

442-444 EAST 1ST STREET,
NORTH VANCOUVER
LANDSCAPE PLANS
L-0 - L-6

LANDSCAPE CONTRACT DOCUMENTS

PROJECT: LANDSCAPE FOR MULTIFAMILY BUILDING

LOCATION: 442-444 EAST 1ST STREET, NORTH VANCOUVER
 CLIENT: C/O M. KAZEMI, PROJECT MANAGER
 BUILDING ARCHITECT: SALEHI ARCHITECT INC.
 LANDSCAPE ARCHITECT CONSULTANT: SW LANDSCAPE ARCHITECT
 ATTN: STEVE WONG 778 834-8959 stevewong234@gmail.com
 www.swlandscapearchitect.com

SUMMARY OF LANDSCAPE SCOPE OF WORK

SUMMARY: THE LANDSCAPE PORTION OF THE PROJECT INCLUDES ALL TYPICAL LANDSCAPE WORKS INCLUDES BUT NOT LIMITED TO, THE SUPPLY AND INSTALLATION OF GROWING MEDIUM, LANDSCAPE PLANTS, MULCH, IRRIGATION SYSTEM, LANDSCAPE SURFACES (CONCRETE, PAVERS, GRAVEL), RETAINING WALLS UNDER 4', CIP ADDRESS PILLAR WITH LIT SIGN, FENCING, GATES, LOW VOLTAGE LIGHTING, ONE YEAR WARRANTY AND ONE YEAR LANDSCAPE MAINTENANCE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ELECTRICAL AND WATER FEED FROM THE MECHANICAL ROOM IN ORDER TO ALLOW FOR THE INSTALLATION OF A COMPLETE, FUNCTIONING LANDSCAPE LIGHTING AND IRRIGATION SYSTEM. LANDSCAPE DESIGN/WORKS IS TO BE COORDINATED WITH ALL OTHER WORK ON THIS SITE.

LANDSCAPE LIST OF DRAWINGS

- L0 COVER SHEET
- L1 LAYOUT AT GRADE
- L2 LIGHTING PLAN AT GRADE
- L3 PLANTING AT GRADE
- L4 ROOF LAYOUT AND LIGHTING
- L5 ROOF PLANTING
- L6 DETAILS

GENERAL CONDITIONS OF THE CONTRACT

-REFER TO GENERAL CONDITIONS OF CONTRACT, BY PRIME CONSULTANT
 -REFER TO, AND COORDINATE THESE CONTRACT DOCUMENTS WITH THE CONTRACT DOCUMENTS OF THE OTHER CONSULTANTS AND THE MAIN CONTRACT

LANDSCAPE SPECIFICATIONS

1. CANADIAN LANDSCAPE STANDARD (CLS), SECOND EDITION
 COPYRIGHT, 2020, ISBN: 978-0-9950714-1-4
 PUBLISHED JOINTLY BY:
 CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS
 12 FORILLON CRESCENT, OTTAWA ON K2M 2W5
 1-613-668-4775 csla-acpp.ca
 CANADIAN NURSERY LANDSCAPE ASSOCIATION
 7856 FIFTH LINE SOUTH MILTON ON L5T 2X8
 1-888-446-3499 csla-acpp.ca

SUPPLEMENTARY SPECIFICATIONS- PROJECT SPECIFIC:

9. **LANDSCAPE MAINTENANCE- ADD: PER SECTION 9.1.5, ESTABLISHMENT AND WARRANTY MAINTENANCE, THE MAINTENANCE PERIOD WILL BE FOR 1 CALENDAR YEAR FROM DATE OF ACCEPTANCE. PER SECTION 9.1.7, MAINTENANCE LEVEL FOR THIS PROJECT WILL BE AT LEVEL 3 "MODERATE"**

CLS SPECIFICATIONS

1. SCOPE OF THE STANDARD
2. CONTRACT ADMINISTRATION
3. SITE PREPARATION AND PROTECTION
4. GRADING AND DRAINAGE
5. GROWING MEDIUM
6. PLANTS AND PLANTING
7. MULCHING
8. SEEDING AND SODDING
9. LANDSCAPE MAINTENANCE
10. IRRIGATION SYSTEMS
11. INTEGRATED PEST AND VEGETATION MANAGEMENT
12. HARDCAPE
13. LANDSCAPE OVER STRUCTURES N/A
14. INTERIOR PLANTSCAPE N/A

APPENDIX A: LIST OF TABLES AND FIGURES

APPENDIX B: BASIC CONTENTS OF A LANDSCAPE COMMISSIONING PLAN
 APPENDIX C: CANADIAN NURSERY STOCK STANDARD, NINTH EDITION
 APPENDIX D: NATIONAL VOLUNTARY CODE OF CONDUCT FOR THE ORNAMENTAL HORTICULTURE INDUSTRY

GLOSSARY OF TERMS AND DEFINITIONS

NOTES:

1. CONTRACTOR TO PROVIDE DIGITAL PHOTOS TO THE LANDSCAPE ARCHITECT FOR ALL WORK THAT WILL BE BURIED OR CONCEALED IN ORDER TO CONFIRM THAT THE WORK MEETS SPECIFICATIONS AND APPLICABLE STANDARDS
2. CONTRACTOR TO PROVIDE DIGITAL PHOTOS OF ALL PLANT MATERIAL AT THE NURSERY FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO SHIPPING. PHOTOS ARE TO BE REPRESENTATIVE OF THE PLANTS TO BE SHIPPED AND CLEARLY SHOW THE QUALITY AND SIZE OF THE PLANTS. A MEASURING STICK SHOULD BE USED WHERE NECESSARY TO SHOW THE HEIGHT OF A PLANT.

GENERAL PROJECT AND CONTRACTOR NOTES

1. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
2. Contractor shall submit reproducible shop drawings to Landscape Architect for Owner's approval.
3. Contractor shall coordinate with all trades to provide complete working systems.
4. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Any scales on drawings are only for the Contractor's convenience. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Architect, Engineer)
5. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
6. All work described by these documents shall be performed in full accordance with all applicable codes and standards.
7. All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
8. Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
9. All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at the contractor's expense.
10. Coordinate landscape drawings with architect/engineer and all other consultant drawings.

