



417 WEST 14th STREET



WEST 14th STREET  
LOOKING EAST



WEST 14th STREET  
LOOKING WEST



NORTH SIDE OF WEST 14th STREET



LANE BEHIND  
417 WEST 14th STREET



VIEW ALONG LANE  
LOOKING EAST



VIEW ALONG LANE  
LOOKING WEST



SOUTH SIDE OF  
LANE BEHIND  
417 WEST 14th STREET

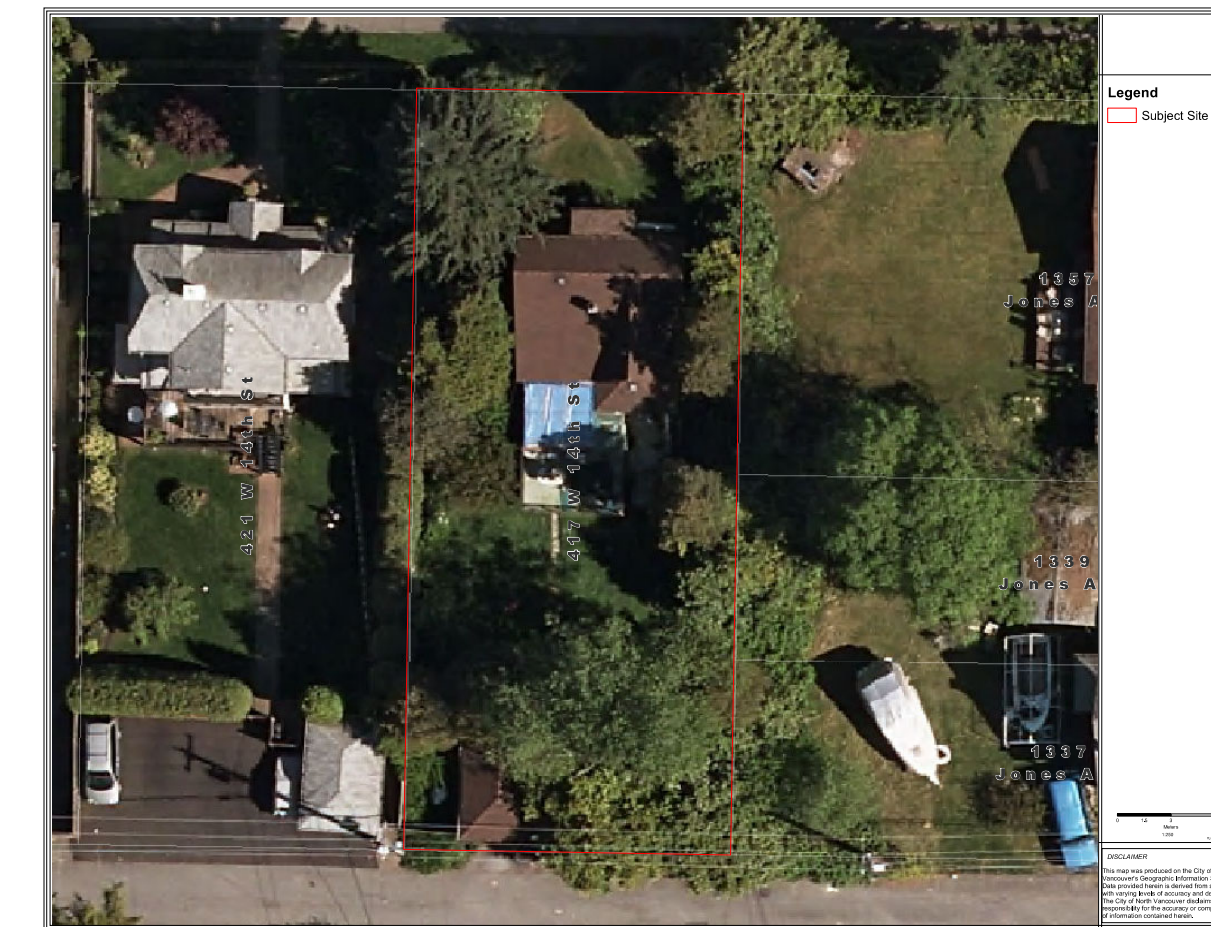
CONTEXT PICTURES



STREETSCAPE

DRAWING INDEX

DWG NO.	DWG. TITLE
1	STREETSCAPE
2	SITE PLAN
3	WEST LOT FLOOR PLANS
4	WEST LOT FLOOR AREAS
5	WEST LOT SECTIONS
6	WEST LOT GARAGE PLANS
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417 WEST 14th STREET

**AERIAL VIEW**  
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417 WEST 14th STREET

CONTEXT MAP

REVISIONS

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Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6

Drawing **STREETSCAPE**  
Drawn By B.C. Date JAN. 2023  
Scale 1/4" = 1'-0" OR AS NOTED  
Project AHMADI REZONING OF 417 WEST 14th STREET NORTH VANCOUVER

Quality Residential Design

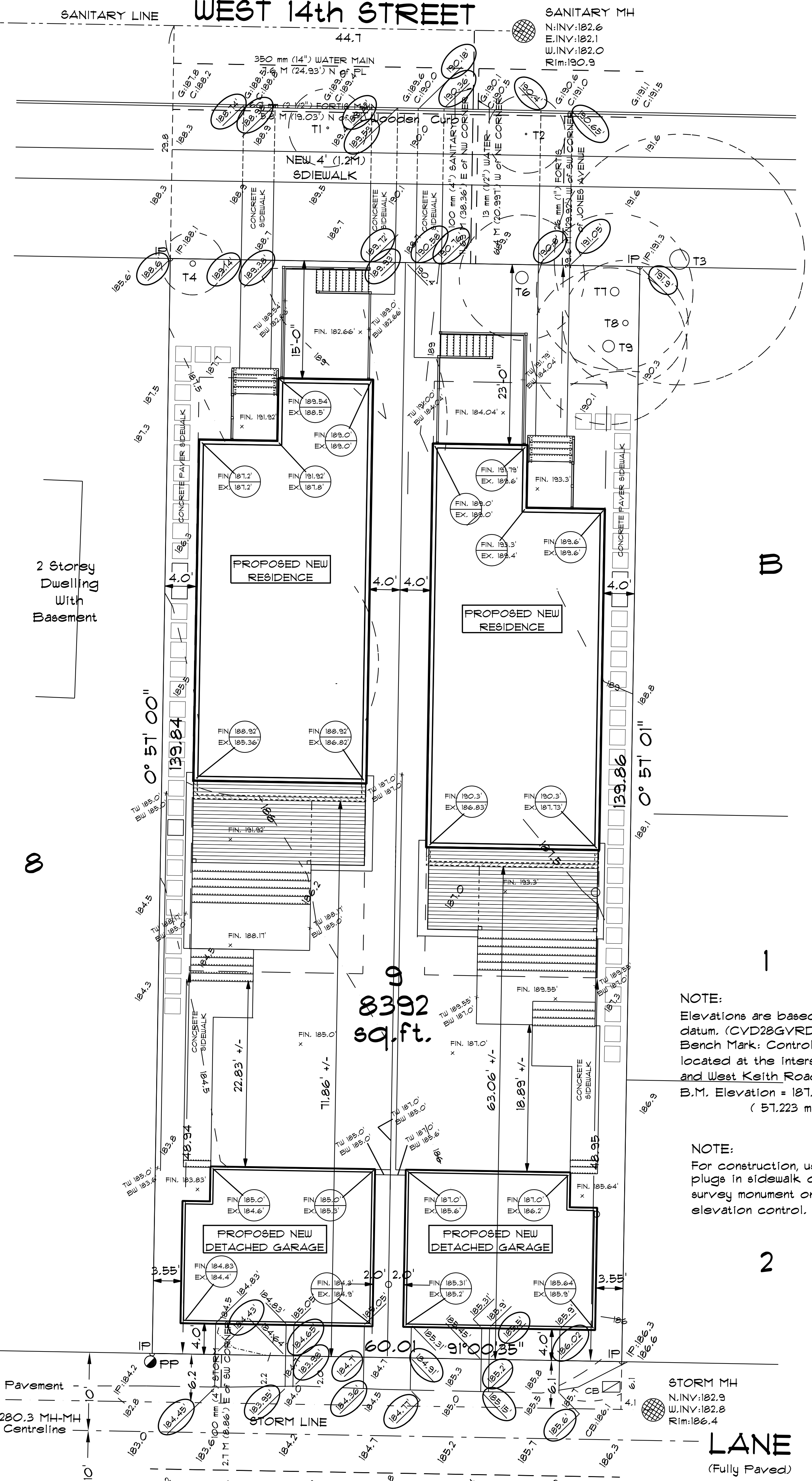
294.4 MH-MH  
 SANITARY MH  
 C.INV:167.8  
 Rim:173.5

WEST 14th STREET  
 SANITARY MH  
 N.INV:182.6  
 E.INV:182.1  
 W.INV:182.0  
 Rim:180.9

PLAN OF LOT 9 (EXPLANATORY PLAN 10075),  
 BLOCK 65, DISTRICT LOT 271, GROUP 1,  
 NEW WESTMINSTER DISTRICT, PLAN T50

- LEGEND:
- %%C denotes tree trunk diameter
  - Rhodo denotes rhododendron
  - T\* denotes tree table number
  - BE denotes approximate building envelope
  - Sq.ft. denotes square feet
  - C denotes top of curb
  - G denotes gutter
  - TS denotes top of steps
  - BS denotes bottom of steps
  - N. denotes north
  - E. denotes east
  - W. denotes west
  - C. denotes center
  - INV denotes invert
  - IP denotes iron post
  - MH denotes manhole
  - FH denotes fire hydrant
  - CB denotes catch basin
  - PP denotes power pole
  - BSMT denotes basement floor
  - ENT denotes entrance
  - RP denotes roof peak
  - SL denotes slab
  - EY denotes eavestrough
  - MF denotes main floor
  - 184.45' denotes interpolated grade

TREE NO.	DESCRIPTION	BASE ELEVATION
T1	Deciduous%%CO.25	189.6
T2	Deciduous%%CO.2	191.0
T3	Cedar%%C2.5	192.2
T4	Cedar cluster%%CO.1	188.1
T6	Rhodo. cluster of 3%%C1.6	189.8
T7	Cedar%%C1.1	190.2
T8	Laurel cluster%%CO.1	191.3
T9	Cedar%%C1.5	190.1



SITE DEVELOPMENT DATA

EXISTING ZONE: R8-1  
 PROPOSED ZONING: R8-2

LOT AREA: 8,392 SQUARE FEET  
 SUBDIVIDED AREAS: 4,196 SQUARE FEET

LOT COVERAGE:

PERMITTED: 1,258.5 SQUARE FEET (30%)  
 WEST LOT PROPOSED: 1,252.86 SQUARE FEET (30%)  
 EAST LOT PROPOSED: 1,252.86 SQUARE FEET (30%)

FLOOR SPACE RATIO:

PERMITTED: 2,098 SQUARE FEET (50%)  
 WEST LOT PROPOSED: 2,091 SQUARE FEET (50%)  
 EAST LOT PROPOSED: 2,091 SQUARE FEET (50%)

GARAGE:

AREA ALLOWED: 419.6 SQUARE FEET (10%)  
 WEST LOT AREA PROPOSED: 419.17 SQUARE FEET (10%)  
 WEST LOT GARBAGE & BIKE STORAGE: 54.4 SQUARE FEET  
 EAST LOT AREA PROPOSED: 419.17 SQUARE FEET (10%)  
 EAST LOT GARBAGE & BIKE STORAGE: 54.4 SQUARE FEET

ELEVATIONS:

WEST LOT:

TOP OF HANDRAIL.....217.66'  
 TOP OF UPPER FL. WALL.....213.02'  
 TOP OF UPPER FLOOR.....203.94'  
 TOP OF MAIN FLOOR.....192.42'  
 TOP OF LOWER FLOOR.....183.16'

EAST LOT:

TOP OF HANDRAIL.....219.04'  
 TOP OF UPPER FL. WALL.....214.4'  
 UPPER FLOOR.....205.32'  
 MAIN FLOOR.....193.8'  
 LOWER FLOOR.....184.54'

GARAGE:

WEST LOT:

TOP OF ROOF.....194.41'  
 TOP OF WALL.....193.3'  
 TOP OF SLAB.....184.3'  
 TOP OF SLAB.....183.83'

EAST LOT:

TOP OF ROOF.....195.81'  
 TOP OF WALL.....194.64'  
 TOP OF SLAB.....185.64'  
 TOP OF SLAB.....185.3'

NOTE:  
 Elevations are based on geodetic datum. (CVD28GVRD2018)  
 Bench Mark: Control Monument 87H3680 located at the intersection of Jones Avenue and West Keith Road in west traffic island.  
 B.M. Elevation = 187.14 feet (57.223 metres)

NOTE:  
 For construction, use lead plugs in sidewalk or City survey monument only, for elevation control.

