



Westview Elementary School



CONTEXT PLAN LEGEND

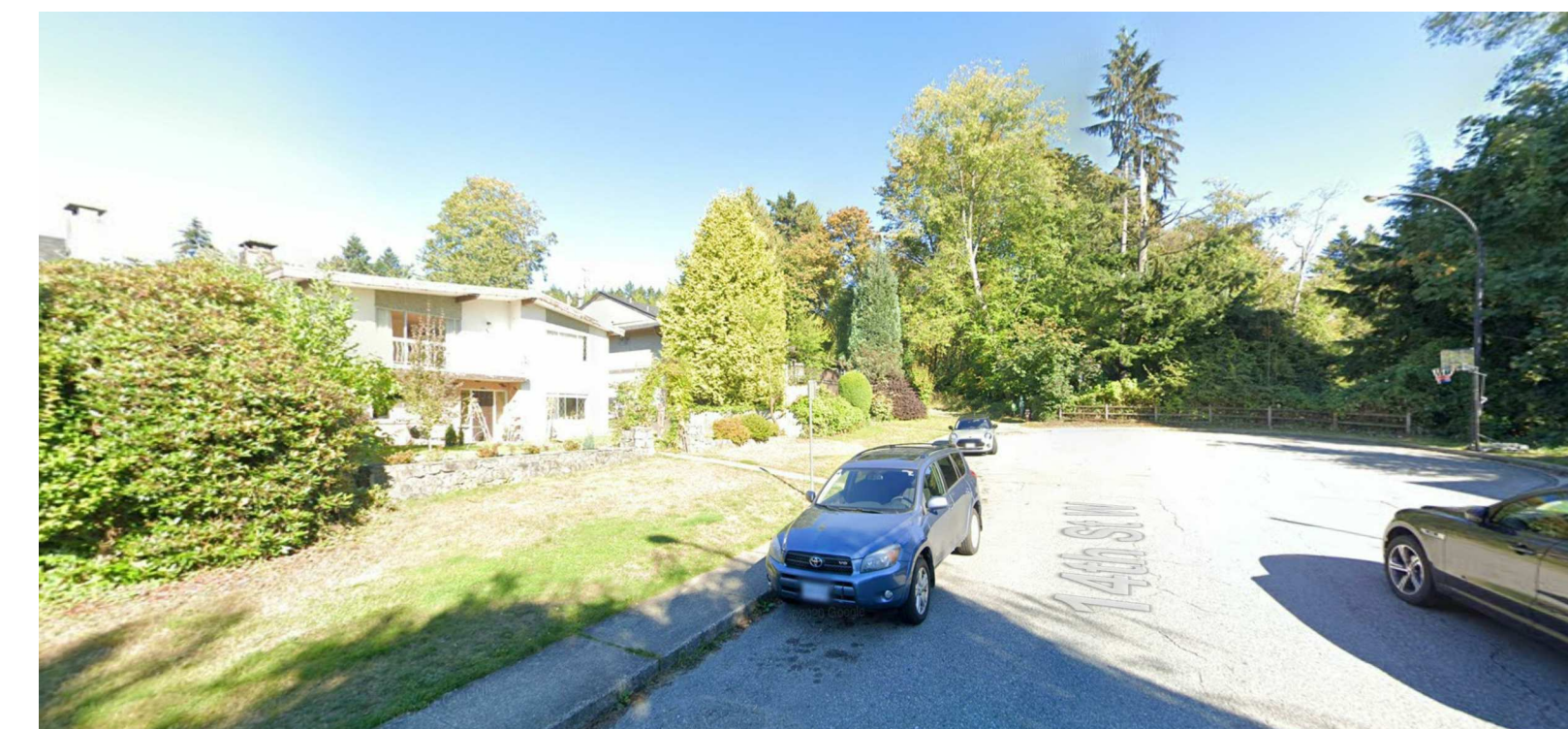
- 648 Subject Project  
49.88' x 139.77'
- Lane Access
- W 14TH ST. & W15TH ST
- BEWICKE AVE.
- MARINE DRIVE
- Park



LANE VIEW



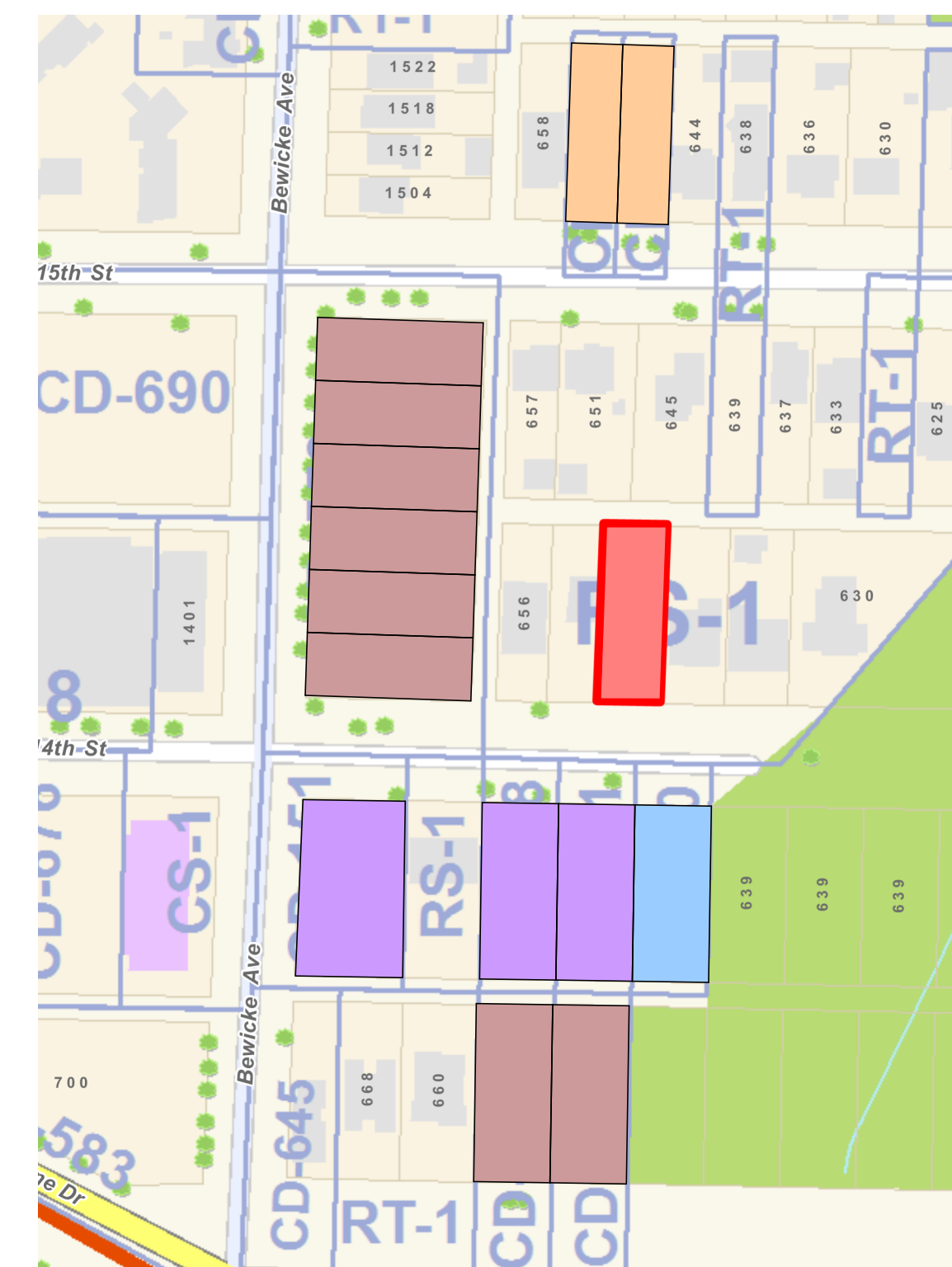
WEST 14TH ST. VIEW



WEST 14TH ST. CUL-DE-SAC VIEW

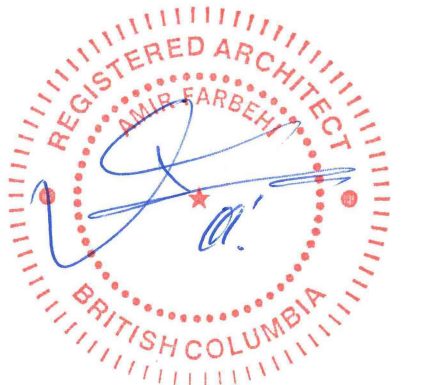


WEST 14TH ST. VIEW



ZONING LEGEND

- Subject Project
- Duplex Development
- Triplex Development
- Fourplex Development
- 5-Dwelling Unit Development



3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
2	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
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CONSULTANT	
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PROJECT	
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WEST 14TH TRIPLEX

648 WEST 14TH ST., NORTH VANCOUVER

DRAWING TITLE	
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CONTEXT PLAN

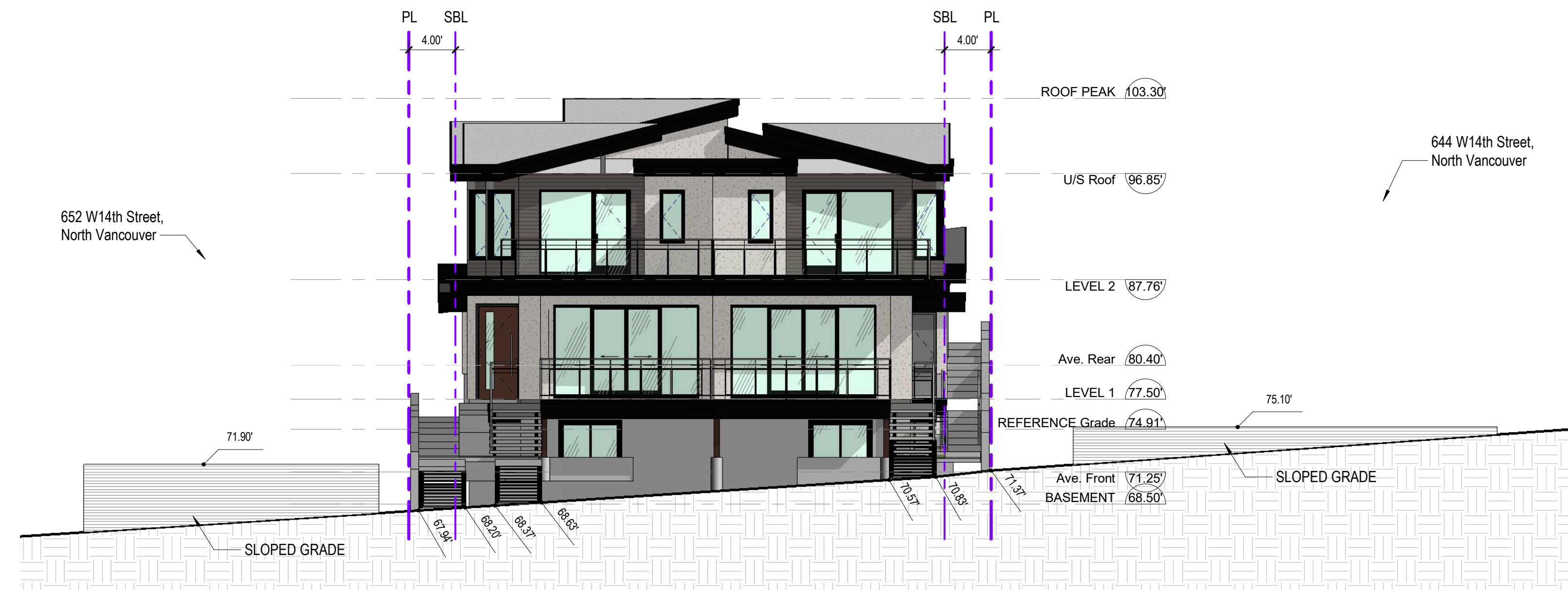
DRAWING ISSUE	
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ISSUED FOR DETAIL REZONING APPLICATION

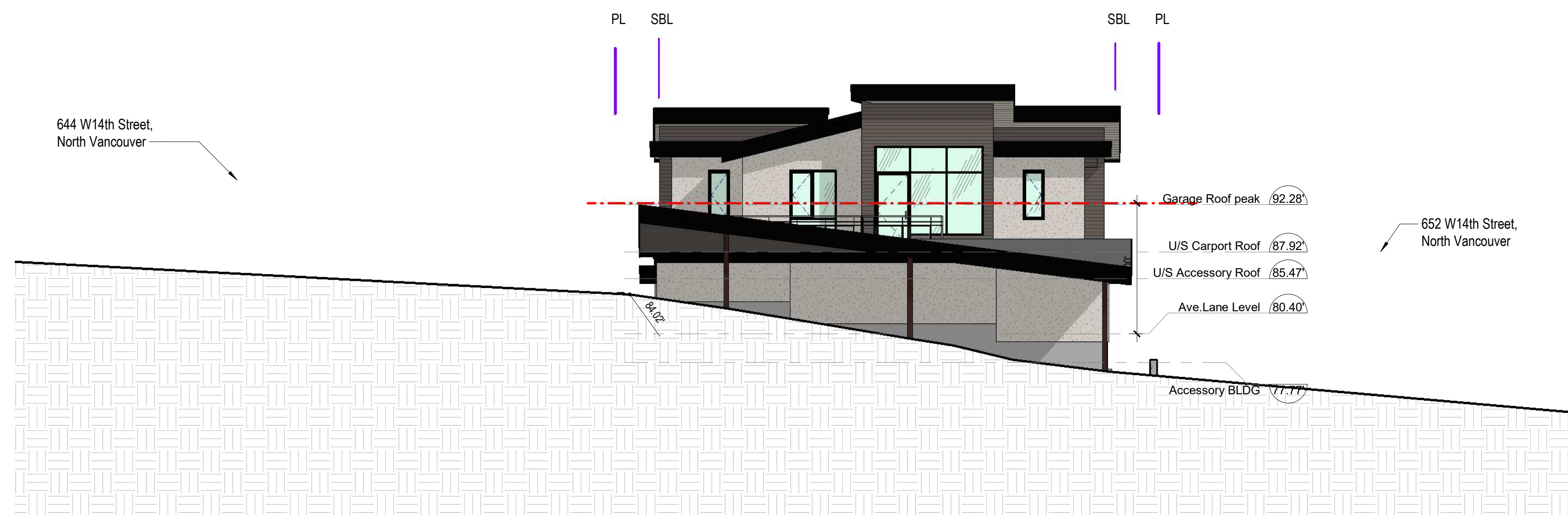
PROJECT NO.	21248	PLOT DATE	FEB. 20, 2023	DRAWN	MT
		SCALE	1/64" = 1'-0"	REVIEWED	AF
DRAWING NO.	A02			REVISION	3

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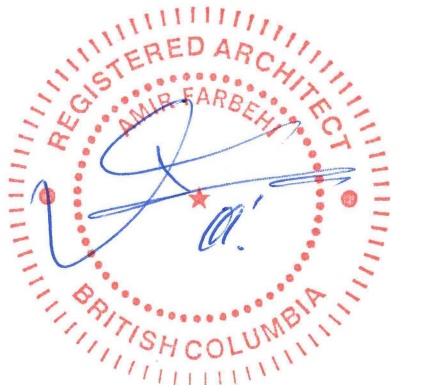
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① SOUTH ELEVATION C/W ADJACENT CONTEXT  
1/8" = 1'-0"



② Garage-North Elevation C/W ADJACENT CONTEXT  
1/8" = 1'-0"



2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE  
**CONTEXT ELEVATIONS**

DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	Author
21248	FEB. 20, 2023	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	
<b>A03</b>	1/8" = 1'-0"	2	







**SITE PLAN LEGEND**

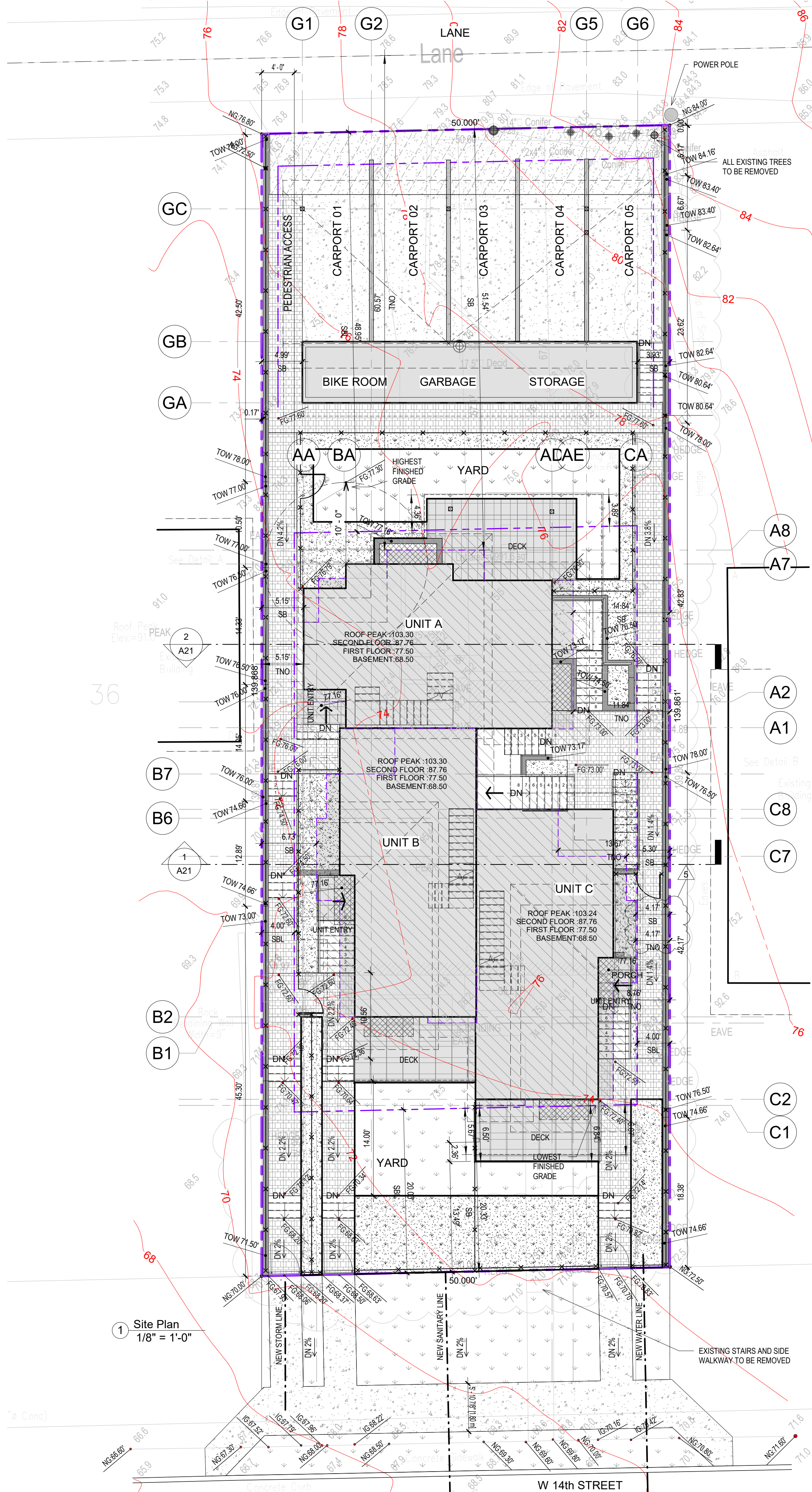
	LAWN
	GARDEN
	CONCRETE PAVER
	PAVERS ON PADSTALL
	CONCRETE SLAB
	ASPHALT
	PEA GRAVEL
	BUILDING FOOTPRINT
	EXTENT OF UPPER ROOF
	LIGHTWELL
	CONCRETE WALL

