



15TH STREET ELEVATION

PROJECT SYNOPSIS

Current Lot Area: 15.24 M x 44.69 = 681.20 SM [50' X 146.63' = 7,332 SF]
 Current Zoning: RS1
 Proposed Zoning: RS2 (with minimum lot size relaxation)
 As minimum lot size is 334.45 SM (3,600 SF) lot area. Ref. Bylaw 506 (1)d

Proposed FSR: 0.50 FOR EACH LOT

Subdivision: From ONE LOT INTO TWO LOTS OF 7.62 M. (25 FT.) WIDE

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**REZONING APPLICATION
 HOMES ON FOURTH
 429 EAST 15TH STREET, NORTH VANCOUVER**

Legal Address: LOT 6, BLOCK 53, DL. 550, PLAN 1698
 PID: 014-408-929

OWNERS: 1264812 BC LTD.
 APPLICANT: VERNACULAR STUDIO INC.

ISSUED FOR: REZONING DECEMBER 20, 2024

CIVIC ADDRESS	429 East 15th Street, NORTH VANCOUVER	
LOT	East Lot (Lot A)	
LEGAL ADDRESS	Lot:6; Block 53; DL 550; Plan 1698	
P.I.D.	014-408-929	
PROJECT STATISTICS	PERMITTED	PROPOSED
LOT AREA (EACH PROPOSED LOT)	7.62 M X 44.69 M. = 340.59 SM.	
	25' x 146.63' = 3,666 S.F.	
LOT FRONTAGE	7.46 M [24.5']	7.62 M [25.0']
LOT COVERAGE 30%	[30%] 102.17 SM [1,099 SF]	[30%] 102.17 SM [1,099 SF]
REARYARD (LOT DEPTH 35% of lot)	13.40 M [43.98']	18.19 M [59.70']
F.S.R. (0.50)	170.29 SM. [1,833 SF]	170.29 SM. [1,833 SF]
BASEMENT		86.67 M [933.0 SF]
MAIN		86.67 M [933.0 SF]
UPPER		83.61 M [900 SF]
GFA EXCLUSION (MECH. ROOM)		0
PROPOSED NO. OF UNITS	2 [ONE SFD + SECONDARY SUITE]	2
DEVELOPMENT PROPOSAL DESIGNATION & BY-LAW TABLE	PROPOSED	
OCP DESIGNATION	Level 1	Level-1
ZONE	SFD-RS1	SFD-RS2
HEIGHT	10.1 M [33.1']	8.93 M [29.30']
TOP PLATE	8.0 M [26.2']	8.0 M [26.2']
SETBACKS:		
FRONT (NORTH)	4.57 M [15.0']	4.57 M [15.0']
SIDE (WEST)	1.22 M [4']	1.22 M [4 FT]
WEST (EAST)	1.22 M [4']	1.22 M [4 FT]
REAR (SOUTH)	13.40 M [43.98']	18.19 M [59.70']
PARKING SPACE	2	2
BICYCLE SPACE	2	2
SECONDARY SUITE	[40%] 68.11 SM. [733.2 SF]	[39%] 66.90 SM. [720.0 SF]

CIVIC ADDRESS	429 East 15th Street, NORTH VANCOUVER	
LOT	East Lot (Lot B)	
LEGAL ADDRESS	Lot:6; Block 53; DL 550; Plan 1698	
P.I.D.	014-408-929	
PROJECT STATISTICS	PERMITTED	PROPOSED
LOT AREA (EACH PROPOSED LOT)	7.62 M X 44.69 M. = 340.59 SM.	
	25' x 146.63' = 3,666 S.F.	
LOT FRONTAGE	7.46 M [24.5']	7.62 M [25.0']
LOT COVERAGE 30%	[30%] 102.17 SM [1,099 SF]	[30%] 102.17 SM [1,099 SF]
REARYARD (LOT DEPTH 35% of lot)	13.40 M [43.98']	18.19 M [59.70']
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BASEMENT		86.67 M [933.0 SF]
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UPPER		83.61 M [900 SF]
GFA EXCLUSION (MECH. ROOM)		0
PROPOSED NO. OF UNITS	2 [ONE SFD + SECONDARY SUITE]	2
DEVELOPMENT PROPOSAL DESIGNATION & BY-LAW TABLE	PROPOSED	
OCP DESIGNATION	Level 1	Level-1
ZONE	SFD-RS1	SFD-RS2
HEIGHT	10.1 M [33.1']	8.87 M [29.10']
TOP PLATE	8.0 M [26.2']	8.0 M [25.78']
SETBACKS:		
FRONT (NORTH)	4.57 M [15.0']	4.57 M [15.0']
SIDE (WEST)	1.22 M [4']	1.22 M [4 FT]
WEST (EAST)	1.22 M [4']	1.22 M [4 FT]
REAR (SOUTH)	13.40 M [43.98']	18.19 M [59.70']
PARKING SPACE	2	2
BICYCLE SPACE	2	2
SECONDARY SUITE	[40%] 68.11 SM. [733.2 SF]	[39%] 66.90 SM. [720.0 SF]



OCP MAP, CITY OF NORTH VANCOUVER OCP MAP.



BIRD'S EYE VIEW VIEWING NORTH

SITE CONTEXT & AMENITIES

The site measures 15.24 m. x 44.68 m. [50 ft X 146.6 ft.], located on south of 400 block of 15th Street, bounded with single family housing to the north, south, east, and west. The property is in the Central Lonsdale and Grand Boulevard neighbourhood. The site is situated on the rapid transit corridor, walking distance to Ridgeway elementary schools, Sutherland High school, daycare, parks, shopping area and close to Trans Canada HWY.

TOPOGRAPHY

The site slopes 2.5%, (1.2 m. [4.0 feet]) from northwest to southwest over its depth and 2% [0.3 m.1.0 foot]) from east to west along 15th Street.



433 EAST 15TH ST. EASTERN NEIGHBOUR



429 EAST 15TH ST.- SUBJECT PROPERTY



425 EAST 15TH ST.- WESTERN NEIGHBOUR



EAST 15TH ST. STREET CONDITION - VIEWING EAST



EAST 15TH ST. STREET CONDITION - VIEWING WEST



LANE CONDITION - VIEWING EAST



LANE CONDITION - VIEWING WEST

PROJECT:

**429 EAST 15th STREET,
NORTH VANCOUVER**

DRAWING TITLE:

SITE CONTEXT

DATE: DRAWING NO.:

DEC. 20, 2024

R.01

PROJECT RATIONALE

SUBJECT SITE AND NEIGHBOURHOOD

The site measures 15.24 m x 44.69 m (50.0' x 146.63') and is on the 400 block of East 15th Street, which is bounded between Ridgeway Ave. and Moody Ave. It is surrounded by single-family residences on all sides—north, east, south, and west. The property is within walking distance of schools, daycares, and parks, and is located on the "Frequent Transit Corridor", and minutes from the Trans-Canada Highway.

TOPOGRAPHY

The site has a slope of 2.5% (1.2 m / 4 feet) from north to south across its depth and 2% (0.3 m / 1.0 foot) from east to west.

LAND USE

The land use designation in the 2014 Official Community Plan (OCP) is Residential Level 1, Single-Family. We plan to maintain the existing OCP designation while applying for a rezoning and subdivision of 429 East 15th Street, transitioning from a Single-Family lot (RS1) to a Single-Family lot (RS2). This change will facilitate the construction of two Single-Family houses, each with an accessory secondary suite.

PROPOSED INTENT

We believe that addressing housing challenges can be achieved through small lot subdivisions, offering flexible and relatively affordable housing solutions for young families, professionals, downsizers, and empty-nesters who wish to remain in their community. In the next phase of the rezoning and subdivision permitting process, our application will align with all regional requirements and the sustainability goals of the City of North Vancouver.

AFFORDABILITY

As land prices rise, both the developing community and the City of North Vancouver face significant pressure to enhance housing affordability. This proposal aims to subdivide a 50-foot-wide lot into two smaller lots to build two new single-family houses, each featuring a Secondary Suite. These Secondary Suites are intended to provide two ground-oriented rental units in the area, serving as a "mortgage helper" for the homeowners.

SITING OF THE HOUSES

In response to the site conditions, current market trends, and client preferences, we propose constructing two modern-style houses that are harmonious in design, massing, and architectural materials. On both proposed lots of A & B, there are no major "By-law" trees. However, in the western neighbour, there is a large Cypress (See the Arborist Report) We intend to preserve three of these trees while proposing the removal of one located in the which we intend to protect.

ARCHITECTURAL DESIGN

The proposed houses will feature a modern architectural style with single-sloped roofs. The material palette will include a mix of fiber cement boards and vertical composite fiber cement (refer to the material palette).

Key design features include:

- Two identical modern homes tailored to site conditions.
- Three bedrooms and a Secondary Suite in each house.
- Enhanced outdoor living spaces in rear yards and south-facing patios for each basement suite.
- Flexible floor plans to accommodate the needs of growing families.

MATERIALITY

For wall cladding, both houses will utilize fiber cement siding, fiber cement boards, and natural cedar strips as accents for front entrances. Painted fiber cement boards will be used for soffits and fascias (color palettes are presented on pages A-07 of this package).

AFFORDABILITY

To enhance affordability, our approach focuses on constructing smaller homes and gently increasing density within the existing residential zoning, particularly in low- and medium-density areas. An increasing number of small single-family houses, duplexes, triplexes, and infill units provide alternative solutions for relative affordability within the current zoning and OCP. Following discussions with the Planning Department and addressing their concerns regarding rezoning, we maintain that this housing form is a viable typology in North Vancouver, offering more affordable options compared to larger single-family homes on standard 50-foot-wide lots. The inclusion of a Secondary Suite further assists homeowners in offsetting their mortgage payments or accommodating extended family.

SUSTAINABILITY

This proposal seeks to increase density within the existing RS1 zoning, which currently has low density. The owners aim to construct two new single-family homes with minimal disruption to existing density. Through a gentle densification approach, the proposal will add two relatively affordable rental suites alongside an additional small home within the municipal infrastructure. Our application aims to incorporate the following sustainable components:

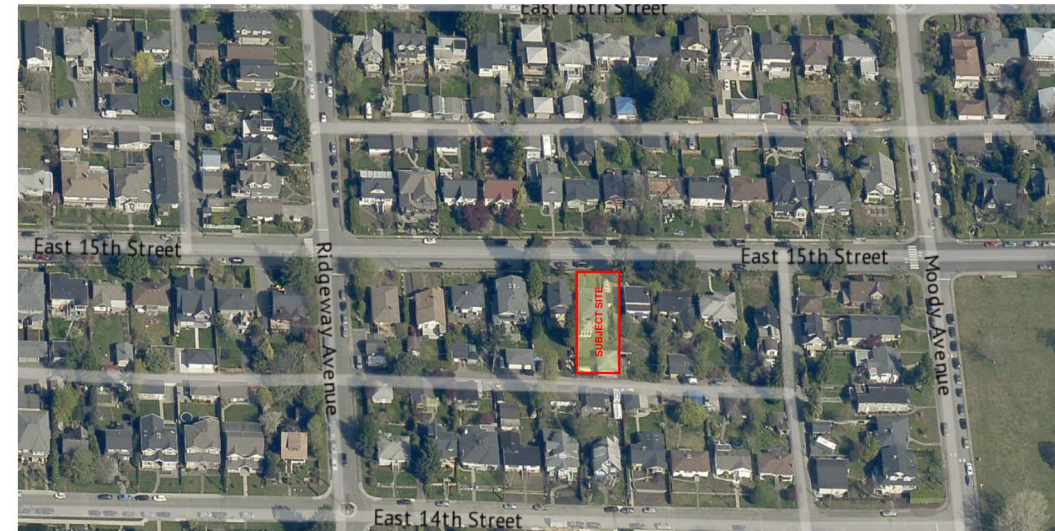
- Compliance with Step 4 energy code or the most current CNV requirements.
- Installation of "Energy Star" windows and doors.
- Double or triple-pane windows based on energy requirements.
- "Energy Star" appliances in the new infill unit.
- Pre-wired garages for electric vehicles.
- Dual-flush toilets and low-flow fixtures.
- Use of low VOC-emitting paint and flooring materials.
- Hot water piping meeting minimum insulation standards.
- Installation of heat recovery ventilators.
- Planting of indigenous plant materials with low water requirements.
- Implementation of a stormwater management system (SWM).
- Provision of bicycle storage.

