 22nd Street,  
 City Of North Vancouver



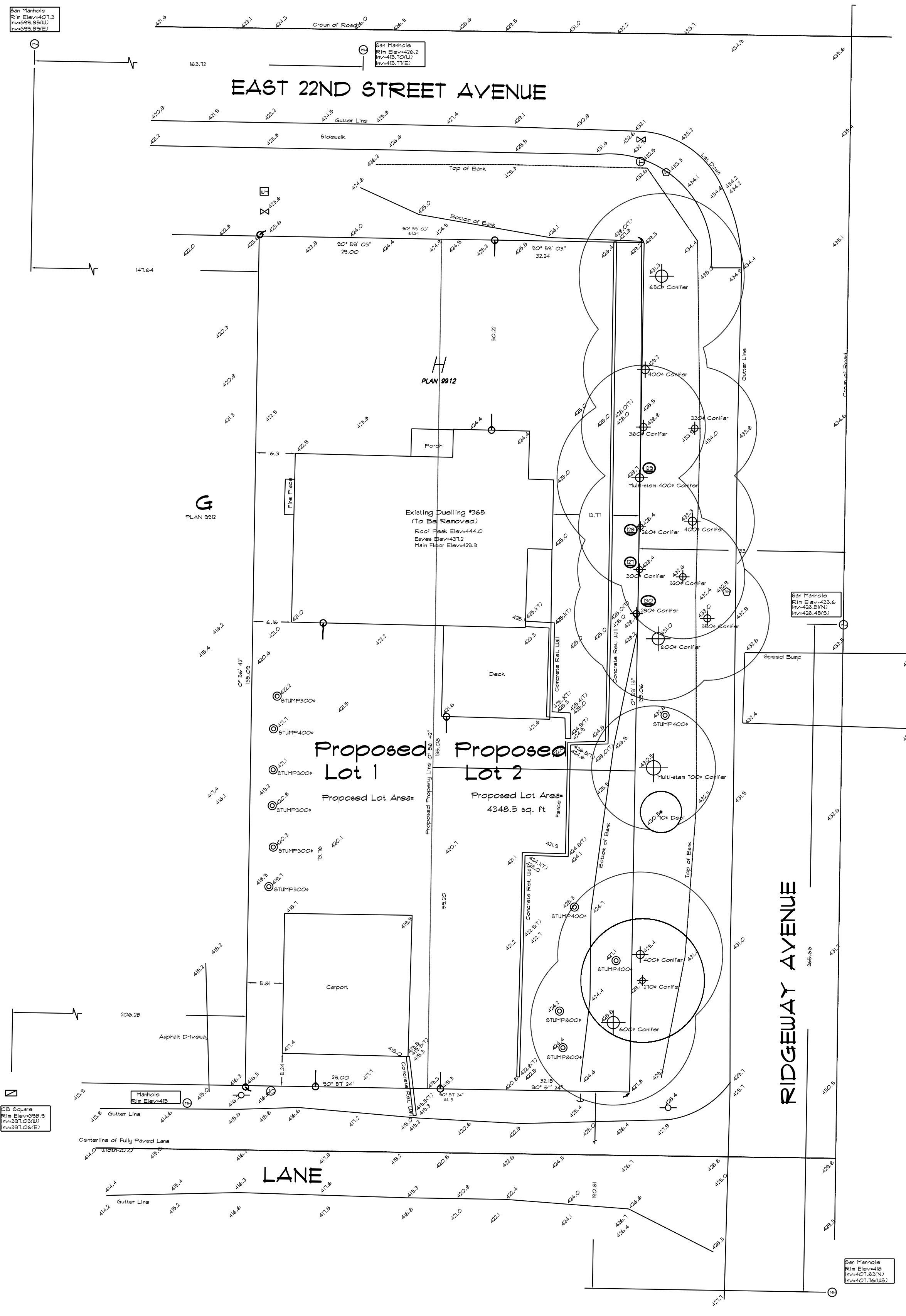
The intended plot size of this plan is 808m width by 516m in height (Arch D size) when plotted at a scale of 1 inch=8 feet.

All distances and elevations are in feet and decimals thereof unless otherwise stated.



- Legend:**
- ⊕ - Tree (center in m, measured 4' in above ground and species)
  - ⊙ - Manhole
  - ⊕ - Water Valve
  - ⊕ - Water Meter
  - ⊕ - Traffic Sign
  - ⊕ - Catch Basin
  - ⊕ - Fire Hydrant
  - ⊕ - Power Pole
  - ⊕ - Gas Line
  - ⊕ - Inspection Chamber

NOTE:  
 (T) - Elevation of top of soil



- REVISIONS**
- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
  - 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
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**Benchmark Notes:**  
 Elevations Are Geoidetic (CGVD85/VD0308)  
 Referred To Mount 134034  
 Monument Elevation: 437.4133340m  
 Facial dimensions and grid bearing are derived from observation between geoidetic control monuments 130014 and 870366.  
 Lot dimensions are based on field survey.