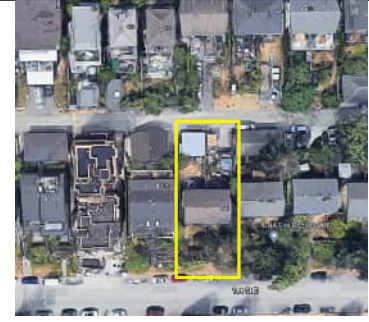
GENERAL LANDSCAPE SPECIFICATIONS

1. All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association.
2. All landscape works to be carried out by a contractor with minimum 5 years' experience doing similar work, who is a member in good standing with the appropriate trade organization: eg. B.C. Landscape and Nursery Association (BCLNA), Irrigation Industry Association of B.C. (I.I.A.C.). Execution of work to be under the direct supervision of qualified industry certified technicians.
3. All grades to meet adjacent grades at property line. All stormwater is to be contained on site and away from adjacent properties. All hard surfaces to be sloped a minimum of 1.5%, and all lawn areas to be sloped a minimum of 2% to avoid standing water. Contractor is ultimately responsible for ensuring there is no standing water on site over an extended period.
4. No slopes to be steeper than 2.5 horizontal: 1 vertical.
5. All plant material and growing medium to meet Canadian Landscape Standard #1 specifications. Plant search area is to be any plant nursery within the Lower Mainland. Plant substitutions are only allowed if approved by the Landscape Architect. Suggested plant substitutions shall be of similar species and of at least equal quality to those originally specified.
6. All shrub beds to contain minimum 18" (450 mm) depth and all lawn areas to contain a minimum of 6" (150 mm) depth of approved growing medium over scarified subgrade unless stated otherwise on drawings.
7. All guardrails are required wherever the fall height is over 2 ft. Guardrails to be a minimum 42" high from any climbable surface surface. Maximum openings between pickets to be under 4".
8. Stairs to have consistent rise/run for risers and treads. Stair treads to slope 2% to front edge of tread for drainage and constructed with materials or finishes to prevent slip falls. All stairs over 2 risers to have handrails between 32" to 38" high from the front of stair treads, and to extend 12" past the end of top/bottom treads.
9. Exterior ramps to adhere to BC Building code if greater than 5% slope. Ramps to be maximum of 8.3% and minimum 5" width. Handrails required on both sides. Construction to adhere to BC Building code.
10. All retaining walls and structures over 4 ft. in height or if there are issues with soil stability require signoff from the appropriate engineer (eg structural, geotechnical). Contractor to provide engineer stamped shop drawings for Landscape Architect.
11. Landscape installation to be reviewed by registered Landscape Architect.
11. HANDRAILS FOR STAIRS: 36" high measured from front edge of tread, powder coated medium gloss charcoal aluminum, installed to BC Building code. Exact style to be determined by Owner.
12. IRRIGATION: Supply and installation required for a complete automatic, in-ground irrigation system to provide supplemental water efficiently and uniformly. All components to be new, and includes all pipes, sleeves, valves, in-ground irrigation boxes, sprinkler heads, solenoid wires, controller and rain sensor. Controller to have 2 extra zones for future expansion and if installed outside, to have controller and wiring secured in a lockable, weatherproof metal box. Irrigation components to be Rainbird, Toro or Hunter. Irrigation design and installation per Canadian Landscape Standards, latest edition. Design to be completed by a qualified designer/contractor with IAABC. Shop drawings for the irrigation design are to be provided by contractor and to be approved by the landscape architect prior to installation. Contractor is responsible for providing water service and connecting irrigation system to water service complete with backflow preventor, pressure reducing valve and isolation valves. Contractor to adjust irrigation controller, sprinkler heads and commission system in addition to providing as-built drawings and a one year warranty.
13. LIGHTING-BY KICHLER: Lighting fixtures and accessories to be Kichler 12 V, LED. STEP LIGHT: KIC-5782BK27 86W/ PATH LIGHT: KIC-15805BK72 4W/ ACCENT LIGHT: KIC-16155BK27 3.5W/ HARDCAPE: KIC-16103GRY27 2.7W/ WALL WASH: KIC-16070BK27R 4.3W/ BOLLARD: KIC-16070BK27R 3.8W/ DECK LIGHT: KIC-15764CBR 86W/ 300 W Transformer-Kichler 15CS300SS or sized to allow for an additional 50 watt capacity, Photocell- Kichler 15565BK, Timer-24 hr digital. Lighting to be installed as a complete working system with wires, connectors, mounting hardware, transformer, photocell and timer. Contractor is responsible for providing a power source and to have transformer, timer and source wiring secured in a lockable and weatherproof cabinet if mounted outside.
14. MULCH: To be composted fir bark, having dark brown, fine texture and 1/2" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil and Mulch (604 465-5193) or equivalent.
15. PATIO TILES: PORCELAIN: By Abbotsford Concrete Products, Aristokrat 3/4" porcelain slabs, Pacific Coast Granite, 23 1/2" x 23 1/2" x 3/4" (598mm x 598mm x 20mm) installed per manufacturer. For use on rooftop.
16. PAVERS-PERMEABLE: AQUAPAVE by Abbotsford Concrete Products, Standard Series, 4 5/16" by 8 3/4" by 3 1/8" inches. Granite Blend, running bond with soldier course, installed per manufacturer's instructions.
17. PLANTERS ON ROOF: Planters to be from Green Theory Design, Port Coquitlam. Planters to be marine grade aluminum, min. 188" thick with reinforced top lip and powdercoated in matte black.
18. PLANT MATERIAL: All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards by qualified contractor. Plant search is generally throughout the Lower Mainland except as indicated otherwise. Any plant substitutions must be approved by Landscape Architect.
19. RAILINGS: 42" high, powder coated medium gloss black charcoal. Maximum gap between pickets to be 3.75". Railings to be installed where there is a fall height of 2' or more, installed to BC Building code. Coordinate with architect/engineering drawings. Exact style to be determined by Owner.
20. SOD: All sod to be sand based sod (Perennial ryegrass/Kentucky bluegrass) with no netting. Supplied by Bos Sod Farms, or equivalent. No clay or silt soil to be allowed.
21. STEPS-CONCRETE: Medium broom finish, sloped 2% to front of tread per BC Building code. Coordinate with architect/engineering drawings.
22. TREE ROOT BARRIER: By Deep Root or equivalent, polypropylene barrier, 2" deep by .08" thickness.
23. WOOD: Per industry standards. All exterior wood to be rot resistant, either western red cedar, yellow cedar, robinia, ipe or pressure treated (PT). Minimum standard to be #2, STK and better. Wood to be finished with minimum 2 coats of an approved exterior grade finish.