**ABBREVIATION LEGEND**

Bottom of Wall	BOW
Carbon Monoxide detector	CO
Driveway Segment	DS
Electrical Fireplace	FP
Exhaust Fan	EF
Existing	EX
Fire Pit	FP
Floor Drain	FD
Gas Fireplace	GFP
High guard	HG
High Handrail	HH
Lot Width	LW
Lower Window Head	LWH
Property Line	PL
Proposed	PR
Ramp Segment	RS
Roof Drain	RD
Setback	SB
Setback line	SBL
Slope down	SDW
Slope up	SUP
Smoke Alarm	SA
To Cladding	TCLD
To Foundation	TFND
To Nearest opening	TNO
To Road Center line	TRCL
Top of	TO
Top of Slab	TOS
Top of Wall	TOP
Trench Drain	TD
Under Side of	U/S
Upper Window Head	UWH

**SITE PLAN LINE TYPES**

PROPERTY LINE	--- --
SETBACK LINE	--- --
BLDG FOOTPRINT	— —
BLDG LEVEL 1 OUTLINE	--- --
BLDG LEVEL 2 OUTLINE	--- --
UPPER ROOF OUTLINE	--- --
LOWER ROOF OVERHANG OUTLINE	--- --
CLADDING OUTLINE	--- --
TREE PROTECTION ZONE	--- --
BLDG SERVICES	--- --



1 Site Plan  
1/8" = 1'-0"

PROJECT ANALYSIS						
CIVIC ADDRESS:	648 WEST 14TH STREET, NORTH VANCOUVER					
LEGAL DESCRIPTION:	LOT: Lot E; Block 44; DL: 271; Plan: 12953					
ZONE:	RS-1, Rezoning To CD					
LOT AREA:	649.54	m <sup>2</sup>	6,991.60	ft <sup>2</sup>		
LOT WIDTH:				30.473	m	
DENSITY RATIO:	0.5					
BUILDING ANALYSIS	ALLOWED		PROPOSED		COMMENTS	
	Metric	Imperial	Metric	Imperial	BALANCE	
FLOOR SPACE RATIO	324.77	m <sup>2</sup>	3,495.80	ft <sup>2</sup>	324.14	m <sup>2</sup>
FIRST FLOOR AREA	---	m <sup>2</sup>	---	ft <sup>2</sup>	155.53	m <sup>2</sup>
SECOND FLOOR AREA	---	m <sup>2</sup>	---	ft <sup>2</sup>	168.61	m <sup>2</sup>
BELOW GRADE FLOOR AREA	---	m <sup>2</sup>	---	ft <sup>2</sup>	155.54	m <sup>2</sup>
TOTAL LIVING SPACE	---	m <sup>2</sup>	---	ft <sup>2</sup>	479.67	m <sup>2</sup>
STORAGE	---	m <sup>2</sup>	---	ft <sup>2</sup>	10.96	m <sup>2</sup>
BIKE ROOM	---	m <sup>2</sup>	---	ft <sup>2</sup>	10.21	m <sup>2</sup>
GARBAGE	---	m <sup>2</sup>	---	ft <sup>2</sup>	7.64	m <sup>2</sup>
TOTAL OTHER EXEMPTIONS	---	m <sup>2</sup>	---	ft <sup>2</sup>	28.80	m <sup>2</sup>
PRINCIPAL BUILDING COVERAGE	---	m <sup>2</sup>	---	ft <sup>2</sup>	35.92%	
LOT COVERAGE	---	m <sup>2</sup>	---	ft <sup>2</sup>	48.68%	

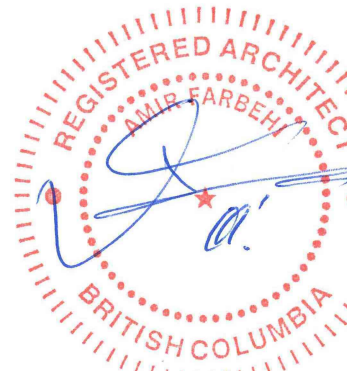
RECYCLING AND GARBAGE STORAGE CALCULATION					
BUILDING USE	REQUIRED			PROVIDED	
	SPACE REQUIREMENTS	MIN.	UNIT	SPACE	UNIT
MULTIPLE UNIT RESIDENTIAL (≥ 3 UNITS)	0.486 m <sup>2</sup> per unit (5x0.486=2.43)	11	m <sup>2</sup>	6.1	m <sup>2</sup>

RECYCLING AND GARBAGE STORAGE (NUMBER OF CONTAINERS)											
BUILDING USE	GARBAGE (3 yd <sup>3</sup> )	GARBAGE (2 yd <sup>3</sup> )*	NEW PRINT (360L)	MIXED PAPER (360L)	MIXED CONTAINER S (360L)	CARDBOARD	FOOD SCRAPS (240L)	REQ.		PRO.	
								REQ.	PRO.	REQ.	PRO.
DWELLING UNITS (4-9 UNITS)	1	1	N/A	-	1	1	1	1	1	1	1

BIKE CALCULATION					
DESCRIPTION	UNIT	REQUIRED		PROVIDED	
		LONG TERM	SHORT TERM	LONG TERM	SHORT TERM
RESIDENTIAL	5	1.5 per unit (5x1.5=7.5)	N/A	18	N/A

AREA OVERLAY-GROSS FLOOR AREA (SUITE SIZES)				
Level	Area	Gross Area Category	Area Category	Suite Number
LEVEL 1	310.03 ft <sup>2</sup>	Below Grade	EXCLUSION	Accessory
Accessory: 3	310.03 ft <sup>2</sup>			
BASEMENT	547.09 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT A
LEVEL 1	546.94 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 2	619.11 ft <sup>2</sup>	Above Grade	FSR	UNIT A
UNIT A: 15	1713.13 ft <sup>2</sup>			
BASEMENT	563.06 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT B
LEVEL 1	563.06 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 2	597.65 ft <sup>2</sup>	Above Grade	FSR	UNIT B
UNIT B: 14	1723.76 ft <sup>2</sup>			
BASEMENT	564.03 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT C
LEVEL 1	564.11 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 2	598.10 ft <sup>2</sup>	Above Grade	FSR	UNIT C
UNIT C: 14	1726.25 ft <sup>2</sup>			
Grand total: 46	5473.16 ft <sup>2</sup>			

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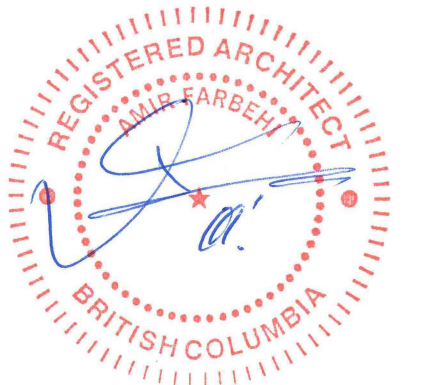


REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2023-03-31	REISSUED FOR DETAIL REZONING APPLICATION	AF
4	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
3	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
2	2022-11-21	ISSUED FOR COORDINATION	AF
1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE  
**SITE PLAN**  
DRAWING ISSUE  
**REISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	21248	PLOT DATE	FEB. 20, 2023	DRAWN	MT
DRAWING NO.	A05	SCALE	As indicated	REVIEWED	AF
				REVISION	5



2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT

WEST 14TH TRIPLEX

648 WEST 14TH ST, NORTH VANCOUVER

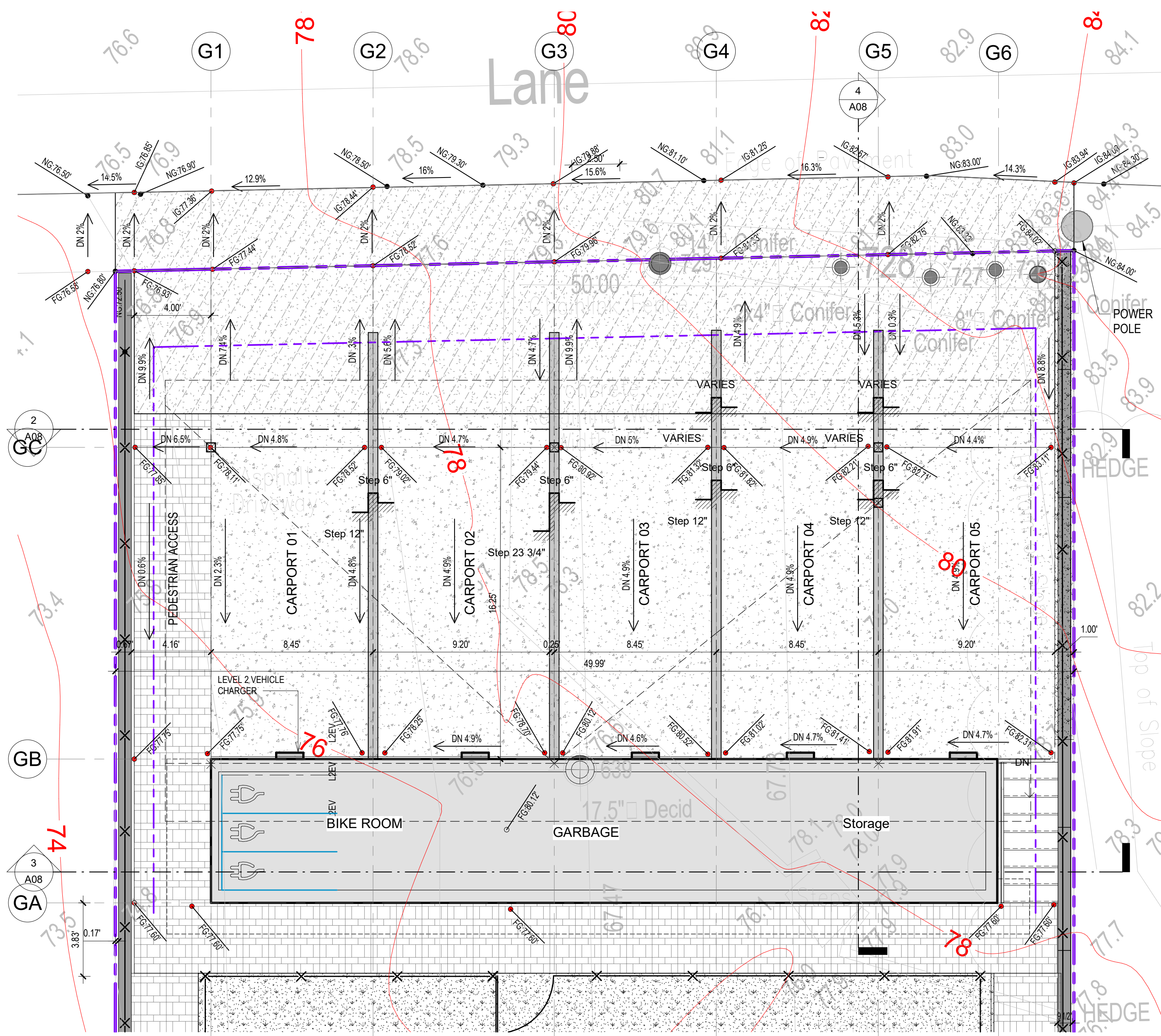
DRAWING TITLE

LOT COVERAGE

DRAWING ISSUE

ISSUED FOR DETAIL REZONING APPLICATION

PROJECT NO.	PLOT DATE	FEB. 20, 2023	DRAWN	Author
21248	SCALE	As indicated	REVIEWED	Checker
DRAWING NO.	A06		REVISION	2



2 Site Plan - ENLARGED PARKING LAYOUT  
1/4" = 1'-0"

SITE PLAN - LOT COVERAGE LEGEND

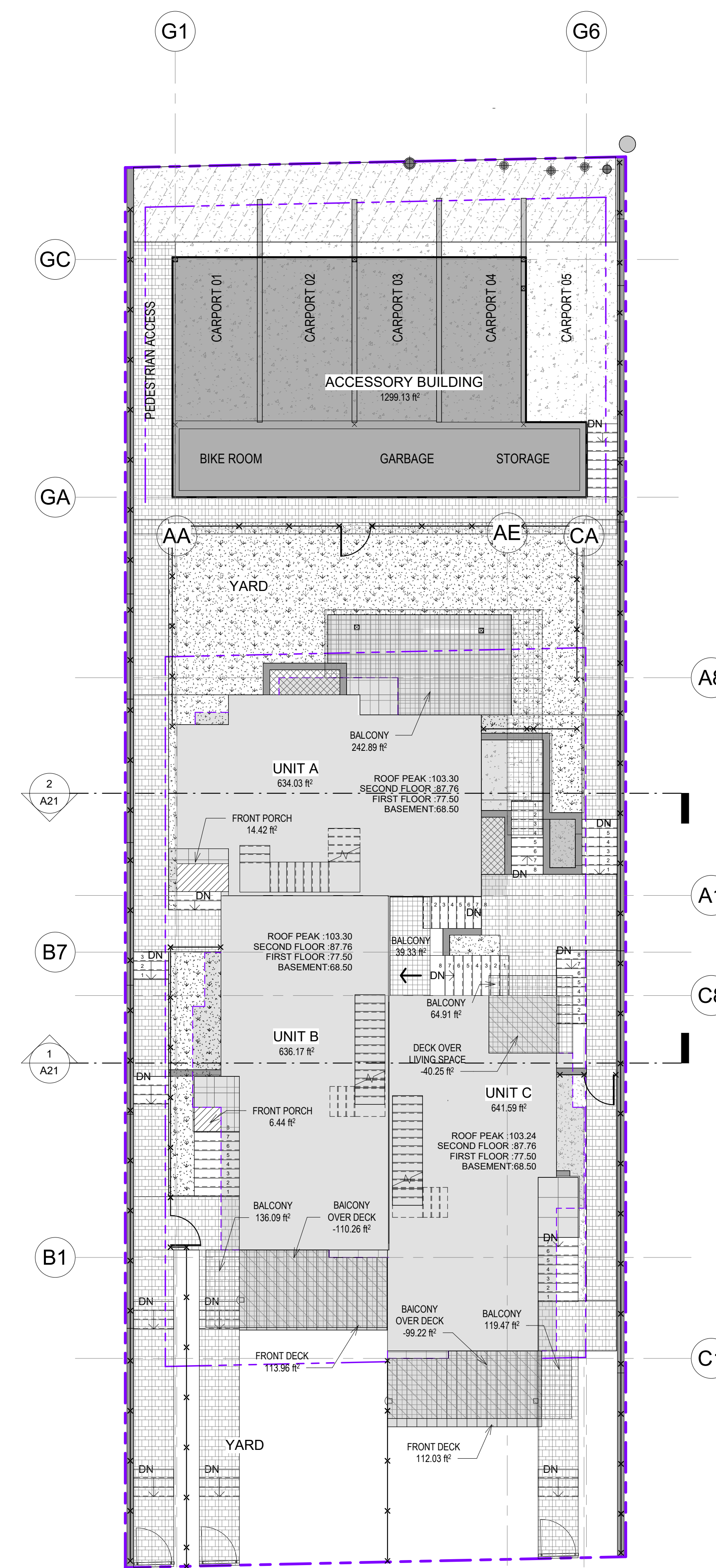
- LAWN
- GARDEN
- CONCRETE PAVER
- PAVERS ON PADSTALL
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- PRINCIPAL BUILDING
- ACCESSORY BUILDING
- FRONT & BACK DECK
- FRONT PORCH
- DECK OVER LINING SPACE
- LIGHTWELL
- BALCONY
- CONCRETE WALL

LOT COVERAGE AREA BREAKDOWN

Lot Area	6991.6			
	Allowed		Provided	
	%	Area ft <sup>2</sup>	%	Area ft <sup>2</sup>
Principal building lot coverage	-	-	35.92%	2,511.60
Combined Lot coverage	-	-	48.68%	3,403.34