This is certified correct and is valid only with respect to the improvements as shown hereon and located on the 1th day of December, 2023.  
 Re-issued on the 10th day of August, 2025.

LIMING YUAN  
 This Document is Not Valid unless Digitally Signed

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 billcurtisdesign@gmail.com

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 North Vancouver, BC V7M 3M6

**SURVEY**  
 Drawing  
 Drawn By B.C. Date FEB. 2023  
 Scale  
 Project  
**GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER**

16  
 of



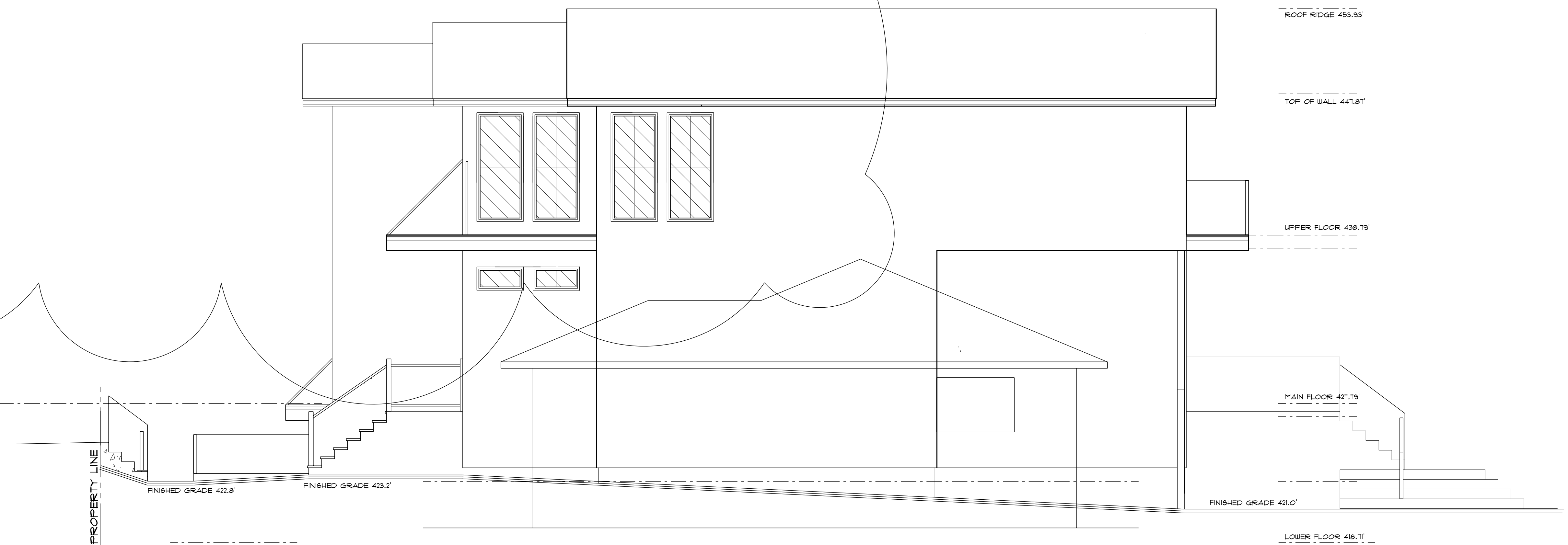


**EAST ELEVATION**

NO.	DATE	REVISIONS
4-	JAN. 2025	RIDGEWAY BOULEVARD REVISED
3-	NOV. 2024	SECTIONS ALONG RIDGEWAY AVE. ADDED
2-	NOV. 2024	EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED
1-	SEPT. 2023	EAST LOT DETACHED GARAGE DELETED AND PARKING RECONFIGURED EAST LOT FOR REDUCED BICYCLE & GARBAGE STOR. REDESIGNED WEST LOT DETACHED GARAGE BIKE STORAGE ACCESS REVISED WEST LOT BIKE & GARBAGE STORAGE ENLARGED WEST LOT HOME REDUCED 1/2" TO CONFORM WITH PER. ALLOWED

