

442-444 EAST 1ST STREET,  
NORTH VANCOUVER  
ARCHITECTURAL PLANS  
A-00000-A-25





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NO	DESCRIPTION	DATE
1	ISSUED FOR D.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

207 - 132 15th West Street  
 NORTH VANCOUVER  
 TEL : 779-996 7830  
 EMAIL : rsalehi@salehiarchitect.ca

**CLIENT :**  
 TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 1ST STREET VIEW

SEAL	A-00 000
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DATE :	DRAWN : M.K.
SCALE :	CHECKED : R.S.





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**PROJECT NO.** 03 - 21

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 NORTH WEST VIEW

SEAL	<b>A-0000</b>
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**PROJECT NO. :** 03 - 21

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 SOUTH EAST VIEW

SEAL	<b>A-000</b>
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NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	03-18-2021
2	FOR OWNER REVIEW	03-17-2021
3	FOR OWNER REVIEW	10-08-2021
4	PRE-CONSULTATION SUBMISSION	07-14-2021
5	ADDED GARBAGE RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA EXTENDED POOF OVER ADJUSTED THE BUILDING HEIGHT	11-01-2021
6	ISSUED FOR E.I.P. APPLICATION	04-11-2022

PROPOSED BUILDABLE AREA:  
602 M<sup>2</sup> (6,480 S.F.)  
PROPOSED F.S.R: 1.08



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**PROJECT NO.** 03 - 21

**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
STATISTICS

SEAL

A-00

DATE : DRAWN : M.K.  
SCALE : CHECKED : R.S.

**PROJECT DATA:**

**LEGAL DESCRIPTION :**

STRATA LOT 1 & 2 DISTRICT LOT 274 GROUP 1  
NEW WESTMINSTER DISTRICT  
PID 024-606-472 & 024-606-481  
STRATA PLAN LMS 4009

**CIVIC ADDRESS**

442-444 EAST 1ST STREET, NORTH VANCOUVER, BC

**ZONING**

EXISTING ZONING: RG-3  
SITE AREA: 557.05 M<sup>2</sup> (5,996 S.F.)  
FSR : 1.00  
BONUS F.S.R. FOR LOCK-OFF UNITS: 14.00 M<sup>2</sup> (151 S.F.) PER UNIT  
14.00 M<sup>2</sup> X 4 = 56 M<sup>2</sup> (604 S.F.)  
AS PER SECTION 20 OF PART 2 OF ZONING BY LAW.  
TOTAL ALLOWABLE AREA:  
557.05 M<sup>2</sup> +56 M<sup>2</sup> = 613.05 M<sup>2</sup> (6,599 S.F.)

**PROPOSED BUILDABLE AREA:**

602 M<sup>2</sup> (6,480 S.F.)  
PROPOSED F.S.R: 1.08

**COMMON AREA:**

BICYCLE STORAGE: 21.37 M<sup>2</sup> (230 S.F.) (EXEMPT FROM F.S.R)  
MECHANICAL ROOM: 22.57 M<sup>2</sup> (243 S.F.) (EXEMPT FROM F.S.R)  
ELECTRICAL ROOM: 7.52 M<sup>2</sup> (81 S.F.) (EXEMPT FROM F.S.R)  
ACCESS CORRIDOR: 8.56 M<sup>2</sup> (92.15 S.F.) (EXEMPT FROM F.S.R)  
GARBAGE ROOM:  
REQUIRED/UNIT: 0.486 M<sup>2</sup> ( 5.23 S.F.) X 4 = 1.94 M<sup>2</sup> (20.92 S.F.)  
MINIMUM REQUIRED FLOOR AREA: 11.00 M<sup>2</sup> (118.40 S.F.)  
PROVIDED: 11.00 M<sup>2</sup> (118.40 S.F.) (EXEMPT FROM F.S.R.)  
TOTAL : 71.03 M<sup>2</sup> (764.55 S.F.)

**BUILDING A:**

UNIT A :  
LOCK-OFF UNIT: 67.08 M<sup>2</sup> (722 S.F.) (EXEMPT FROM F.S.R.)  
FIRST FLOOR: 64.57 M<sup>2</sup> (695 S.F.)  
SECOND FLOOR: 68.84 M<sup>2</sup> (741 S.F.)  
UNIT B:  
LOCK-OFF UNIT: 67.08 M<sup>2</sup> (722 S.F.) (EXEMPT FROM F.S.R.)  
FIRST FLOOR: 64.57 M<sup>2</sup> (695 S.F.)  
SECOND FLOOR: 68.84 M<sup>2</sup> (741 S.F.)

**BUILDING B:**

UNIT C  
LOCK-OFF UNIT: 73.39 M<sup>2</sup> (790 S.F.) (EXEMPT FROM F.S.R.)  
FIRST FLOOR: 52.58 M<sup>2</sup> (566 S.F.)  
SECOND FLOOR: 64.20 M<sup>2</sup> (691 S.F.)  
THIRD FLOOR: 50.82 M<sup>2</sup> (547 S.F.)

**UNIT D:**

LOCK-OFF UNIT: 73.39 M<sup>2</sup> (790 S.F.) (EXEMPT FROM F.S.R.)  
FIRST FLOOR: 52.58 M<sup>2</sup> (566 S.F.)  
SECOND FLOOR: 64.20 M<sup>2</sup> (691 S.F.)  
THIRD FLOOR: 50.82 M<sup>2</sup> (547 S.F.)

TOTAL BUILDABLE : 602.00 M<sup>2</sup> (6,480 S.F.)

**REQUIRED SET BACKS:**

FRONT SETBACK: 3.00M (9'-10")  
WEST SETBACK: 2.40M (7'-10 1/2")  
EAST SETBACK: 2.40M (7'-10 1/2")  
REAR SETBACK: 1.60M (5'-3")

**PROVIDED SET BACKS:**

FRONT SETBACK: 3.00M (9'-10")  
WEST SETBACK: 2.40M (7'-10 1/2") - 2.67M (8'-9")  
EAST SETBACK: 2.40M (7'-10 1/2") - 2.67M (8'-9")  
REAR SETBACK: 1.60M (5'-3")

**SITE COVERAGE:**

PERMITTED SITE COVERAGE: 334.45 M<sup>2</sup> (3,600 S.F.) = 60%  
PROVIDED SITE COVERAGE: 316.80 M<sup>2</sup> (3,410 S.F.) = 58%

**PARKING & BIKE STORAGE**

REQUIRED PARKING:  
1 PARKING STALL PER PRINCIPAL UNIT:  
4X1=4 PARKING STALLS

**PROVIDED PARKING STALLS:**

4 PARKING STALLS  
EACH PARKING STALL WILL BE WIRED FOR LEVEL 2 EV  
READY AT NORMAL VOLTAGE OF 240V.

**REQUIRED BICYCLE STORAGE:**

1.5 BICYCLE STORAGE / UNIT

**PROVIDED 6 BICYCLE STORAGES**

EACH BICYCLE STORAGE WILL HAVE A 110V OUTLET FOR  
ELECTRIC CHARGING.

**BUILDING HEIGHT**

**BUILDING A:**

PERMITTED: 29.40'+10.0'=39.40'  
BUILDING HEIGHT FROM AVERAGE BUILDING GRADE AT FRONT: 81.75+39.40'=121.15'  
GREEN ROOF BONUS: 121.15'+1.50'=122.65'  
PROPOSED ROOF PARAPET: 121.62'

**AVERAGE GRADE:**

**LOWEST FINISHED GRADE AT THE BUILDING: 81.33'**  
**HIGHEST FINISHED GRADE WITHIN 10'-0" OF BUILDING: 101.73'**  
**(101.73'+81.33')/2=91.53'**  
BUILDING HEIGHT: 121.62'-91.53'=30.09'

**BUILDING B:**

PERMITTED: 29.40'+10.0'=39.40'  
BUILDING HEIGHT FROM AVERAGE BUILDING GRADE AT REAR:  
107.95'+39.40'=147.35'  
GREEN ROOF BONUS: 147.35'+1.50'=148.85'  
PROPOSED ROOF PARAPET: 141.16'

**AVERAGE GRADE:**

**LOWEST FINISHED GRADE AT THE BUILDING: 98.70'**  
**HIGHEST FINISHED GRADE: WITH IN 10'-0" OF BUILDING:108.25'**  
**(108.25'+98.70')/2=103.48'**  
BUILDING HEIGHT:141.16'-103.48'=37.68'



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**BUILDING CODE ANALYSIS:**

REFERENCE DOCUMENTS:

1.1. 2018 BRITISH COLUMBIA BUILDING CODE.

1.3.3.3 : APPLICATION OF PART 9

CODE APPLICATION : PART 9 OF DIV "B"

3.1.2.1) MAJOR OCCUPANCY CLASSIFICATION GROUP "C"/PART "9"

4 UNITS WITH LOCK-OFF UNITS.

BUILDING AREA : 266.07 m<sup>2</sup> (2,864 S.F.)

3.1.2.52) FACING AT LEAST 1 STREET COMBUSTIBLE CONSTRUCTION

4 UNITS: SPRINKLERED

9.5.3.1.1): ROOM CEILING HEIGHT MINIMUM 2.1 M

9.7.5.2.1): RESISTANCE TO FORCED ENTRY COMPLIES

9.8.2.2.3): MINIMUM CLEAR HEIGHT ABOVE STAIR 1.95 M

TABLE 9.8.4.1: STEP RISERS MINIMUM>MAXIMUM 125-200 MM

TABLE 9.8.4.2: STEP RUNS MINIMUM>MAXIMUM 255-355 MM

9.8.3.1.2): STAIR BETWEEN FLOORS MINIMUM 800 MM WIDTH

TABLE 9.10.9.14.3): SEPARATION OF RESIDENTIAL UNITS 1 HR. F.R.R.

9.10.9.16.2): SEPARATION OF GARAGE SERVING A DWELLING UNIT 1 HR. -F.R.R.

9.10.10.3.1): SEPARATION OF SERVICE ROOMS 2 HR. F.R.R.

9.10.15: SPECIAL SEPARATION COMPLIES (SEE A-13)

9.10.19.3: LOCATION OF SMOKE ALARMS COMPLIES

9.11.1.1.1b): SOUND RATING BETWEEN DWELLING UNIT AND MECHANICAL ROOM STC 50

EXTERIOR WALL INSULATION R24+ BATT INSULATION 3" EXTERIOR RIGID MINERAL WOOL

SUSPENDED FLOOR INSULATION RSI 4.9 R28

ROOF JOIST ASSEMBLIES(FLAT ROOF) RSI 4.9 R40

	BUILDING A				BUILDING B				TOTAL
	UNIT A		UNIT B		UNIT C		UNIT D		
	INCLUDED IN F.S.R.	EXEMPT	INCLUDED IN F.S.R.	EXEMPT	INCLUDED IN F.S.R.	EXEMPT	INCLUDED IN F.S.R.	EXEMPT	
GARAGE	-	-	-	-	-	218	-	218	436
SUB-BASEMENT	-	764.55	-	-	-	-	-	-	764.55
BASEMENT FLOOR	-	722	-	722	-	790	-	790	3,024
FIRST FLOOR	695	-	695	-	566	-	566	-	2,522
SECOND FLOOR	741	-	741	-	691	-	691	-	2,884
THIRD FLOOR	-	-	-	-	547	-	547	-	1,094
TOTAL F.S.R.	1,436	-	1,436	-	1,804	-	1,804	-	6,480
TOTAL EXEMPT	-	1,488.55	-	722	-	1,008	-	1,008	4,224.55
TOTAL GROSS FLOOR AREA	2,922.55		2,158		2,812		2,812		10,704.55

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<b>PROJECT :</b>	
442-444 EAST 1ST STREET. NORTH VANCOUVER	
<b>DRAWING TITLE :</b>	
BUILDING CODE ANALYSIS	
<b>SEAL</b>	<b>A-0</b>
<b>DATE :</b>	<b>DRAWN :</b> M.K.
<b>SCALE :</b>	<b>CHECKED :</b> R.S.