Principal Building		AREA
Principal Building		1,911.79 ft <sup>2</sup>
Front Porch (Including slabs with 3' height above existing)		20.86 ft <sup>2</sup>
Back Deck (Including slabs with 3' height above existing)		0.00 ft <sup>2</sup>
Front Deck (Including slabs with 3' height above existing)		225.99 ft <sup>2</sup>
Balcony		602.69 ft <sup>2</sup>
Deck Over Living Space		-40.25 ft <sup>2</sup>
Second Floor Balcony Projections Over Deck & Porch		-209.48 ft <sup>2</sup>
Principal Building Total		2,511.60 ft <sup>2</sup>
Accessory Building		AREA
Accessory Building ( MAX 889.00 ft <sup>2</sup> )		891.74 ft <sup>2</sup>
Exclusions		AREA
GRAND TOTAL		3,403.34 ft <sup>2</sup>

Calculation Note:  
The provided lot coverage calculation excludes the access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

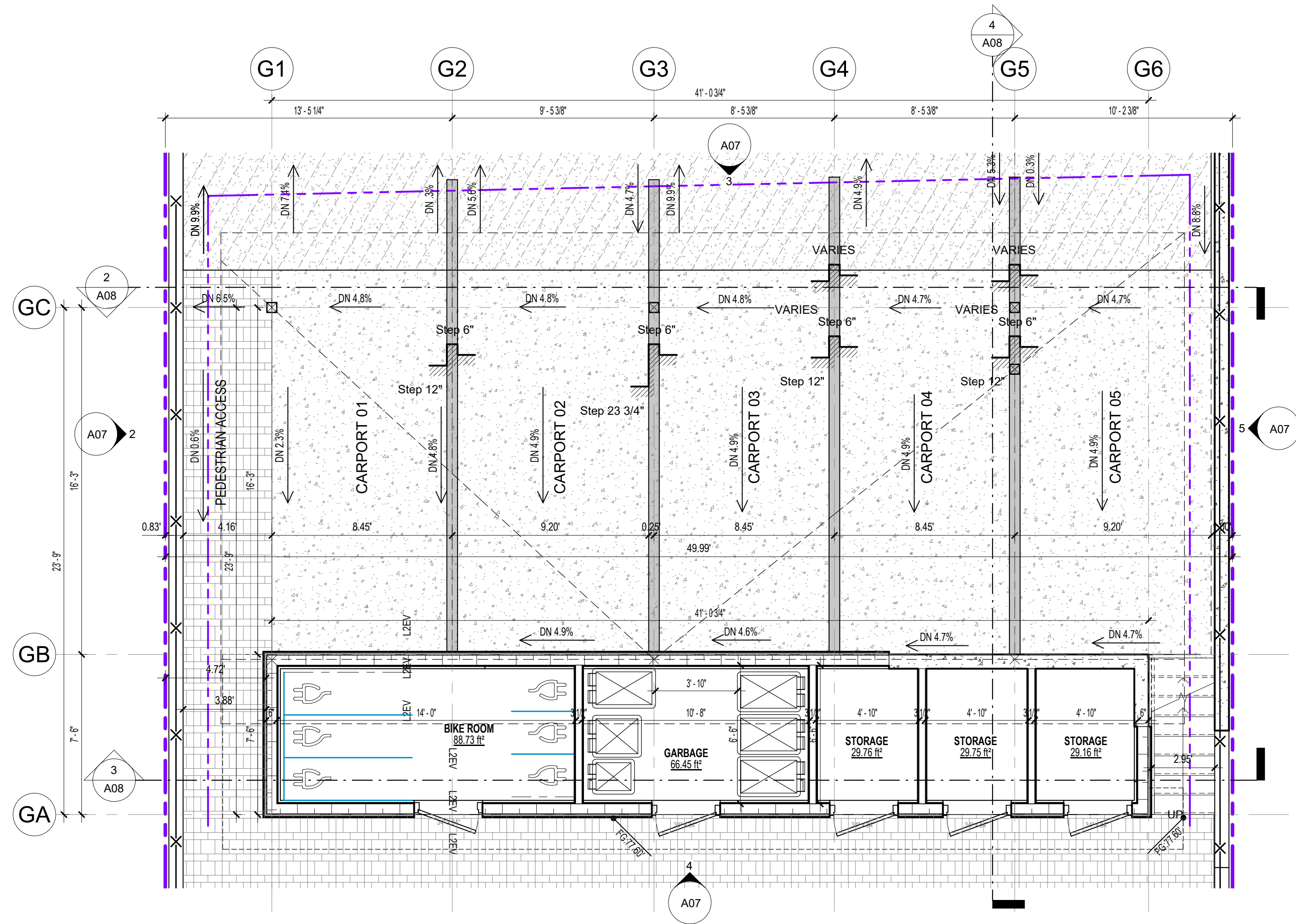
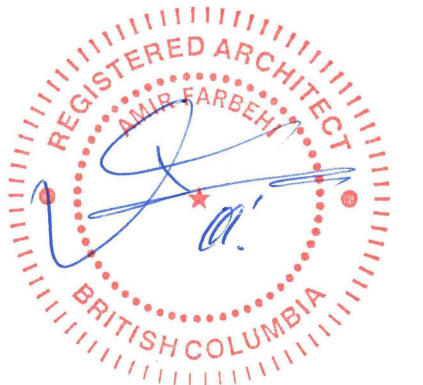


1 Site Plan - LOT COVERAGE  
1/8" = 1'-0"

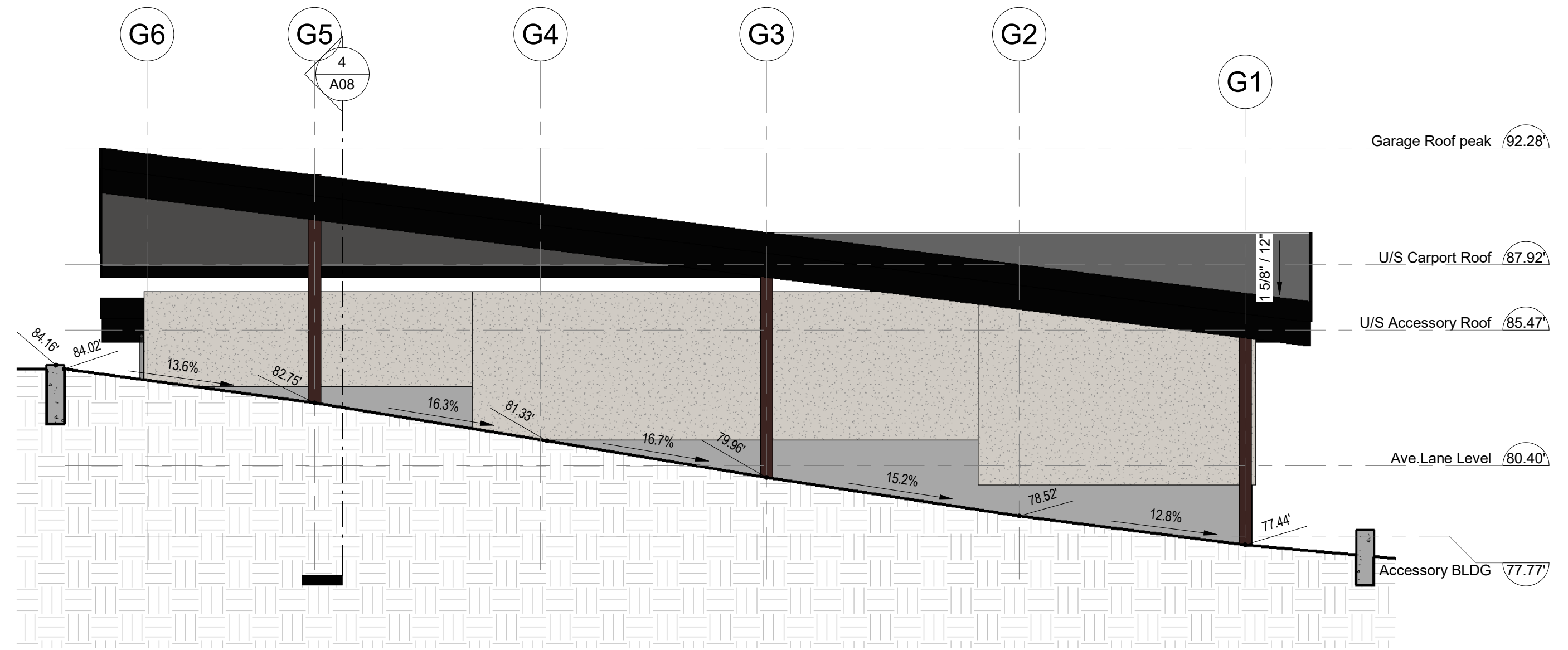
SITE PLAN LINE TYPES

- PROPERTY LINE
- SETBACK LINE
- BLDG FOOTPRINT
- BLDG LEVEL 1 OUTLINE
- BLDG LEVEL 2 OUTLINE
- UPPER ROOF OUTLINE
- LOWER ROOF OVERHANG OUTLINE
- CLADDING OUTLINE
- TREE PROTECTION ZONE
- BLDG SERVICES

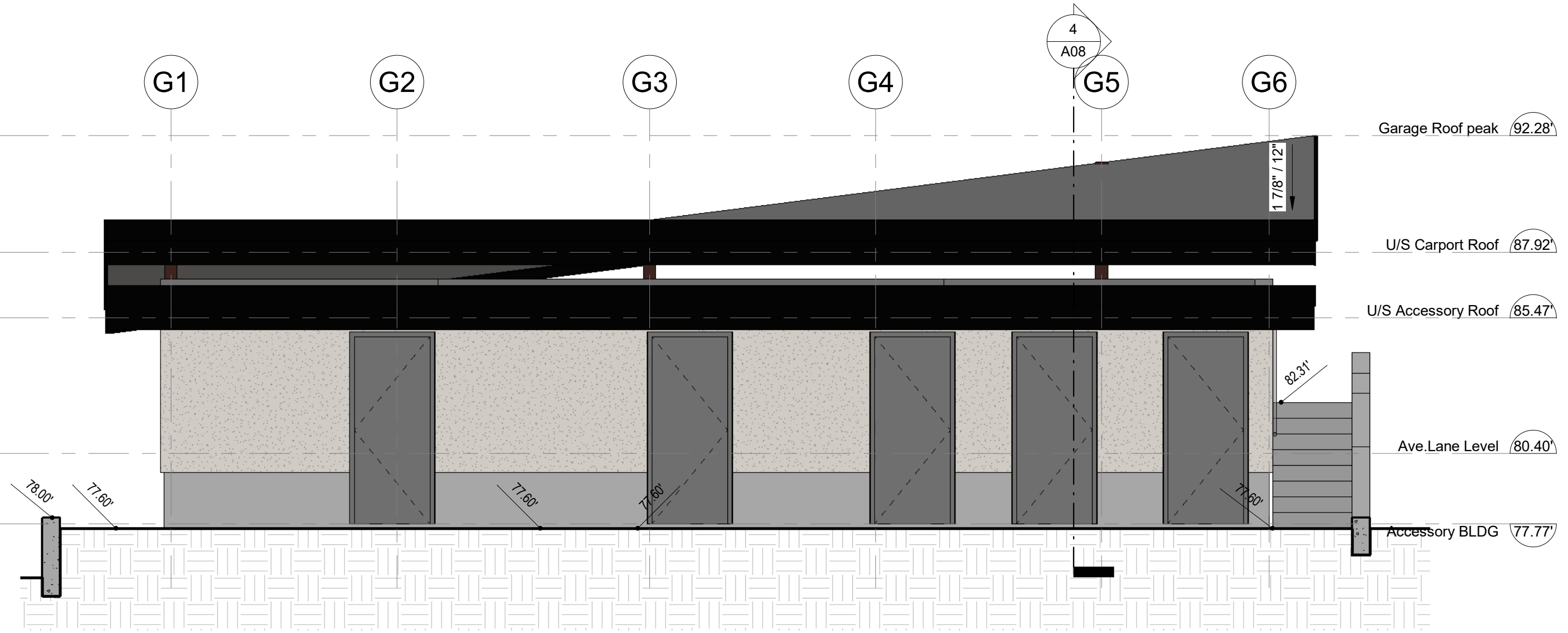




1 Accessory BLDG  
1/4" = 1'-0"



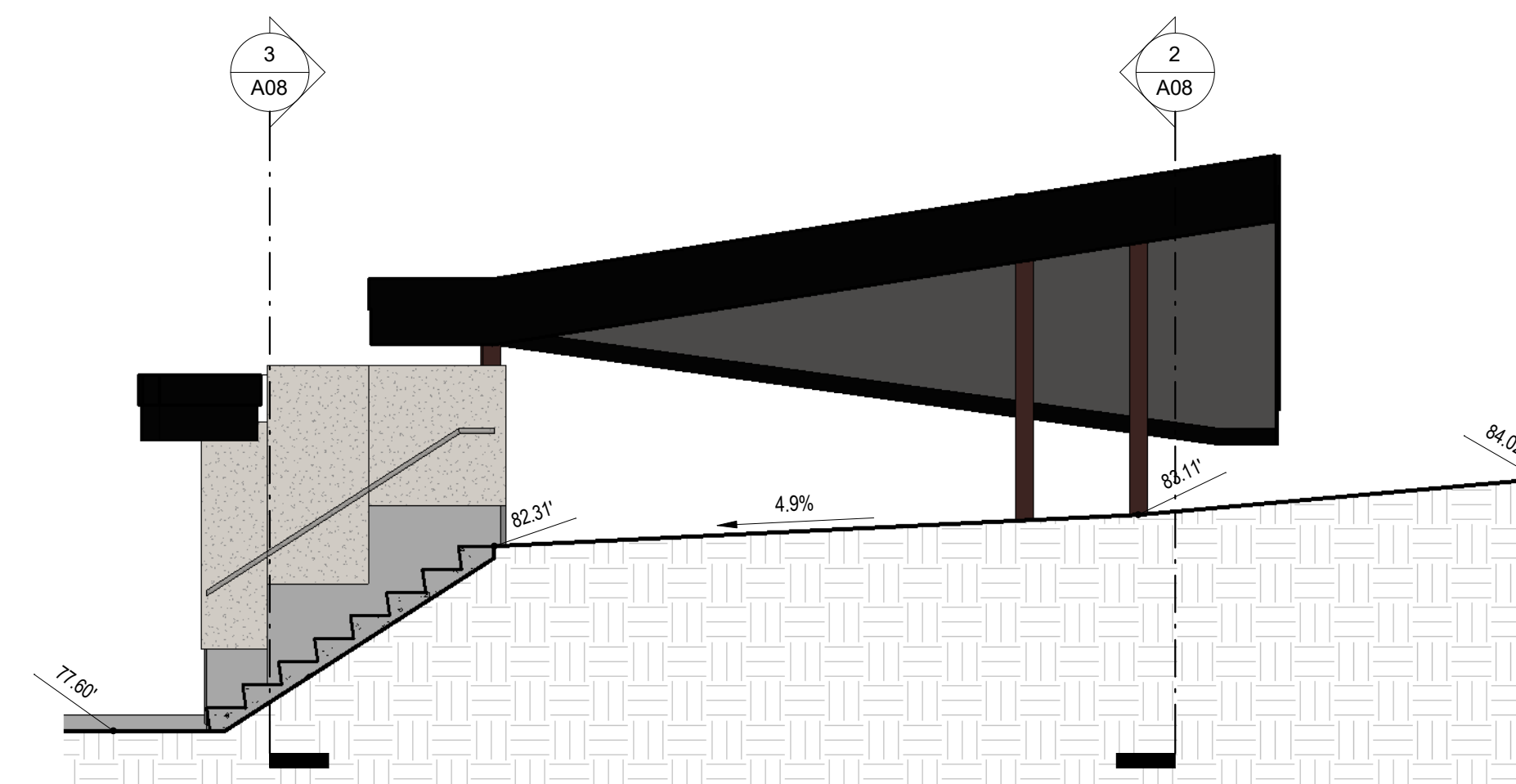
3 Garage-North Elevation  
1/4" = 1'-0"



4 Garage-South Elevation  
1/4" = 1'-0"



2 Garage-West Elevation  
1/4" = 1'-0"



5 Garage-East Elevation  
1/4" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
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1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

