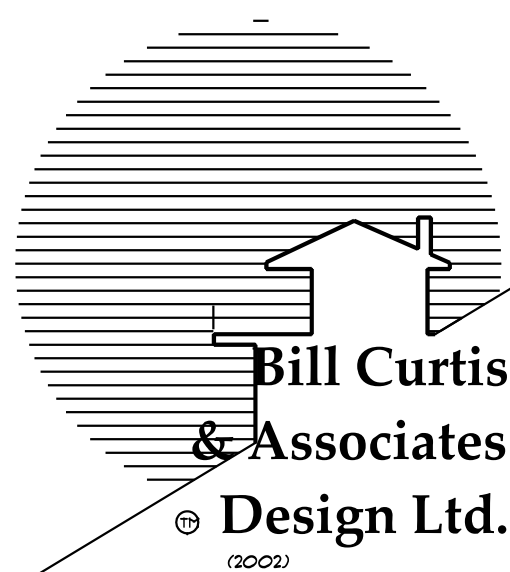


CONTEXT MAP



**Bill Curtis & Associates**  
 Design Ltd.  
2002

Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6

**CONTEXT**

Drawing **MAP**  
 Drawn By B.C. Date AUG. 2021

Scale

Project  
 ZEIDABBADI REZONING  
 OF 450 WEST 15th STREET  
 NORTH VANCOUVER





SOUTH SIDE OF WEST 15th ST.  
LOOKING EAST



SOUTH SIDE OF WEST 15th ST.  
LOOKING SOUTH EAST



SOUTH SIDE OF WEST 15th ST.  
LOOKING SOUTH WEST



SOUTH SIDE OF WEST 15th ST.  
LOOKING WEST



NORTH SIDE OF WEST 15th ST.  
LOOKING WEST



NORTH SIDE OF WEST 15th ST.  
LOOKING NORTH WEST



NORTH SIDE OF WEST 15th ST.  
LOOKING NORTH EAST



NORTH SIDE OF WEST 15th ST.  
LOOKING EAST



NORTH SIDE OF LANE  
LOOKING EAST



NORTH SIDE OF LANE  
LOOKING SOUTH



NORTH SIDE OF LANE  
LOOKING WEST



SOUTH SIDE OF LANE  
LOOKING WEST

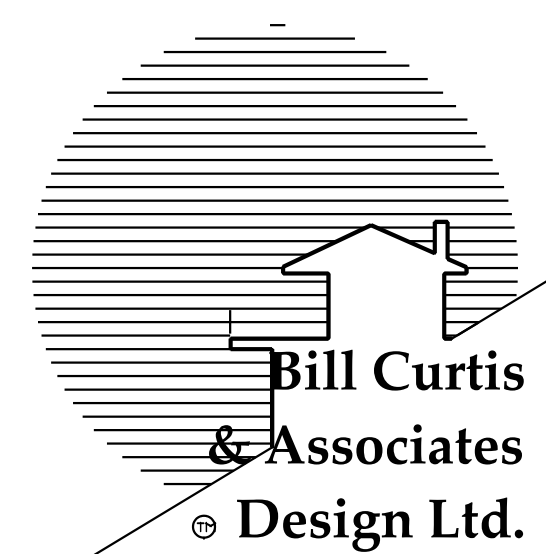


SOUTH SIDE OF LANE  
LOOKING NORTH



SOUTH SIDE OF LANE  
LOOKING EAST

REVISIONS



**Bill Curtis  
& Associates  
Design Ltd.**

Phone 604-986-4550  
Fax 604-986-4555  
billcurtisdesign@gmail.com

Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6

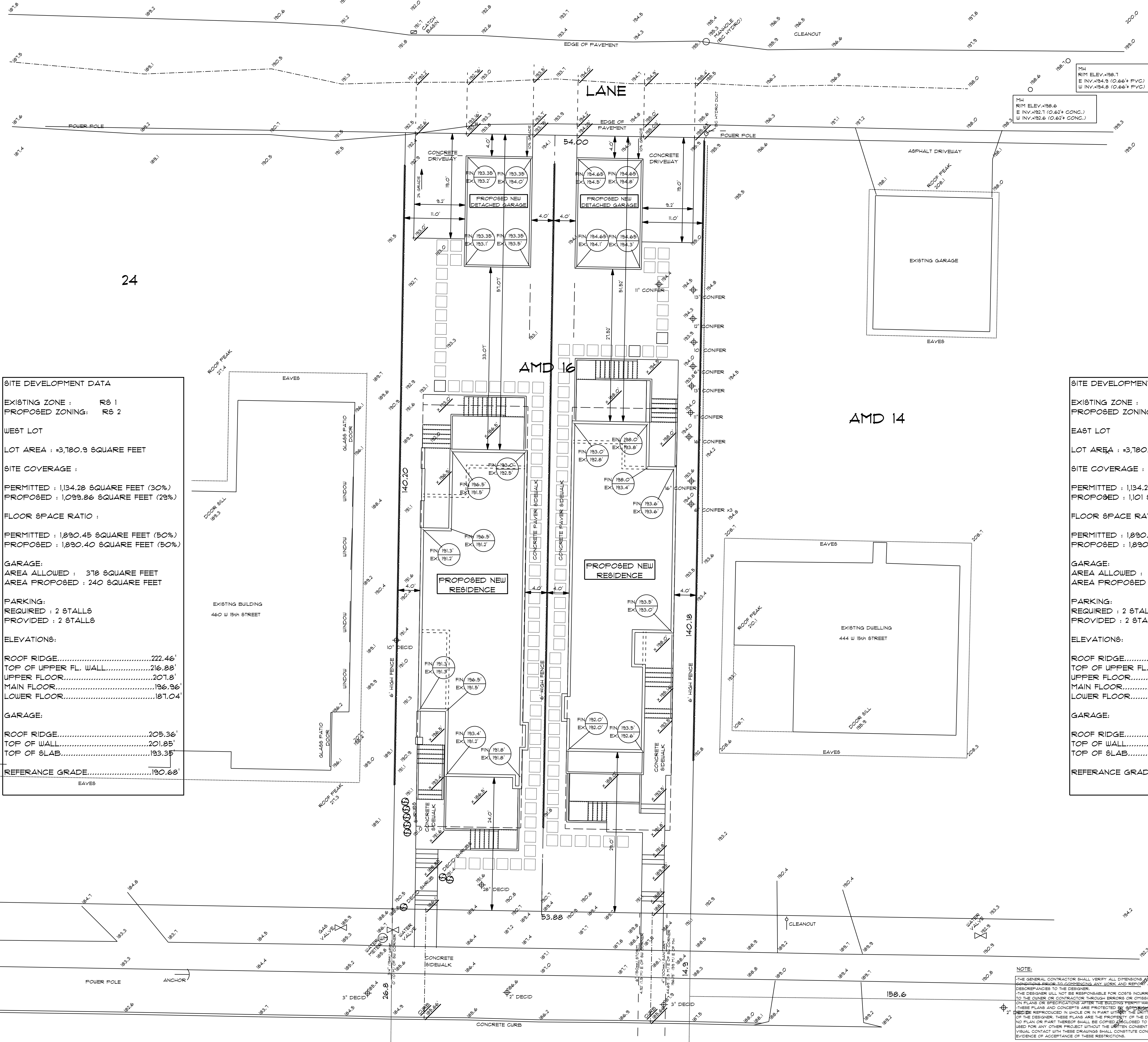
CONTEXT  
PICTURES

Drawing  
Drawn By B.C. Date AUG. 2021

Scale

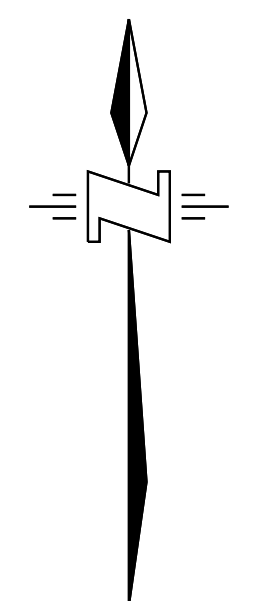
Project  
ZEIDABBADI REZONING  
OF 450 WEST 15th STREET  
NORTH VANCOUVER





**LEGAL DESCRIPTION:**  
 LOT A OF LOTS 7 AND 8 BLOCK 6  
 DISTRICT LOT 186  
 GROUP ONE NEW WESTMINSTER DISTRICT  
 PLAN 8864  
 P.I.D. 009-312-851

- LEGEND:**
- 12.34 DENOTES GROUND ELEVATION (TYPICAL)
  - W WATER VALVE
  - C CATCH BASIN
  - M MANHOLE
  - S SIGN
  - IC INSPECTION CHAMBER
  - P POWER POLE
  - F FIRE HYDRANT



**SITE DEVELOPMENT DATA**

EXISTING ZONE : R6 1  
 PROPOSED ZONING: R6 2

WEST LOT

LOT AREA : 3,180.9 SQUARE FEET

SITE COVERAGE :

PERMITTED : 1,134.28 SQUARE FEET (30%)  
 PROPOSED : 1,099.86 SQUARE FEET (29%)

FLOOR SPACE RATIO :

PERMITTED : 1,890.45 SQUARE FEET (50%)  
 PROPOSED : 1,890.40 SQUARE FEET (50%)

GARAGE:  
 AREA ALLOWED : 378 SQUARE FEET  
 AREA PROPOSED : 240 SQUARE FEET

PARKING:  
 REQUIRED : 2 STALLS  
 PROVIDED : 2 STALLS

ELEVATIONS:

ROOF RIDGE.....222.46'  
 TOP OF UPPER FL. WALL.....216.88'  
 UPPER FLOOR.....207.8'  
 MAIN FLOOR.....196.96'  
 LOWER FLOOR.....187.04'

GARAGE:

ROOF RIDGE.....205.36'  
 TOP OF WALL.....201.85'  
 TOP OF SLAB.....193.35'

REFERENCE GRADE.....190.68'

**SITE DEVELOPMENT DATA**

EXISTING ZONE : R6 1  
 PROPOSED ZONING: R6 2

EAST LOT

LOT AREA : 3,180.9 SQUARE FEET

SITE COVERAGE :

PERMITTED : 1,134.28 SQUARE FEET (30%)  
 PROPOSED : 1,101 SQUARE FEET (29%)

FLOOR SPACE RATIO :

PERMITTED : 1,890.45 SQUARE FEET (50%)  
 PROPOSED : 1,890.45 SQUARE FEET (50%)

GARAGE:  
 AREA ALLOWED : 378 SQUARE FEET  
 AREA PROPOSED : 240 SQUARE FEET

PARKING:  
 REQUIRED : 2 STALLS  
 PROVIDED : 2 STALLS

ELEVATIONS:

ROOF RIDGE.....223.93'  
 TOP OF UPPER FL. WALL.....218.35'  
 UPPER FLOOR.....209.21'  
 MAIN FLOOR.....198.43'  
 LOWER FLOOR.....188.58'

GARAGE:

ROOF RIDGE.....206.66'  
 TOP OF WALL.....203.15'  
 TOP OF SLAB.....194.65'

REFERENCE GRADE.....192.15'

STORM MH RIM: 181.0  
 UNABLE TO MEASURE WEST  
 INVERT: WATER FILLED

**NOTE:**

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS OTHER THAN THOSE WHICH HAVE BEEN ISSUED BY THE DESIGNER. THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, REPRODUCED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

3 15  
 or

**ZEIDABADI REZONING**  
 AT 450 WEST 15th STREET  
 NORTH VANCOUVER

**Bill Curtis & Associates Design Ltd.**  
 (2002)  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com  
 Harbourside Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6

Drawing **SITE PLAN**  
 Drawn By BC Date AUG. 2021

SCALE: 1/8" = 1'-0"