MATERIALS LIST-COORDINATE WITH SPECIFICATIONS

1. ADDRESS PILLAR: Architectural concrete finish, with square edges, complete with rebar and footing.
2. ADDRESS SIGN: From Address Signage Company, North Vancouver, stainless steel with integrated 12v LED lighting and standoffs bolted to address pillar.
3. ASPHALT: 3" of compacted hot mix asphalt applied in 2 lifts over 4" of well compacted 3/4" minus concrete subgrade. All materials to meet current LMDC specifications.
4. CONCRETE: Per applicable industry standards. Concrete to be reinforced with rebar and/or WWM as shown on drawings. For concrete flatwork, provide medium broom finish with 2% cross slope, over min. 4" compacted granular base with expansion joints as required, and control joints @ 5' OC and where there is potential for cracking. Provide shop drawings showing expansion and control joints.
5. FENCE- POST BASE BRACKET: By Magma Supply, MSF104 for full dimension 4" post, black textured powdercoated.
6. FENCE-WOOD: 1 X6 T&G STK cedar boards, finished with 2 coats of Sikkens semi-transparent cedar stain. Exact style to be determined by Owner.
7. FILTER FABRIC: Nilox Nonwoven 4551 geotextile or equivalent; polypropylene, staple fiber, needle-punched nonwoven geotextile.
8. GRAVEL LAYER: Parking area with 4" of 3/4" drain rock over non-woven filter fabric.
9. GREEN ROOF: By Next Level Stormwater Management (NLSM), TerraEXT, with NL718 sedum blanket over NL600 growing medium (150mm depth). Planters to be filled with NL630 growing medium (450 mm depth).
10. GROWING MEDIUM: In accordance with CLS standards, latest edition. For Turf Areas: Level 1H (High Traffic Lawn Areas), containing by weight: 70-90% sand, maximum 25% fines (max 20% clay), 3-5% organic matter, with pH between 6-7; For Planting Areas: Level 1P (Planting Areas), containing by weight: 40-80% sand, maximum 25% fines (max 20% clay), 10-20% organic matter, with pH between 4.5-6.5. Supplied by Veratec Engineered Products (www.veratecgroup.com), DENBOW (www.denbow.com), SUMAS GRO MEDIA (www.sumasgromedia.com) or equivalent; 6"min for lawn areas on grade, 18" min for planted areas on grade, over scarified base, or as otherwise specified. A current representative soil analysis is to be done by Pacific Soil Analysis, Richmond to confirm soil sample meets specifications prior to shipping. If after shipping the quality of the soil is in question, further sampling and testing by Pacific Soil Analysis will be required at contractor's expense. If it is determined that the soil does not meet CLS Specifications, the soil is to be removed at contractor's expense. Contact information for Pacific Soil Analysis is: #5-11720 Voyageur Way, Richmond, BC V6X 3G9; Phone (604) 273-8226. For growing medim on roof, see section under Green Roof.
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23. WOOD: Per industry standards. All exterior wood to be rot resistant, either western red cedar, yellow cedar, robinia, ipe or pressure treated (PT). Minimum standard to be #2, STK and better. Wood to be finished with minimum 2 coats of an approved exterior grade finish.

NOTE: ALL MATERIALS SHOWN ON DRAWINGS ARE NOT NECESSARILY INCLUDED IN THIS MATERIALS LIST. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL MATERIALS REQUIRED TO COMPLETE LANDSCAPE WORKS PER CONTRACT DOCUMENTS.