ACTIVE LIFESTYLE

- Provision of bicycle storage.
- Outdoor patios for both the principal house and the secondary suites to facilitate residents' outdoor activities.

LANDSCAPE DESIGN

The landscape design will feature a significant percentage of native and drought-resistant plant species in the front and rear yards.



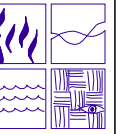
AERIAL VIEW OF THE SITE



PROPOSED HOUSES

Vernacular

studio



vernaculardev.com

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PROJECT:

429 EAST 15th STREET,
NORTH VANCOUVER

DRAWING TITLE:

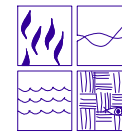
PROJECT RATIONALE

DATE:

DEC. 20, 2024

DRAWING NO.:

R.02



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HOUSE A
[EAST]

HOUSE B
[EAST]

COLOUR PALETTES

-  HOUSE A EAST-THIN BRICK VENEER / RED
 -  HOUSE A EAST-THIN BRICK VENEER / BEIGE EARTH TONE
 -  HOUSE A - MAIN HOUSE and GARAGE – MED. GREY SOLID PAINT (BM)
 -  HOUSE B- MAIN HOUSE and GARAGE –F/ CEMENT PANEL (Light Grey to Off white –BM)
 -  BOTH HOUSES - WINDOW SASH & STL. COLUMNS – Coated Dark Charcoal
 -  BOTH HOUSES – FASCIA, FLASHING – Dark Charcoal (to match Iron Mountain-B.M.)
- BM = BENJAMINE MOORE PAINT

MATERIAL PALETTES

- 1 ROOF: 3 LAYERS APPROVED MEMBRANE
- 2 WIND. DOOR TRIMS: 1.5" X1.5" PAINTED TO MATCH WALLS
- 3 FASCIA BOARD: 2X8 OR 2X10 PAINTED COMBED CEDAR, DARK CHARCOAL
- 4 FLASHING ON FASCIA: PREPAINTED STEEL PROFILE TO MATCH FASCIA COLOUR
- 5 FASCIA + GUTTER: PRE--PAINTED ALUM. DARK CHARCOAL
- 6 WALL ACCENTS: BRICK VENEER
- 7 WALL CLADDING: FIBER CEMENT--WALL SIDING
- 8 WINDOW SASH: VINYL--DARK CHARCOAL
- 9 ENTRY DOORS: PAINTED FULL SANDBLASTED GLASS / FIBERGLASS FRAMED
- 10 SOFFITS: NATURAL CEDAR STAINED

PROJECT:

429 EAST 15th STREET,
NORTH VANCOUVER

DRAWING TITLE:

COLOUR & MATERIAL PALETTES

DATE:

DEC. 20, 2024

DRAWING NO.:

R.03

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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

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1	SUBDIV. REZ.	DEC. 20. 2024
No.	Issue for	DATE

PROJECT: PREAPP

429 EAST 15TH NORTH VANCOUVER

DRAWING TITLE: SITE PLAN

DATE: OCT 2024

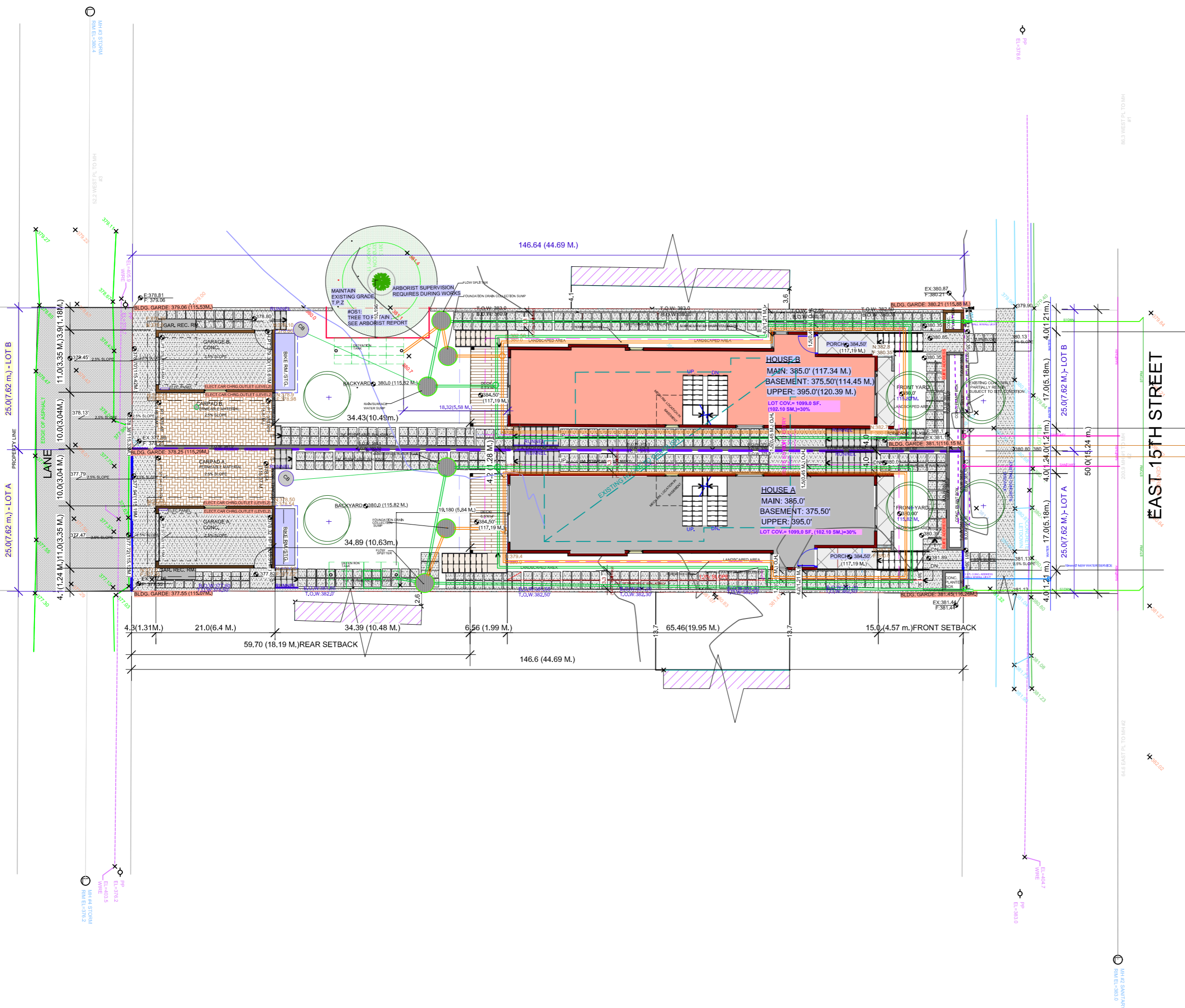
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-R.CH

SCALE: 1/16"

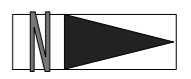
A-01



**SUITE: 720.0 SF.
GROSS: 933.0 SF.
HOUSE B. BASEMENT FLOOR**

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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

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1	SUBDIV.REZ.	DEC. 20, 2024

PROJECT:

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

**BASEMENT
FLOOR PLANS**

DATE:
OCT. 2024

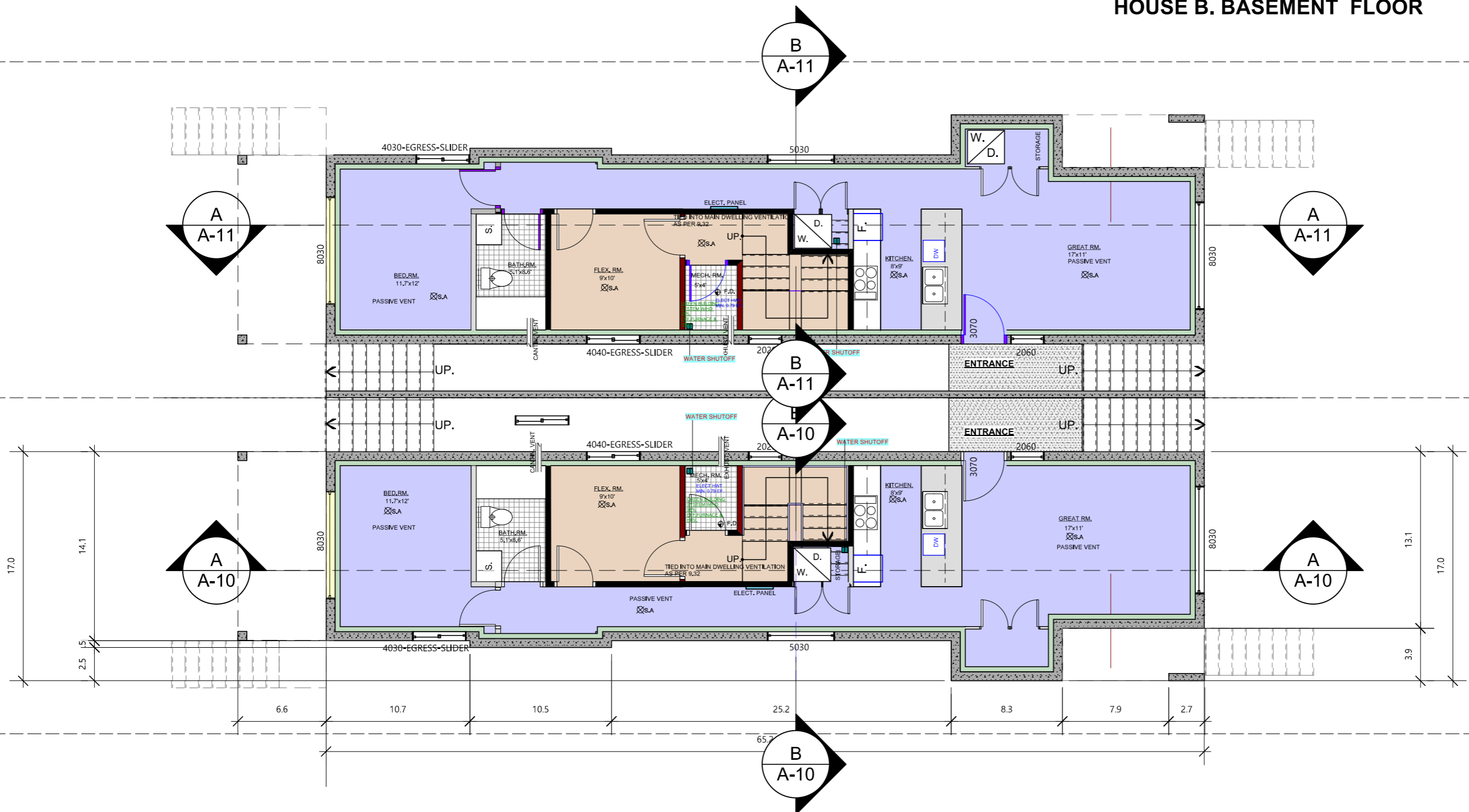
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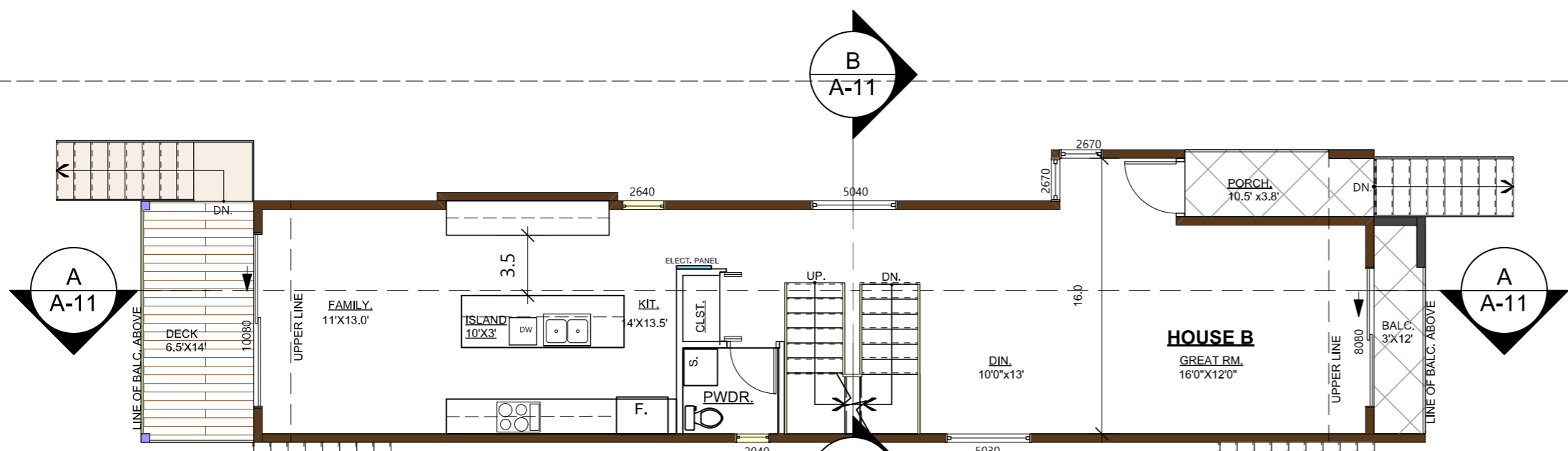
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**SUITE: 720.0 SF.
GROSS: 933.0 SF.
HOUSE A. BASEMENT FLOOR**

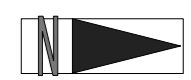
933.0 SF.

HOUSE B . MAIN FLOOR



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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

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1	SUBDIV./REZ.	DEC. 20, 2024

PROJECT:

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

MAIN FLOOR PLANS

DATE:
OCT. 2024

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CHECKED BY:
-M.R.
-R.CH

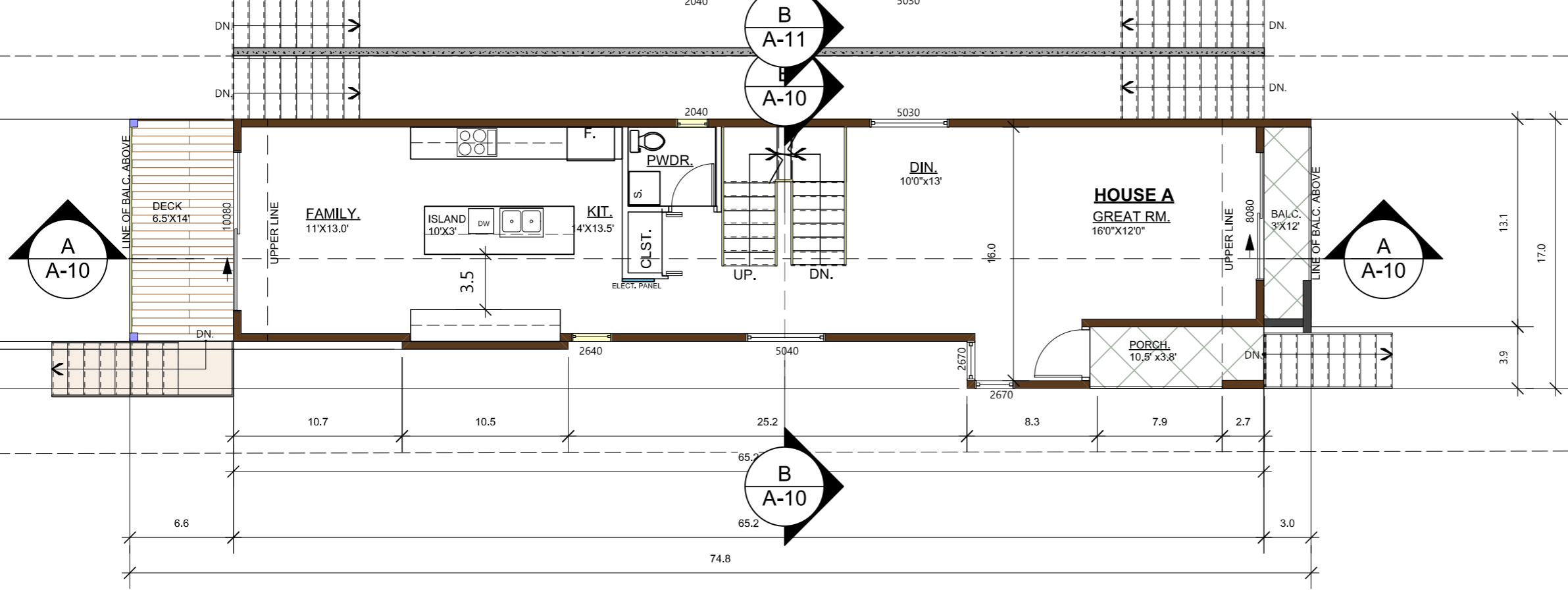
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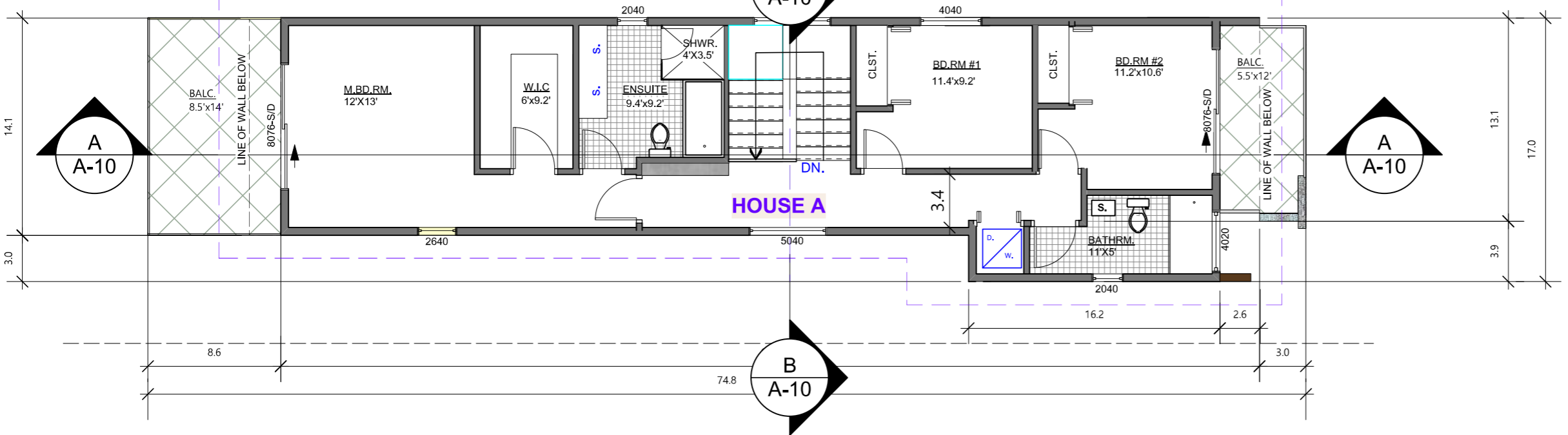
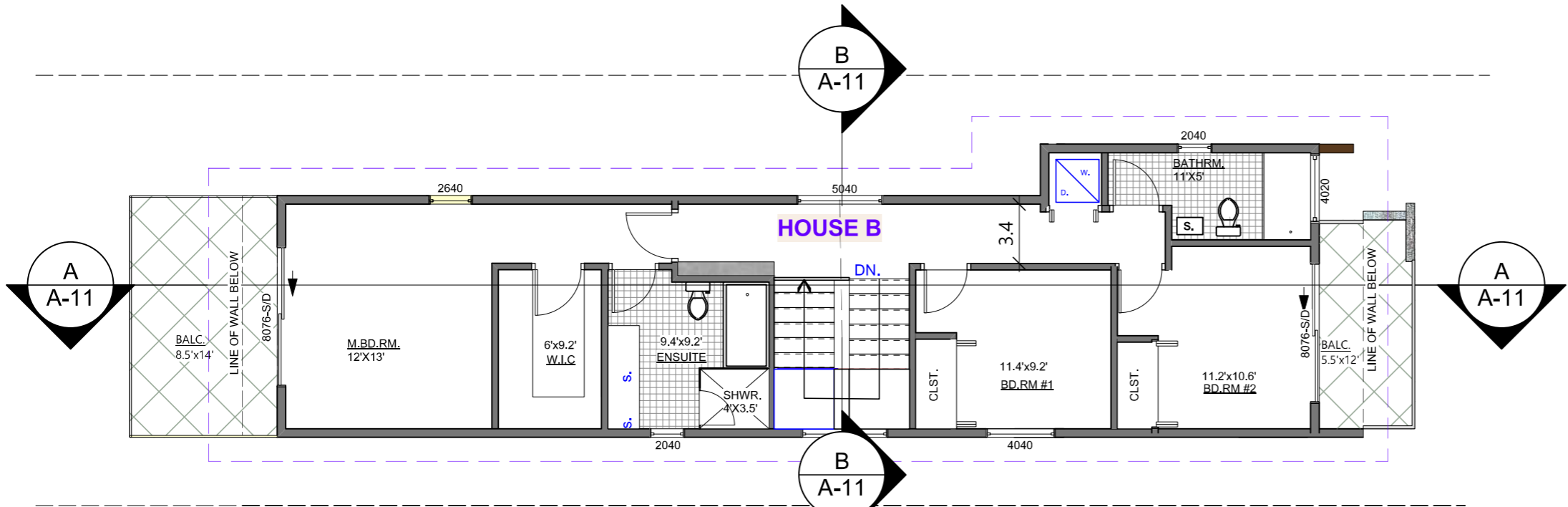
A-03