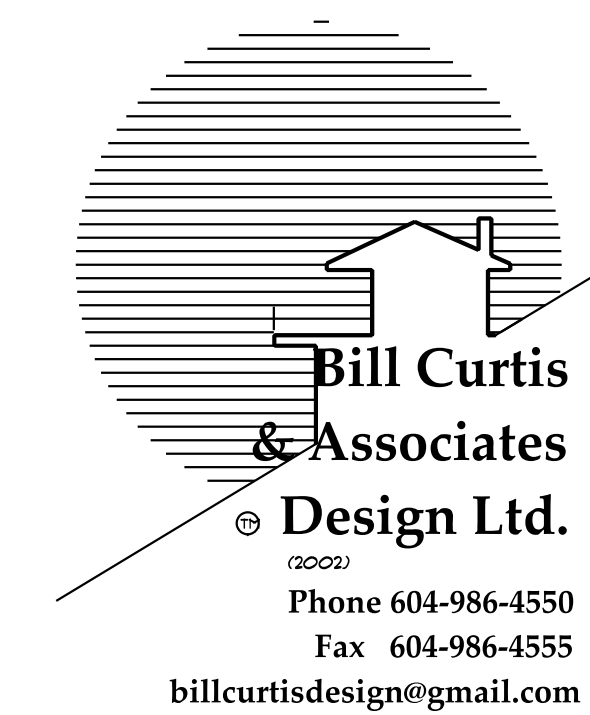
Project

Quality Residential Design

REVISIONS



REVISIONS



**Bill Curtis  
& Associates  
Design Ltd.**  
(2002)  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6

Drawing **STREETSCAPE**

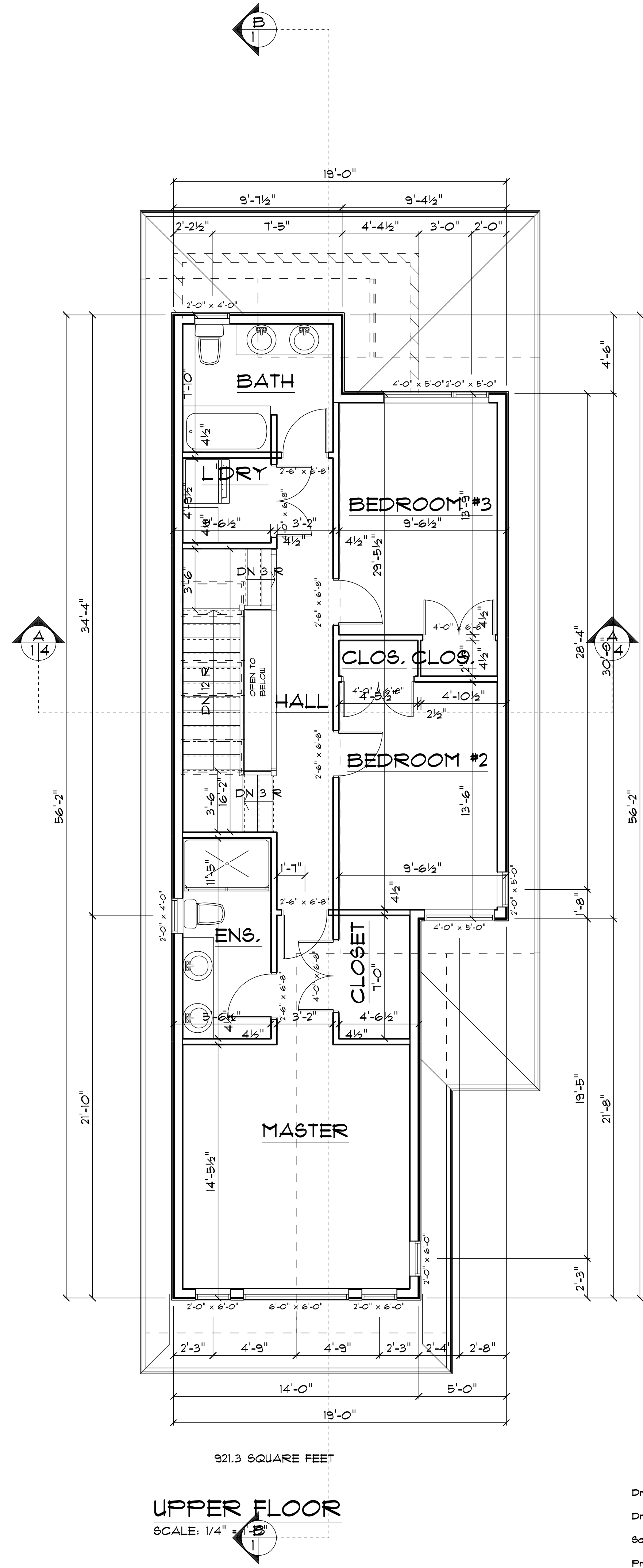
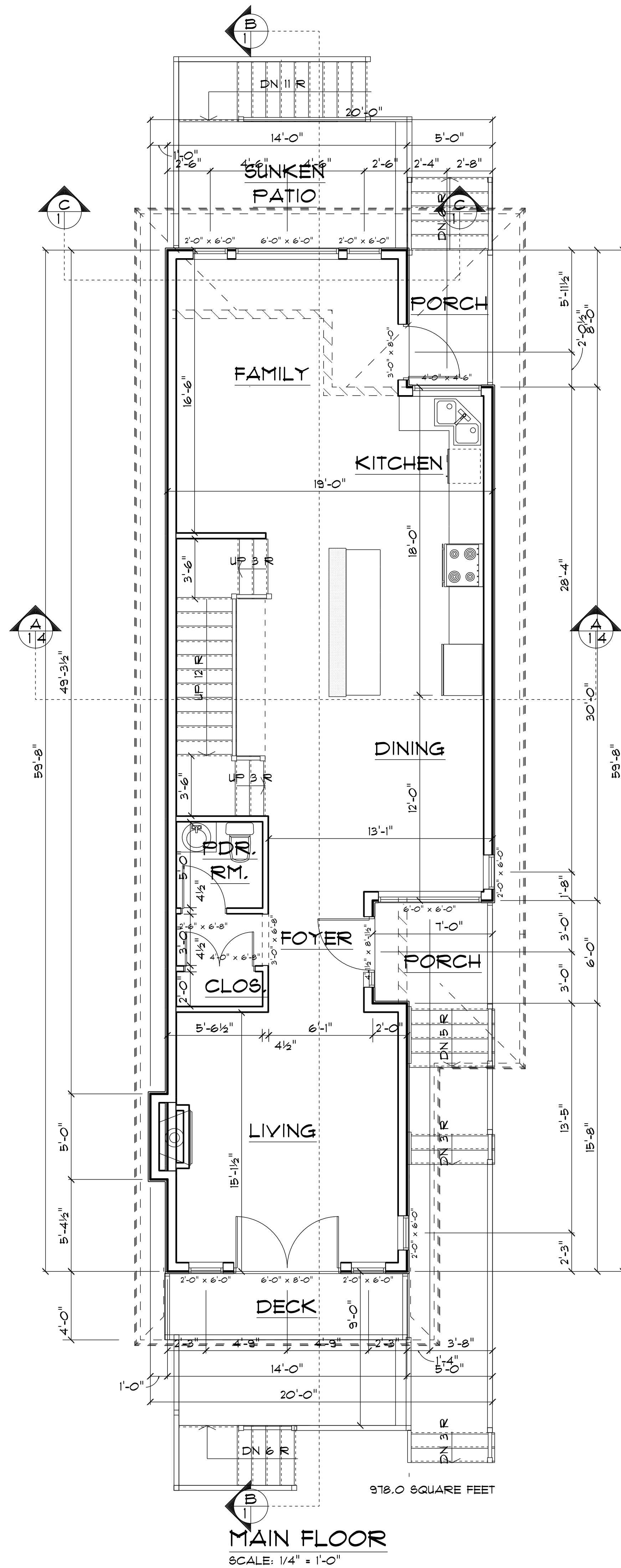
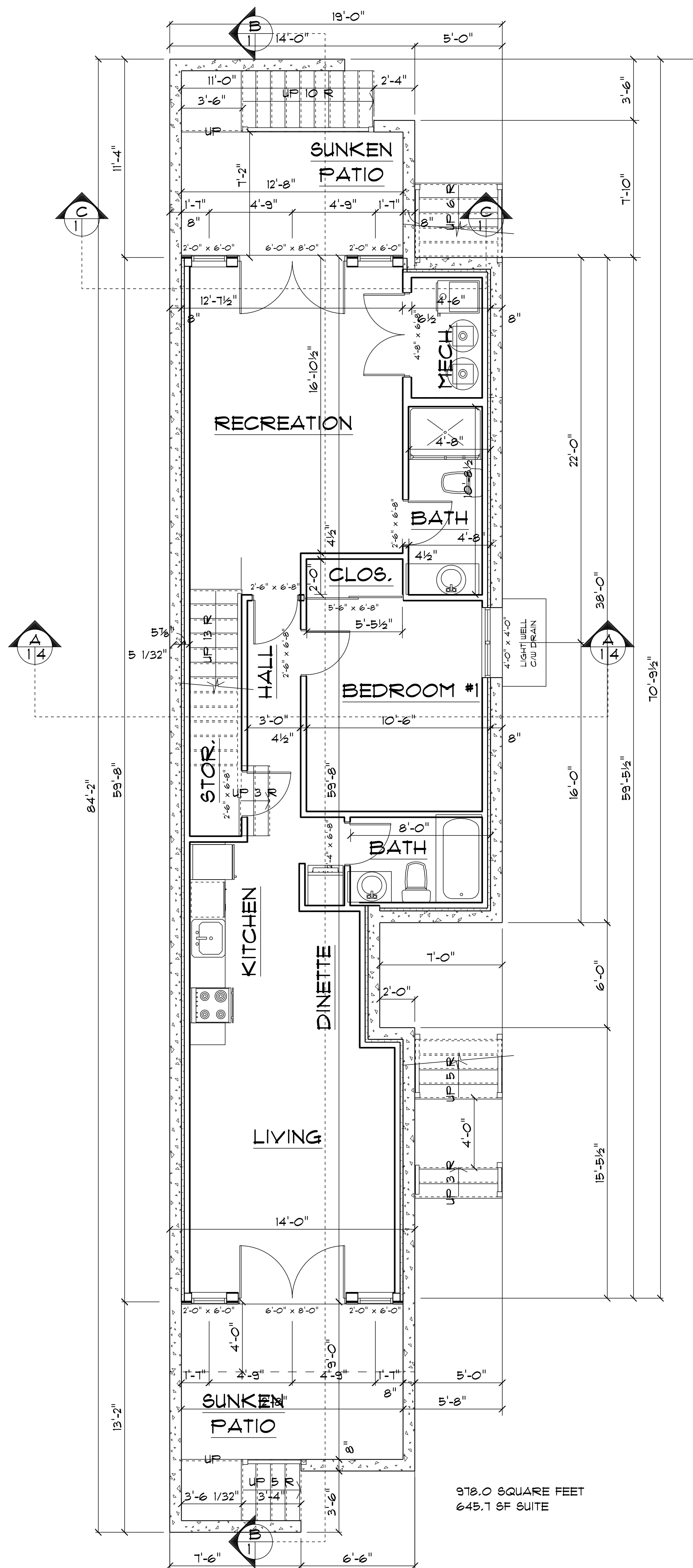
Drawn By B.C. Date AUG. 2021

Scale

Project  
**ZEIDABBADI REZONING  
 OF 450 WEST 15th STREET  
 NORTH VANCOUVER**

Quality Residential Design





REVISIONS

**Bill Curtis & Associates**  
© Design Ltd.  
Phone 604-986-4550  
Fax 604-986-4555  
billcurtisdesign@gmail.com

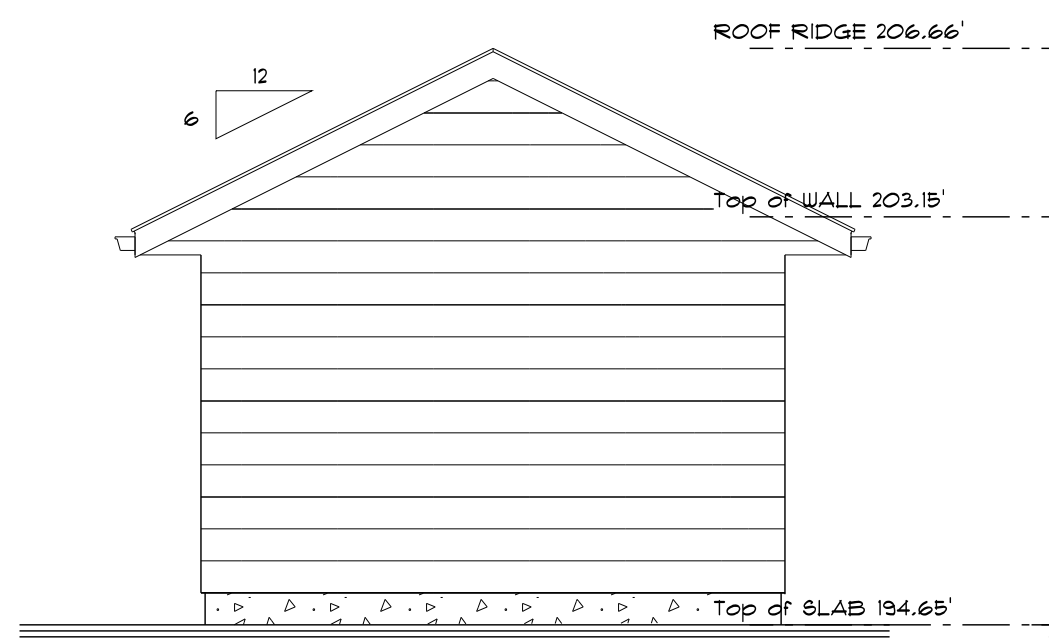
Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6  
**EAST LOT**

Drawing **FLOOR PLANS**  
Drawn By B.C. Date AUG. 2021  
Scale 1/4" = 1'-0"

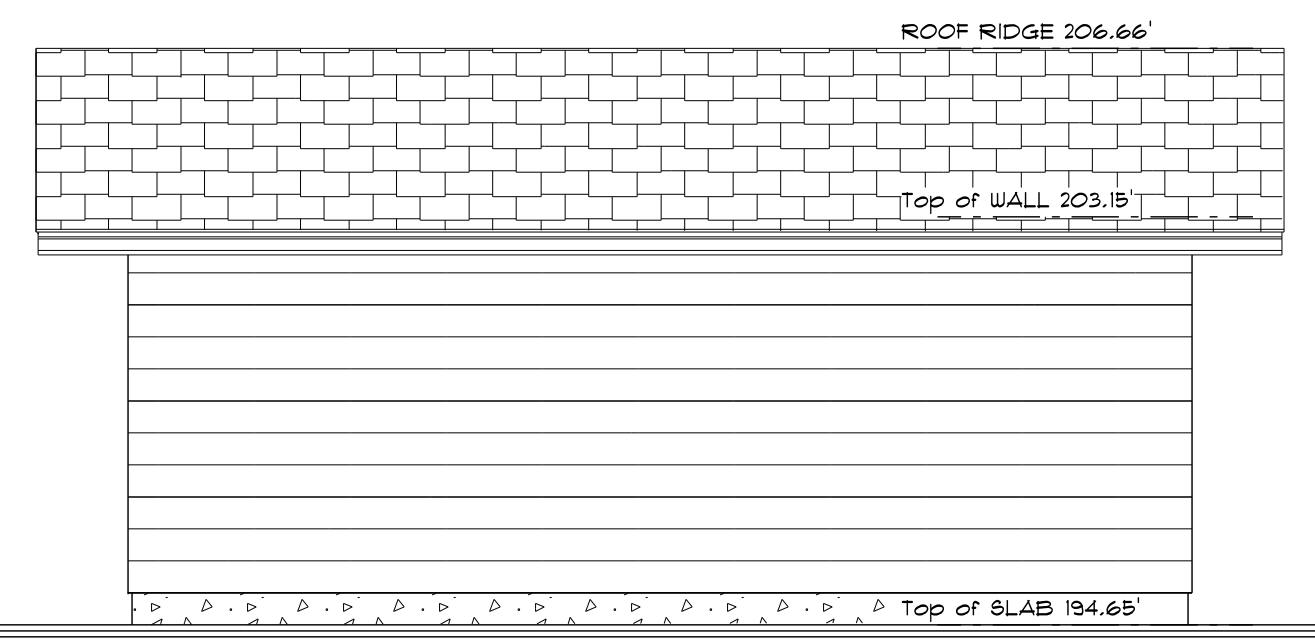
Project  
**ZEIDABBADI REZONING  
OF 450 WEST 15th STREET  
NORTH VANCOUVER**

