



EAST 11th Street Elevation

SUBDIVISION & REZONING APPLICATION

HOMES ON ELEVENTH STREET

412 EAST 11th STREET, NORTH VANCOUVER

Legal Address: LOT 14, BLOCK 82, DL. 550, PLAN 1450

PID: 003-358-062

OWNER: REZA ABEDI [GARDENIA]

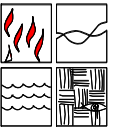
APPLICANT: VERNACULAR STUDIO INC.

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ISSUED FOR: SUBDIVISION & REZONING

SEPTEMBER/28/2022



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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
5		
4		
3		
2		
1	SUBDEV./REV.	NOV. 28, 2022

PROJECT: PREAPP

462 E 11TH HOUSE A&B

DRAWING TITLE:
SITE PLAN

DATE: DRAWING NO.:

DRAWN BY:

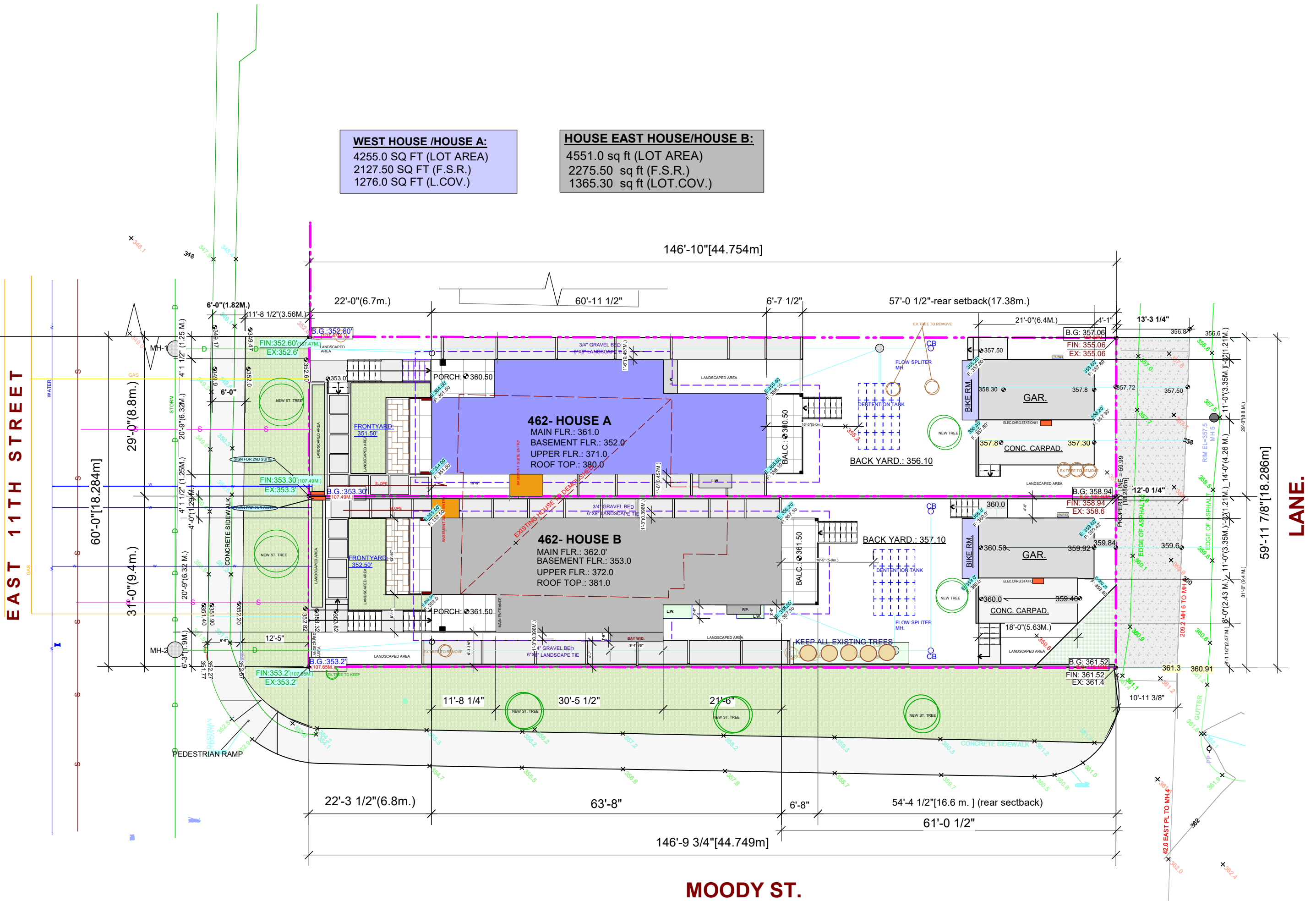
CHECKED BY:
-M.R.

SCALE:

A-01

WEST HOUSE /HOUSE A:
4255.0 SQ FT (LOT AREA)
2127.50 SQ FT (F.S.R.)
1276.0 SQ FT (L.COV.)

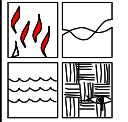
HOUSE EAST HOUSE/HOUSE B:
4551.0 sq ft (LOT AREA)
2275.50 sq ft (F.S.R.)
1365.30 sq ft (LOT.COV.)



EAST 11TH STREET

LANE.

MOODY ST.



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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
5		
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3		
2	SUBDEV.REZ.	NOV. 28, 2022
1		

PROJECT: PREAPP

**462 E 11TH ,
HOUSE A&B**

DRAWING TITLE:

BASEMENT FLOOR PLANS

DATE:

DRAWING NO.:

DRAWN BY:

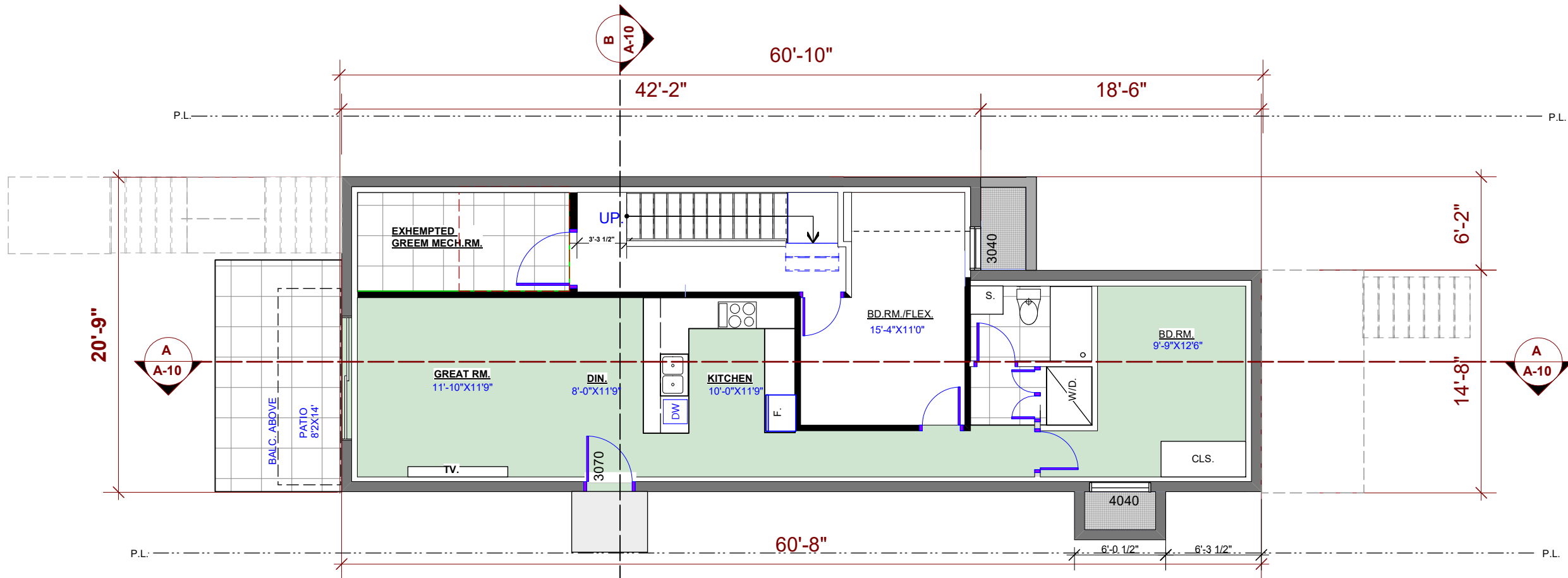
CHECKED BY:

-M.R.

-R.CH

SCALE:

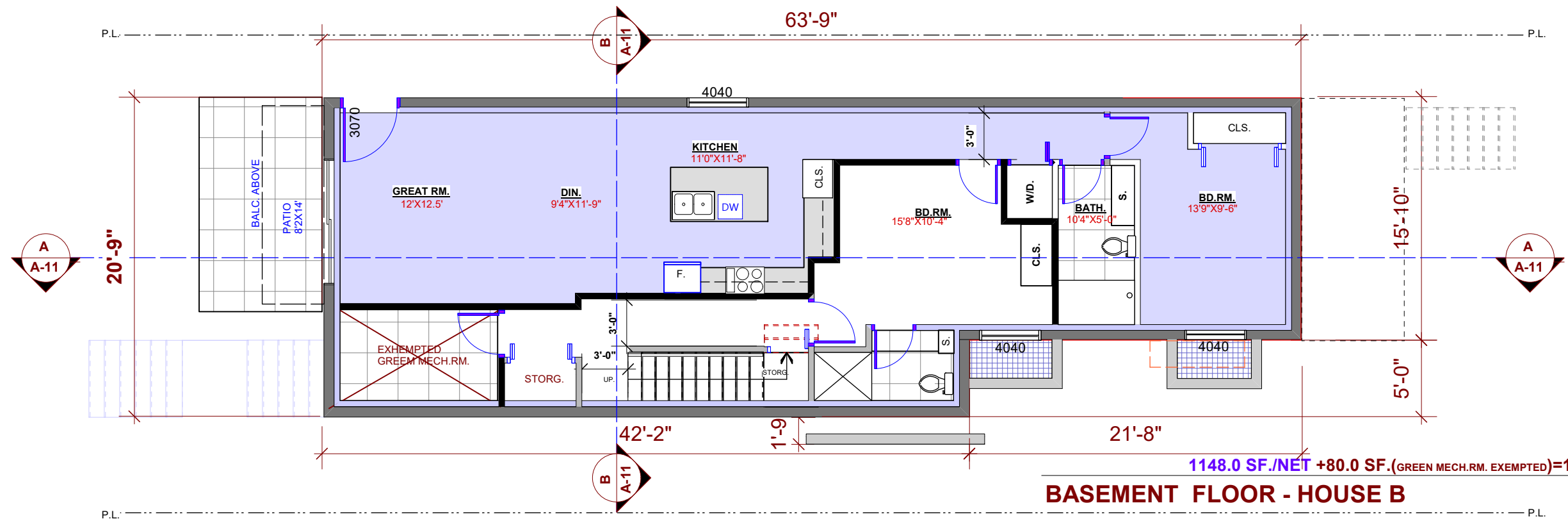
A-02



1,074 SF. /NET+78 SF. (GREEN MECH. RM. EXEMPTED) =1,152.0 SF. /GROSS

BASEMENT FLOOR -HOUSE A

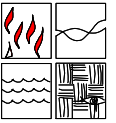
SUITE:717.0 SF.