AERIAL VIEW OF PROJECT SITE- UP 60 NORTH



STREET VIEW OF PROJECT SITE

No.	Date	Issue/Revision Notes
A	4/7/2022	SUBMIT

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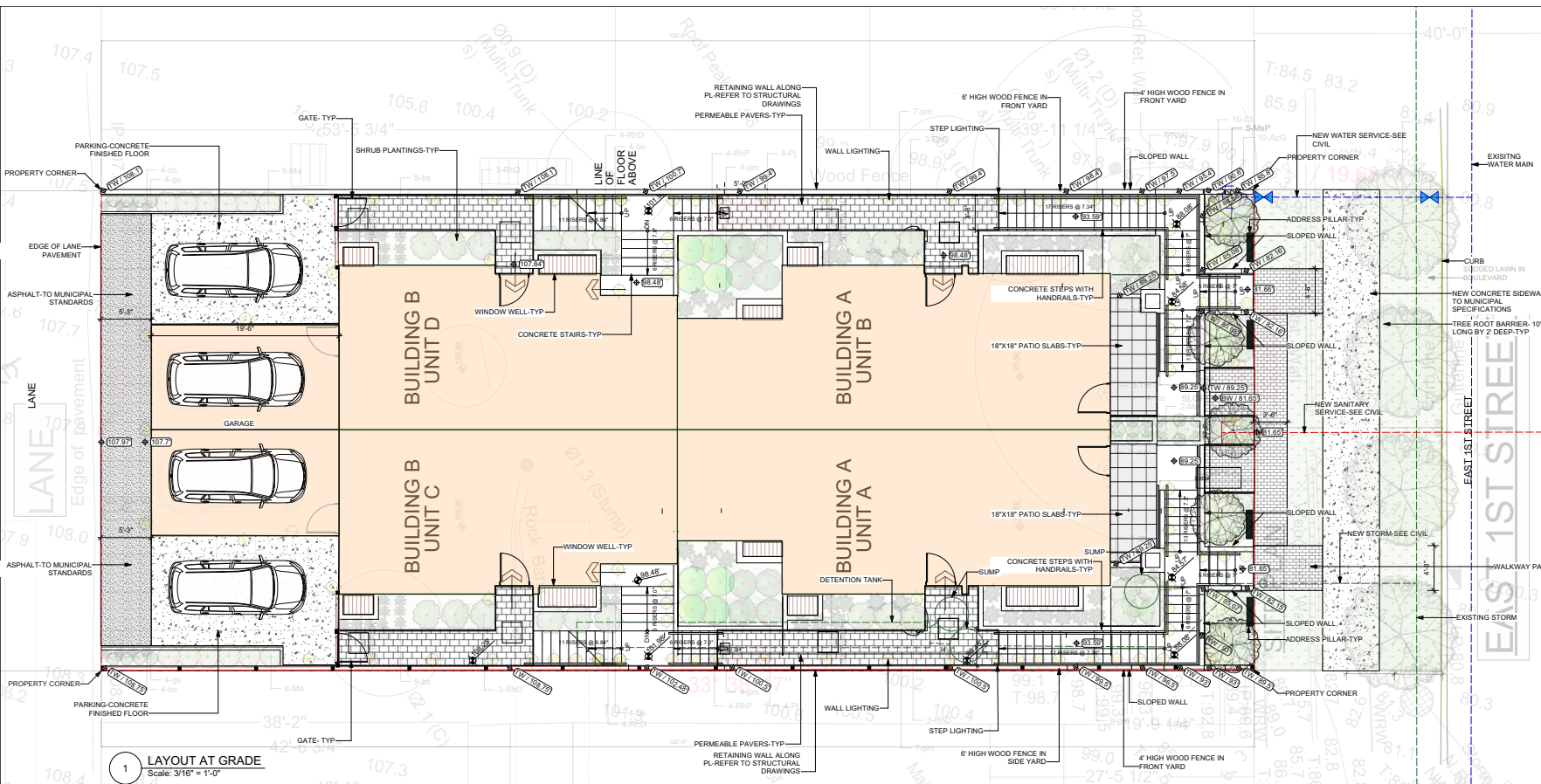
Client: SW LANDSCAPE ARCHITECT
 919 MELBOURNE AVENUE, NORTH VANCOUVER
 www.swlandscapearchitect.com

Client: C/O M. KAZEMI, PROJECT MANAGER

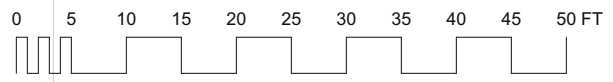
Project Title: MULTIFAMILY
 442-444 EAST 1ST STREET
 NORTH VANCOUVER

Sheet Title: COVER SHEET

Project Manager: STEVE WONG	Project #: 2020-34
Drawn By: SW	Date: AS NOTED
Drawn No.:	Sheet No.:
Date: DECEMBER 2021	L-0
Drawn By: 442 E 1ST CNV 2, v.w.v	of 6



1 LAYOUT AT GRADE
Scale: 3/16" = 1'-0"



SCALE IS PROVIDED FOR CONVENIENCE
DO NOT SCALE DRAWINGS FOR DIMENSIONS

LEGEND

- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED BOTTOM OF WALL ELEVATION
- PROPERTY LINE
- AREA DRAIN
- TRENCH DRAIN
- ASPHALT
- CONCRETE
- FIBAR
- SAND
- STONEWORK
- SLABSTILES
- WOOD DECK
- GRAVEL
- GRASS

No.	Date	Issue/Revision Notes
A	1/13/2022	REVIEW
B	1/18/2022	SUBMIT
C	4/7/2022	SUBMIT

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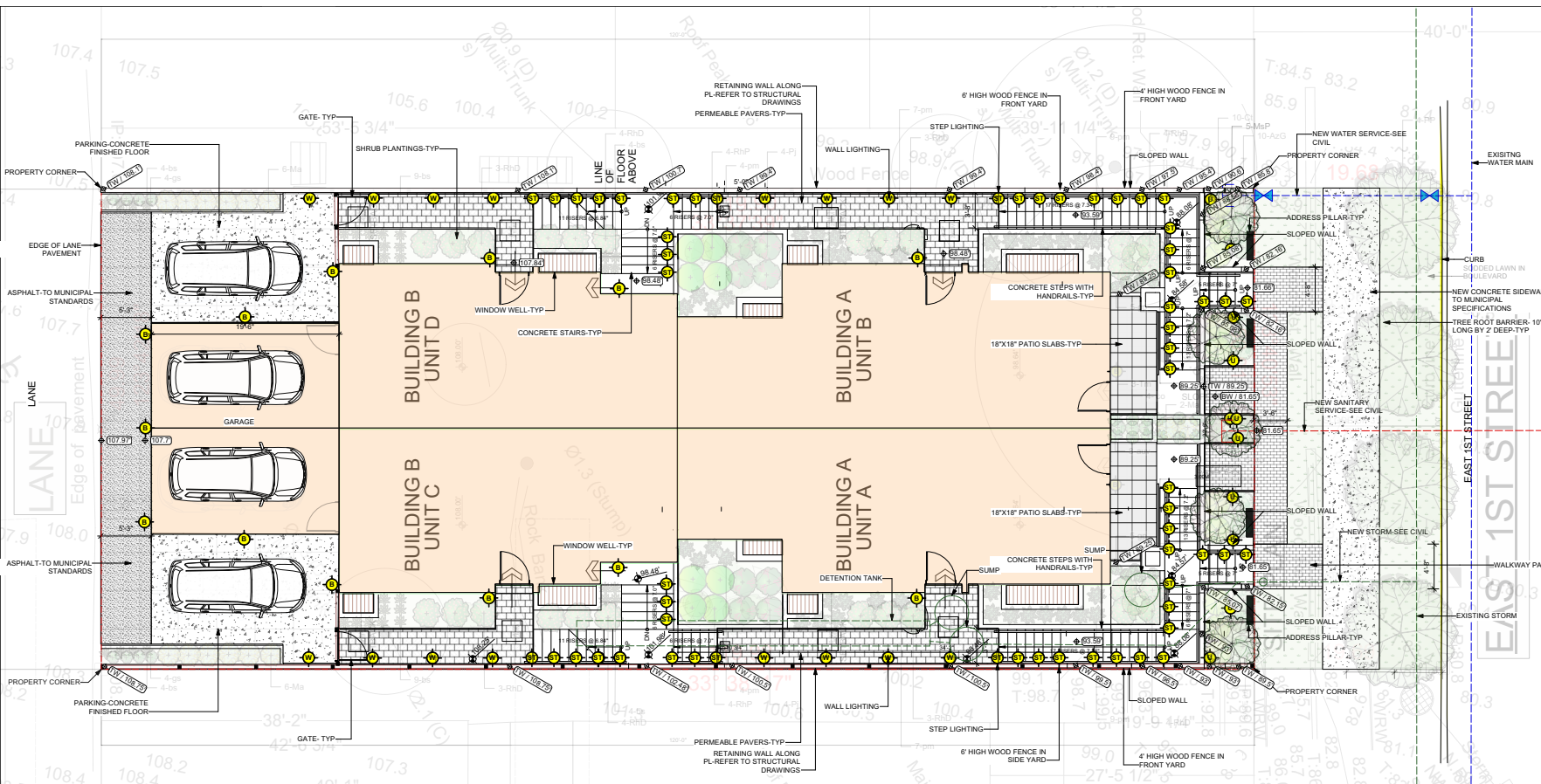
Design Firm: SW LANDSCAPE ARCHITECT
919 MELBOURNE AVENUE, NORTH VANCOUVER
www.swlandscapearchitect.com