REVISIONS

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**WEST ELEVATION**

REFLECTED FROM WEST LOT

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 Quality Residential Design  
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 Fax 604-986-4555  
 billcurtisdesign@gmail.com  
 Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**REFLECTED**  
 Drawing **WINDOWS**  
 Drawn By B.C. Date FEB, 2023  
 Scale 1/4" = 1'-0"  
 Project  
**GOLDEN DREAM HOMES  
 REZONING  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER**



x

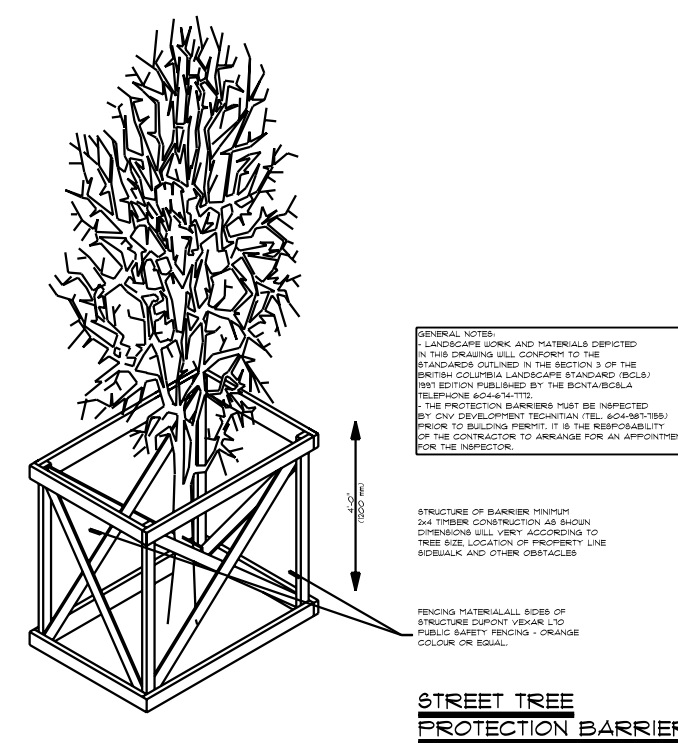
x

# EAST 22ND STREET AVENUE

LEGAL DESCRIPTION:  
LOT H BLOCK 209 DISTRICT LOT 546  
GROUP 1 NWD PLAN 9912  
PID: 010-221-379

## PLANT LIST

QTY	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
Ax 1	ACER PALMATUM SHINDE SHOJO	SHINDO SHOJO JAPANESE MAPLE	10' #125 POT	AS SHOWN	TREE	NON NATIVE
km 16	KALMIA MICROPHILLA	MOUNTAIN LAUREL	#2 POT	AS SHOWN	SHRUB	NON NATIVE
rh 9	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#3 POT	AS SHOWN	SHRUB	NATIVE
vd 2	VIBUMUM DAVIDII	DVAID'S VIBUMUM	#3 POT	AS SHOWN	SHRUB	NON NATIVE
ar 4	AJUGA REPTANS "ATROPURPUREA"	PURPLE BUGLE	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
is 7	IRIS SIBIRICA	SIBERIAN IRIS	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
lm 24	LIRIOPE MUSCARI	BLUE LILY TURF	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
op 5	OSTEOSPERMUM "PURPLE MOUNTAIN"	AFRICAN DAISY	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
fg 2	TELLIMA GRANDIFLORA	FRINGECUP	#1 POT	AS SHOWN	PERENNIAL	NATIVE
gs 22	GAULTHERIA SHALLON	SALAL	#1 POT	AS SHOWN	GROUND COVER	NATIVE
an 22	ATHYRIUM NIPONICUM "PICTUM"	PAINTED FERN	#2 POT	AS SHOWN	FERN	NATIVE
bs 25	BLECHNUM SPICANT	DEER FERN	#2 POT	AS SHOWN	FERN	NATIVE