1148.0 SF. /NET +80.0 SF. (GREEN MECH. RM. EXEMPTED) =1,128.0 SF. /GROSS

BASEMENT FLOOR - HOUSE B

SUITE:752.0 SF.



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IMMEDIATELY TO VERNACULAR DESIGN INC.



LEGEND:

- FINISH ELEV.
- POWER VENT
- ⊙ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
5		
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2		
1	SUBDEV./REZ.	NOV. 25, 2022

PROJECT: PREAPP

462 E 11TH, HOUSE A&B

DRAWING TITLE:

MAIN FLOOR PLANS

DATE:

DRAWING NO.:

DRAWN BY:

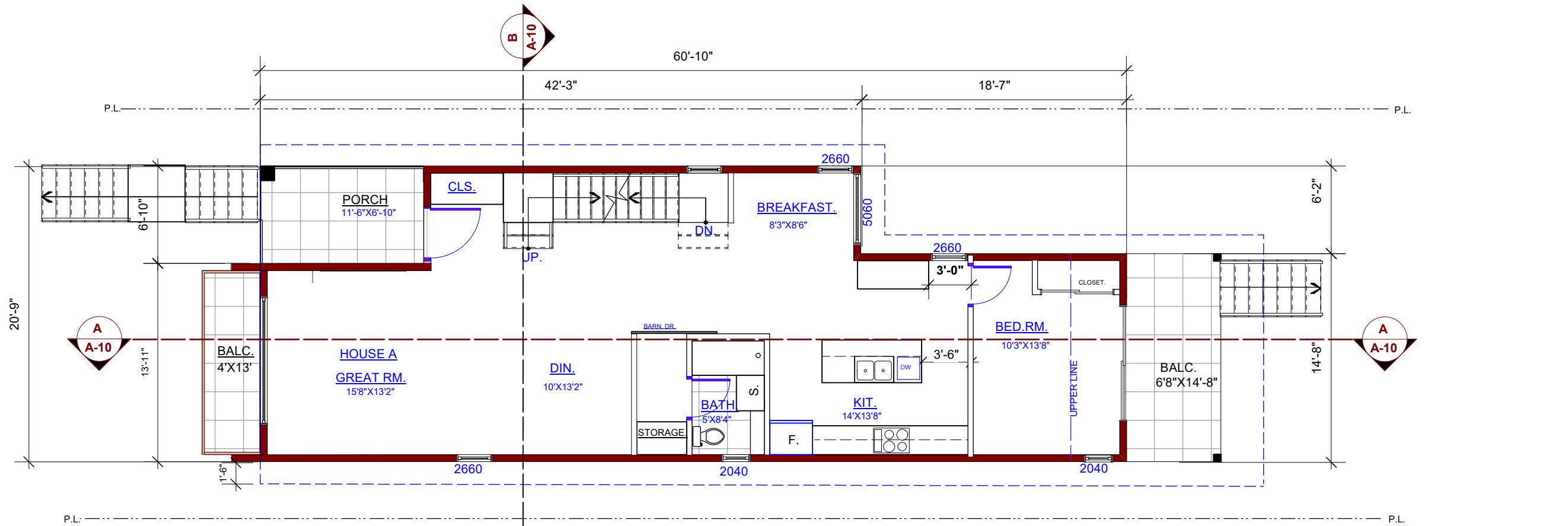
CHECKED BY:

-M.R.

-R.CH

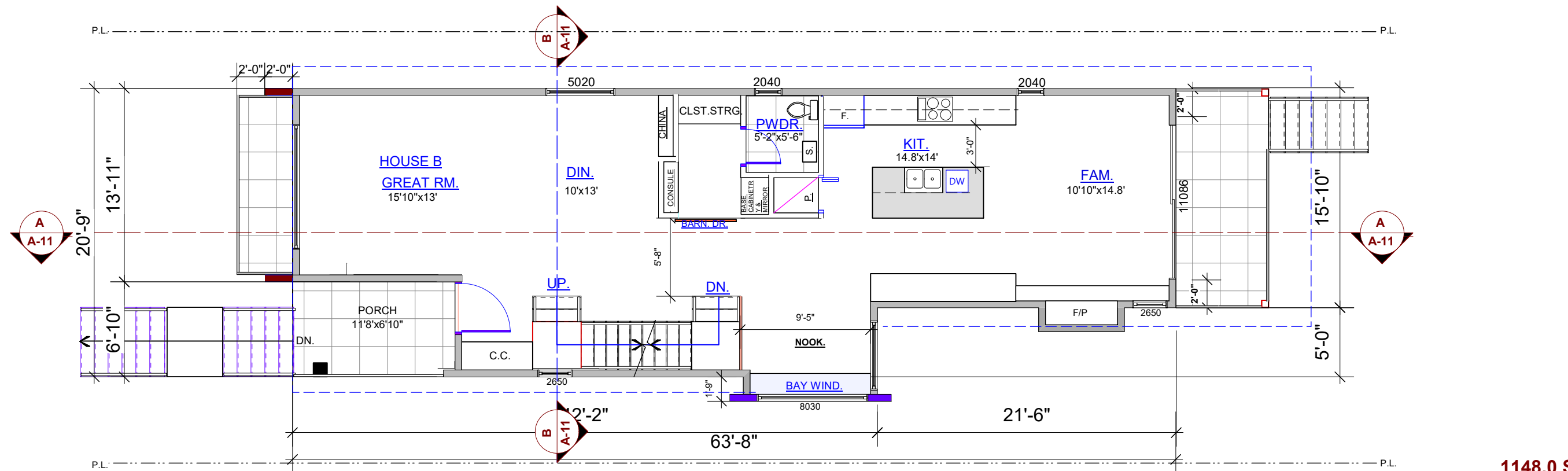
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A-03



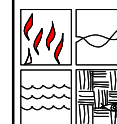
MAIN FLOOR-HOUSE A

1074.0 SF.



MAIN FLOOR -HOUSE B

1148.0 SF.



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LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
5		
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2		
1	SUBDEV./REZ.	NOV. 28, 2022

PROJECT: PREAPP

**462 E 11TH,
HOUSE A&B**

DRAWING TITLE:

UPPER FLOOR PLANS

DATE:

DRAWING NO.:

DRAWN BY:

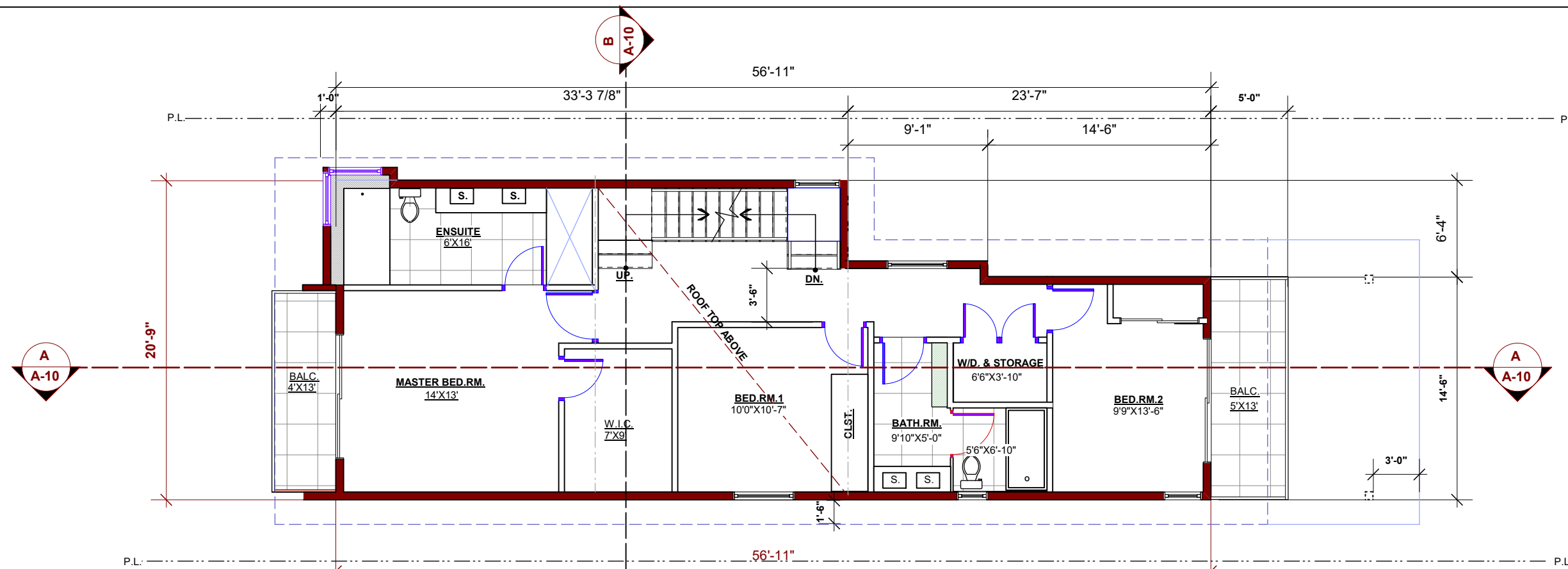
CHECKED BY:

-M.R.

