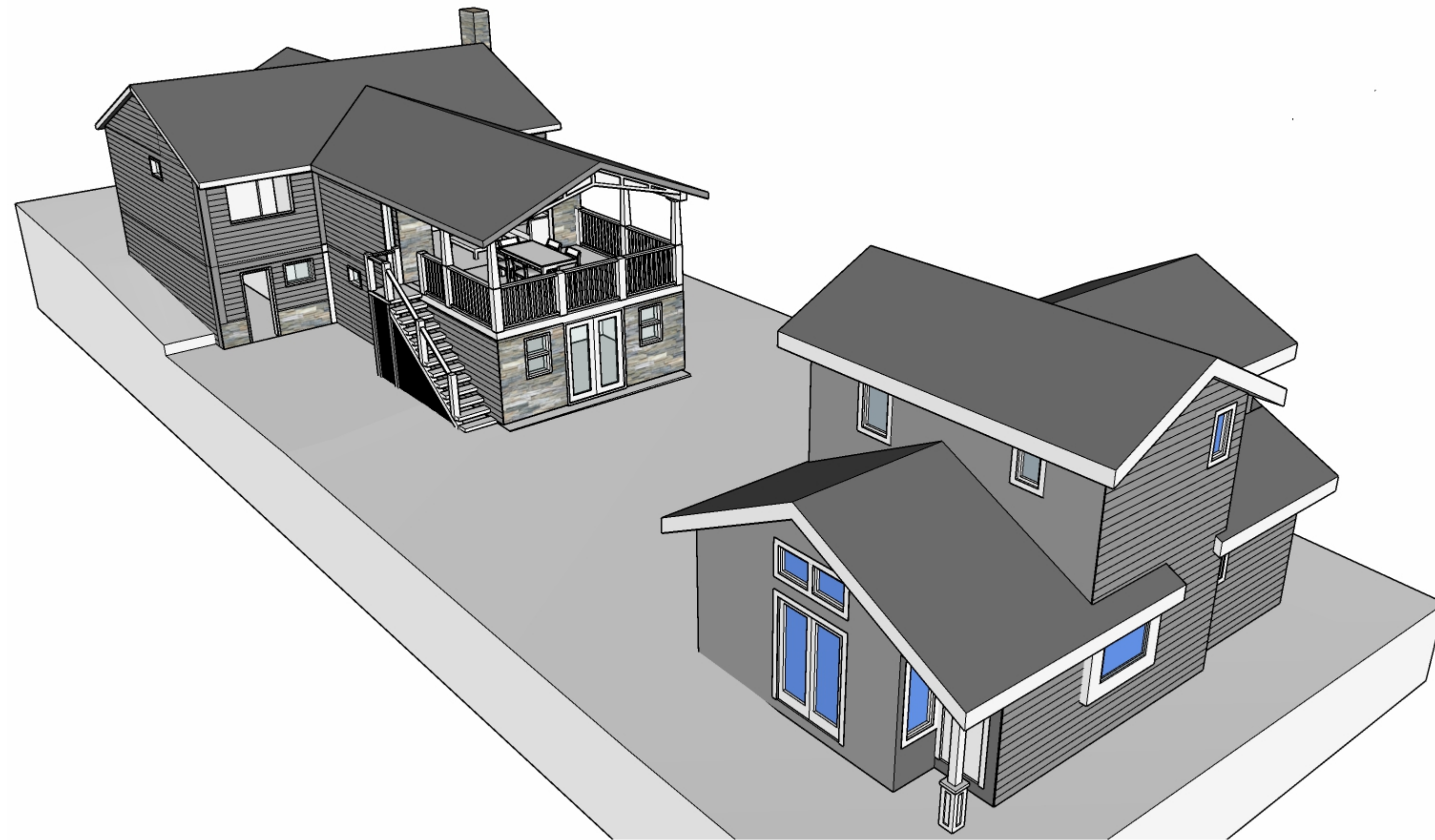


SZUK RESIDENCE - STRATIFICATION

639 East 4th street



Full Legal Description and Civic Address:

Lot 8, BLOCK.23, DISTRICT LOT 273, GROUP.1, NEW WESTMINSTER DISTRICT., PLAN 1063
639 East 4th street, North Vancouver.

REZONING: RT1 to CD

LOT AREA: 6838 SF

BUILDING AREAS

GROSS FLOOR AREA	PERMITTED sqft	PRINCIPAL HOUSE sqft	INFILL HOUSE sqft
LEVEL 1	-	272.5	620.0
LEVEL 2	-	1105.7	372.0
TOTAL GROSS FLOOR AREA	6838 x 0.35 + 1000 = 3393.3	1378.2	992.0
		2370.2	

LOT COVERAGE	PERMITTED %	CURRENT %
PRINCIPLE BUILDING	max 30%	20%
INFILL HOUSE		9%
TOTAL SITE COVERAGE	50%	29%

ADDITIONAL INFORMATION FOR PROJECT DATA SHEET

SETBACKS	PERMITTED	PROPOSED	
		LOT #1	LOT #2
FRONT LOT LINE	15'	15'	3' 6"
EAST INTERIOR LOT LINE	4'	4'	4'
WEST INTERIOR LOT LINE	2'6" (Due to exemption 410 1b (i))	2'6"	4'
REAR LOT LINE	47' (0.35 x Lot Depth of 136')	21'	4'

HEIGHTS	PERMITTED	PROPOSED	
		LOT #1	LOT #2
HEIGHT	33.1'	20.2'	21.8'
		From 199.9'	From 195.6'
		Reference Grade	Average Rear Grade

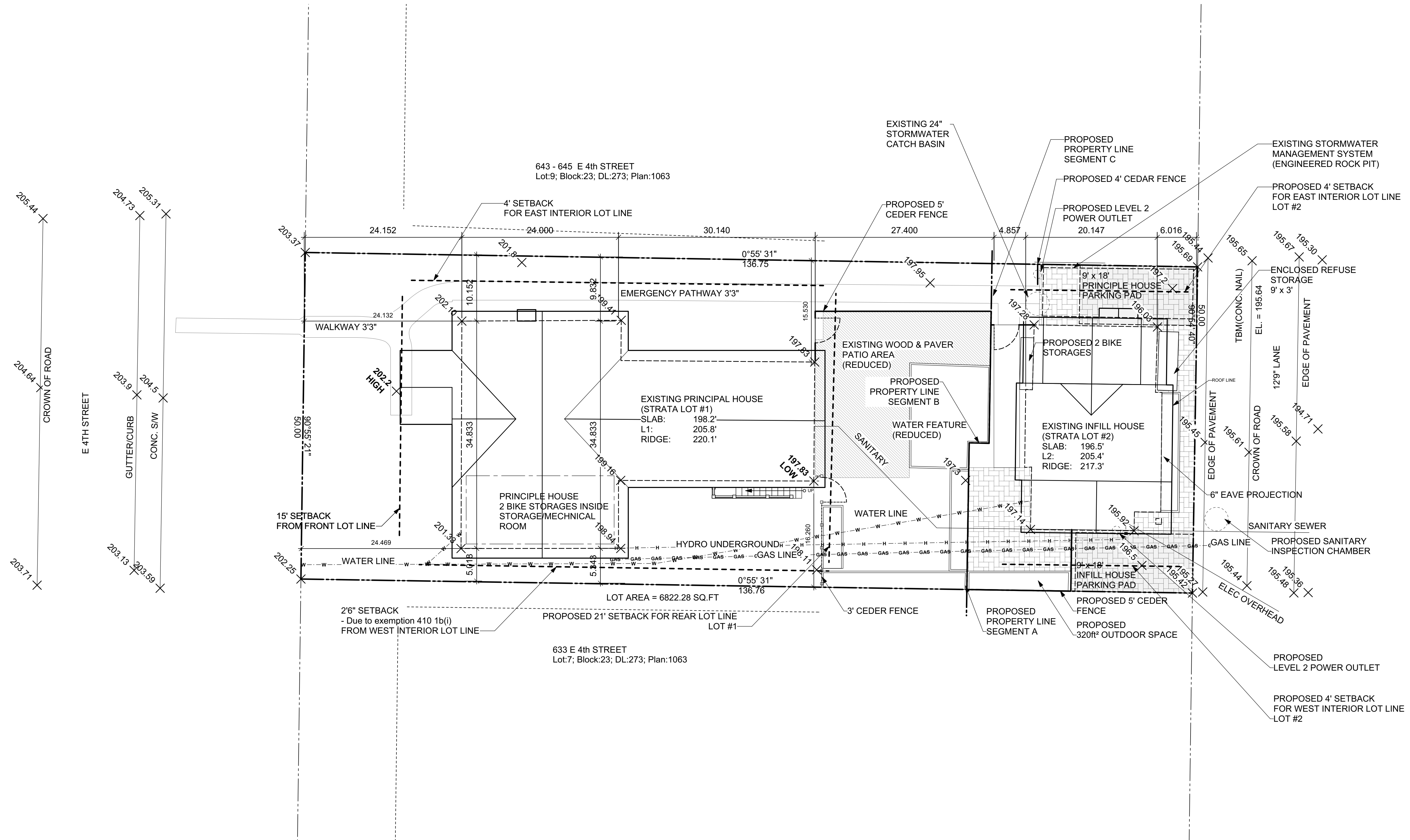
DRAWING LIST

A0.00	COVER SHEET	A1.01	FLOOR PLAN - LEVEL 1
A0.01	SITE PLAN	A1.02	FLOOR PLAN - LEVEL 2
A0.02	EXISTING SITE PLAN	A1.03	ROOF PLAN
A0.03	LANDSCAPE PLAN	A1.04	GROSS FLOOR AREA CALCULATIONS
A0.04	EXISTING LANDSCAPE PLAN	A2.01	COLOURED ELEVATION
A0.05	LOT COVERAGE	A2.02	LIMITING DISTANCE CALCULATIONS
A0.06	STORMWATER MANAGMENT PLAN	A2.03	ELEVATION - INTERIORS
A0.07	GARBAGE MOVEMENT / BIKE STORAGE DIAGRAM		