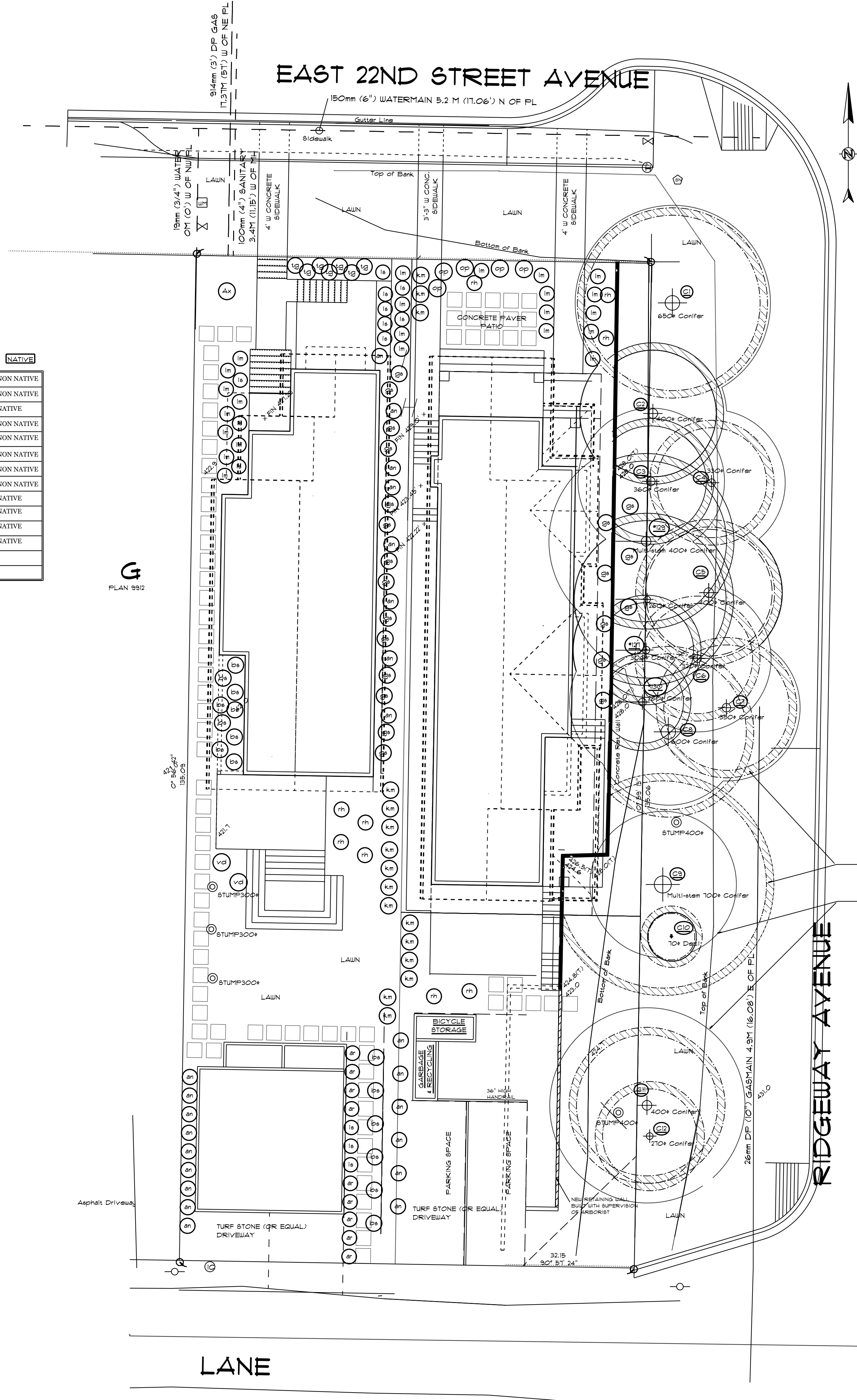


KLIMO & ASSOCIATES Ltd.

November 4, 2024

### 9.0 TREE PROTECTION BARRIER

Tree Protection Barrier Summary			Tree Protection Barrier Summary		
Tree #	DBH (cm)	TPB barrier Radial span (m)	Tree #	DBH (cm)	TPB barrier Radial span (m)
C1	60	11.81	129	29/27	11.15
C2	44	7.87	128	30	11.15
C3	39	7.87	127	40	7.87
C4	39	9.14	130	35	6.89
C5	46	9.14			
C6	39	7.87			
C7	45	8.86			
C8	20/20/12	3.2			
C9	25/23/22	4.2			
C10	9/3/2	1.2			
C11	50	9.14			
C12	34	2.1			



- Legend:**
- Tree (diameter in mm, measured at 1.3m above ground and Species)
  - Manhole
  - Water Valve
  - Water Meter
  - Traffic Sign
  - Catch Basin
  - Fire Hydrant
  - Power Pole
  - Guy Wire
  - Inspection Chamber
  - Interpolated Grade
  - Finished Grade
  - TOP & BOTTOM OF RETAINING WALL

4- JAN. 2025 RIDGEWAY BOULEVARD REVISED  
 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED  
 2- NOV. 2024 EXISTING RETAINING WALL ALONG RIDGEWAY AVE. RETAINED  
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Benchmark Notes:  
 Elevations Are Geodetic (CVD28GVRD2018)  
 Referred To Monument T3H1034  
 Monument Elevation: 431.47133.340m  
 Parcel dimensions and grid bearing are derived from observation between geodetic control monuments T3H1034 and 87H3666.  
 Lot dimensions are based on field survey.