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2	FOR OWNER REVIEW	03-17-2021
3	PRE-COMPLIATION SUBMISSION	07-14-2021
4	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADAPTED SIDE TERRACES PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA/EXTENDED POOF OVER ADAPTED THE BUILDING HEIGHT	11-01-2021
5	ISSUED FOR D.P. APPLICATION	04-11-2022



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**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 CONTEXT PLAN

SEAL  
**A-01**

DATE :  
 SCALE :

DRAWN : M.K.  
 CHECKED : R.S.



**436-438**

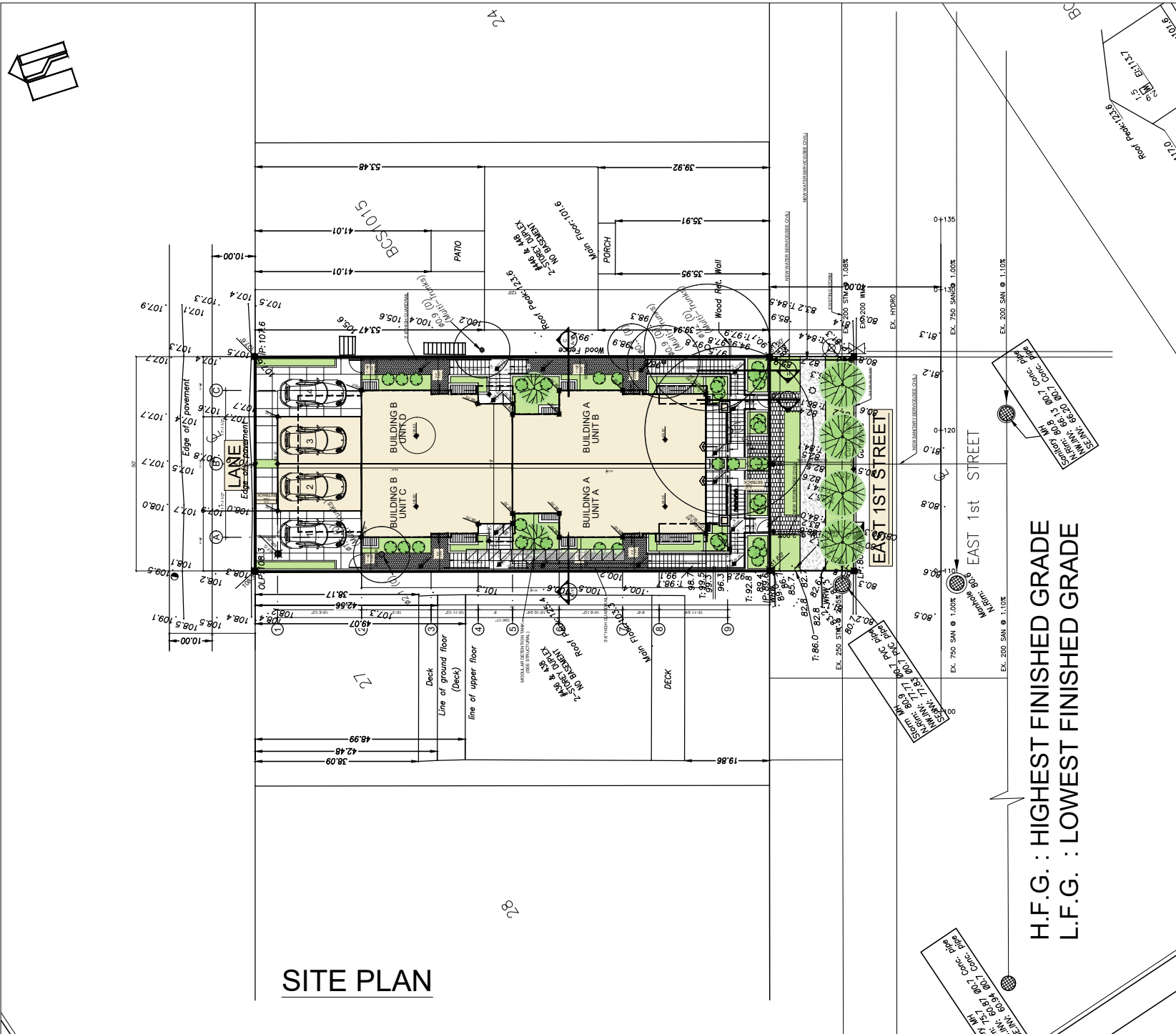


**442-444**



**446-448**





**SITE PLAN**

**H.F.G. : HIGHEST FINISHED GRADE  
L.F.G. : LOWEST FINISHED GRADE**

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3	FOR OWNER REVIEW	10-08-2021
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6	ISSUED FOR E.I.P. APPLICATION	04-11-2022



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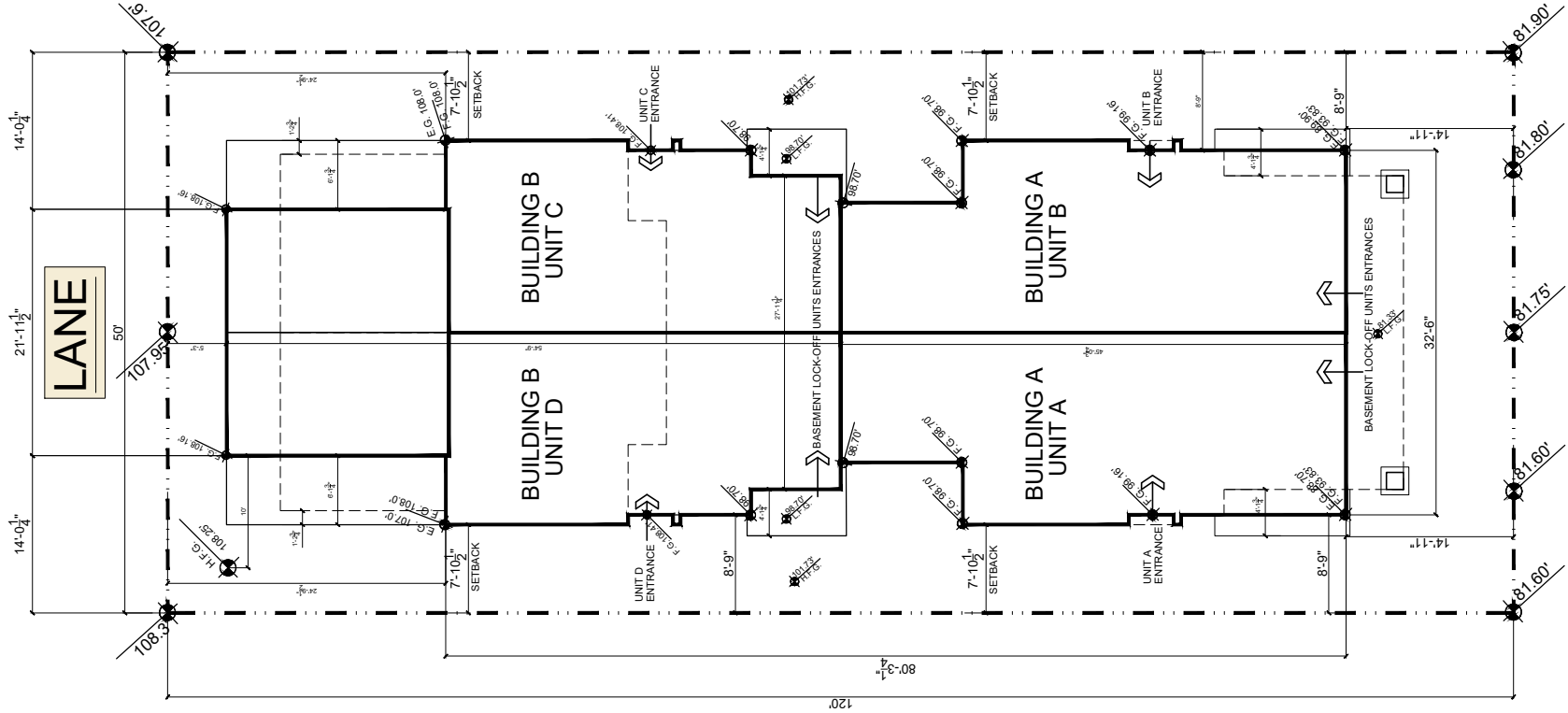
**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
SITE PLAN

SEAL **A-02**

DATE : DRAWN : M.K.  
SCALE : 1/32 CHECKED : R.S.





**KEY PLAN**

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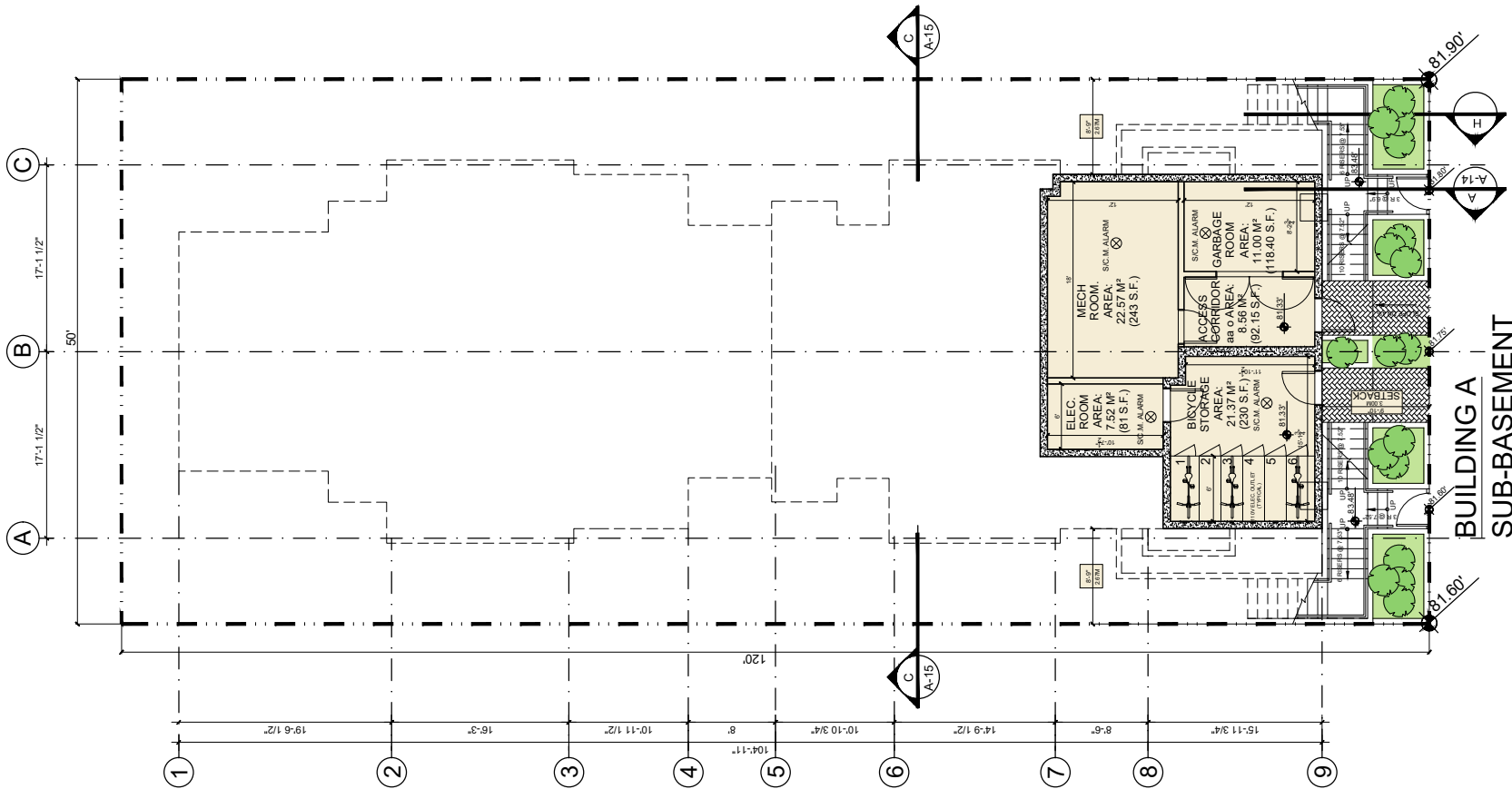
**DRAWING TITLE :**  
 KEY PLAN