CONSULTANT

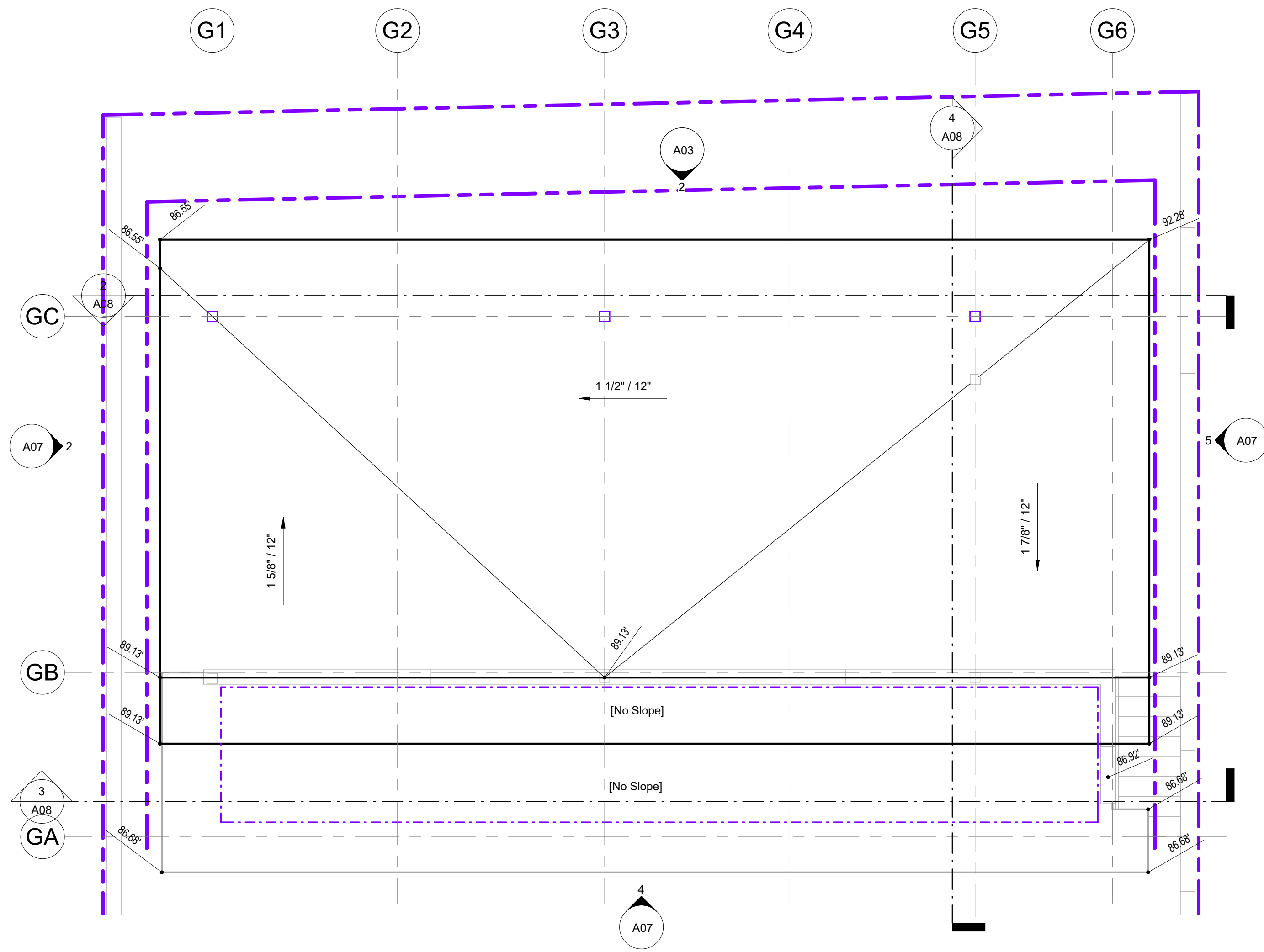
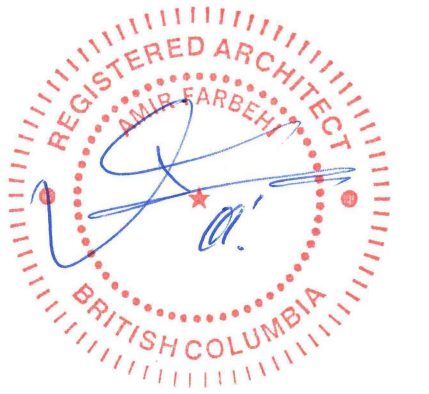
PROJECT
WEST 14TH TRIPLEX
648 WEST 14TH ST., NORTH VANCOUVER
DRAWING TITLE
ASSECCOR BUILDING

DRAWING ISSUE
ISSUED FOR DETAIL REZONING APPLICATION

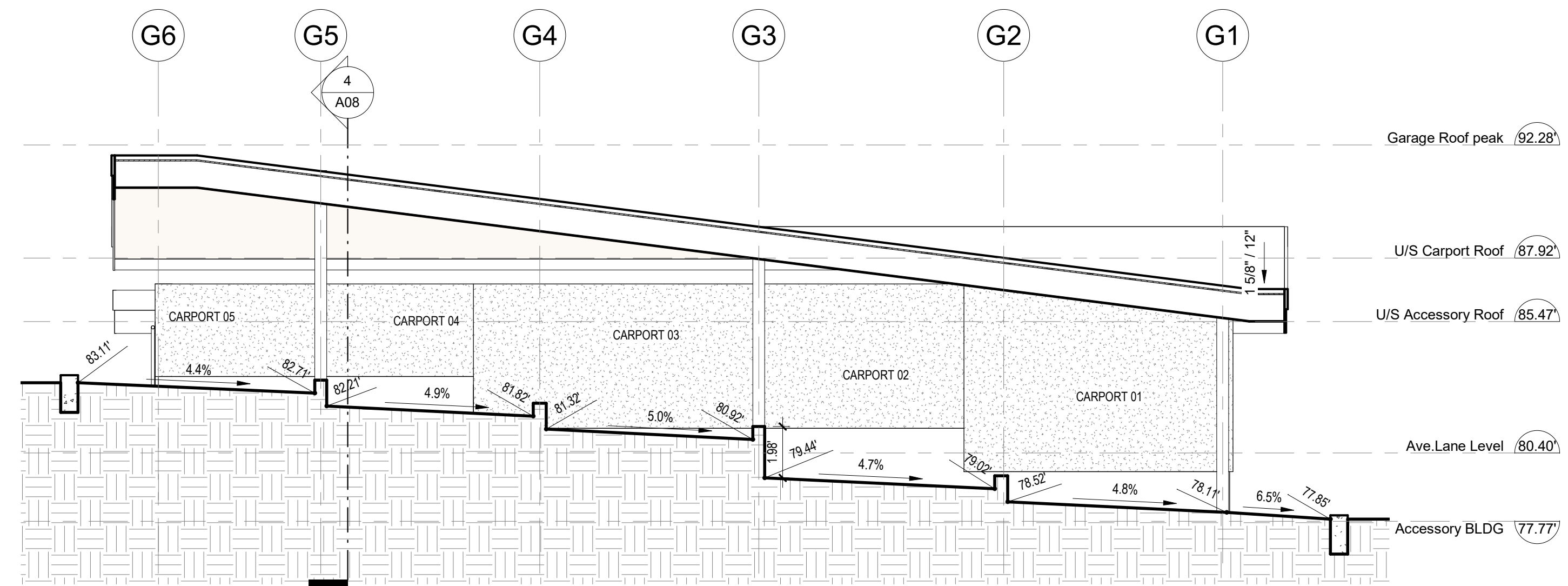
PROJECT NO.	PLOT DATE	DRAWN	Author
21248	FEB. 20, 2023		
DRAWING NO.	SCALE	REVIEWED	Checker
A07	1/4" = 1'-0"		
			3

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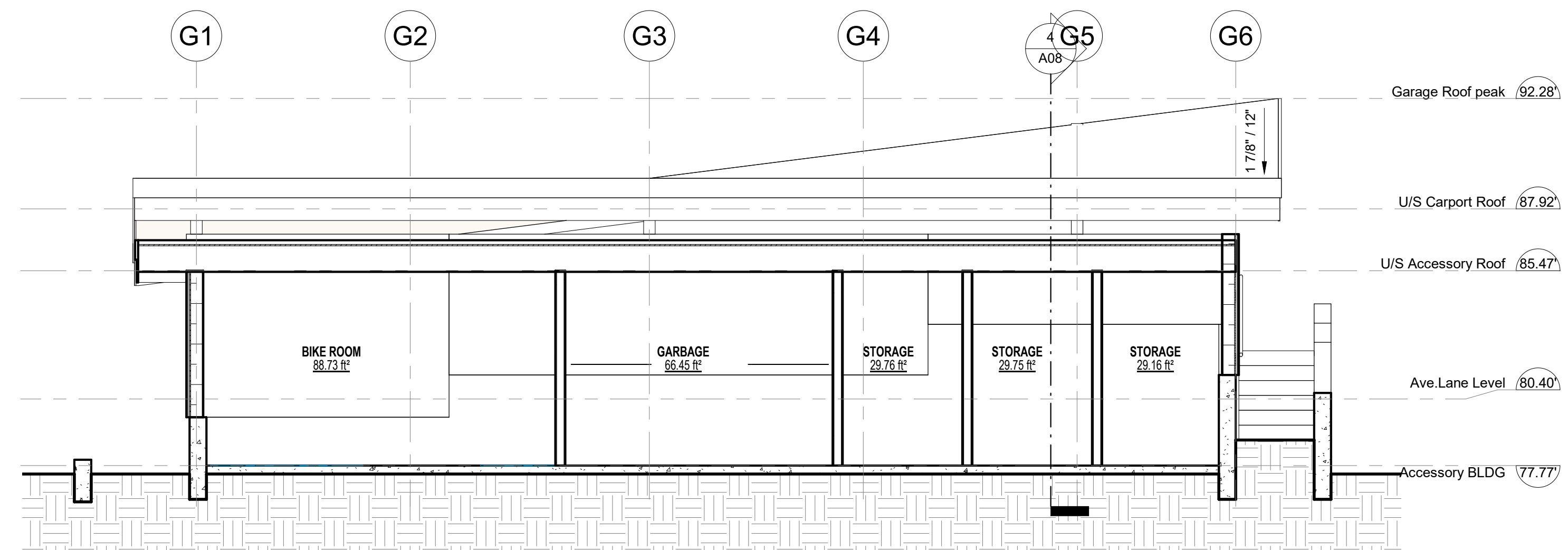
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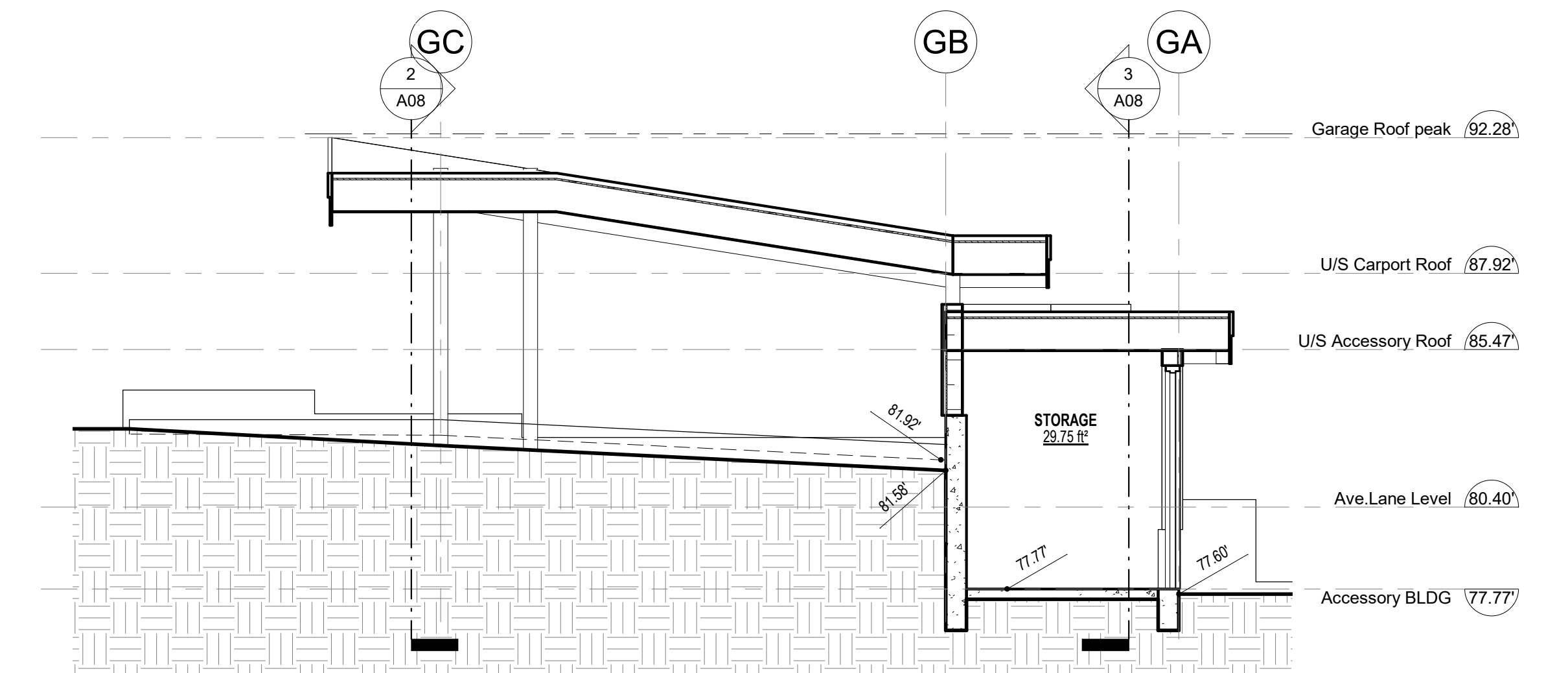
1 Garage-Roof Plan  
 1/4" = 1'-0"



2 Garage-Section 1  
 1/4" = 1'-0"



3 Garage-Section 2  
 1/4" = 1'-0"



4 Garage-Section 3  
 1/4" = 1'-0"

2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
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REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

WEST 14TH TRIPLEX

648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE

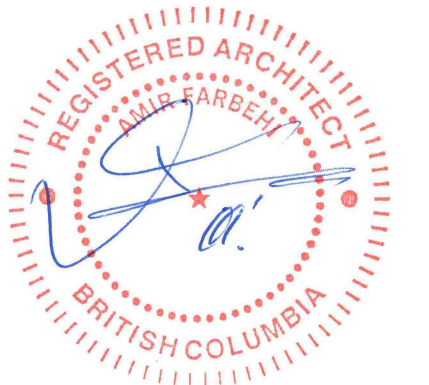
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DRAWING ISSUE

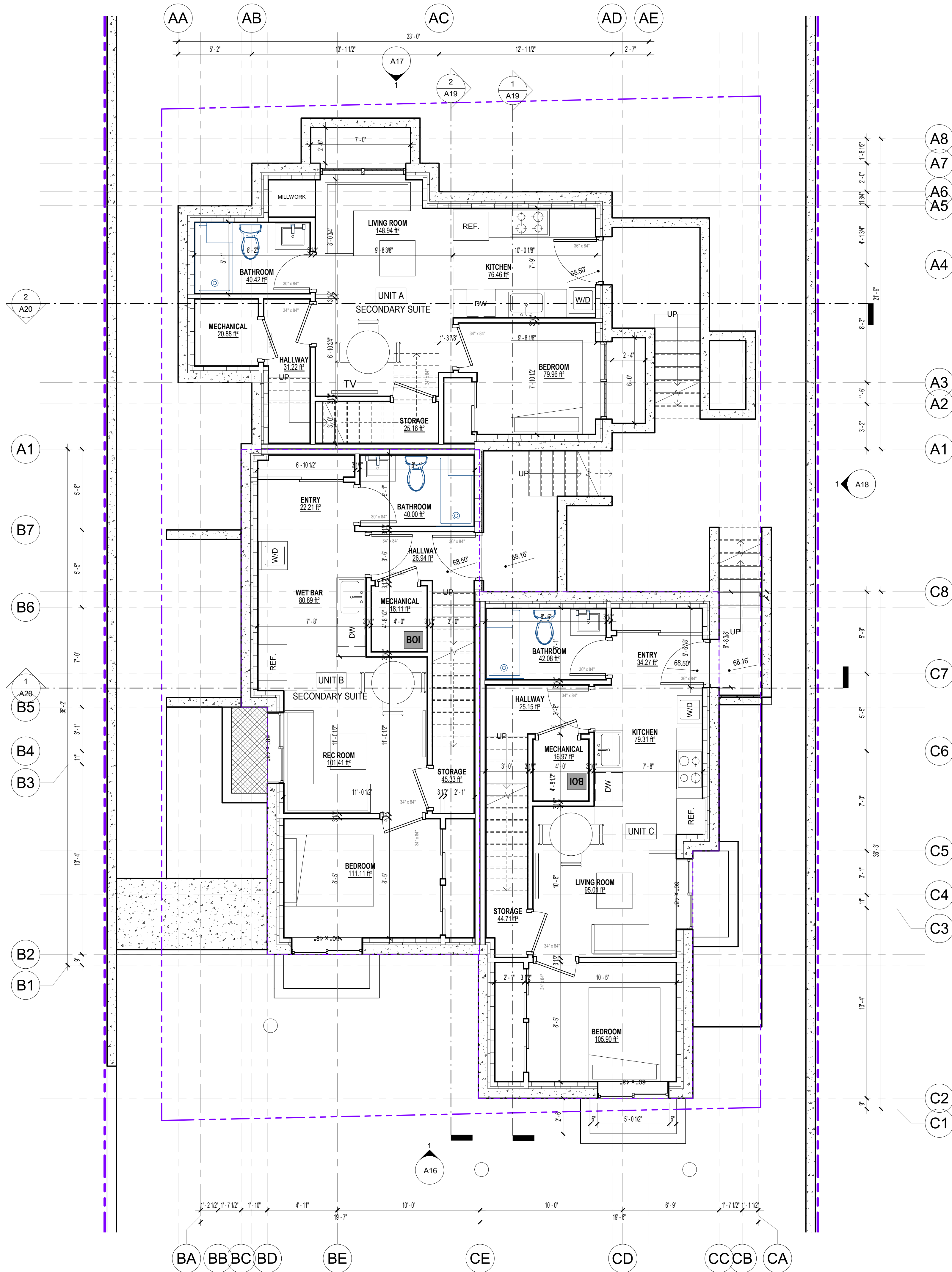
ISSUED FOR DETAIL REZONING APPLICATION

PROJECT NO.	PLOT DATE	FEB. 20, 2023	DRAWN	Author
21248	SCALE	1/4" = 1'-0"	REVIEWED	Checker
DRAWING NO.	A08		REVISION	2

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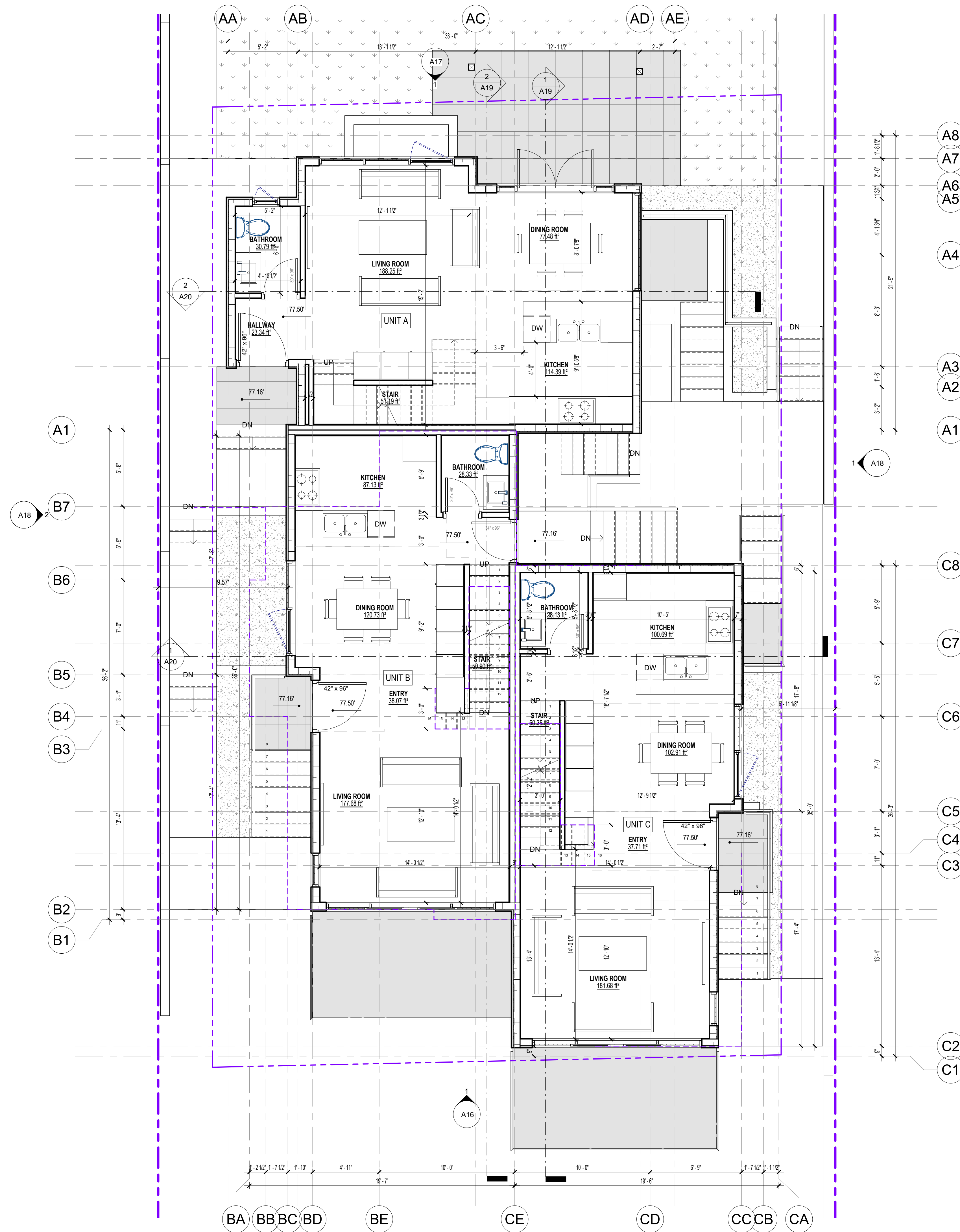