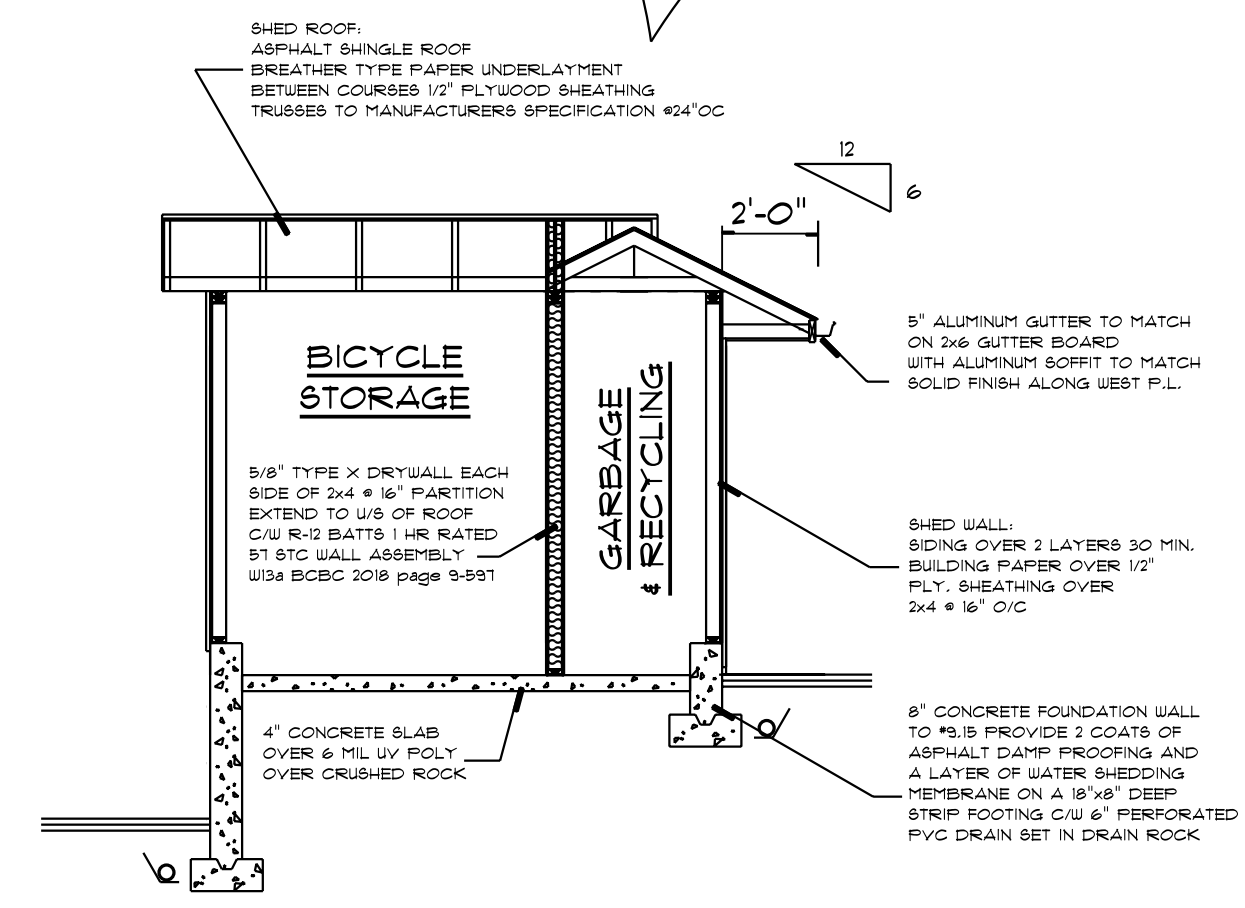
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 #201-5010 Smith Avenue, Burnaby, BC, V5G 2W5  
 Tel: (604)620-5293  
 Email Address: raymond@amraysurveying.com

File No. NV2800-TOPO  
 All distances and elevation are in feet and decimals thereof unless otherwise stated.