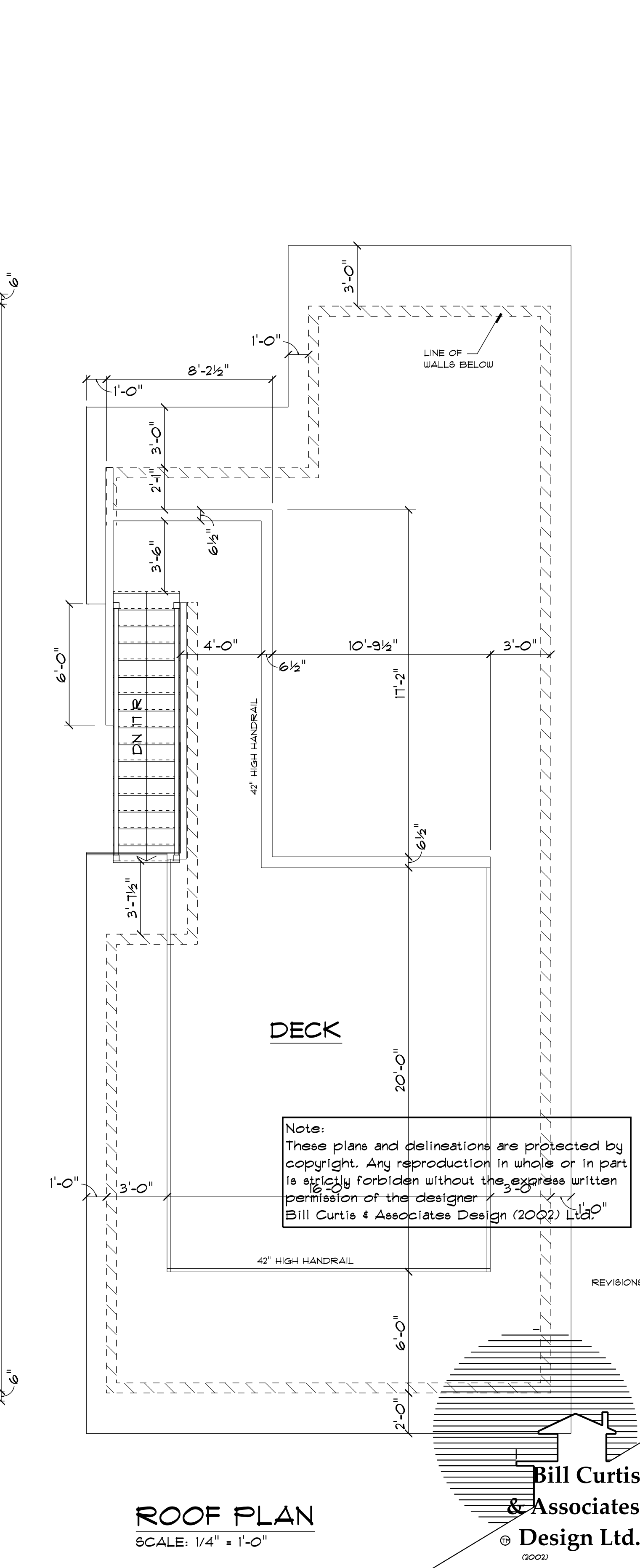
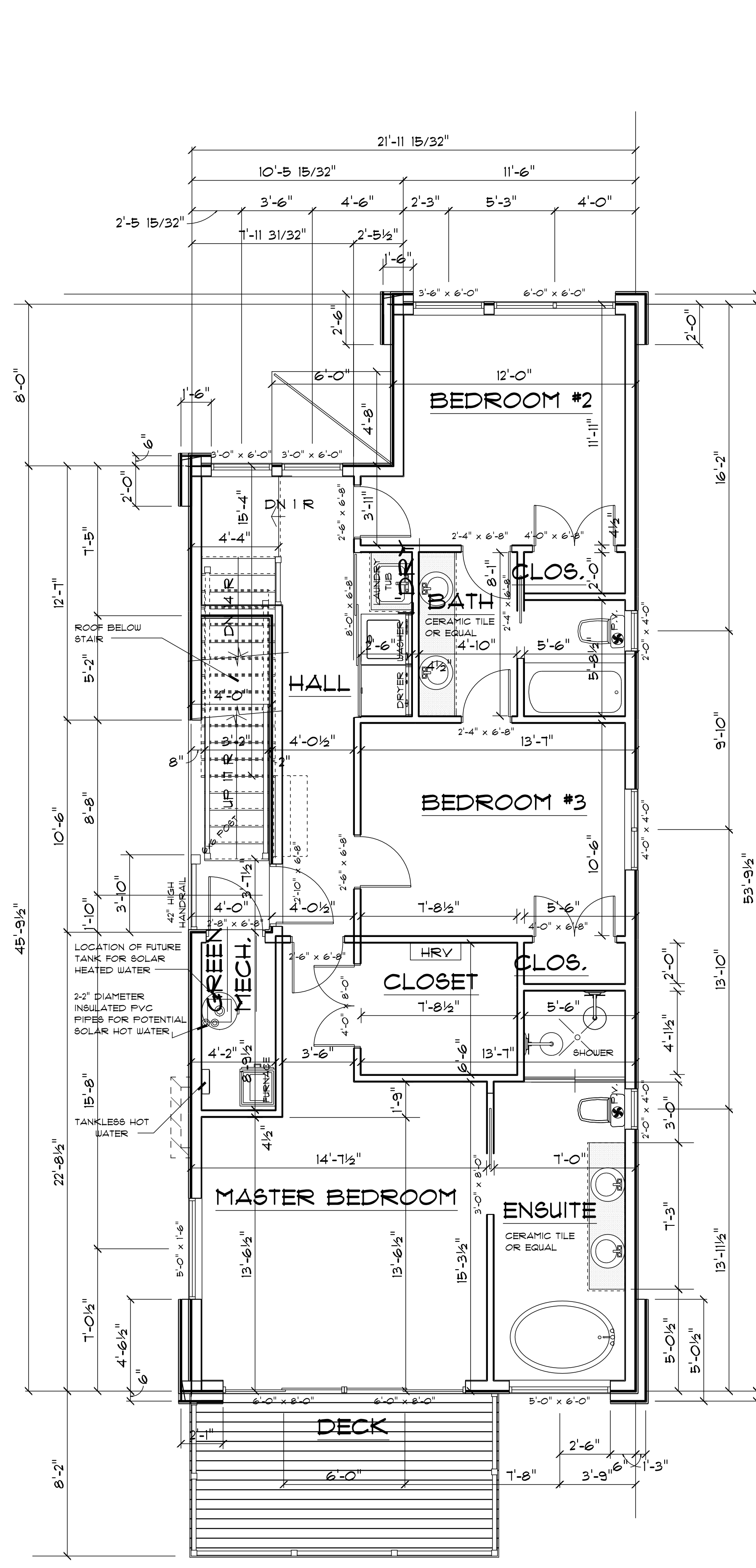
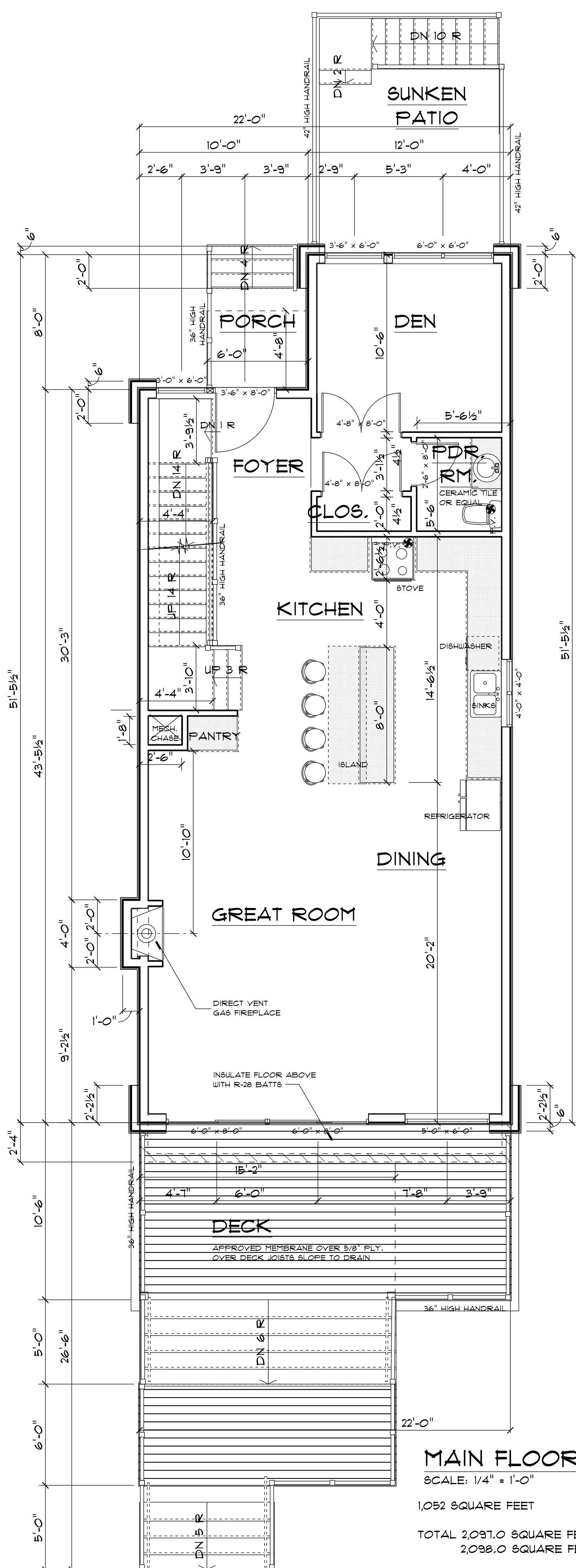
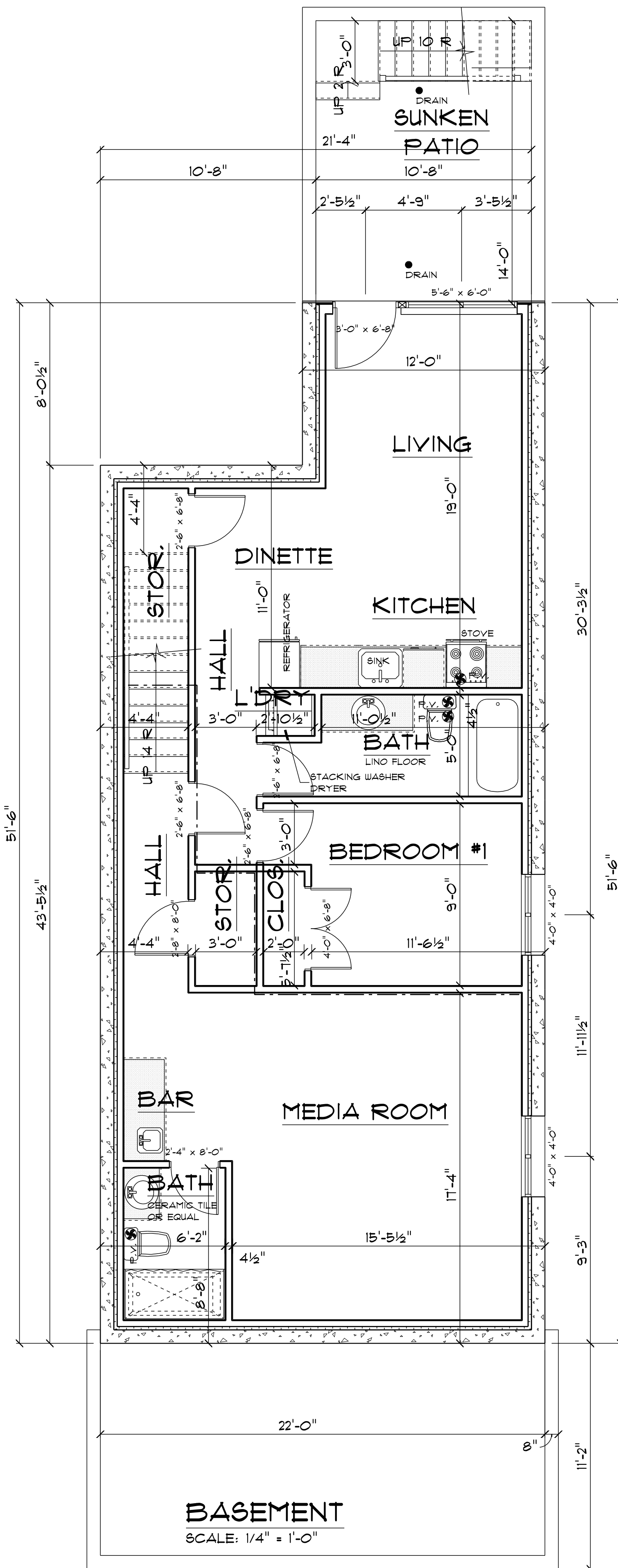
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 Email: wong\_associates@shawbiz.ca  
 220551 FB981 P10-T1  
 R-6913 R-2088  
 Drawn by: AD

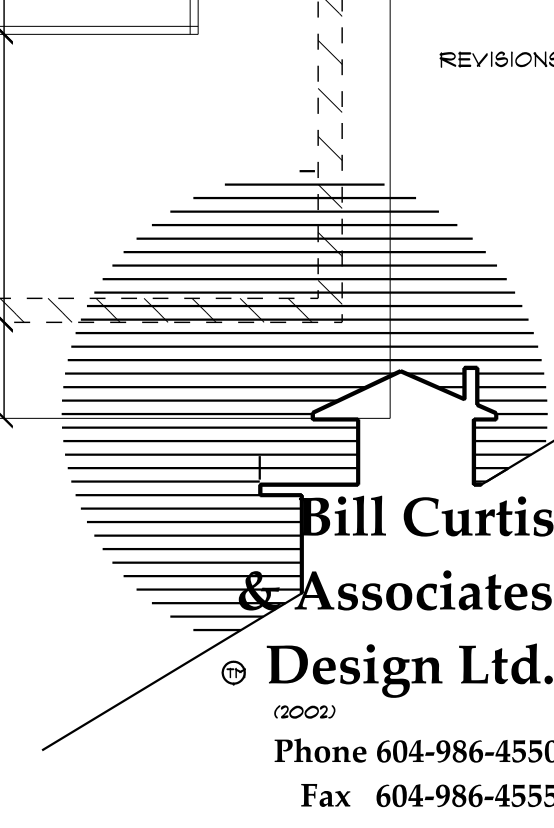
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 North Vancouver, BC V7M 3M6

Drawing: SITE PLAN  
 Drawn By: B.C. Date: JAN. 2023  
 Scale: 1/8" = 1'-0"  
 Project: AHMADI REZONING OF 417 WEST 14th STREET NORTH VANCOUVER

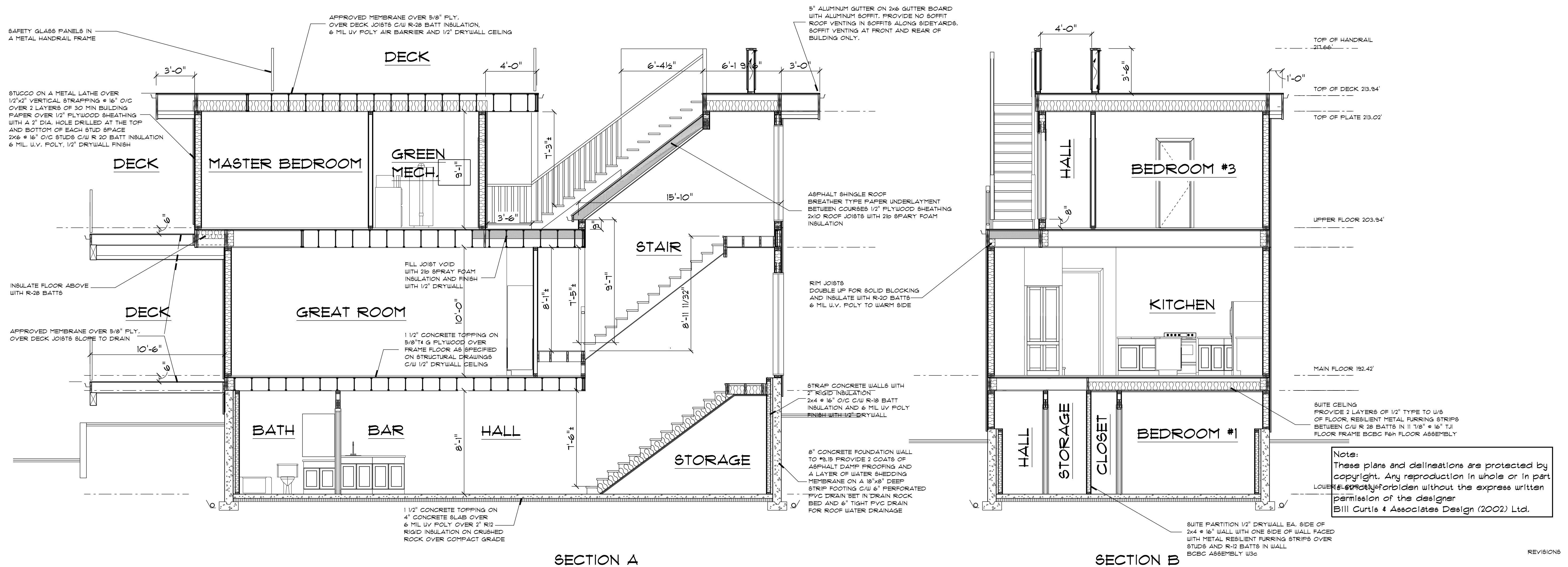


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**WEST LOT**  
Drawing **FLOOR PLANS**  
Drawn By B.C. Date JAN. 2023  
Scale 1/4" = 1'-0"  
Project **AHMADI REZONING OF 417 WEST 14th STREET NORTH VANCOUVER**