LIMITING DISTANCES

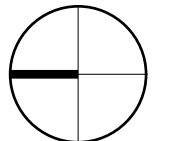
ELEVATION	BUILDING	SOLID WALLS (m ²)	UNPROTECTED OPENINGS (m ²)	TOTAL AREA (m ²)	LIMITED DISTANCE* (m)	Maximum Aggregate Area of Unprotected Openings, % of Exposed Building Face Area		
						Ratio (L/H)	Allowed (%)	Proposed (%)
South	Principal	36.66	19.04	55.7	Segment A: 7.230 Segment C: 8.16	less than 3:1	62.0%	34%
North	Coach	39.88	3.51	43.39	Segment A: 2.61 Segment C: 1.66	less than 3:1	10.0%	8%

*Refer to the sheet A0.01 Site Plan for location of Proposed Property Line Segment A and C

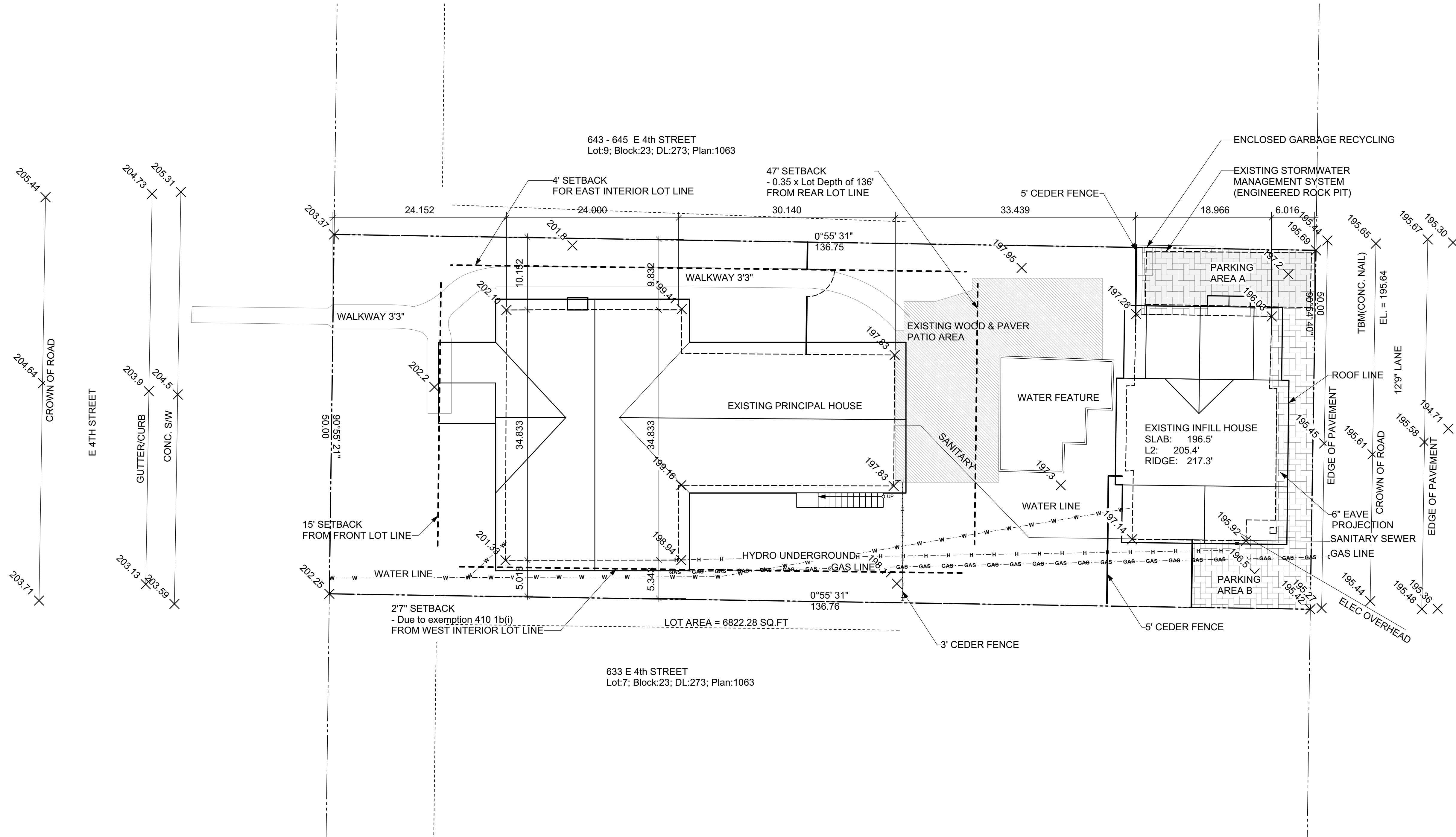


1 SITE PLAN
Scale 1/8"=1'

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

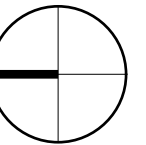


ISSUED FOR: STRATIFICATION APPLICATION	SITE PLAN			SCALE: 1/8" = 1'-0"
	SZUK RESIDENCE 643 EAST 4TH STREET			DATE: NOV 04 2021
REV	REV	REV	REV	DR: SH
				A0.01

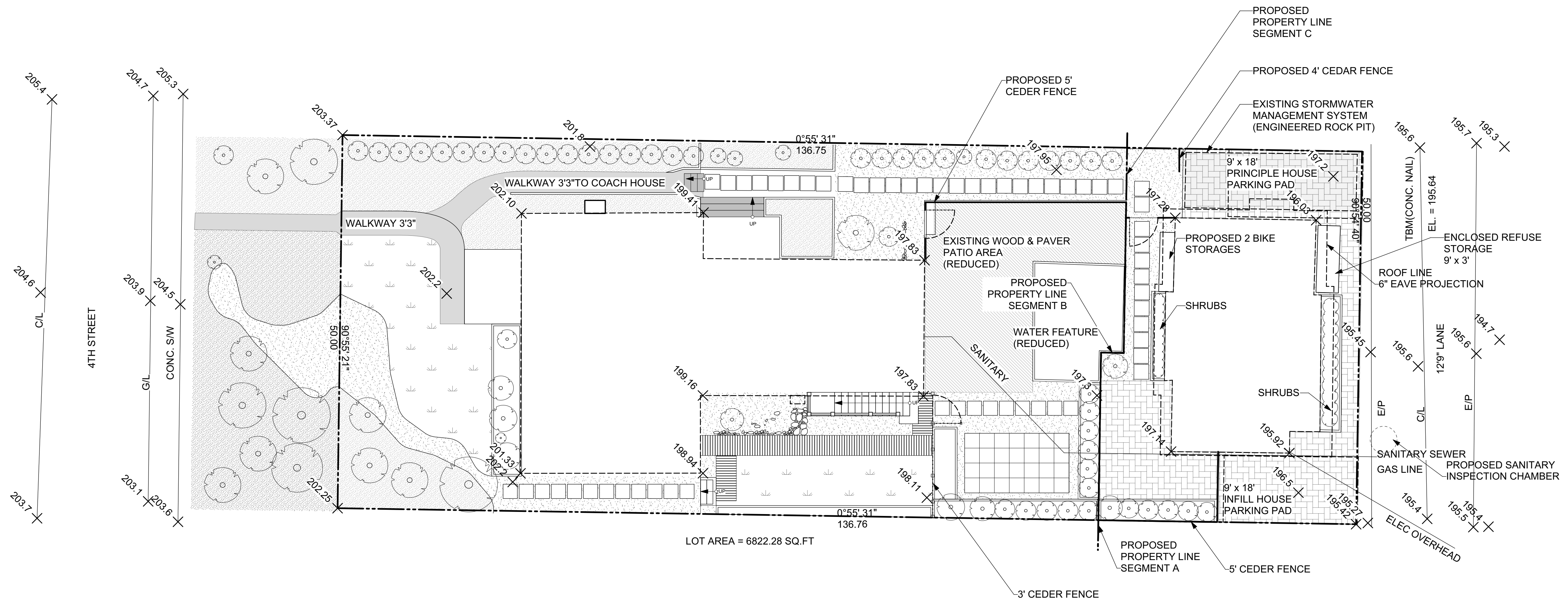


1 EXISTING SITE PLAN
Scale: 1/8"=1'

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

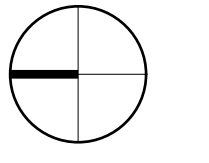


ISSUED FOR: STRATIFICATION APPLICATION	REV		REV		SCALE: 1/8" = 1'-0" DATE: NOV 04 2021 DR: SH
EXISTING SITE PLAN SZUK RESIDENCE 633 EAST 4TH STREET				A0.02	