515  
of

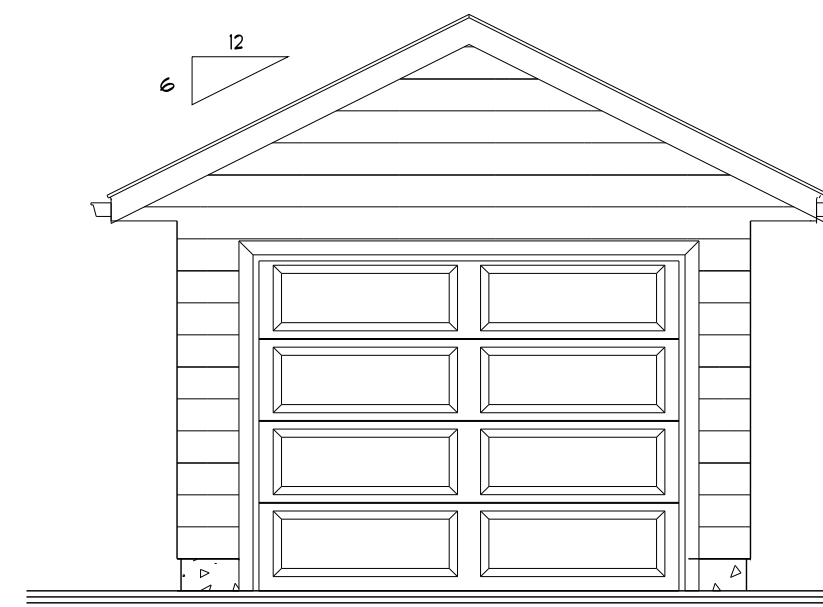




GARAGE SOUTH ELEVATION



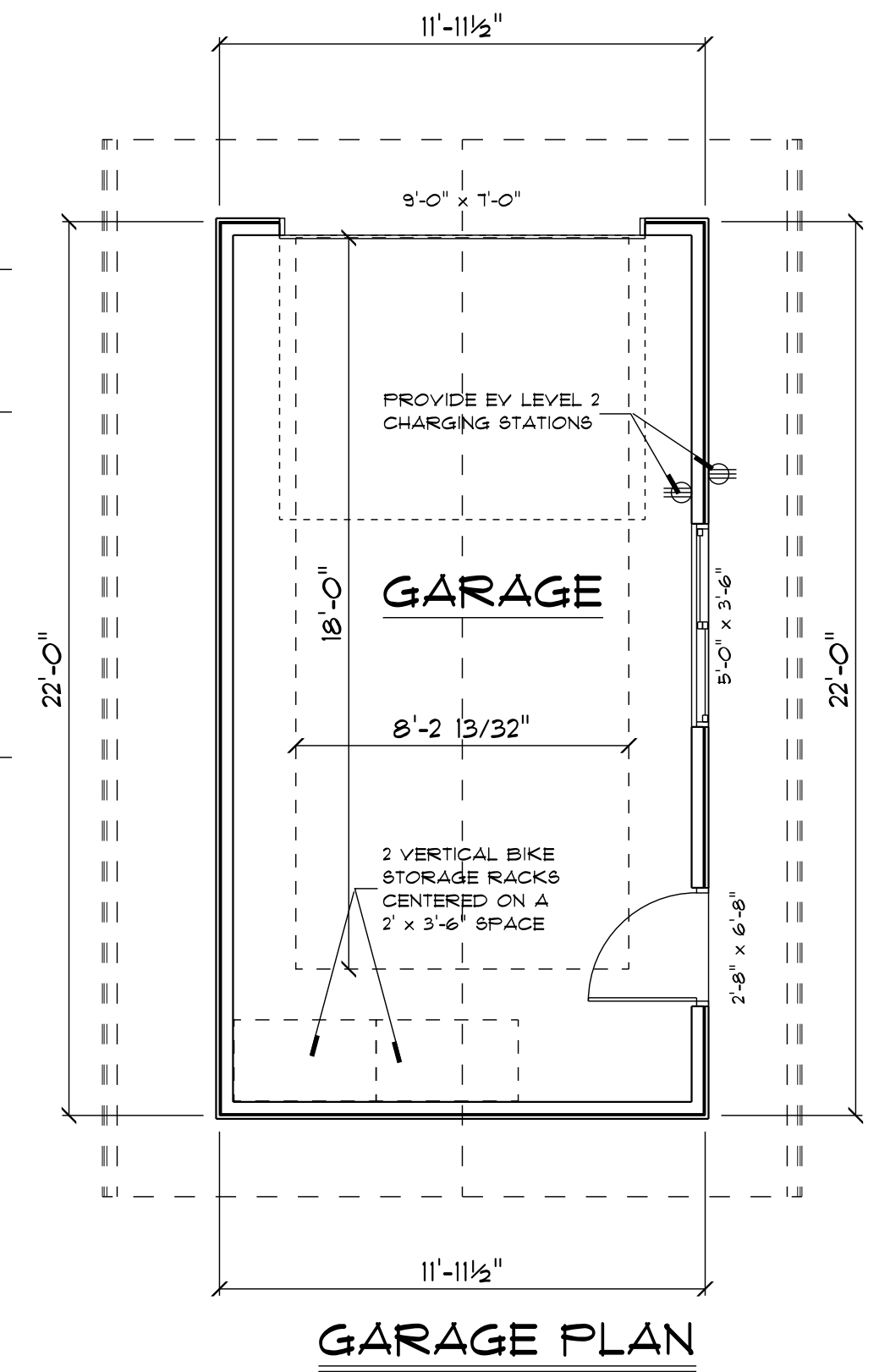
GARAGE WEST ELEVATION



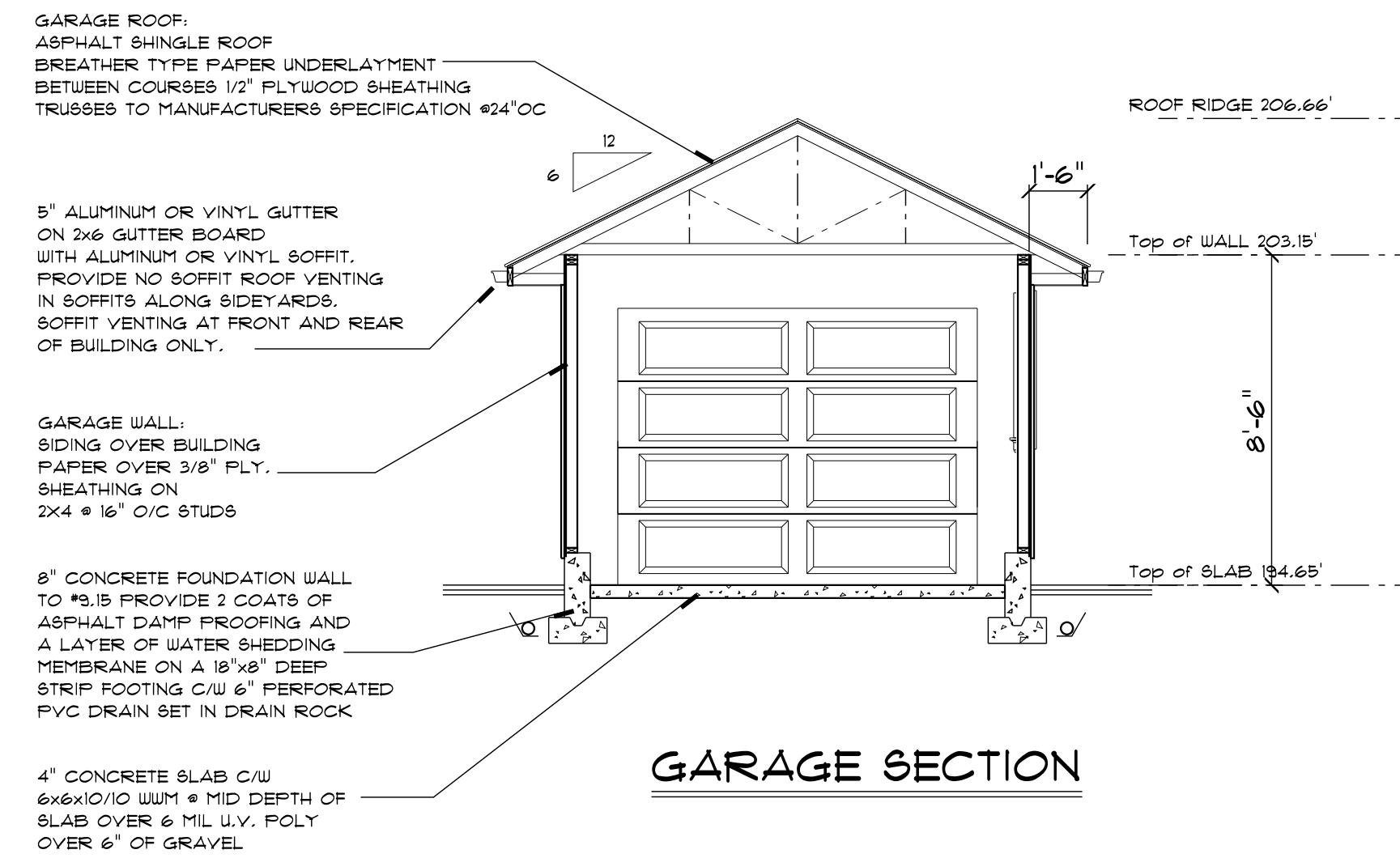
GARAGE NORTH ELEVATION



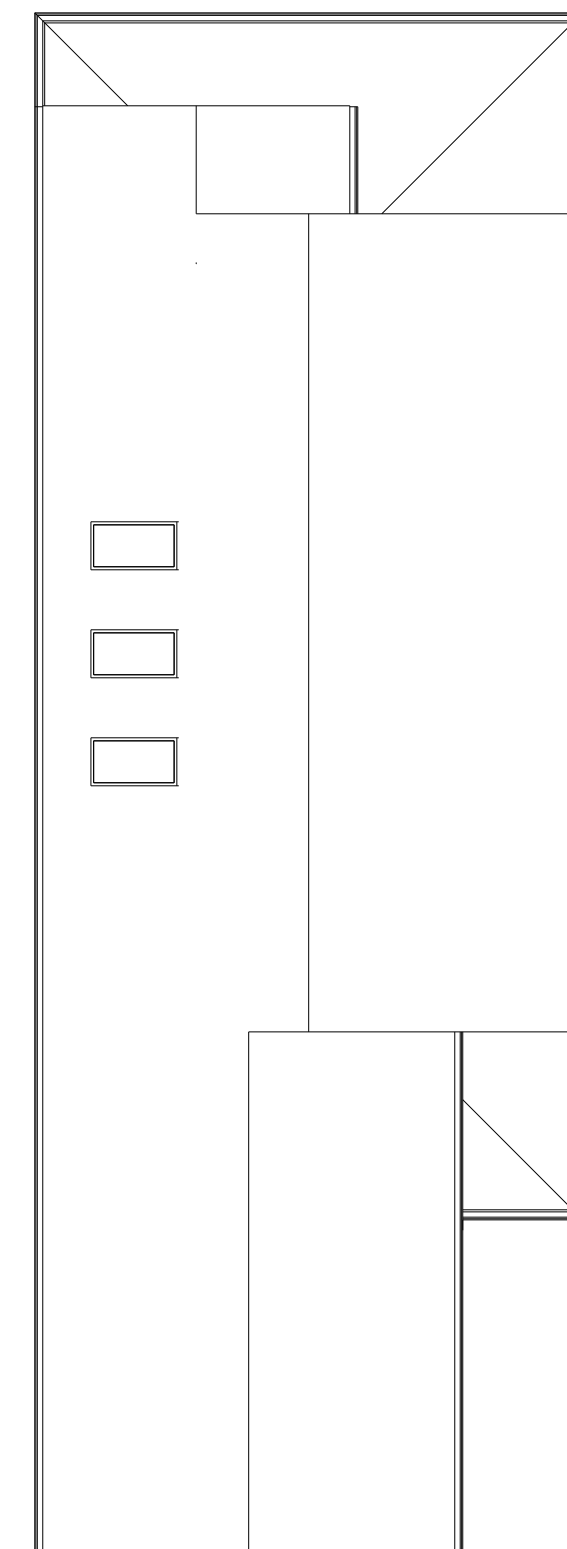
GARAGE EAST ELEVATION



GARAGE PLAN



GARAGE SECTION



ROOF PLAN  
SCALE: 1/8" = 1'-0"

REVISIONS

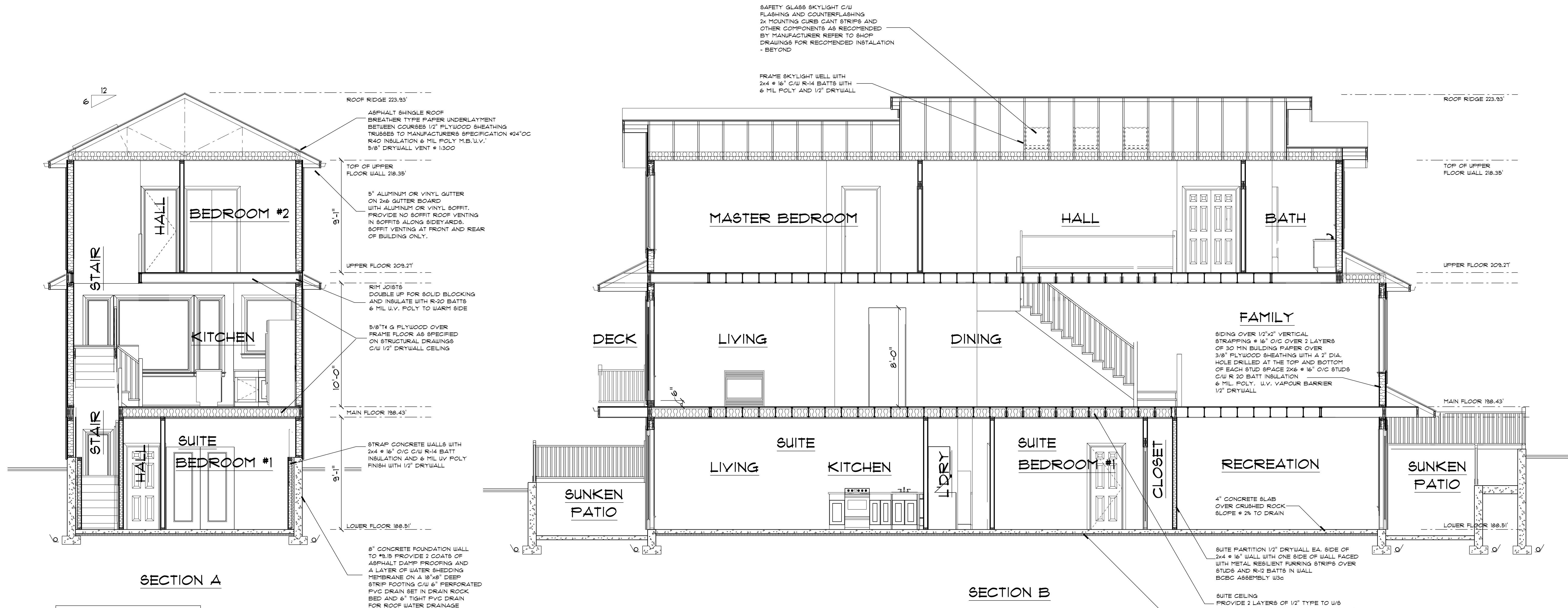
**Bill Curtis & Associates**  
Design Ltd.  
© 2021  
Phone 604-986-4550  
Fax 604-986-4555  
billcurtisdesign@gmail.com

Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6  
**EAST LOT**

Drawing **GARAGE PLAN**  
Drawn By B.C. Date AUG. 2021  
Scale 1/4" : 1'-0" OR  
AS NOTED

Project  
ZEIDABBADI REZONING  
OF 450 WEST 15th STREET  
NORTH VANCOUVER





**Construction Notes**

These plans and concepts are protected by copyright and may not be reproduced in whole or in part without the express written consent of the designer.

**General Conditions:**

- The general contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.
- All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
- Written dimensions take precedence over scaled dimensions. Do not attempt to scale drawings to find an unknown dimension contact the designer.
- The designer shall not be responsible for any costs incurred to the owner or general contractor due to errors or omissions in these plans after a building permit has been issued for this project.

Construction shall comply with  
The British Columbia Building Code 2018 (BCBC).

**Foundations:**

- Concrete shall be 32 mpa (3000 psi) at 28 days.
- Footings shall extend a minimum of 18" below grade and to solid bearing.
- Pin foundations to rock as described in structural drawings.
- Provide a minimum of 2 coats of asphalt dampproofing or an approved waterproofing membrane over the exterior face of foundation walls.
- Provide 1/2" anchor bolts @ 6' o/c or anchor straps @ 4' o/c maximum spacing.
- Anchor posts to footings with pinned anchor saddles embedded in footings.
- Provide a damp proofing felt or equal between plates and concrete foundations where there is potential for contact or provide pressure treated plates.
- Provide a non-binding agent between the tops of foundations and concrete slabs to prevent bonding.
- Provide a minimum 6 mil u.v. layer of poly under concrete slabs and skin coats.
- Fill under concrete slabs and skins to be non organic.

**Framing:**

- All framing is to be to \* 9.25 BCBC.
- All load bearing lumber to be Douglas Fir #2 or better.
- Limits are to be 2x10 DF2 or better.
- All deck framing is to be pressure treated.
- Glue, gasket, miscelane and other manufactured beams are to be engineer designed and the general contractor will provide certificates of manufacture as required before erection.
- Roof and floor trusses are to be engineer designed and shop drawings showing truss layout and details are to be provided to the building inspector as required.
- Cross bridge floor and roof joists @ 1' O.C maximum.

**Stairs:**

- Straight stair: Rise min. 4.92" max. 1.81"  
Run min. 8.21" max. 13.98"  
Tread min. 9.25" max. 13.98"
- All treads to have a 1" nosing.
- Minimum headroom is 6'-8" measured vertically from an imaginary line connecting the stair nosings.
- Handrail height is to be between 32" and 38" measured as clear height over stairs.
- Winders to conform to \* 9.8.4.5.
- Minimum stair width is 2'-0".
- Curved stairs and stairs greater than 43" in width require a handrail on both sides of the stair.
- A handrail is required for interior stairs with more than 2 risers and for exterior stairs with more than 3 risers.
- No member facilitating climbing above 4" to 36" from the deck or stair surface is permitted in the handrail assembly.
- The maximum opening size within the balustrade width is 4".

**Guardrails:**

- Guardrail height is 36" where the vertical distance to grade is 5'-11" or less. Where the vertical distance is greater, the guard height is 3'-6" or as noted.
- All guards to have a cap unless engineer approved.
- A guard is required where there is a slope of 24" or more.
- A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 2.

**Safety Glass:**

- Glass within 36" of a door shall be safety glass.
- Glass in exterior doors, showers, french, and sliding doors shall be safety glass.
- Windows in walls enclosing showers or bathrooms shall be safety glass and located above the waterproof finish height.
- Mirrors in walls are to be safety glass and blocked with solid material.
- Glass within 8" of the floor is to be safety glass.

**Cladding:**

- Cladding shall conform to \* 9.21 BCBC
- All flashing shall conform to \* 9.21.3.1 BCBC and installed to conform with \* 9.21.3.8 BCBC
- All cladding shall conform to Section \* 9.21.4 BCBC

**Fireplaces and Chimneys:**

- Fireplaces and chimneys shall conform to \* 9.21 and \* 9.22.
- Provide 2" clearance between chimney and combustible framing.
- Masonry hearths shall conform to \* 9.22.5.1
- Provide fuelinlets to \* 9.21.3. Flue sizes to 9.21.2.5a 4 to
- Provide cleanouts to \* 9.21.4.1
- Provide 4" firebrick lining to firebox.
- Provide dampers
- Factory built fireplaces and chimneys shall be installed to manufacturers specifications and to meet ULG listing requirements.
- Provide non combustible protection under non combustible hearth.
- Fireplaces to have tight fitting doors and outside combustion air supplied directly to the firebox.

**Miscellaneous:**

- Heating system: Principle residence, Air source Heat Pump, output 21500 BTU/hr, HSPF 5.9  
Backup: Baseboard, output 21500 BTU/hr  
Cooling: Air source heat Pump, output 21500 BTU/hr, SEER 13  
Suite, Electric Baseboard  
Water Heating: Electric Storage Tank, 80 gal, 0.81 EF

- Provide for fiberglass window frames with thermal glazing in sealed units providing a minimum 1/2" airspace.
- Glass in doors and windows to be double glazed unless otherwise specified.
- Provide thermally broken frames in all skylights.
- Hard wire smoke alarms in bedroom areas and on all floors to conform to \* 9.10.18 BCBC.
- Provide carbon monoxide detectors within 16.4' of a bedroom door or in the bedroom and conform to \* 9.32.4.2 BCBC.
- Waterproof wall finishes in shower and bathtub enclosures and apply over a moisture resistant backing.
- Provide insulation blocks to allow for adequate ventilation at restricted locations.
- Finish grades are to direct water away from the building and to conform to \* 9.9.14 BCBC.
- Provide hard wired C.O. detectors in each bedroom within 16' (5 Metres) of bedroom door in conformance with \* 9.32.4.2.

**Energy Efficiency:**

- All heating, ventilation and insulation components are to conform to regulations outlined in section \* 9.36
- All habitable spaces are to achieve Step Code 3 performance.
- Energy efficiency components are to be designed by a Certified Energy Performance Advisor.
- Notify the designer in the event of conflict between assembly descriptions between these drawings and those of the Energy Performance Advisor.

**Ventilation:**

- Principle ventilation: HRV 99 CFM 65% SEER  
Secondary ventilation: Bathroom exhaust fan Passive inlets, 30 CFM
- Provide exhaust fans that provide half an air change an hour located in bathrooms and kitchens.
- Provide fresh, tempered air to all habitable spaces with humidity control at a static pressure of 0.25" of water.
- Air is to be mechanically vented from all kitchens, bedrooms and laundry rooms.
- Air is to be ducted to a centrally located and continuously running 2 speed exhaust fan (speed controlled from sources).
- Duct systems shall be sized according to exhaust manufacturer recommendations. Duct layout to be designed by trade.
- Air baffles shall form a continuous envelope on the inside surfaces of the building.
- Provide sealed or lapped joints at least 4" wide at framing members, furring or blocking.
- Provide vapour barrier protection at the inside of box joists.
- Holes through vapour barriers for mechanical and electrical services shall be sealed to retain the integrity of the air envelope.
- Vapour proof electrical boxes are recommended for exterior walls.
- Attic access hatches are to be weatherstripped and have an air barrier.
- Uniformly ventilate roof spaces at a 1:300 ratio of the insulated floor area. Ventilation ratio is to be 1:50 in conditions where the roof slope is 2:12 or less.
- Provide a minimum of 25% of the required ventilation area at the roof ridge.
- All ducts intended for the discharge of air to the outdoors shall be equipped with a motorized, gravity or spring operated backflow damper.
- All ducts and plenums carrying conditioned air and located within the plane of insulation shall have all joints sealed against air infiltration and exfiltration with sealants or gaskets made from liquids, mastics, or heat applied materials.
- Ventilate attics @ 1:300 ratio of insulated ceiling area. Ventilate flat roofs @ 1:50 ratio.
- Roof vents are to be uniformly distributed with a minimum of 25% at the base and 25% at the roof stop.
- Submit mechanical ventilation/ air conditioning design and letter of supervision by a Professional Engineer certified HRAI or HVAC Technician @ frame and final inspection.
- Heat Recovery Ventilators are to be installed to manufacturers specifications.

**Dwelling Security:**

- Main entrance doors without sidelights are to be equipped with a door viewer.
- Doorframes in exterior openings are to be solid blocked at the lock height so that the door frame will resist spreading by force to \* 9.6.6 BCBC and \* 9.5.14 BCBC.
- Exterior doors shall be provided with a 5 pin cylinder deadbolt lock with a 1" throw to \* 9.6.6 BCBC.
- Exterior sliding windows shall be equipped and installed in a manner that will prevent the removal of a sliding panel when in the locked position.
- Sliding glass doors shall be equipped with sliding pin locks into the door frame to supplement the sash lock of the door handle.