SECTION A

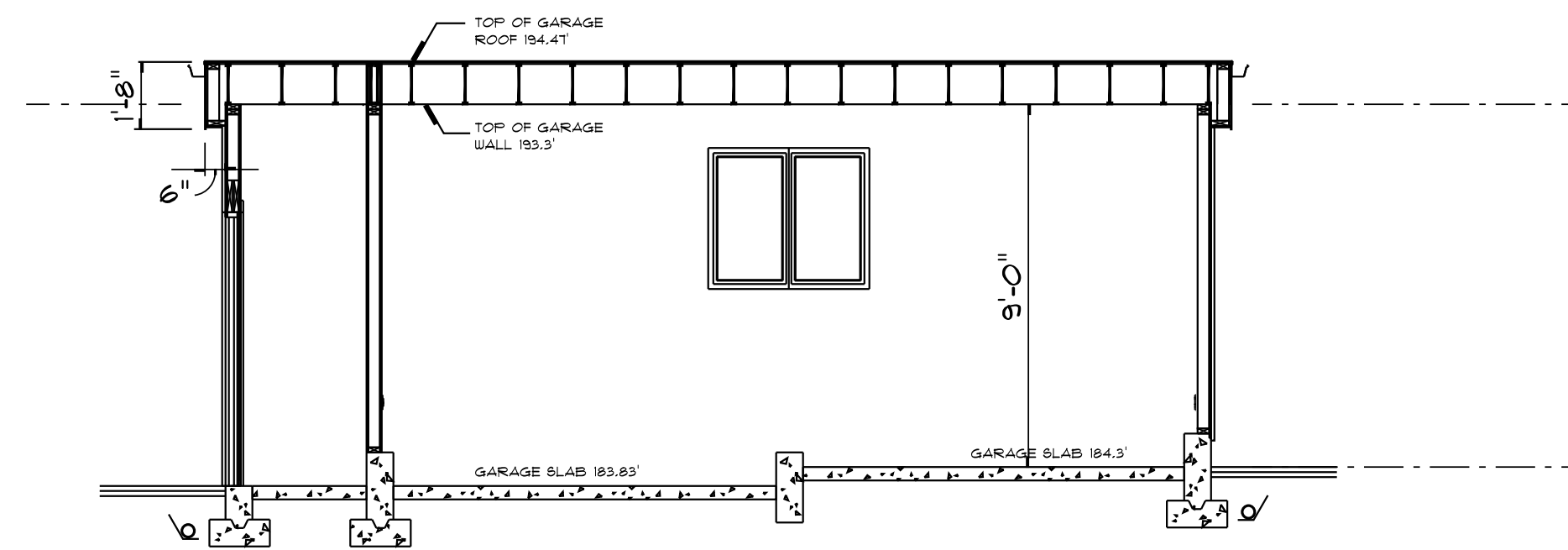
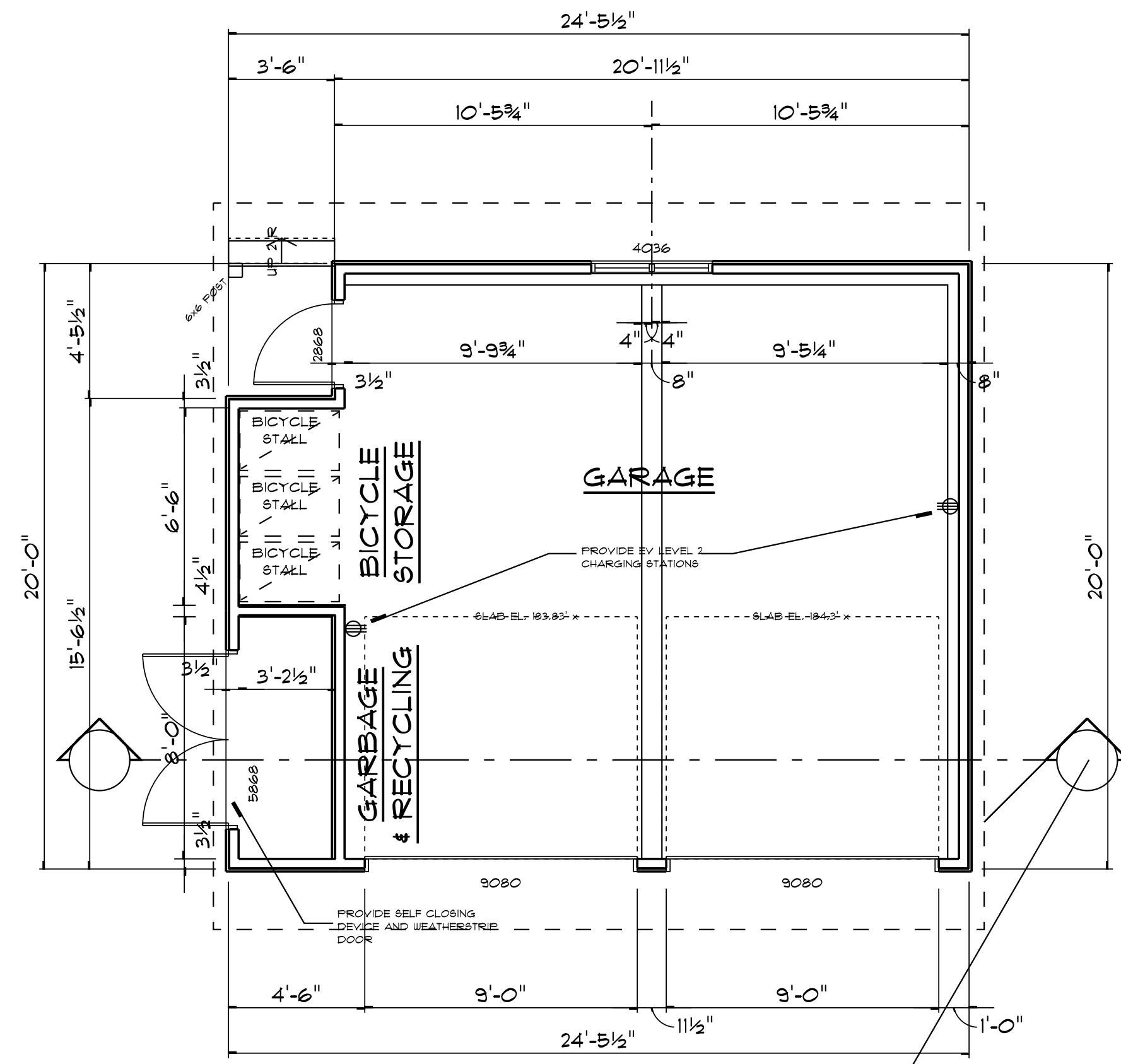
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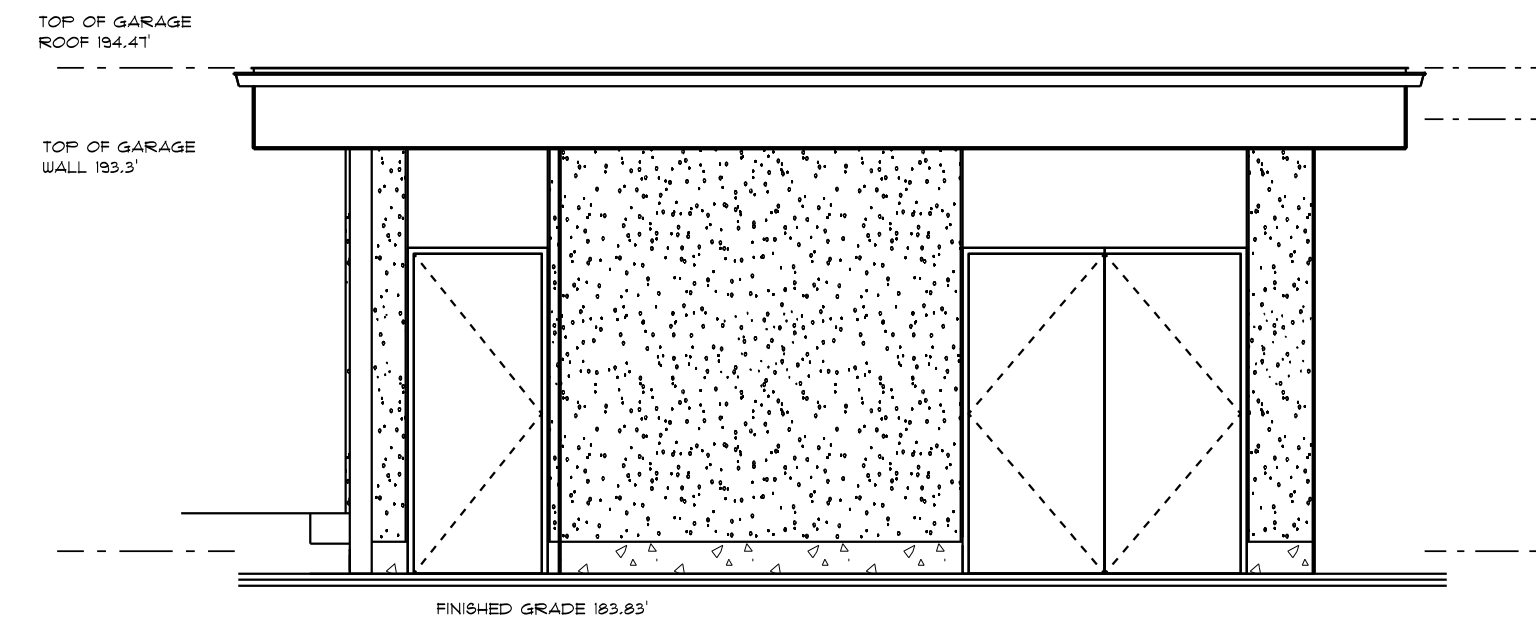


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**WEST LOT**  
 Drawing **SECTIONS**  
 Drawn By B.C. Date JAN. 2023  
 Scale 1/4" = 1'-0"  
 Project  
 AHMADI REZONING OF  
 417 WEST 14th STREET  
 NORTH VANCOUVER

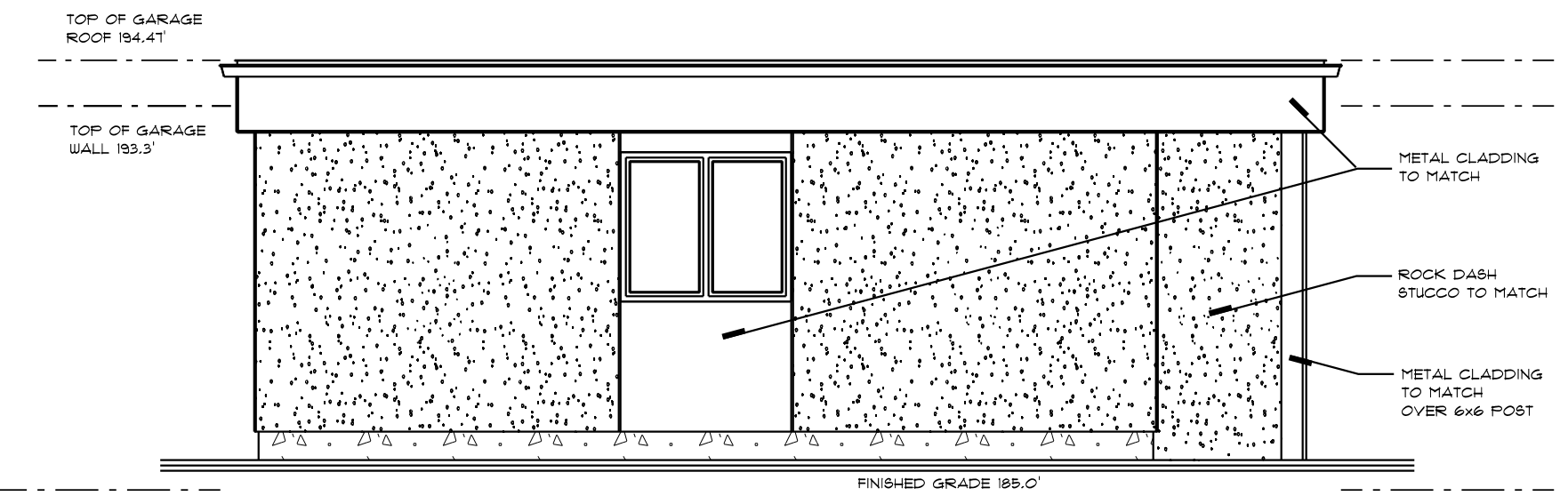
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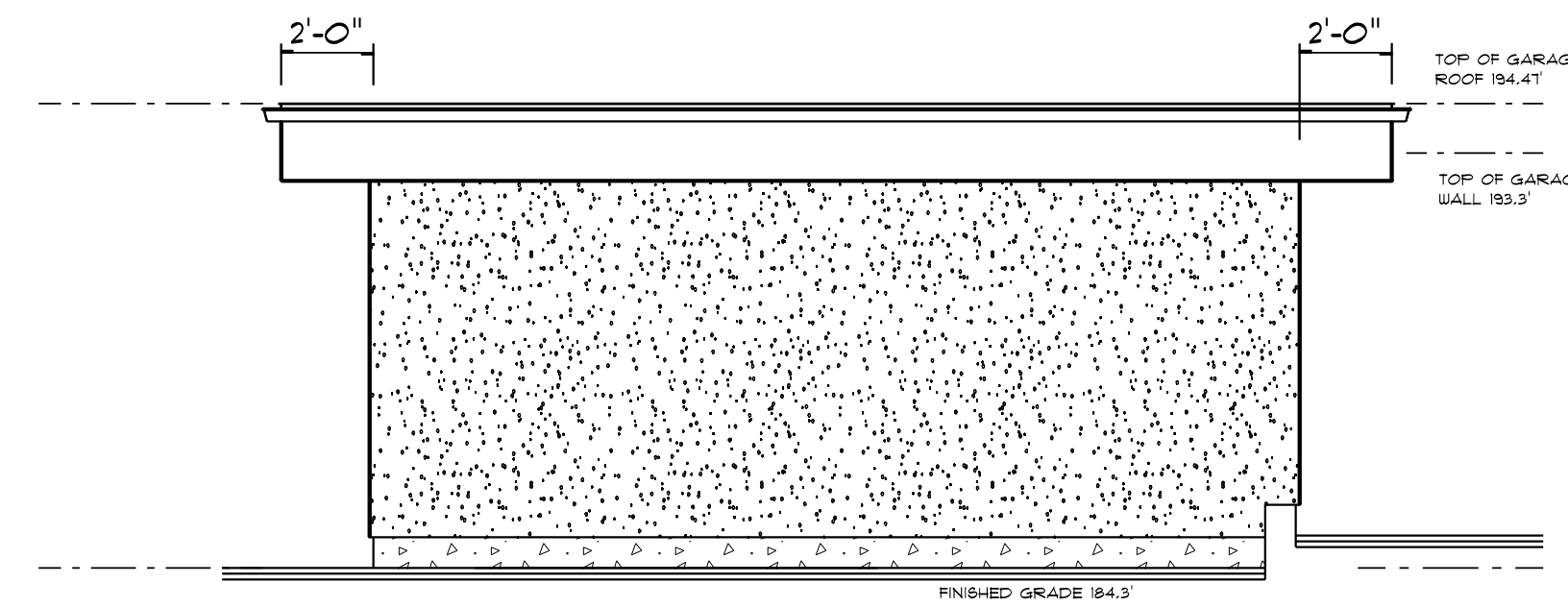
**GARAGE PLAN 2**  
SCALE: 1/4" = 1'-0"



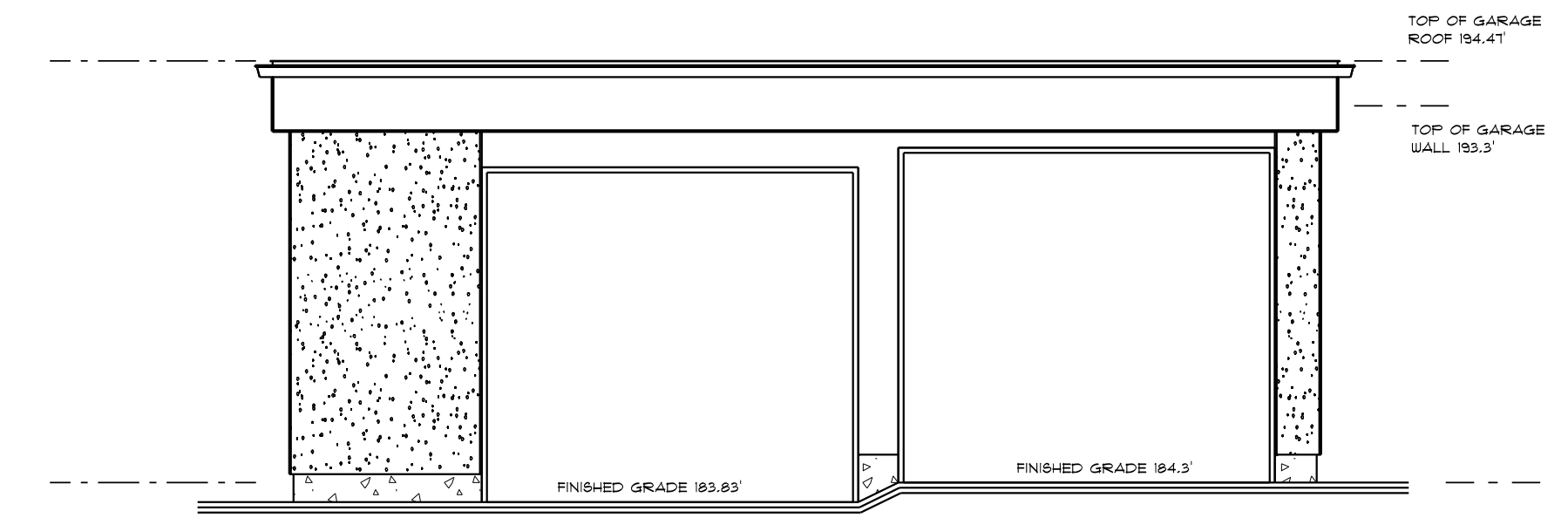
**GARAGE WEST ELEVATION**



**GARAGE NORTH ELEVATION**



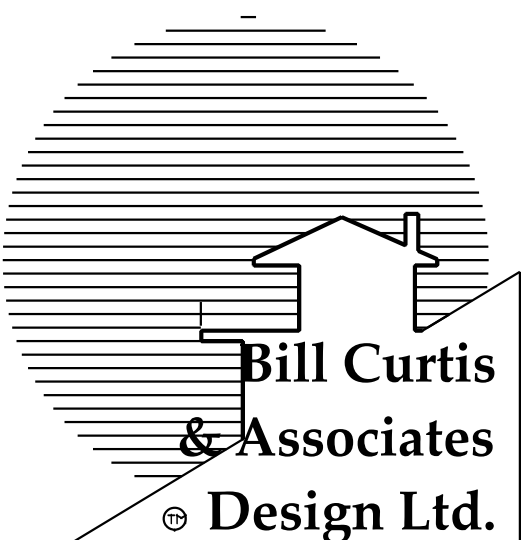
**GARAGE EAST ELEVATION**



**GARAGE SOUTH ELEVATION**

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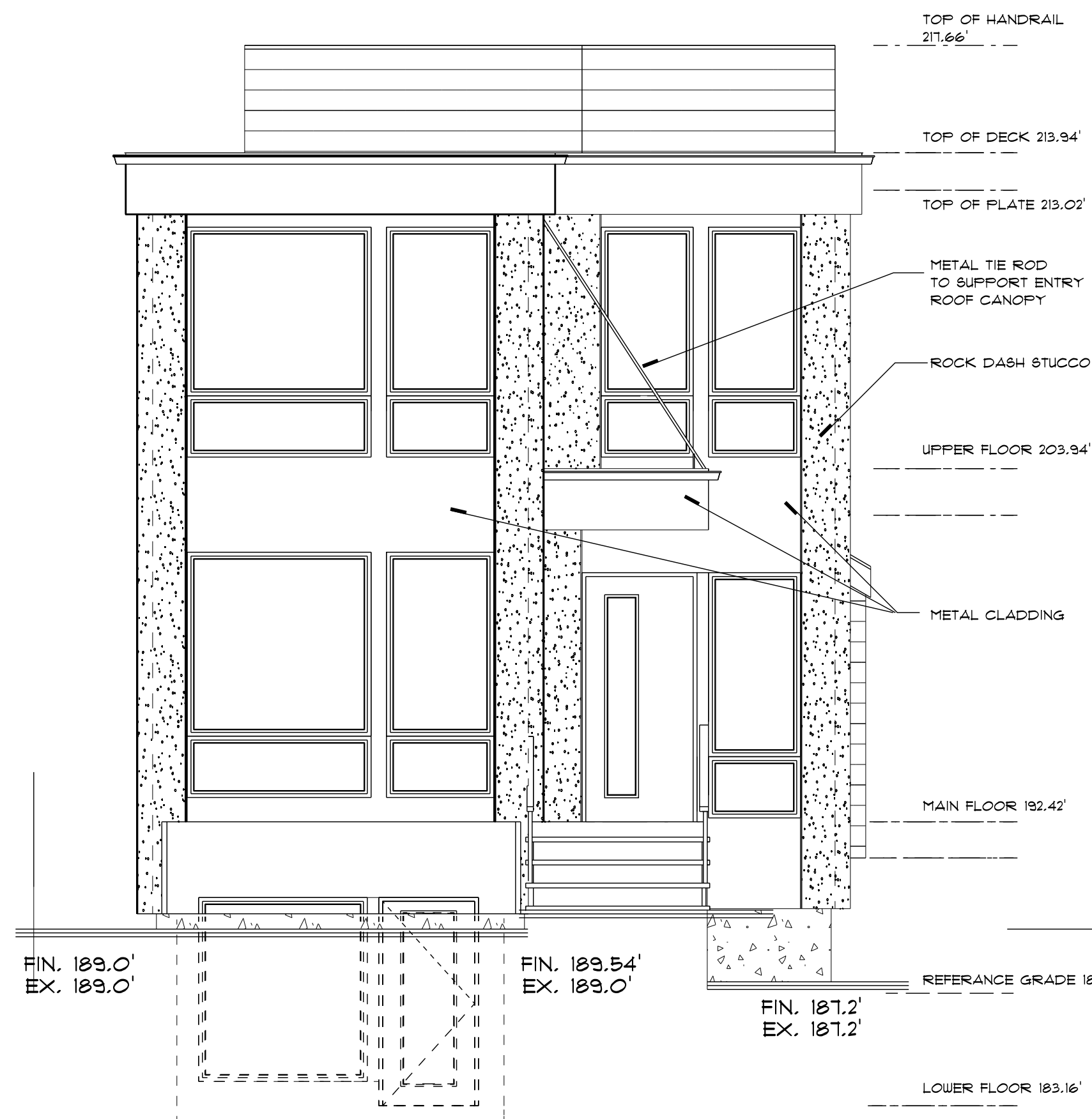
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WEST LOT  
**GARAGE PLANS**