933.0 SF.

HOUSE A . MAIN FLOOR



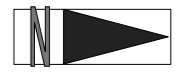
900.0 SF.
HOUSE B . UPPER FLOOR



900.0 SF.
HOUSE A . UPPER FLOOR

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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
6		
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1	SUBDIV./REZ.	DEC. 20, 2024

PROJECT:

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

UPPER FLOOR PLANS

DATE:
OCT. 2024

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-R.CH

SCALE: 1/8"

A-04



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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
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1	SUBDIV./REZ.	DEC. 20, 2024

PROJECT: PREAPP

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

ROOF PLANS

DATE:
OCT. 2024

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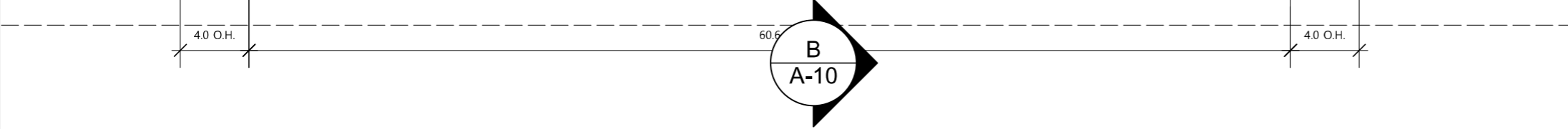
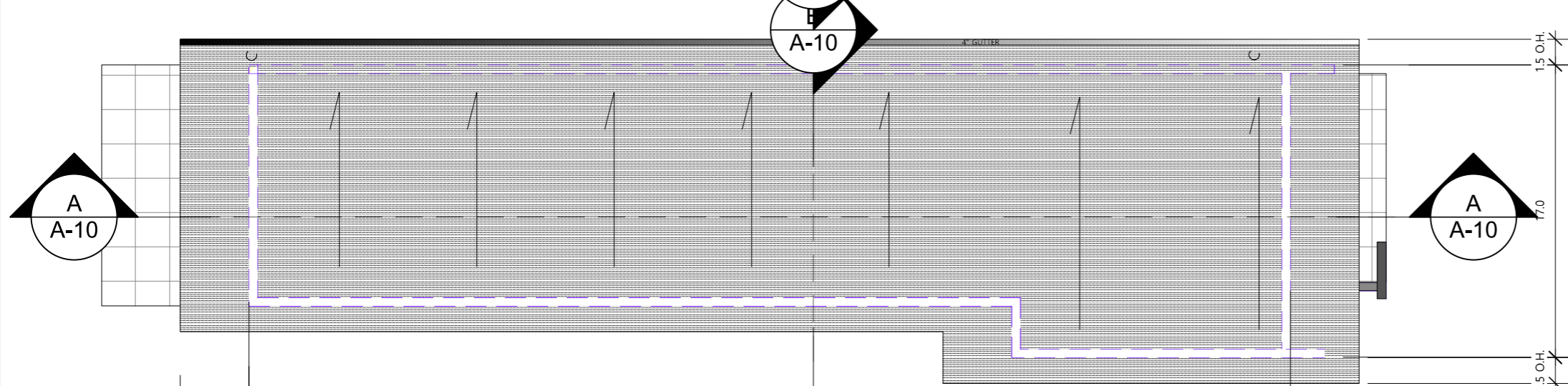
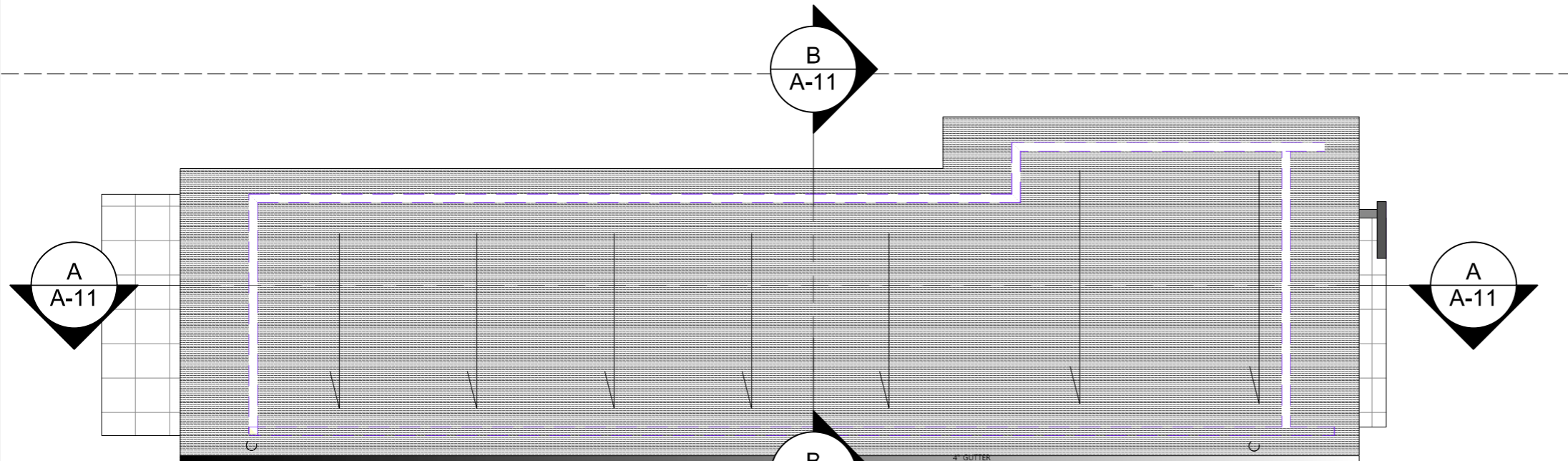
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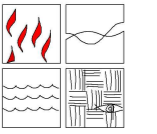
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A-05

HOUSE B. ROOF PLAN

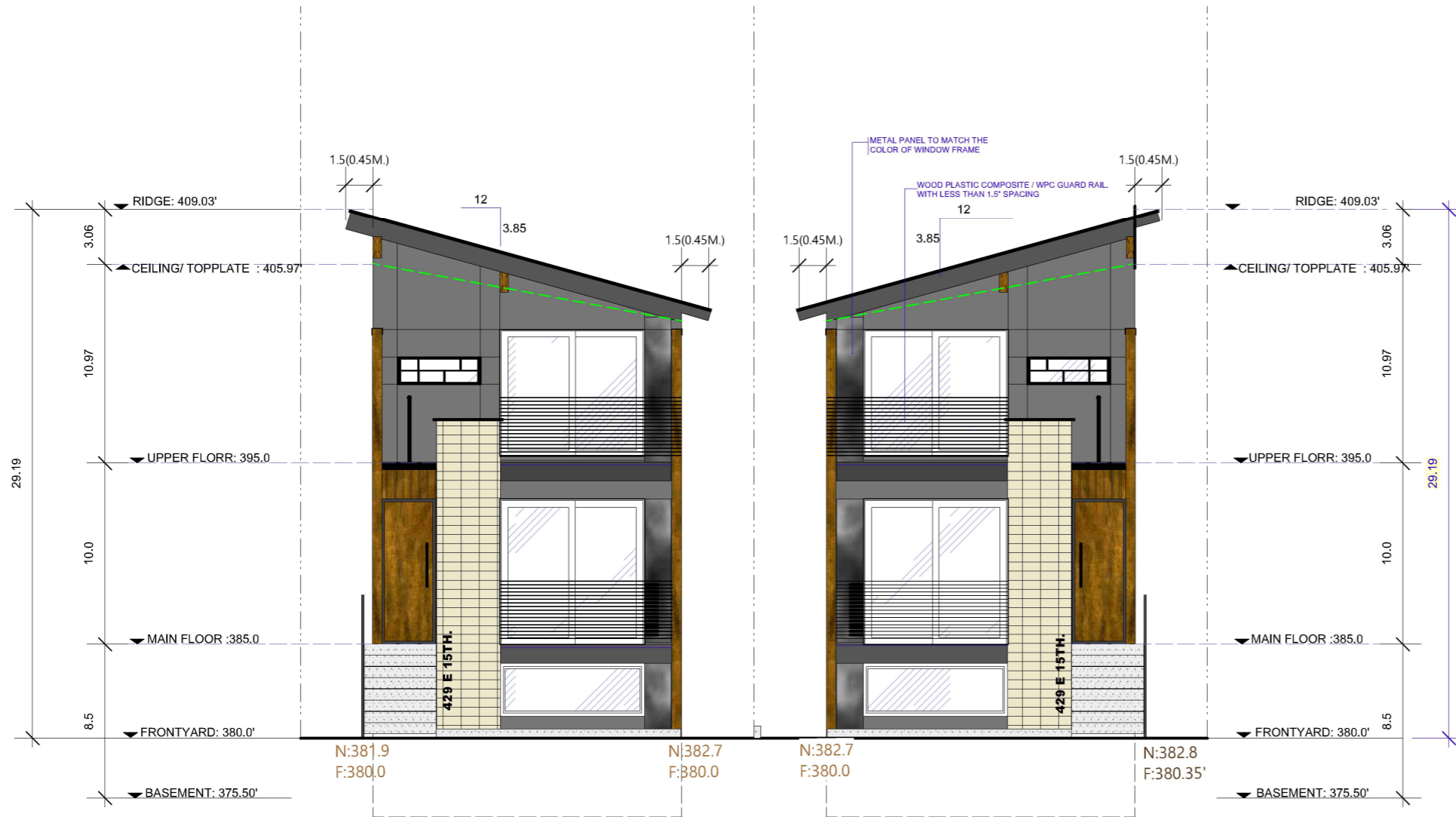


HOUSE A. ROOF PLAN



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HOUSE A , FRONT ELEVATION

HOUSE B , FRONT ELEVATION

REVISION:

6		
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1	SUBDIV.REZ.	DEC. 20, 2024
No.	Issue for	DATE

PROJECT: PREAPP

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

**NORTH ELEVATIONS
HOUSE A & B**

DATE:
OCT. 2024

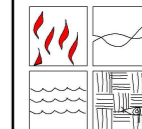
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-M.R.
-R.CH

A-06

SCALE: 1/8"



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HOUSE A, HEIGHT CALCULATIONS:

FRONT AVERAGE GRADE: $381.44 + 381.1 / 2 = 381.27$

REAR AVERAGE GRADE : $377.06 + 377.98 / 2 = 377.52$

REFERENCE POINT: $381.27 + (377.52 - 381.27 \times 0.4)$

RP. = 379.77' (115.75M.)

TP. = 379.77 + 26.2 = 405.97' (123.739M.)

RDG. = 379.77 + 33 = 412.80' (125.82M.)