**Vapour Barrier:**

- Where an interior frame wall meets a ceiling required to have vapour protection on an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
- Provide vapour barrier protection to the inside of insulation on the inside of box joist or as rigid foam insulation.
- Clearance between chimneys or vents to be sealed with non-combustible insulation.

REVISIONS

**Bill Curtis & Associates**  
Design Ltd.  
Phone 604-986-4550  
Fax 604-986-4555  
billcurtisdesign@gmail.com

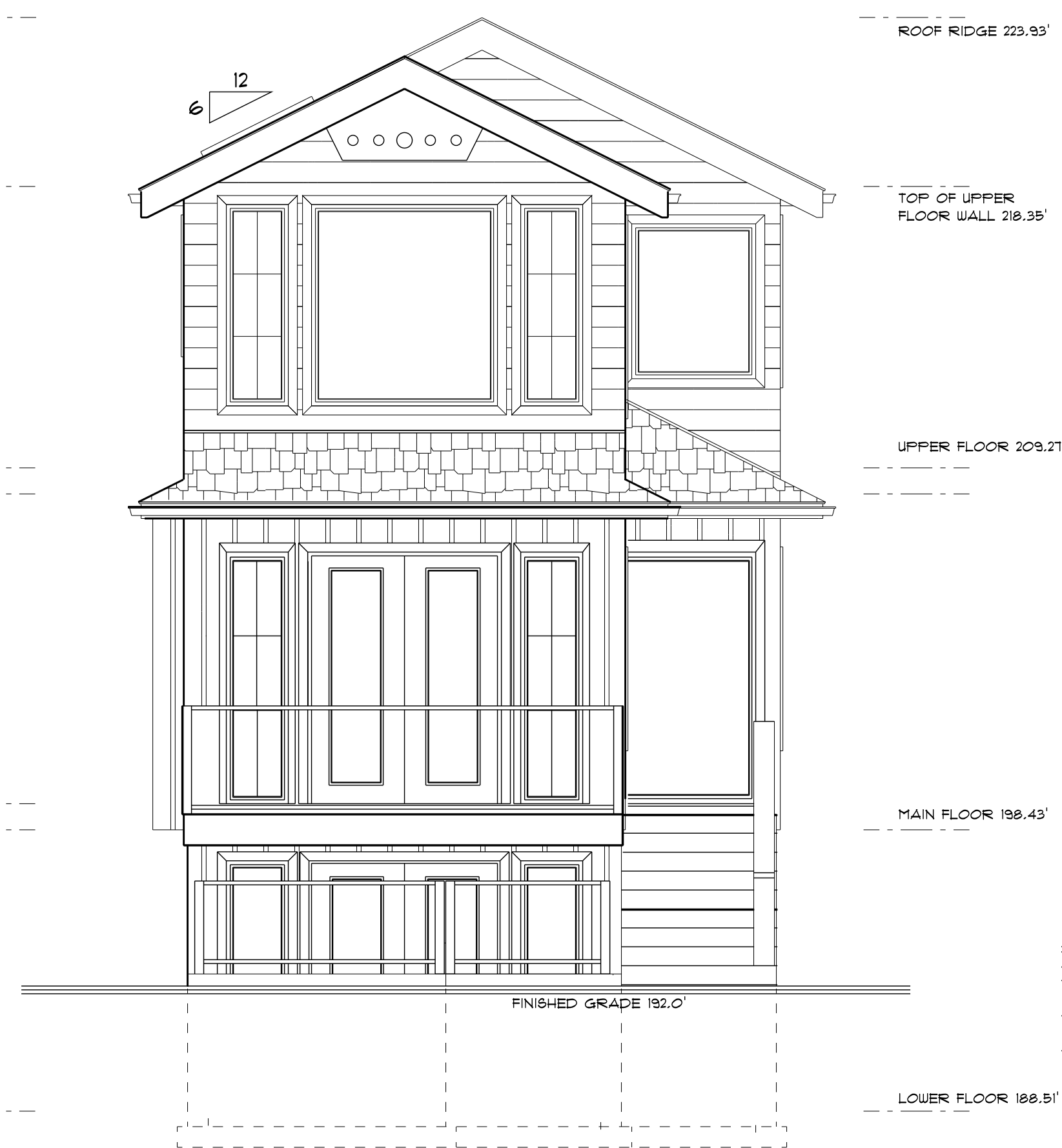
Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6

**EAST LOT**  
SECTIONS  
Drawn By: B.C. Date: AUG. 2021

Scale: 1/4" = 1'-0"

Project:  
ZEIDABBADI REZONING  
OF 450 WEST 15th STREET  
NORTH VANCOUVER

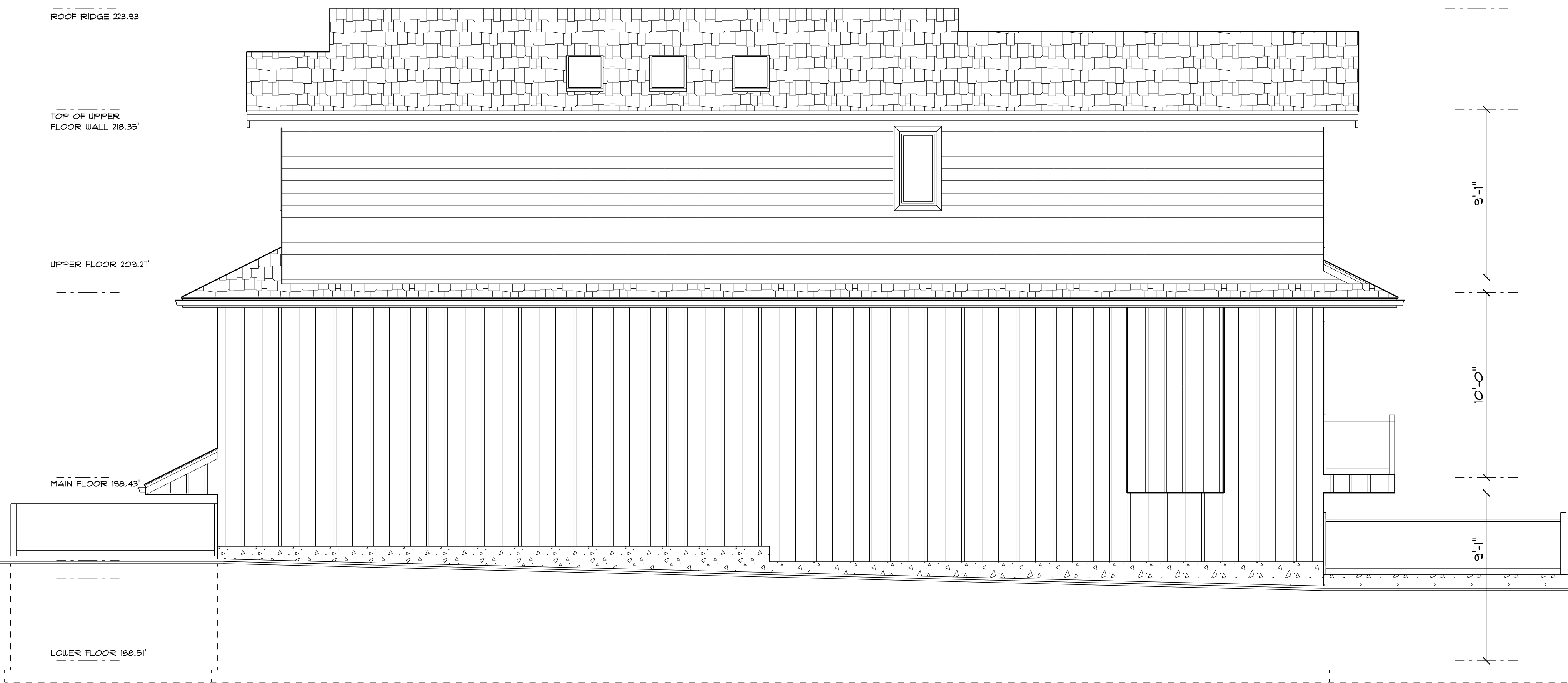




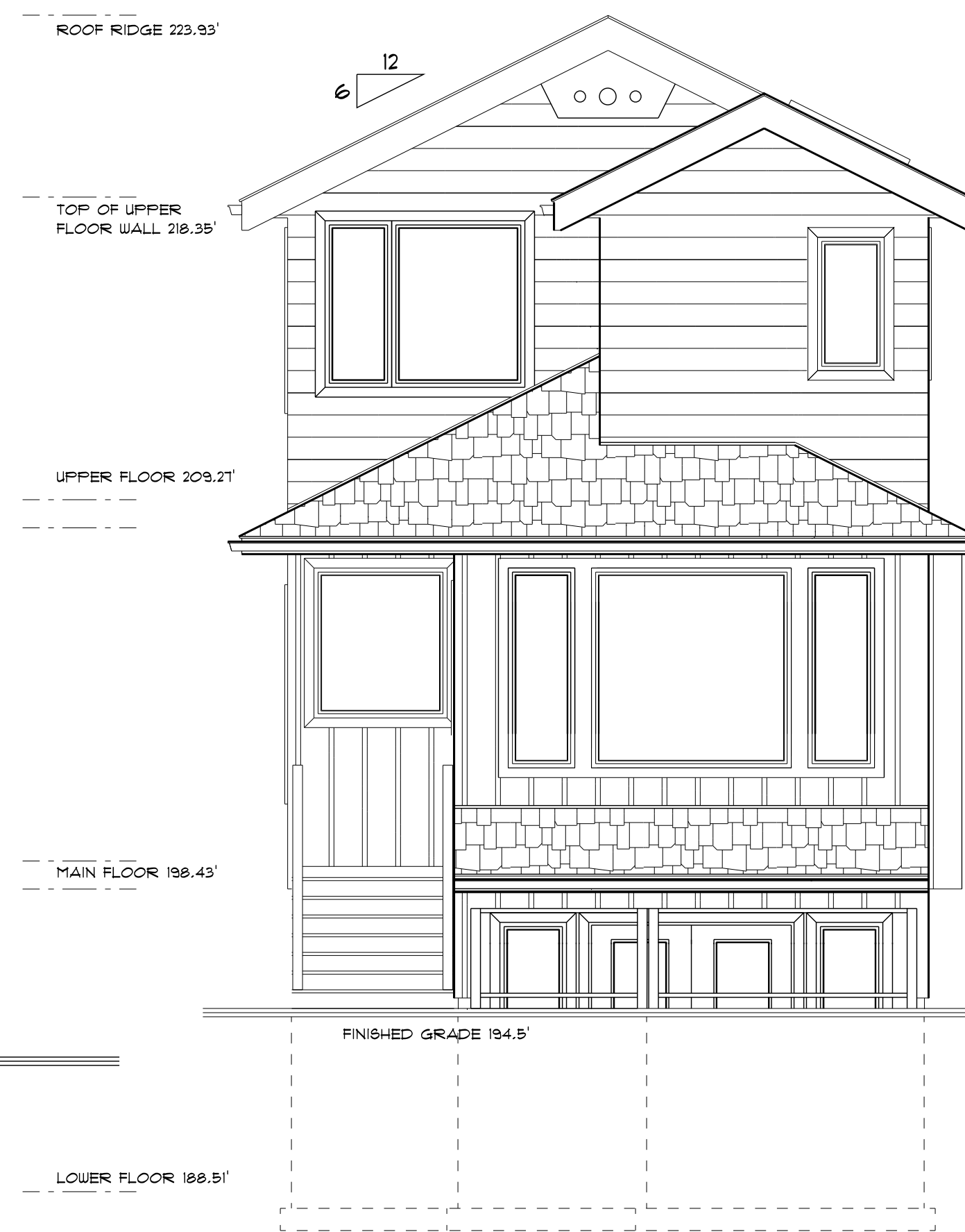
**SOUTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**

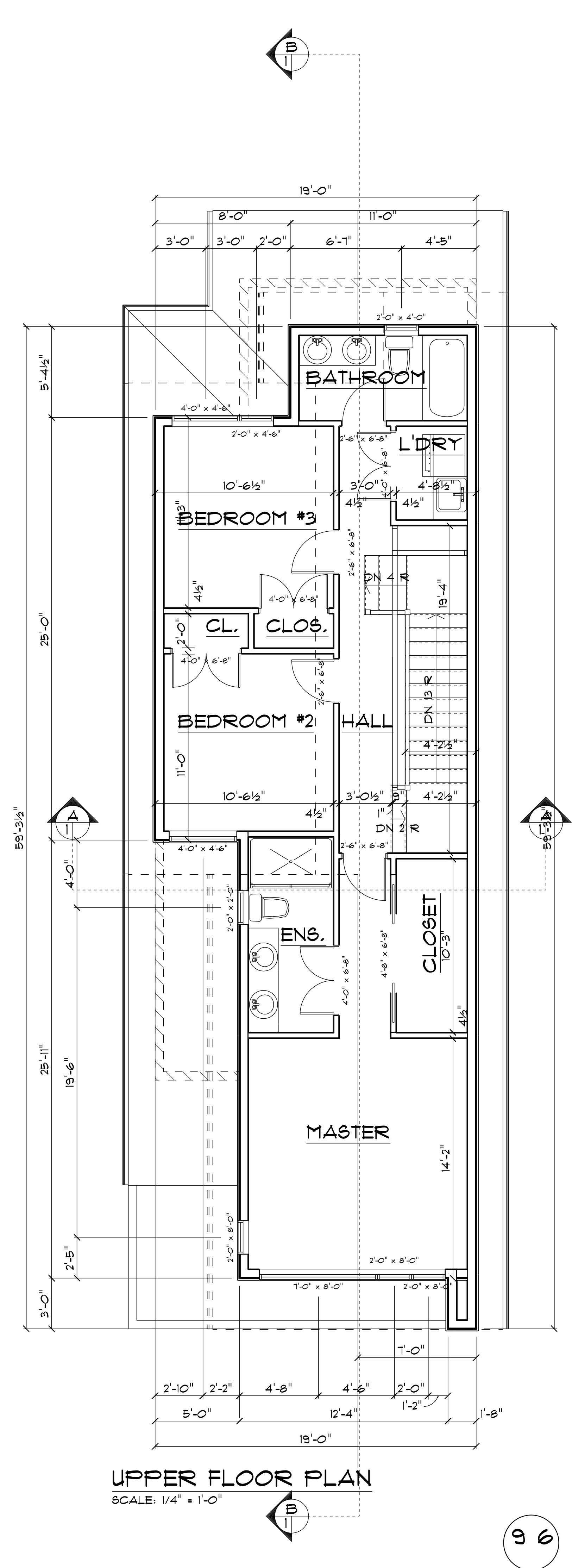
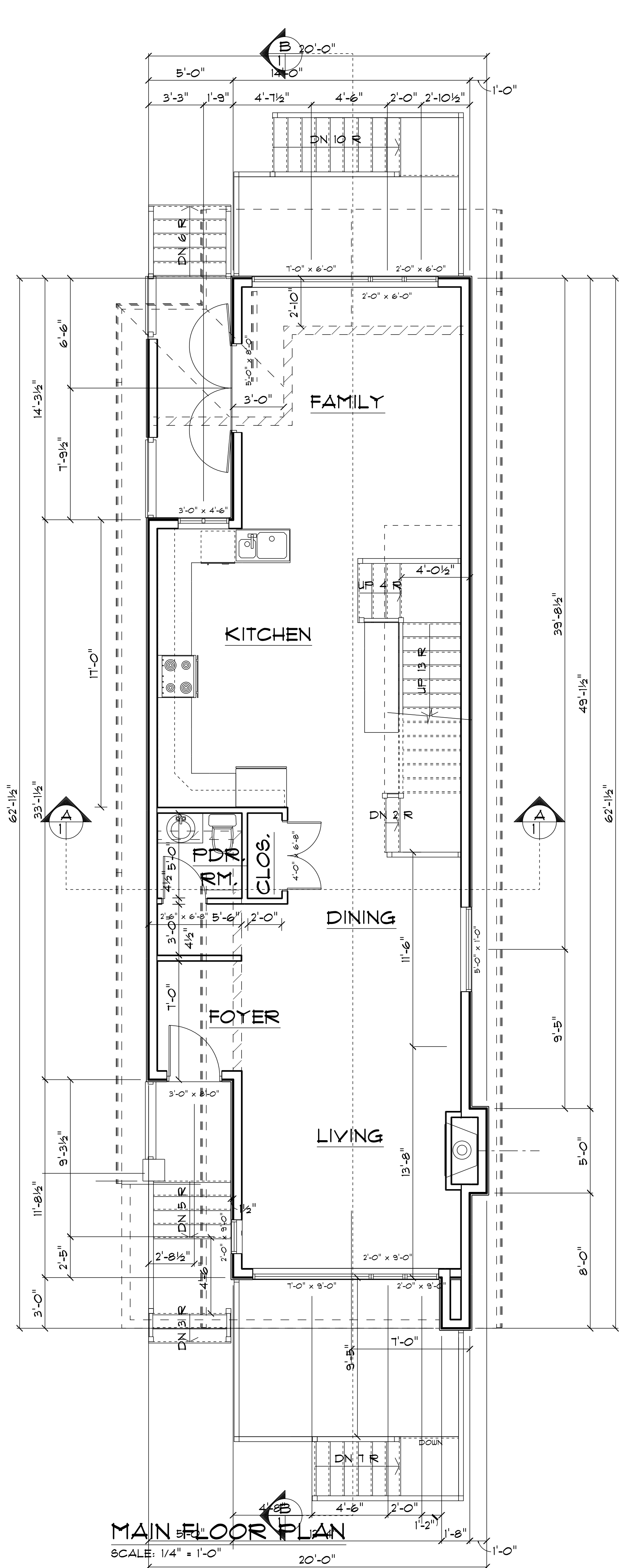
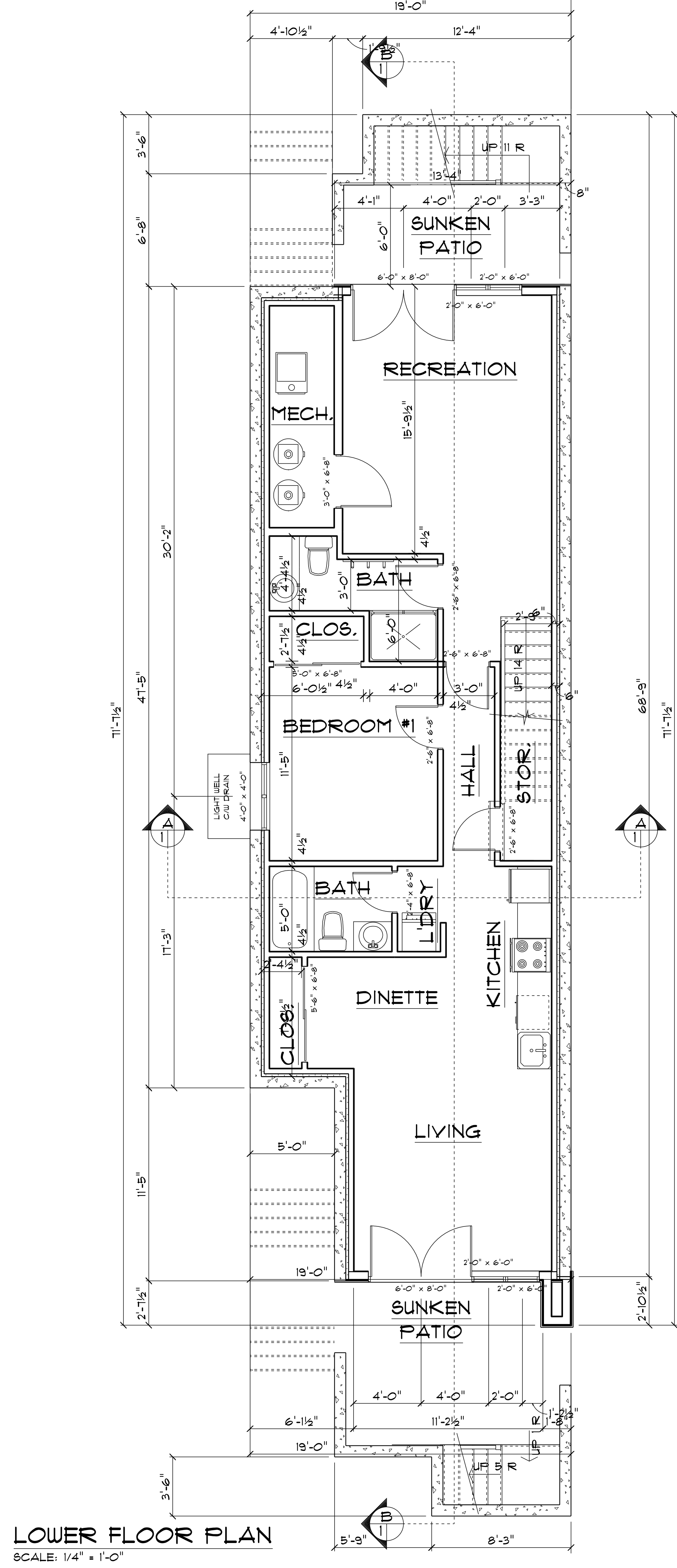
REVISIONS