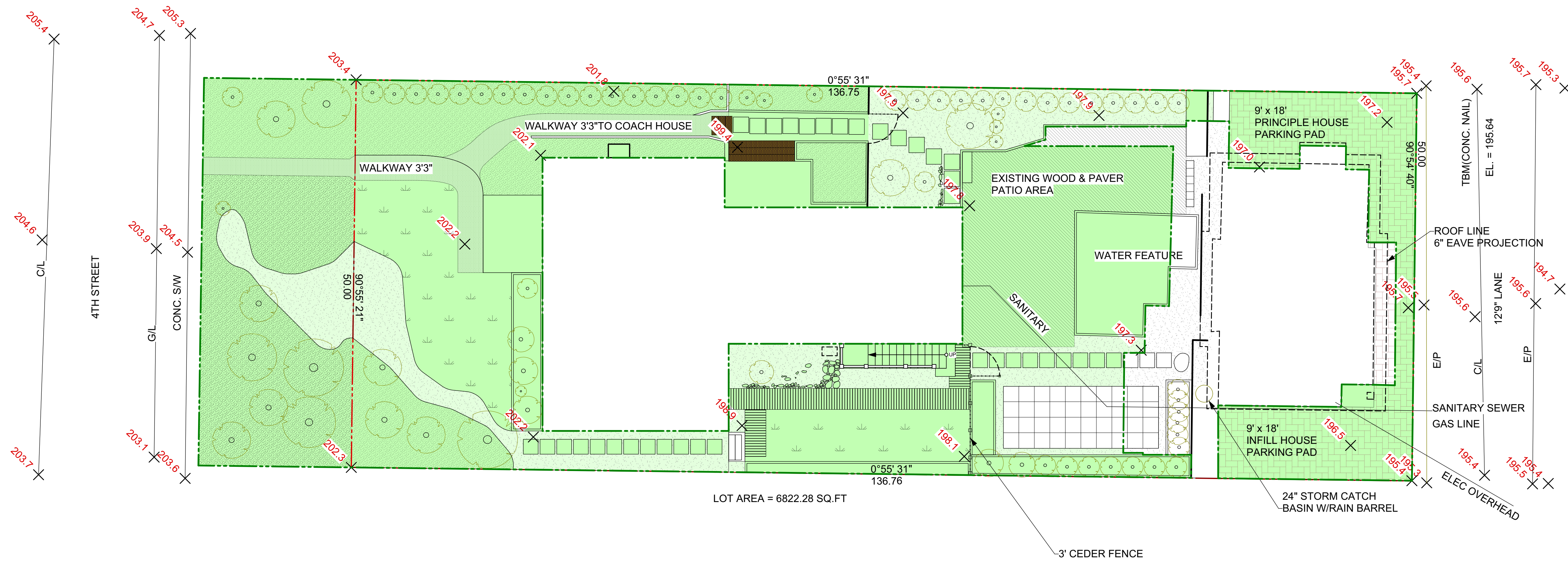


1 LANDSCAPE PLAN
Scale 1/8"=1'

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED



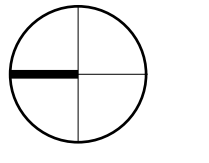
<p>LANDSCAPE PLAN</p> <p>SZUK RESIDENCE</p> <p>639 EAST 4TH STREET</p>		SCALE	1/8" = 1'-0"
		DATE	NOV 04 2021
<p>ISSUED FOR: STRATIFICATION APPLICATION</p>		DR	SH
<p>REV</p>		REV	REV
		<p>A0.03</p>	



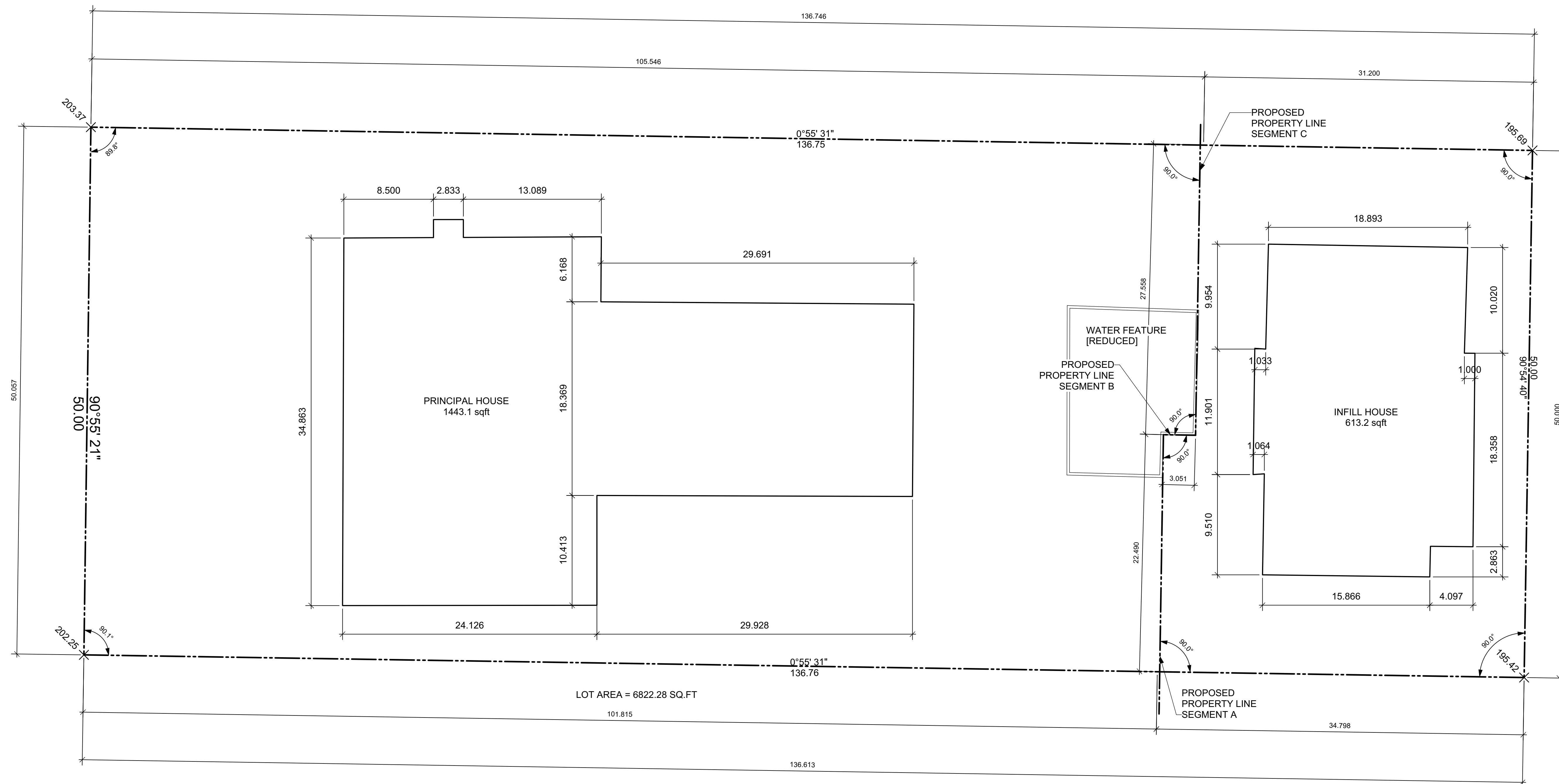
1 EXISTING LANDSCAPE PLAN
Scale 1/8"=1'

Existing Landscape to be retained*
* 90% of Existing landscape is retained

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

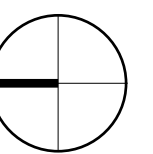


ISSUED FOR: STRATIFICATION APPLICATION	EXISTING LANDSCAPE PLAN			SCALE: 1/8" = 1'-0"
	SZUK RESIDENCE 609 EAST 4TH STREET			DATE: NOV 04 2021
REV	REV	REV	REV	DR: SH
				A0.04