SEAL **A-03**

**DATE :** **DRAWN : M.K.**

**SCALE :** 1/16 **CHECKED : R.S.**





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1	FOR OWNER REVIEW	03-16-2021
2	FOR OWNER REVIEW	03-17-2021
3	FOR OWNER REVIEW	10-06-2021
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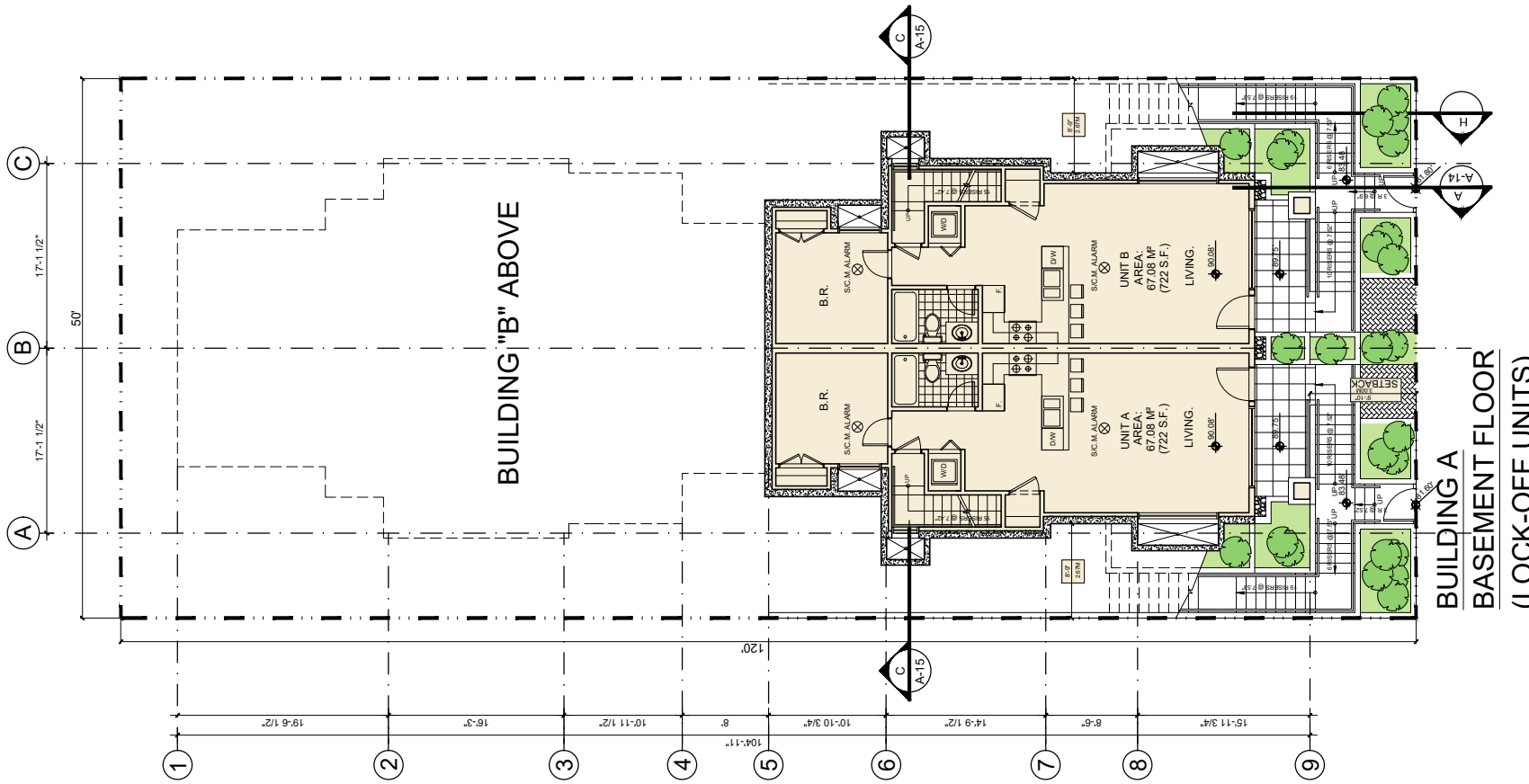
**DRAWING TITLE :**  
 SUB-BASEMENT

SEAL  
A-04

**DATE :** DRAWN : M.K.

**SCALE :** 1/16 CHECKED : R.S.





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3	FOR OWNER REVIEW	10-06-2021
4	PRE-CONSULTATION SUBMISSION	07-14-2021
5	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA EXTENDED ROOF OVER ADJUSTED THE BUILDING HEIGHT	11-01-2021
6	ISSUED FOR E.I.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

207 - 132 15th West Street  
 NORTH VANCOUVER  
 TEL : 779-996 7820  
 EMAIL : rsalehi@salehiarchitect.ca

**CLIENT :**  
 TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 BUILDING A  
 LOCK-OFF UNITS

**SEAL** **A-05**

**DATE :** **DRAWN :** M.K.

**SCALE :** 1/16 **CHECKED :** R.S.

BUILDING B BASEMENT FLOOR (LOCK-OFF UNITS)



BUILDING A  
FIRST FLOOR

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NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	03-16-2021
2	FOR OWNER REVIEW	03-17-2021
3	FOR OWNER REVIEW	10-06-2021
4	PRE-CONSULTATION SUBMISSION	07-14-2021
5	ADDED GARBAGE RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA EXTENDED ROOF OVER COMPACT GARBAGE	11-01-2021
6	ISSUED FOR D.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

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NORTH VANCOUVER  
TEL : 779-9966 7830  
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**CLIENT :**  
TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

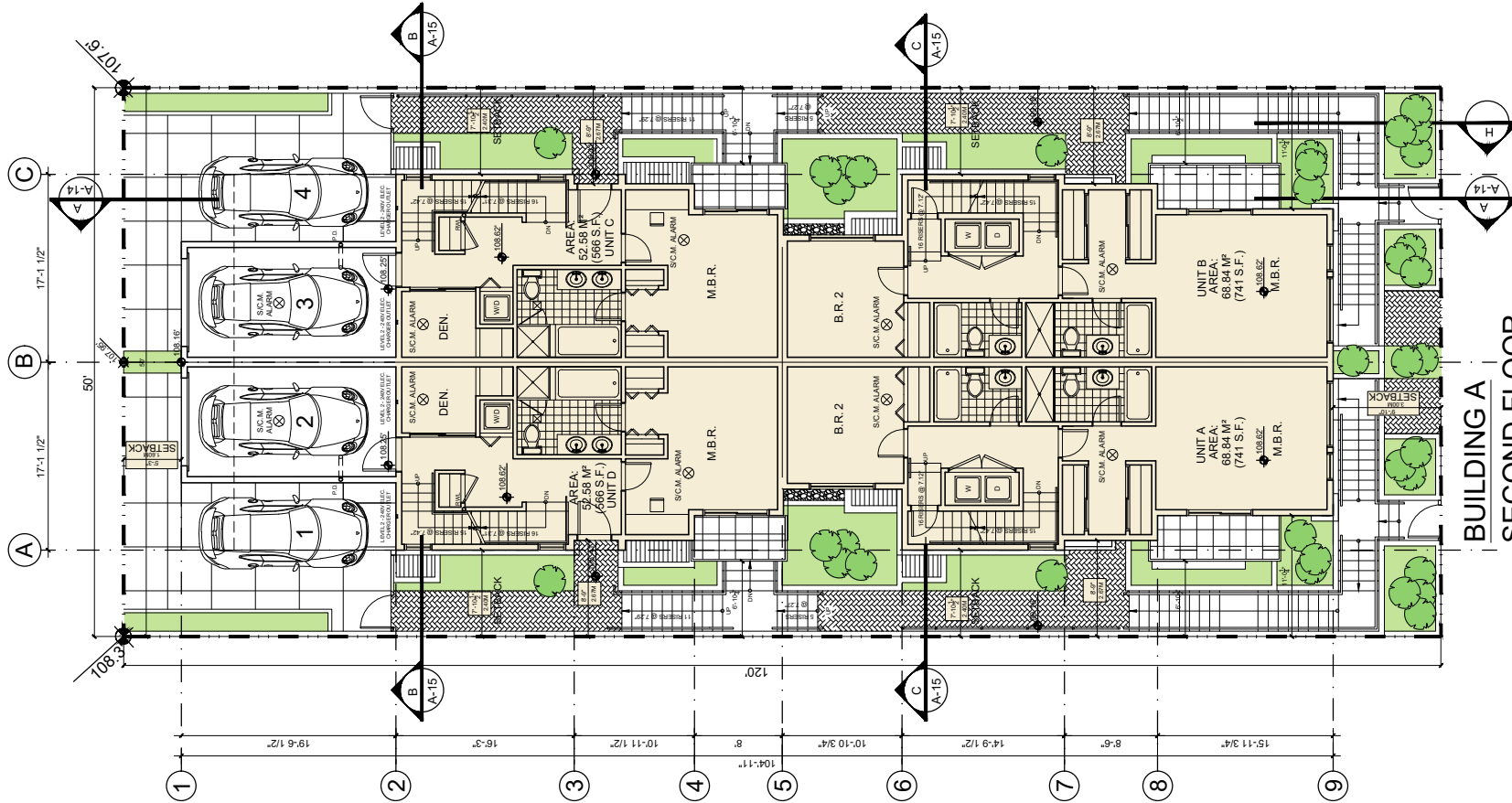
**DRAWING TITLE :**  
BUILDING A FIRST FLOOR  
BUILDING B LOCK-OFF  
UNITS

SEAL	<b>A-06</b>
DATE :	DRAWN : M.K.
SCALE : 1/16	CHECKED : R.S.