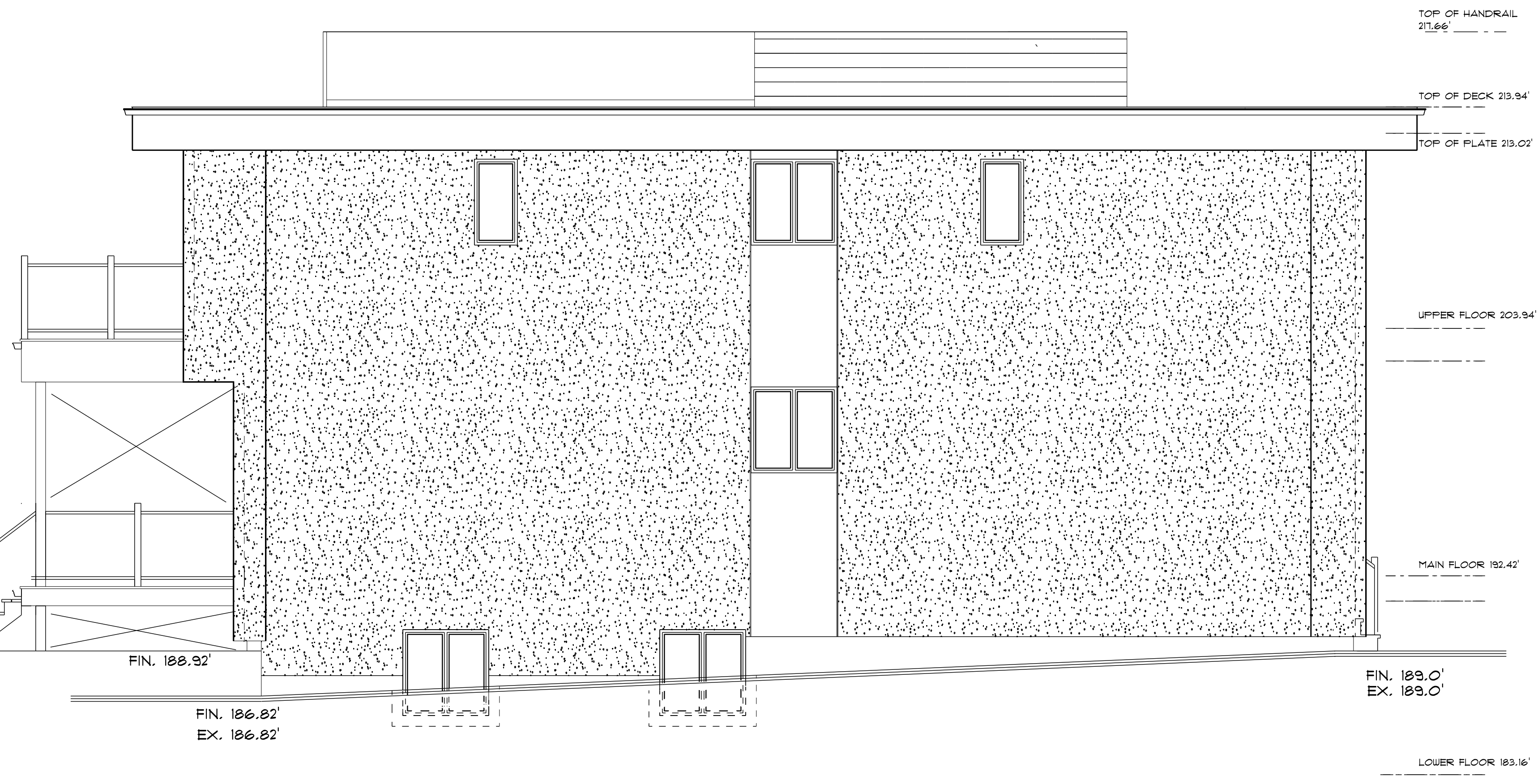
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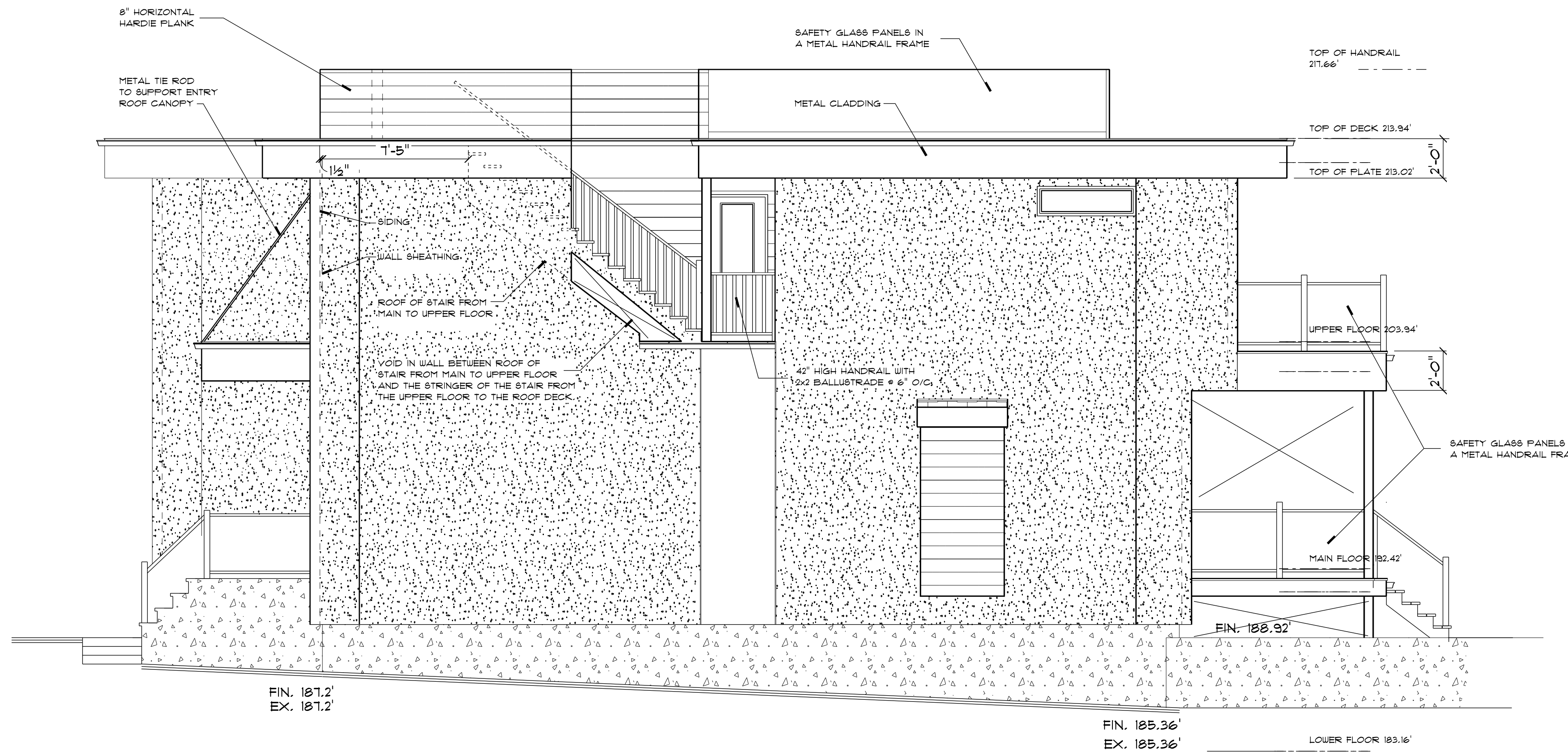
Project  
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417 WEST 14th STREET  
NORTH VANCOUVER



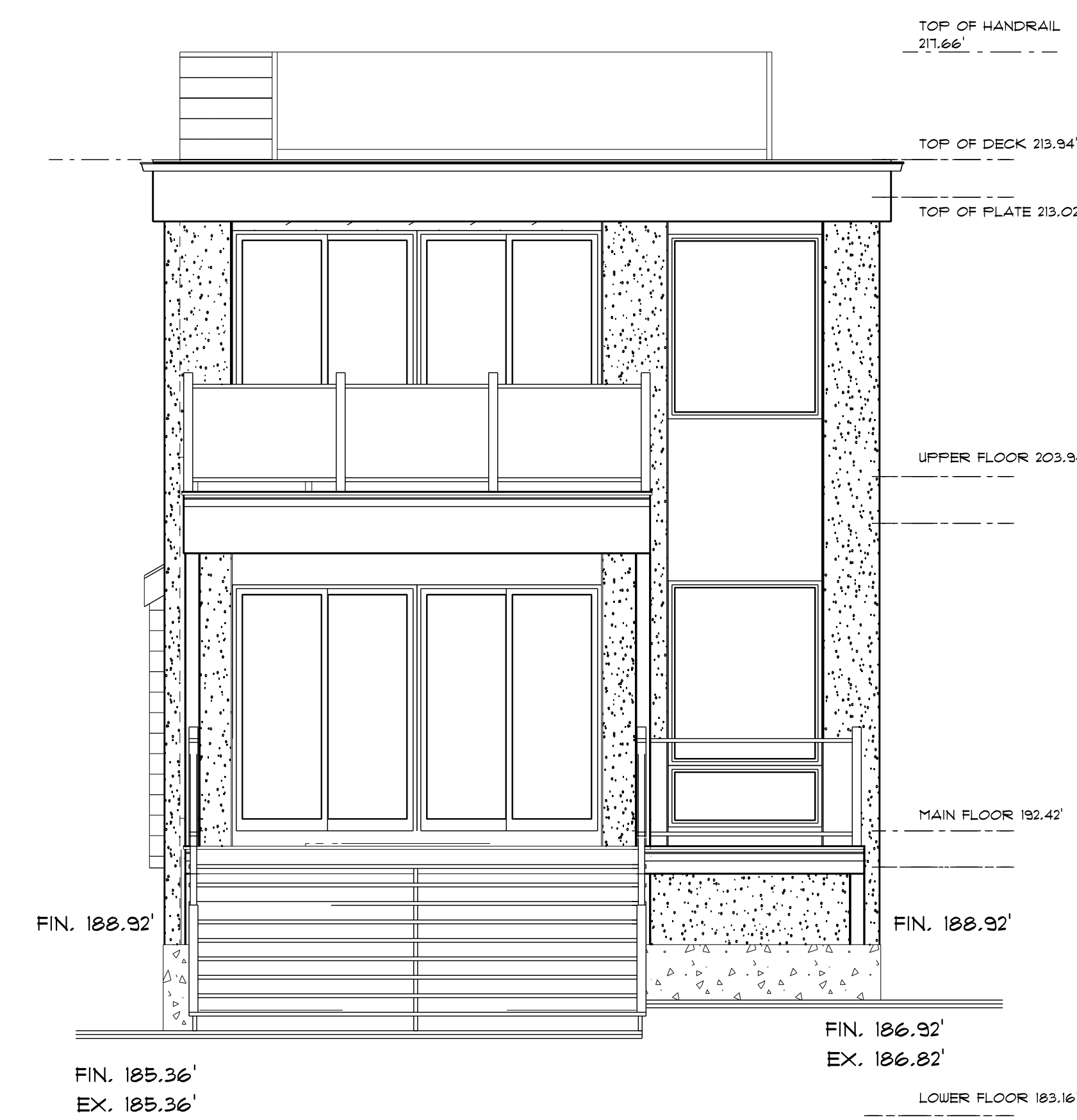
**NORTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**



**SOUTH ELEVATION**

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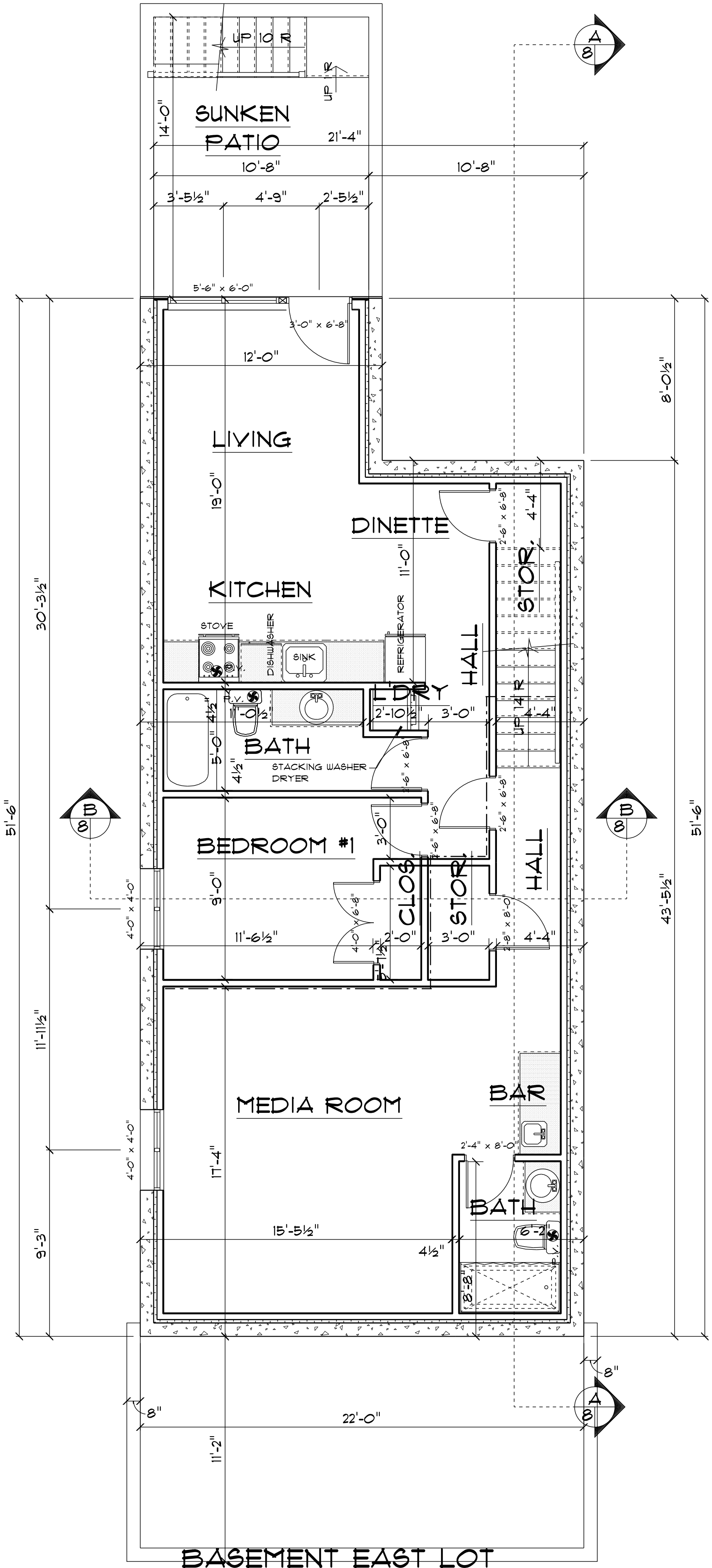
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**WEST LOT**  
**ELEVATIONS**

Drawing  
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 Scale 1/4" = 1'-0"