**Bill Curtis & Associates**  
 © Design Ltd.  
 (2021)  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**EAST LOT**  
**ELEVATIONS**  
 Drawing  
 Drawn By B.C. Date AUG. 2021  
 Scale 1/4" = 1'-0"  
 Project  
 ZEIDABBADI REZONING  
 OF 450 WEST 15th STREET  
 NORTH VANCOUVER

Quality Residential Design





REVISIONS

**Bill Curtis & Associates**  
© Design Ltd.  
Phone 604-986-4550  
Fax 604-986-4555  
billcurtisdesign@gmail.com

Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6

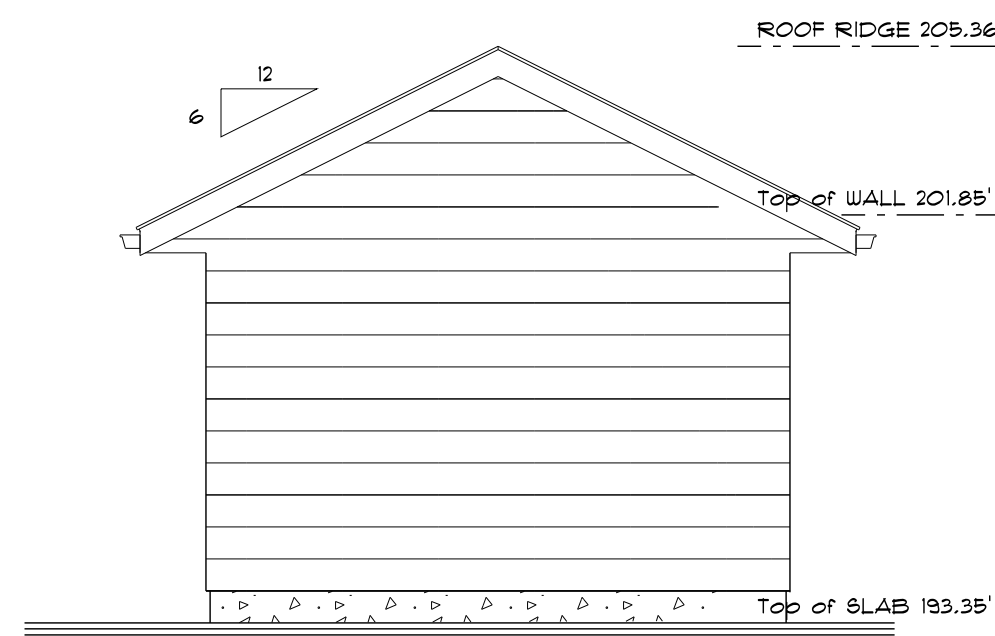
**WEST LOT**

Drawing **FL PLANS**  
Drawn By B.C. Date AUG. 2021  
Scale 1/4" = 1'-0"

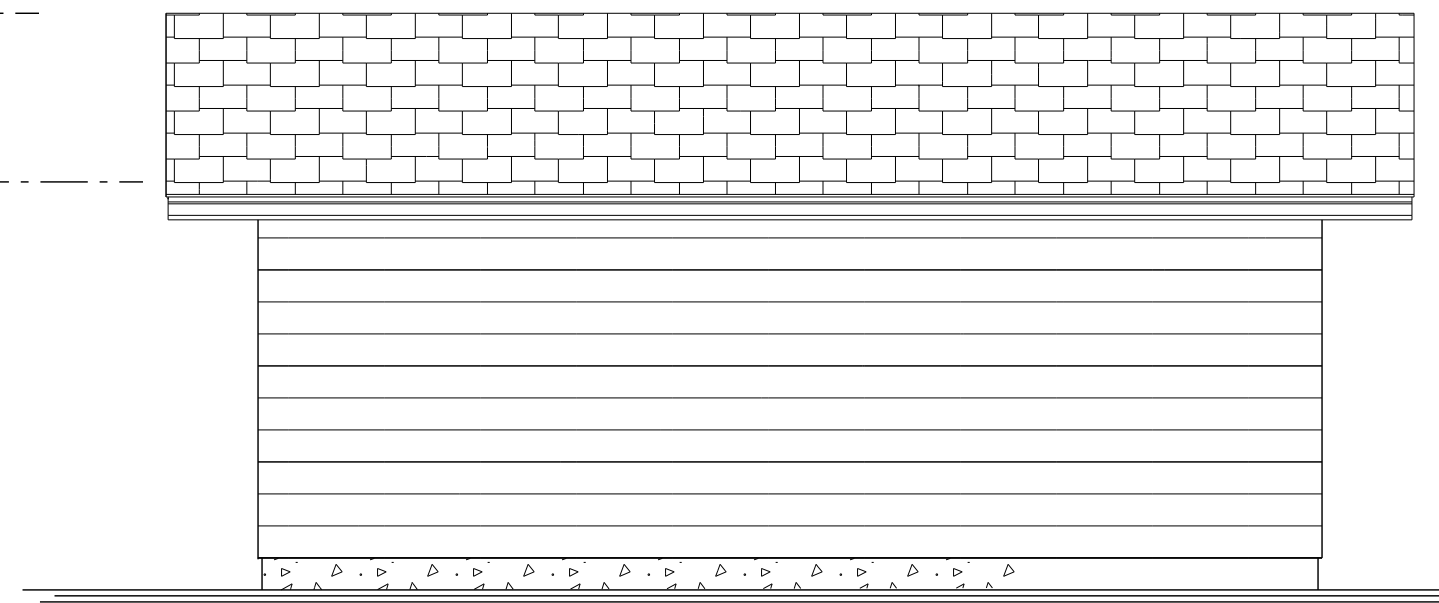
Project  
**ZEIDABADI RESIDENCE**  
AT 452 WEST 15th STREET  
NORTH VANCOUVER