**BUILDING B FIRST FLOOR**



**BUILDING A SECOND FLOOR**

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NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	03-16-2021
2	FOR OWNER REVIEW	03-17-2021
3	FOR OWNER REVIEW	10-06-2021
4	PRE-CONSULTATION SUBMISSION	07-14-2021
5	ADDED GARBAGE RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA EXTENDED ROOF OVER COMPACT GARBAGE ADJUSTED THE BUILDING HEIGHT	11-01-2021
6	ISSUED FOR E.I.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

207 - 132 15th West Street  
NORTH VANCOUVER  
TEL : 779-996 7820  
EMAIL : fsalehi@salehiarchitect.ca

**CLIENT :**  
TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

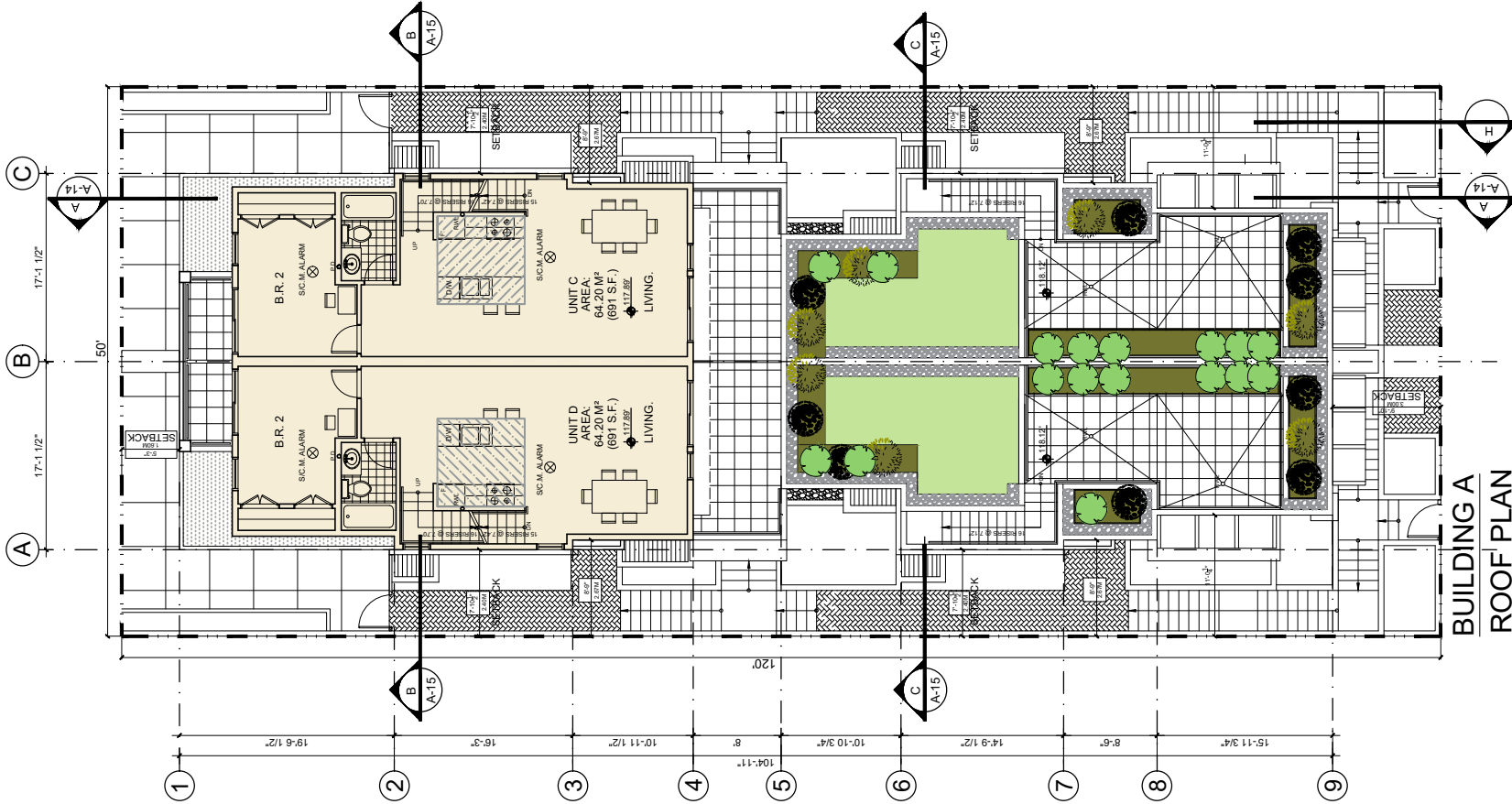
**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
BUILDING A SECOND FLOOR  
BUILDING B FIRST FLOOR

SEAL	<b>A-07</b>
DATE :	DRAWN : M.K.
SCALE : 1/16	CHECKED : R.S.



BUILDING B SECOND FLOOR



BUILDING A  
ROOF PLAN

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NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	03-16-2021
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3	FOR OWNER REVIEW	10-06-2021
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5	ADDED GARBAGE RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREAS EXTENDED ROOF OVER COMPACT GARBAGE	11-01-2021
6	ISSUED FOR E.I.P. APPLICATION	04-11-2022



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CLIENT :  
TERRACE RESIDENCE.

PROJECT NO. 03 - 21

PROJECT :  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

DRAWING TITLE :  
BUILDING A ROOF PLAN  
BUILDING B SECOND  
FLOOR

SEAL  
A-08

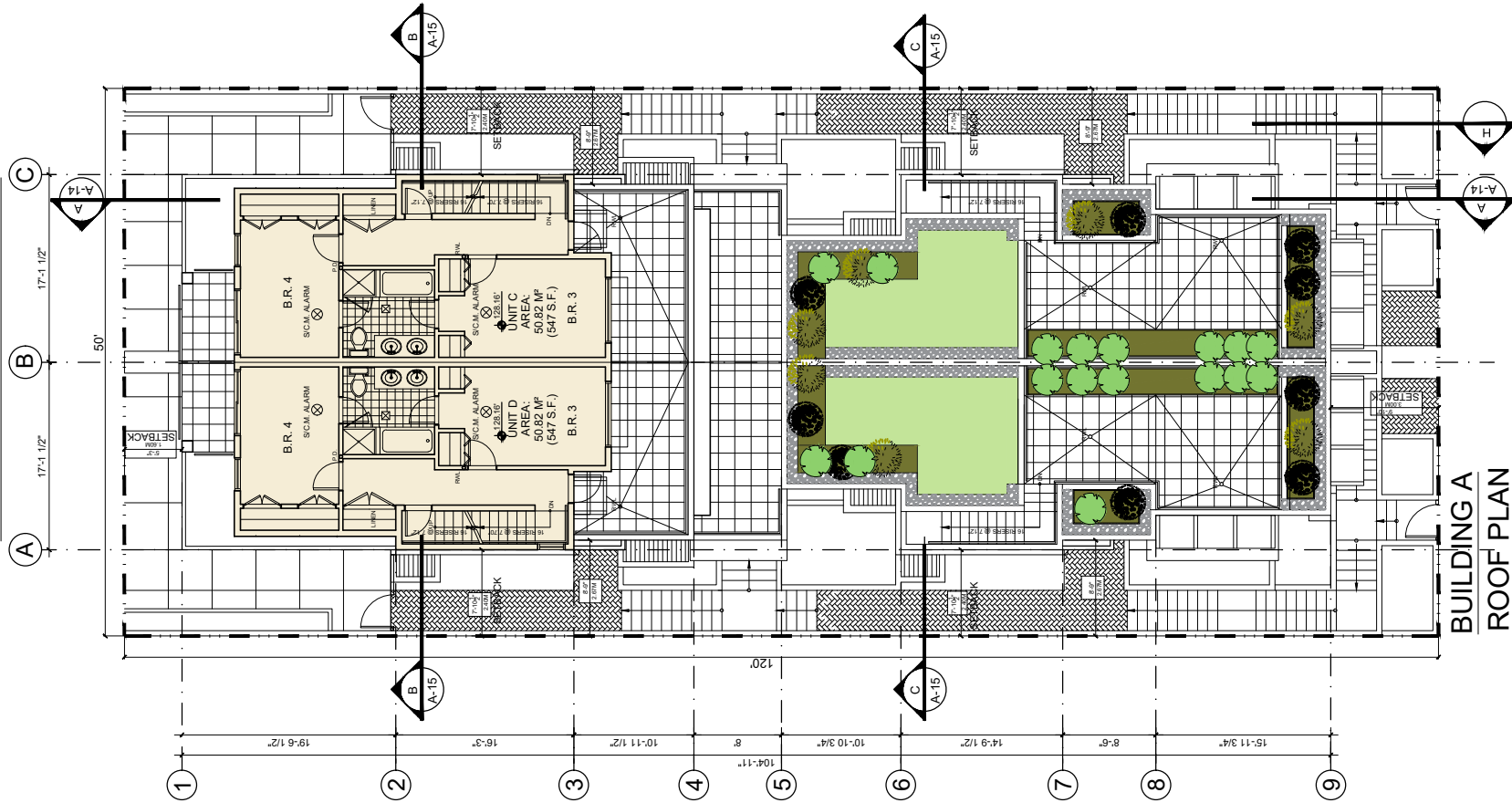
DATE : DRAWN : M.K.

SCALE : 1/16 CHECKED : R.S.





BUILDING B THIRD FLOOR



BUILDING A  
ROOF PLAN

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NO	DESCRIPTION	DATE
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4	PRE-CONSULTATION SUBMISSION	07-14-2021
5	ADDED GARBAGE RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA EXTENDED ROOF OVER COMPACT GARBAGE ADJUSTED THE BUILDING HEIGHT	11-01-2021
6	ISSUED FOR E.I.P. APPLICATION	04-11-2022



SALEHI ARCHITECT INC.

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CLIENT :  
TERRACE RESIDENCE.

PROJECT NO. 03 - 21

PROJECT :  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

DRAWING TITLE :  
BUILDING A ROOF PLAN  
BUILDING B THIRD FLOOR

SEAL  
A-09

DATE :  
SCALE : 1/16  
DRAWN : M.K.  
CHECKED : R.S.



**BUILDING B ROOF PLAN**



**BUILDING A ROOF PLAN**

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3	FOR OWNER REVIEW	10-06-2021
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5	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA EXTENDED ROOF OVER COMPACT GARBAGE ADJUSTED THE BUILDING HEIGHT	11-01-2021
6	ISSUED FOR E.I.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

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**CLIENT :**  
 TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 BUILDING A ROOF PLAN  
 BUILDING B ROOF PLAN

SEAL	<b>A-10</b>
DATE :	DRAWN : M.K.
SCALE : 1/16	CHECKED : R.S.