Project  
 AHMADI REZONING OF  
 417 WEST 14th STREET  
 NORTH VANCOUVER

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**BASEMENT EAST LOT**

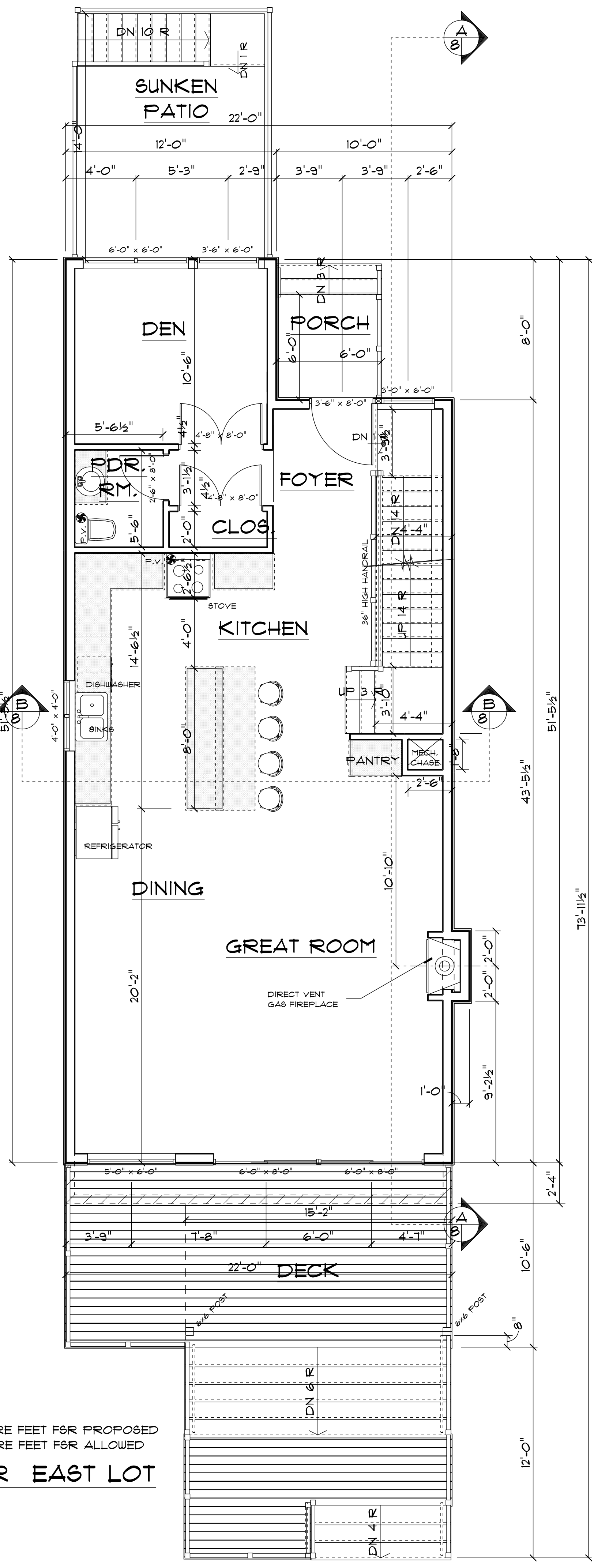
SCALE: 1/4" = 1'-0"  
 1,052 SQUARE FEET  
 576 SQUARE FOOT SUITE  
 476 SQUARE FEET BASEMENT

1,052 SQUARE FEET

TOTAL 2,097.0 SQUARE FEET FOR PROPOSED  
 2,098.0 SQUARE FEET FOR ALLOWED

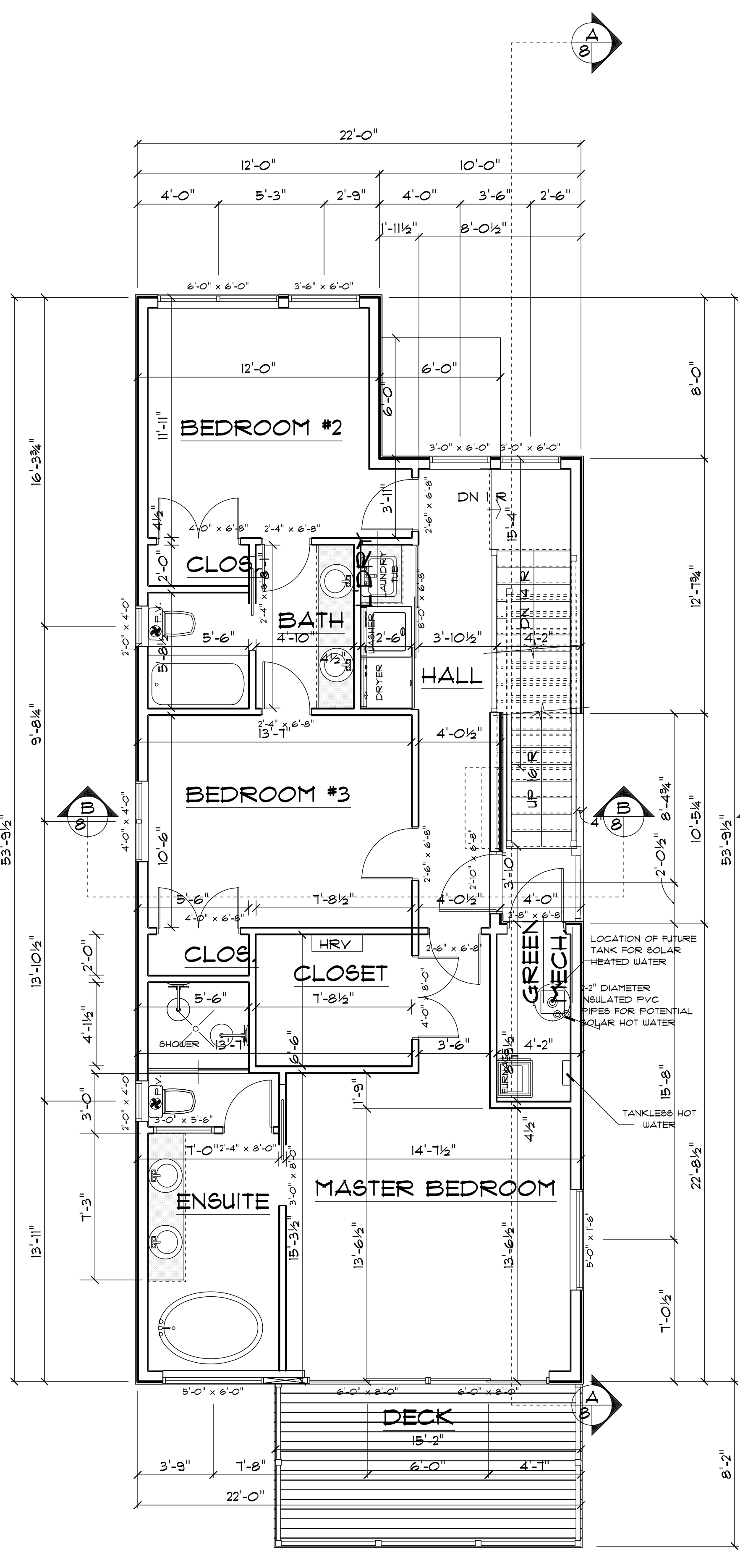
**MAIN FLOOR EAST LOT**

SCALE: 1/4" = 1'-0"

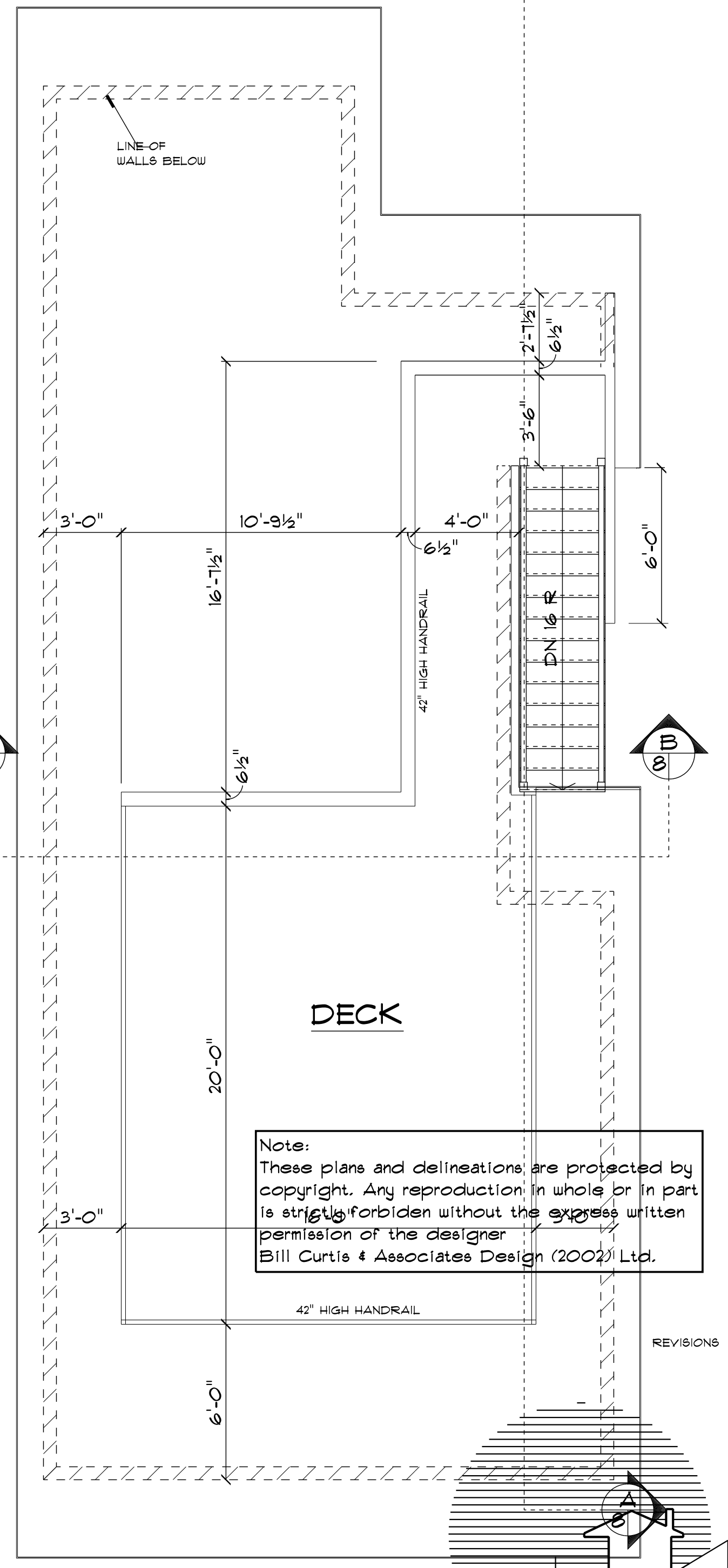


**UPPER FLOOR EAST LOT**

SCALE: 1/4" = 1'-0"



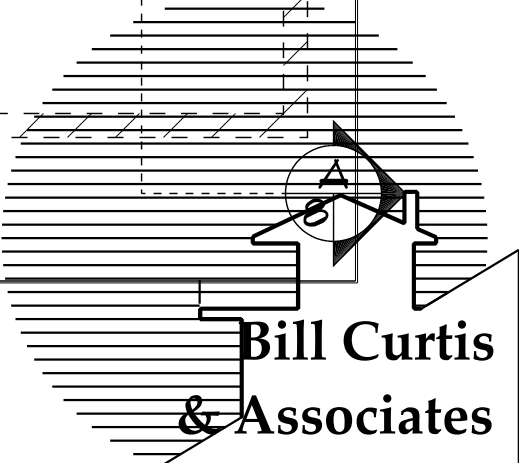
1,088 SQUARE FEET  
 - 43 SF GREEN ROOM  
 = 1,045 SQUARE FEET



**ROOF PLAN EAST LOT**

SCALE: 1/4" = 1'-0"

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**EAST LOT FLOOR PLANS**

Drawing  
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 Scale 1/4" = 1'-0"

Project  
 AHMADI REZONING OF  
 417 WEST 14th STREET  
 NORTH VANCOUVER





5" ALUMINUM GUTTER ON 2x6 GUTTER BOARD WITH ALUMINUM SOFFIT. PROVIDE NO SOFFIT ROOF VENTING IN SOFFITS ALONG SIDEYARDS. SOFFIT VENTING AT FRONT AND REAR OF BUILDING ONLY.

ASPHALT SHINGLE ROOF BREATHER TYPE PAPER UNDERLAYMENT BETWEEN COURSES 1/2" PLYWOOD SHEATHING 2x10 ROOF JOISTS WITH 2lb SPARY FOAM INSULATION

STUCCO ON A METAL LATHE OVER 1/2"x2" VERTICAL STRAPPING # 16' O/C OVER 2 LAYERS OF 30 MIN BUILDING PAPER OVER 1/2" PLYWOOD SHEATHING WITH A 2" DIA. HOLE DRILLED AT THE TOP AND BOTTOM OF EACH STUD SPACE 2x6 # 16' O/C STUDS C/W R-20 BATT INSULATION & MIL U.V. POLY, 1/2" DRYWALL FINISH

STRAP CONCRETE WALLS WITH 2" RIGID INSULATION 2x4 # 16' O/C C/W R-10 BATT INSULATION AND 6 MIL U.V. POLY FINISH WITH 1/2" DRYWALL

8" CONCRETE FOUNDATION WALL TO #318 PROVIDE 2 COATS OF ASPHALT DAMP PROOFING AND A LAYER OF WATER SHEDDING MEMBRANE ON A 18"x8" DEEP STRIP FOOTING C/W 6" PERFORATED PVC DRAIN SET IN DRAIN ROCK BED AND 6" TIGHT PVC DRAIN FOR ROOF WATER DRAINAGE

APPROVED MEMBRANE OVER 5/8" FLY. OVER DECK JOISTS C/W R-20 BATT INSULATION, 6 MIL U.V. POLY AIR BARRIER AND 1/2" DRYWALL CEILING

SAFETY GLASS PANELS IN A METAL HANDRAIL FRAME

RIM JOISTS DOUBLE UP FOR SOLID BLOCKING AND INSULATE WITH R-20 BATT & MIL U.V. POLY TO WARM SIDE

INSULATE FLOOR ABOVE WITH R-20 BATT

APPROVED MEMBRANE OVER 5/8" FLY. OVER DECK JOISTS SLOPE TO DRAIN

SUITE CEILING PROVIDE 2 LAYERS OF 1/2" TYPE TO U/S OF FLOOR. RESILIENT METAL FURRING STRIPS BETWEEN C/W R-20 BATT IN 11" TYP. # 16' T/J FLOOR FRAME BCBC FOR FLOOR ASSEMBLY

SUITE PARTITION 1/2" DRYWALL EA. SIDE OF 2x4 # 16' WALL WITH ONE SIDE OF WALL FACED WITH METAL RESILIENT FURRING STRIPS OVER STUDS AND R-12 BATT IN WALL BCBC ASSEMBLY U/S

SECTION A

SECTION B

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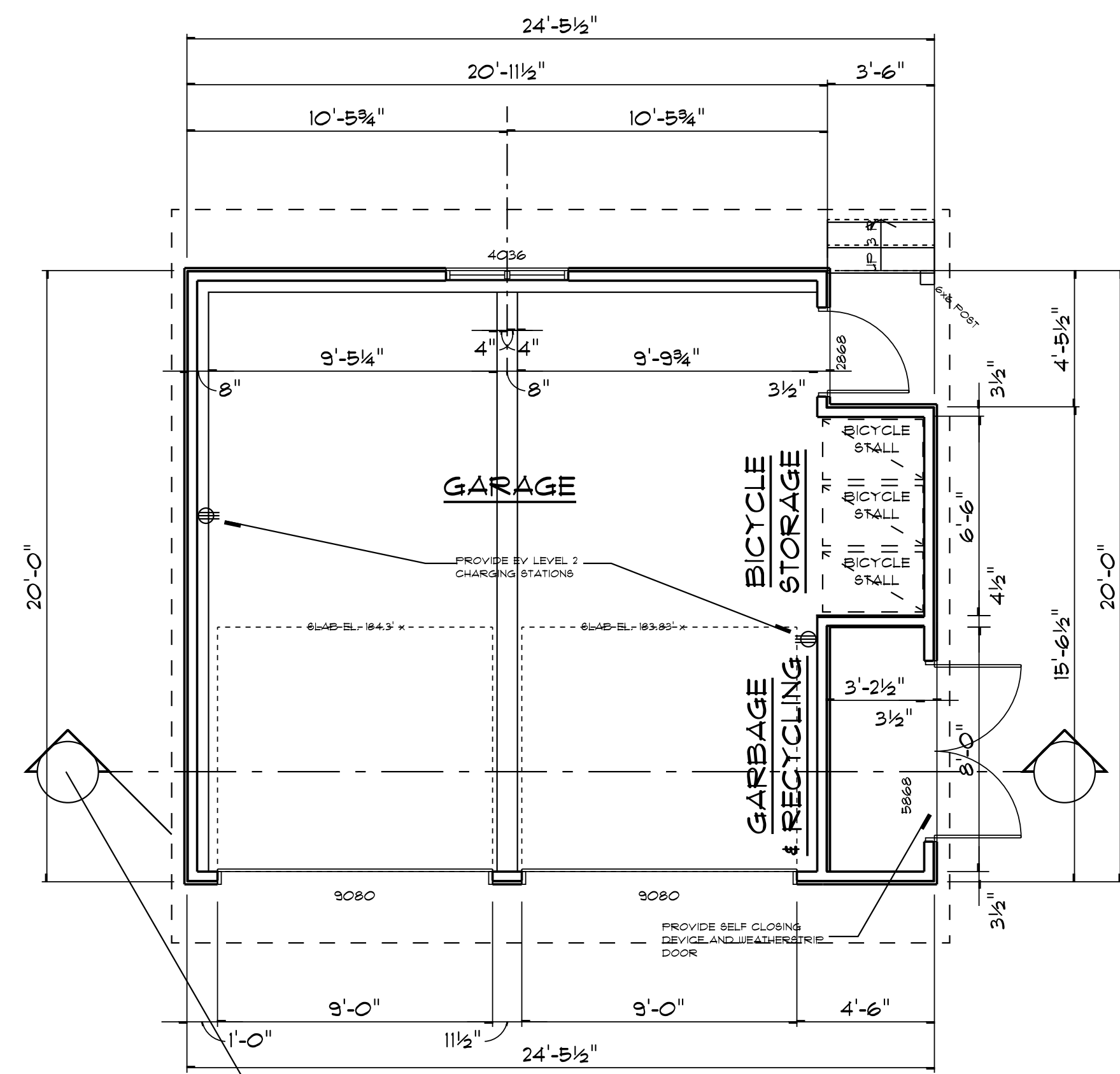