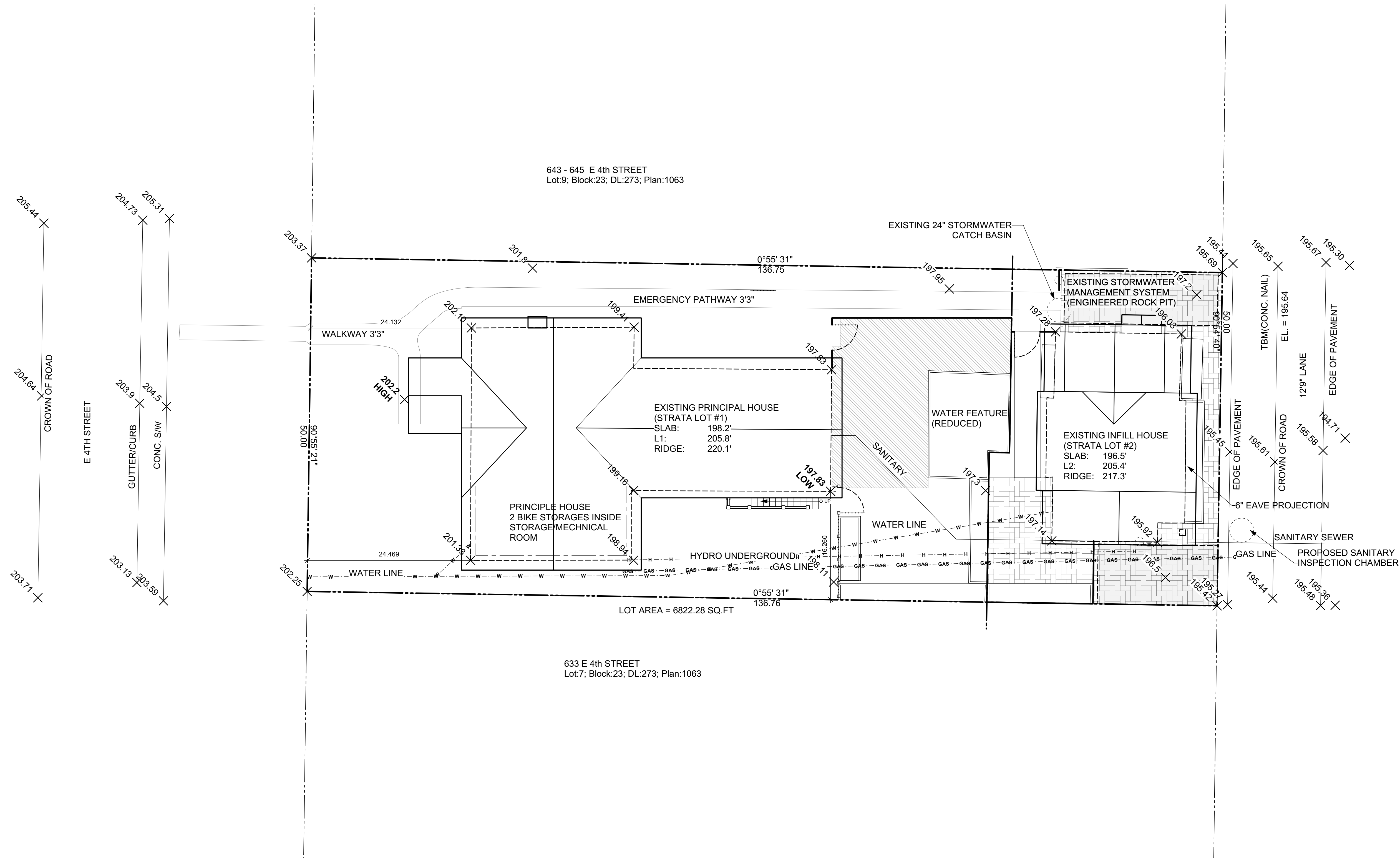


1 SITE COVERAGE
Scale 3/16"=1'

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

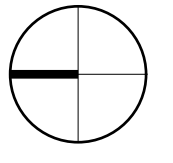


ISSUED FOR: STRATIFICATION APPLICATION	LOT COVERAGE			SCALE: 1/8" = 1'-0"
	SZUK RESIDENCE 609 EAST 4TH STREET			DATE: NOV 04 2021
REV	REV	REV	REV	DR: SH
				A0.05

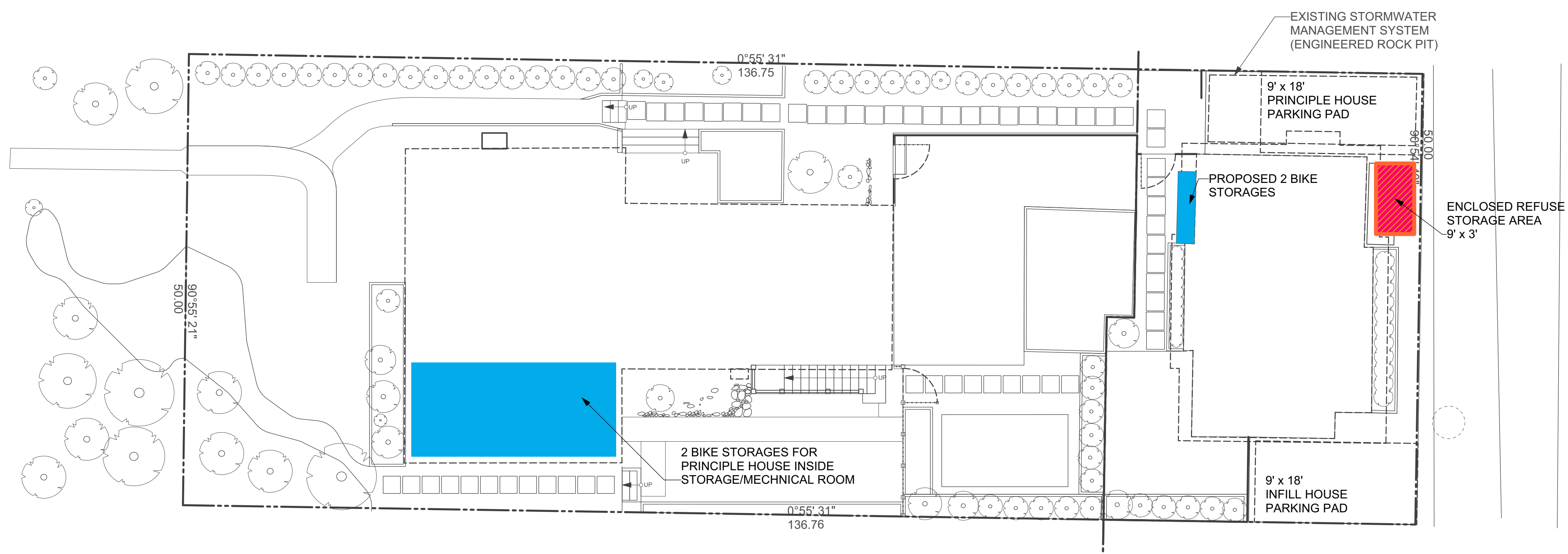


1 STORMWATER MANAGEMENT PLAN
Scale 1/8"=1'



NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED



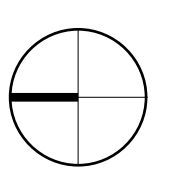
STORMWATER MANAGEMENT PLAN		SCALE: 1/8" = 1'-0"
SZUK RESIDENCE 633 EAST 4TH STREET		DATE: NOV 04 2021
ISSUED FOR: STRATIFICATION APPLICATION		DR: SH
REV	REV	REV
		A0.06



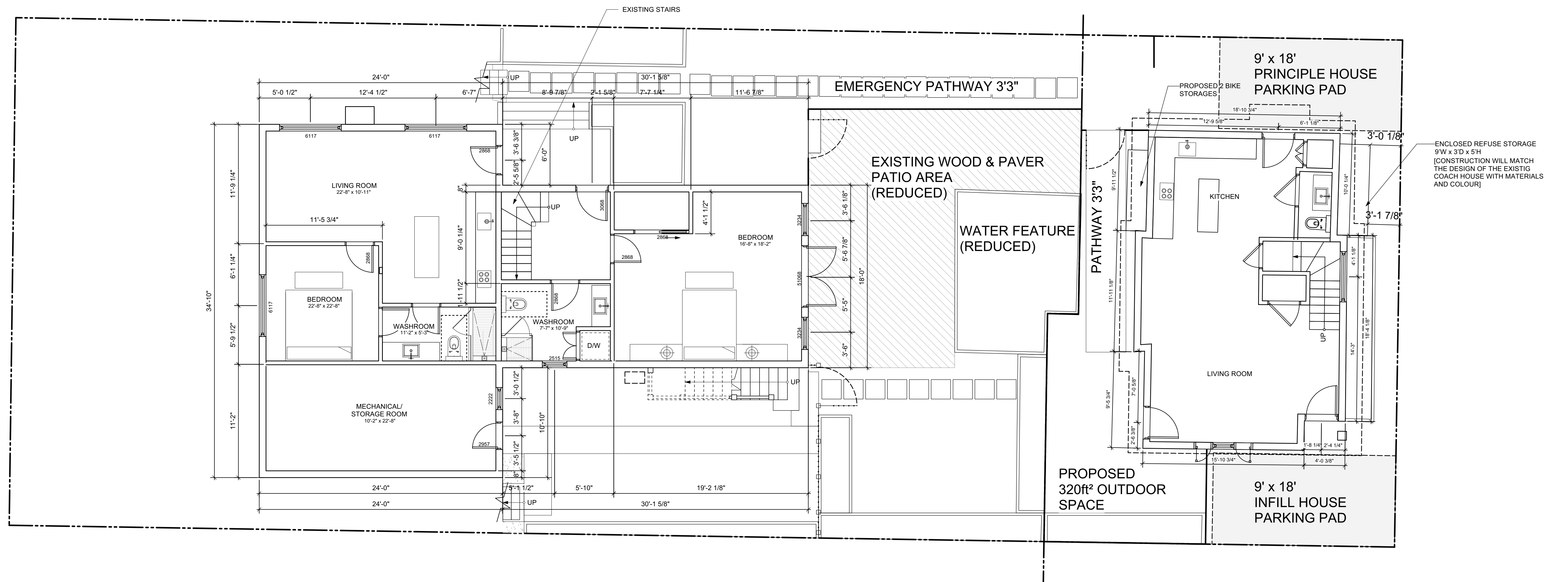
1 **GARBAGE AND BIKE DIAGRAM**
Scale 1/8"=1'