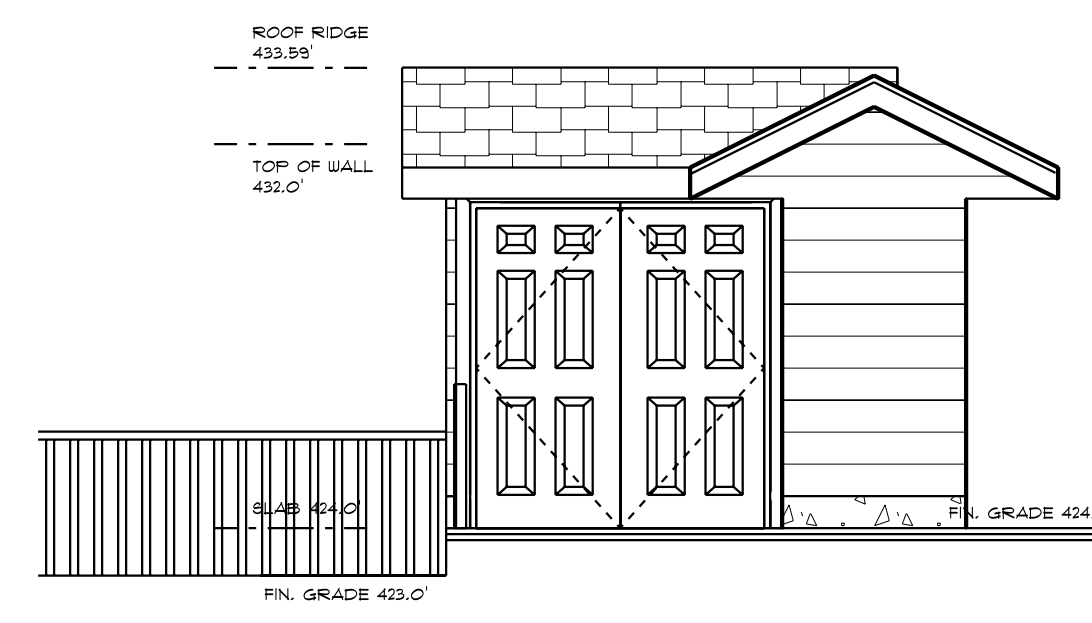
**Bill Curtis & Associates Design Ltd.**  
 Quality Residential Design  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**LANDSCAPE PLAN**  
 Drawn By B.C. Date FEB. 2023  
 Scale 1/8" = 1'-0"  
 Project  
**GOLDEN DREAM HOMES REZONING**  
 OF 365 East 22nd STREET  
 NORTH VANCOUVER