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436-438

446-448

SOUTH ELEVATION

**FINISH MATERIALS LIST :**

- |  |   |  |
|--|---|--|
| <p>1 STAINED CEDAR SIDING (6" EXPOSURE)<br/>PINE CONE - (3046-SHERWIN WILLIAMS)</p> <p>2 SMOOTH STUCCO FINISH<br/>ETHEREAL WHITE - (6182 -SHERWIN WILLIAMS)</p> <p>3 2"X6" PAINTED WNDOW TRIM<br/>NATURAL CREAM - (OC-14 BENJAMIN MOORE)</p> <p>4 EXPOSED PAINTED CONCRETE<br/>ZEPPELIN - (CL316M-GENERAL PAINT)</p> | <p>5 OAK SOLID WOOD DOOR<br/>PINE CONE - (3046 SHERWIN WILLIAMS)</p> <p>6 BICYCLE STORAGE / MECHANICAL / ELECTRICAL &amp; GARBAGE ROOM DOORS<br/>PAINTED METAL DOOR</p> <p>7 INSULATED PVC GARAGE DOOR<br/>SHADOW GRAY- (2125-40 BENJAMIN MOORE)</p> <p>8 RESIDENTIAL VINYL WNDOW FRAMES<br/>WHITE COLOUR</p> | <p>9 ALUMINUM GUARDRAIL WITH CLEAR GLAZING<br/>BLACK</p> <p>10 ALUMINUM AWNING</p> <p>11 PAINTED 1"X4" TRIM<br/>PINE CONE - (3046-SHERWIN WILLIAMS)</p> <p>12 STAINED WOOD SOFFIT WITH VENTING STRIP</p> |
|--|---|--|

NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	09-16-2021
2	FOR OWNER REVIEW	09-17-2021
3	PRE-CONSULTATION SUBMISSION	09-14-2021
4	ADDED GARAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED LAMB E.C.O. LOOK-OFF UNIT TO PROVIDE EXPOSED GARAGE	11-01-2021
5	REVISED PER D.P. APPLICATION	08-11-2022

**SALEHI ARCHITECT INC.**

207 - 132 15th West Street  
NORTH VANCOUVER  
TEL : 778-696-7833  
EMAIL : salehi@salehiarchitect.ca

**CLIENT :**  
TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
SOUTH ELEVATION

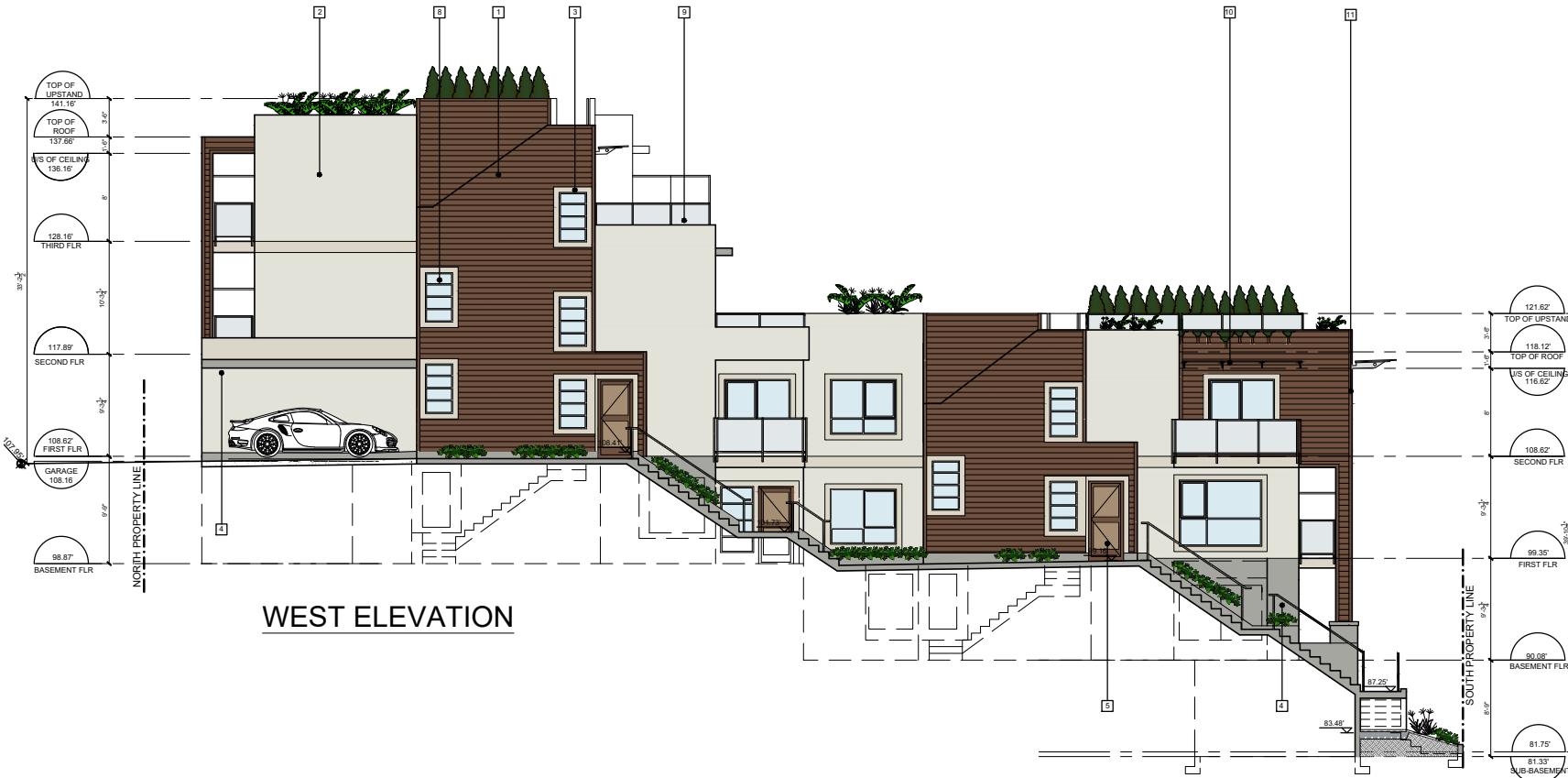
SEAL

**A-11**

**DATE :**                      **DRAWN :** M.K.  
**SCALE :** 1/16                      **CHECKED :** R.S.

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**WEST ELEVATION**

NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	03-16-2021
2	FOR OWNER REVIEW	03-17-2021
3	PRE-CONSULTATION SUBMISSION	07-14-2021
4	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS C & D LOCK-OFF UNITS TO PROVIDE BROTHER LIVING AREA EXTENDED POOF OVER ADJUSTED THE BUILDING HEIGHT	11-01-2021
5	ISSUED FOR O.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

207 - 132 15th West Street  
 NORTH VANCOUVER  
 TEL : 778-996 7830  
 EMAIL : rsalehi@salehiarchitect.ca

**CLIENT :**  
 TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 WEST ELEVATION

SEAL  
A-12

**DATE :** DRAWN : M.K.

**SCALE :** 1/16 CHECKED : R.S.

- FINISH MATERIALS LIST :**
- |  |   |   |
|--|---|---|
| <b>1</b> STAINED CEDAR SIDING (6" EXPOSURE)<br>PINE CONE - (3046-SHERWIN WILLIAMS) | <b>5</b> OAK SOLID WOOD DOOR<br>PINE CONE - (3046 SHERWIN WILLIAMS)                           | <b>9</b> ALUMINUM GUARDRAIL WITH CLEAR GLAZING<br>BLACK             |
| <b>2</b> SMOOTH STUCCO FINISH<br>ETHEREAL WHITE - (6182 -SHERWIN WILLIAMS)         | <b>6</b> BICYCLE STORAGE / MECHANICAL / ELECTRICAL & GARBAGE ROOM DOORS<br>PAINTED METAL DOOR | <b>10</b> ALUMINUM AWNING   |
| <b>3</b> 2"X6" PAINTED WINDOW TRIM<br>NATURAL CREAM - (OC-14 BENJAMIN MOORE)       | <b>7</b> INSULATED PVC GARAGE DOOR<br>SHADOW GRAY - (2125-40 BENJAMIN MOORE)                  | <b>11</b> PAINTED 1"X4" TRIM<br>PINE CONE - (3046-SHERWIN WILLIAMS) |
| <b>4</b> EXPOSED PAINTED CONCRETE<br>ZEPPELIN - (CL316M-GENERAL PAINT)             | <b>8</b> RESIDENTIAL VINYL WINDOW FRAMES<br>WHITE COLOUR                                      | <b>12</b> STAINED WOOD SOFFIT WITH VENTING STRIP                    |



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NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	03-10-2021
2	FOR OWNER REVIEW	03-17-2021
3	PRE-CONSULTATION SUBMISSION	07-14-2021
4	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED LIVES & G LOCK-OFF UNITS TO PROVIDE IMPROVED LIVING AREA/EXTENDED POOF OVER GARAGE/ADJUSTED THE BUILDING HEIGHT	11-01-2021
5	ISSUED FOR D.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

207 - 132 15th West Street  
 NORTH VANCOUVER  
 TEL : 779-0966 7820  
 EMAIL : rsalehi@salehiarchitect.ca

**CLIENT :**  
TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
EAST ELEVATION

SEAL

A-13

DATE :      DRAWN : M.K.  
 SCALE : 1/16      CHECKED : R.S.

- FINISH MATERIALS LIST :**
- |  |   |   |
|--|---|---|
| <p><b>1</b> STAINED CEDAR SIDING (6" EXPOSURE)<br/>PINE CONE - (3046-SHERWIN WILLIAMS)</p> | <p><b>5</b> OAK SOLID WOOD DOOR<br/>PINE CONE - (3046 SHERWIN WILLIAMS)</p>                               | <p><b>9</b> ALUMINUM GUARDRAIL WITH CLEAR GLAZING<br/>BLACK</p>             |
| <p><b>2</b> SMOOTH STUCCO FINISH<br/>ETHEREAL WHITE - (6182 -SHERWIN WILLIAMS)</p>         | <p><b>6</b> BICYCLE STORAGE / MECHANICAL / ELECTRICAL &amp; GARBAGE ROOM DOORS<br/>PAINTED METAL DOOR</p> | <p><b>10</b> ALUMINUM AWNING</p>  |
| <p><b>3</b> 2"X6" PAINTED WINDOW TRIM<br/>NATURAL CREAM - (OC-14 BENJAMIN MOORE)</p>       | <p><b>7</b> INSULATED PVC GARAGE DOOR<br/>SHADOW GRAY - (2125-40 BENJAMIN MOORE)</p>                      | <p><b>11</b> PAINTED 1"X4" TRIM<br/>PINE CONE - (3046-SHERWIN WILLIAMS)</p> |
| <p><b>4</b> EXPOSED PAINTED CONCRETE<br/>ZEPPELIN - (CL316M-GENERAL PAINT)</p>             | <p><b>8</b> RESIDENTIAL VINYL WINDOW FRAMES<br/>WHITE COLOUR</p>  | <p><b>12</b> STAINED WOOD SOFFIT WITH VENTING STRIP</p>                     |

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**NORTH ELEVATION**

**FINISH MATERIALS LIST :**

- |  |   |   |
|--|---|---|
| <b>1</b> STAINED CEDAR SIDING (6" EXPOSURE)<br>PINE CONE - (3046-SHERWIN WILLIAMS) | <b>5</b> OAK SOLID WOOD DOOR<br>PINE CONE - (3046 SHERWIN WILLIAMS)                           | <b>9</b> ALUMINUM GUARDRAIL WITH CLEAR GLAZING<br>BLACK             |
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| <b>3</b> 2"X6" PAINTED WINDOW TRIM<br>NATURAL CREAM - (OC-14 BENJAMIN MOORE)       | <b>7</b> INSULATED PVC GARAGE DOOR<br>SHADOW GRAY- (2125-40 BENJAMIN MOORE)                   | <b>11</b> PAINTED 1"X4" TRIM<br>PINE CONE - (3046-SHERWIN WILLIAMS) |
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NO	DESCRIPTION	DATE
1	FOR OWNER REVIEW	03-16-2021
2	FOR OWNER REVIEW	03-17-2021
3	PRE-CONSULTATION SUBMISSION	07-14-2021
4	ADDED GARBAGE/RECYCLING ROOM IN SUB-BASEMENT ADJUSTED SIDE SETBACKS PROVIDED UNITS & 2 LOCK-OFF UNITS TO PROVIDE BRIGHTER LIVING AREA/EXTENDED POOF OVER GARAGEPORT CHANGE	11-01-2021
5	ISSUED FOR D.P. APPLICATION	04-11-2022



**SALEHI ARCHITECT INC.**

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EMAIL : rsalehi@salehiarchitect.ca