 Enclosed Refuse Storage
 Bike Storage

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

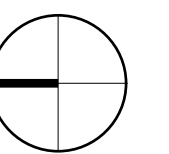


ISSUED FOR: STRATIFICATION APPLICATION	GARBAGE COLLECTION / BIKE STORAGE DIAGRAM			SCALE: 1/8" = 1'-0"
	SZUK RESIDENCE 630 EAST 4TH STREET			DATE: NOV 04 2021
REV	REV	REV	REV	DR: SH
				A0.07

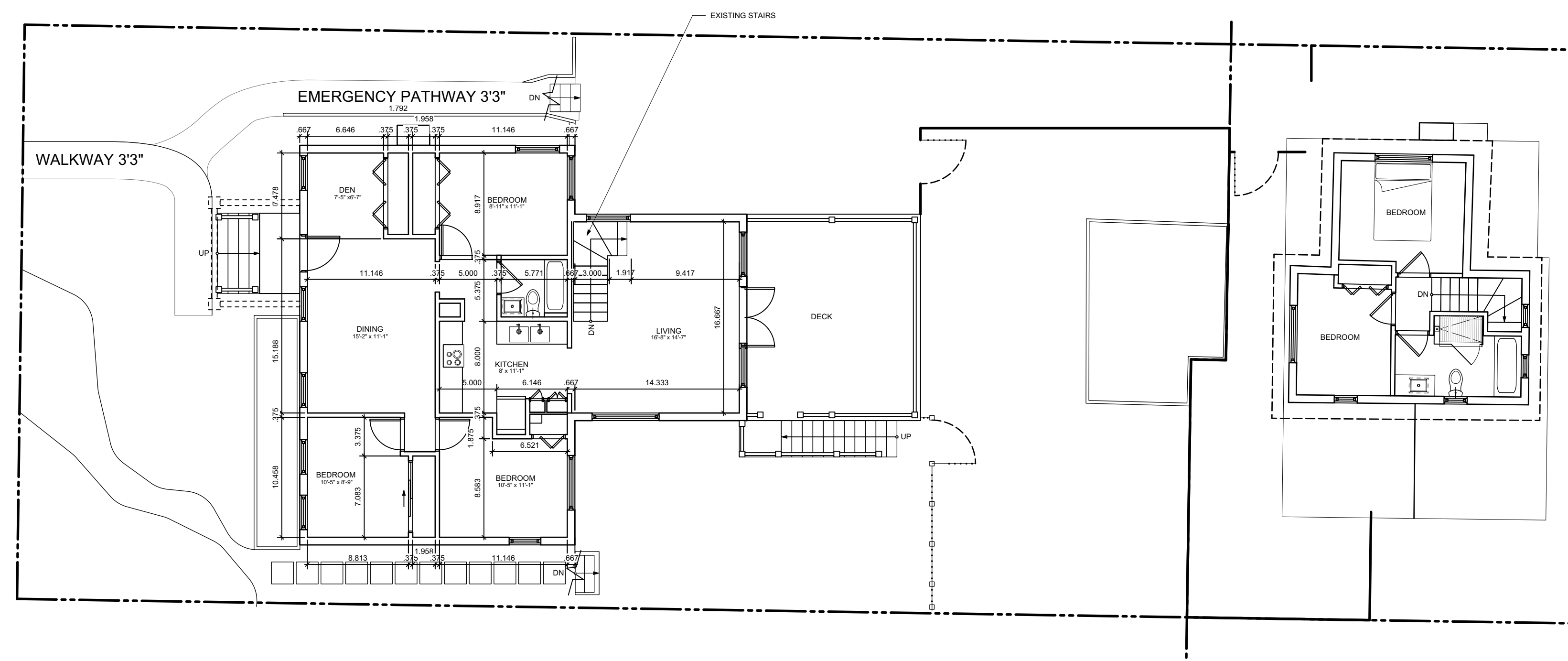


1 LEVEL 1 PLAN
Scale 3/16"=1'

NO CHANGES TO PRINCIPAL AND INFILL
HOUSE FLOOR AREA PROPOSED

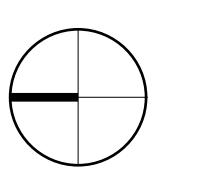


LEVEL 1 FLOOR PLAN		SCALE 3/16" = 1'-0"
SZUK RESIDENCE		DATE JUNE 10 2022
639 EAST 4TH STREET		DR SH
ISSUED FOR SZUK RENOVATION	REV	A1.01

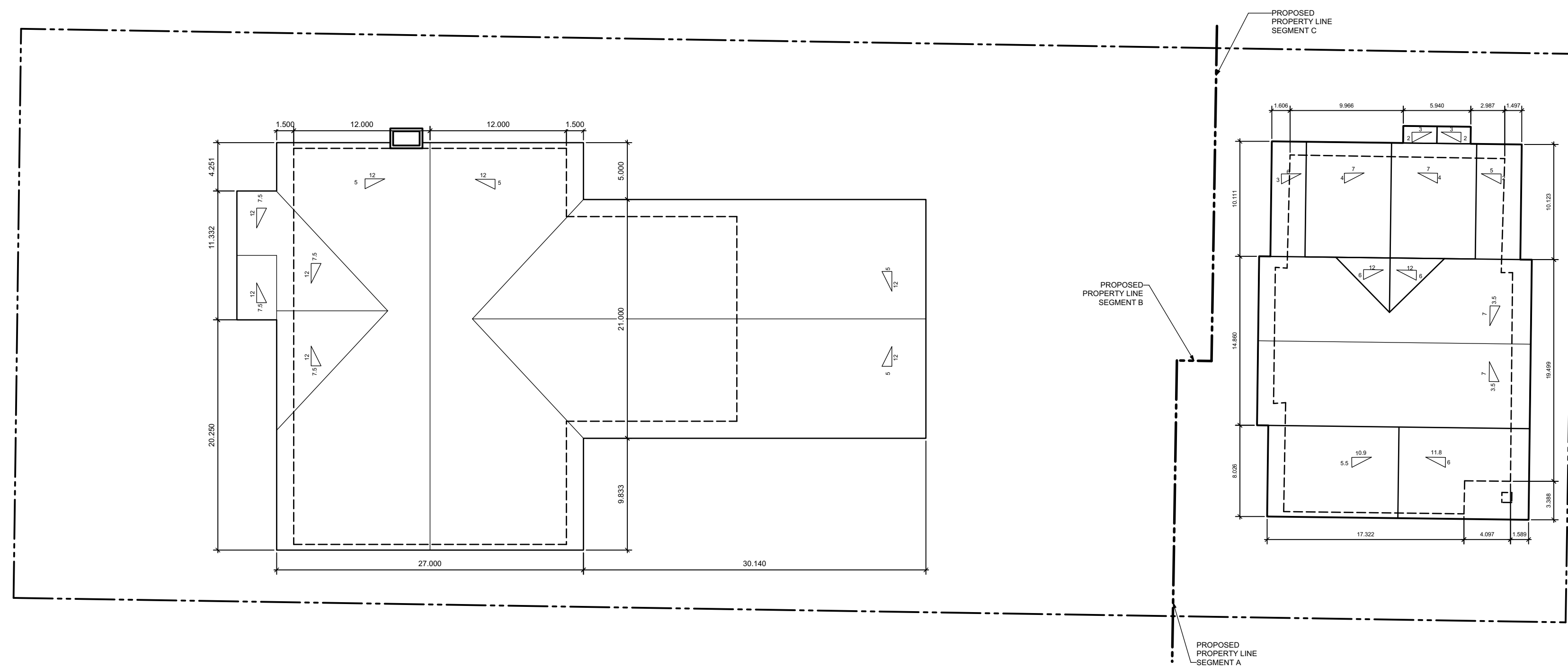


1 LEVEL 2 PLAN
Scale 1/8"=1'

NO CHANGES TO PRINCIPAL AND INFILL
HOUSE FLOOR AREA PROPOSED

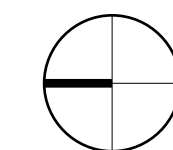


ISSUED FOR: STRATIFICATION APPLICATION	LEVEL 2 FLOOR PLAN				SCALE: 1/8" = 1'-0"
	SZUK RESIDENCE				DATE: NOV 04 2021
	309 EAST 4TH STREET				DR: SH
REV		REV		REV	A1.02