HOUSE B, HEIGHT CALCULATIONS:

FRONT AVERAGE GRADE: $381.1 + 381.0 / 2 = 381.05$

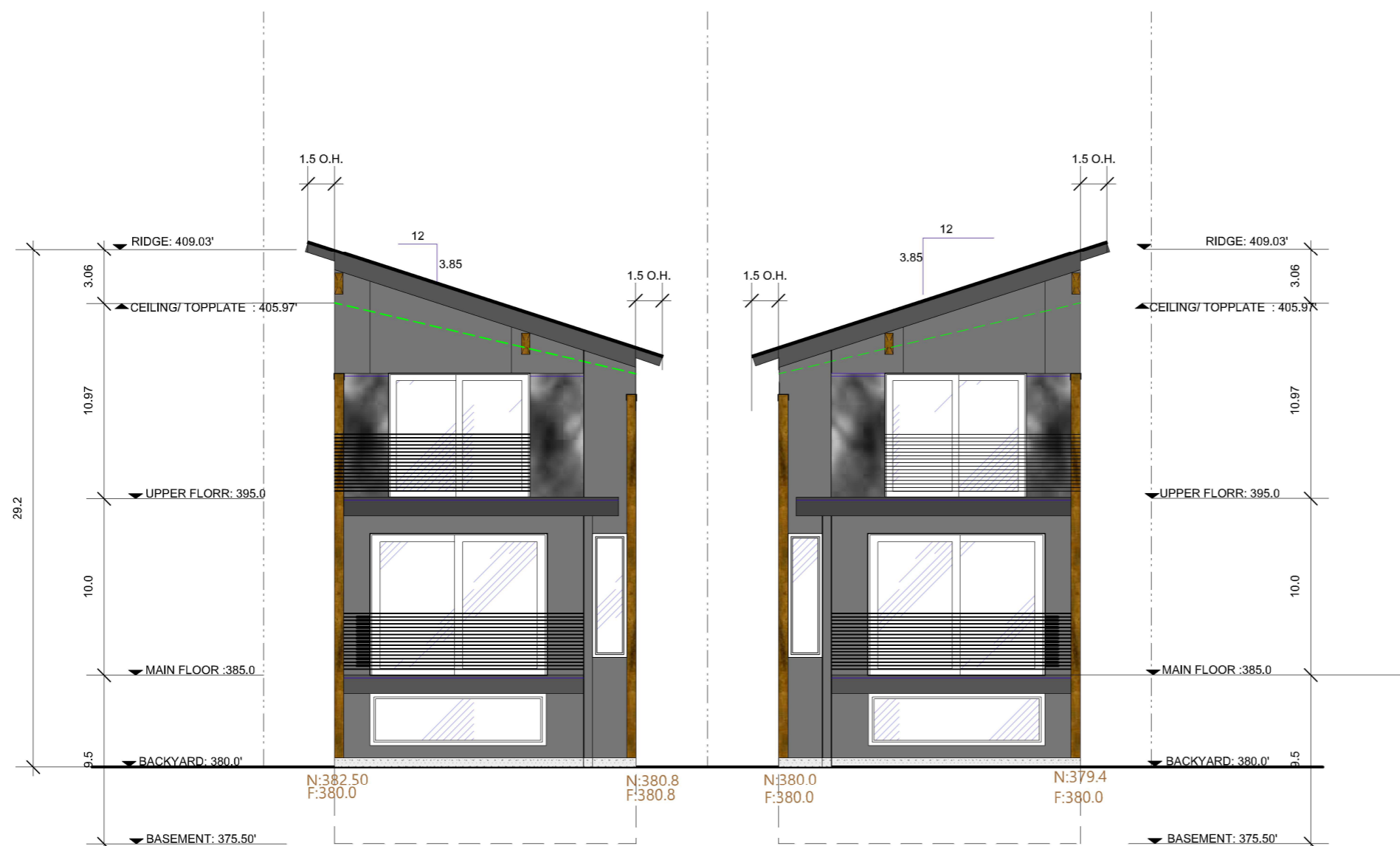
REAR AVERAGE GRADE: $377.98 + 378.81 / 2 = 378.39$

reference point: $381.05 + (378.39 - 381.05 \times 0.4)$

RP. = 379.98' (115.81M.)

TP. = 379.98 + 26.2 = 406.20' (123.80M.)

RDG. = 379.98 + 33 = 412.98' (125.87M.)



HOUSE B , REAR ELEVATION

HOUSE A , REAR ELEVATION

REVISION:

6		
5		
4		
3		
2		
1	SUBDIV.REZ.	DEC. 20, 2024
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PROJECT:

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

**SOUTH ELEVATIONS
HOUSE A & B**

DATE:
OCT. 2024

DRAWING NO.:

DRAWN BY :
-G.R.

CHECKED BY :
-M.R.
-R.CH

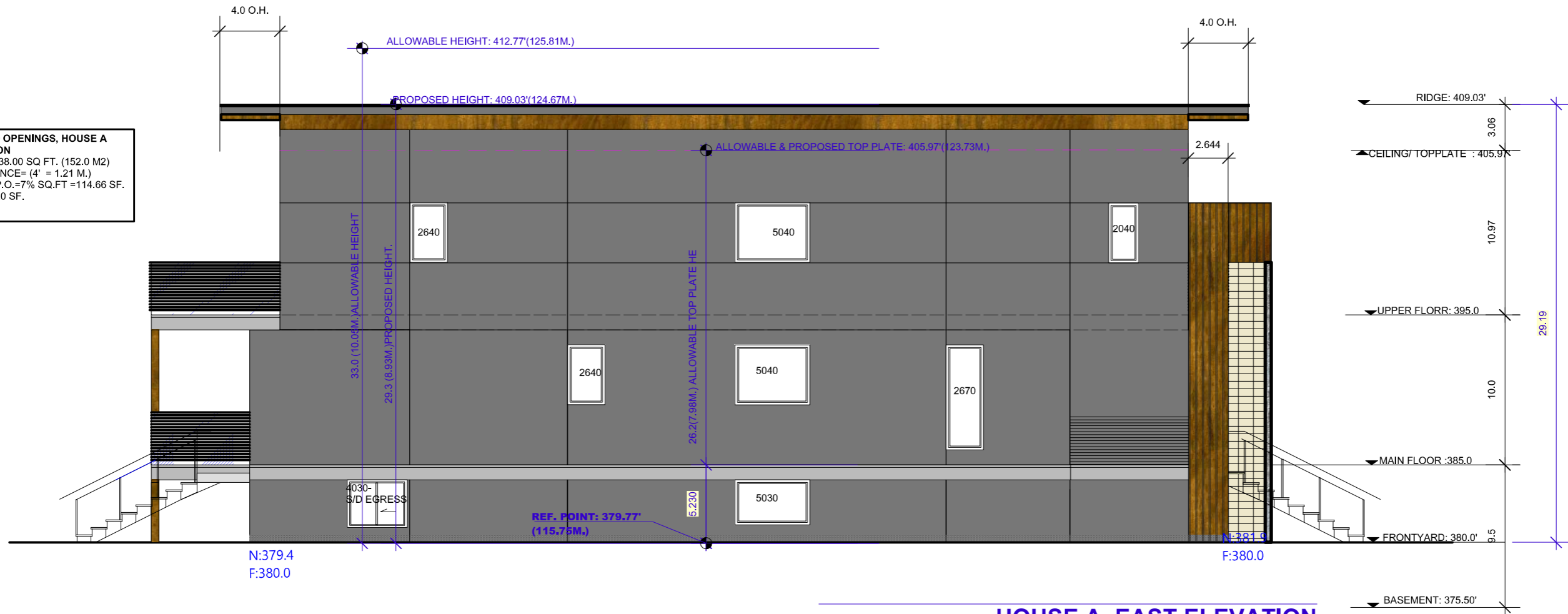
A-07

SCALE: 1/8"



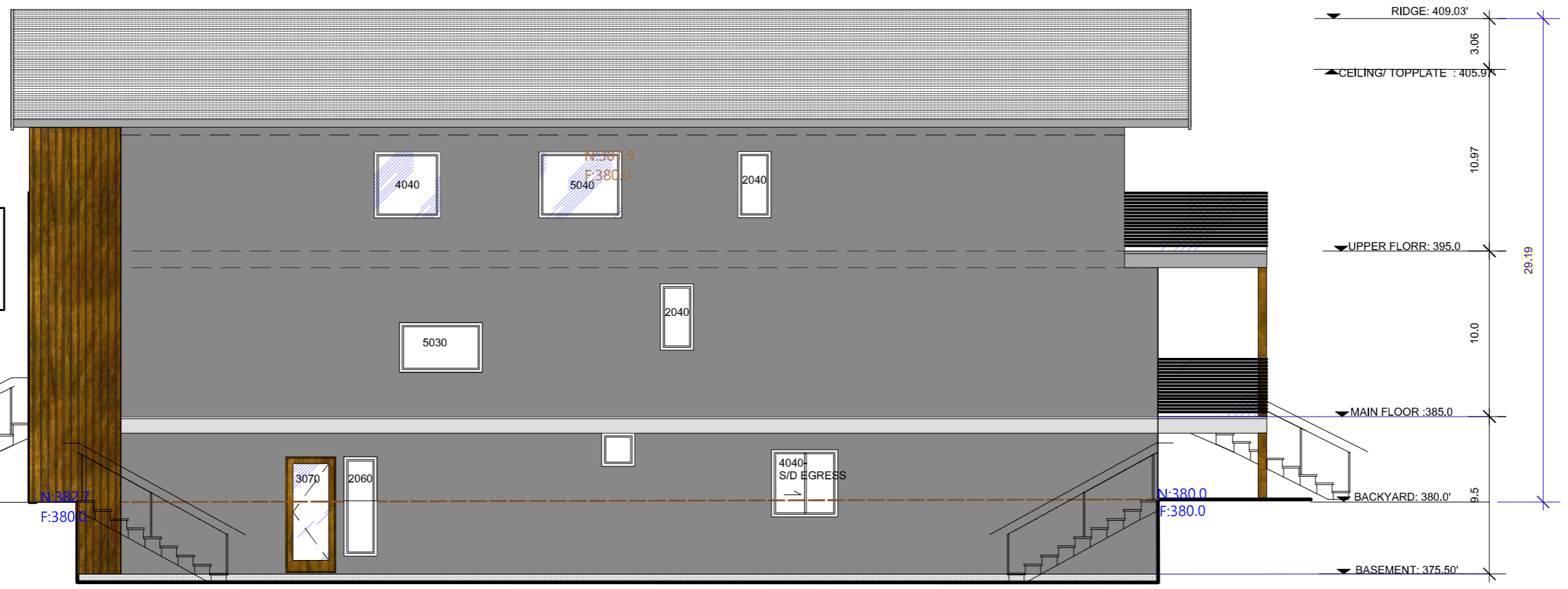
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**UNPROTECTED OPENINGS, HOUSE A
EAST ELEVATION**
WALL AREA=1638.00 SQ FT. (152.0 M2)
LIMITING DISTANCE= (4' = 1.21 M.)
PERMITTED U.P.O.=7% SQ.FT =114.66 SF.
PROPOSED=89.0 SF.
REF: 3.2.3.1.D



HOUSE A. EAST ELEVATION

**UNPROTECTED OPENINGS, HOUSE A
WEST ELEVATION**
WALL AREA=1757.00 SQ FT. (163.23 M2)
LIMITING DISTANCE= (4' = 1.21 M.)
PERMITTED U.P.O.=7% SQ.FT =122.99 SF.
PROPOSED=99.66 SF.
REF: 3.2.3.1.D



HOUSE A. WEST ELEVATION

REVISION:

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1	SUBDIV./REZ.	DEC. 20, 2024

PROJECT:
**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:
**HOUSE A, EAST & WEST
ELEVATIONS**

DATE:
OCT. 2024

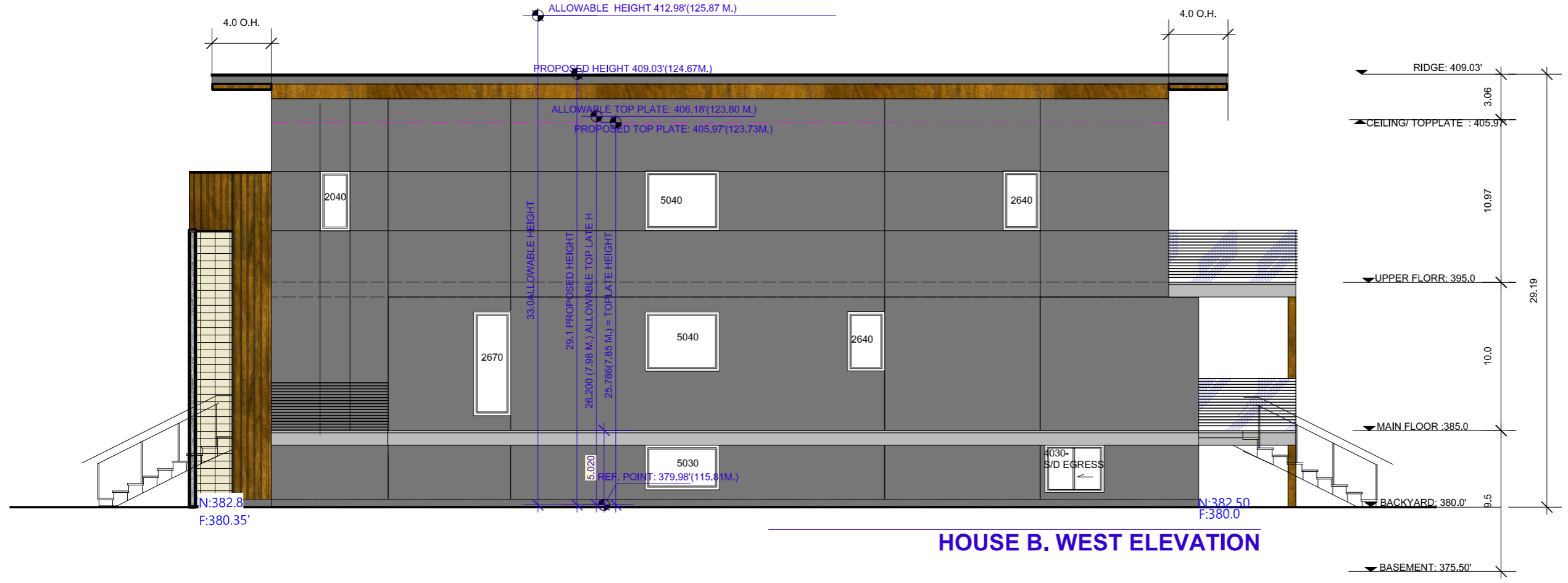
DRAWN BY :
-G.R.

CHECKED BY:
-M.R.
-R.CH

SCALE:1/8"

DRAWING NO. :
A-08

**UNPROTECTED OPENINGS, HOUSE B
WEST ELEVATION**
 WALL AREA=1638.00 SQ. FT. (152.0 M2)
 LIMITING DISTANCE= (4' = 1.21 M.)
 PERMITTED U.P.O.=7% SQ.FT =114.66 SF.
 PROPOSED=89.0 SF.
 REF: 3.2.3.1.D



HOUSE B. WEST ELEVATION

**UNPROTECTED OPENINGS, HOUSE B
EAST ELEVATION**
 WALL AREA=1757.00 SQ. FT. (163.23 M2)
 LIMITING DISTANCE= (4' = 1.21 M.)
 PERMITTED U.P.O.=7% SQ.FT =122.99 SF.
 PROPOSED=99.66 SF.
 REF: 3.2.3.1.D



HOUSE B. EAST ELEVATION

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REVISION:

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1	SUBDIV./REZ.	DEC. 20, 2024
No.	Issue for	DATE

PROJECT:
**429 EAST 15TH
 NORTH VANCOUVER**

DRAWING TITLE:
**HOUSE B, EAST & WEST
 ELEVATIONS**

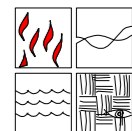
DATE:
 OCT. 2024

DRAWN BY :
 -G.R.

CHECKED BY:
 -M.R.
 -R.CH

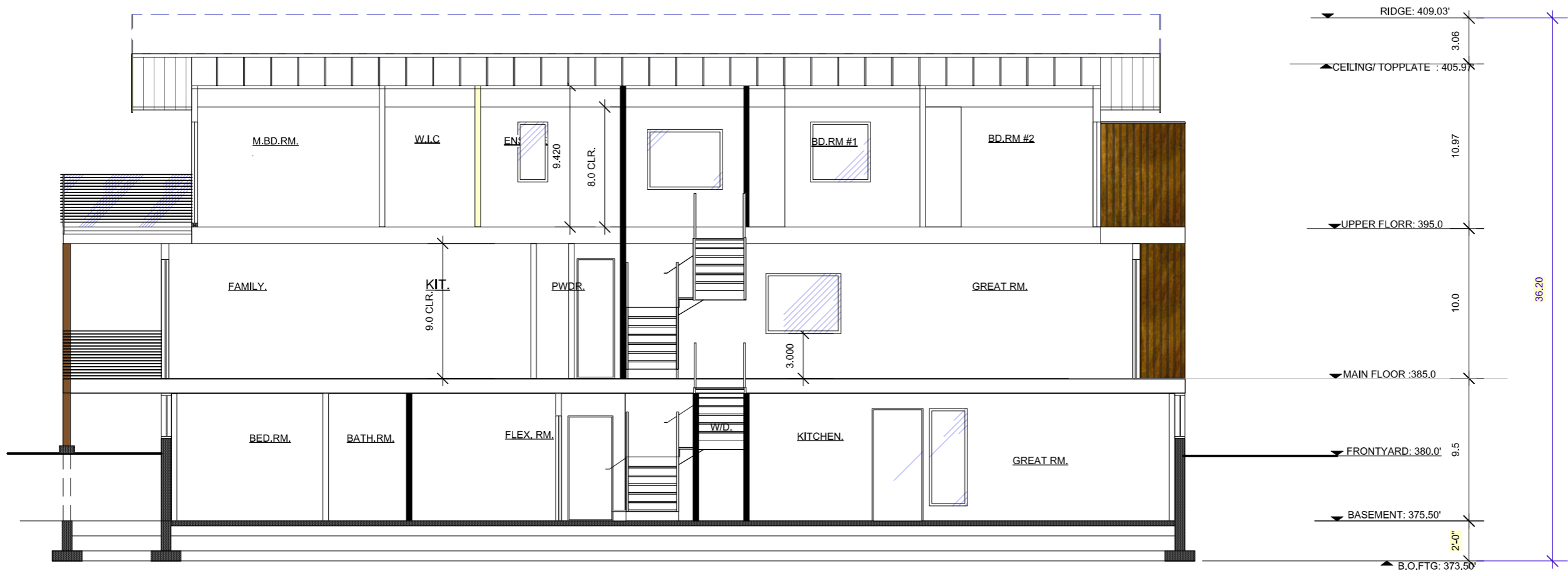
SCALE: 1/8"

DRAWING NO. :
A-09

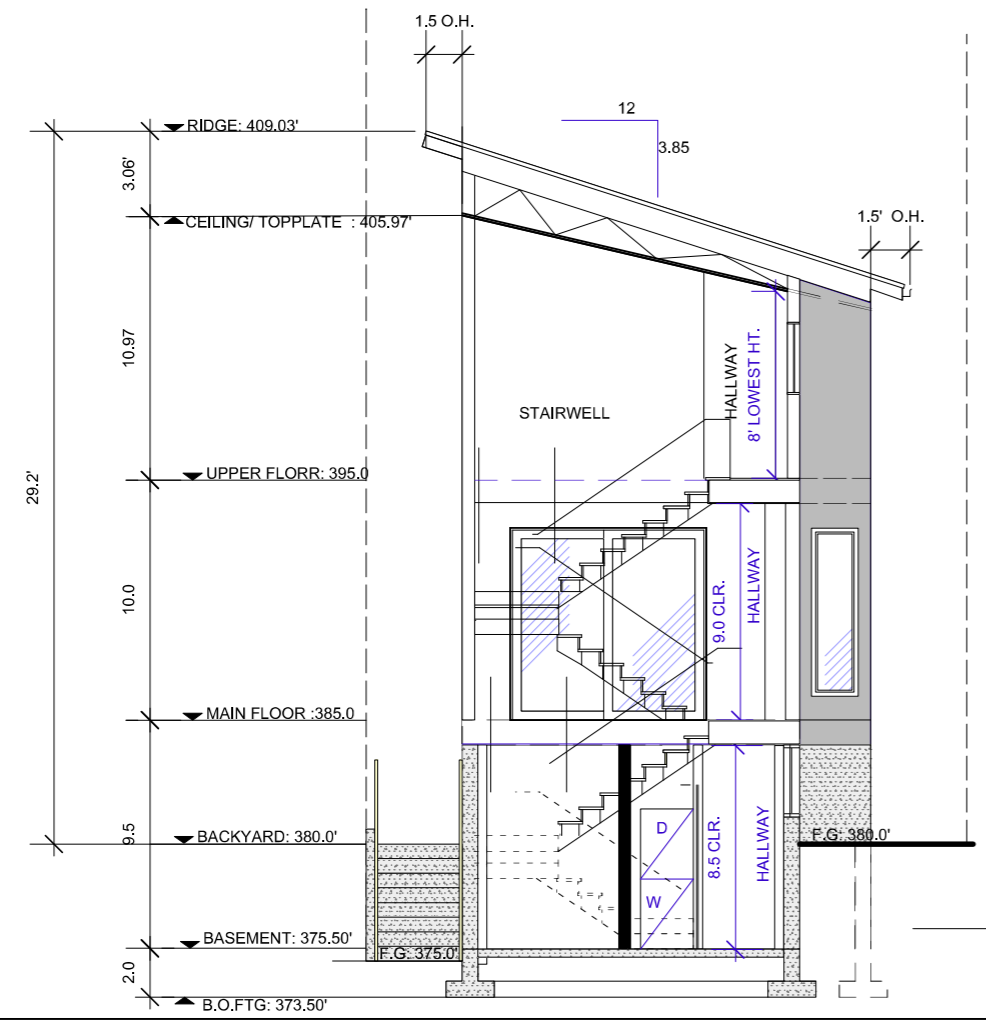


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SECTION AA



SECTION BB

REVISION:

No.	Issue for	DATE
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1	SUBDIV./REZ.	DEC. 20, 2024

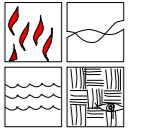
PROJECT:

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

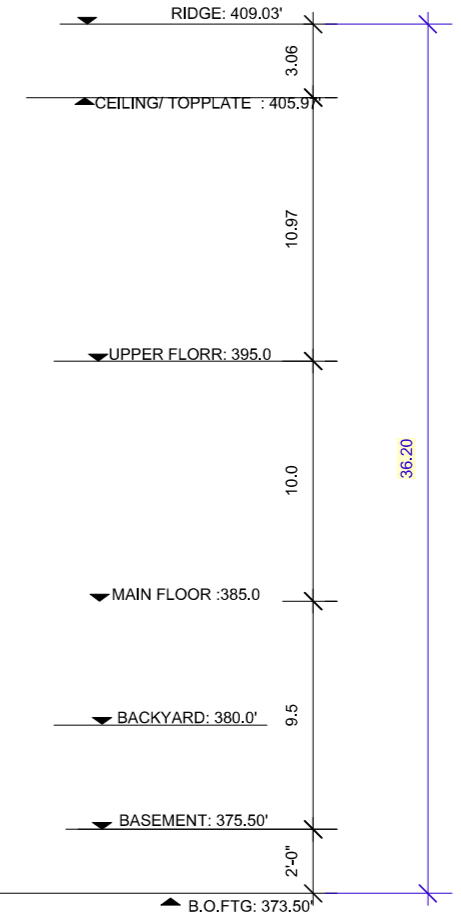
HOUSE A, BLDG. SECTIONS

DATE: OCT. 2024	DRAWING NO.:
DRAWN BY: -G.R.	A-10
CHECKED BY: -M.R. -R.CH	
SCALE: 1/8"	

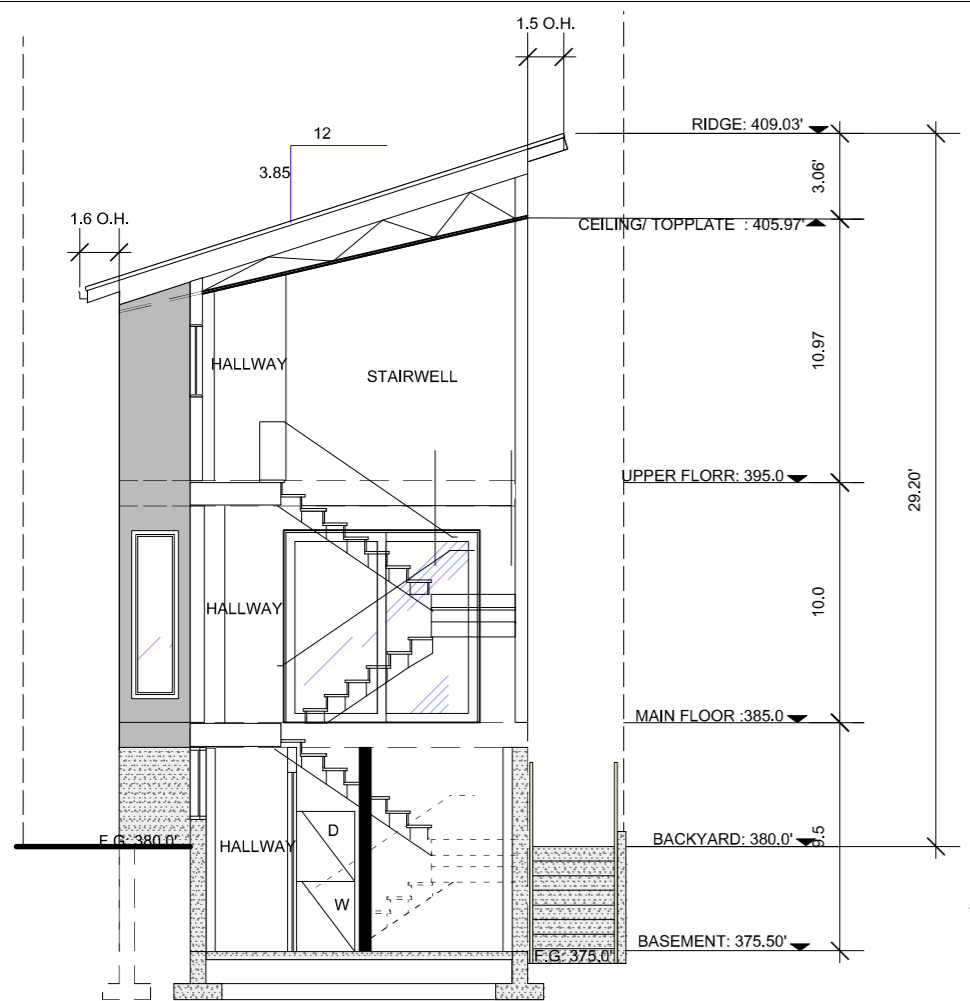


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SECTION AA



SECTION BB

REVISION:

6		
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1	SUBDIV./REZ.	DEC. 20, 2024
No.	Issue for	DATE

PROJECT:

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

HOUSE B, BLDG. SECTIONS

DATE:
OCT. 2024

DRAWN BY :
-G.R.

CHECKED BY:
-M.R.
-R.CH

SCALE: 1/8"

DRAWING NO. :

A-11

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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
6		
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1	SUBDIV./REZ.	DEC.20. 2024

PROJECT:

429 EAST 15TH
NORTH VANCOUVER

DRAWING TITLE:

**GARAGE A & B
PLANS & ELEVATIONS**

DATE:

OCT.2024

DRAWING NO.:

DRAWN BY:

-G.R.

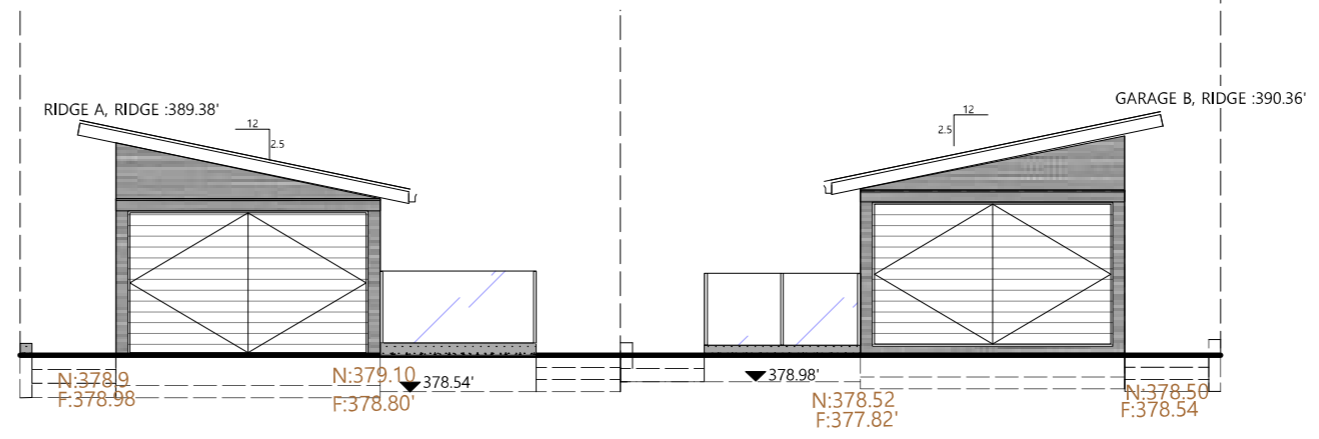
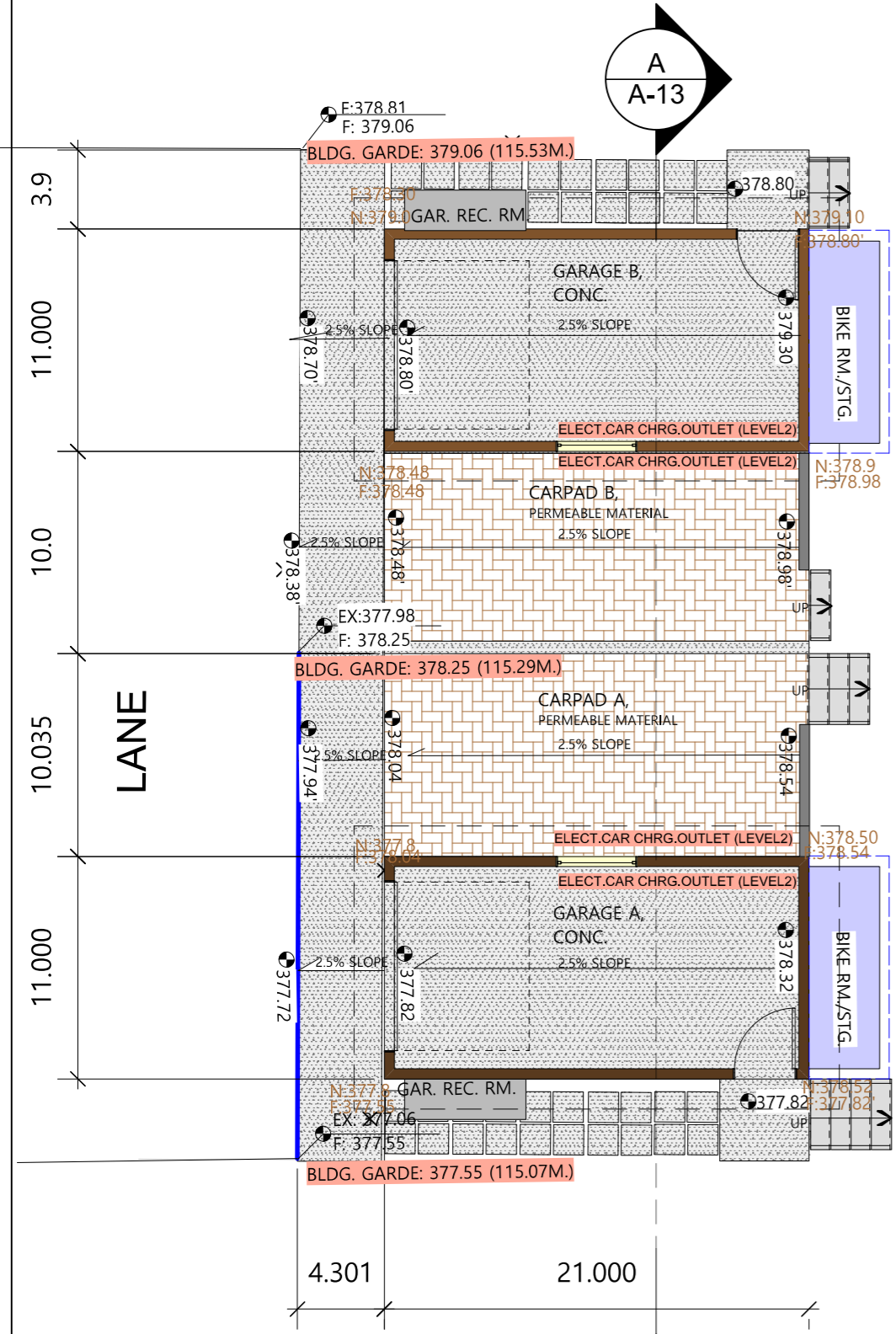
CHECKED BY:

-M.R.