**CLIENT :**  
TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
NORTH ELEVATION

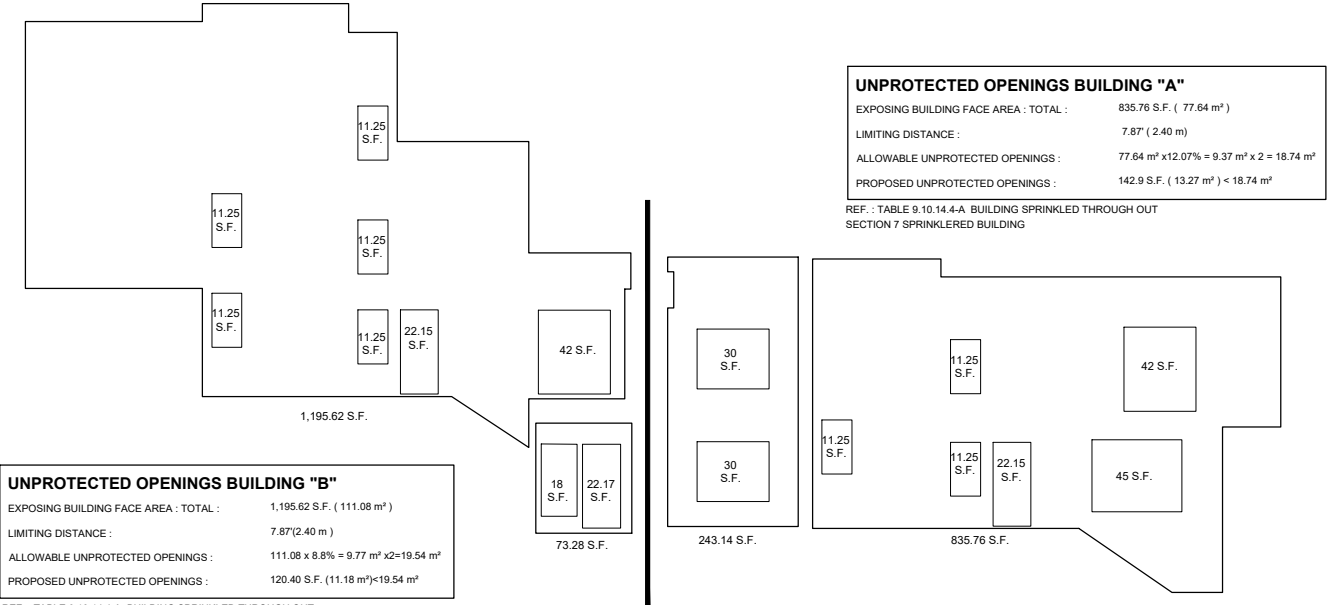
SEAL	<b>A-14</b>
DATE :	DRAWN : M.K.
SCALE : 1/16	CHECKED : R.S.



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NO	DESCRIPTION	DATE
1	ISSUED FOR D.P. APPLICATION	04-11-2022



**UNPROTECTED OPENINGS BUILDING "A"**

EXPOSING BUILDING FACE AREA : TOTAL : 835.76 S.F. ( 77.64 m<sup>2</sup> )

LIMITING DISTANCE : 7.87' ( 2.40 m )

ALLOWABLE UNPROTECTED OPENINGS : 77.64 m<sup>2</sup> x 12.07% = 9.37 m<sup>2</sup> x 2 = 18.74 m<sup>2</sup>

PROPOSED UNPROTECTED OPENINGS : 142.9 S.F. ( 13.27 m<sup>2</sup> ) < 18.74 m<sup>2</sup>

REF. : TABLE 9.10.14.4-A BUILDING SPRINKLED THROUGH OUT SECTION 7 SPRINKLERED BUILDING

**UNPROTECTED OPENINGS BUILDING "B"**

EXPOSING BUILDING FACE AREA : TOTAL : 1,195.62 S.F. ( 111.08 m<sup>2</sup> )

LIMITING DISTANCE : 7.87'(2.40 m )

ALLOWABLE UNPROTECTED OPENINGS : 111.08 x 8.8% = 9.77 m<sup>2</sup> x2=19.54 m<sup>2</sup>

PROPOSED UNPROTECTED OPENINGS : 120.40 S.F. (11.18 m<sup>2</sup>)<19.54 m<sup>2</sup>

REF. : TABLE 9.10.14.4-A BUILDING SPRINKLED THROUGH OUT SECTION 7 SPRINKLERED BUILDING

**UNPROTECTED OPENINGS BUILDING "B"**

EXPOSING BUILDING FACE AREA : TOTAL : 73.28 S.F. (6.81m<sup>2</sup> )

LIMITING DISTANCE : 13.41'(4.00 m )

ALLOWABLE UNPROTECTED OPENINGS : 6.81 m<sup>2</sup> x 39% =2.65 m<sup>2</sup> x2=5.31 m<sup>2</sup>

PROPOSED UNPROTECTED OPENINGS : 40.17 S.F. (3.73 m<sup>2</sup> ) < 5.31m<sup>2</sup>

REF. : TABLE 9.10.14.4-A BUILDING SPRINKLED THROUGH OUT SECTION 7 SPRINKLERED BUILDING

**UNPROTECTED OPENINGS BUILDING "A"**

EXPOSING BUILDING FACE AREA : TOTAL : 243.14 S.F. ( 22.59 m<sup>2</sup> )

LIMITING DISTANCE : 13.41' ( 4.00 m )

ALLOWABLE UNPROTECTED OPENINGS : 22.59 m<sup>2</sup> x 39% = 8.81 m<sup>2</sup> x2= 17.62 m<sup>2</sup>

PROPOSED UNPROTECTED OPENINGS : 60 S.F. ( 5.57 m<sup>2</sup> ) < 17.62 m<sup>2</sup>

REF. : TABLE 9.10.14.4-A BUILDING SPRINKLED THROUGH OUT SECTION 7 SPRINKLERED BUILDING



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**CLIENT :**  
 TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

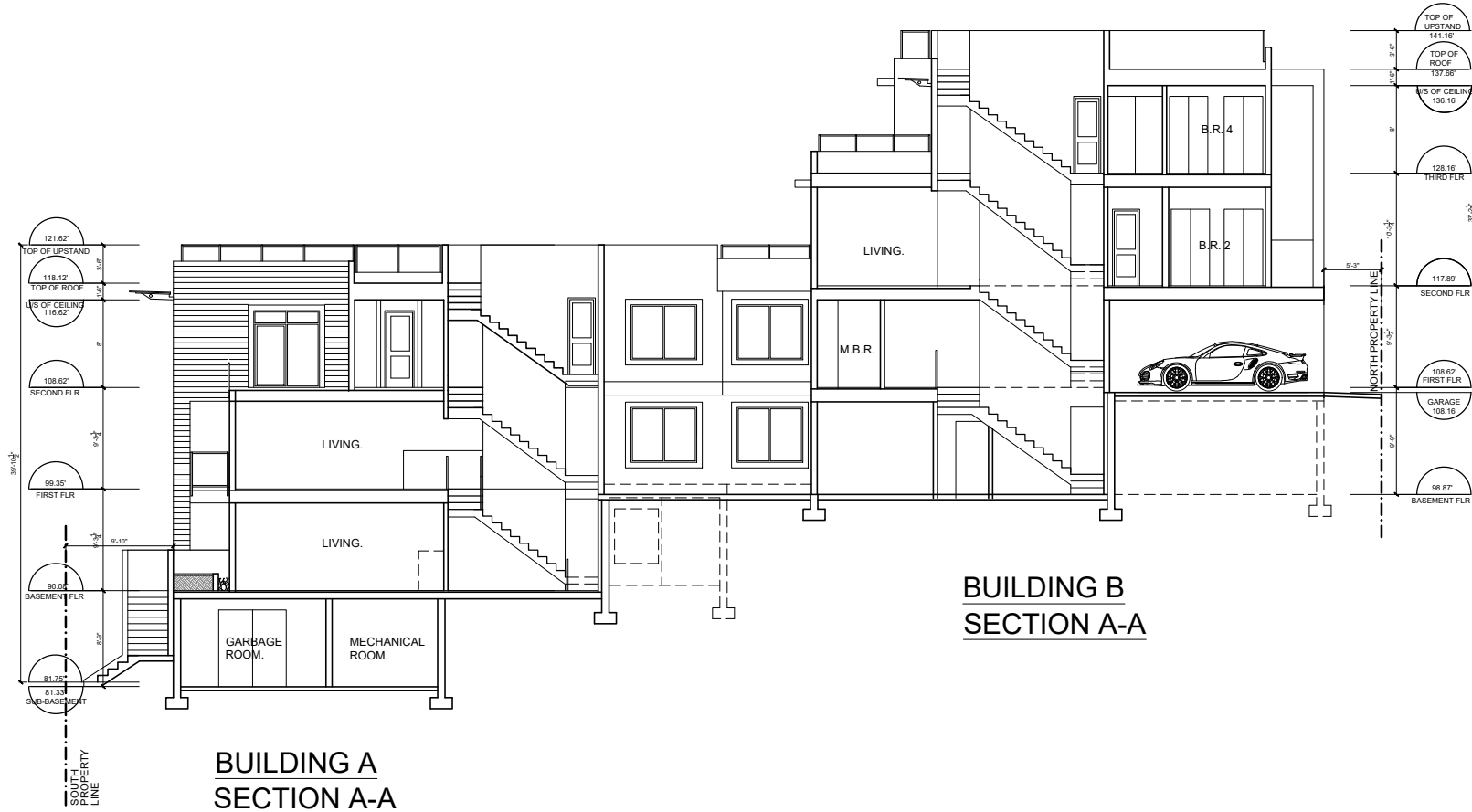
**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 UNPROTECTED OPENING  
 CALCULATIONS

**SEAL**  
**A-15**

**DATE :** DRAWN : M.K.

**SCALE :** 1/16 CHECKED : R.S.



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NO	DESCRIPTION	DATE
1	ISSUED FOR D.P. APPLICATION	04-11-2022



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**PROJECT NO. 03 - 21**

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 SECTIONS A-A

SEAL	<b>A-16</b>
DATE :	DRAWN : M.K.
SCALE : 1/16	CHECKED : R.S.