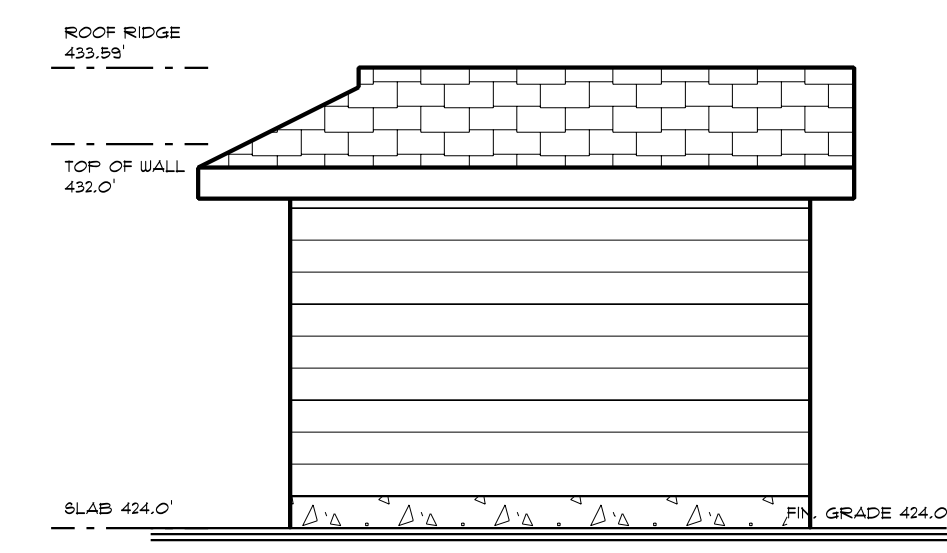




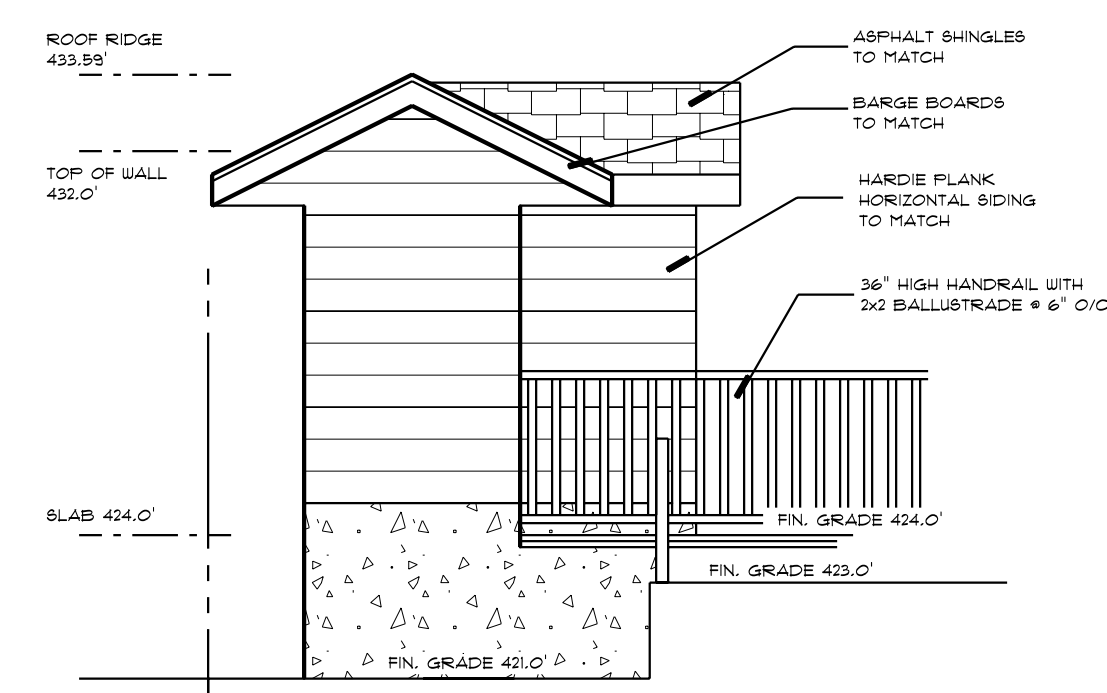
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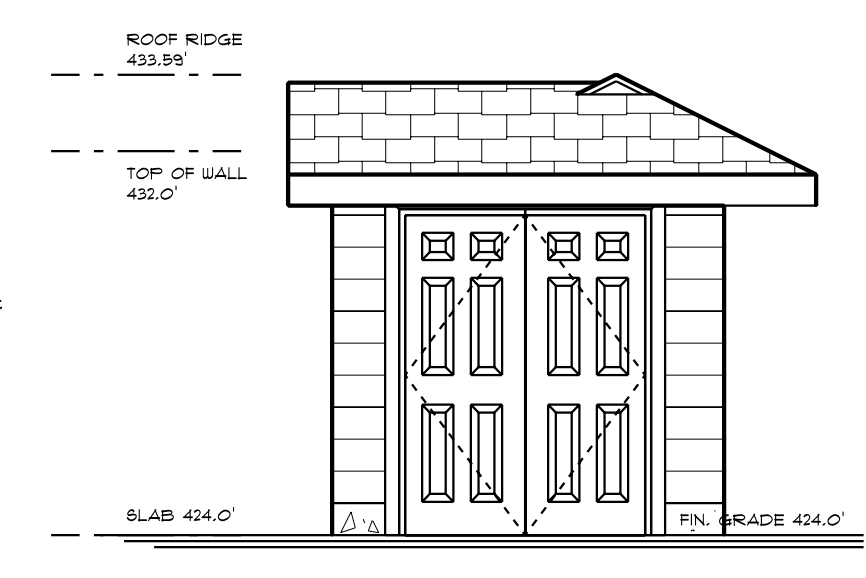
**EAST ELEVATION**