-R.CH

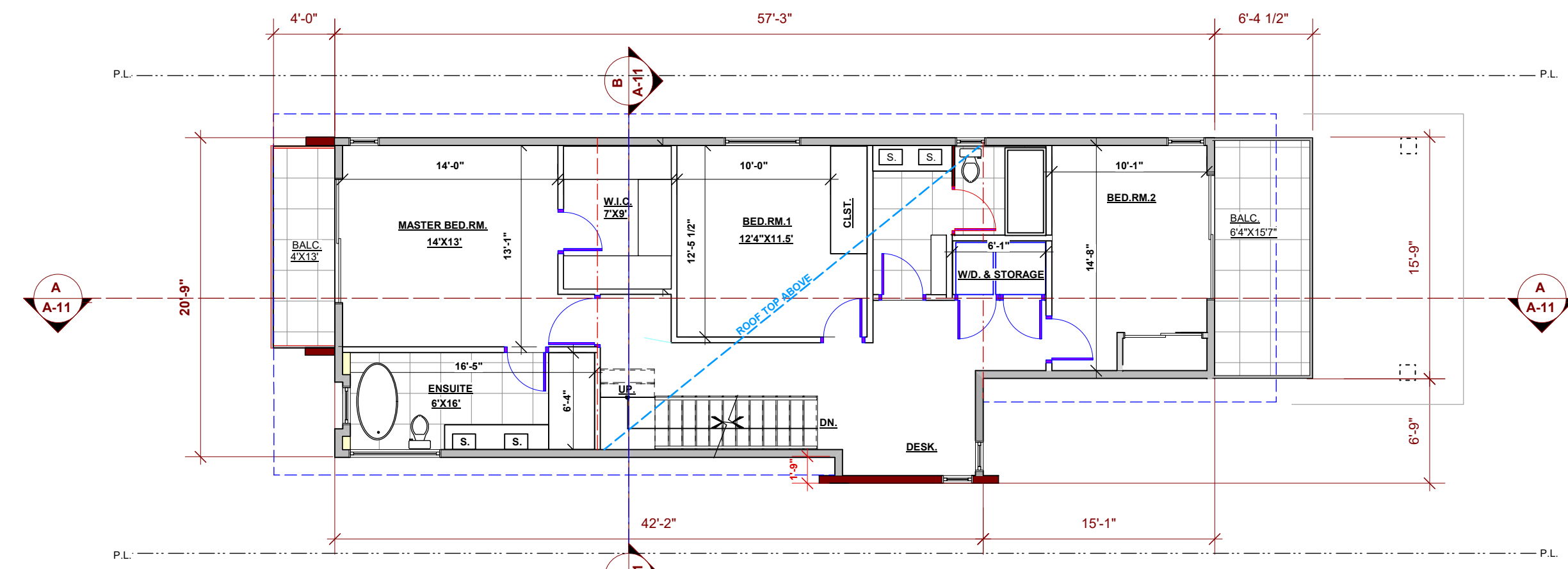
SCALE:

A-04



UPPER FLOOR-HOUSE A

1052.0 SF.



UPPER FLOOR-HOUSE B

1127.0 SF.



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LEGEND:

- FINISH ELEV.
- POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

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1	SUBDEV/REZ.	NOV. 28, 2022

PROJECT: PREAPP

**462 E 11TH,
HOUSE A&B**

DRAWING TITLE:

ROOF PLANS

DATE:

DRAWING NO.:

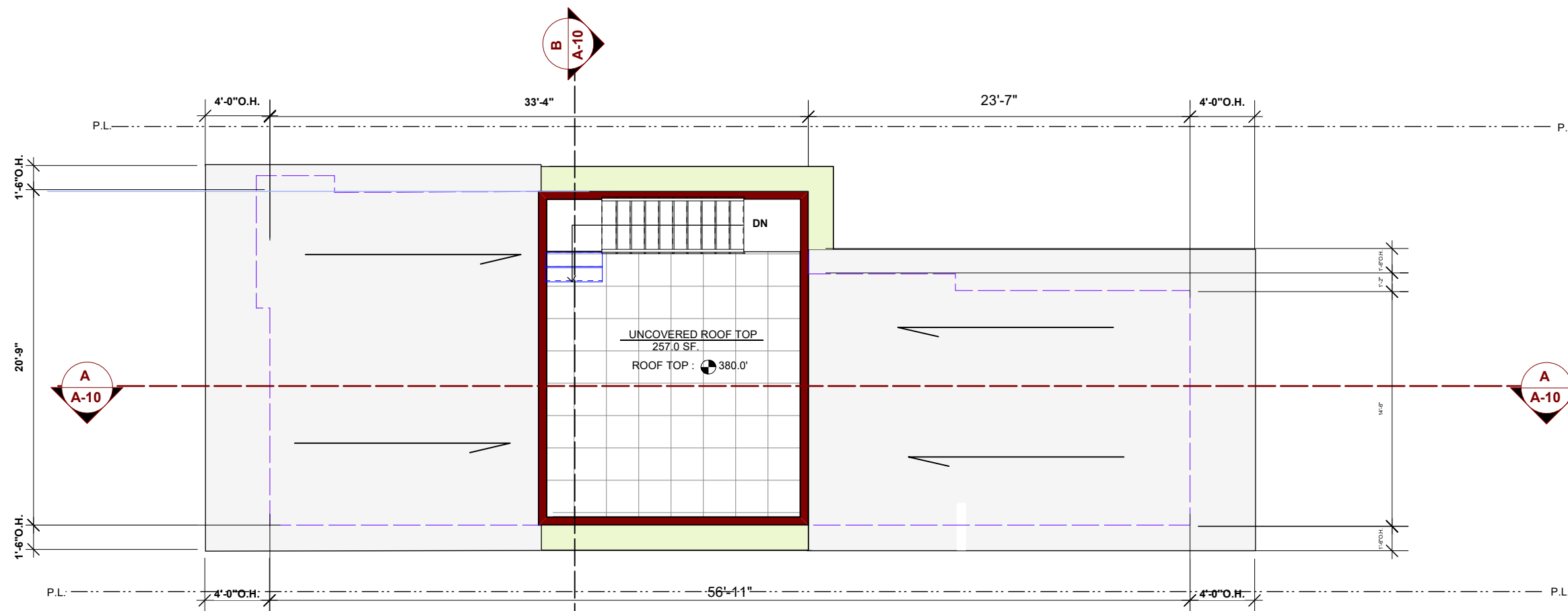
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CHECKED BY:
-M.R.

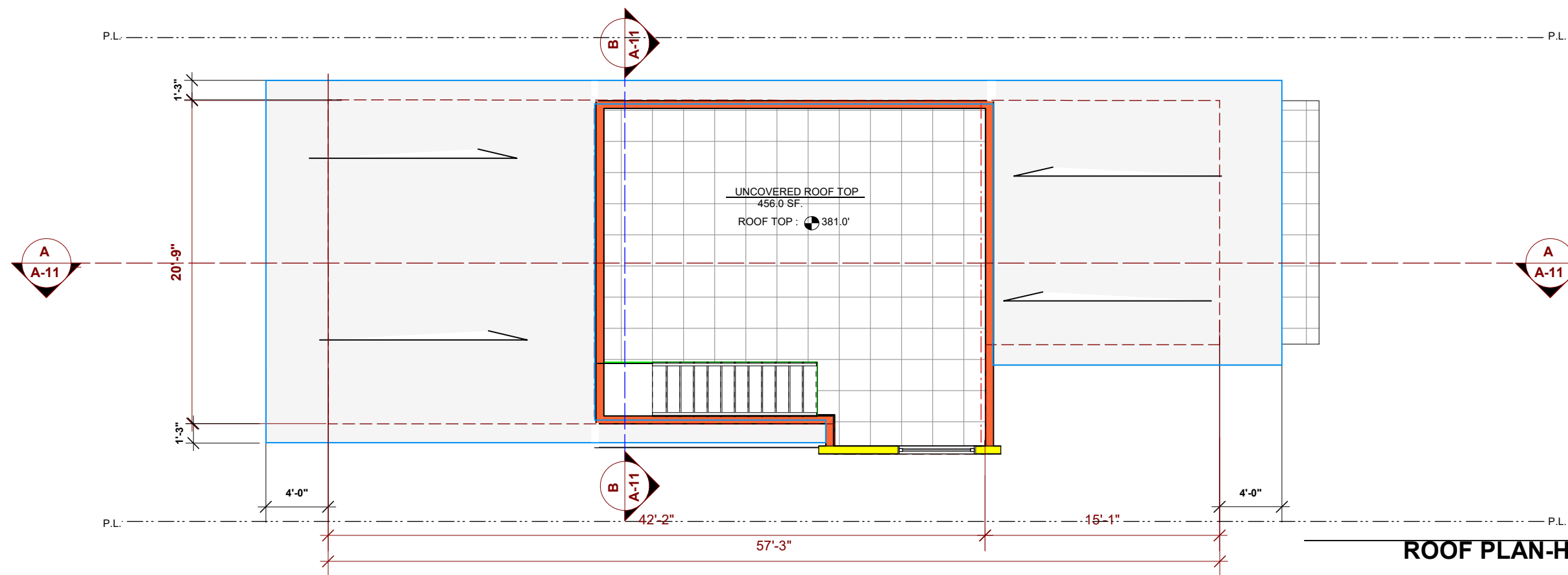
-R.CH

SCALE:

A-05



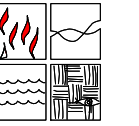
ROOF PLAN-HOUSE A



ROOF PLAN-HOUSE B

MATERIAL PALETTES

1	Roof	3 LAYERS APPROVED MEMBRANE
2	Wind. door trims	1.5" X1.5" PAINTED TO MATCH WALLS
3	Fascia board	2X8 OR 2X10 PAINTED CEDAR, Dark Charcoal
4	Flashing on Fascia	PREPAINTED STEEL PROFILE TO MATCH FASCIA COLOUR
5	Fascia + Gutter	PRE-PAINTED ALUM. DARK CHARCOAL
6	Wall panels	FIBER CEMENT PANELS
7	Long board siding	3.5" WIDE METAL LONG BOARDS [NATURAL CEDAR COLOUR]
8	Wall cladding	FIBER CEMENT
9	Window sash	VINYL - DARK CHARCOAL
10	Entry Doors	SOLID FIBERGLASS PANEL
11	Soffits	T&G CEDAR [NATURAL CEDAR STAIN]



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LEGEND:

- ⊕ FINISH ELEV.
- ⊙ POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
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1	SUBDEV./REZ.	NOV. 28, 2022

PROJECT: PREAPP

**462 E 11TH,
WEST HOUSE
(HOUSE A)**

DRAWING TITLE:

**FRONT & REAR
ELEVATIONS**

DATE:

DRAWING NO.:

DRAWN BY:

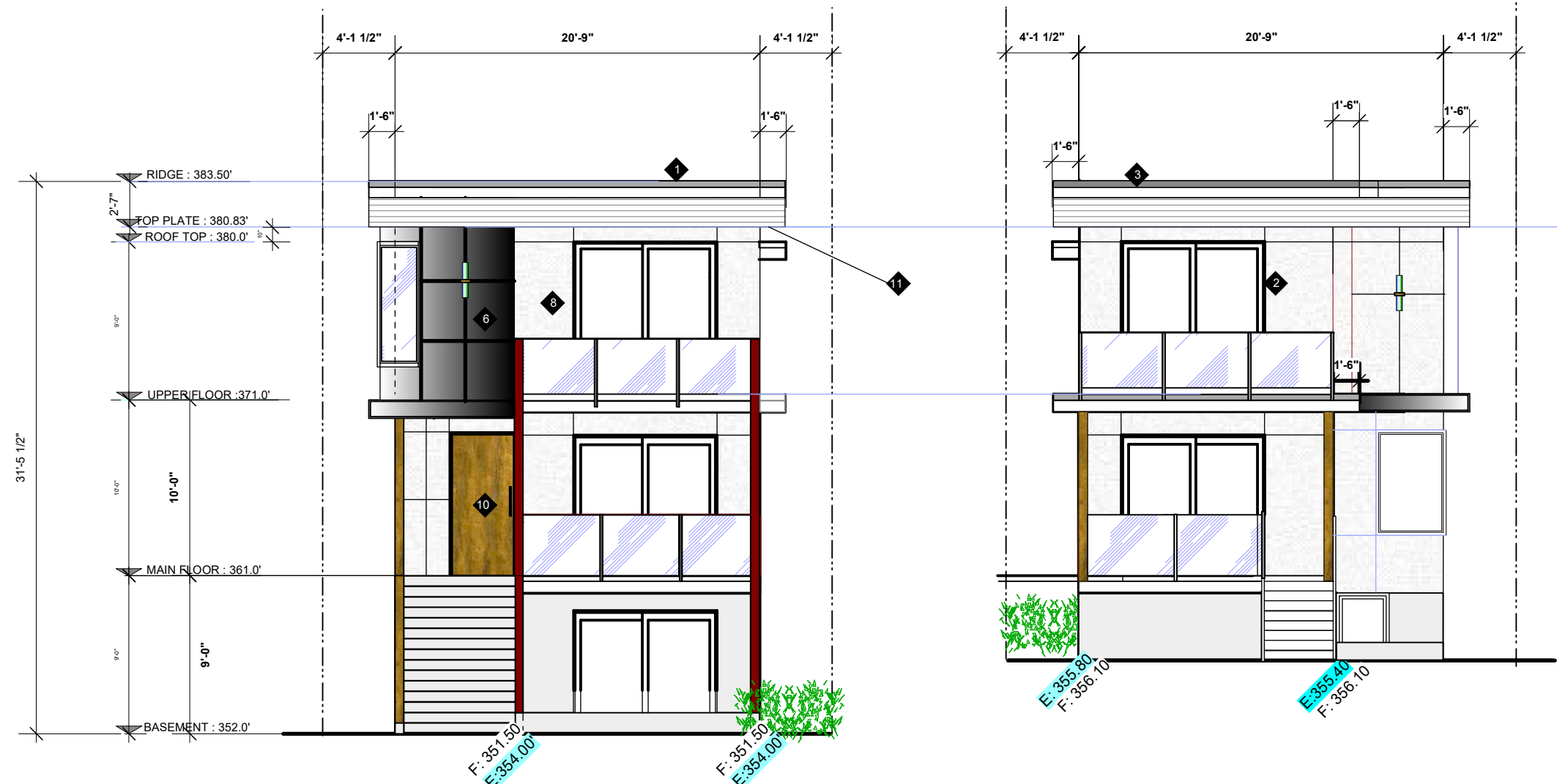
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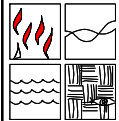
-M.R.

-R.CH

SCALE:

A-06





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LEGEND:

- FINISH ELEV.
- POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

6	B.P.	
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1	SUBDEV./REZ.	NOV. 28, 2022
No.	Issue for	DATE

PROJECT: PREAPP

**462 E 11TH ,
EAST HOUSE
(HOUSE B)**

DRAWING TITLE:

SIDE ELEVATIONS

DATE: **DRAWING NO.:**

DRAWN BY :

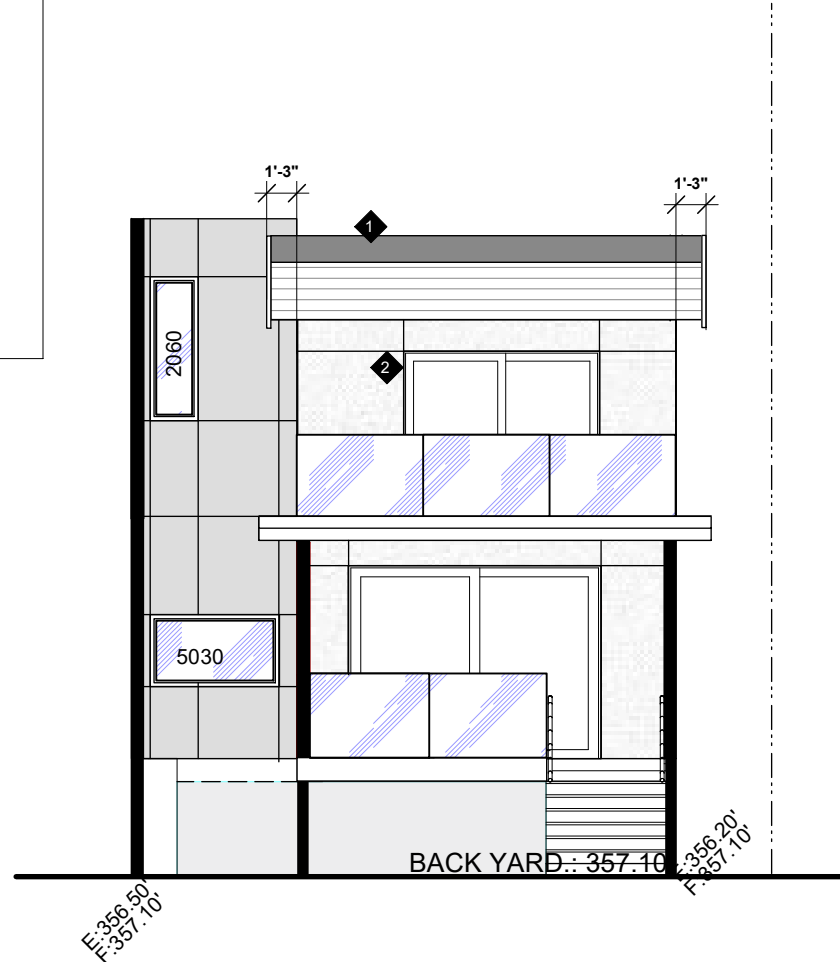
CHECKED BY:
-M.R.
-R.CH

SCALE:

A-07

MATERIAL PALETTES

- 1 Roof: 3 LAYERS APPROVED MEMBRANE
- 2 Wind. door trims: 1.5" X1.5" PAINTED TO MATCH WALLS
- 3 Fascia board: 2X8 OR 2X10 PAINTED CEDAR, Dark Charcoal
- 4 Flashing on Fascia: PREPAINTED STEEL PROFILE TO MATCH FASCIA COLOUR
- 5 Fascia + Gutter: PRE-PAINTED ALUM. DARK CHARCOAL
- 6 Wall panels: FIBER CEMENT PANELS
- 7 Long board siding: 3.5" WIDE METAL LONG BOARDS [NATURAL CEDAR COLOUR]
- 8 Wall cladding: FIBER CEMENT
- 9 Window sash: VINYL - DARK CHARCOAL
- 10 Entry Doors: SOLID FIBERGLASS PANEL
- 11 Soffits: T&G CEDAR [NATURAL CEDAR STAIN]



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LEGEND:

- ⊕ FINISH ELEV.
- ⊙ POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
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1	SUBDEV./REZ.	NOV. 28, 2022

PROJECT: PREAPP

**462 E 11TH ,
WEST HOUSE
(HOUSE A)**

DRAWING TITLE:

SIDE ELEVATIONS

DATE:

DRAWING NO.:

DRAWN BY :

CHECKED BY:

-M.R.

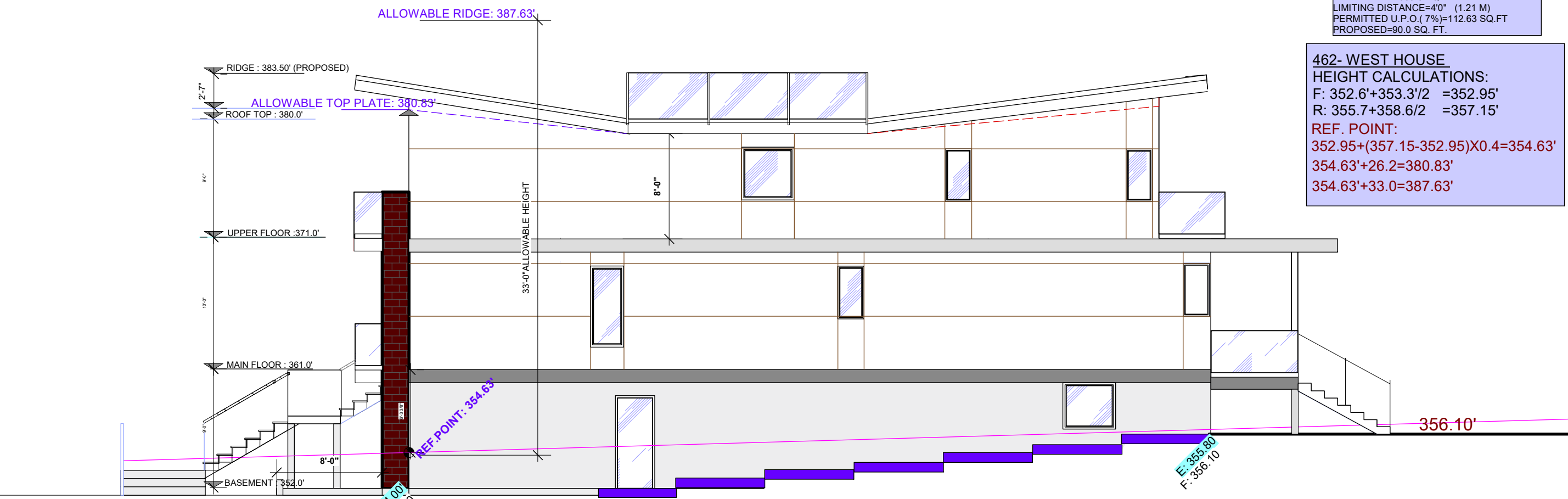
-R.CH

SCALE:

A-08

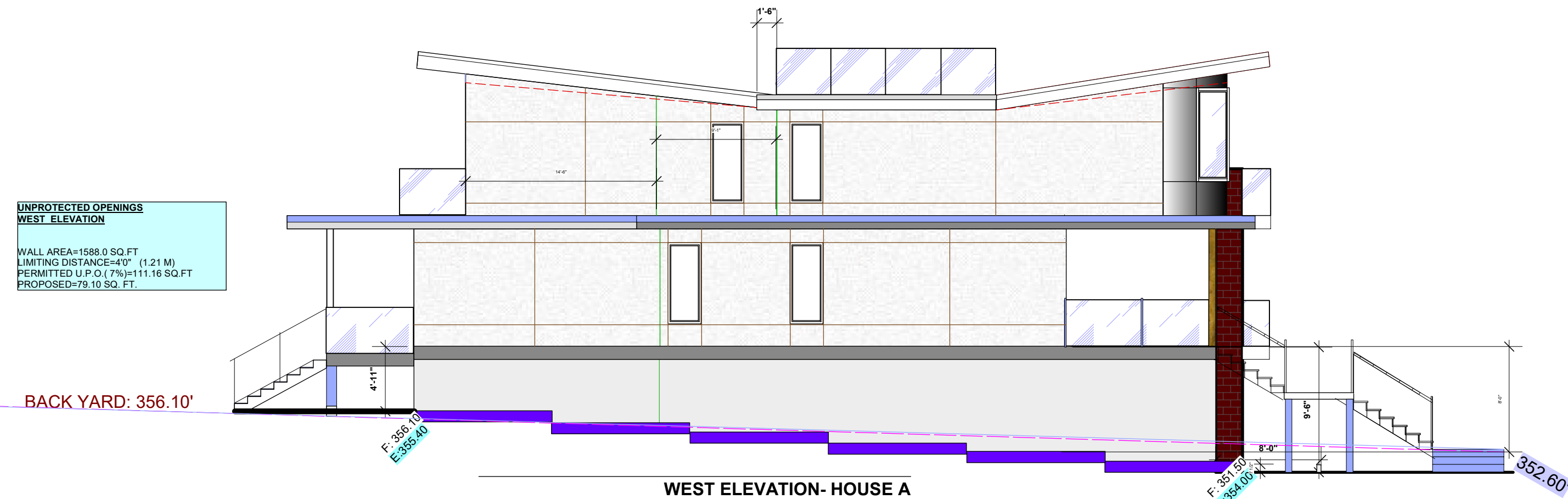
**UNPROTECTED OPENINGS
EAST ELEVATION**
WALL AREA=1609.0 SQ.FT
LIMITING DISTANCE=4'0" (1.21 M)
PERMITTED U.P.O.(7%)=112.63 SQ.FT
PROPOSED=90.0 SQ. FT.

**462- WEST HOUSE
HEIGHT CALCULATIONS:**
F: 352.6'+353.3'/2 =352.95'
R: 355.7'+358.6'/2 =357.15'
REF. POINT:
352.95+(357.15-352.95)X0.4=354.63'
354.63'+26.2=380.83'
354.63'+33.0=387.63'



EAST ELEVATION- HOUSE A

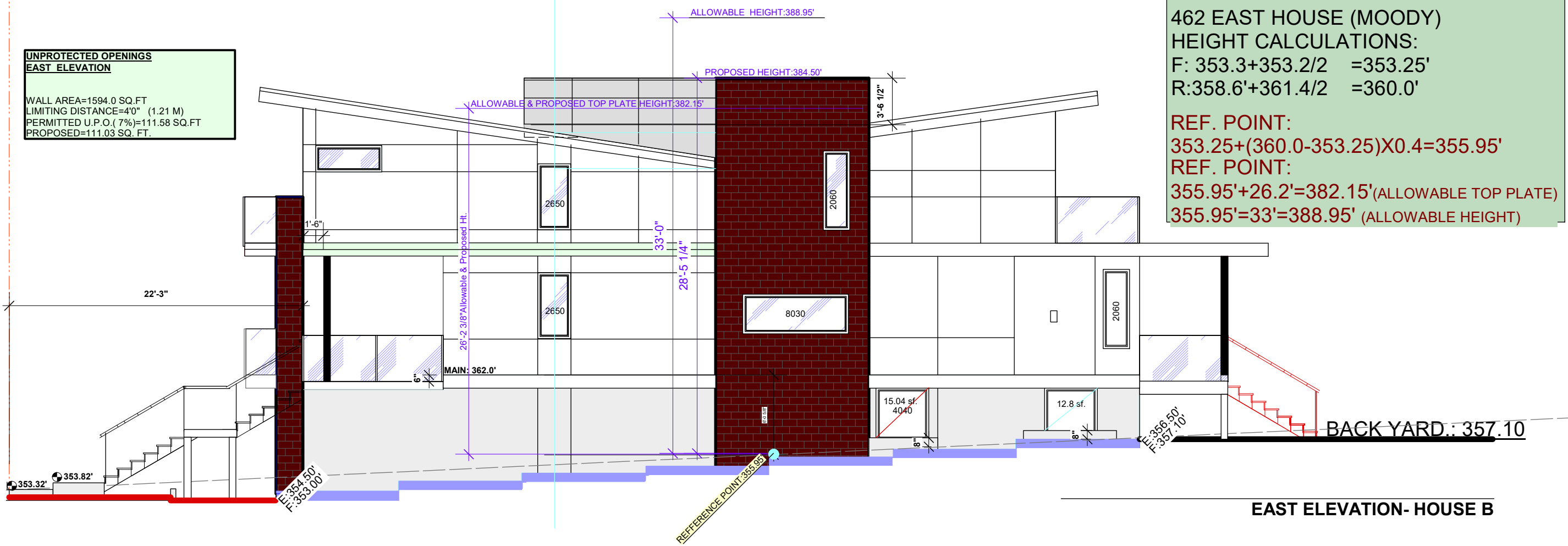
**UNPROTECTED OPENINGS
WEST ELEVATION**
WALL AREA=1588.0 SQ.FT
LIMITING DISTANCE=4'0" (1.21 M)
PERMITTED U.P.O.(7%)=111.16 SQ.FT
PROPOSED=79.10 SQ. FT.



WEST ELEVATION- HOUSE A

**UNPROTECTED OPENINGS
EAST ELEVATION**

WALL AREA=1594.0 SQ.FT
 LIMITING DISTANCE=4'0" (1.21 M)
 PERMITTED U.P.O.(7%)=111.58 SQ.FT
 PROPOSED=111.03 SQ. FT.



462 EAST HOUSE (MOODY)
 HEIGHT CALCULATIONS:
 F: $353.3+353.2/2 = 353.25'$
 R: $358.6'+361.4/2 = 360.0'$

REF. POINT:
 $353.25+(360.0-353.25) \times 0.4 = 355.95'$
 REF. POINT:
 $355.95'+26.2' = 382.15'$ (ALLOWABLE TOP PLATE)
 $355.95' - 33' = 388.95'$ (ALLOWABLE HEIGHT)

EAST ELEVATION- HOUSE B

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- LEGEND:**
- ⊕ FINISH ELEV.
 - ⊙ POWER VENT
 - ⊕ FLOOR DRAIN
 - ⊗ SMOKE ALARM

REVISION:

6	B.P.	
5		
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1	SUBDEV/REZ.	NOV. 28, 2022
No.	Issue for	DATE

PROJECT: PREAPP

**462 E 11TH,
EAST HOUSE
(HOUSE B)**

DRAWING TITLE:

SIDE ELEVATIONS

DATE:

DRAWN BY :

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-M.R.
-R.CH

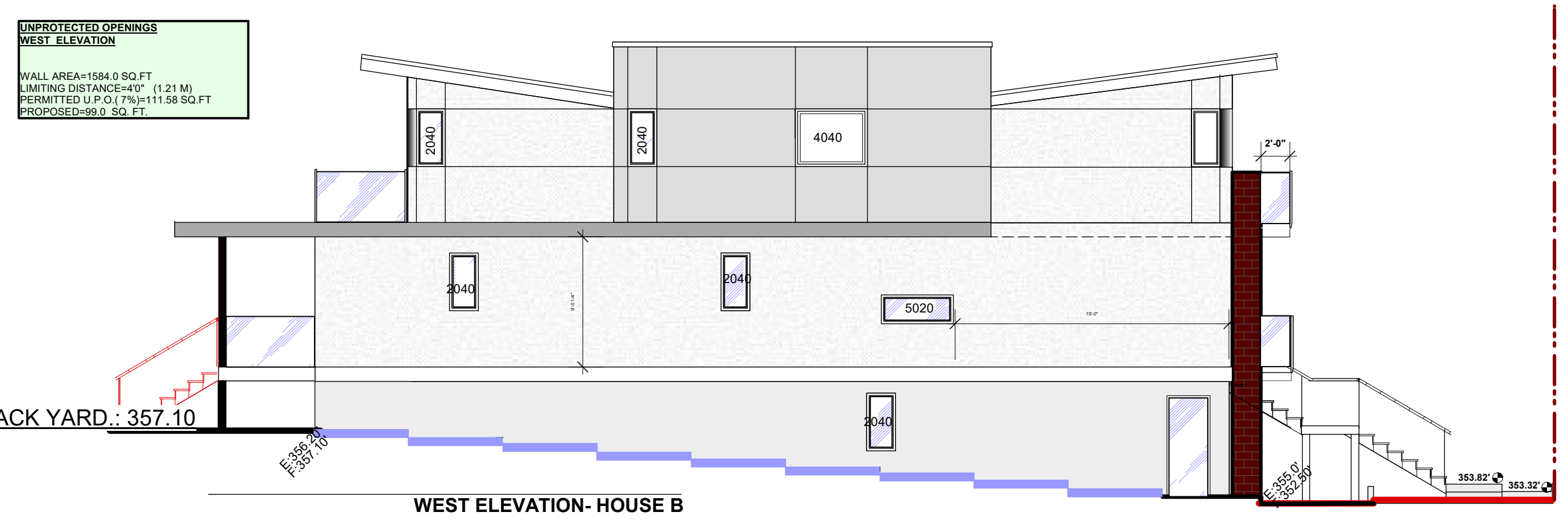
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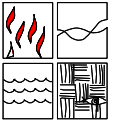
A-09

**UNPROTECTED OPENINGS
WEST ELEVATION**

WALL AREA=1584.0 SQ.FT
 LIMITING DISTANCE=4'0" (1.21 M)
 PERMITTED U.P.O.(7%)=111.58 SQ.FT
 PROPOSED=99.0 SQ. FT.