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<b>1- CEDAR SIDING (6" EXPOSURE)</b> PINE CONE (3046 - SHERWIN WILLIAMS)	<b>4- EXPOSED PAINTED CONCRETE</b> ZEPPELIN (CL316M - GENERAL PAINT)	<b>7- INSULATED PVC GARAGE DOOR</b> SHADOW GRAY (2125-40 BENJAMIN MOORE)	<b>10- ALUMINUM AWNING</b>
<b>2- SMOOTH STUCCO FINISH ETHEREAL</b> WHITE (6182 - SHERWIN WILLIAMS)	<b>5- OAK SOLID WOOD DOOR</b> PINE CONE (3046 - SHERWIN WILLIAMS)	<b>8- RESIDENTIAL VINYL WINDOW FRAMES</b> (WHITE COLOUR)	<b>11-PAINTED 1"x4" TRIM</b> PINE CONE (3046 - SHERWIN WILLIAMS)
<b>3- 2"x6" PAINTED WINDOW TRIM</b> NATURAL CREAM (OC-14 BENJAMIN MOORE)	<b>6- BICYCLE STORAGE / MECHANICAL / ELECTRICAL &amp; GARBAGE ROOM DOORS</b> (PAINTED METAL DOOR)	<b>9- ALUMINUM GUARDRAIL WITH CLEAR GLAZING</b> (BLACK)	<b>12- STAINED WOOD SOFFIT WITH VENTING STRIP</b>



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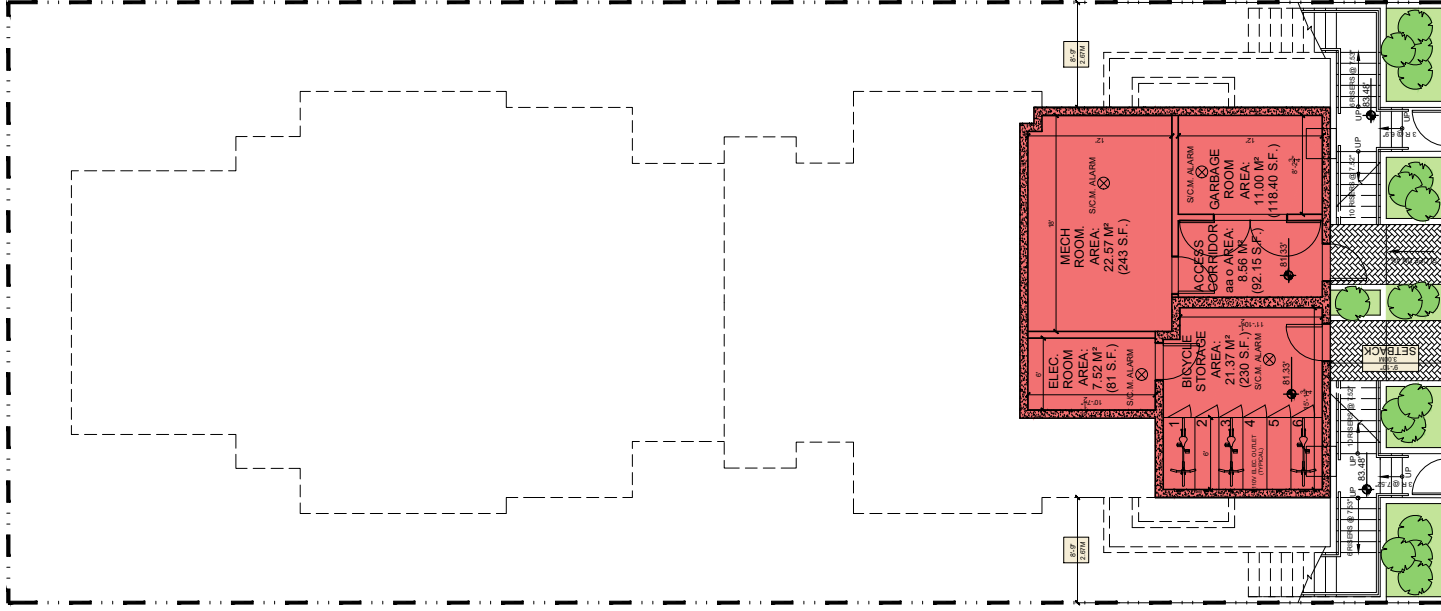
**CLIENT :**  
TERRACE RESIDENCE.

**PROJECT NO.** 03 - 21

**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

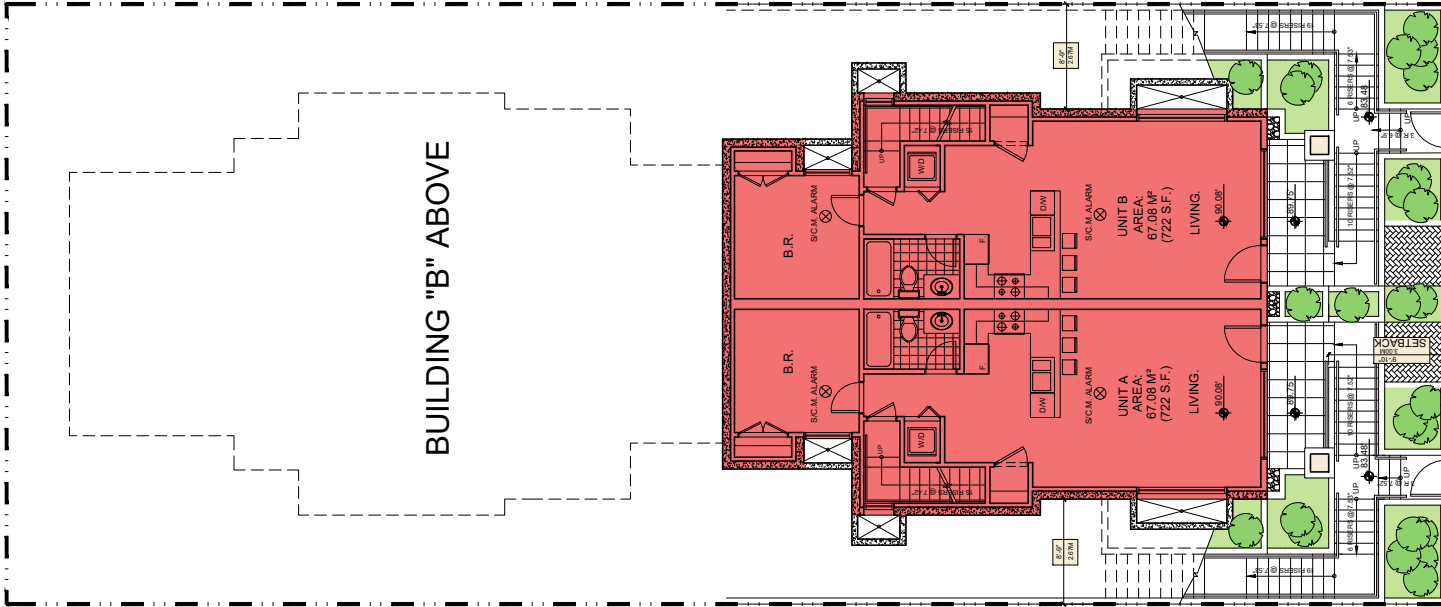
**DRAWING TITLE :**  
COLOUR  
MATERIAL CHIPS

SEAL	<b>A-19</b>
DATE :	DRAWN : M.K.
SCALE :	CHECKED : R.S.



**BUILDING A  
SUB-BASEMENT**

- AREA INCLUDED IN F.S.R.
- AREA EXCLUDED FROM F.S.R.
- ACCESSORY BUILDINGS
- SECOND & THIRD FLOORS OVERHANGS & BALCONIES



**BUILDING A  
BASEMENT FLOOR  
(LOCK-OFF UNITS)**

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**PROJECT NO.:** 03 - 21

**PROJECT :**  
442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
G.F.A. OVERLAY PLANS

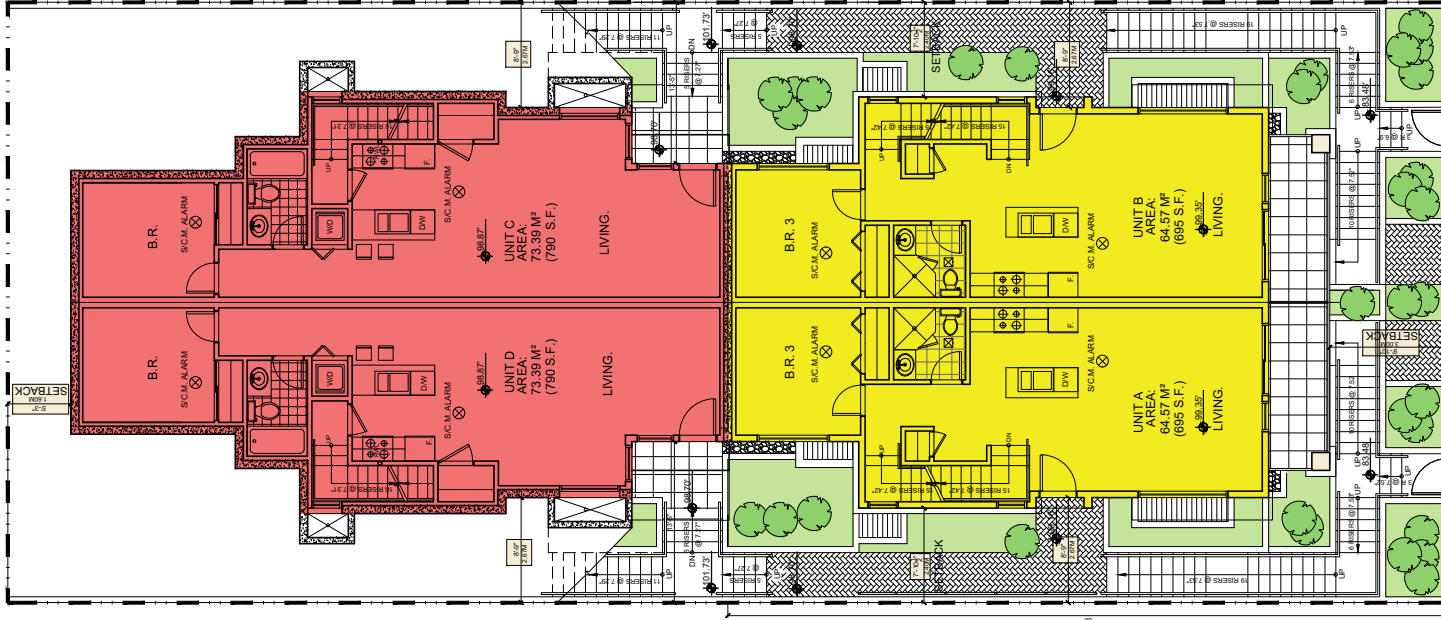
SEAL  
**A-20**

**DATE :**      **DRAWN :** M.K.

**SCALE :** 1/16      **CHECKED :** R.S.



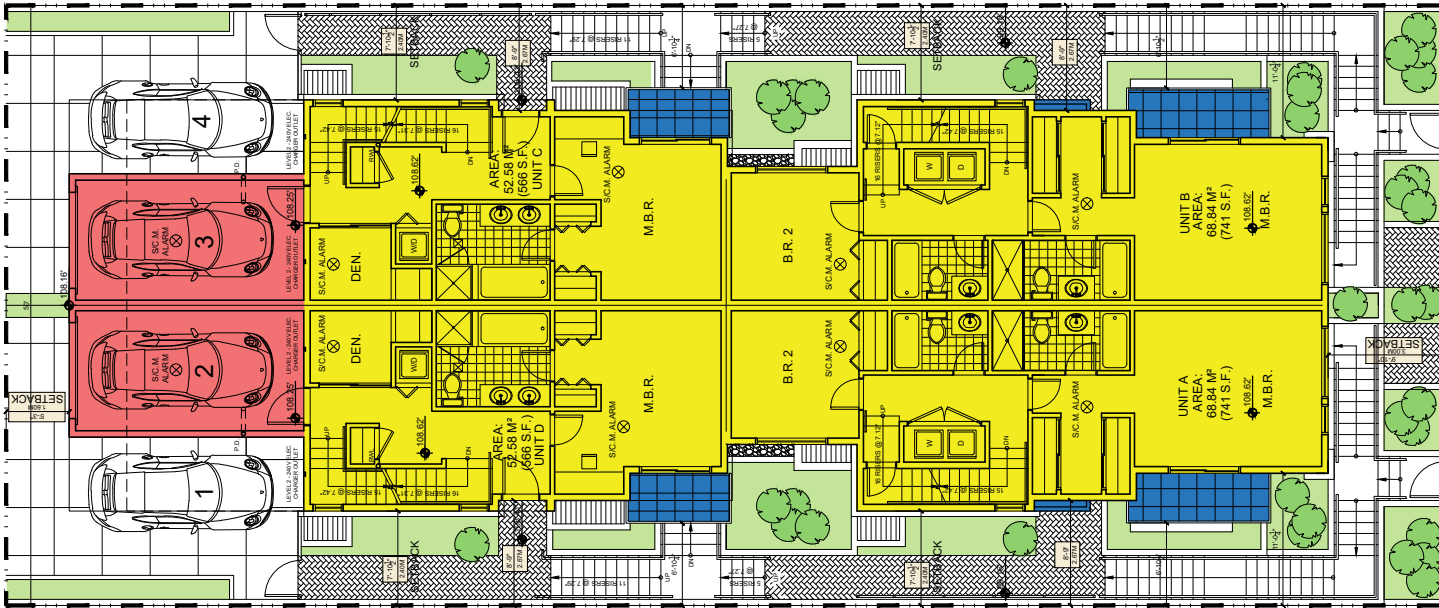
**BUILDING B BASEMENT FLOOR (LOCK-OFF UNITS)**