1 00-BASEMENT  
1/4" = 1'-0"

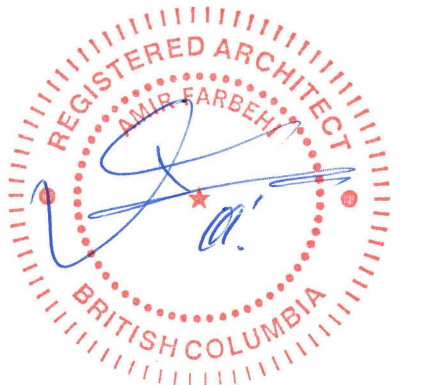


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CONSULTANT			
PROJECT			
<b>WEST 14TH TRIPLEX</b>			
648 WEST 14TH ST, NORTH VANCOUVER			
DRAWING TITLE			
<b>BASEMENT FLOOR PLAN</b>			
DRAWING ISSUE			
<b>ISSUED FOR DETAIL REZONING APPLICATION</b>			
PROJECT NO.	PLOT DATE	DRAWN	NN
21248	FEB. 20, 2023	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
<b>A09</b>	1/4" = 1'-0"		
			<b>3</b>



1 01-FIRST FLOOR  
1/4" = 1'-0"



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PROJECT

WEST 14TH TRIPLEX

648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE

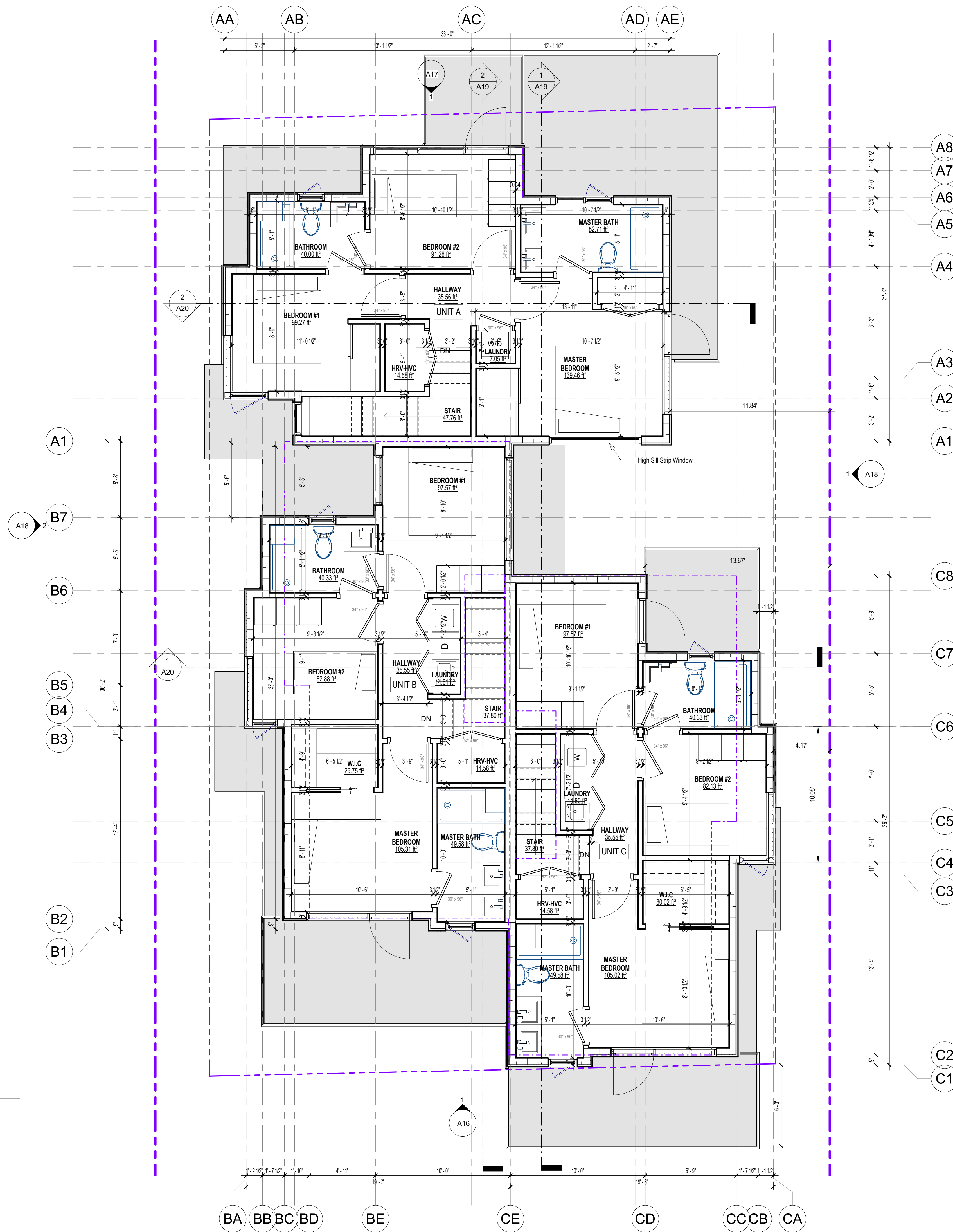
LEVEL 1 FLOOR PLAN

DRAWING ISSUE

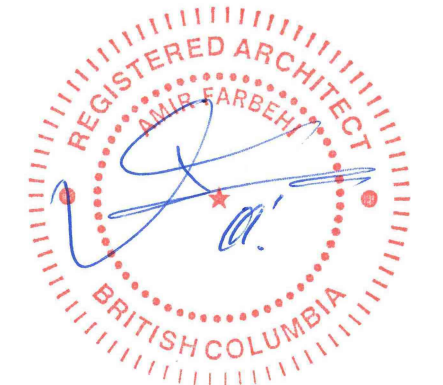
ISSUED FOR DETAIL  
REZONING APPLICATION

PROJECT NO.	PLOT DATE	FEB. 20, 2023	DRAWN	NN
21248	SCALE	1/4" = 1'-0"	REVIEWED	AF

DRAWING NO.	REVISION
A10	3



1 02-SECOND FLOOR  
1/4" = 1'-0"



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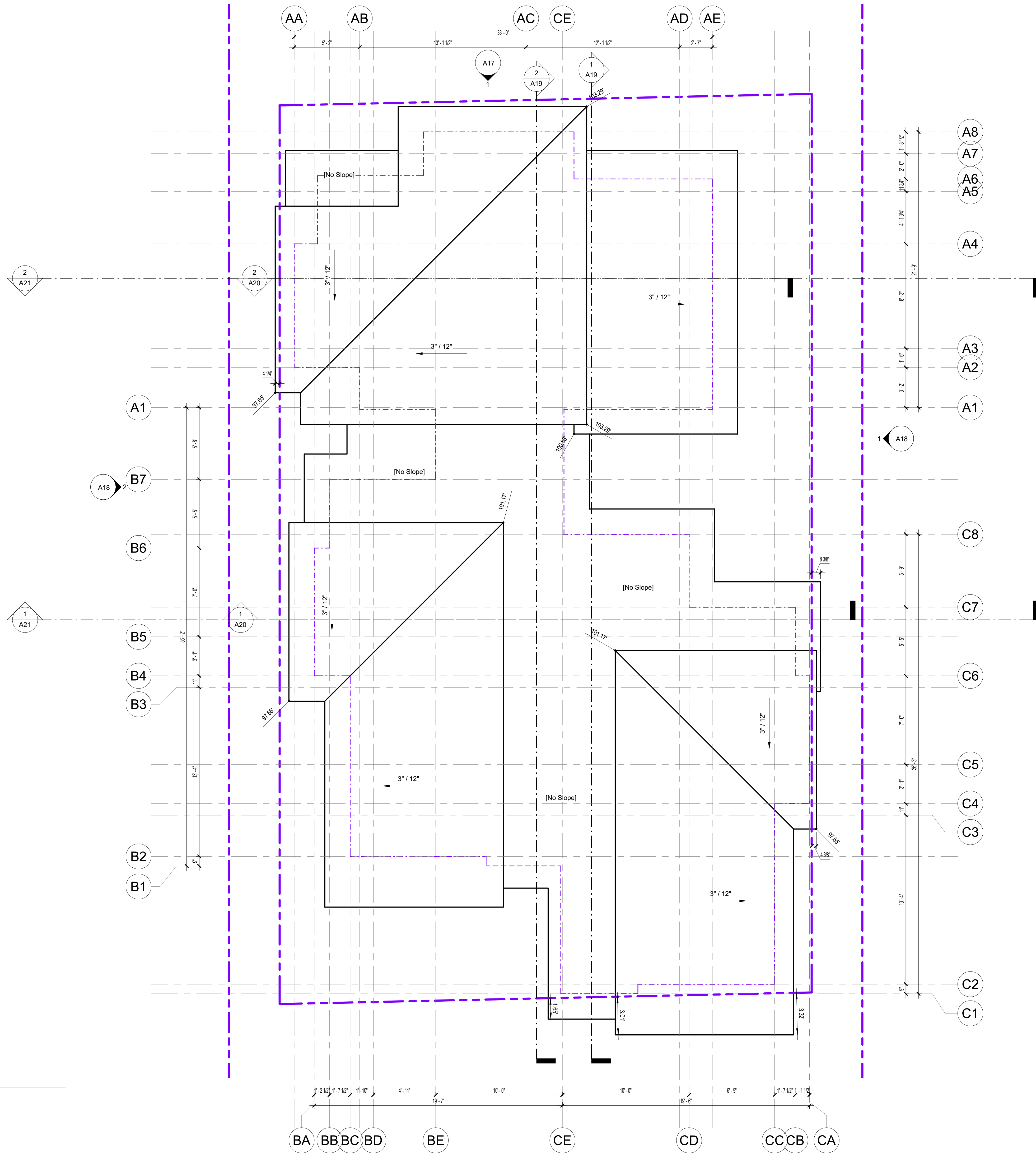
PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE  
**LEVEL 2 FLOOR PLAN**

DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	NN
21248	FEB. 20, 2023		
DRAWING NO.	SCALE	REVIEWED	AF
A11	1/4" = 1'-0"		
			REVISION
			3

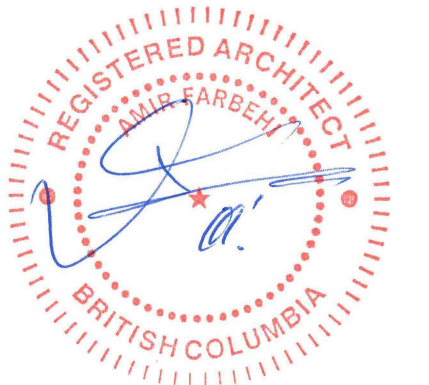
3/31/2023 4:16:16 PM I:\192.168.1.200\Inspired Projects\21248 648 W.14th street CNV\Drawings\BIM\Revit\21248 648 W.14th Street- option 6\_NEW.rvt



① U/S Roof  
1/4" = 1'-0"

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3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
2	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

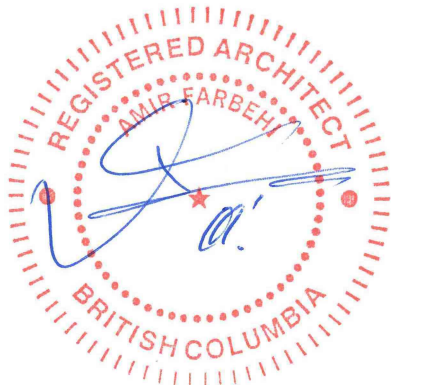
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE  
**ROOF PLAN**

DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	PLOT DATE	FEB. 20, 2023	DRAWN	NN
21248	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	<b>A12</b>		REVISION	<b>3</b>