**96**

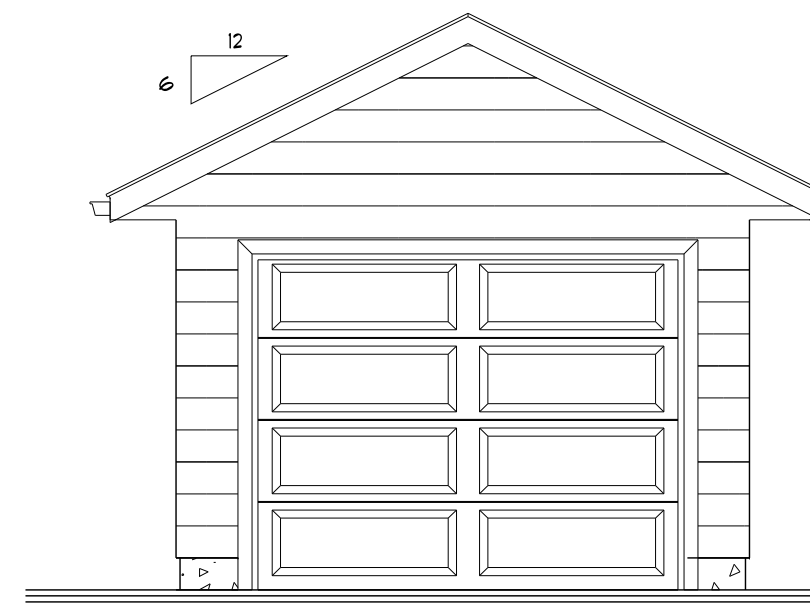




**GARAGE SOUTH ELEVATION**



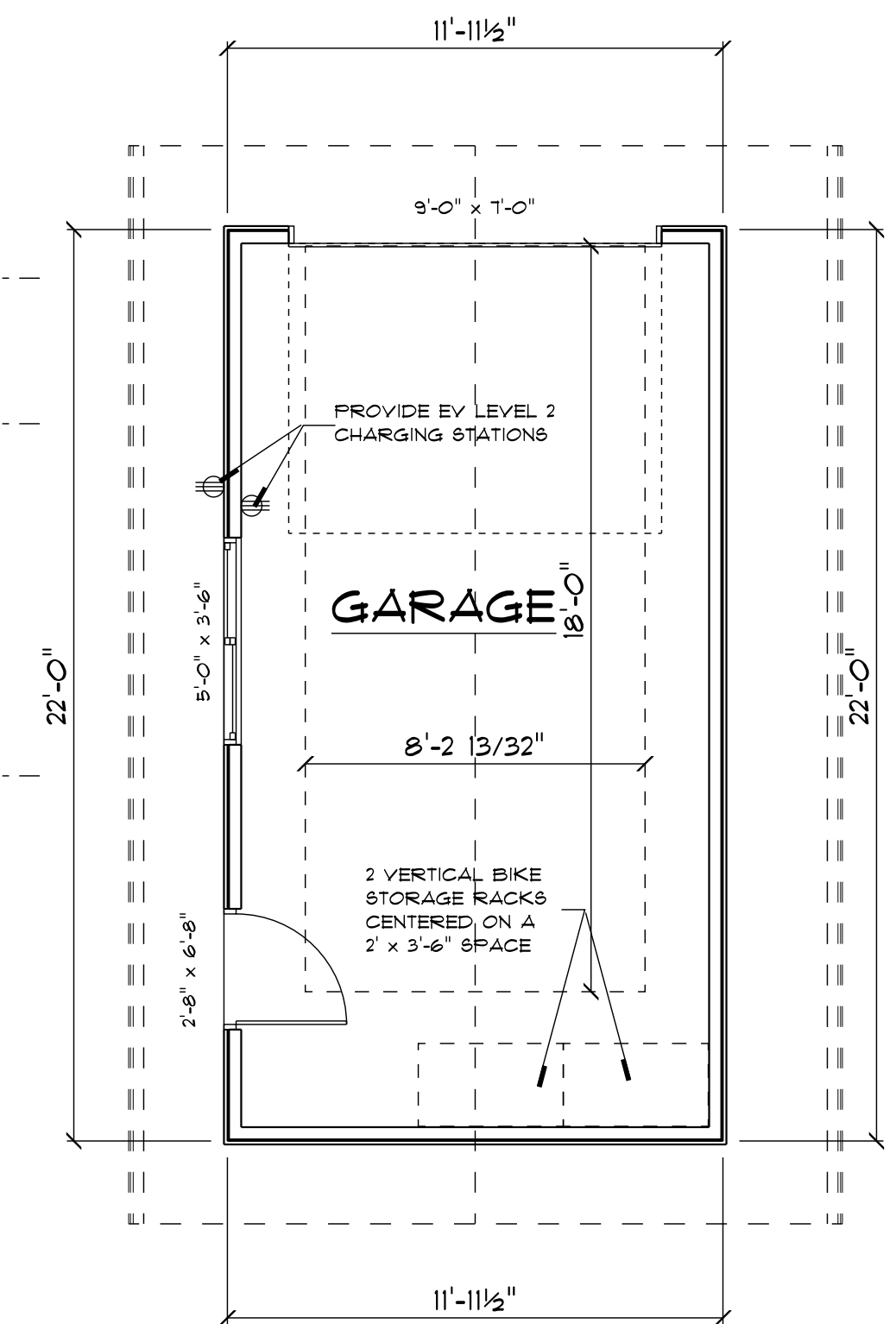
**GARAGE EAST ELEVATION**



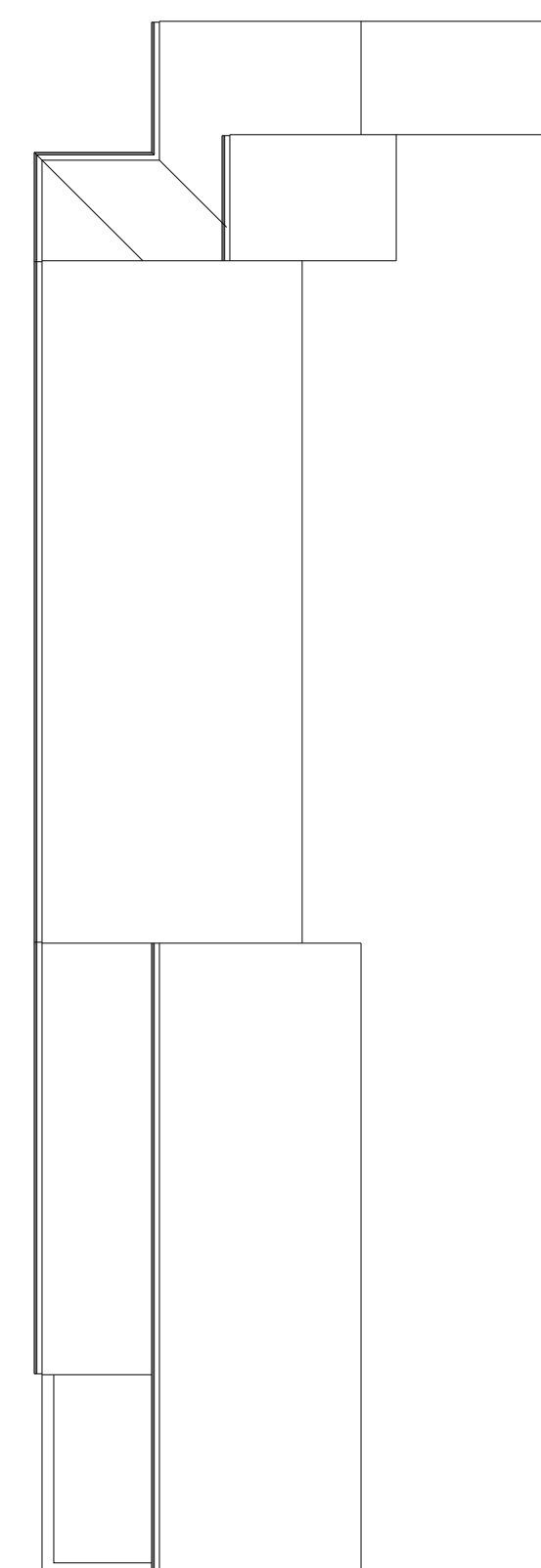
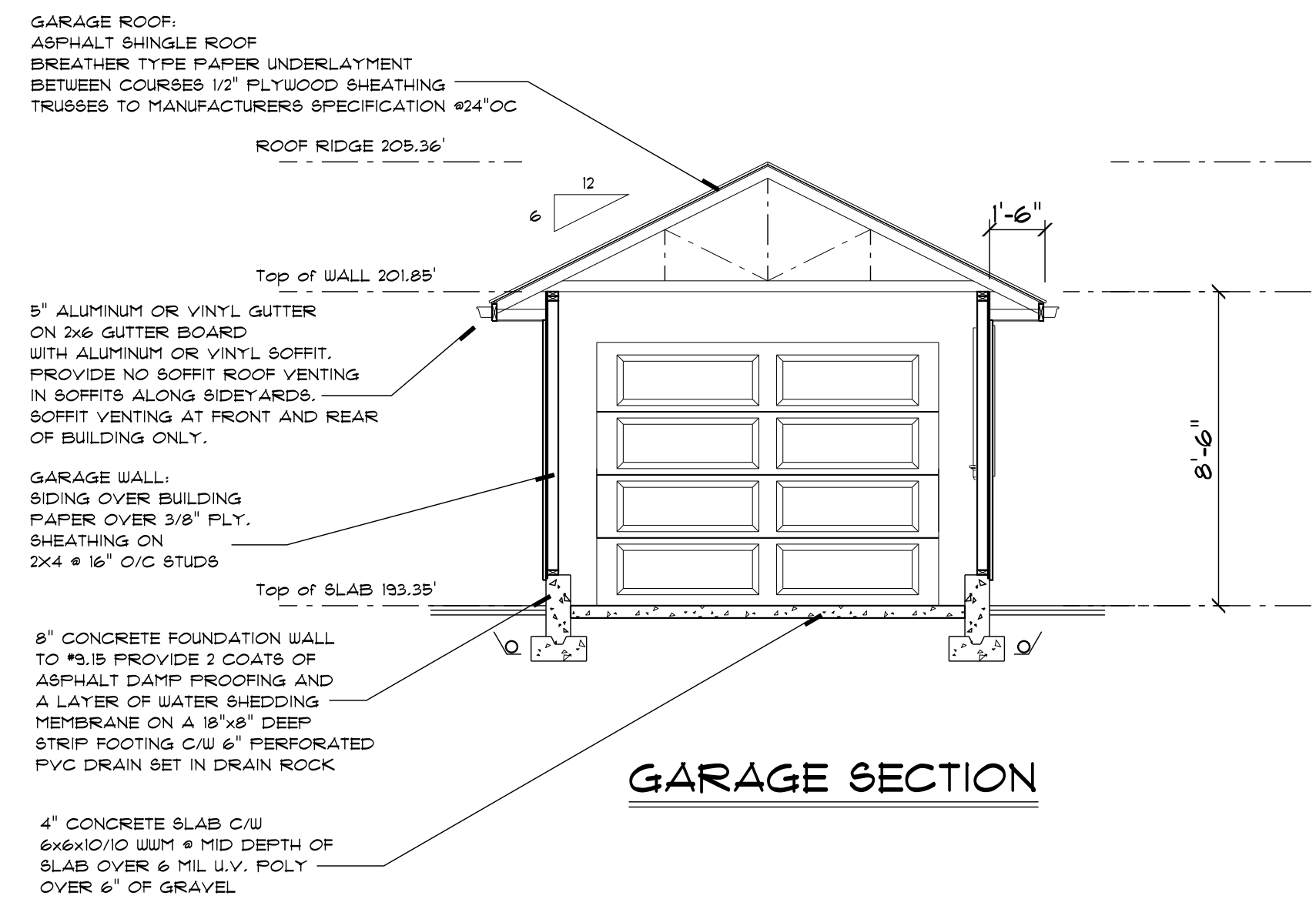
**GARAGE NORTH ELEVATION**



**GARAGE WEST ELEVATION**



**GARAGE PLAN**



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

REVISIONS

**Bill Curtis & Associates Design Ltd.**  
 (2002)  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

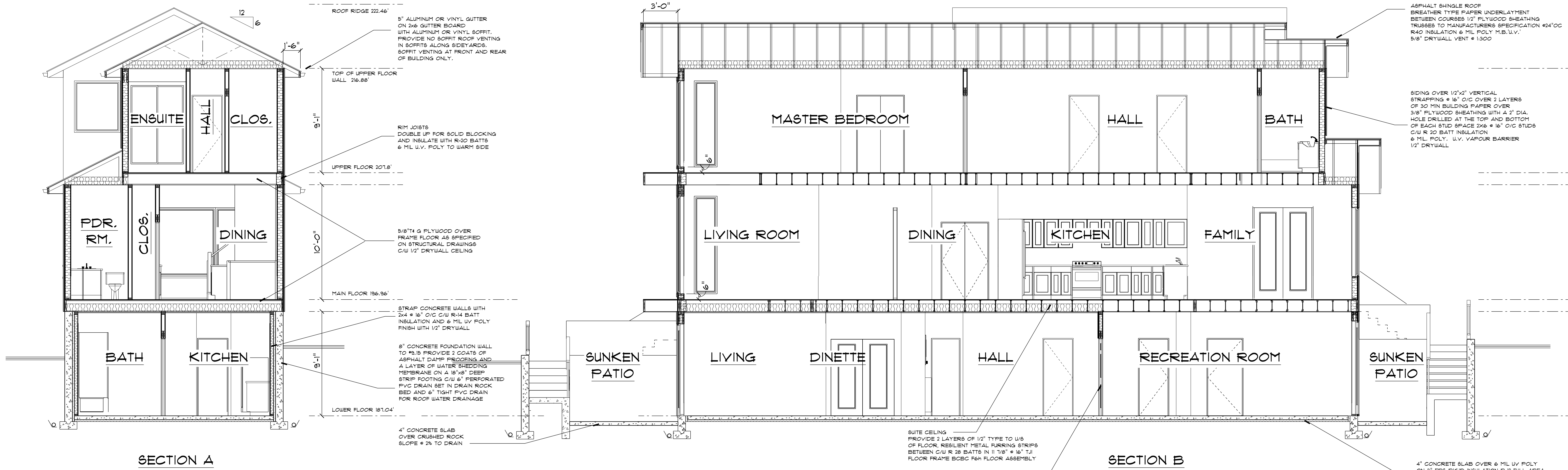
Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**WEST LOT**

Drawing **GARAGE PLAN**

Drawn By B.C. Date AUG. 2021  
 Scale 1/4" = 1'-0" OR AS NOTED

Project  
**ZEIDABADI REZONING  
 OF 450 WEST 15th STREET  
 NORTH VANCOUVER**





**Construction Notes**

These plans and concepts are protected by copyright and may not be reproduced in whole or in part without the express written consent of the designer.

**General Conditions:**

- The general contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.
- All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
- Written dimensions take precedence over scaled dimensions. Do not attempt to scale drawings, to find an unknown dimension contact the designer.
- The designer shall not be responsible for any costs incurred to the owner or general contractor due to errors or omissions in these plans after a building permit has been issued for this project.

**Construction shall comply with The British Columbia Building Code 2018 (BCBC).**

**Foundations:**

- Concrete shall be 32 mpa (3000 psi) at 28 days.
- Footings shall extend a minimum of 18" below grade and to solid bearing.
- Fin foundations to rock as described in structural drawings.
- Provide a minimum of 2 coats of asphalt waterproofing or an approved waterproofing membrane over the exterior face of foundation walls.
- Provide 1/2" anchor bolts @ 6" o/c or anchor straps @ 4" o/c maximum spacing.
- Anchor posts to footings with pinned anchor saddles embedded in footings.
  - Provide a damp proofing felt or equal between plates and concrete foundations where there is a potential for contact or provide pressure treated plate.
  - Provide a non-binding agent between the tops of foundations and concrete slabs to prevent bonding.
  - Provide a minimum 6 mil u.v. layer of poly under concrete slabs and skin coats.
  - Fill under concrete slabs and skins to be non organic.

**Framing:**

- All framing is to be to \* 9.23 BCBC.
- All load bearing lumber to be Douglas Fir #2 or better.
- Limits are to be 2x10 O/P or better.
- All deck framing is to be pressure treated.
- Glulam, parallel, microlam and other manufactured beams are to be engineer designed and the general contractor will provide certificates of manufacture as required before erection.
- Roof and floor trusses are to be engineer designed and shop drawings showing truss layout and details are to be provided to the building inspector as required.
- Cross bridge floor and roof joists @ 1' O/C maximum.

**Stairs:**

- Straight stairs: Rise min. 4.92" max. 7.61" Run min. 8.21" max. 13.96" Tread min. 9.25" max. 13.99"
  - All treads to have a 1" nosing.
  - Minimum headroom is 6'-5" measured vertically from an imaginary line connecting the stair nosings.
  - Handrail height is to be between 32" and 38" measured as clear height over stairs.
  - Winders to conform to \*8.8.4.5.
  - Minimum stair width is 2'-10".
  - Curved stairs and stairs greater than 43" in width require a handrail on both sides of the stair.
  - A handrail is required for interior stairs with more than 2 risers and for exterior stairs with more than 3 risers.
  - No member facilitating climbing above 4" to 36" from the deck or stair surface is permitted in the handrail assembly.
  - The maximum opening size within the balustrade width is 4".

**Guardrails:**

- Guardrail height is 36" where the vertical distance to grade is 5'-11" or less. Where the vertical distance is greater, the guard height is 3'-6" or as noted.
- All guards to have a cap unless engineer approved.
- A guard is required where there is a drop of 24" or more.
- A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 2.

**Safety Glass:**

- Glass within 36" of a door shall be safety glass.
- Glass in exterior doors, showers, french, and sliding doors shall be safety glass.
- Windows in walls enclosing showers or bathtubs shall be safety glass and located above the waterproof finish height.
- Mirrored doors are to be safety glass and blocked with solid material.
- Glass within 8" of the floor is to be safety glass.

**Cladding:**

- Cladding shall conform to \*9.21 BCBC
- All flashing shall conform to \*9.21.3.1 BCBC and installed to conform with \*9.21.3.8 BCBC
- All cladding shall conform to Section \*9.21.4 BCBC

**Fireplaces and Chimneys:**

- Fireplaces and chimneys shall conform to \*9.21 and \*9.22.
- Provide 2" clearance between chimney and combustible framing.
- Masonry hearths shall conform to \*9.22.5.1
- Provide fuelers to \*9.21.3. Fire sizes to be 9.21.2.5a 4 to 6.
- Provide cleanouts to \*9.21.4.1
- Provide 4" firebrick lining to firebox.
  - Provide dampers.
  - Factory built fireplaces and chimneys shall be installed to manufacturers specifications and to meet UL listing requirements.
  - Provide non combustible protection under non combustible hearth.
  - Fireplaces to have tight fitting doors and outside combustion air supplied directly to the firebox.

**Dwelling Security:**

- Main entrance doors without sidelights are to be equipped with a door viewer.
- Doorframes in exterior openings are to be solid blocked at the lock height so that the door frame will resist spreading by force to \* 9.6.6 BCBC and \*9.3.14 BCBC.
- Exterior doors shall be provided with a 5 pin cylinder deadbolt lock with a 1" throw to \* 9.6.6 BCBC.
- Exterior sliding windows shall be equipped and installed in a manner that will prevent the removal of a sliding panel when in the locked position.
- Sliding glass doors shall be equipped with sliding pin locks into the door frame to supplement the sash lock of the door handle.

**Miscellaneous:**

- Heating system: Principle residence: Air Source Heat Pump, output 21500 BTU/hr, H8PF 5/9 Backup: Baseboard, output 21500 BTU/hr Cooling: Air Source Heat Pump, output 21500 BTU/hr, 8EER 13 Split: Electric Baseboard
- Water Heat: Electric Tank 80 USG EF 0.87
- Provide for fiberglass window frames with thermal glazing in sealed units providing a minimum 1/2" airspace.
- Glass in doors and windows to be double glazed unless otherwise specified.
- Provide thermally broken frames in all skylights.
- Hard wire smoke alarm in bedroom area and on all floors to conform to \*9.10.18 BCBC.
- Provide carbon monoxide detectors within 16.4' of a bedroom door or in the bedroom and conform to \*9.32.4.2 BCBC.
- Waterproof wall finishes in shower and bathroom enclosures and apply over a moisture resistant backing.
- Provide insulation blocks to allow for adequate ventilation at restricted locations.
- Finish grades are to direct water away from the building and to conform to \*9.9.14 BCBC.
- Provide hard wired C.O. detectors in each bedroom within 16' (5 Metres) of bedroom door in conformance with \*9.32.4.2.

**Energy Efficiency:**

- All heating, ventilation and insulation components are to conform to regulations outlined in section \*9.36
- All habitable spaces are to achieve Step Code 3 performance.
- Energy efficiency components are to be designed by a Certified Energy Performance Advisor.
- Notify the designer in the event of conflict between assembly descriptions between these drawings and those of the Energy Performance Advisor.

**Ventilation:**

- Principle ventilation: HRV 59 CFM 65% BER
- Secondary ventilation: Bathroom exhaust fan passive inlets, 30 CFM
- Provide exhaust fans that provide half an air change an hour located in bathrooms and kitchens.
- Provide fresh, tempered air to all habitable spaces with humidity control at a static pressure of 0.25" of water.
- Air is to be mechanically vented from all kitchens, bathrooms and laundry rooms.
- Air to be ducted to a centrally located and continuously running 2 speed exhaust fan (speed controlled from sources).
- Duct systems shall be sized according to exhaust manufacturer recommendations. Duct layout to be designed by trades.
- Air baffles shall form a continuous envelope on the inside surfaces of the building.
- Provide sealed or lapped joints at least 4" wide at framing members, furring or blocking.
- Provide vapour barrier protection at the inside of box joists.
- Holes through vapour barriers for mechanical and electrical services shall be sealed to retain the integrity of the air envelope.
- Vapour proof electrical boxes are recommended for exterior walls.
- Attic access hatches are to be weathertight and have an air barrier.
- Uniformly ventilate roof space at a 1:30:00 ratio of the insulated floor area.
- Ventilation ratio is to be 1:50:00 in conditions where the roof slope is 2:12 or less.
- Provide a minimum of 25% of the required ventilation area at the roof ridge.
- All ducts intended for the discharge of air to the outdoors shall be equipped with a motorized, gravity or spring operated backflow damper.
- All ducts and plenums carrying conditioned air and located within the plane of insulation shall have all joints sealed against air infiltration and exfiltration with sealants or gaskets made from liquids, mastics, or heat applied materials.
- Ventilate attics @ 1:30:00 ratio of insulated ceiling area. Ventilate flat roofs @ 1:15:00 ratio.
- Roof vents are to be uniformly distributed with a minimum of 25% at the base and 25% at the roof stop.
- Submit mechanical ventilation air conditioning design and letter of supervision by a Professional Engineer certified HRAI or HVAC Technician at frame and final inspection.
- Heat Recovery Ventilators are to be installed to manufacturers specifications.

**Vapour Barrier:**

- Where an interior frame wall meets a ceiling required to have vapour protection on an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
- Provide vapour barrier protection to the inside of insulation on the inside of box joist or as rigid foam insulation.
- Clearance between chimneys or vents to be sealed with non-combustible insulation.

**Moisture Protection:**

- Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building at 6% minimum.
- Provide flashing at all wall - roof junctions, including parapets for guards on decks.
- Rainscreen assembly required for all buildings with a minimum capillary break of 3/8".
- All platforms are roofs.
- All roofs must slope a minimum of 1 in 50 away from walls including parapet walls surrounding decks. Ensure adequate drainage from those enclosed deck areas with roof scuppers and/or drains.
- 6" clearance required from deck membrane and floor.
- All window and door head flashings (with a 4" high back leg) must be placed so that no end dams run past outer edges of by 3/8" where there is wood trim to allow for rot and sink between the frame and trim.
- All exterior fasteners shall be approved hot dipped galvanized.
- All horizontal vinyl "J" trims shall be perforated c/u 3/16" holes @ 16" O/C.
- All exterior doors shall be set into 2" continuous beads of urethane caulk at the sill and 2" up the jamb. The doorframe brick mounds must also be back caulked.
- All wood cladding products are to be back primed.
- A through wall flashing is required at all horizontal expansion joints, building band trims, and below the gable and lower vents. All through wall flashings must have a 4" high back leg. All horizontal legs must be 6" minimum and caulked.
- All wall vents shall be back caulked at the top and slide flanges to a piece of 2'x2' 60 minute flashing paper placed behind the vent. Place the field paper over the top and slide flanges only lap the bottom of the 2'x2' flashing paper over the field paper (shingle style) and provide a flashing c/u and dams over all vents. Caulk the sides of the vents to the cladding.
- All vents must be approved before installing.
- All exterior hose bibs are to be placed through a 1/4" hole in the centre of a 12'x12" piece of EPDM roofing lapped shingle style into the building paper.
- All penetrators must have an approved vinyl trim kit.
- All exterior structural wood shall be pressure treated.