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**417 WEST 14th STREET**  
**NORTH VANCOUVER**

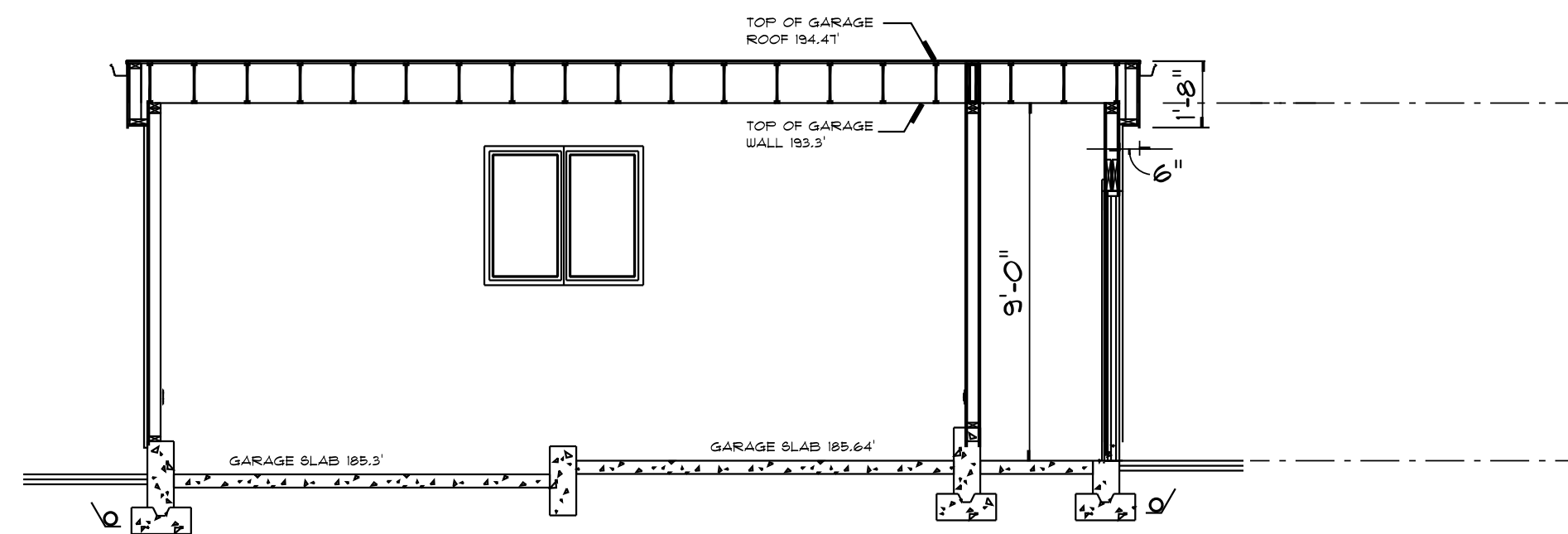
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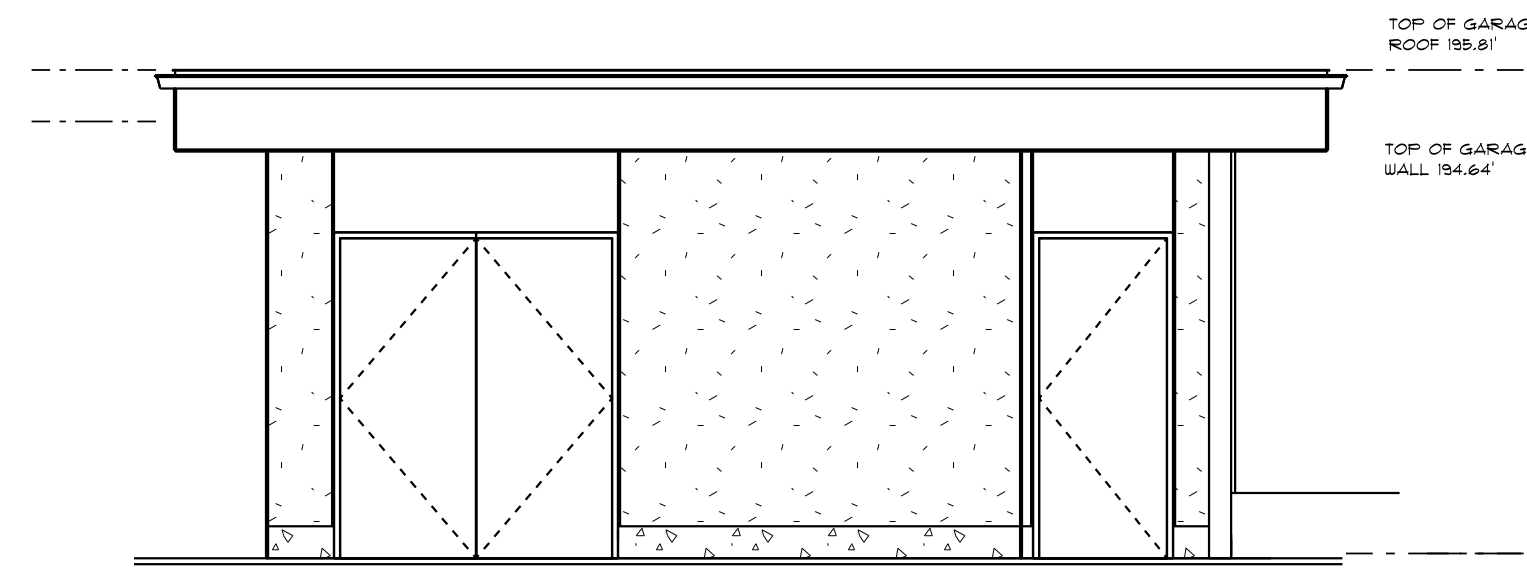