2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

WEST 14TH TRIPLEX

648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE

BASEMENT AREA OVERLAY AND SCHEDULES

DRAWING ISSUE

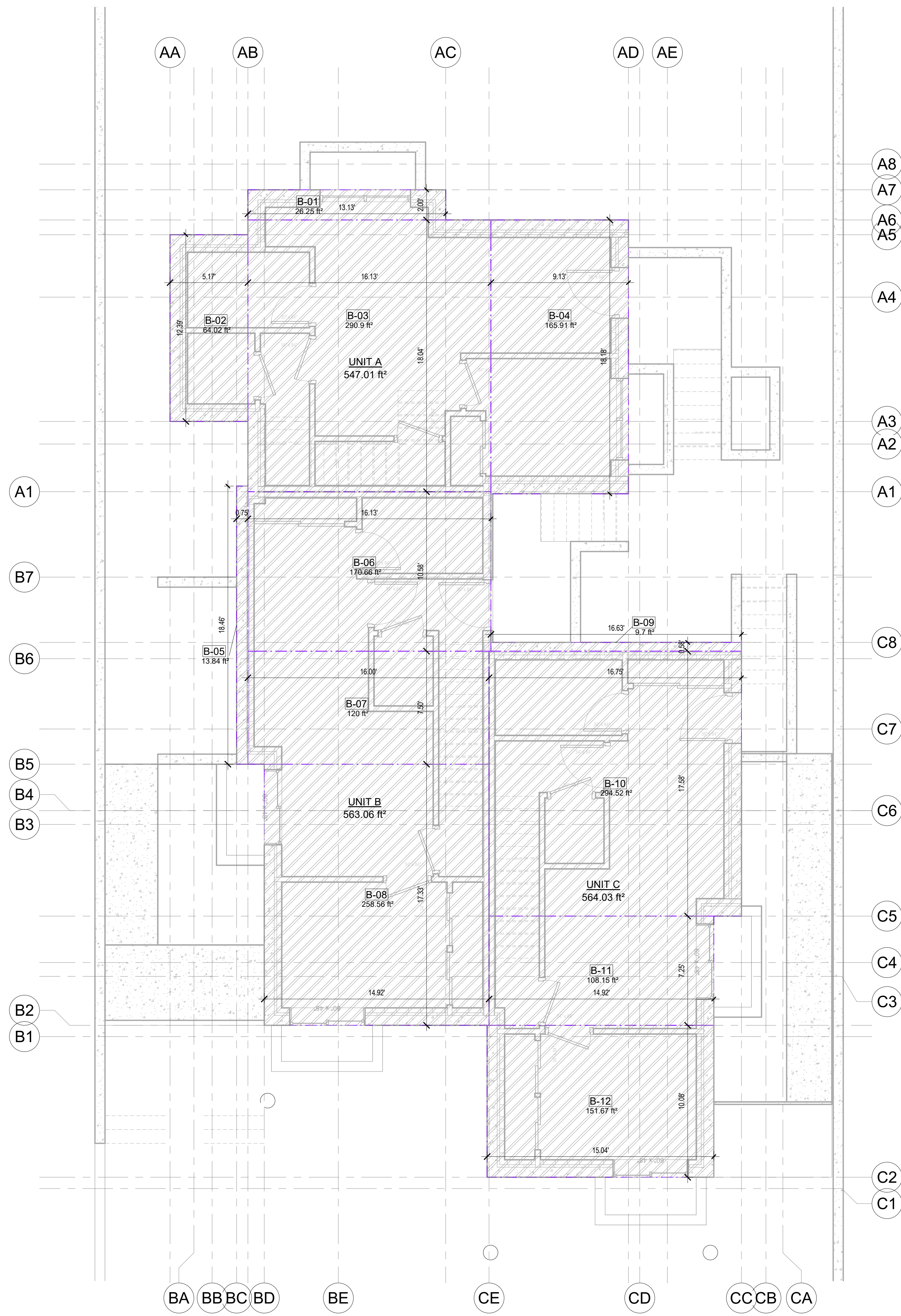
ISSUED FOR DETAIL REZONING APPLICATION

PROJECT NO.	PLOT DATE	FEB. 20, 2023	DRAWN	Author
21248	SCALE	1/4" = 1'-0"	REVIEWED	Checker
DRAWING NO.	A13		REVISION	2

AREA OVERLAY-GROSS FLOOR AREA (ABOVE GARDE)							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
LEVEL 1	F-01	13.13'	2.00'	26.25 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 1	F-02	5.17'	12.39'	64.02 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 1	F-04	9.13'	18.17'	165.76 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 1	F-03	16.13'	18.04'	290.90 ft <sup>2</sup>	Above Grade	FSR	UNIT A
UNIT A: 4				546.94 ft <sup>2</sup>			
LEVEL 1	F-06	16.13'	10.58'	170.66 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 1	F-08	14.92'	17.33'	258.56 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 1	F-05	0.75'	18.46'	13.84 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 1	F-07	16.00'	7.50'	120.00 ft <sup>2</sup>	Above Grade	FSR	UNIT B
UNIT B: 4				563.06 ft <sup>2</sup>			
LEVEL 1	F-09	16.75'	0.58'	9.77 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 1	F-10	16.75'	17.58'	294.52 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 1	F-11	14.92'	7.25'	108.15 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 1	F-12	15.04'	10.08'	151.67 ft <sup>2</sup>	Above Grade	FSR	UNIT C
UNIT C: 4				564.11 ft <sup>2</sup>			
LEVEL 1: 12				1674.10 ft <sup>2</sup>			
LEVEL 2	S-01	11.88'	3.71'	44.05 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 2	S-04	5.17'	9.75'	50.38 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 2	S-07	11.71'	18.21'	213.17 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 2	S-06	10.13'	12.96'	131.20 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 2	S-05	6.00'	13.08'	78.50 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 2	S-03	11.08'	5.12'	56.79 ft <sup>2</sup>	Above Grade	FSR	UNIT A
LEVEL 2	S-02	8.38'	5.38'	45.02 ft <sup>2</sup>	Above Grade	FSR	UNIT A
UNIT A: 7				619.11 ft <sup>2</sup>			
LEVEL 2	S-08	10.13'	5.63'	56.95 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 2	S-10	6.08'	4.33'	26.36 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 2	S-13	5.96'	26.17'	155.91 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 2	S-12	10.79'	14.25'	153.78 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 2	S-11	13.63'	10.08'	137.39 ft <sup>2</sup>	Above Grade	FSR	UNIT B
LEVEL 2	S-09	12.42'	5.42'	67.26 ft <sup>2</sup>	Above Grade	FSR	UNIT B
UNIT B: 6				597.65 ft <sup>2</sup>			
LEVEL 2	S-14	10.00'	5.75'	57.50 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 2	S-15	18.38'	5.42'	99.53 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 2	S-16	19.50'	10.08'	196.62 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 2	S-17	16.75'	4.92'	82.35 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 2	S-19	10.79'	9.33'	100.72 ft <sup>2</sup>	Above Grade	FSR	UNIT C
LEVEL 2	S-18	6.09'	10.08'	61.37 ft <sup>2</sup>	Above Grade	FSR	UNIT C
UNIT C: 6				598.10 ft <sup>2</sup>			
LEVEL 2: 19				1814.86 ft <sup>2</sup>			
Grand total: 31				3488.96 ft <sup>2</sup>			

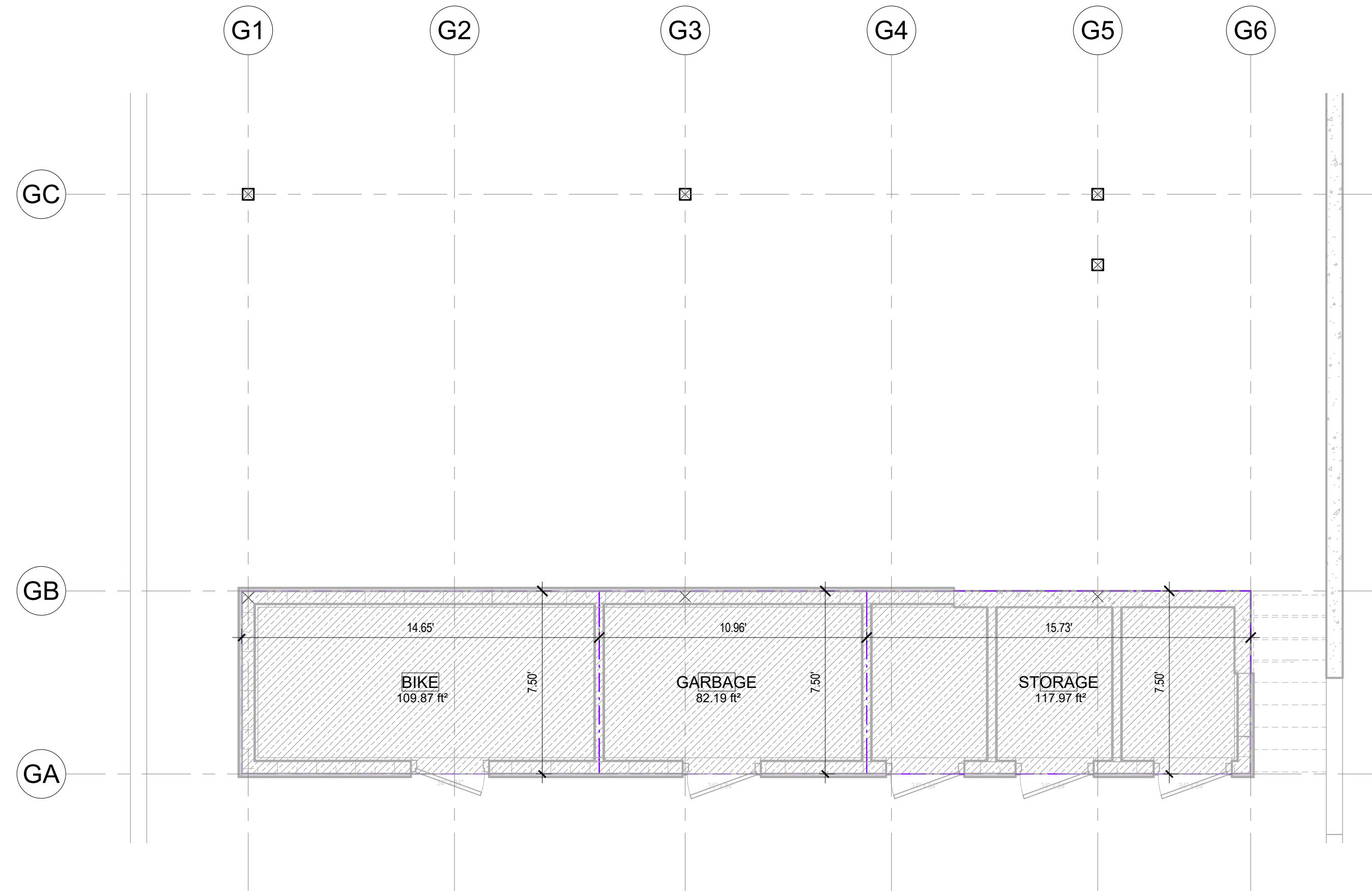
AREA OVERLAY-GROSS FLOOR AREA (BELOW GARDE & ACCESSORY)							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
BASEMENT	B-01	13.13'	2.00'	26.25 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT A
BASEMENT	B-02	5.17'	12.39'	64.02 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT A
BASEMENT	B-03	16.13'	18.04'	290.90 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT A
BASEMENT	B-04	9.13'	18.18'	165.91 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT A
UNIT A: 4				547.09 ft <sup>2</sup>			
BASEMENT	B-05	0.75'	18.46'	13.84 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-06	16.13'	10.58'	170.66 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-07	16.00'	7.50'	120.00 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-08	14.92'	17.33'	258.56 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT B
UNIT B: 4				563.06 ft <sup>2</sup>			
BASEMENT	B-09	16.63'	0.58'	9.70 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-10	16.75'	17.58'	294.52 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-11	14.92'	7.25'	108.15 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-12	15.04'	10.08'	151.67 ft <sup>2</sup>	Below Grade	EXCLUSION	UNIT C
UNIT C: 4				564.03 ft <sup>2</sup>			
BASEMENT: 12				1,674.18 ft <sup>2</sup>			
LEVEL 1	BIKE	14.65'	7.50'	109.87 ft <sup>2</sup>	Below Grade	EXCLUSION	Accessory
LEVEL 1	GARBAGE	10.96'	7.50'	82.19 ft <sup>2</sup>	Below Grade	EXCLUSION	Accessory
LEVEL 1	STORAGE	15.73'	7.50'	117.97 ft <sup>2</sup>	Below Grade	EXCLUSION	Accessory
Accessory: 3				310.03 ft <sup>2</sup>			
LEVEL 1: 3				310.03 ft <sup>2</sup>			
Grand total: 15				1,984.21 ft <sup>2</sup>			

AREA OVERLAY-VERANDA & BALCONIES							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
LEVEL 1	D-01	15.13'	10.00'	151.25 ft <sup>2</sup>	Covered Deck	EXCLUSION	UNIT A
LEVEL 1	D-02	2.00'	8.00'	16.00 ft <sup>2</sup>	Covered Deck	EXCLUSION	UNIT A
LEVEL 1	D-03	1.21'	5.50'	6.65 ft <sup>2</sup>	Covered Deck	EXCLUSION	UNIT A
LEVEL 1	P-01	6.25'	4.29'	26.83 ft <sup>2</sup>	Porch	EXCLUSION	UNIT A
UNIT A: 4				200.73 ft <sup>2</sup>			
LEVEL 1	D-04	14.79'	8.00'	118.33 ft <sup>2</sup>	Covered Deck	EXCLUSION	UNIT B
LEVEL 1	P-02	4.50'	5.50'	24.75 ft <sup>2</sup>	Porch	EXCLUSION	UNIT B
LEVEL 1	P-04	5.49'	4.00'	21.97 ft <sup>2</sup>	Porch	EXCLUSION	UNIT B
UNIT B: 3				165.05 ft <sup>2</sup>			
LEVEL 1	D-05	15.04'	7.58'	114.07 ft <sup>2</sup>	Covered Deck	EXCLUSION	UNIT C
LEVEL 1	P-03	4.00'	6.00'	24.00 ft <sup>2</sup>	Porch	EXCLUSION	UNIT C
UNIT C: 2				138.07 ft <sup>2</sup>			
LEVEL 1: 9				503.84 ft <sup>2</sup>			
LEVEL 2	BA-01	7.29'	6.79'	49.51 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT A
LEVEL 2	BA-02	14.42'	10.50'	151.38 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT A
LEVEL 2	BA-03	3.50'	12.00'	42.00 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT A
UNIT A: 3				242.89 ft <sup>2</sup>			
LEVEL 2	BA-04	4.00'	9.83'	39.33 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT B
LEVEL 2	BA-05	12.29'	7.75'	95.26 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT B
LEVEL 2	BA-06	5.83'	7.00'	40.81 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT B
UNIT B: 3				175.41 ft <sup>2</sup>			
LEVEL 2	BA-07	8.38'	7.75'	64.91 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT C
LEVEL 2	BA-08	6.08'	6.00'	36.50 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT C
LEVEL 2	BA-09	12.29'	6.75'	82.95 ft <sup>2</sup>	Balcony	EXCLUSION	UNIT C
UNIT C: 3				184.35 ft <sup>2</sup>			
LEVEL 2: 9				602.65 ft <sup>2</sup>			
Grand total: 18				1,106.49 ft <sup>2</sup>			

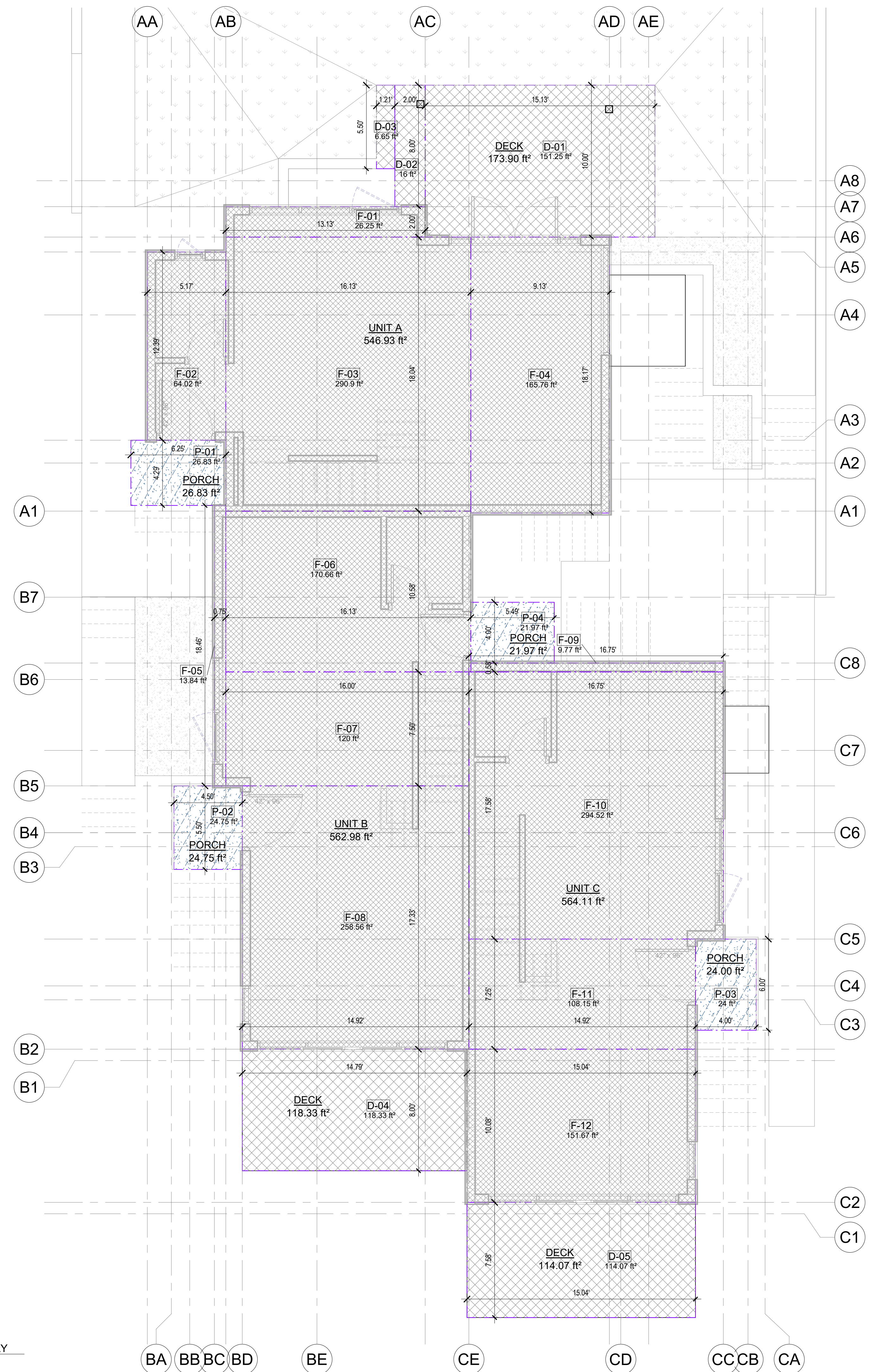


1 BASEMENT AREA OVERLAY  
1/4" = 1'-0"

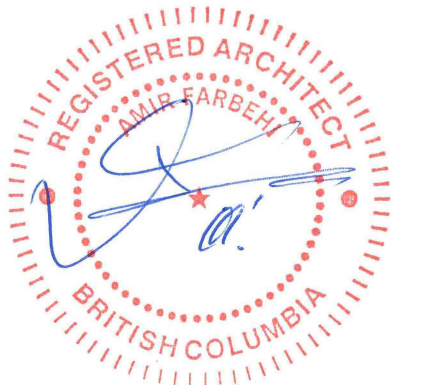
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2 LEVEL 1 AREA OVERLAY - Accessory Building  
1/4" = 1'-0"



1 LEVEL 1 AREA OVERLAY  
1/4" = 1'-0"



REV.	DATE	REVISION / DRAWING ISSUE	REVIEW
2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