**WEST ELEVATION**



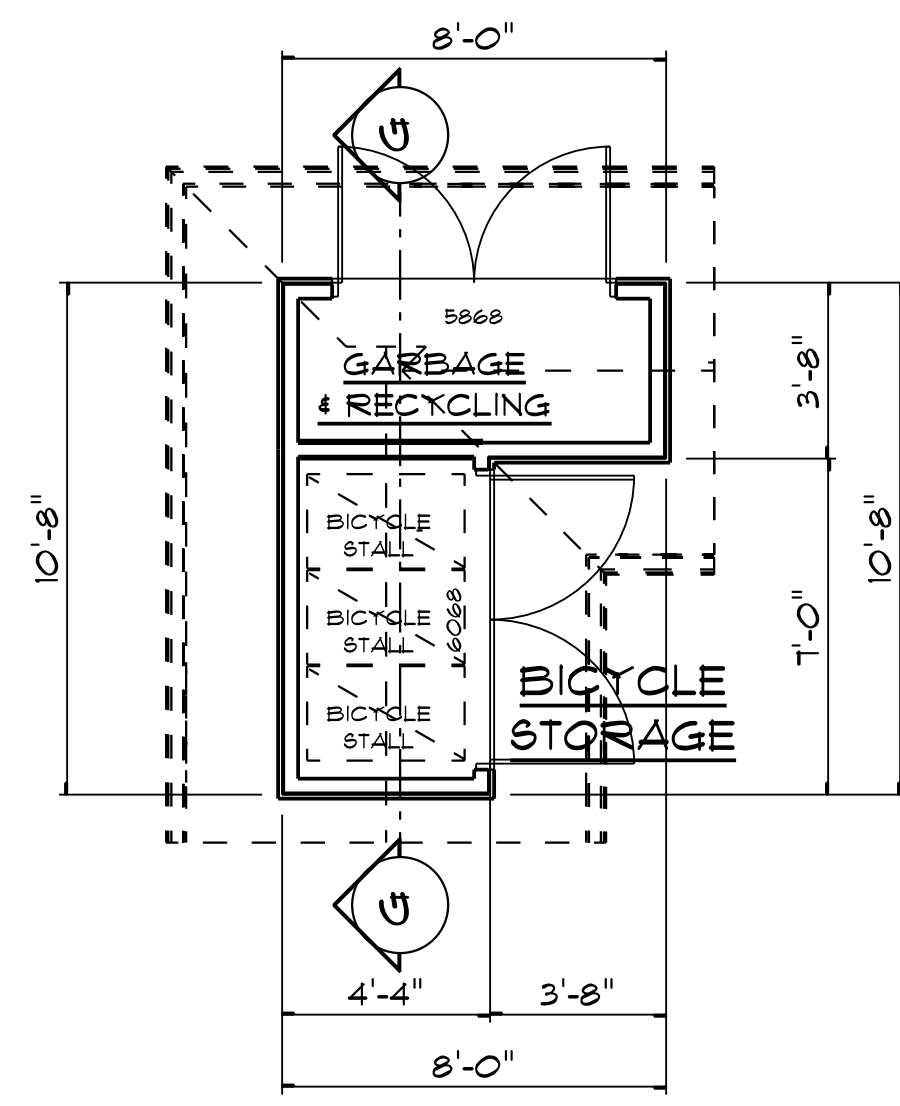
**SOUTH ELEVATION**



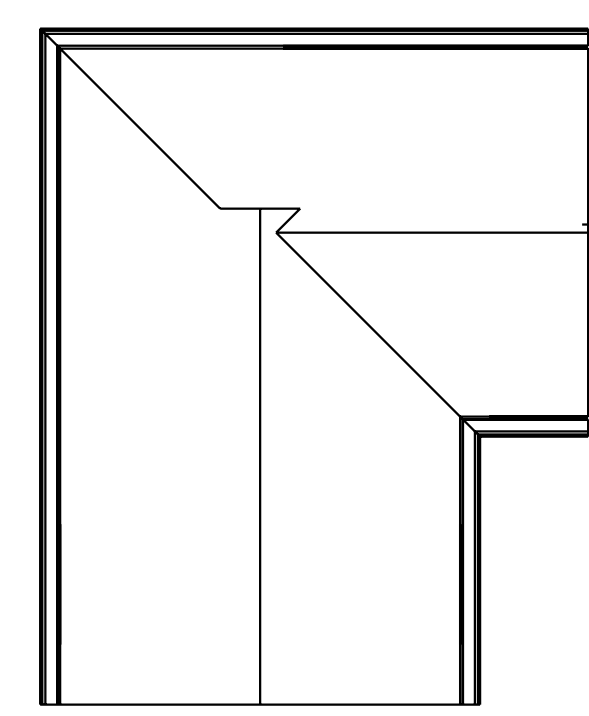
**NORTH ELEVATION**

AVERAGE LANE ELEVATION:  
421.8 + 423.3 + 424.1  
/ 2 = 423.05'

MAX. ALLOWABLE SHED HEIGHT:  
423.55' + 3' = 426.55'



**STORAGE SHED PLAN**



**SHED ROOF PLAN**

- REVISIONS
- 4- JAN. 2025 RIDGEWAY BOULEVARD REVISED
  - 3- NOV. 2024 SECTIONS ALONG RIDGEWAY AVE. ADDED
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billcurtisdesign@gmail.com

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North Vancouver, BC V7M 3M6

**EAST LOT**

Drawing **SHED PLANS**  
Drawn By B.C. Date FEB. 2023  
Scale 1/4" = 1'-0" OR AS NOTED  
Project GOLDEN DREAM HOMES REZONING OF 365 East 22nd STREET NORTH VANCOUVER