**GARAGE PLAN**

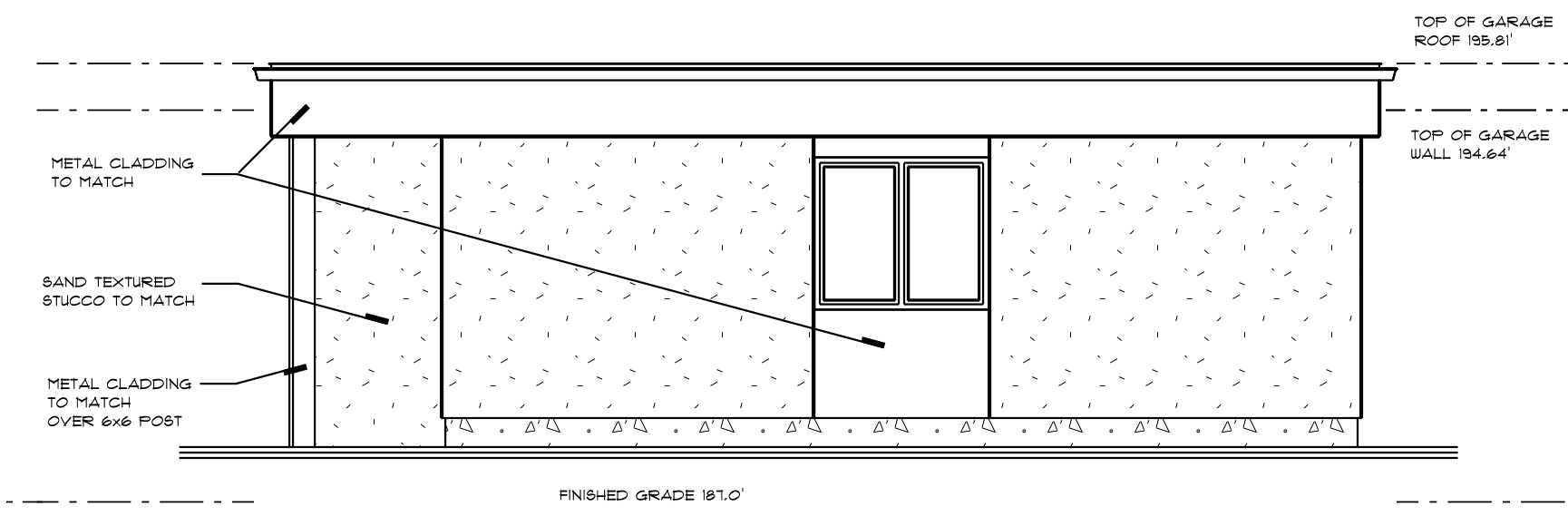
415.11 SQUARE FEET  
PLUS 24.4 SQUARE FEET OF  
BICYCLE & GARBAGE STORAGE



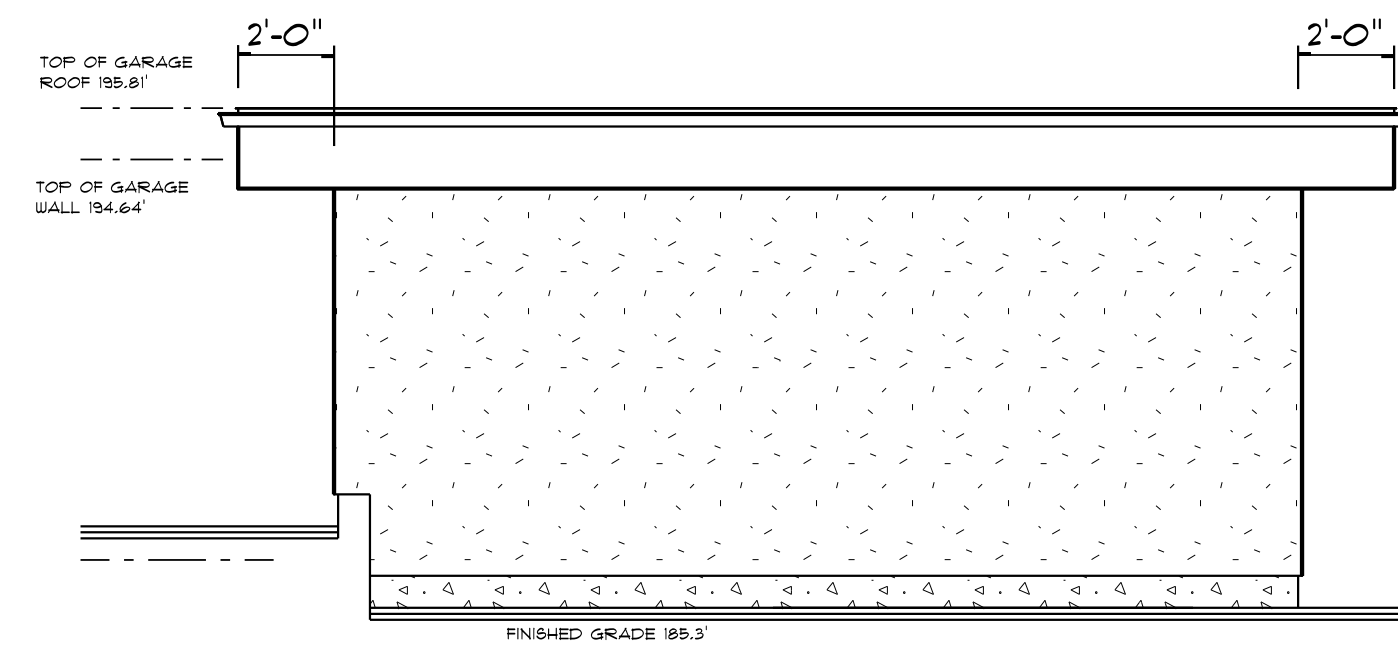
**GARAGE SECTION**



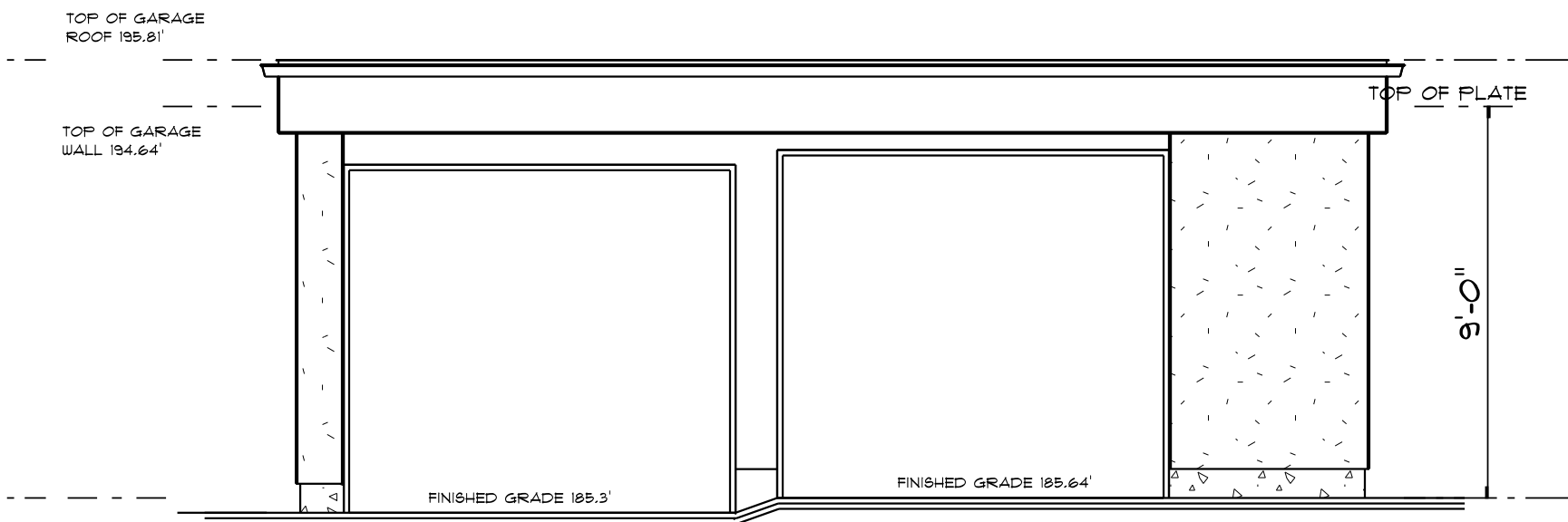
**GARAGE WEST ELEVATION**



**GARAGE NORTH ELEVATION**



**GARAGE EAST ELEVATION**



**GARAGE SOUTH ELEVATION**

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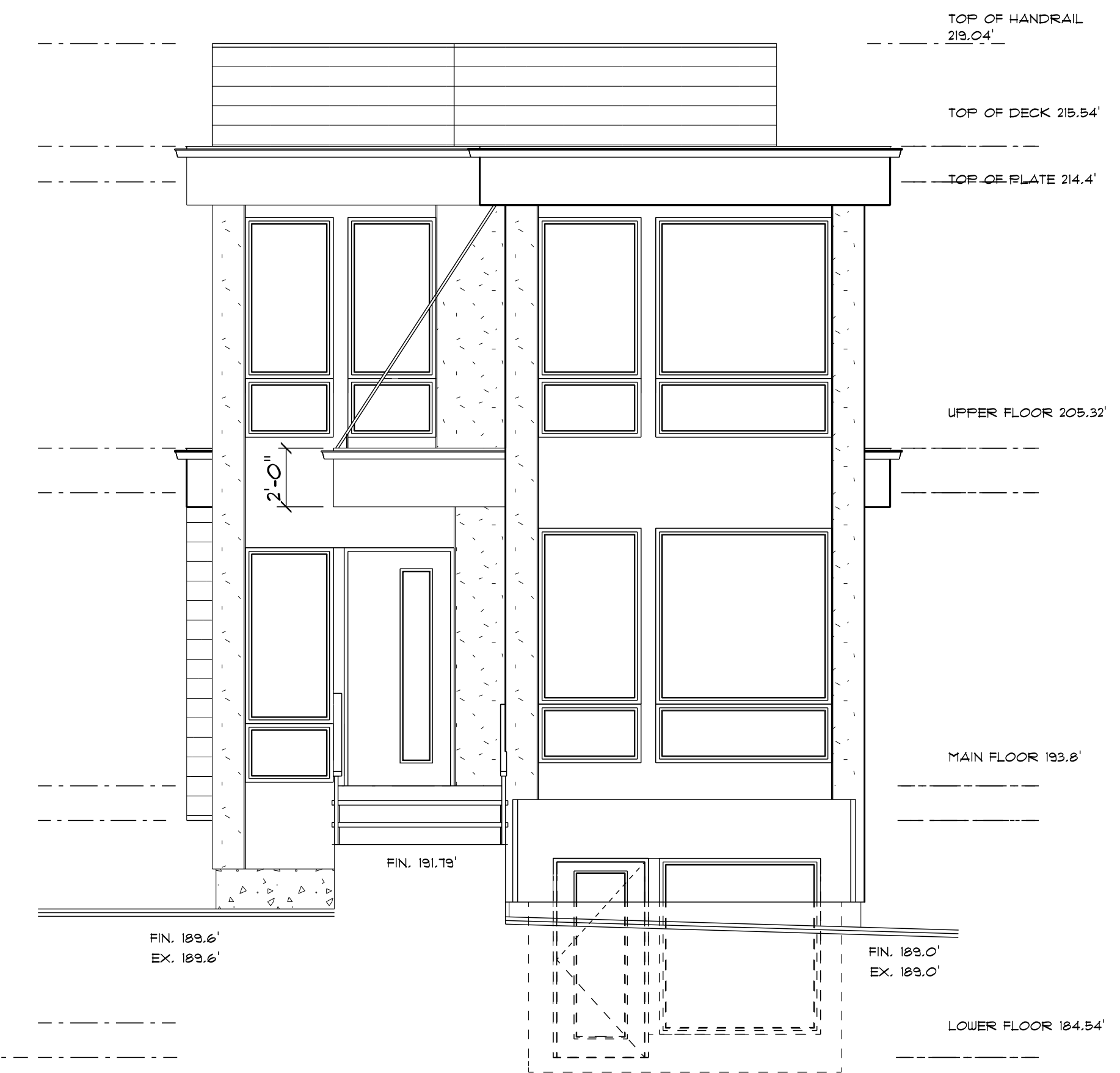
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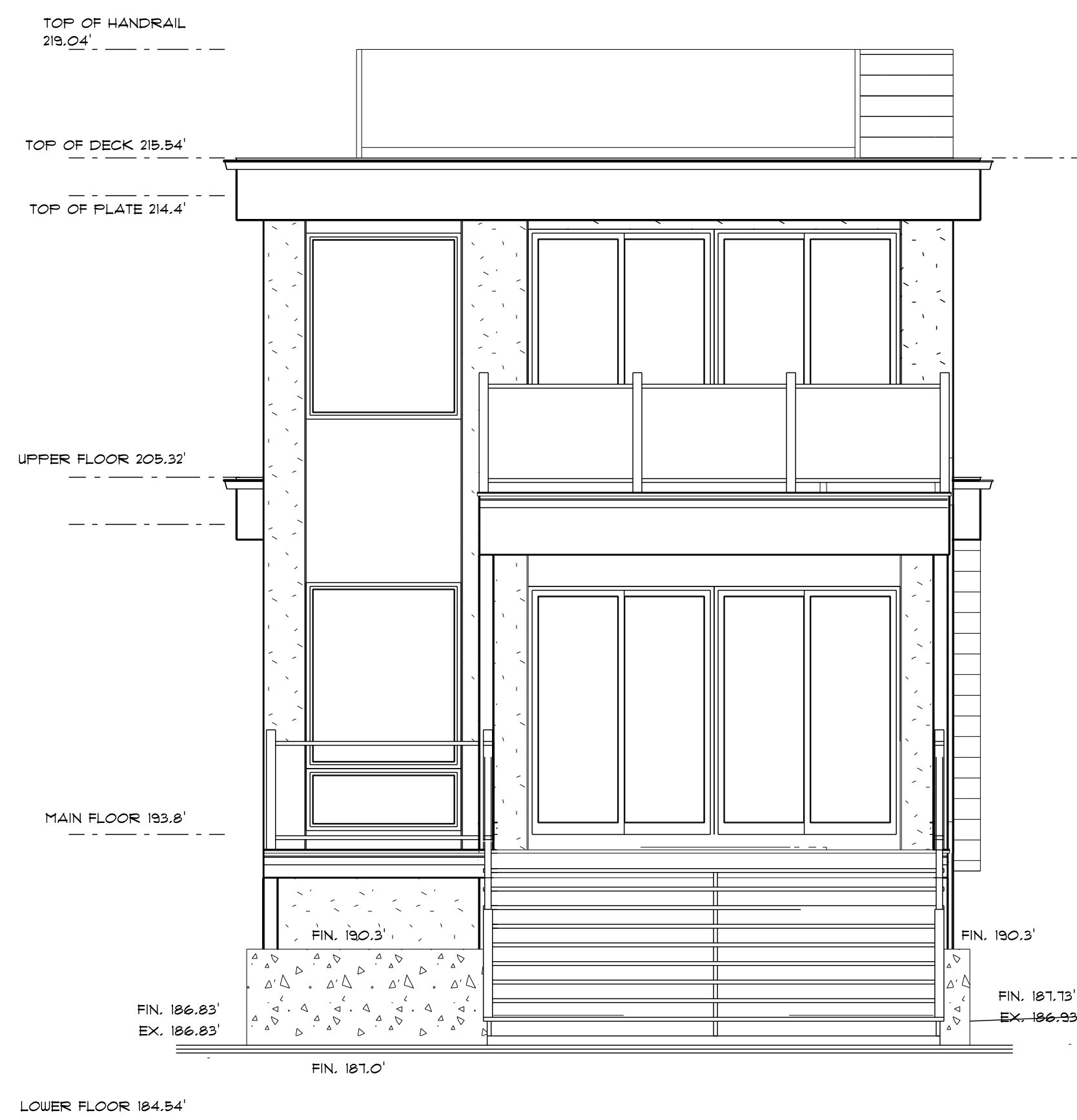
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**EAST LOT**  
Drawing **GARAGE PLANS**  
Drawn By B.C. Date JAN. 2023  
Scale 1/4" = 1'-0"  
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AHMADI REZONING OF  
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NORTH VANCOUVER



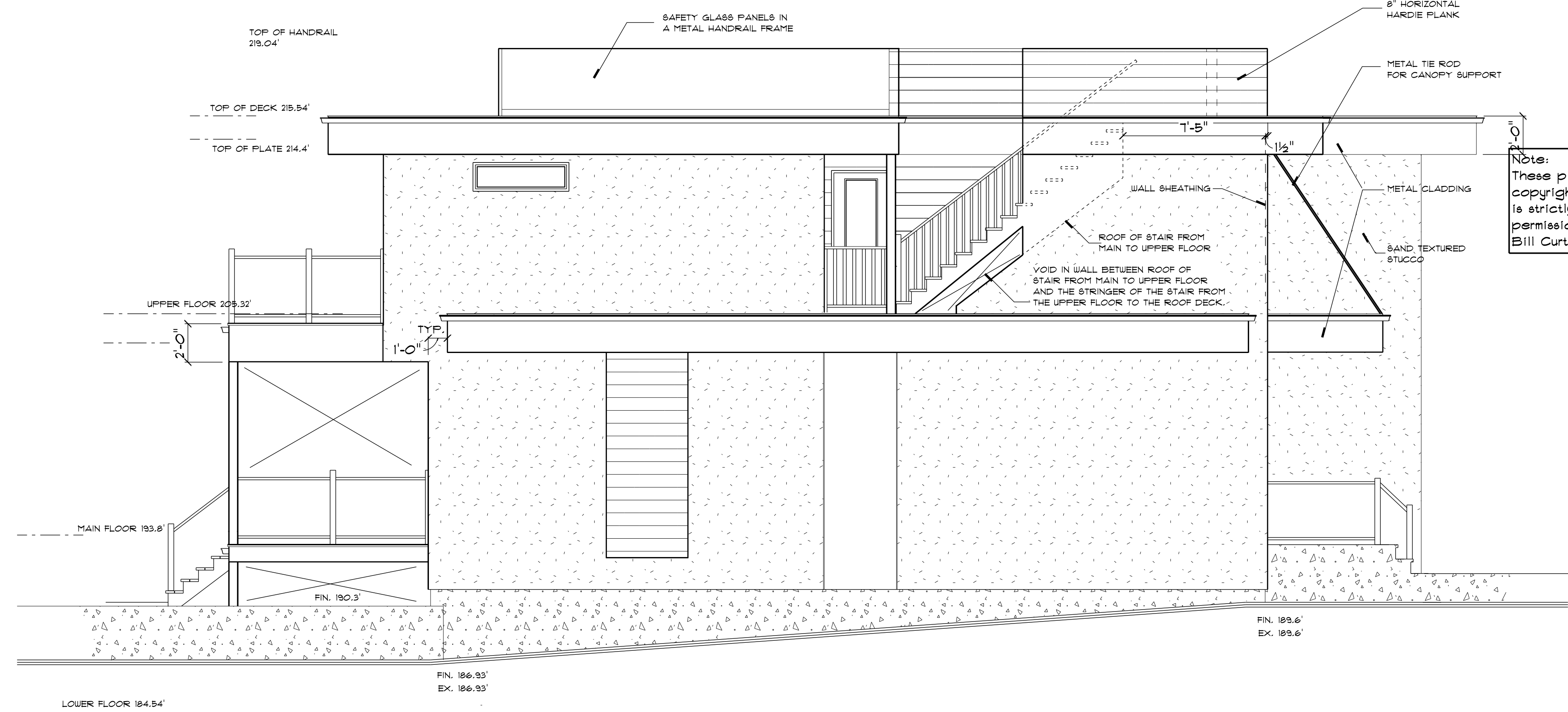
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

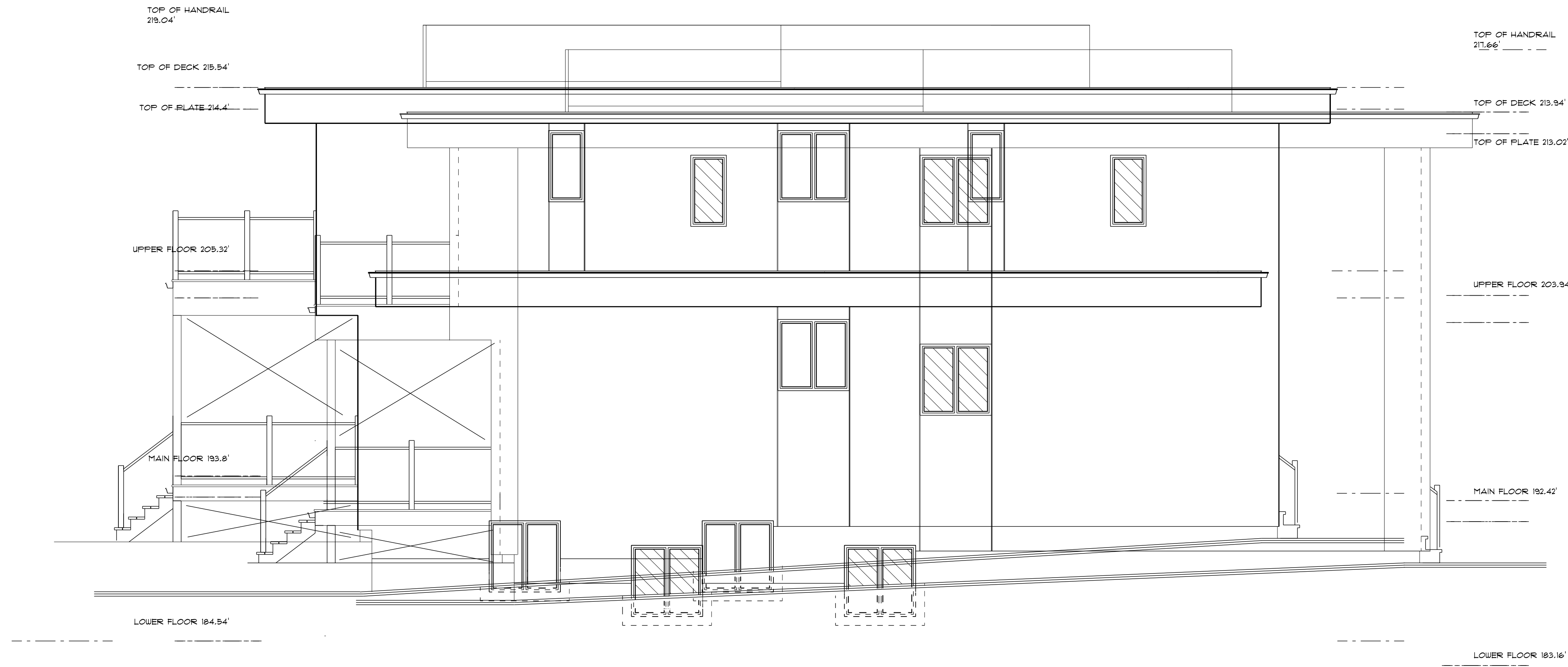


EAST ELEVATION

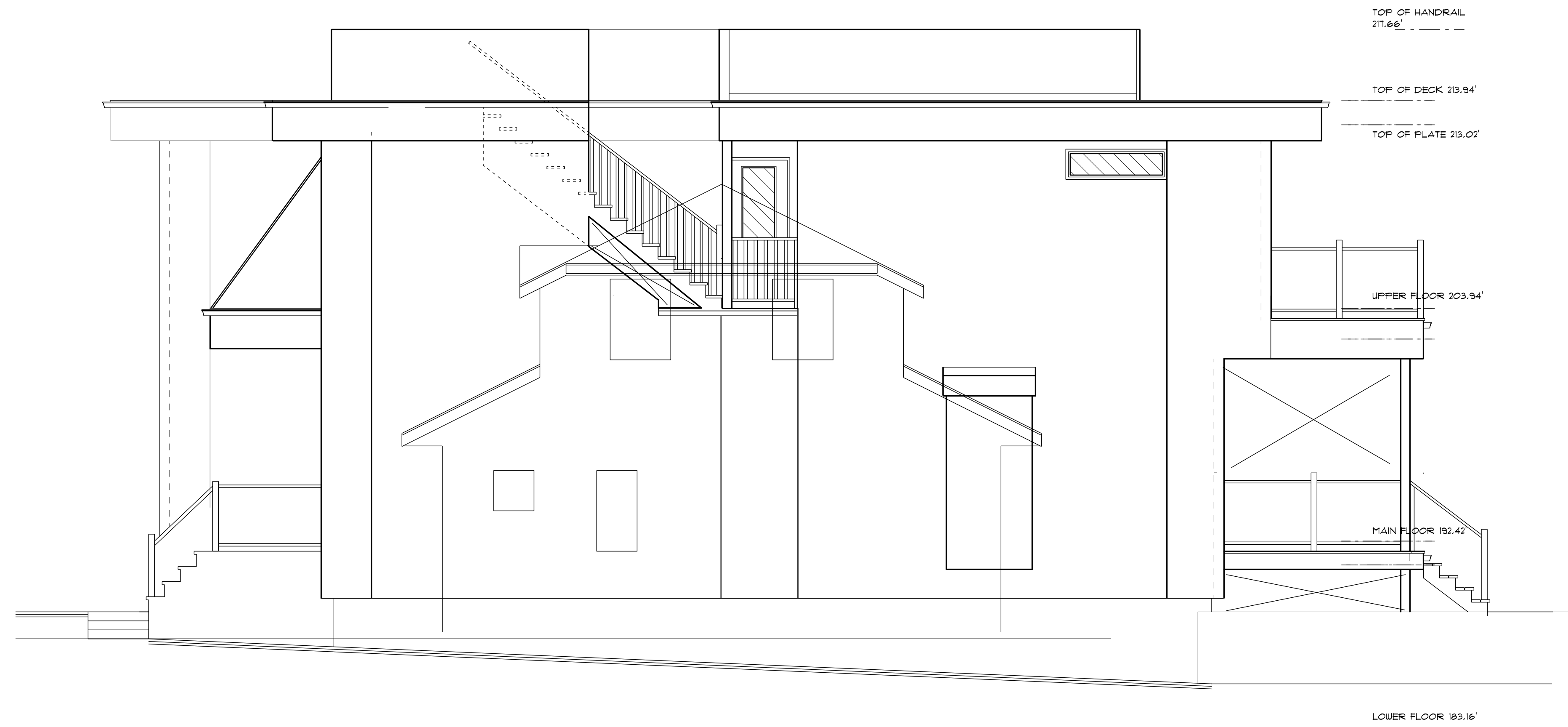
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**EAST LOT**  
**ELEVATIONS**  
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 NORTH VANCOUVER



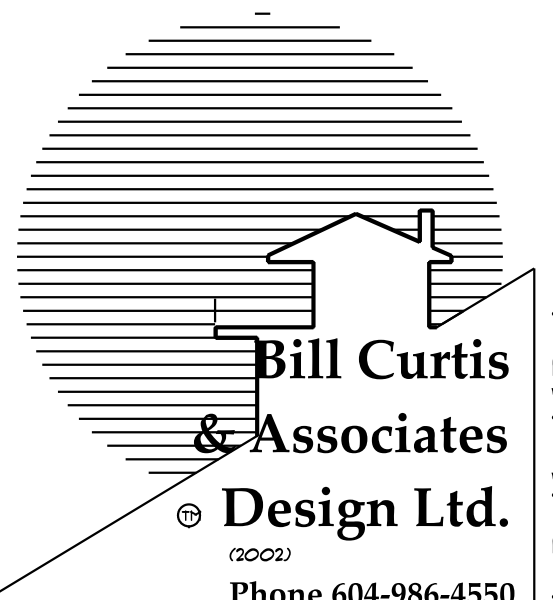
REFLECTED WINDOWS BETWEEN HOMES



REFLECTED WINDOWS BETWEEN WEST LOT AND NEIGHBOR

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**REFLECTED**

Drawing **WINDOWS**  
 Drawn By B.C. Date JAN. 2023

Scale 1/4" = 1'-0"

Project  
 AHMADI REZONING OF  
 417 WEST 14th STREET  
 NORTH VANCOUVER

PLAN OF LOT 9 (EXPLANATORY PLAN 10075),  
 BLOCK 65, DISTRICT LOT 271, GROUP 1,  
 NEW WESTMINSTER DISTRICT, PLAN 150

WEST 14th STREET

LEGEND:

- %%C denotes tree trunk diameter
- Rhodo denotes rhododendron
- T# denotes tree table number
- Sq.ft. denotes square feet
- C denotes top of curb
- G denotes gutter
- N. denotes north
- E. denotes east
- W. denotes west
- C. denotes center
- CB denotes catch basin
- PP denotes power pole

NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST BARRIER

STRUCTURE OF BARRIER MINIMUM 24" TRESS CONSTRUCTION AS SHOWN DIMENSIONS WILL VARY ACCORDING TO TREE SIZE LOCATION OF PROPERTY LINE SIDEWALK AND OTHER OBSTACLES

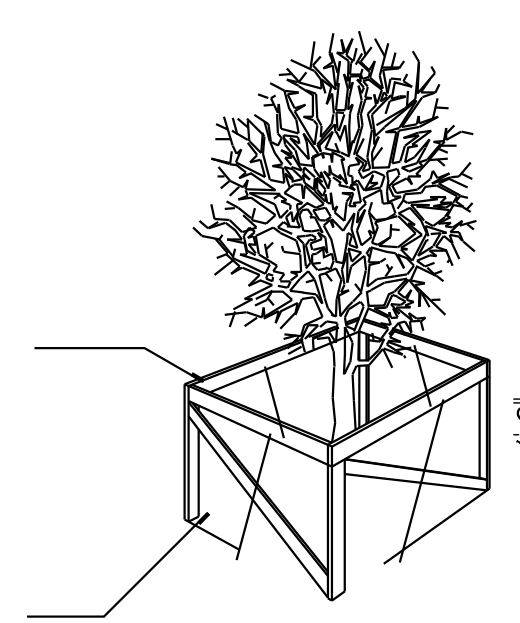
FENCING MATERIAL ALL SIDES OF STRUCTURE DUPONT VEXAR 1" TO PUBLIC SAFETY FENCING - ORANGE COLOUR OR EQUAL

GENERAL NOTES:  
 1. LANDSCAPE WORK AND MATERIALS DEPICTED IN THIS DRAWING WILL CONFORM TO THE STANDARDS OUTLINED IN THE SECTION 3 OF THE BRITISH COLUMBIA LANDSCAPE STANDARD (BCLS) 1991 EDITION PUBLISHED BY THE BCNTA/BCSLA TELEPHONE 604-674-1113.  
 2. THE PROTECTION BARRIERS MUST BE INSPECTED BY CIVIL DEVELOPMENT TECHNICIAN (TEL. 604-883-1885) PRIOR TO BUILDING PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR AN APPOINTMENT FOR THE INSPECTOR.