WEST ELEVATION- HOUSE B



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2		
1	SUBDEV./REZ.	NOV. 28, 2022

PROJECT: PREAPP

**462 E 11TH,
WEST HOUSE
(HOUSE A)**

DRAWING TITLE:

BLDG. SECTIONS

DATE: **DRAWING NO.:**

DRAWN BY:

CHECKED BY:

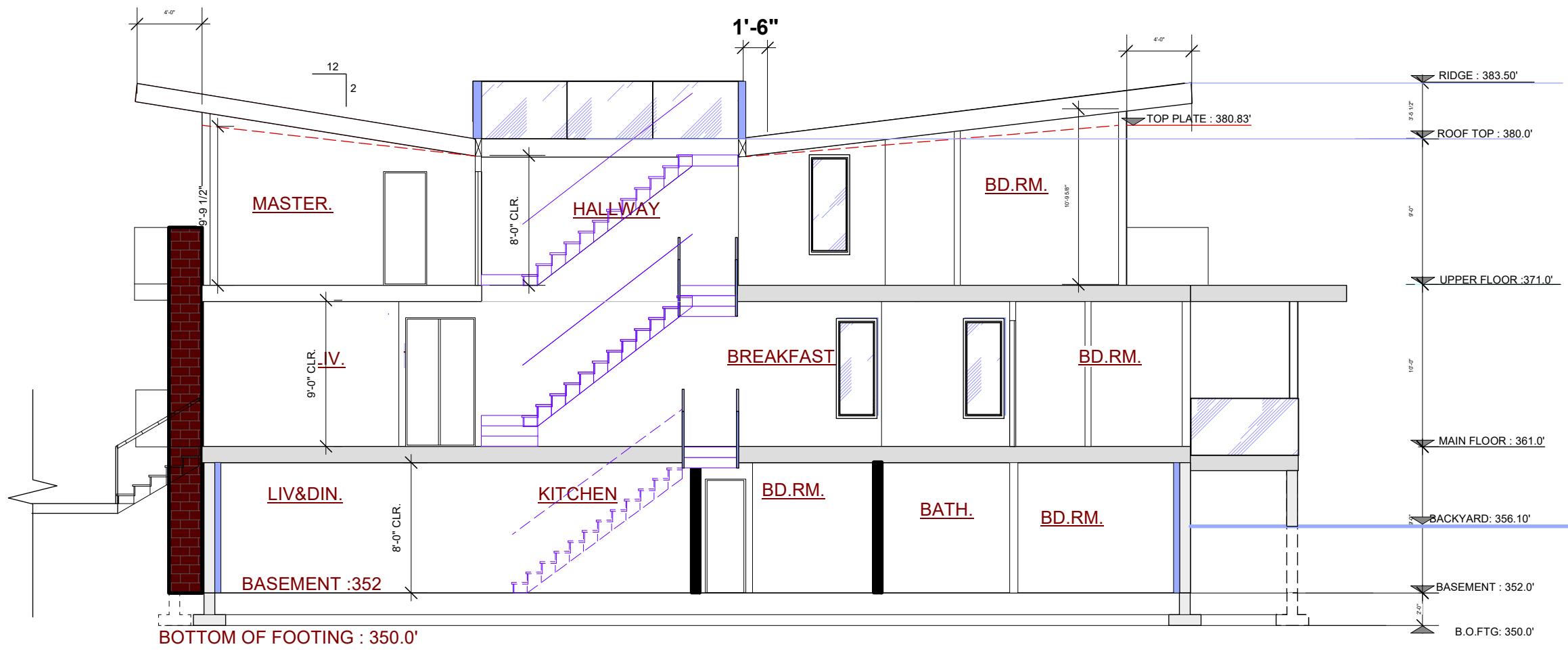
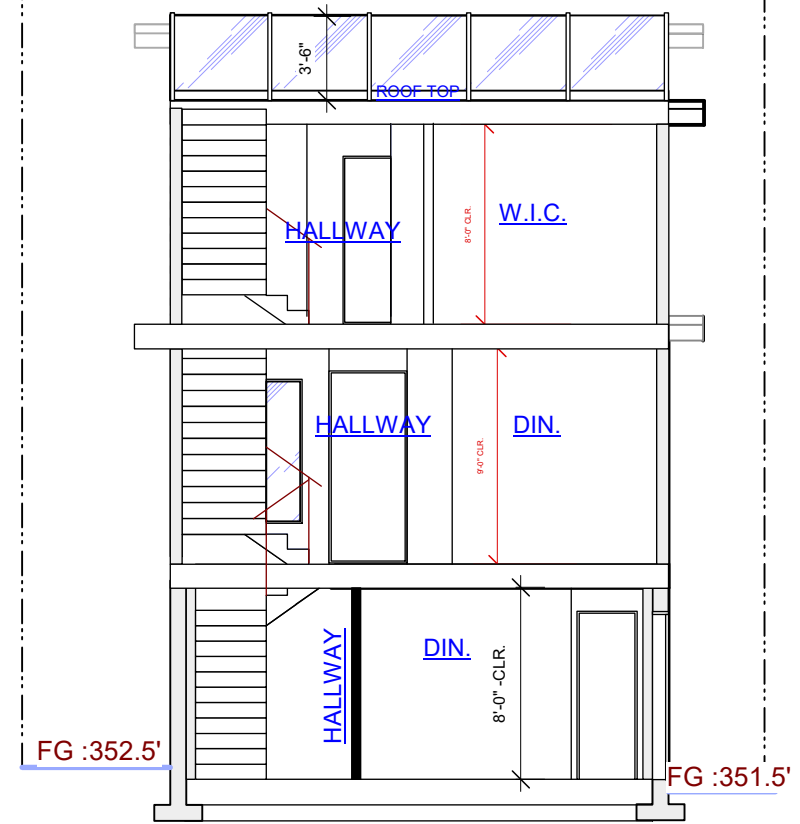
-M.R.

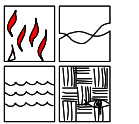
-R.CH

SCALE:

A-10

462- WEST HOUSE
HEIGHT CALCULATIONS:
F: $352.6' + 353.3'/2 = 352.95'$
R: $355.7' + 358.6'/2 = 357.15'$
REF. POINT:
 $352.95' + (357.15 - 352.95) \times 0.4 = 354.63'$
 $354.63' + 26.2 = 380.83'$
 $354.63' + 33.0 = 387.63'$





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**462 E 11TH,
EAST HOUSE
(HOUSE B)**

DRAWING TITLE:

BLDG. SECTIONS

DATE:

DRAWING NO.:

DRAWN BY:

CHECKED BY:

-M.R.

-R.CH

SCALE:

A-11

462 EAST HOUSE (MOODY)

HEIGHT CALCULATIONS:

F: $353.3 + 353.2/2 = 353.25'$

R: $358.6' + 361.4/2 = 360.0'$

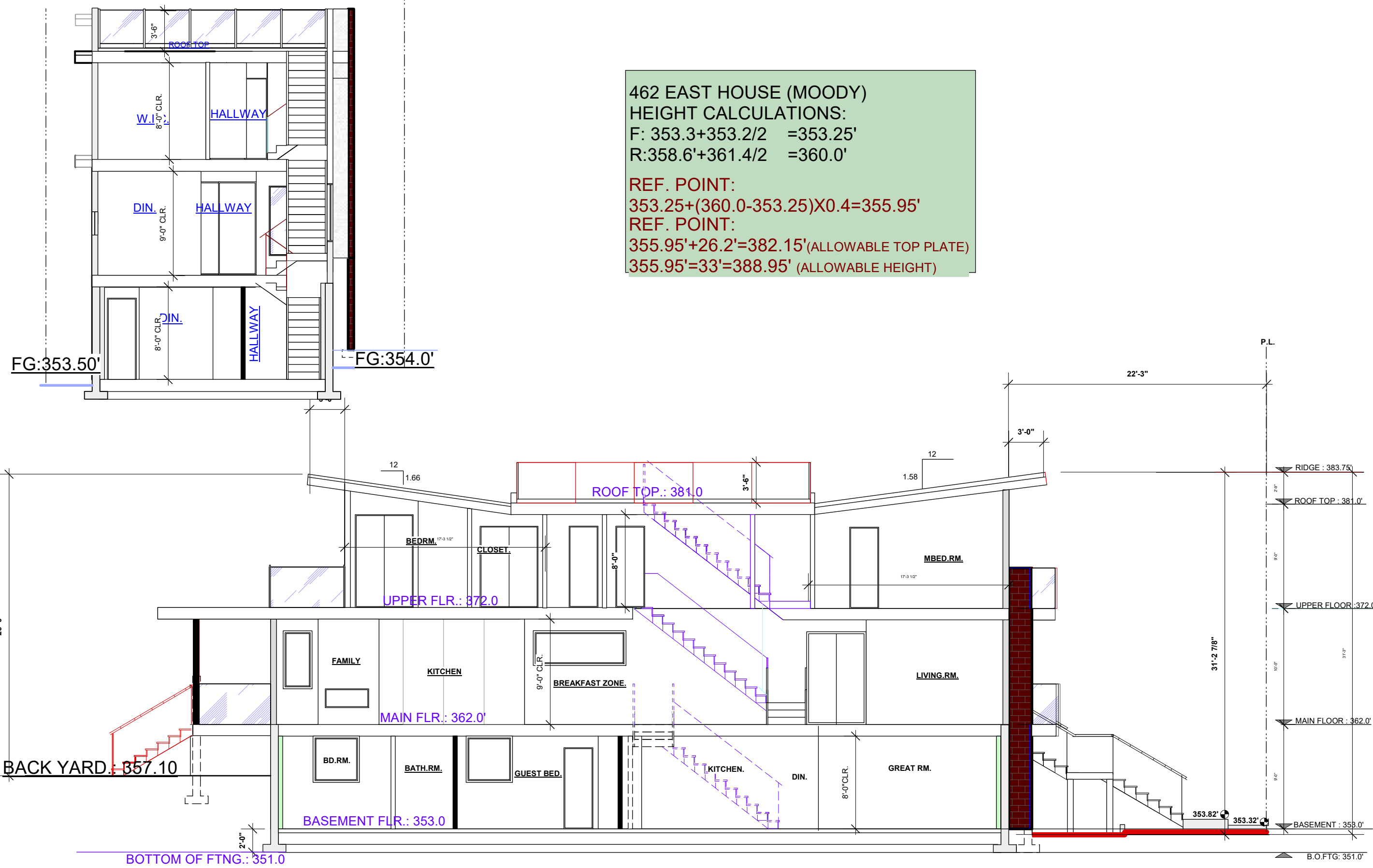
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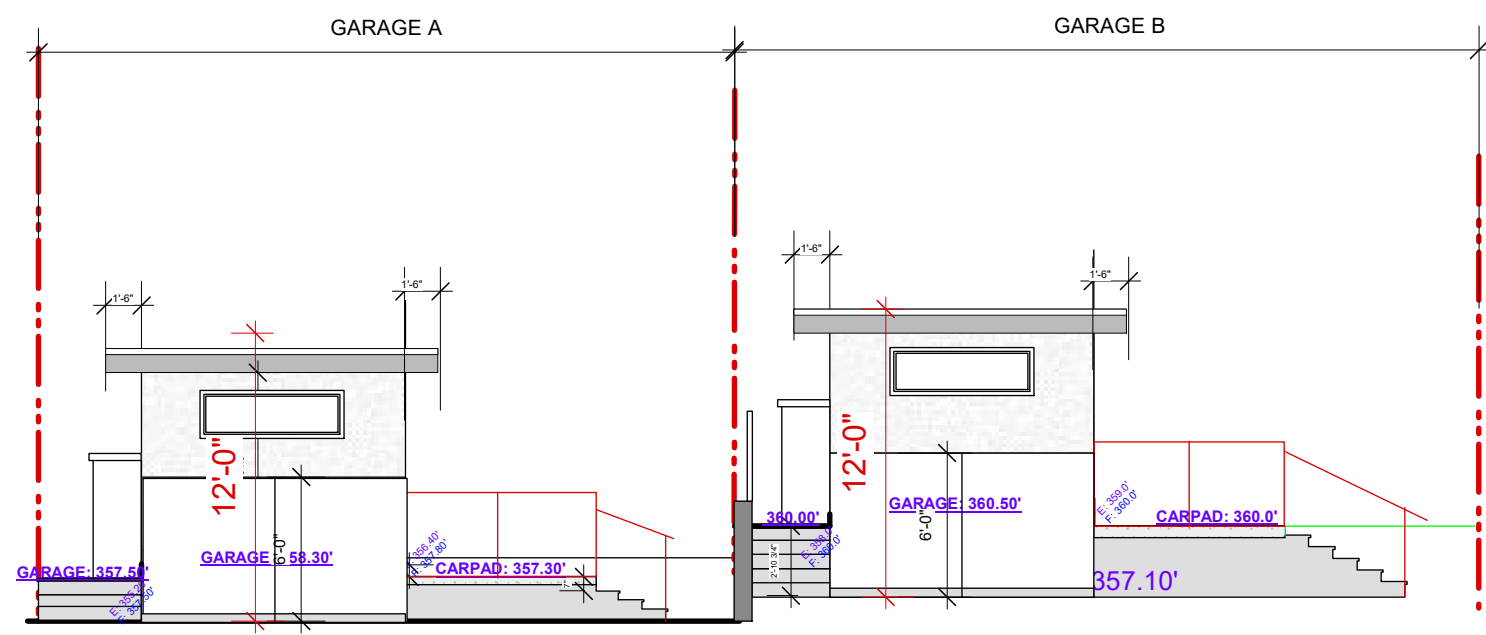
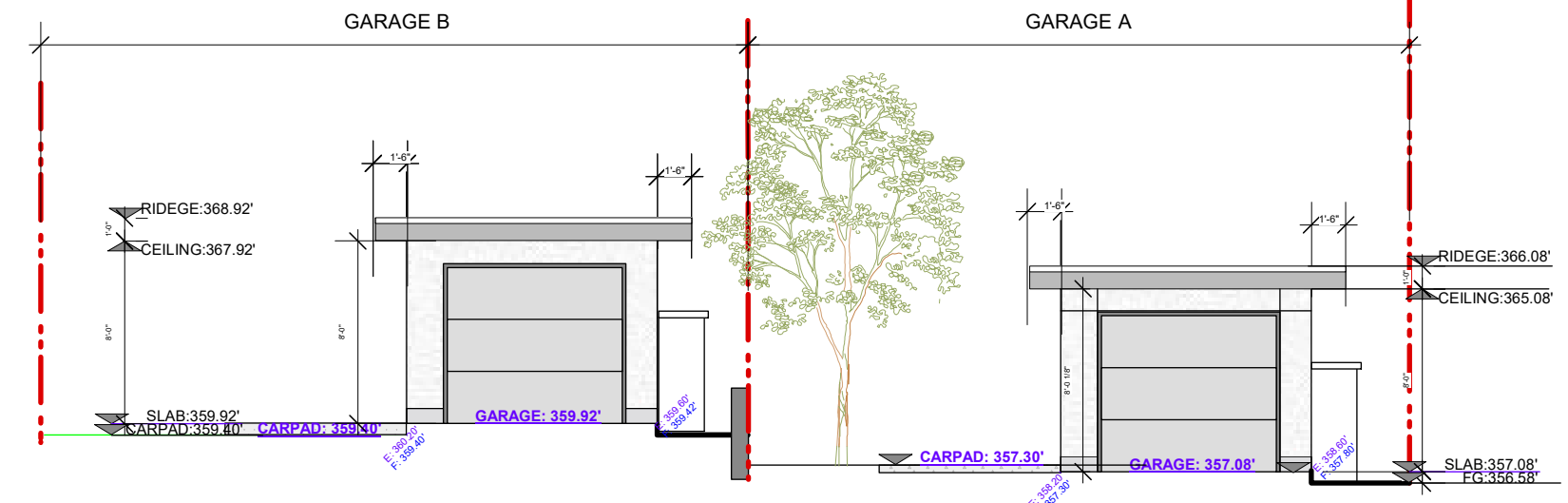
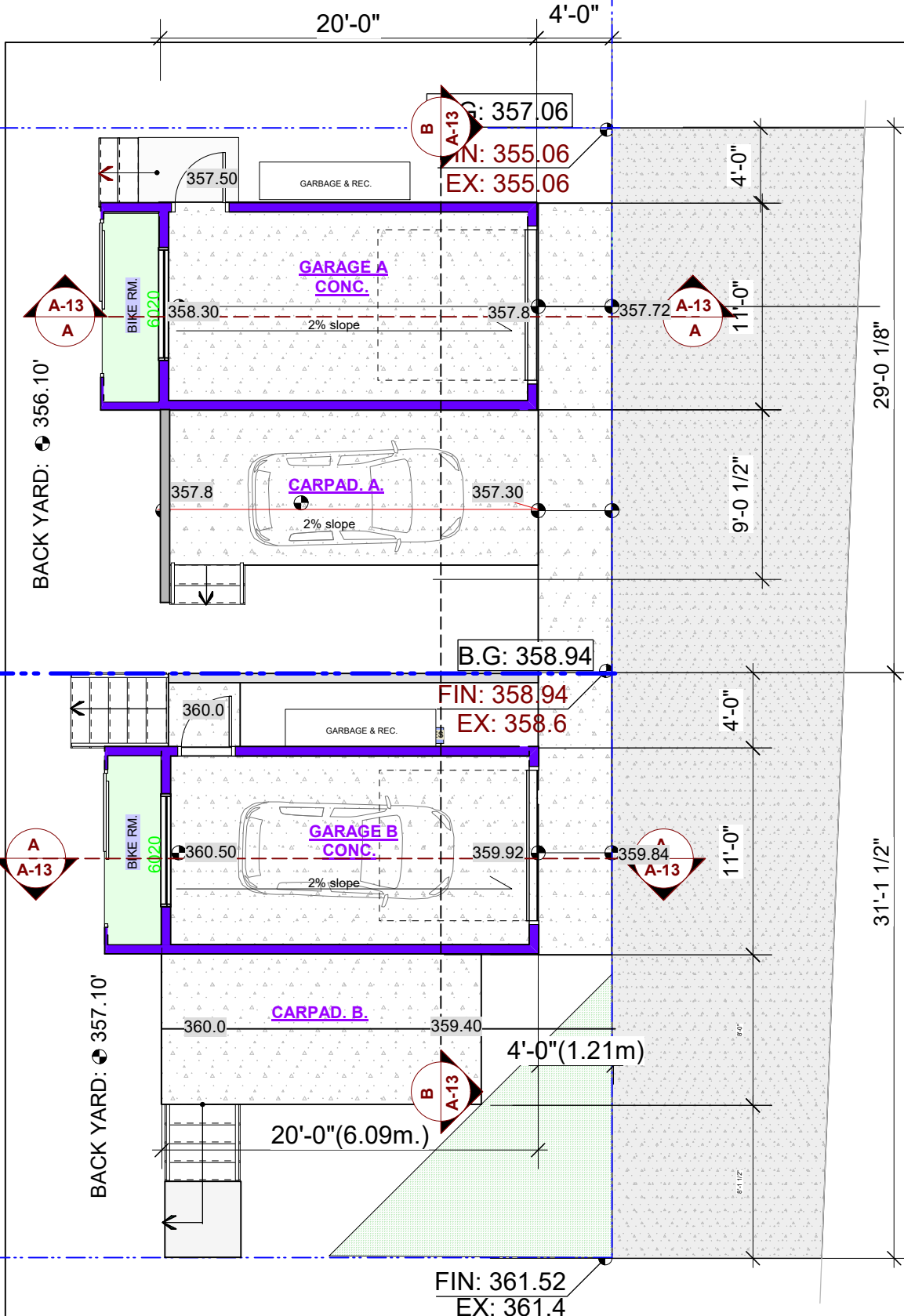
$353.25' + (360.0' - 353.25') \times 0.4 = 355.95'$

REF. POINT:

$355.95' + 26.2' = 382.15'$ (ALLOWABLE TOP PLATE)

$355.95' - 33' = 388.95'$ (ALLOWABLE HEIGHT)





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- LEGEND:**
- FINISH ELEV.
 - POWER VENT
 - ⊕ FLOOR DRAIN
 - ⊗ SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
5		
4		
3		
2		
1	SUB.DIV.REZ.	NOV.28 2022

PROJECT: PREAPP

**462
E 11 TH ST.**

DRAWING TITLE:
GARAGE A & B
PLANS &
ELEVATIONS

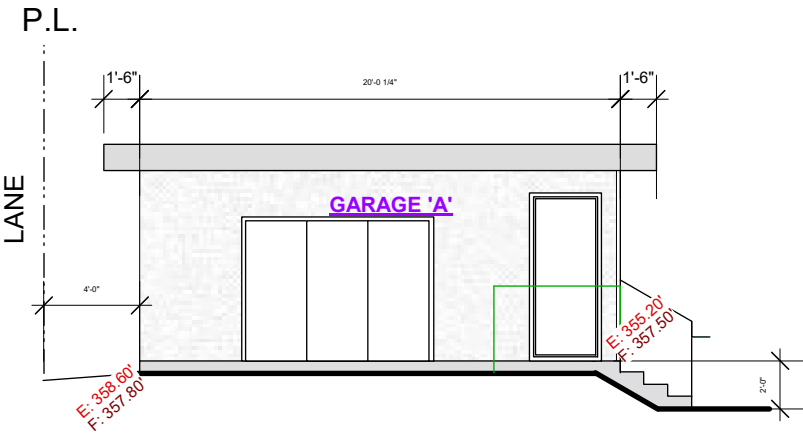
DATE: JUNE 2019 DRAWING NO.:

DRAWN BY:

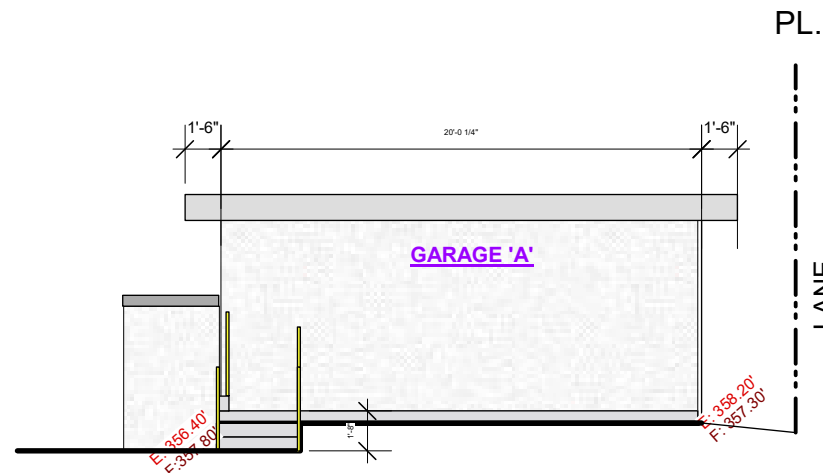
CHECKED BY:
-M.R.
-R.CH

SCALE: **A-12**

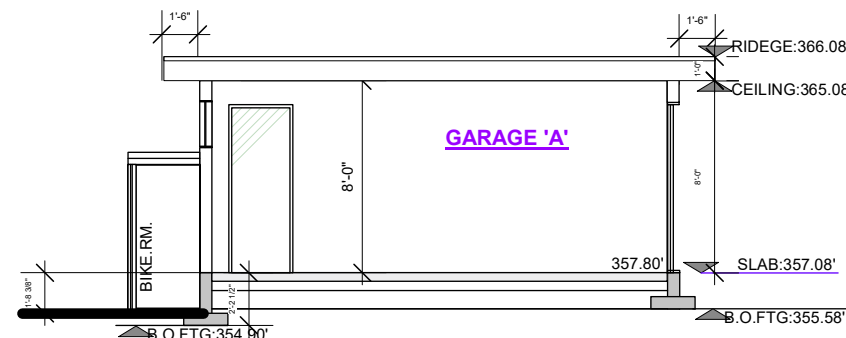
GARAGE A



WEST ELEVATION

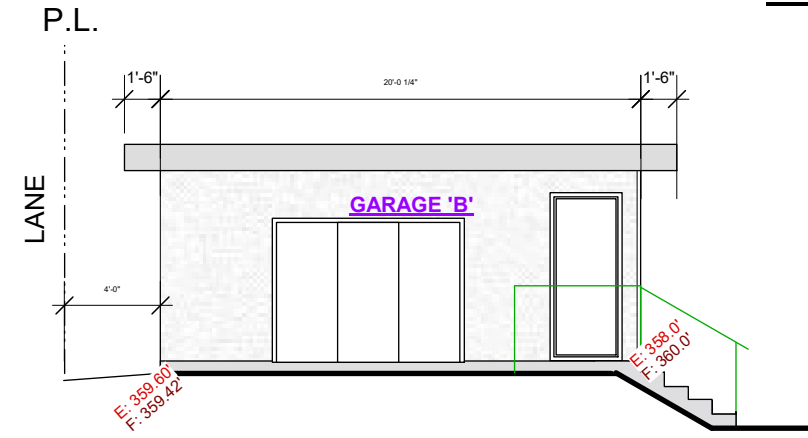


EAST ELEVATION

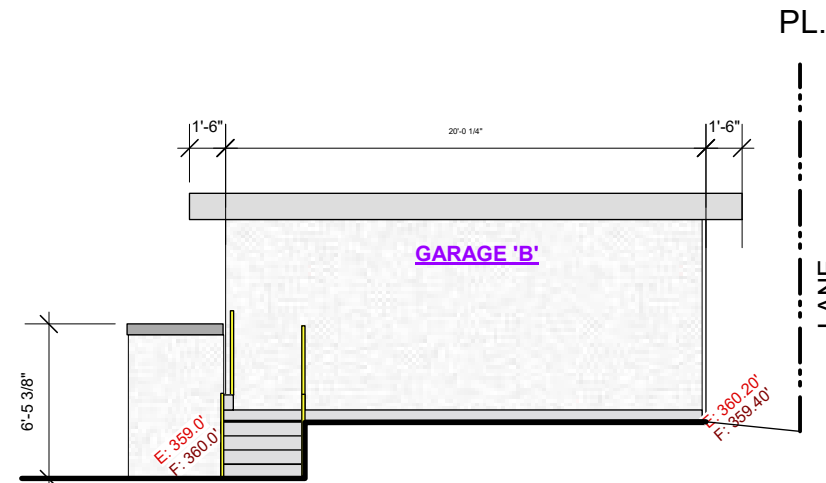


SECTION AA

GARAGE B



WEST ELEVATION



EAST ELEVATION

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LEGEND:

- ⊙ FINISH ELEV.
- ⊙ POWER VENT
- ⊙ FLOOR DRAIN
- ⊙ SMOKE ALARM

REVISION:

No.	Issue for	DATE
6	B.P.	
5		
4		
3		
2		
1	SUBDIV. REZ.	NOV.28 2022

PROJECT: PREAPP

462
E 11 TH ST.

DRAWING TITLE:
GARAGE A & B
ELEVATIONS &
SECTIONS

DATE:
JUNE 2019

DRAWING NO.:

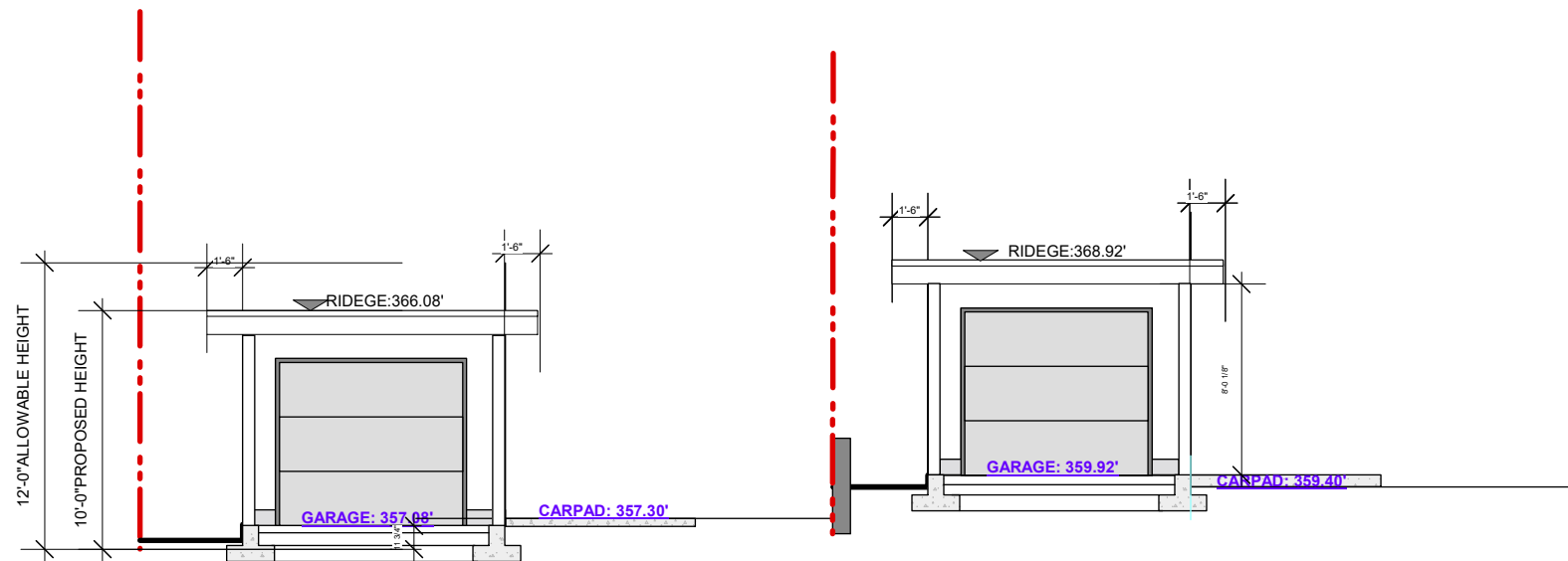
DRAWN BY:

CHECKED BY:
-M.R.

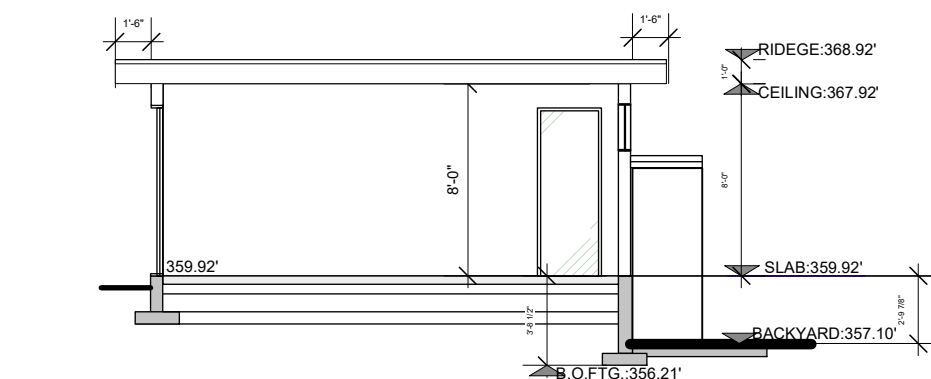
-R.CH

SCALE:

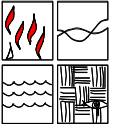
A-13



SECTION BB



SECTION AA



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LEGEND:

- ⊕ FINISH ELEV.
- ⊙ POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

6	B.P.	
5		
4		
3		
2		
1	SUBDEV/REZ.	NOV. 28, 2022
No.	Issue for	DATE

PROJECT: PREAPP

462 E 11TH

DRAWING TITLE:

STREET ELEVATIONS

DATE: DRAWING NO.:

DRAWN BY:

CHECKED BY:

-M.R.

-R.CH

SCALE: 1"=10'

A-14