1 ROOF PLAN
Scale 1/8"=1'

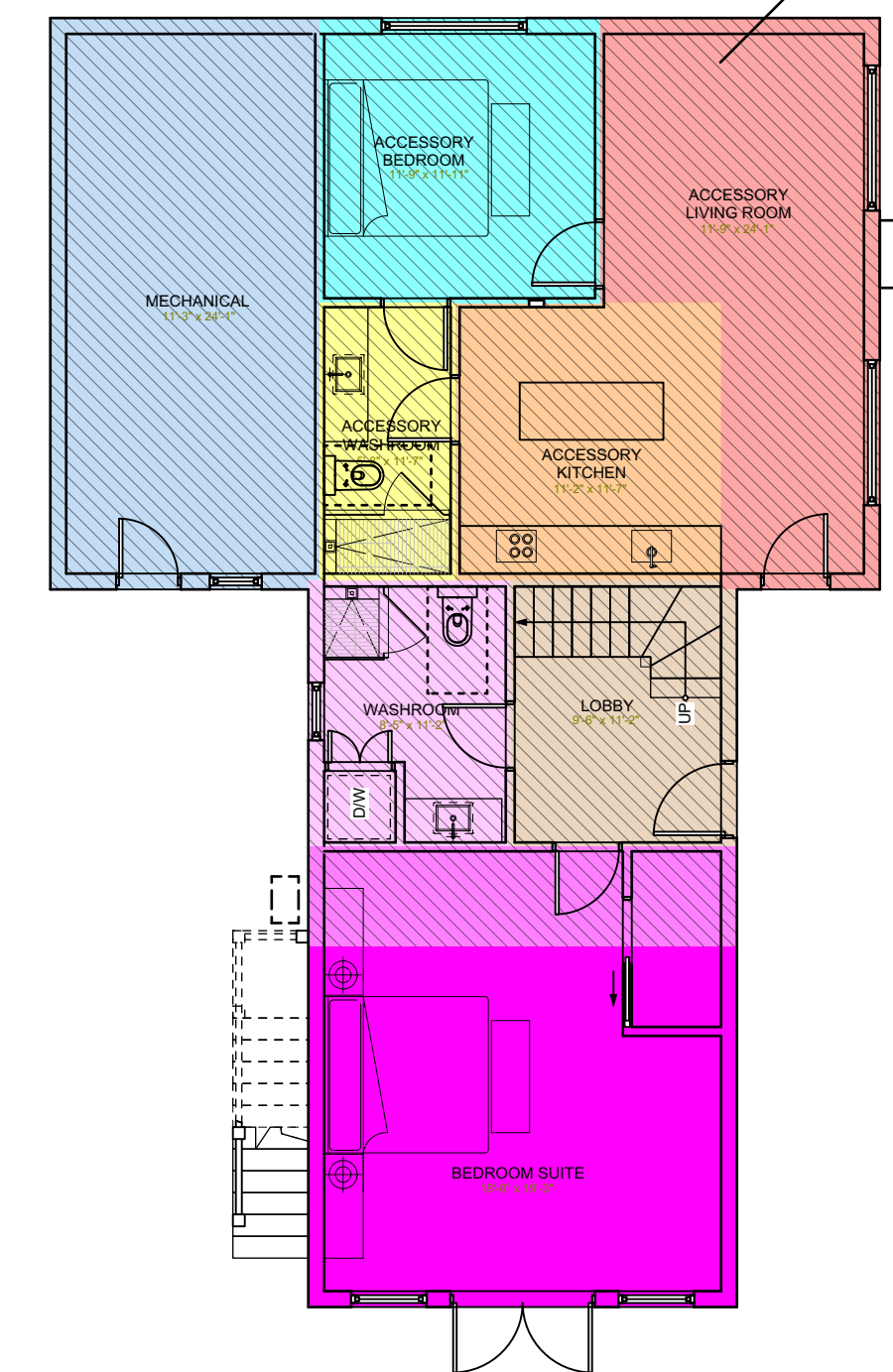
NO CHANGES TO PRINCIPAL AND INFILL
HOUSE FLOOR AREA PROPOSED



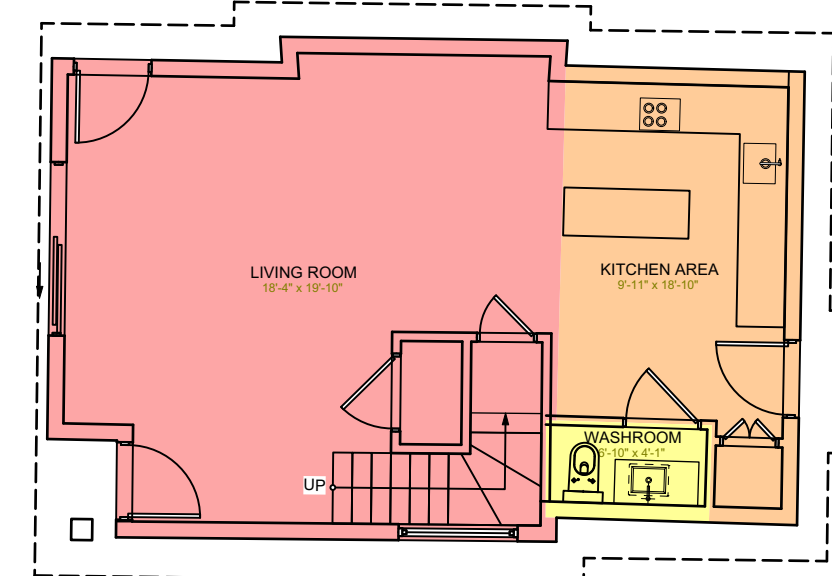
ISSUED FOR: STRATIFICATION APPLICATION	ROOF PLAN		SCALE: 1/8" = 1'-0"
	SZUK RESIDENCE 509 EAST 4TH STREET		DATE: NOV 04 2021
	REV	REV	DR: SH
			A1.03