Client: C/O M. KAZEMI, PROJECT MANAGER

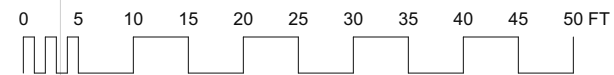
Project Title: MULTIFAMILY
442-444 EAST 1ST STREET
NORTH VANCOUVER

Sheet Title: LAYOUT AT GRADE

Project Manager: STEVE WONG	Project ID: 2020-34
Drawn By: SW	Scale: AS NOTED
Date: DECEMBER 2021	Sheet No: L-1
Drawn By: STEVE WONG	Scale: AS NOTED
Date: DECEMBER 2021	Sheet No: L-1
Drawn By: STEVE WONG	Scale: AS NOTED
Date: DECEMBER 2021	Sheet No: L-1



1 LIGHTING PLAN AT GRADE
Scale: 3/16" = 1'-0"



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DO NOT SCALE DRAWINGS FOR DIMENSIONS

- LEGEND**
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - PROPOSED TOP OF WALL ELEVATION
 - PROPOSED BOTTOM OF WALL ELEVATION
 - PROPERTY LINE
 - AREA DRAIN
 - TRENCH DRAIN

- LIGHTING LEGEND**
- BUILDING LIGHT SEE ARCH
 - STEP LIGHT
 - WALL LIGHT
 - UP/ACCENT LIGHT
 - PATH LIGHT

- ASPHALT
- CONCRETE
- FIBAR
- SAND
- STONWORK
- SLAB/TILES
- WOOD DECK
- GRAVEL
- GRASS



KIC-5782 BKT27 .86W STEP

2 STEP/WALL LIGHTING
Scale: 1:10



KIC-16155BKT27 3.5W ACCENT

3 UP/ACCENT LIGHT
Scale: 1:10



KIC-15764CBR .86W

4 WALL LIGHT
Scale: N/A



KIC-15805BKT27 4W

5 PATH LIGHTING
Scale: 1:10

No.	Date	Issue/Revision Notes
A	1/3/2022	REVIEW
B	1/18/2022	SUBMIT
C	4/7/2022	SUBMIT

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C/O M. KAZEMI, PROJECT MANAGER

MULTIFAMILY
442-444 EAST 1ST STREET
NORTH VANCOUVER

LIGHTING PLAN AT GRADE

Project Manager: STEVE WONG (2020-24)
Client: SW (AS NOTED)

Date: DECEMBER 2021
Sheet: L-2 of 6
File: 442 E 1ST CNV v2.vwx

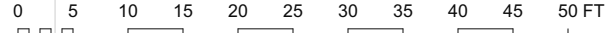
442- 444 E. 1ST STREET, NORTH VANCOUVER
ON GRADE PLANTING

Botanical Name	Common Name	No.	Size	Spacing	Sym
TREES					
<i>Parrotia persica</i> 'Seymour	Parrotia	4	20'	as shown	TR
SHRUBS					
<i>Asplenium Platyneuron</i>	Asplenium	25	42 pot	as shown	AS
<i>Thuja occidentalis</i>	Japanese arborvitae	40	42 pot	as shown	TC
<i>Magnolia obovata</i> 'Pink Star'	Star magnolia	5	2 high	as shown	MA
<i>Malus spectabilis</i>	Dragon apple	14	42 pot	as shown	MA
<i>Pieris japonica</i> 'Forest Flame'	Line of the valley shrub	16	42 pot	as shown	PI
<i>Photinia glabra</i> 'Dora Amurensis'	Photinia	28	42 pot	as shown	PH
<i>Photinia glabra</i> 'Spatula'	Photinia	40	42 pot	as shown	PH
<i>Yucca media</i> 'Yucca'	Yucca	5	2 high	as shown	YM
VINES, GROUND COVERS AND HERBACEOUS PERENNIALS					
<i>Arctostaphylos uva-ursi</i>	Arctostaphylos	8	42 pot	as shown	AV
<i>Eleocharis acicularis</i>	Beard fern	34	42 pot	as shown	EL
<i>Carex obovata</i> 'Evergold'	Sedge	40	42 pot	as shown	CA
<i>Salvinia spiralis</i>	Water fern	40	42 pot	as shown	SA
<i>Scilla maritima</i>	Sea onion	40	42 pot	as shown	SC
<i>Scilla maritima</i>	Sea onion	40	42 pot	as shown	SC
<i>Scilla maritima</i>	Sea onion	40	42 pot	as shown	SC