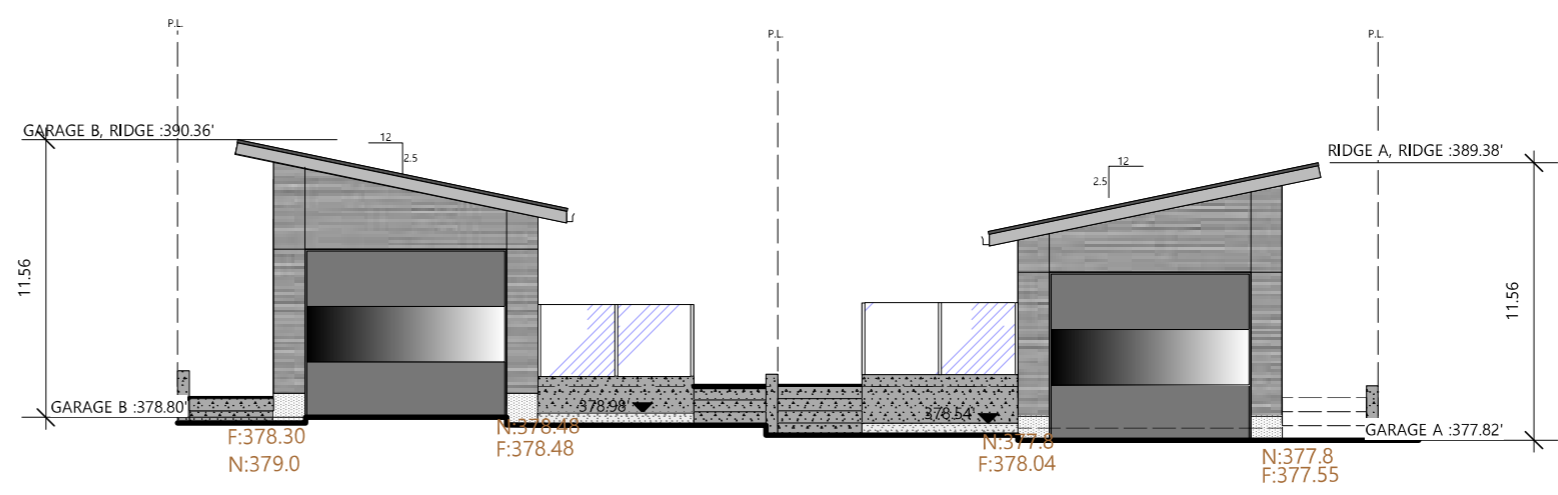
-R.CH

SCALE:1/8"

A-12



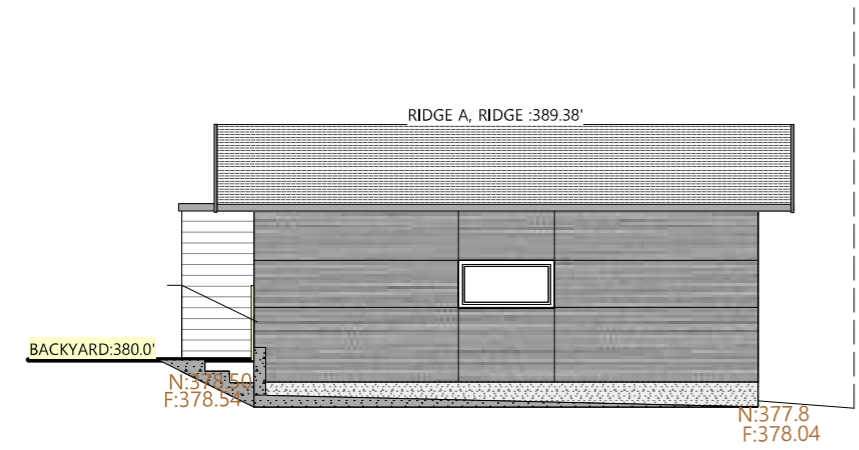
GARAGE A & B REAR ELEVATIONS



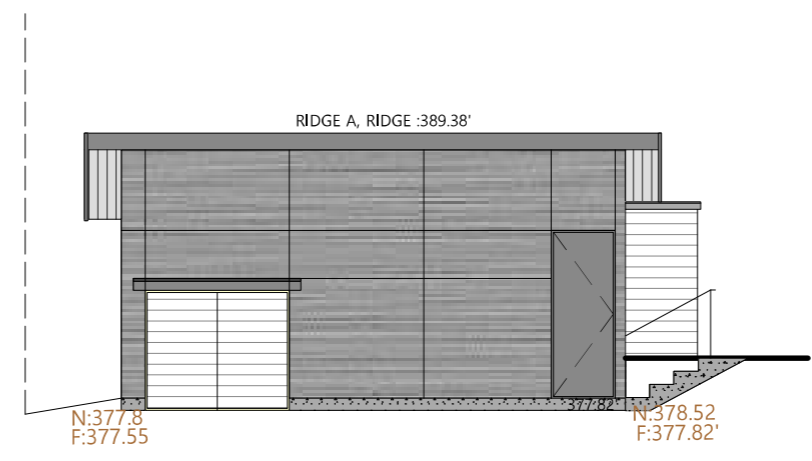
GARAGE A & B FRONT ELEVATIONS

CONSULTANTS:

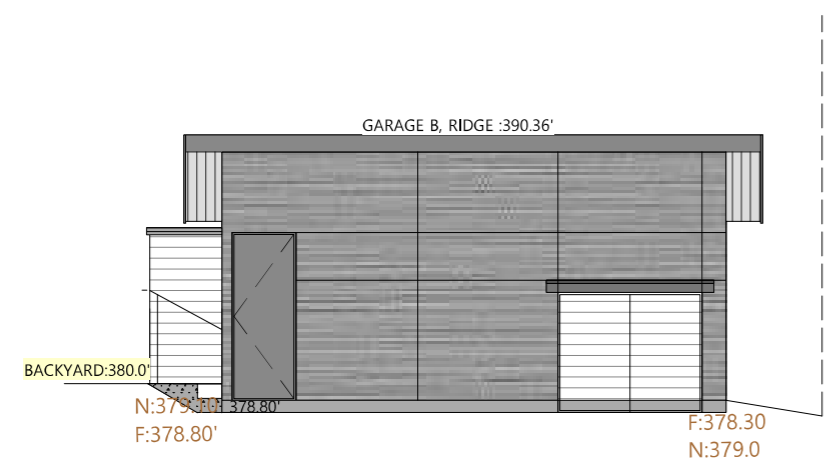
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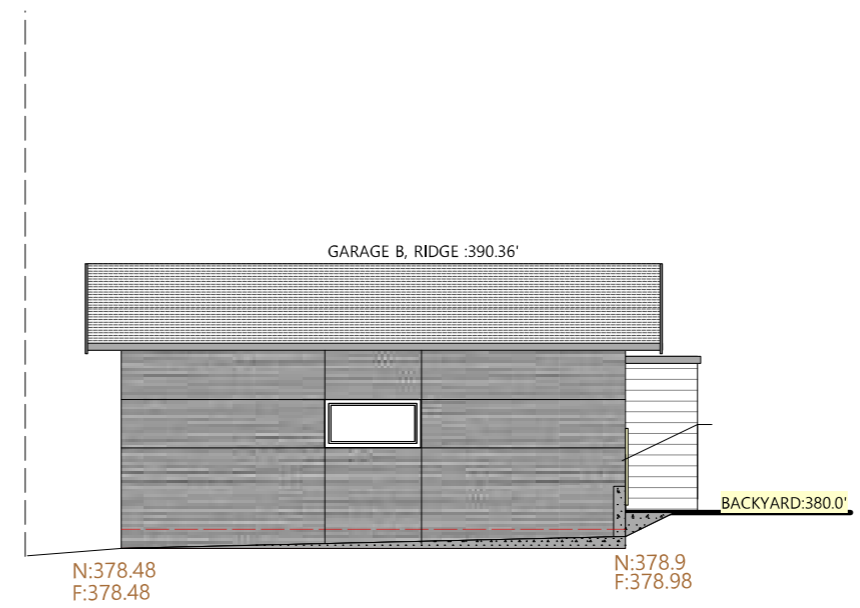
GARAGE A WEST ELEVATION



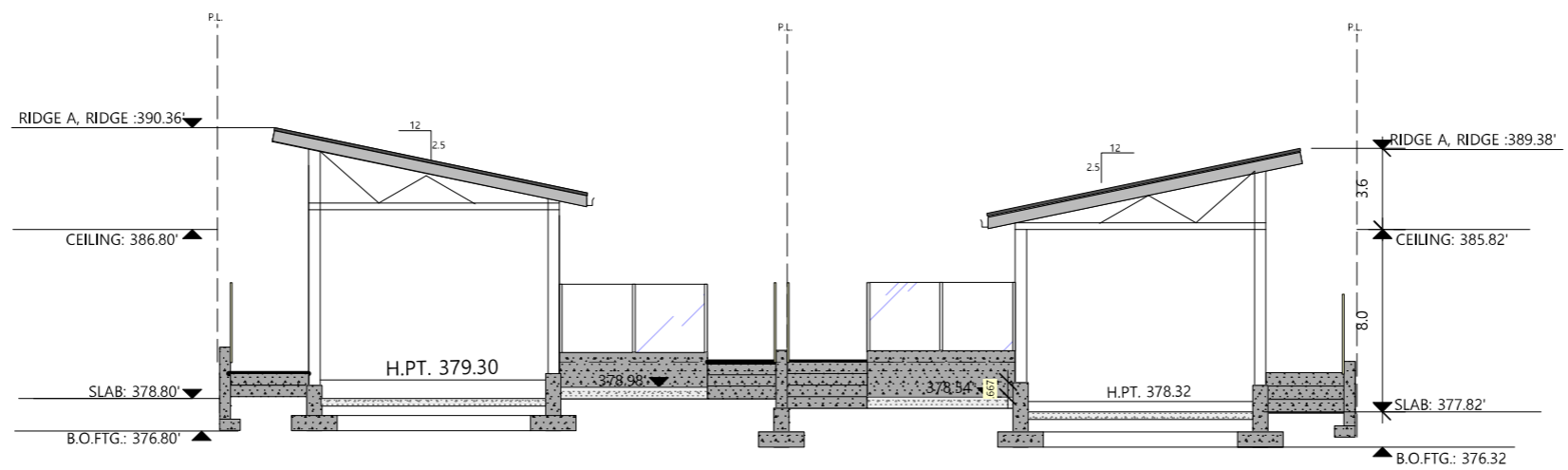
GARAGE A EAST ELEVATION



GARAGE B WEST ELEVATION



GARAGE B EAST ELEVATION



GARAGE A&B SECTIONS

REVISION:		
No.	Issue for	DATE
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1	SUBDIV.REZ.	NOV.8 2024

PROJECT: PREAPP

429 EAST 15TH
NORTH VANCOUVER

DRAWING TITLE:
**GARAGE A & B
ELEVATIONS & SECTIONS**

DATE:
OCT.2024

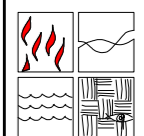
DRAWING NO.:

DRAWN BY :
-G.R.

CHECKED BY:
-M.R.
-R.CH

A-13

SCALE:1/8"



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STREET ELEVATION

REVISION:

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1	SUBDIV./REZ.	DEC. 20, 2024
No.	Issue for	DATE

PROJECT: PREAPP

**429 EAST 15TH
NORTH VANCOUVER**

DRAWING TITLE:

STREET ELEVATION

DATE: OCT 2024	DRAWING NO.:
DRAWN BY : -G.A	A-14
CHECKED BY: -M.R. -R.CH	
SCALE: 1/8"	