LOT #1

DAHSED HASH AREAS
COUNTED AS BASEMENT AREA
GFA EXCLUSION
zoning bylaw 1995 No.6700

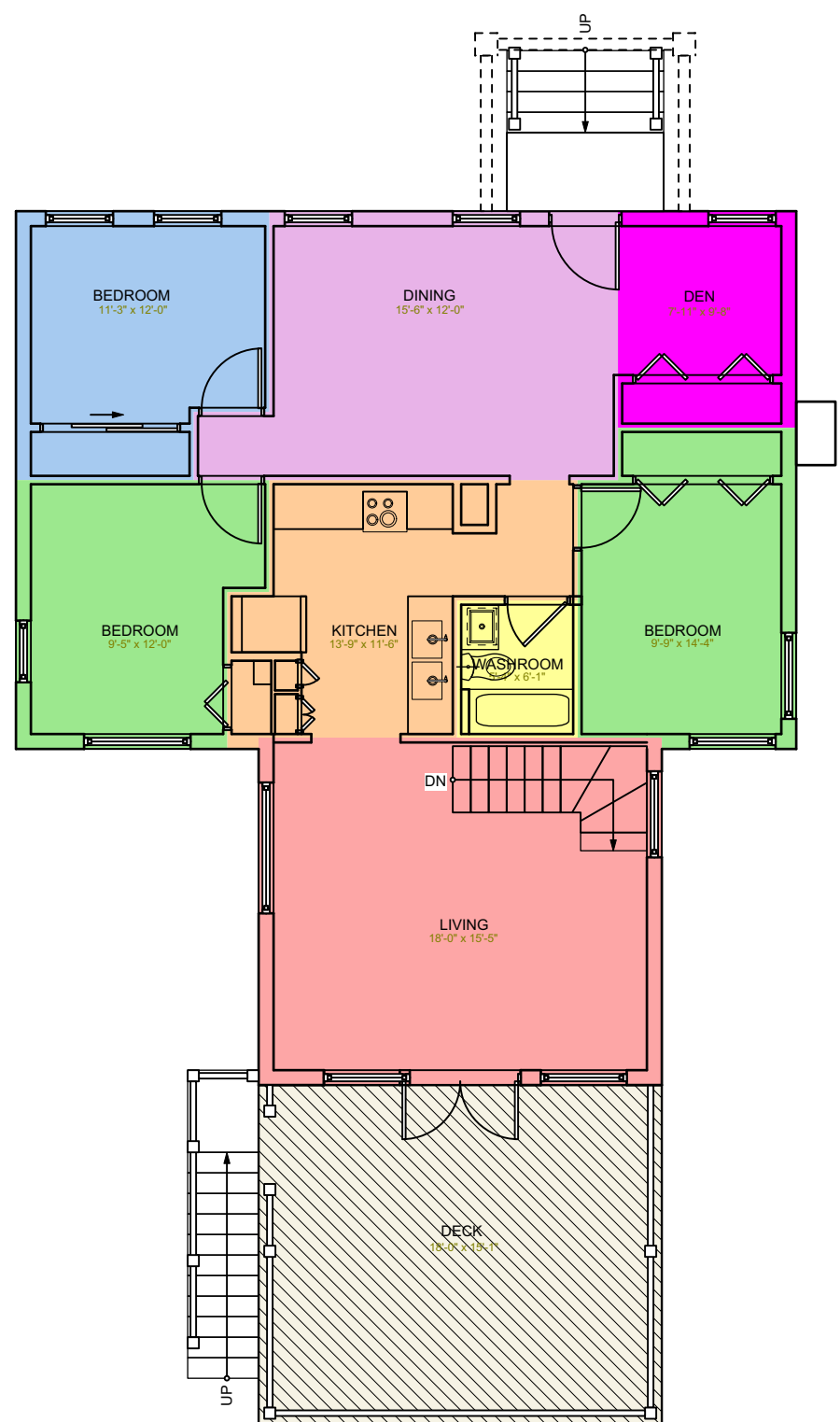


LOT #2

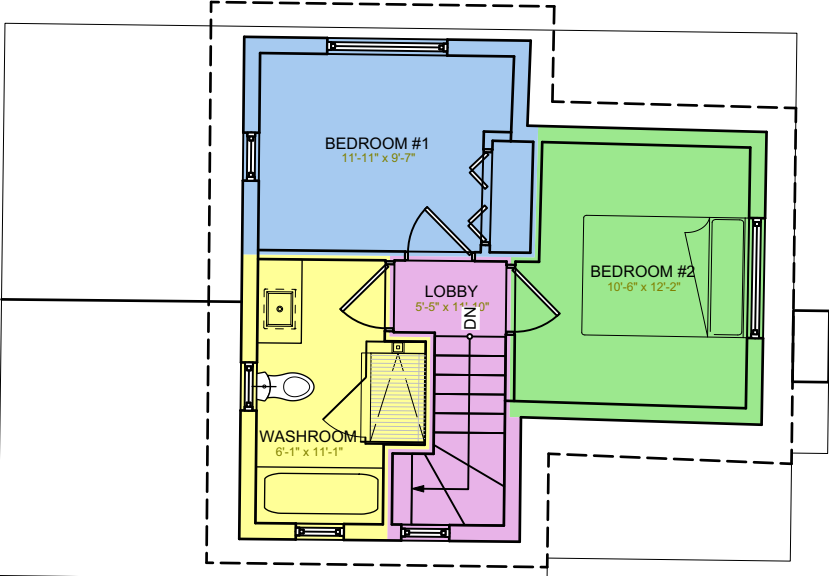


1 LOT 1 LEVEL 1 and LOT 2 LEVEL 1
Scale 1/8"=1'

LOT #1



LOT #2



1 LOT 1 LEVEL 2 AND LOT 2 LEVEL 2
Scale 1/8"=1'

GROSS FLOOR AREA CALCULATIONS*

Principle House LOT #1 (Liable Areas)

1st Floor
Part of Bedroom Suite 272.5 sqft
Total L1: 272.5 sqft

2nd Floor
Bedroom #1 125.4 sqft
Bedroom #2 122.6 sqft
Bedroom #3 134.0 sqft
Dining Area 197.0 sqft
Den 76.9 sqft
Kitchen 138.2 sqft
Living Room 278.6 sqft
Washroom 33.0 sqft
Total L2: 1,105.7 sqft

Infill House LOT #2 (Liable Areas)

1st Floor
Kitchen Area 162.2 sqft
Living Area 423.0 sqft
Washroom 34.8 sqft
Total L1: 613.0 sqft

2nd Floor
Bedroom #1 109.4 sqft
Bedroom #2 122.8 sqft
Washroom 81.0 sqft
Lobby 58.8 sqft
Total L2: 372.0 sqft

Principle House LOT #1 (Exemptions Areas)

1st Floor (Basement Area - Zoning bylaw 1996 No.6700)
Accessory Bedroom 140.5 sqft
Accessory Living Room 221.1 sqft
Accessory Washroom 66.2 sqft
Accessory Kitchen Area 130.0 sqft
Total ACCESSORY SUITE: 557.8 sqft

Mechanical Room 271.3 sqft
Lobby 106.4 sqft
Washroom 95.0 sqft
Part of Bedroom Suite 75.3 sqft
Total L1 EXEMPTION AREAS (including Accessory suite): 1105.8 sqft

2nd Floor
Deck 272.5 sqft
Total L2 EXEMPTION AREAS: 272.5 sqft
Total EXEMPTION AREAS: 1,378.3 sqft

GROSS FLOOR AREA	PERMITTED sqft	PRINCIPLE HOUSE sqft	INFILL HOUSE sqft	INFILL HOUSE sqft
LEVEL 1	-	272.5	620.0	557.8
LEVEL 2	-	1105.7	372.0	-
TOTAL GROSS FLOOR AREA	6838 x 0.35 + 1000 = 3393.3	1378.2	992.0	557.8
			2370.2	

*Calculations includes internal walls.

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

GROSS FLOOR AREA CALCULTIONS		SCALE 1/4" = 1'-0"
SZUK RESIDENCE		DATE NOV 04 2021
609 EAST 4TH STREET		DR: WW
ISSUED FOR STRATIFICATION APPLICATION	REV	A1.04