- AREA INCLUDED IN F.S.R.
- AREA EXCLUDED FROM F.S.R.
- ACCESSORY BUILDINGS
- SECOND & THIRD FLOORS OVERHANGS & BALCONIES

**BUILDING A  
FIRST FLOOR**

**BUILDING B FIRST FLOOR**



**BUILDING A  
SECOND FLOOR**

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442-444 EAST 1ST STREET.  
NORTH VANCOUVER

**DRAWING TITLE :**  
G.F.A. OVERLAY PLANS

SEAL  
**A-21**

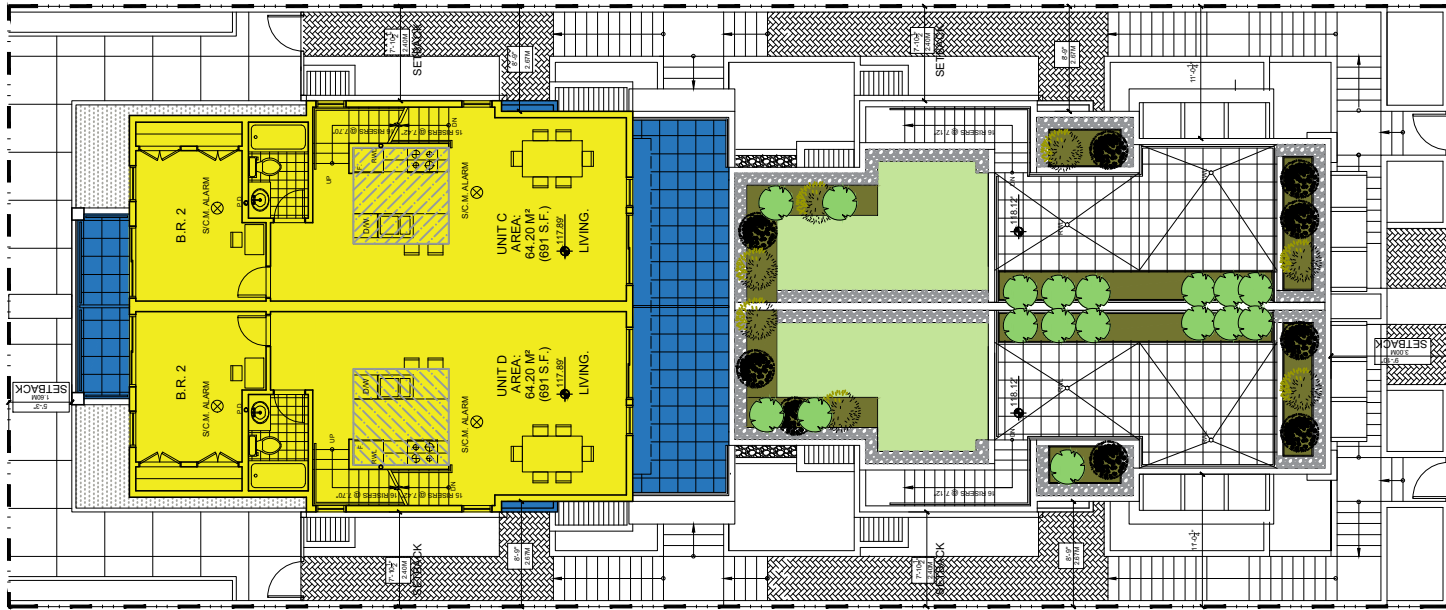
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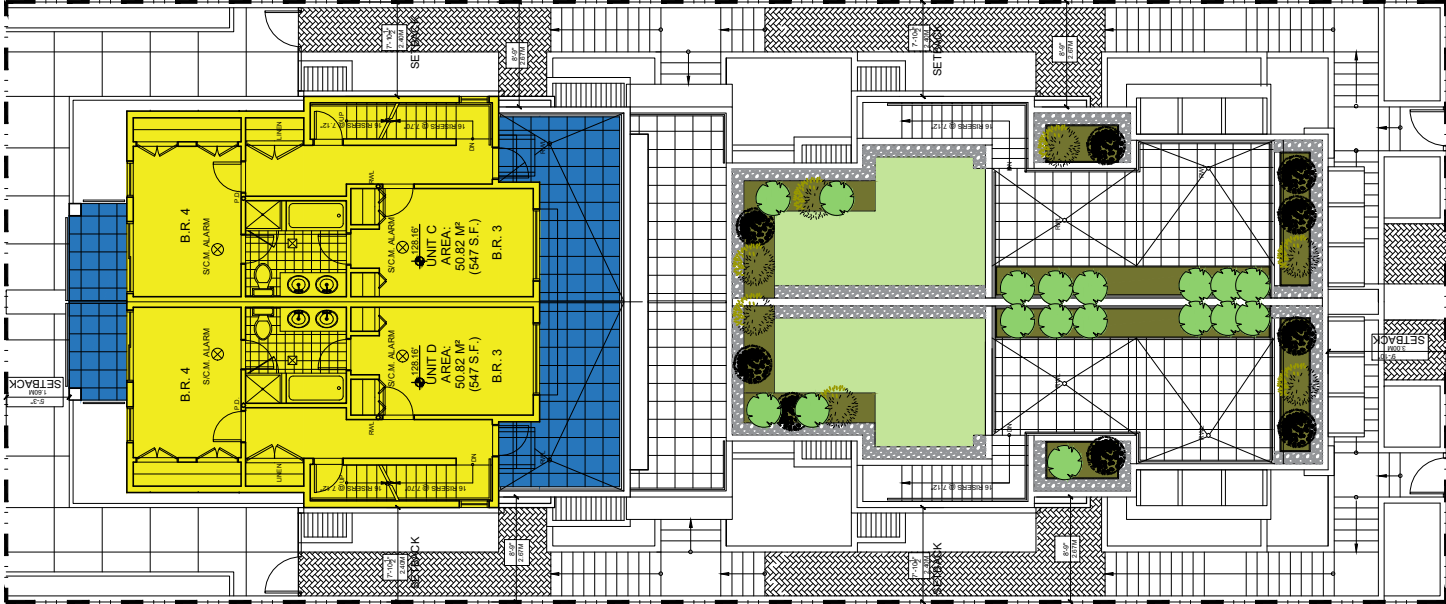
BUILDING B SECOND FLOOR



- AREA INCLUDED IN F.S.R.
- AREA EXCLUDED FROM F.S.R.
- ACCESSORY BUILDINGS
- SECOND & THIRD FLOORS OVERHANGS & BALCONIES

BUILDING A  
ROOF PLAN

BUILDING B THIRD FLOOR



BUILDING A  
ROOF PLAN

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 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 G.F.A. OVERLAY PLANS

SEAL

A-22

DATE :	DRAWN : M.K.
SCALE : 1/16	CHECKED : R.S.

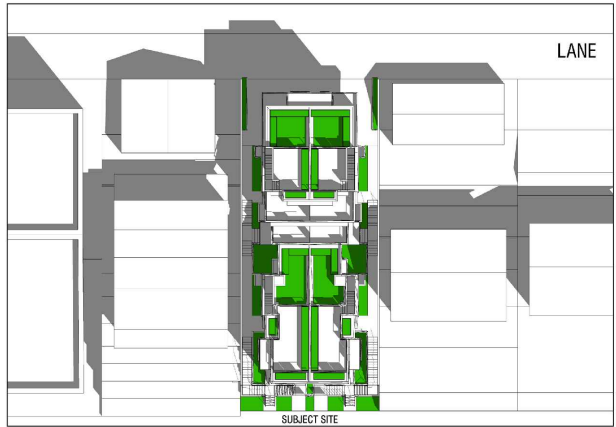
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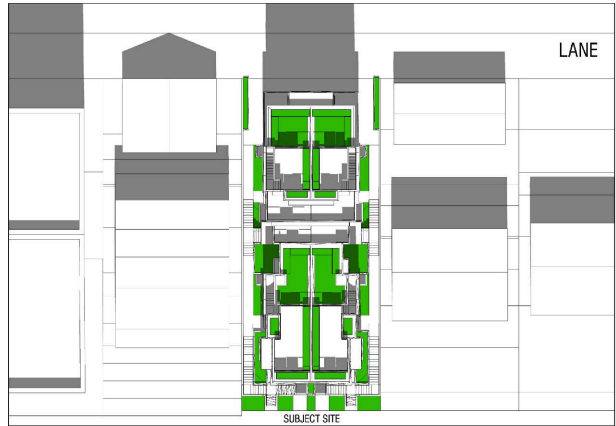
NO	DESCRIPTION	DATE
1	ISSUED FOR D.P. APPLICATION	04-11-2022



01 SHADOW STUDY MAR 21-10AM E 1st STREET



02 SHADOW STUDY MAR 21-12PM E 1st STREET



03 SHADOW STUDY MAR 21-02PM E 1st STREET



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**PROJECT NO.** 03 - 21

**PROJECT :**  
 442-444 EAST 1ST STREET.  
 NORTH VANCOUVER

**DRAWING TITLE :**  
 SHADOW ANALYSIS

SEAL  
A-23

DATE : DRAWN : M.K.

SCALE : CHECKED : R.S.

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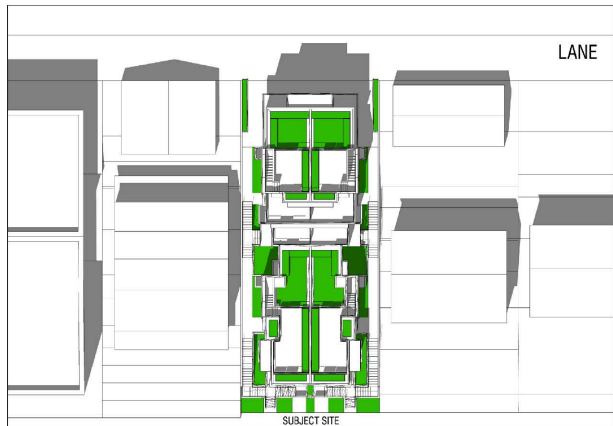
05-SHADOW STUDY JUN 21-10 AM

E 1st STREET



06-SHADOW STUDY JUN 21-12 PM

E 1st STREET



07-SHADOW STUDY JUN 21- 02PM

E 1st STREET

NO	DESCRIPTION	DATE
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**PROJECT :**  
442-444 EAST 1ST STREET.  
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**DRAWING TITLE :**  
SHADOW ANALYSIS

SEAL

**A-24**

DATE : DRAWN : M.K.

SCALE : CHECKED : R.S.