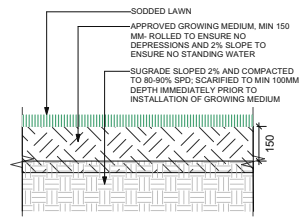
Contractor to be verified by SCLMA
All plants and installation to meet or exceed latest Canadian Landscape standard (CSA) #1 standards
Contractor to verify numbers and placement of plants prior to installation



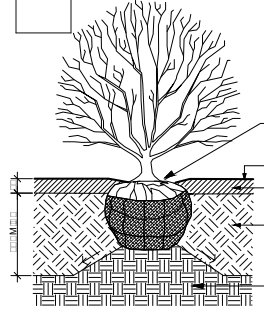
1 PLANTING PLAN AT GRADE
Scale: 3/16" = 1'-0"



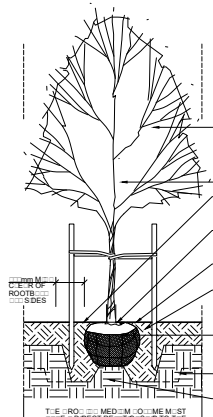
SCALE IS PROVIDED FOR CONVENIENCE
DO NOT SCALE DRAWINGS FOR DIMENSIONS



2 SODDED LAWN
Scale: 1:10



3 SHRUB PLANTING DETAIL
Scale: N/A



4 TREE PLANTING DETAIL
Scale: N/A

No.	Date	Issue/Revision Notes
A	1/13/2022	REVIEW
B	1/18/2022	SUBMIT
C	4/7/2022	SUBMIT

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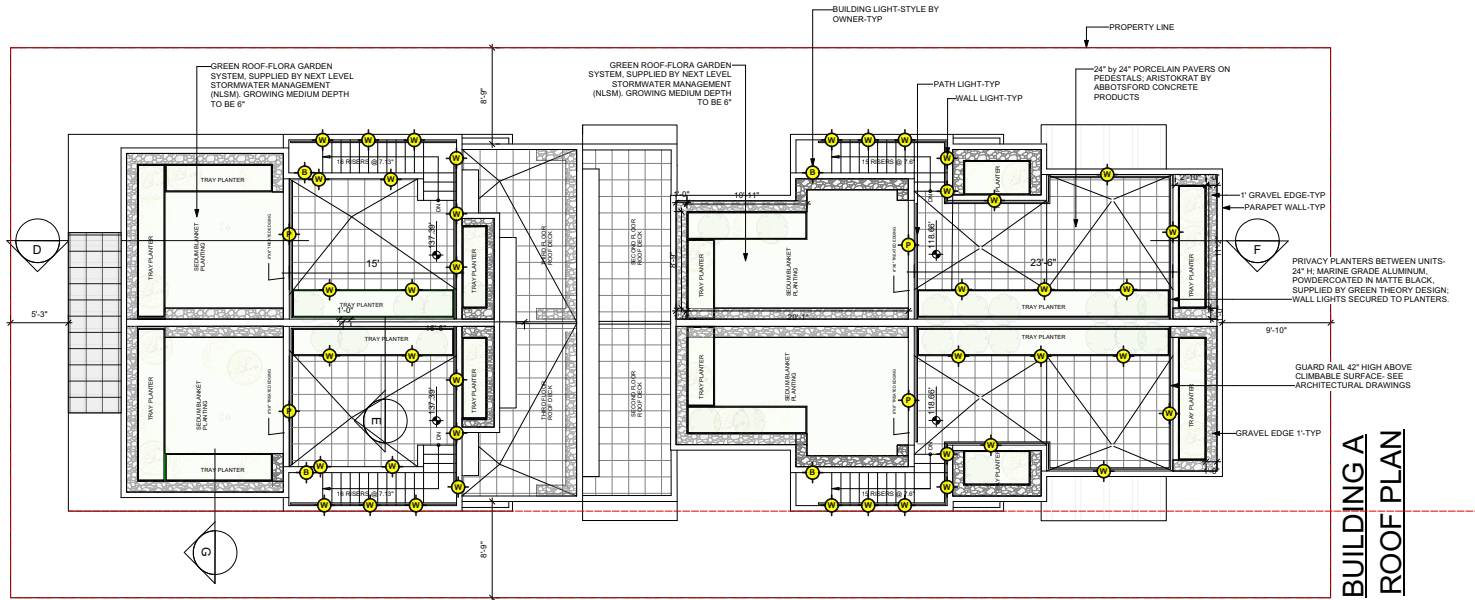
C/O M. KAZEMI, PROJECT MANAGER

MULTIFAMILY
442-444 EAST 1ST STREET
NORTH VANCOUVER

PLANTING AT GRADE

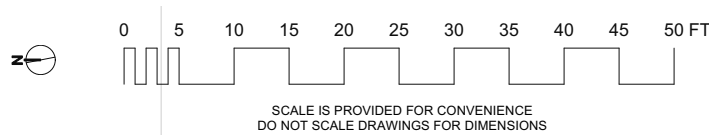
Project Manager	STEVE WONG	Project ID	2020-34
Client	SW	Date	AS NOTED
Date	DECEMBER 2021	Sheet No.	L-3
Drawn by	442 E 1ST CNV v2.vwk	of	6

**BUILDING B
ROOF PLAN**



**BUILDING A
ROOF PLAN**

1 ROOF LAYOUT AND LIGHTING
Scale: 3/16" = 1'-0"



KIC-5782 BKT27 .86W STEP

2 STEP/WALL LIGHTING
Scale: 1:10



KIC-16155BKT27 3.5W ACCENT

3 UP/ ACCENT LIGHT
Scale: 1:10



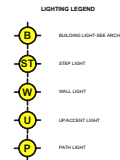
KIC-15764CBR .86W

4 WALL LIGHT
Scale: N/A



KIC-15805BKT27 4W

5 PATH LIGHTING
Scale: 1:10



No.	Date	Issue/Revision Notes
A.	1/4/2022	REVIEW
B.	1/18/2022	SUBMIT
C.	4/7/2022	SUBMIT