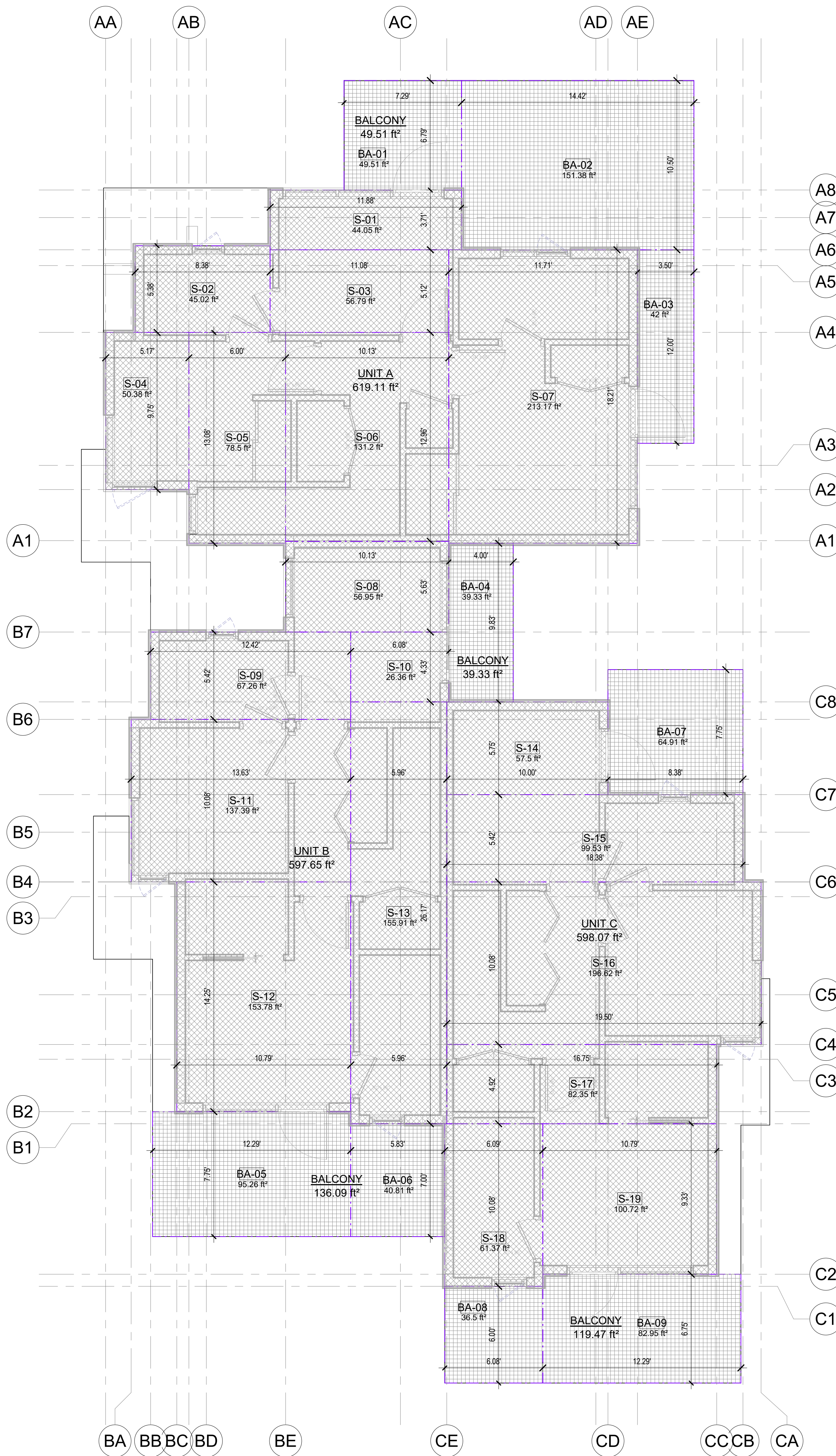
DRAWING TITLE  
**LEVEL 1 AREA OVERLAY**

DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	Author
21248	FEB. 20, 2023	REVIEWED	Checker
DRAWING NO.	SCALE	1/4" = 1'-0"	REVISION
<b>A14</b>			<b>2</b>



3/31/2023 4:16:23 PM 1192.168.1.200\Inspired Projects\21248 648 W.14th street CNV Drawings\BIM\Revit\21248 648 W.14th Street- option 6\_NEW.rvt

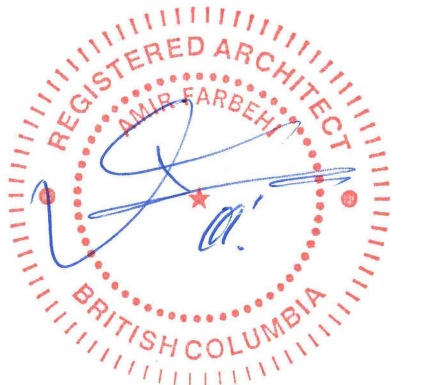


1 LEVEL 2 AREA OVERLAY  
1/4" = 1'-0"



REV.	DATE	REVISION / DRAWING ISSUE	REVIEW
2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF

PROJECT			
<b>WEST 14TH TRIPLEX</b>			
648 WEST 14TH ST, NORTH VANCOUVER			
DRAWING TITLE			
<b>LEVEL 2 AREA OVERLAY</b>			
DRAWING ISSUE			
<b>ISSUED FOR DETAIL REZONING APPLICATION</b>			
PROJECT NO.	PLOT DATE	DRAWN	Author
21248	FEB. 20, 2023	REVIEWED	Checker
SCALE		1/4" = 1'-0"	
DRAWING NO.	<b>A15</b>		REVISION
			<b>2</b>



**SPATIAL SEPARATION SCHEDULE** SPRINKLERED BUILDING: YES

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft <sup>2</sup>	m <sup>2</sup>	ft	m	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>		
NORTH	904.58	84.04	60.57	18.46	268.79	24.97	904.58	84.04	100.00%	29.71%
SOUTH	1005.66	93.43	59.30	18.07	438.27	40.72	1005.66	93.43	100.00%	43.58%

**SPATIAL SEPARATION SCHEDULE**

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft <sup>2</sup>	m <sup>2</sup>	ft	m	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>		
EAST (A)	1686.59	156.69	4.17	1.27	83.49	7.76	640.00	59.46	14.00%	13.05%
EAST (B)	1686.59	156.69	11.84	3.61	97.96	9.10	450.00	41.81	22.44%	21.77%
EAST (C)	1686.59	156.69	13.67	9.60	113.26	10.52	160.00	14.86	75.20%	70.79%
EAST (D)	1686.59	156.69	8.76	2.67	63.57	5.91	436.59	40.56	18.68%	14.56%
WEST	1590.32	147.75	5.15	1.57	184.87	17.17	1590.32	147.75	14.28%	11.62%

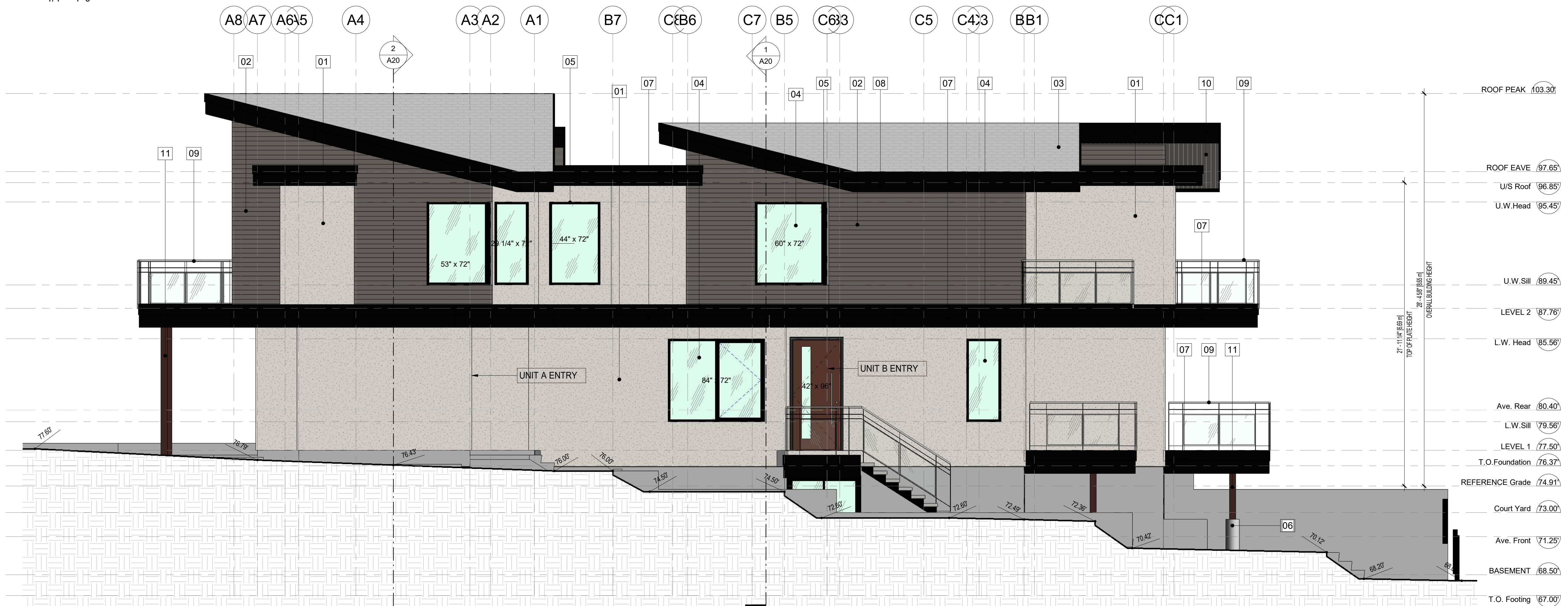
**9.10.14.5.11) PROJECTION OF SOFFITS:**  
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

**MATERIAL LEGEND**

ITEM	Material Description	COLOUR
01	STUCCO	BENJAMIN MOORE OC-27 (BALBOA MIST)
02	HARDI-PLANK LAP SIDING	Rich Espresso, 7" Expose
03	LAMINATED FIBERGLASS SHINGLE ROOF	ANTIQUE BLACK
04	DOUBLE GLAZED GLASS PANEL	CLEAR
05	WINDOW VINYL	BEIGE
06	CAST-IN -PLACE CONCRETE	ORIGINAL COLOUR
07	1X10 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED
10	1x4 WOOD SOFFIT	BENJAMIN MOORE CC-546 METROPOLIS
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN



1 South Elevation  
1/4" = 1'-0"



2 West Elevation  
1/4" = 1'-0"

REV.	DATE	REVISION / DRAWING ISSUE	REVIEW
3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
2	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

CONSULTANT	PROJECT
	WEST 14TH TRIPLEX

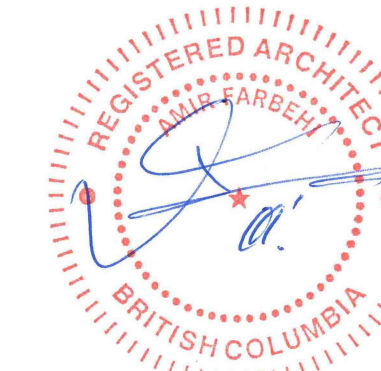
648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE  
**ELEVATIONS - SOUTH & WEST**

DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	MT
21248	FEB. 20, 2023		

DRAWING NO.	SCALE	REVIEWED	AF	REVISION
A16	1/4" = 1'-0"			3



3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
2	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
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CONSULTANT

PROJECT

WEST 14TH TRIPLEX

648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE

ELEVATIONS - NORTH & EAST

DRAWING ISSUE

ISSUED FOR DETAIL REZONING APPLICATION

PROJECT NO.	PLOT DATE	FEB. 20, 2023	DRAWN	MT
21248	SCALE	1/4" = 1'-0"	REVIEWED	AF

DRAWING NO.	REVISION
A17	3

**SPATIAL SEPARATION SCHEDULE** **SPRINKLERED BUILDING: YES**

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FAÇADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft <sup>2</sup>	m <sup>2</sup>	ft	m	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>		
NORTH	904.58	84.04	60.57	18.46	268.79	24.97	904.58	84.04	100.00%	29.71%
SOUTH	1005.66	93.43	59.30	18.07	438.27	40.72	1005.66	93.43	100.00%	43.58%

**SPATIAL SEPARATION SCHEDULE**

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FAÇADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft <sup>2</sup>	m <sup>2</sup>	ft	m	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>		
EAST (A)	1686.59	156.69	4.17	1.27	83.49	7.76	640.00	59.46	14.00%	13.05%
EAST (B)	1686.59	156.69	11.84	3.61	97.96	9.10	450.00	41.81	22.44%	21.77%
EAST (C)	1686.59	156.69	13.67	9.60	113.26	10.52	160.00	14.86	75.20%	70.79%
EAST (D)	1686.59	156.69	8.76	2.67	63.57	5.91	436.59	40.56	18.68%	14.56%
WEST	1590.32	147.75	5.15	1.57	184.87	17.17	1590.32	147.75	14.28%	11.62%

**9.10.14.5.11) PROJECTION OF SOFFITS:**  
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

**MATERIAL LEGEND**

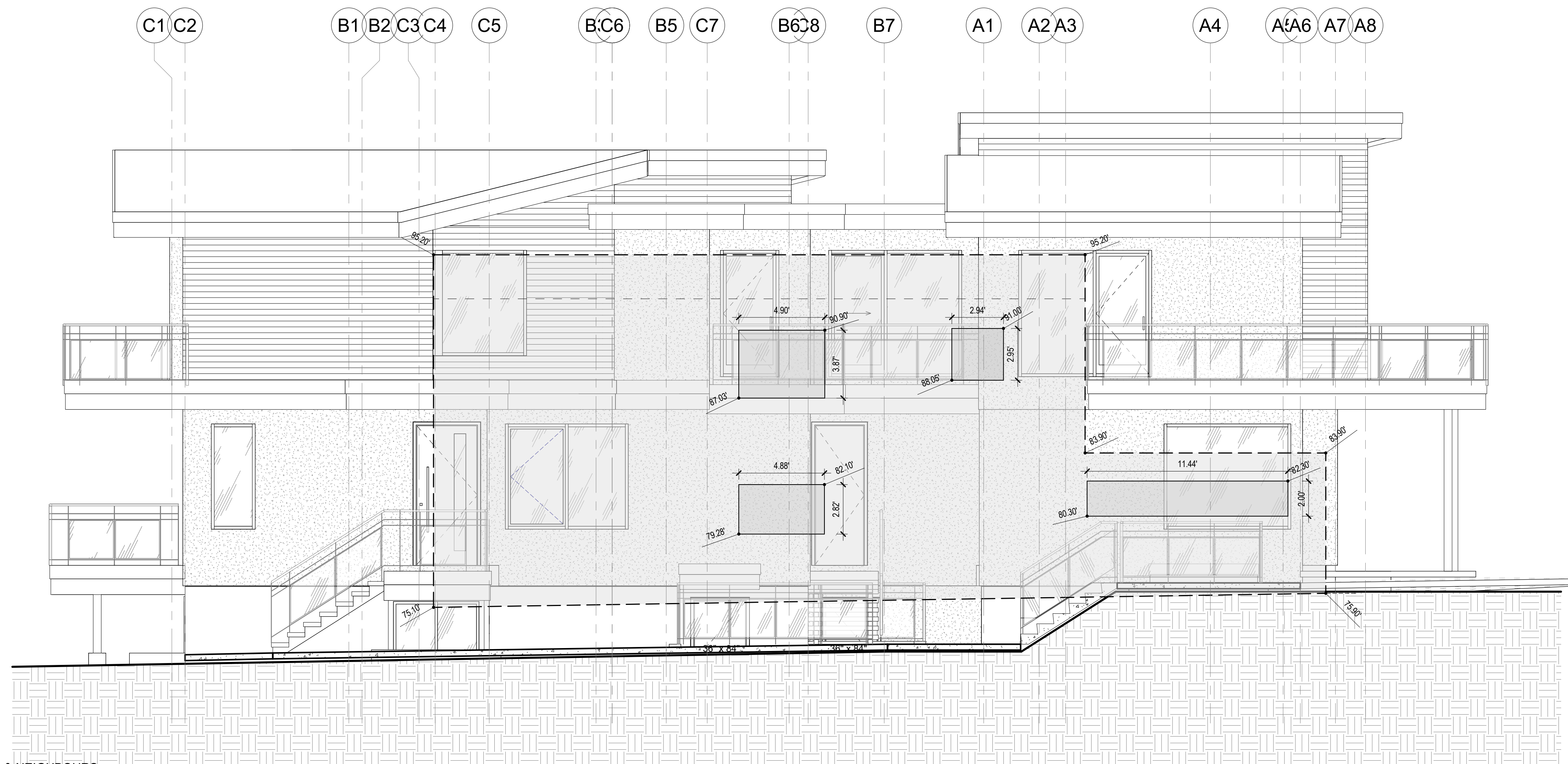
ITEM	Material Description	COLOUR
01	STUCCO	BENJAMIN MOORE OC-27 (BALBOA MIST)
02	HARDI-PLANK LAP SIDING	Rich Espresso, 7" Expose
03	LAMINATED FIBERGLASS SHINGLE ROOF	ANTIQUE BLACK
04	DOUBLE GLAZED GLASS PANEL	CLEAR
05	WINDOW VINYL	BEIGE
06	CAST-IN-PLACE CONCRETE	ORIGINAL COLOUR
07	1X10 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED
10	1x4 WOOD SOFFIT	BENJAMIN MOORE CC-546 METROPOLIS
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN



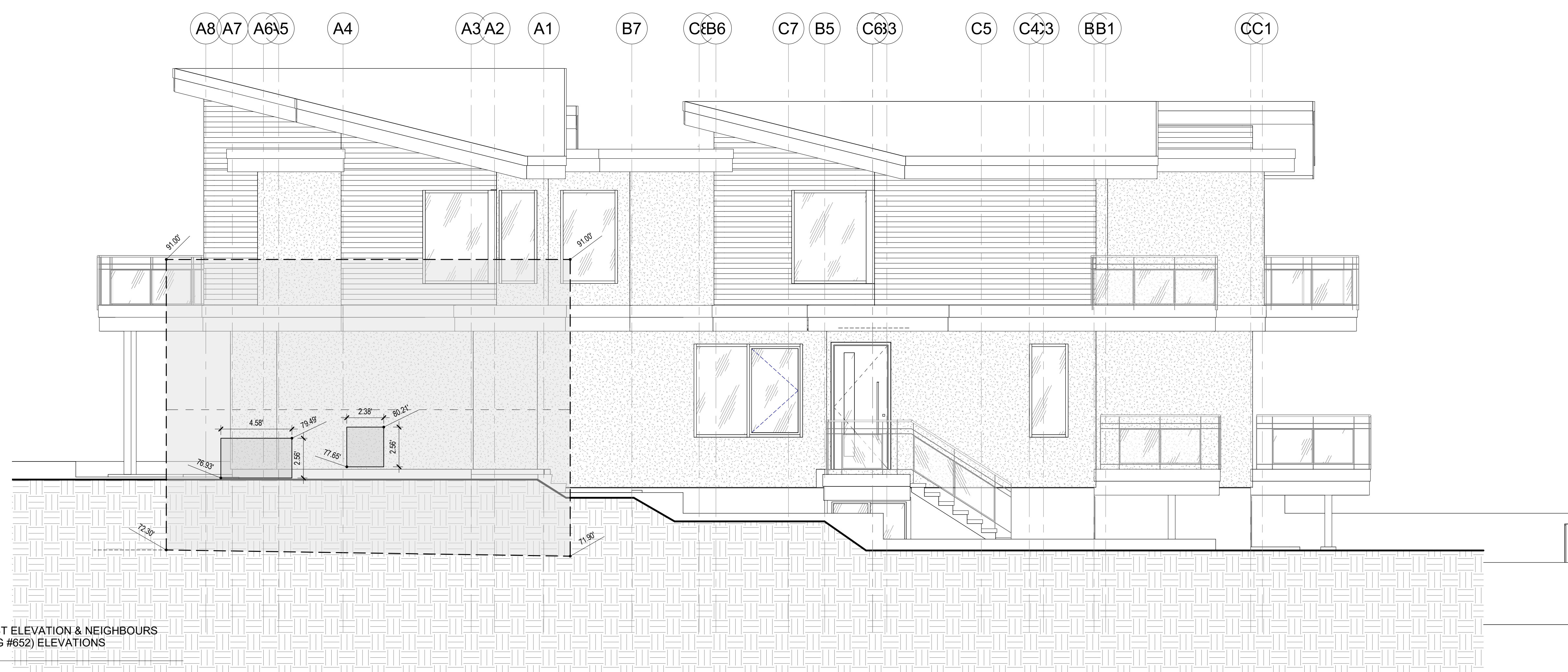
1 North Elevation  
1/4" = 1'-0"