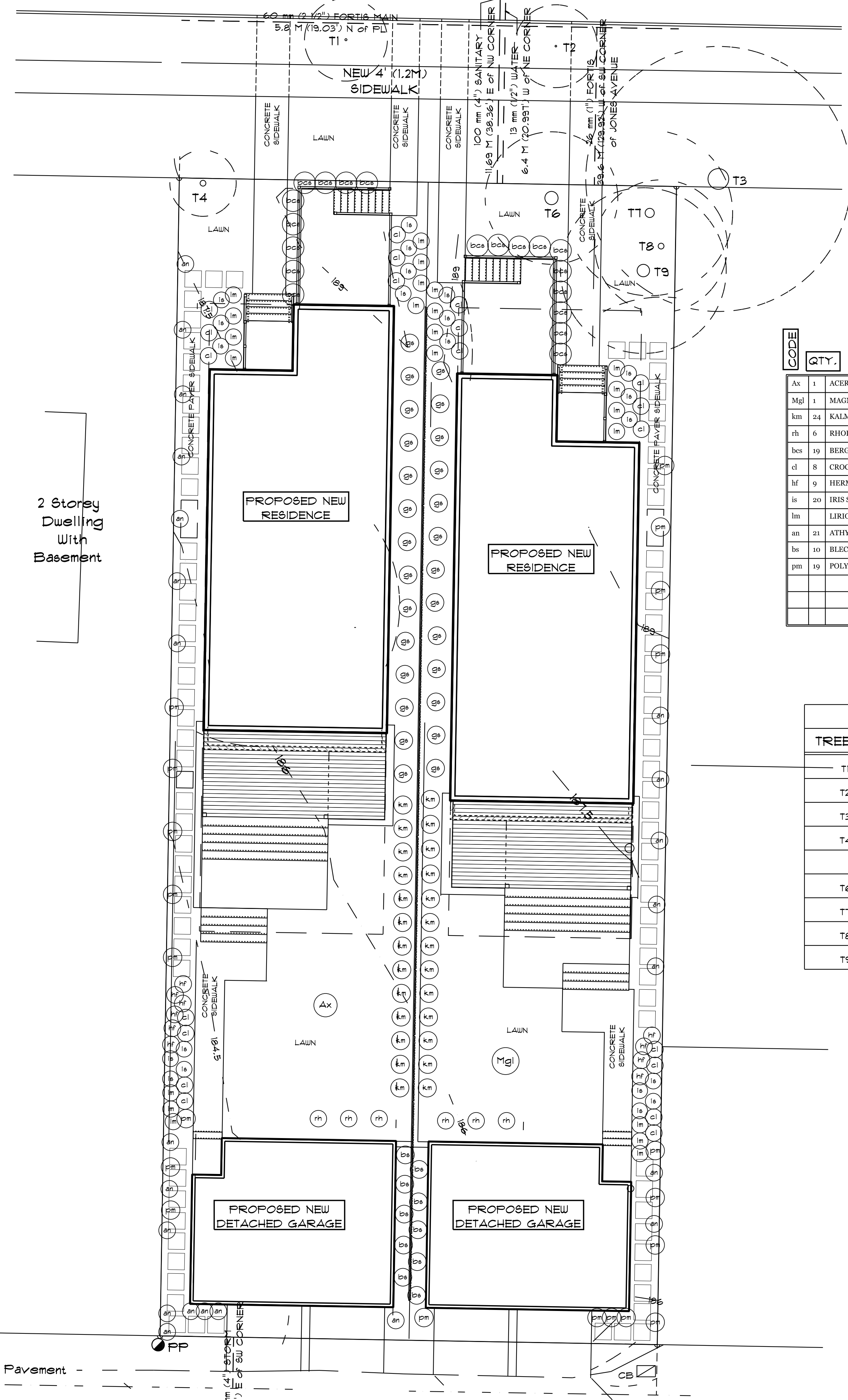
TRUNK DIAMETER		MINIMUM DISTANCE TO TREE TRUNK	
CM	INCHES FEET		
20	8 0.6	1.2 M	(3.93')
25	10 0.8	1.5 M	(4.9')
30	12 1.0	1.8 M	(5.91')
35	14 1.2	2.1 M	(6.89')
40	16 1.3	2.4 M	(7.87')
45	18 1.5	2.7 M	(8.86')
50	20 1.7	3.0 M	(9.84')
55	22 1.8	3.3 M	(10.83')
60	24 2.0	3.6 M	(11.81')
75	30 2.5	4.5 M	(14.76')
90	36 3.0	5.0 M	(16.40')
100	40 3.3	6.0 M	(19.69')

TREE PROTECTION DISTANCE TABLE

STORM MH  
 INV:106.6  
 RIM:110.4



2 Storey Dwelling With Basement



PLANT LIST

CODE	QTY.	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
Ax	1	ACER PALMATUM SHINDE SHOJO	SHINDO SHOJO JAPANESE MAPLE	10', #125 POT	AS SHOWN	TREE	NON NATIVE
Mgl	1	MAGNOLIA GRANDIFLORA "LITTLE GEM"	"LITTLE GEM" SOUTHERN MAGNOLIA	6" CLEAR STEM	AS SHOWN	TREE	NON NATIVE
km	24	KALMIA MICROPHILLA	MOUNTAIN LAUREL	#2 POT	AS SHOWN	SHRUB	NON NATIVE
rh	6	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#3 POT	AS SHOWN	SHRUB	NATIVE
bes	19	BERGINIA CORDIFOLIA "SILVER LIGHT"	BERGENIA	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
cl	8	CROCOSMIA "LUCIFER"	CROCOSMIA	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
mf	9	HERMERCALLIS FLAVA	DAYLILY	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
is	20	IRIS SIBIRICA	SIBERIAN IRIS	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
lm		LIRIOPE MUSCARI	BLUE LILY TURF	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
an	21	ATHYRIUM NIPONICUM "PICTUM"	PAINTED FERN	#2 POT	AS SHOWN	FERN	NATIVE
bs	10	BLECHNUM SPICANT	DEER FERN	#2 POT	AS SHOWN	FERN	NATIVE
pm	19	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT	AS SHOWN	FERN	NATIVE

TREE TABLE		
TREE NO.	DESCRIPTION	BASE ELEVATION
T1	Deciduous%%C0.25	189.6
T2	Deciduous%%C0.2	191.0
T3	Cedar%%C2.5	192.2
T4	Cedar cluster%%C0.1	188.1
T6	Rhodo. cluster of 3%%C1.6	189.8
T7	Cedar%%C1.1	190.2
T8	Laurel cluster%%C0.1	191.3
T9	Cedar%%C1.5	190.1

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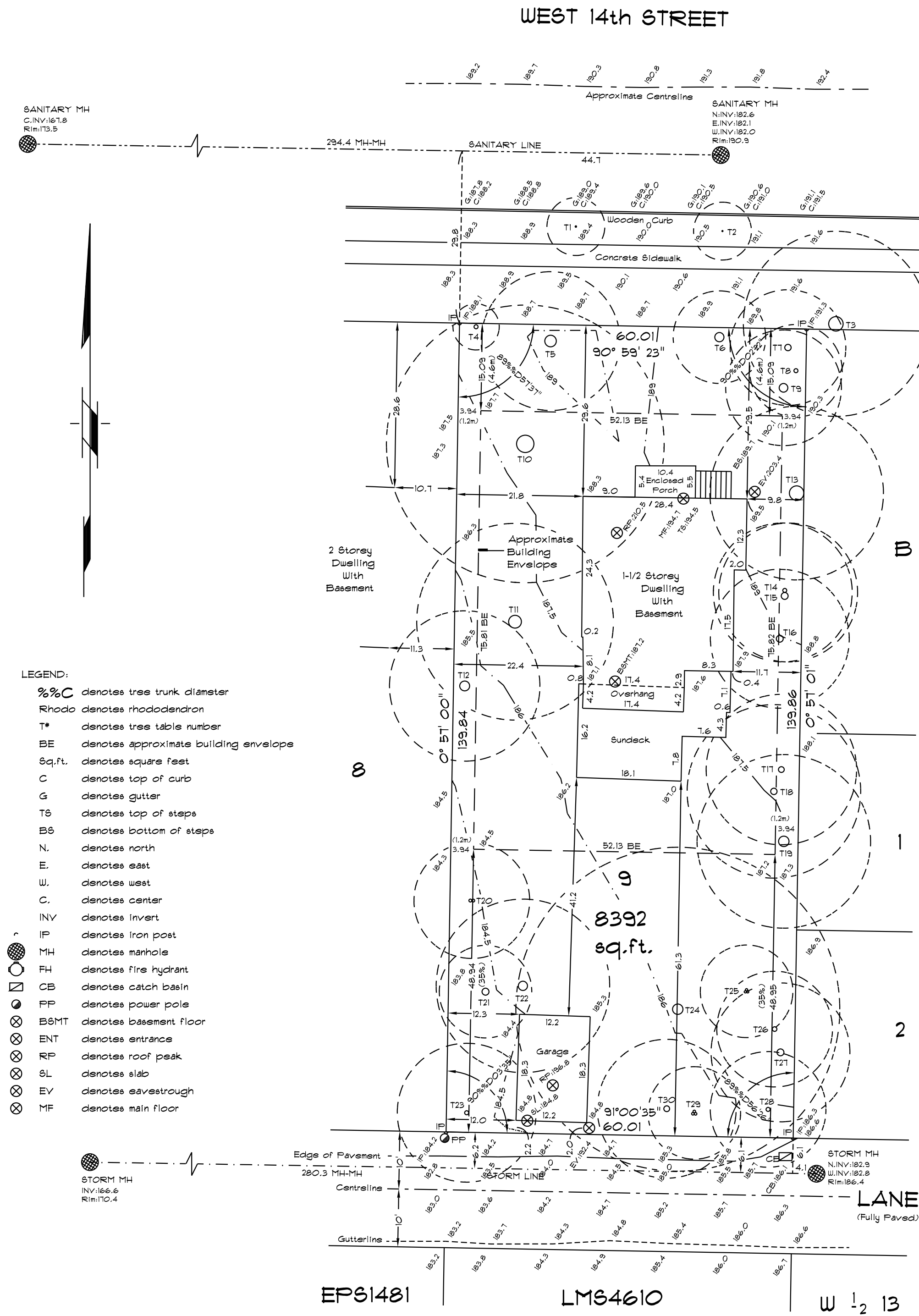
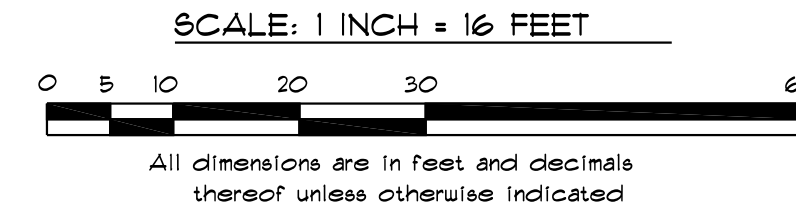
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 R-6973 R-2088  
 Drawn by: AD

Harbourfront Business Centre  
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 North Vancouver, BC V7M 3M6  
 Drawing LANDSCAPE PLAN  
 Drawn By B.C. Date JAN. 2023  
 Scale 1/8" = 1'-0"  
 Project  
 AHMADI REZONING OF  
 417 WEST 14th STREET  
 NORTH VANCOUVER

LANE  
 (Fully Paved)

PLAN OF SURVEY OF LOT 9 (EXPLANATORY PLAN 10075),  
 BLOCK 65, DISTRICT LOT 271, GROUP 1,  
 NEW WESTMINSTER DISTRICT, PLAN T50

417 W.14th Street  
 City of North Vancouver, B.C.  
 ZONING: R6-1



- LEGEND:
- %%C denotes tree trunk diameter
  - Rhodo denotes rhododendron
  - T# denotes tree table number
  - BE denotes approximate building envelope
  - Sq.ft. denotes square feet
  - C denotes top of curb
  - G denotes gutter
  - TS denotes top of steps
  - BS denotes bottom of steps
  - N. denotes north
  - E. denotes east
  - W. denotes west
  - C. denotes center
  - INV denotes invert
  - IP denotes iron post
  - MH denotes manhole
  - FH denotes fire hydrant
  - CB denotes catch basin
  - PP denotes power pole
  - BSMT denotes basement floor
  - ENT denotes entrance
  - RP denotes roof peak
  - SL denotes slab
  - EV denotes eavestrough
  - MF denotes main floor

TREE NO.	DESCRIPTION	BASE ELEVATION
T1	Deciduous%CO.25	193.6
T2	Deciduous%CO.2	191.0
T3	Cedar%CO.25	192.2
T4	Cedar cluster%CO.1	188.1
T5	Rhodo. cluster of 3%CO.0	193.4
T6	Rhodo. cluster of 3%CO.6	193.8
T7	Cedar%CI.1	190.2
T8	Laurel cluster%CO.1	191.3
T9	Cedar%CI.5	190.1
T10	Fir%CO.0	188.0
T11	Cedar%CO.2	197.1
T12	Holly%CI.1	195.9
T13	Laurel cluster of 3%CO.25	190.1
T14	Cedar%CO.1	193.5
T15	Cedar%CI.2	193.5
T16	Cedar%CI.2	193.0
T17	Cedar%CI.0	188.0
T18	Cedar%CI.1	197.6
T19	Laurel cluster of 3%CO.6	197.2
T20	Laurel cluster of 2%CO.5x2	194.4
T21	Cedar%CI.2	194.3
T22	Cedar%CI.6	194.9
T23	Deciduous%CO.1	194.1
T24	Deciduous%CI.8	196.1
T25	Laurel cluster of 3%CO.4x3	196.2
T26	Apple%CO.8	196.9
T27	Laurel%CI.2	196.8
T28	Laurel%CO.1	195.9
T29	Laurel cluster of 3%CO.4x3	195.7
T30	Laurel%CI.0	195.7

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CERTIFIED CORRECT:  
 Lot dimensions are correct according to ground survey.

B.C.L.S.  
 October 11th, 2022

FILE: TF-5904      FID: 015-142-566

NOTE:  
 The building envelopes shown is only our interpretation of the City of North Vancouver Building Bylaw. The size and location of the building envelope must be confirmed by the City of North Vancouver Planning Department prior to any design work. Failure to confirm with the Planning Department will place the responsibility onto the house designer.

NOTE:  
 Elevations are based on geodetic datum. (CYD286VRED2018)  
 Bench Mark: Control Monument 8743680 located at the intersection of Jones Avenue and West Keith Road in west traffic island.  
 B.M. Elevation = 197.14 feet  
 ( 571.223 metres )

NOTE:  
 For construction, use lead plugs in sidewalk or City survey monument only, for elevation control.

NOTE:  
 All trees have been plotted in accordance with City of North Vancouver Tree Policy.

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 Drawn by: AD

REVISIONS

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Drawing **SURVEY**  
 Drawn By B.C. Date JAN. 2023

Scale  
 Project  
 AHMADI REZONING OF  
 417 WEST 14th STREET  
 NORTH VANCOUVER