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Client: C/O M. KAZEMI, PROJECT MANAGER

Project Title: MULTIFAMILY
442-444 EAST 1ST STREET
NORTH VANCOUVER

Sheet Title: ROOF LAYOUT AND LIGHTING

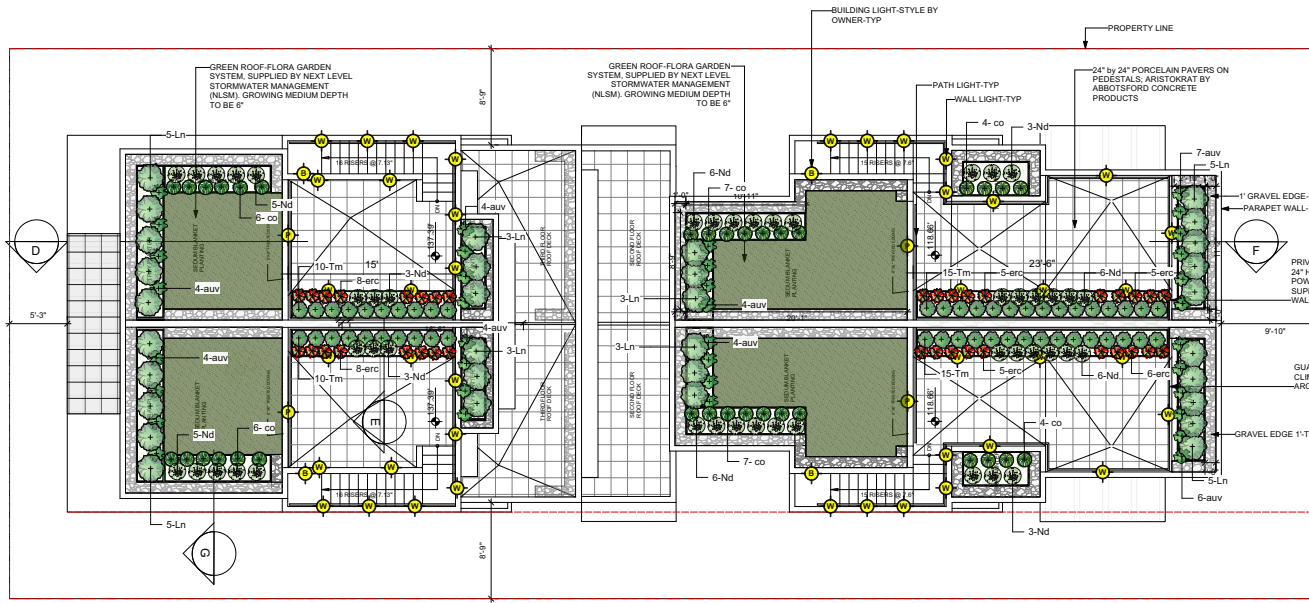
Project Manager: STEVE WONG Project ID: 2020-34

Drawn By: SW Scale: AS NOTED

Date: DECEMBER 2021 Sheet No.: L-4

File Path: 442 E 1ST CNV v2.vwx of 6

**BUILDING B
ROOF PLAN**



**BUILDING A
ROOF PLAN**

**442- 444 E. 1ST STREET, NORTH VANCOUVER
-ROOF PLANTING**

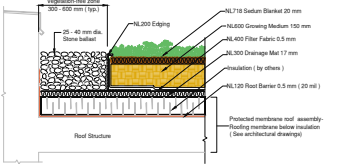
Botanical Name	Common Name	No.	Size	Spacing	Sym
SHRUBS					
Lonicera pileata	Box-leaf honeysuckle	32	#2 pot	as shown	Ln
Nandina domestica 'Gulf Stream'	Heavenly bamboo	46	#2 pot	as shown	Nd
Taxus media 'Hilli'	Yew	50	4' high	as shown	Tm
VINES, GROUND COVERS AND HERBACEOUS PERENNIALS					
Arctostaphylos uva-ursi	Kinnikinnick	37	#1 pot	as shown	Auv
Carex oshimensis 'Evergold'	Sedge	34	#1 pot	as shown	Co
Erica carnea 'Springwood Pink'	Heath	37	#1 pot	as shown	erc
Sedum sp.	Sedum	530	sq ft blanket (20mm)	as shown	

Contractor to be certified by BCLNA
All plants and installation to meet or exceed latest Canadian Landscape standard (CLS) #1 standards
Contractor to verify numbers and placement of plants prior to installation

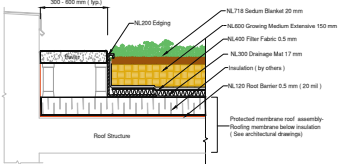
1 ROOF-PLANTING
Scale: 3/16" = 1'-0"



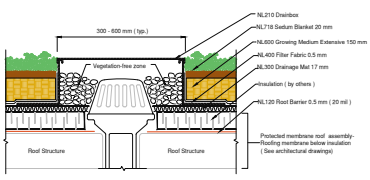
SCALE IS PROVIDED FOR CONVENIENCE
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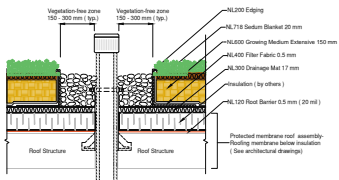
1 DET TerraEXT Standard Stone Edge Detail
Protected Membrane Roof



2 DET TerraEXT Standard Paver Edge Detail
Protected Membrane Roof



3 DET TerraEXT Standard Drain Detail
Protected Membrane Roof



4 DET TerraEXT Standard Penetration Detail
Protected Membrane Roof

2 GREEN ROOF DETAILS FOR PROTECTED MEMBRANE ROOF-FROM NLSM
Scale: N/A

No.	Date	Issue/Revision Notes
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B.	1/18/2022	SUBMIT
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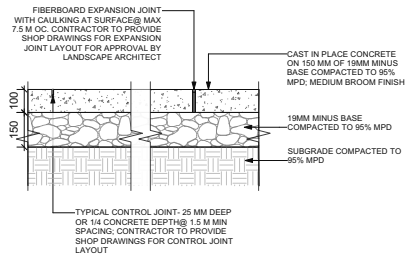
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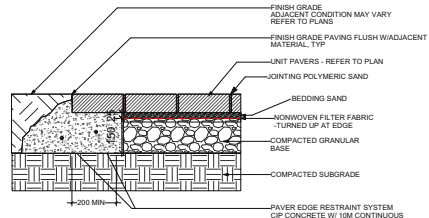
MULTIFAMILY
442-444 EAST 1ST STREET
NORTH VANCOUVER