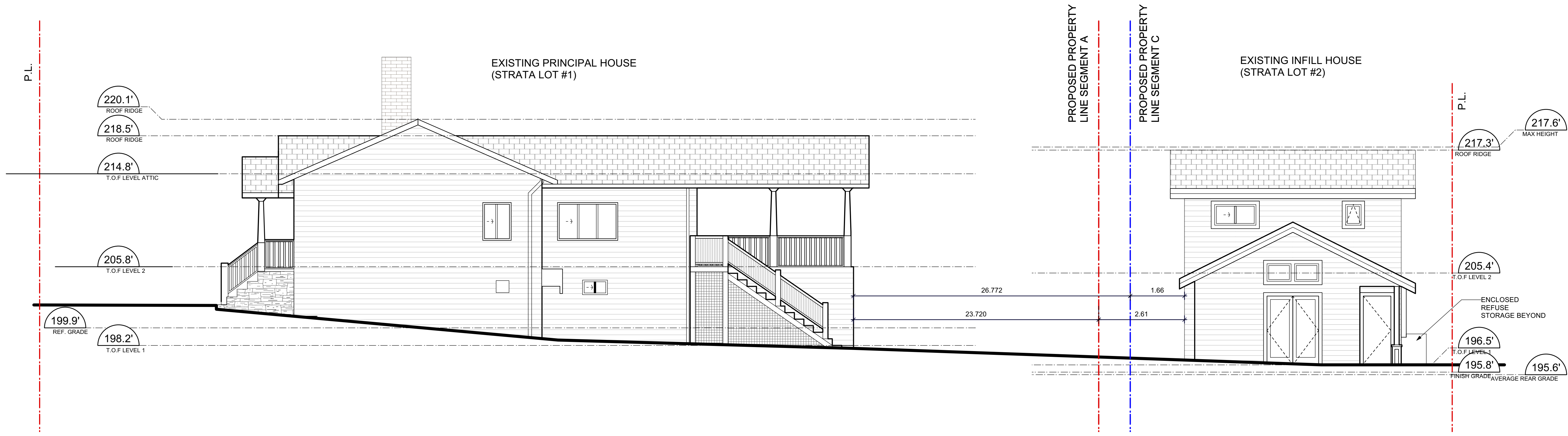
1 View from E 4th Street



1 View from Backlane

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

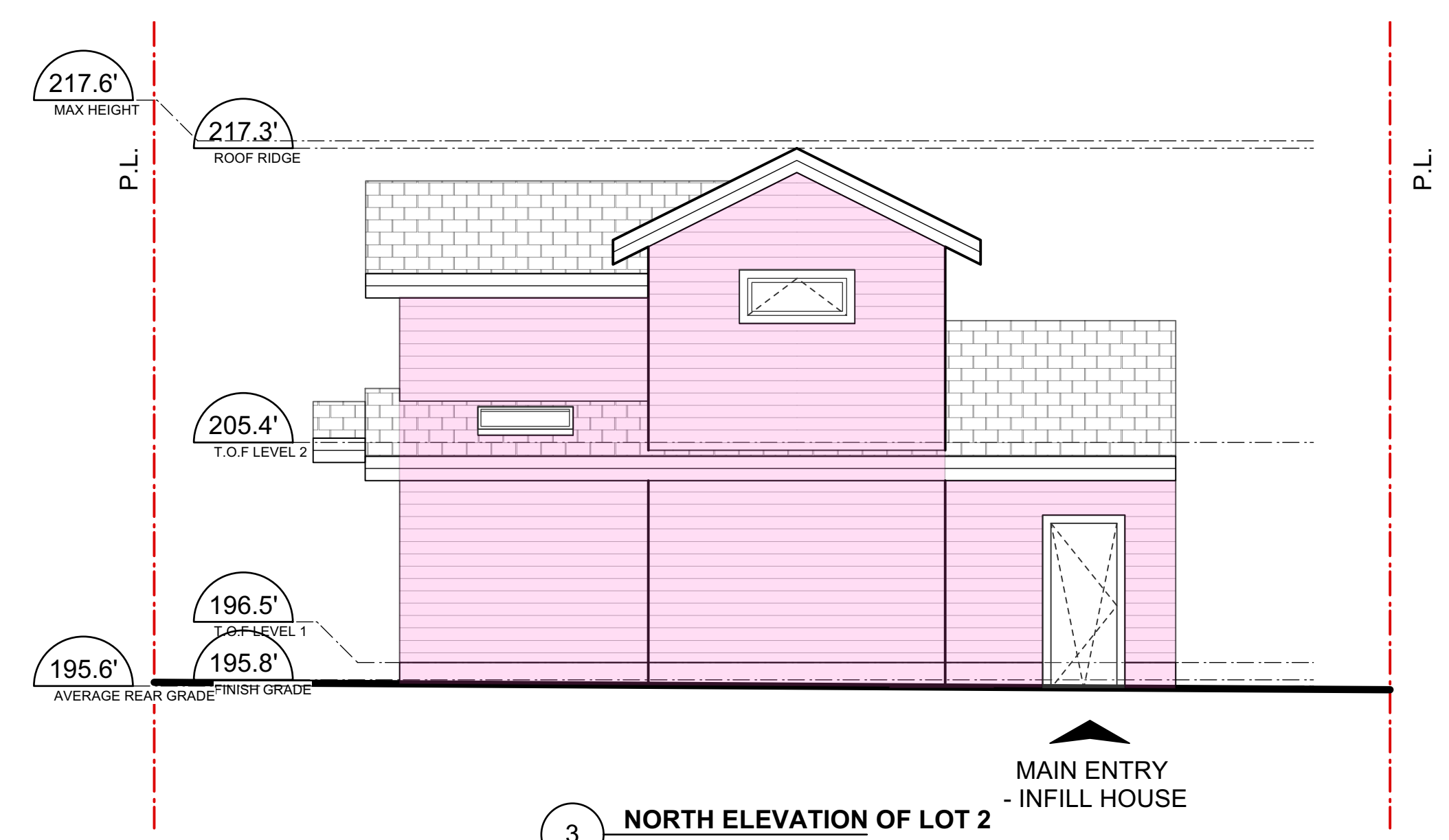
ISSUED FOR STRATIFICATION APPLICATION	COLOURED ELEVATIONS			SCALE: 3/16" = 1'-0"
	SZUK RESIDENCE 633 EAST 4TH STREET			DATE: NOV 04 2021 DR: WW
REV	REV	REV	REV	A2.01



3 WEST ELEVATION
Scale 3/16"=1'



3 SOUTH ELEVATION OF LOT 1
Scale 3/16"=1'



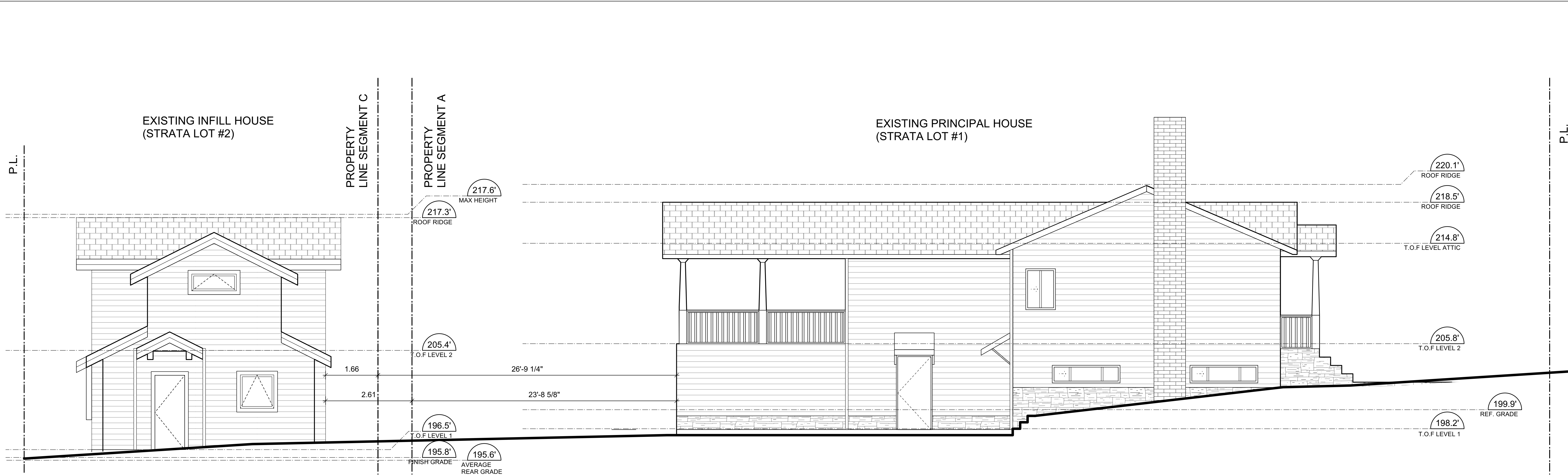
3 NORTH ELEVATION OF LOT 2
Scale 3/16"=1'

ELEVATION	BUILDING	SOLID WALLS (m ²)	UNPROTECTED OPENINGS (m ²)	TOTAL AREA (m ²)	LIMITED DISTANCE* (m)	Maximum Aggregate Area of Unprotected Openings, % of Exposed Building Face Area		
						Ratio (L/H)	Allowed (%)	Proposed (%)
South	Principal	36.66	19.04	55.7	Segment A: 7.230	less than 3:1	62.0%	34%
					Segment C: 8.16		81.0%	
North	Coach	39.88	3.51	43.39	Segment A: 2.61	less than 3:1	10.0%	8%
					Segment C: 1.66		8.0%	

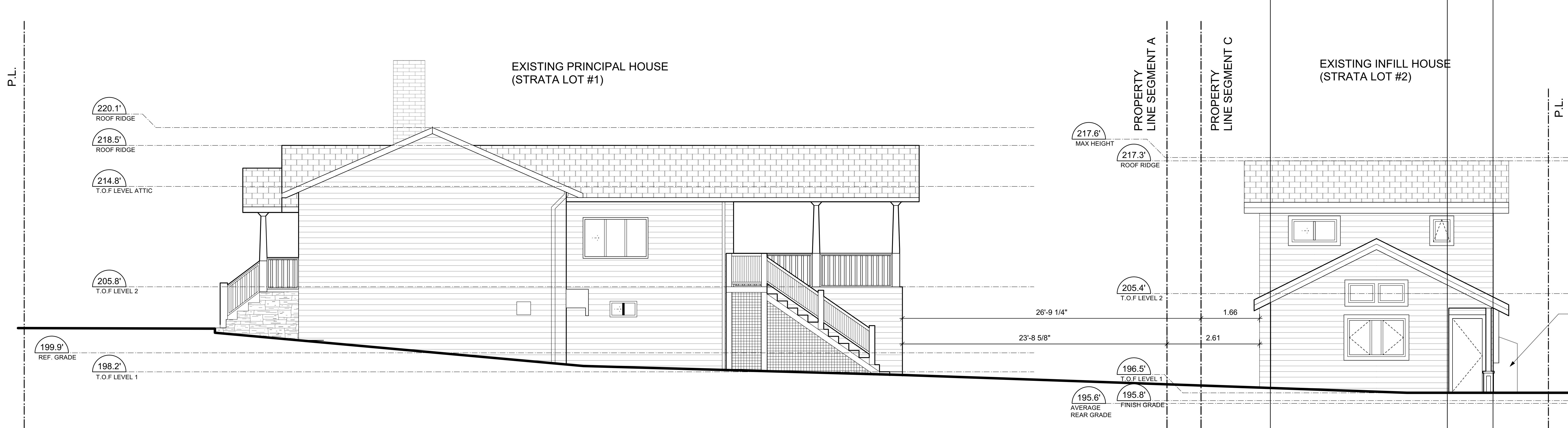
*Refer to the sheet A0.01 Site Plan for the location of Proposed Property Line Segment A and C

NO CHANGES TO PRINCIPAL AND INFILL HOUSE FLOOR AREA PROPOSED

LIMITING DISTANCE CALCULATIONS		SCALE: 3/16" = 1'-0"
		DATE: NOV 04 2021
SZUK RESIDENCE 609 EAST 4TH STREET		DR: WW
		ISSUED FOR: STRATIFICATION APPLICATION
REV: []	REV: []	A2.02



1 EAST ELEVATION
Scale 1/4"=1'



2 WEST ELEVATION
Scale 1/4"=1'

ELEVATION - INTERIORS		SCALE 1/4" = 1'-0"
SZUK RESIDENCE		DATE JUNE 10 2022
609 EAST 4TH STREET		DR. SH
ISSUED FOR SZUK RENOVATION	REV	REV
		A2.03