REVISIONS

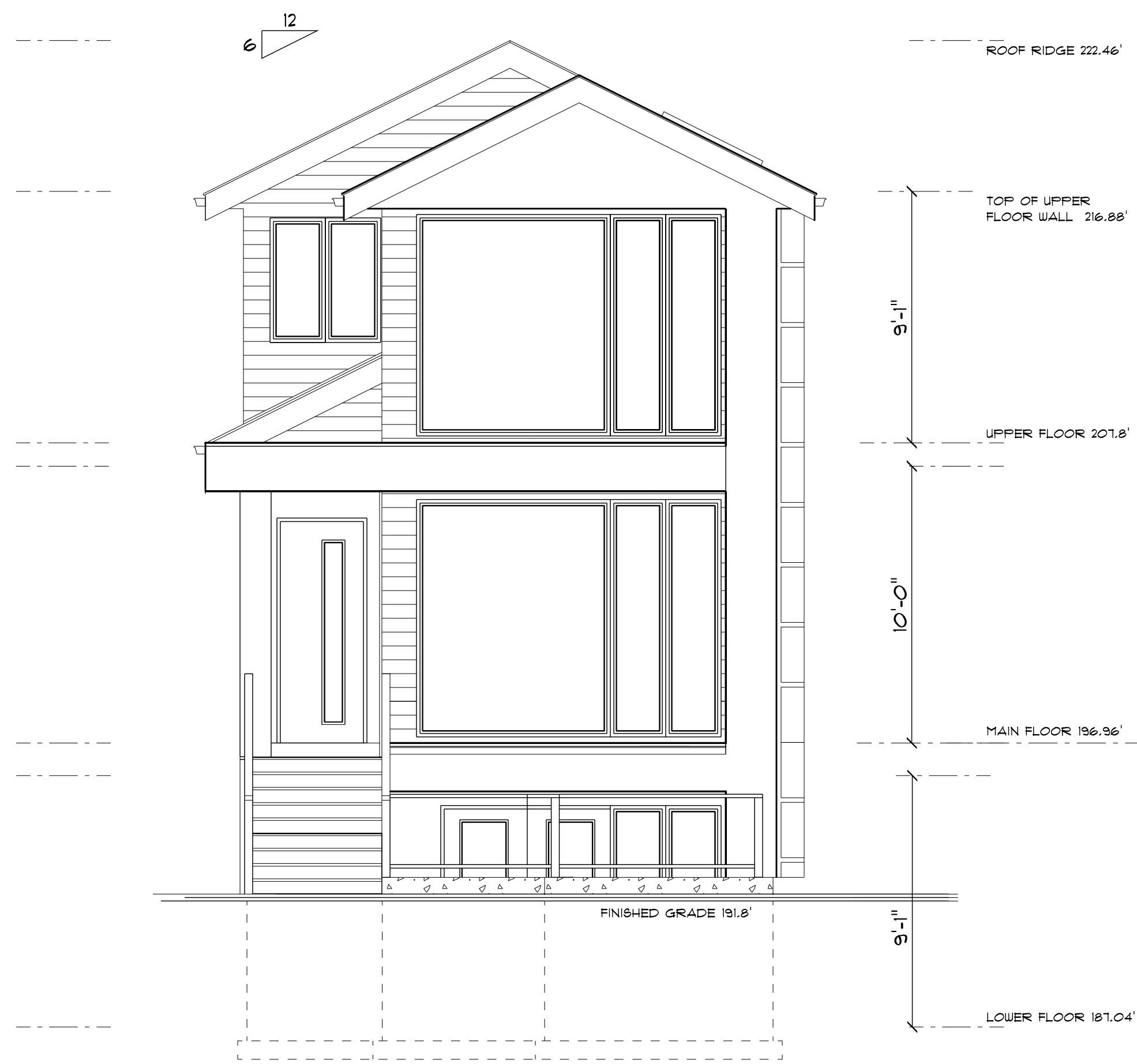
**Bill Curtis & Associates**  
 Design Ltd.  
 (2022)  
 Phone 604-986-4555  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**WEST LOT**

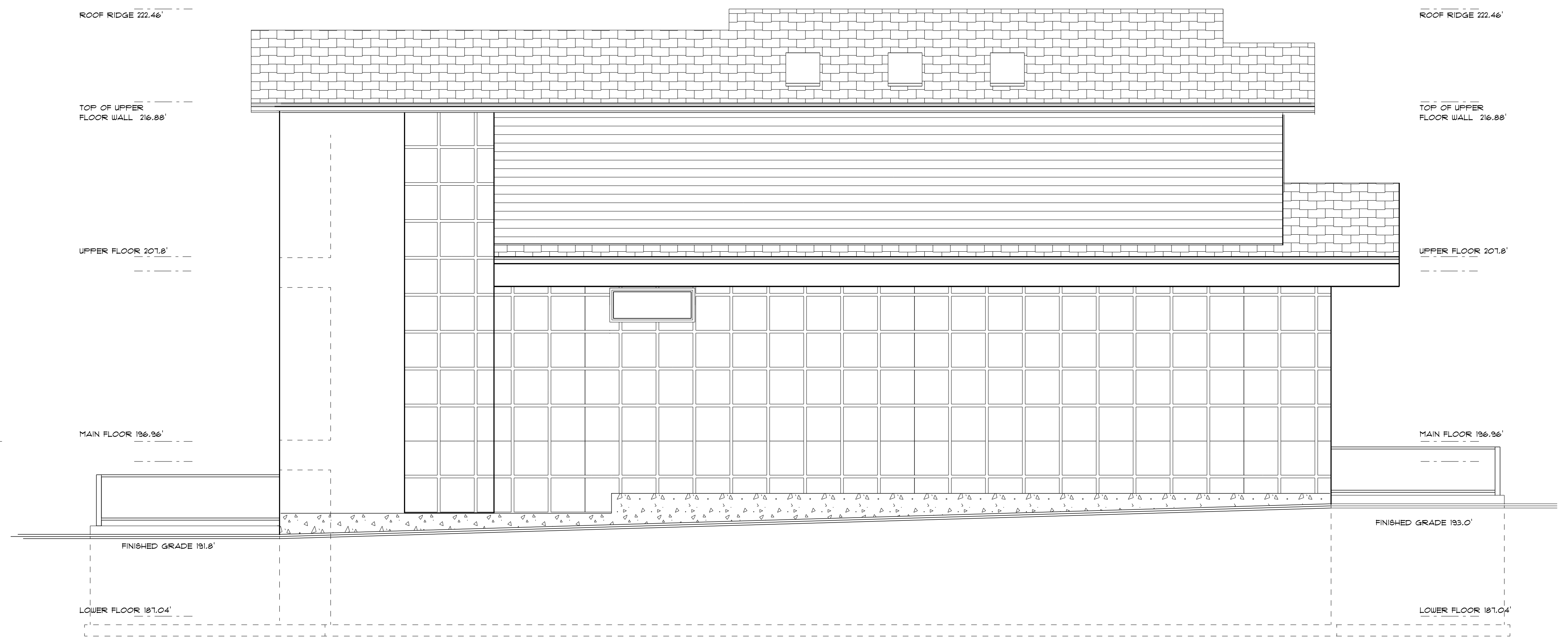
Drawing **SECTIONS**  
 Drawn By B.C. Date AUG. 2021  
 Scale 1/4" = 1'-0"

Project  
**ZEJADABADI REZONING**  
 OF 450 WEST 15th STREET  
 NORTH VANCOUVER

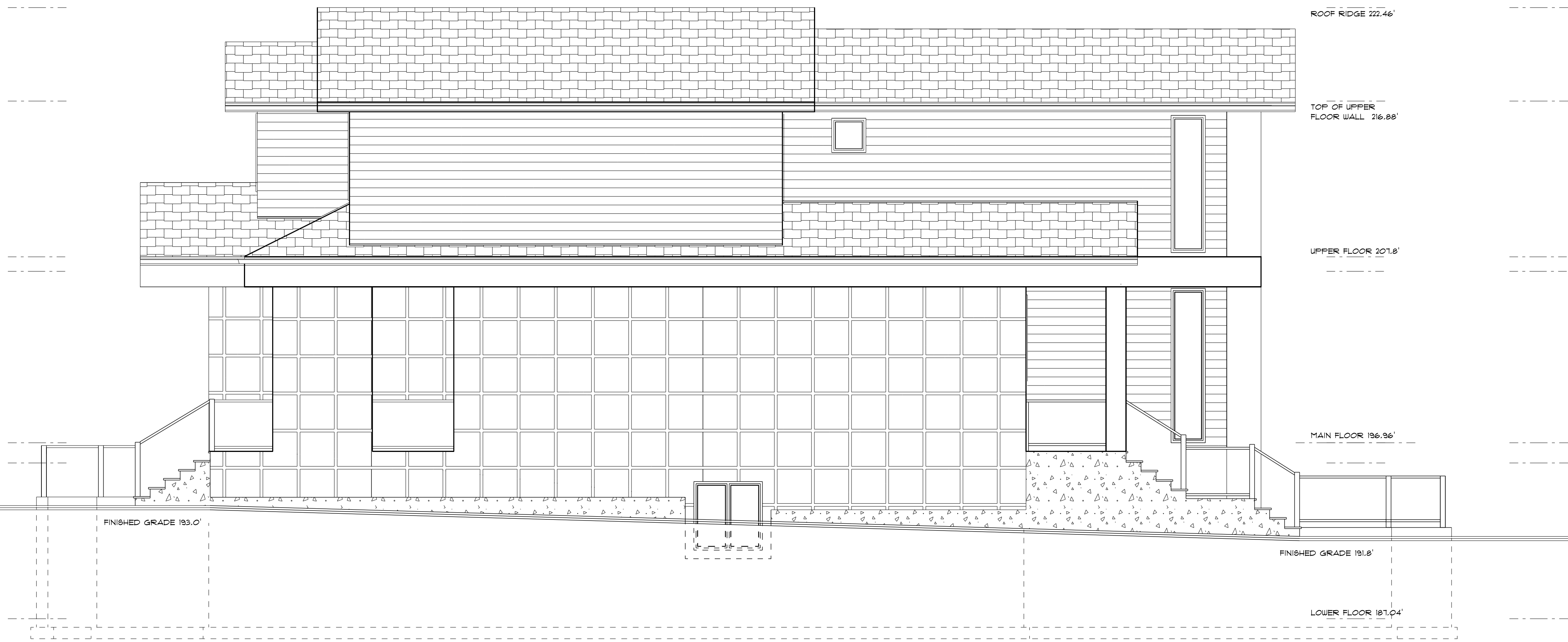




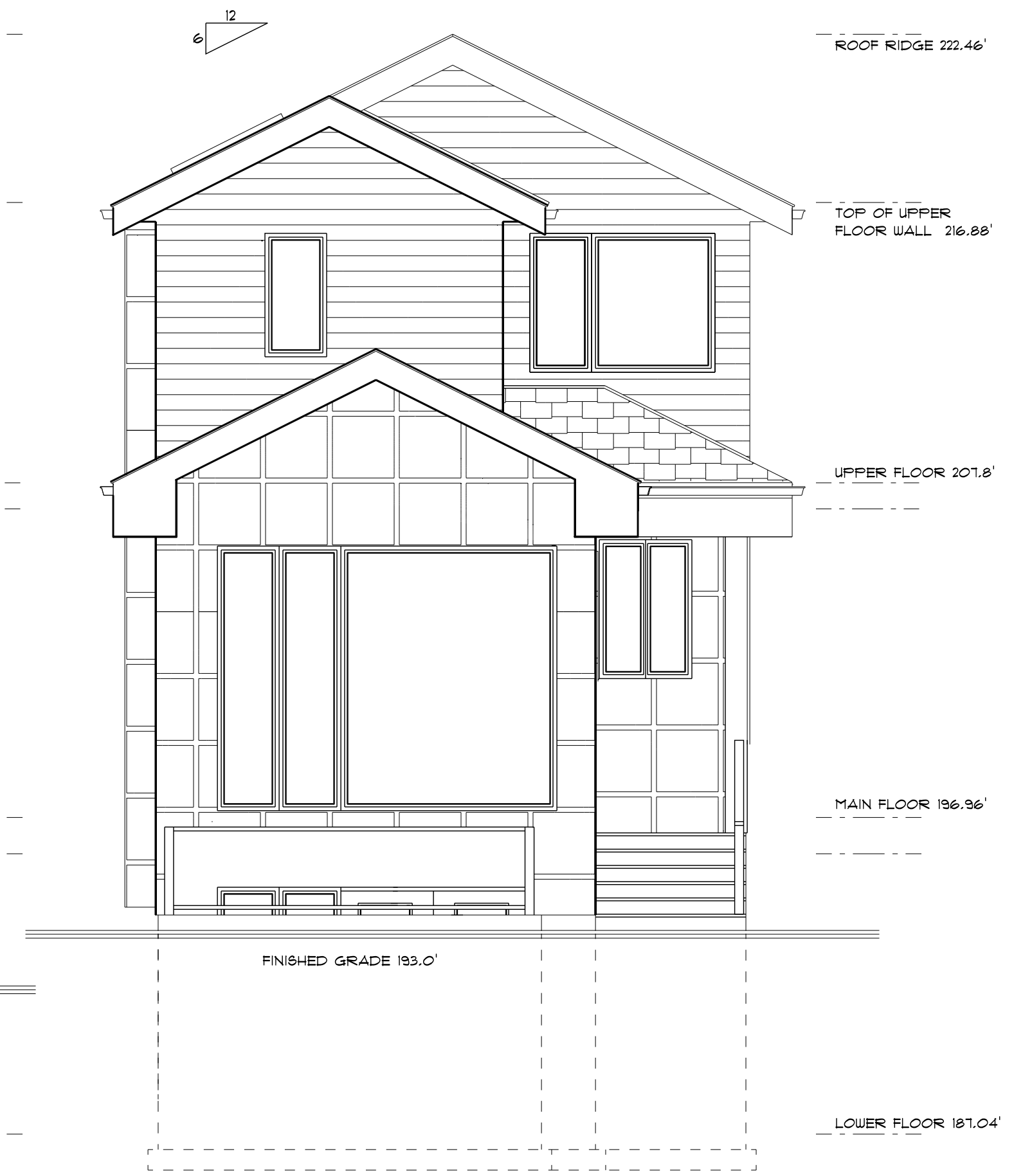
**SOUTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**

REVISIONS

**Bill Curtis  
& Associates  
Design Ltd.**  
 (2002)  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com

Quality Residential Design

Harbourfront Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**WEST LOT**  
 Drawing **ELEVATIONS**  
 Drawn By B.C. Date AUG. 2021  
 Scale 1/4" = 1'-0"  
 Project  
**ZEIDABADI REZONING  
 OF 450 WEST 15th STREET  
 NORTH VANCOUVER**



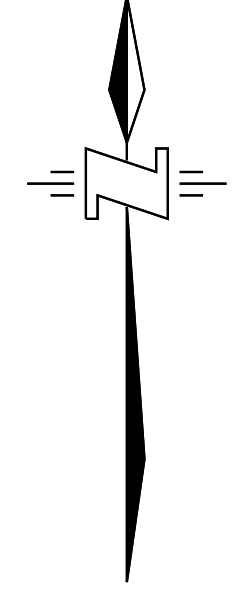
LANE

LEGAL DESCRIPTION:

LOT A OF LOTS 1 AND 8 BLOCK 6  
 DISTRICT LOT 786  
 GROUP ONE NEW WESTMINSTER DISTRICT  
 PLAN 8864  
 P.I.D. 009-912-851

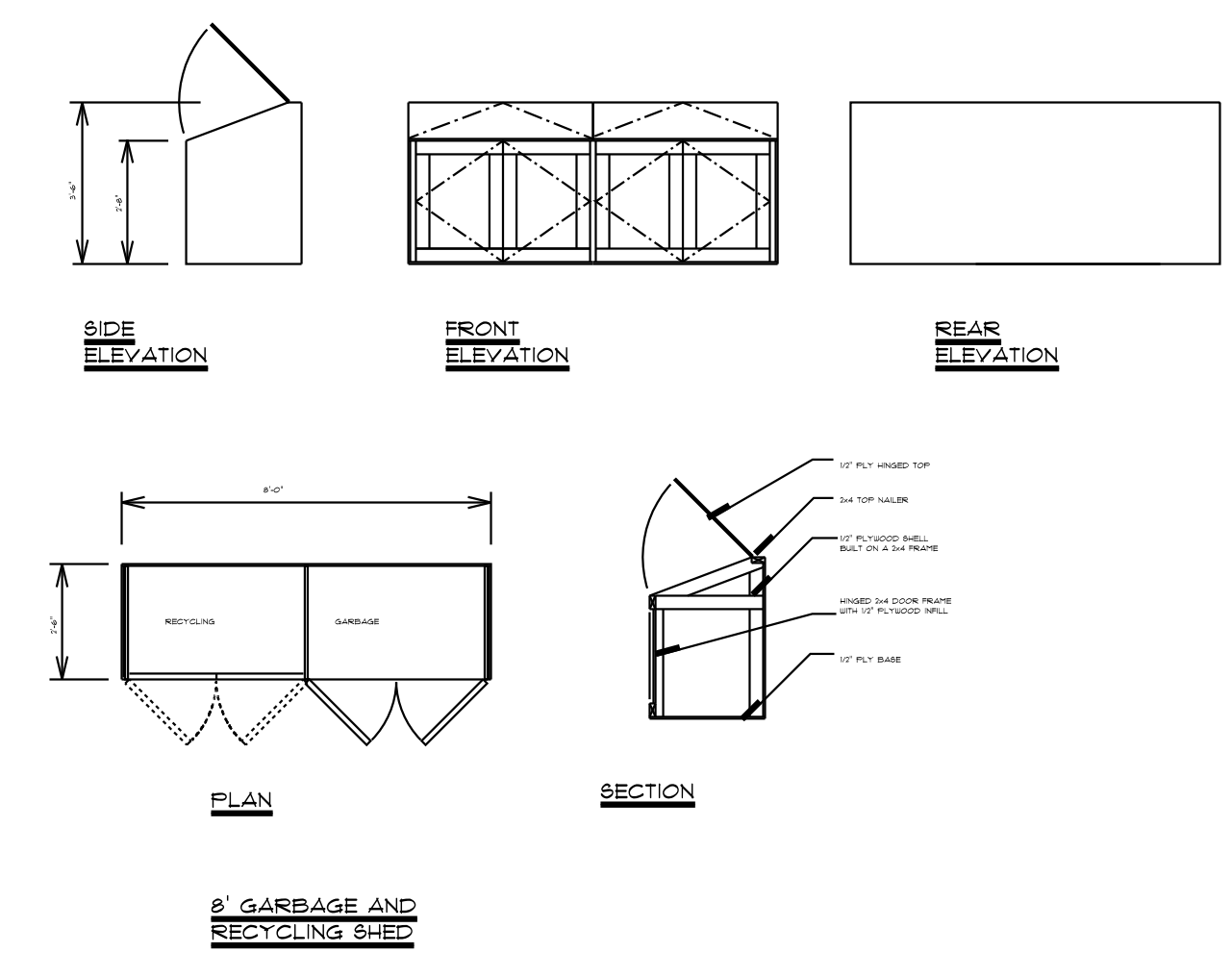
LEGEND:

- \*12.34 DENOTES GROUND ELEVATION (TYPICAL)
- W WATER VALVE
- C CATCH BASIN
- M MANHOLE
- S SIGN
- IC INSPECTION CHAMBER
- PF POWER POLE
- FH FIRE HYDRANT



24

AMD 14



PLANT LIST

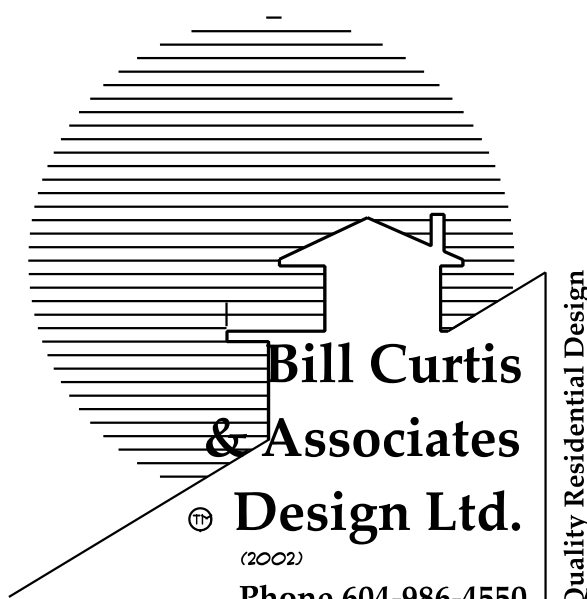
CODE	QTY.	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
Ax	1	ACER PALMATUM SHINDE SHOJO	SHINDE SHOJO JAPANESE MAPLE	10', #125 POT	AS SHOWN	TREE	NON NATIVE
km	16	KALMIA MICROPHILLA	MOUNTAIN LAUREL	#2 POT	AS SHOWN	SHRUB	NON NATIVE
rh	6	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#3 POT	AS SHOWN	SHRUB	NATIVE
tg	10	TELLIMA GRANDIFLORA	FRINGECUP	#1 POT	AS SHOWN	PERENNIAL	NATIVE
tt	12	TIARELLA TRIFOLIATA	FOAMFLOWER	#1 POT	AS SHOWN	PERENNIAL	NATIVE
pm	18	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT	AS SHOWN	FERN	NATIVE
po	20	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT	AS SHOWN	SHRUB	NON NATIVE

NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.  
 THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.  
 THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

13  
of  
13

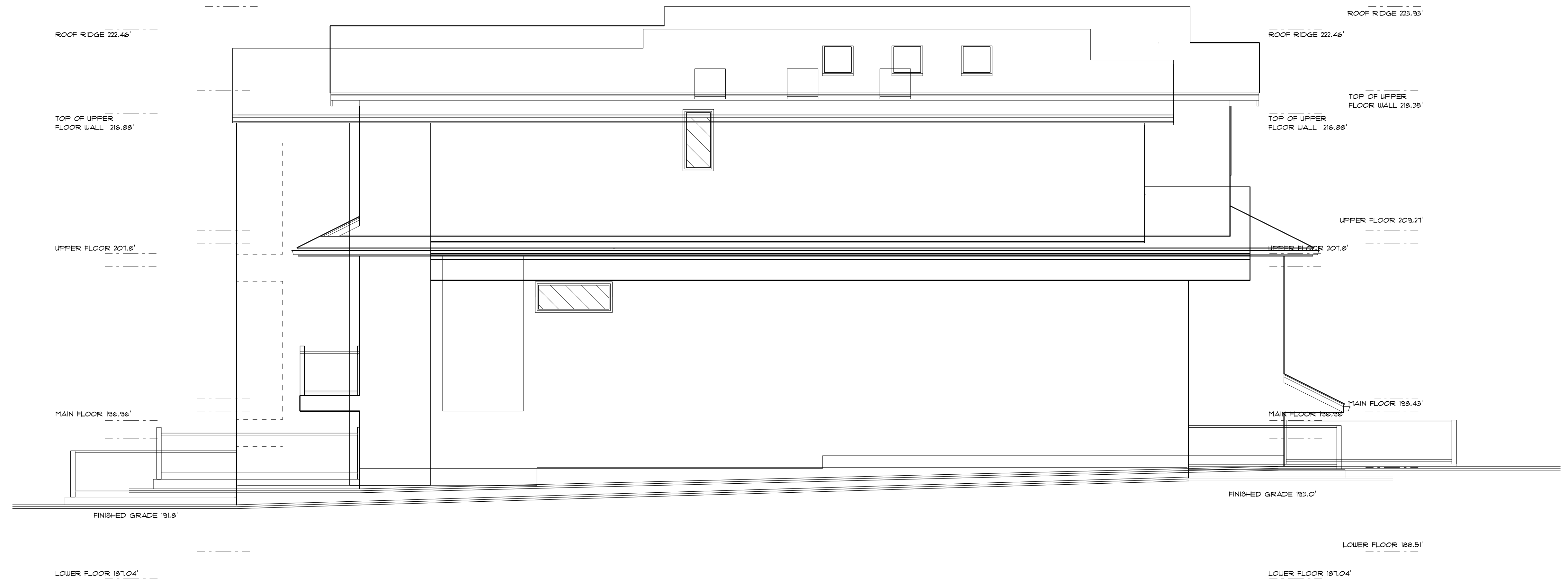
REVISIONS



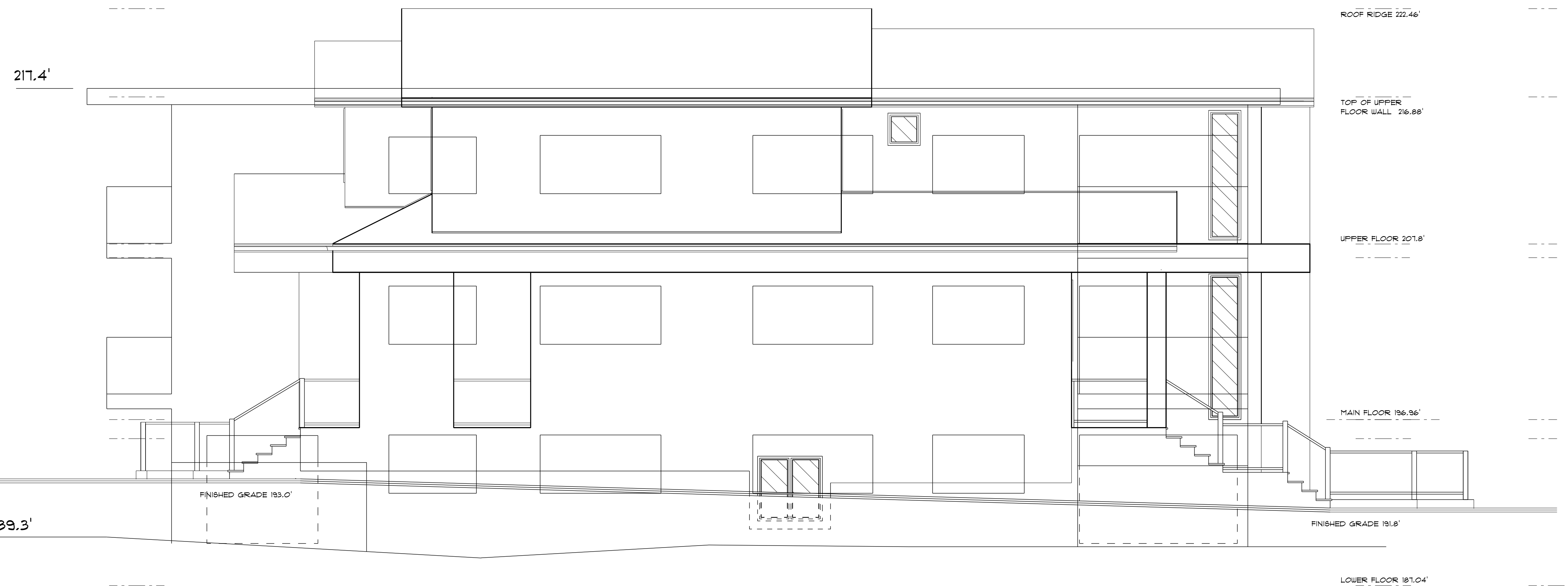
**Bill Curtis & Associates**  
 Design Ltd.  
 (2002)  
 Phone 604-986-4550  
 Fax 604-986-4555  
 billcurtisdesign@gmail.com  
 Harbourside Business Centre  
 5th Floor, 224 West Esplanade  
 North Vancouver, BC V7M 3M6  
**LANDSCAPE PLAN**  
 Drawing  
 Drawn By BC Date AUG. 2021  
 SCALE: 1/8" = 1'-0"  
 Project  
**ZEIDABADI REZONING**  
 AT 450 WEST 15th STREET  
 NORTH VANCOUVER

WEST 15TH STREET



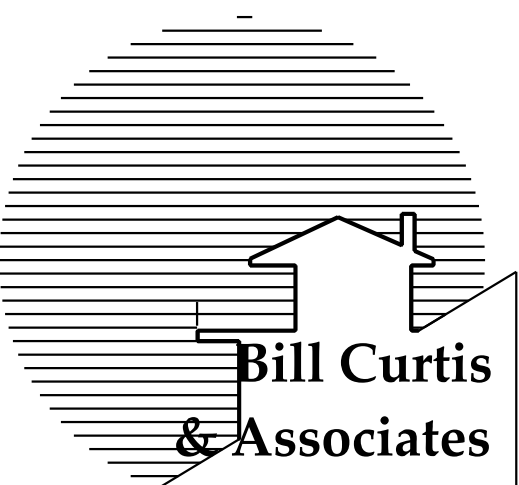


EAST ELEVATION



WEST ELEVATION

REVISIONS



**Bill Curtis  
& Associates  
Design Ltd.**

(2002)  
Phone 604-986-4550  
Fax 604-986-4555  
billcurtisdesign@gmail.com

Harbourfront Business Centre  
5th Floor, 224 West Esplanade  
North Vancouver, BC V7M 3M6  
**WEST LOT**

Drawing **REFLECTED WIN'S.**

Drawn By B.C. Date AUG. 2021

Scale

Project  
ZEIDABBADI REZONING  
OF 450 WEST 15th STREET  
NORTH VANCOUVER

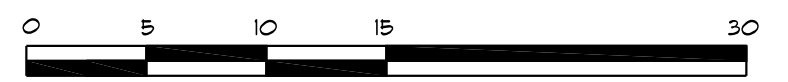


PLAN OF SURVEY OF LOTS 1 AND 2, (FORMERLY LOT D, PLAN 10229),  
 BOTH OF BLOCK 21, DISTRICT LOT 547, GROUP 1,  
 NEW WESTMINSTER DISTRICT, PLAN EPP

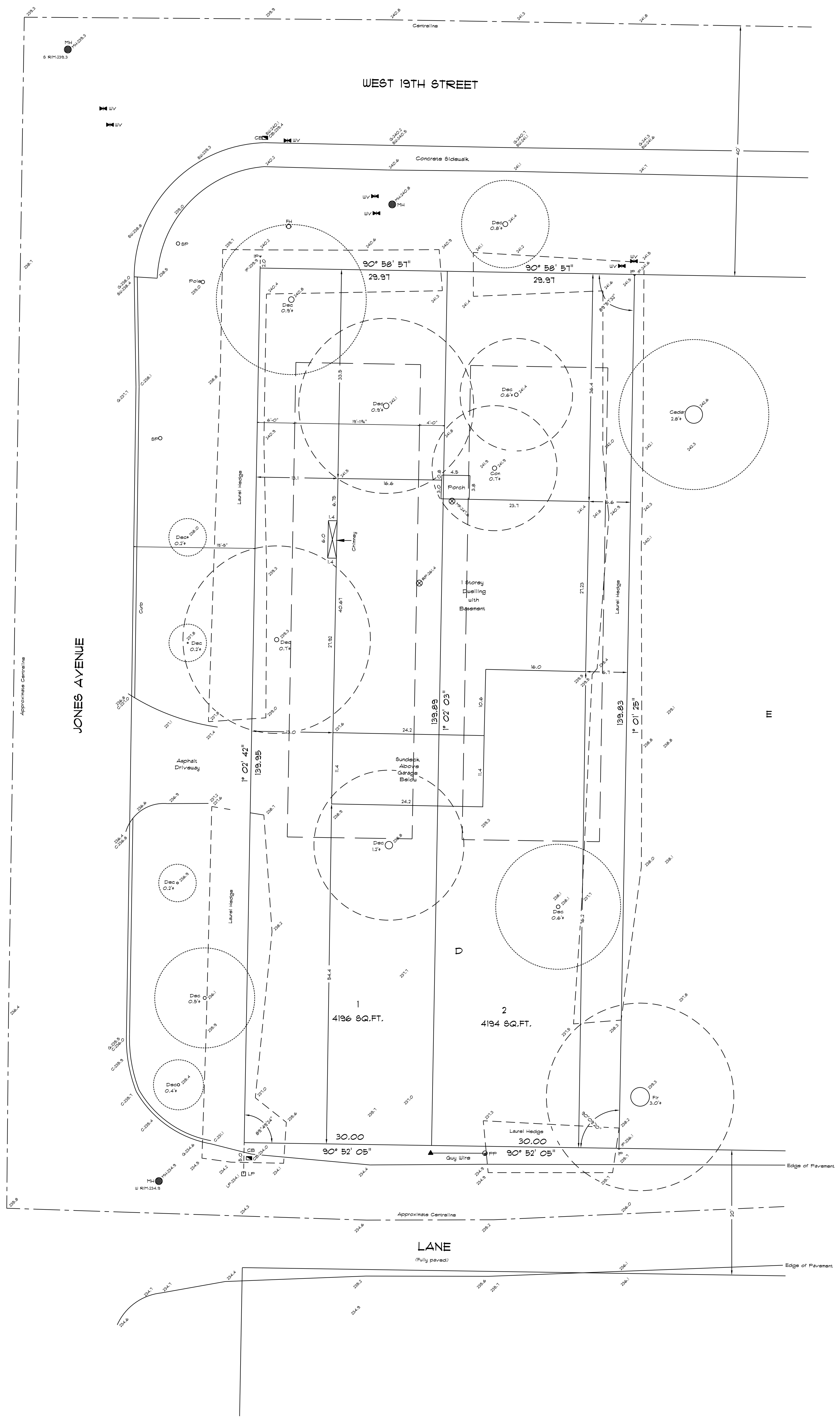
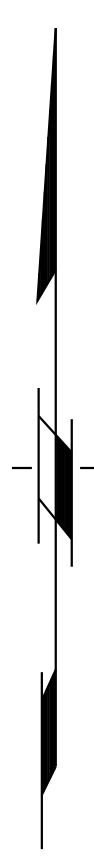
\*365 West 19th Street,  
 City of North Vancouver, B.C.

ZONING: R5-1

SCALE: 1 INCH = 8 FEET



All dimensions are in feet and decimals  
 thereof unless otherwise indicated



- LEGEND:**
- ⊕ denotes tree trunk diameter
  - ⋄ denotes top of curb
  - Con. denotes concrete
  - Dec. denotes deciduous
  - G denotes gutter
  - P denotes porch
  - SW denotes sidewalk
  - CB denotes catch basin
  - FH denotes fire hydrant
  - IP denotes iron post
  - LP denotes lead plug
  - MF denotes main floor
  - M denotes mark
  - PP denotes power pole
  - RP denotes roof peak
  - SP denotes sign post
  - UV denotes water valve

© copyright restriction  
 This document is not valid unless  
 originally signed and sealed.

**CERTIFIED CORRECT:**  
 Lot dimensions are correct  
 according to ground survey.

**NOTE:**  
 Elevations are based on geodetic  
 datum: (GVD285VRD208)  
 Bench Mark: Control Monument #5757  
 located at center of intersection of  
 Chesterfield Avenue and 19th Street.  
 B.M. Elevation = 304.52 feet  
 (92.811 metres)

**NOTE:**  
 All trees have been  
 plotted in accordance with  
 City of North Vancouver  
 Tree Policy.

**NOTE:**  
 For construction, use lead  
 plugs in sidewalk or City  
 survey monument only for  
 elevation control.

Ken K. Wong and Associates  
 Canada and B.C. Land Surveyors  
 5624 E. Hastings Street  
 Burnaby, B.C. V5B 1R4  
 Telephone: (604) 294-8881  
 Fax: (604) 294-0625  
 210125 FB914 P130-131  
 R-2406  
 Drawn by: G5

FILE: TG-2668

PID: 009-572-066

B.C.L.S.  
 March 23rd, 2021