ROOF-PLANTING

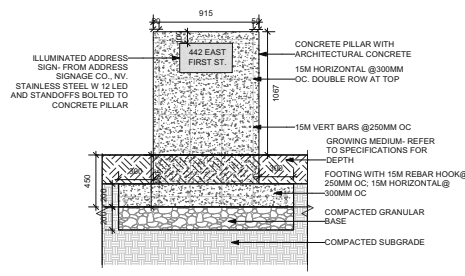
Project Manager STEVE WONG	Project ID 2020-34
Drawn By SW	Scale AS NOTED
Date DECEMBER 2021	Sheet No. L-5
442 E 1ST CNV 2 V.wvk	6



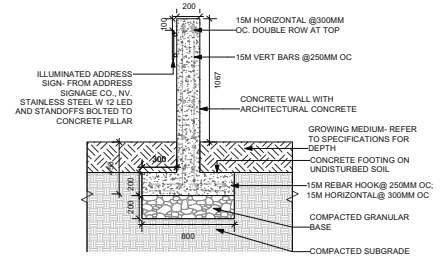
1 CIP FLATWORK
Scale: 1:10



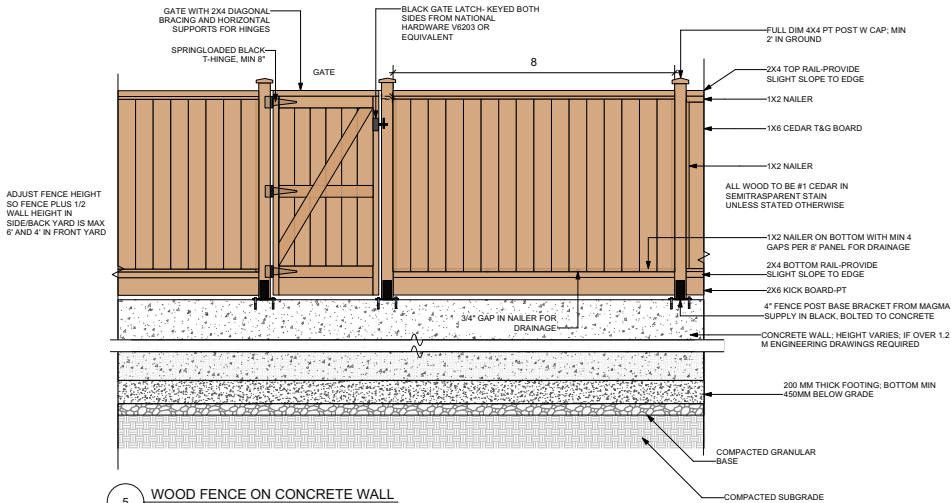
2 PAVER EDGE
Scale: 1:10



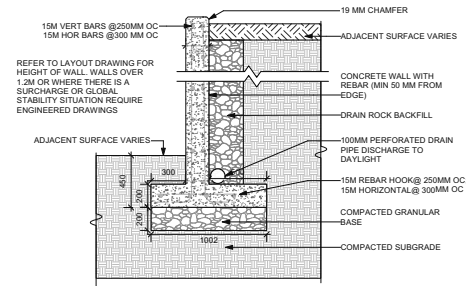
3 ADDRESS PILLAR-FRONT
Scale: 1:20



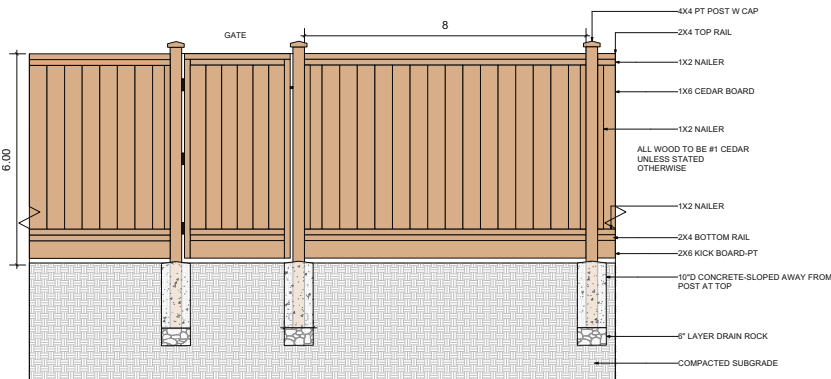
4 ADDRESS PILLAR-SIDE
Scale: 1:20



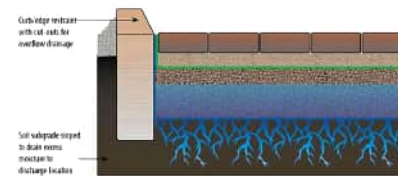
5 WOOD FENCE ON CONCRETE WALL
Scale: 1:20



7 RETAINING WALL UNDER 4'-TYP
Scale: 1:20



6 6' WOOD FENCE ON GRADE
Scale: 1:20



8 PERMEABLE PAVERS- AQUAPAVE
Scale: 1:10

No.	Date	Issue/Revision Notes
A	1/3/2022	REVIEW
B	1/18/2022	SUBMIT
C	4/7/2022	SUBMIT

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DETAILS

Project Manager	STEVE WONG	Project ID	2020-34
Drawn By	SW	Scale	AS NOTED
Date	DECEMBER 2021	Sheet No.	L-6
Drawn By	SW	Scale	AS NOTED
Date	DECEMBER 2021	Sheet No.	L-6
Drawn By	SW	Scale	AS NOTED
Date	DECEMBER 2021	Sheet No.	L-6