2 East Elevation  
1/4" = 1'-0"



BLDG EAST ELEVATION & NEIGHBOURS  
(DWELLING #644) ELEVATIONS  
OVERLAY  
1/4" = 1'-0"



BLDG WEST ELEVATION & NEIGHBOURS  
(DWELLING #652) ELEVATIONS  
OVERLAY  
1/4" = 1'-0"

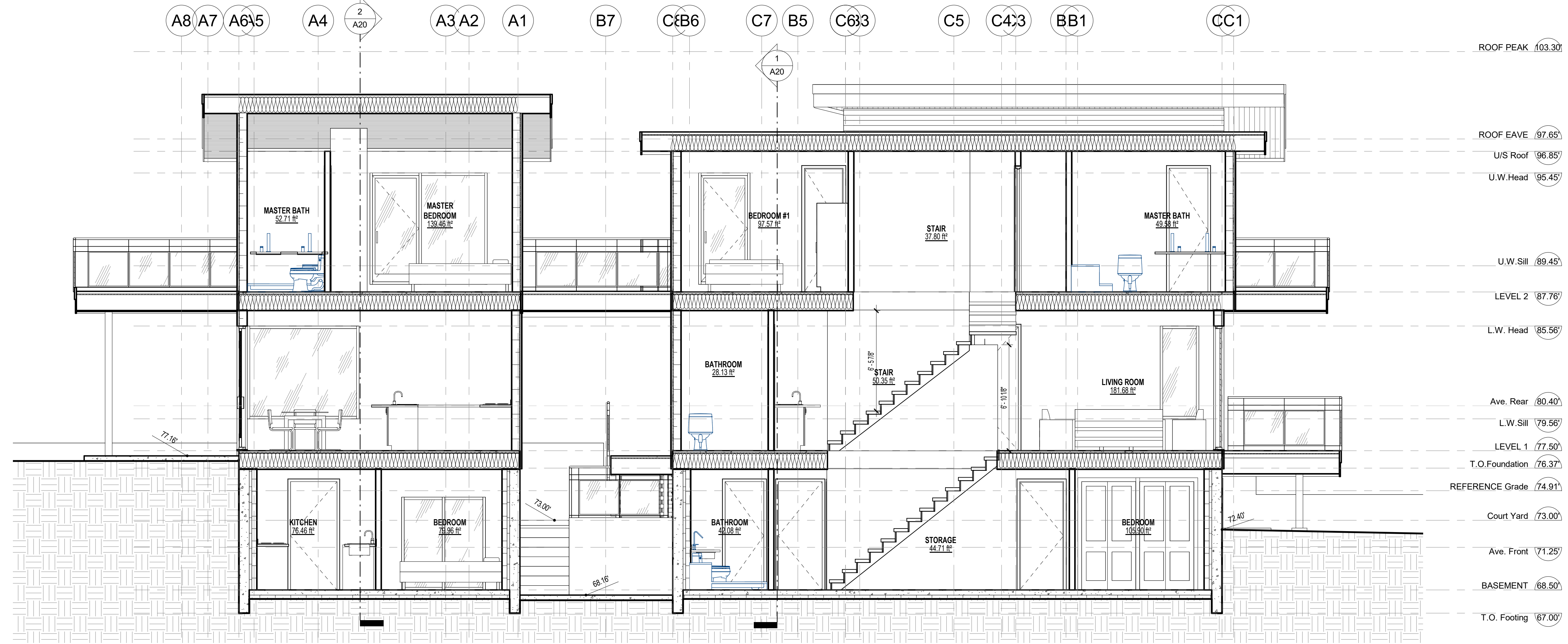
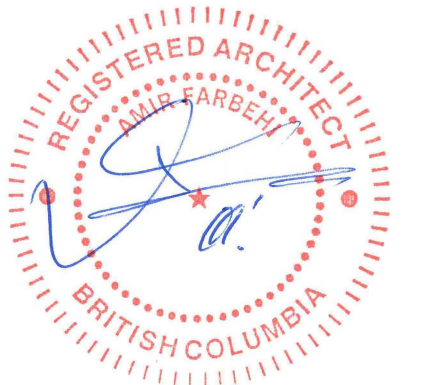
2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

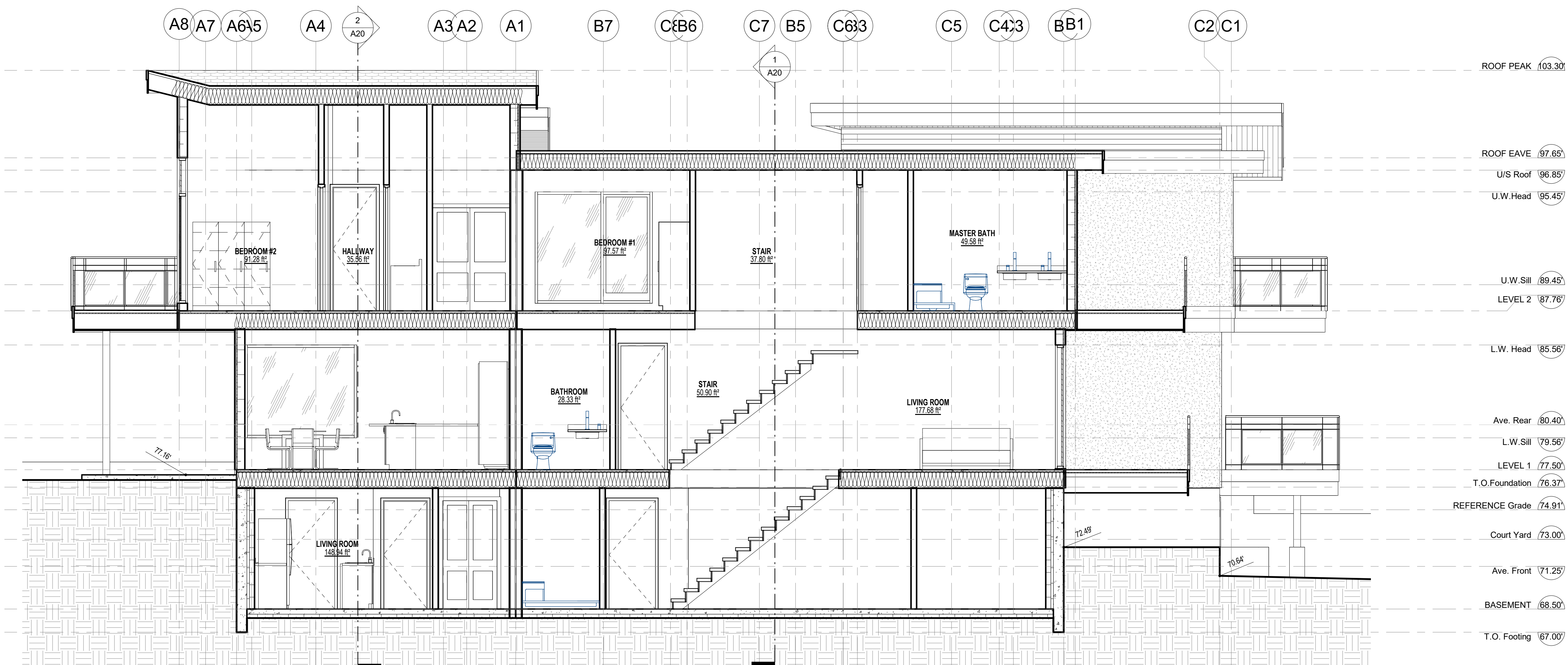
DRAWING TITLE  
**ELEVATIONS - EAST & WEST  
NEIGHBOUR OVERLAY**

DRAWING ISSUE  
**ISSUED FOR DETAIL  
REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	Author
21248	FEB. 20, 2023	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	REVISION
<b>A18</b>	1/4" = 1'-0"		<b>2</b>



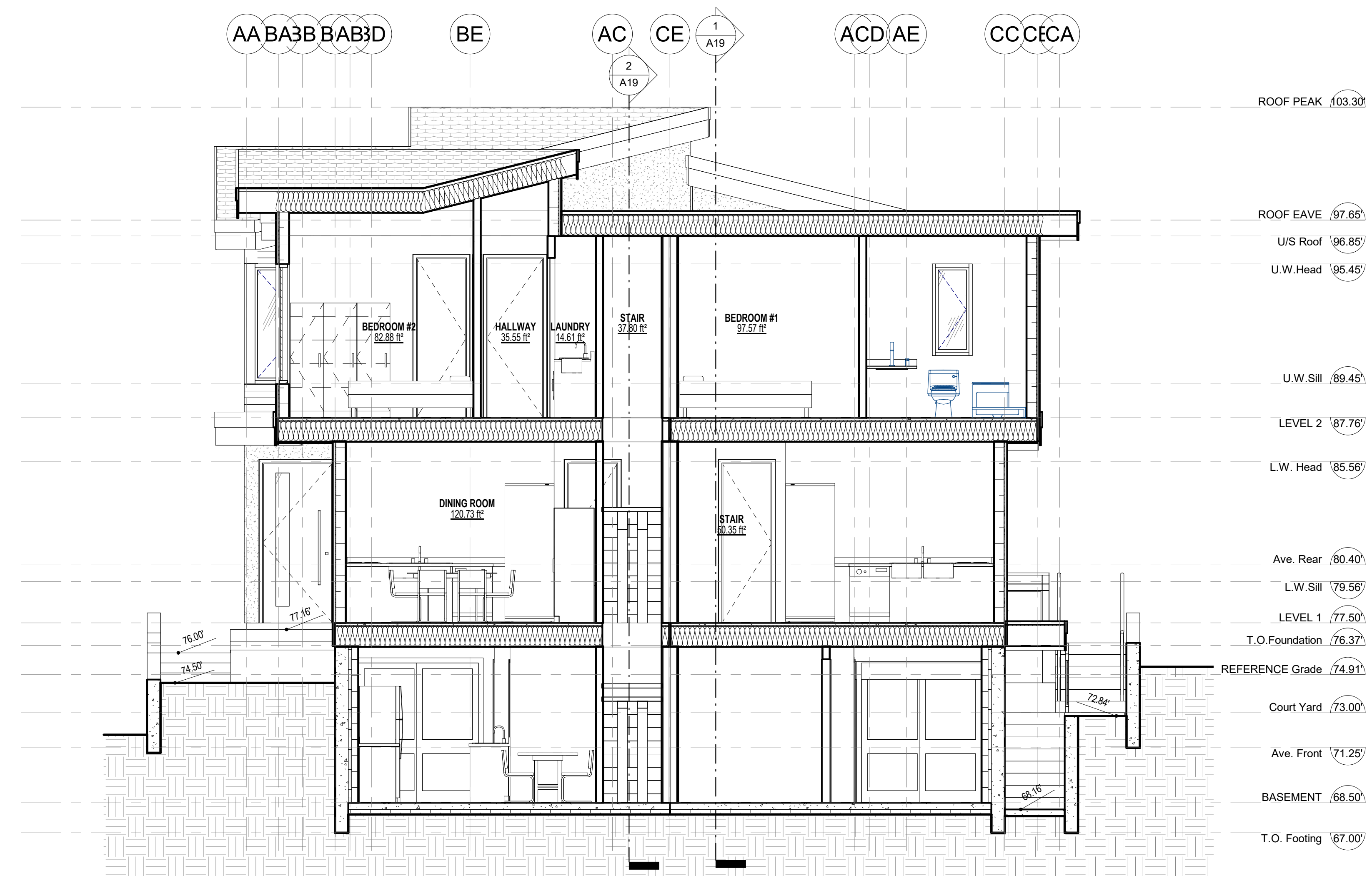
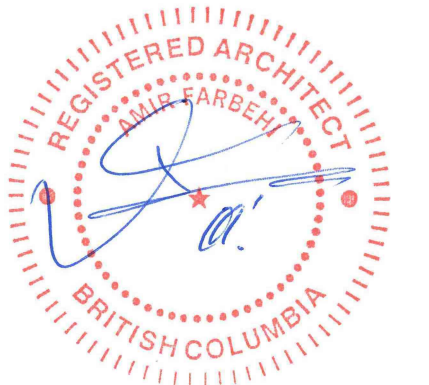
1 Section A  
1/4" = 1'-0"



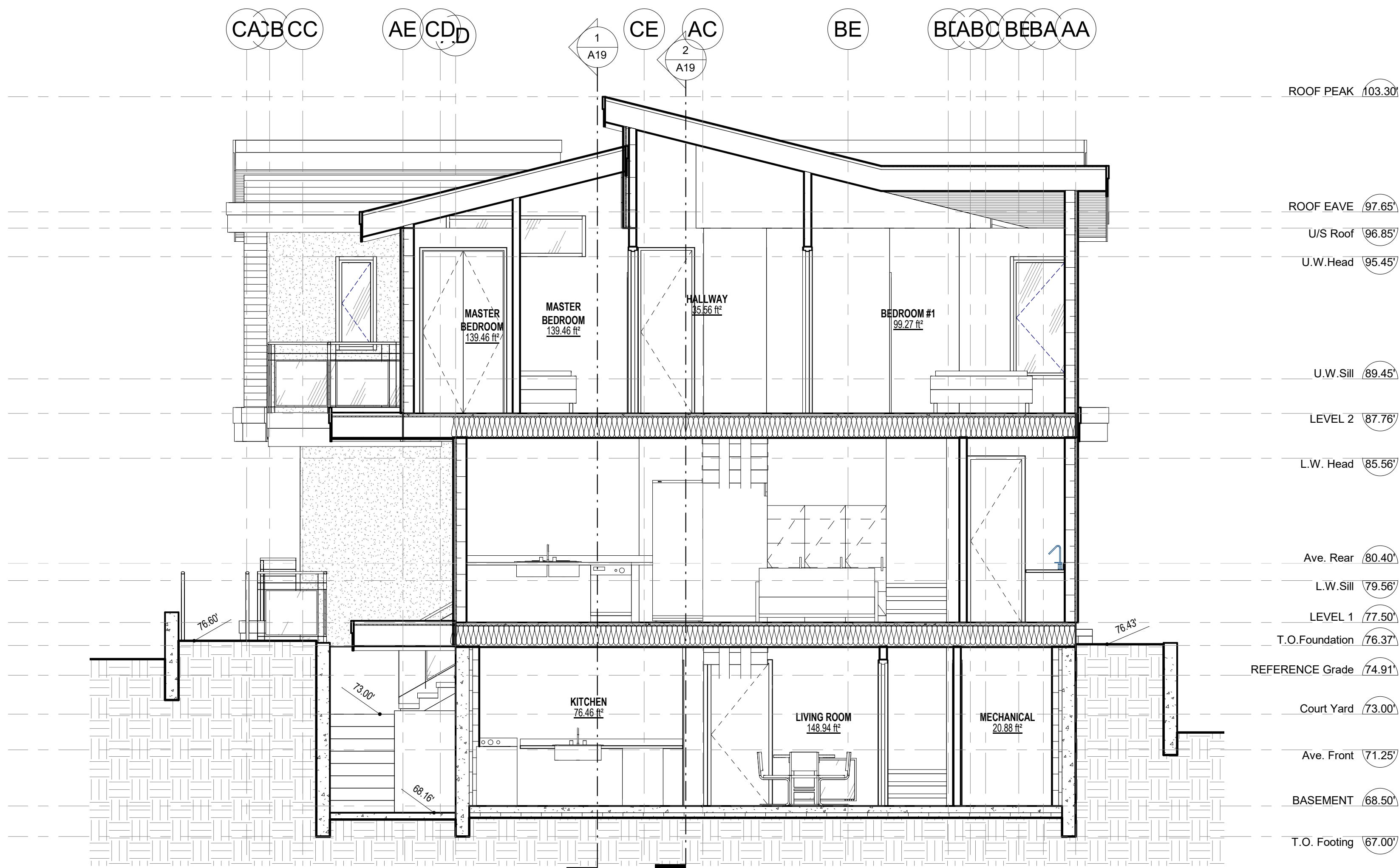
2 Section B  
1/4" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
2	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

CONSULTANT			
PROJECT			
<b>WEST 14TH TRIPLEX</b>			
648 WEST 14TH ST, NORTH VANCOUVER			
DRAWING TITLE			
<b>BUILDING SECTIONS</b>			
DRAWING ISSUE			
<b>ISSUED FOR DETAIL REZONING APPLICATION</b>			
PROJECT NO.	PLOT DATE	DRAWN	MT
21248	FEB. 20, 2023		
DRAWING NO.	SCALE	REVIEWED	AF
<b>A19</b>	1/4" = 1'-0"		
			REVISION
			<b>3</b>



1 Section C  
1/4" = 1'-0"



2 Section D  
1/4" = 1'-0"

3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
2	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF

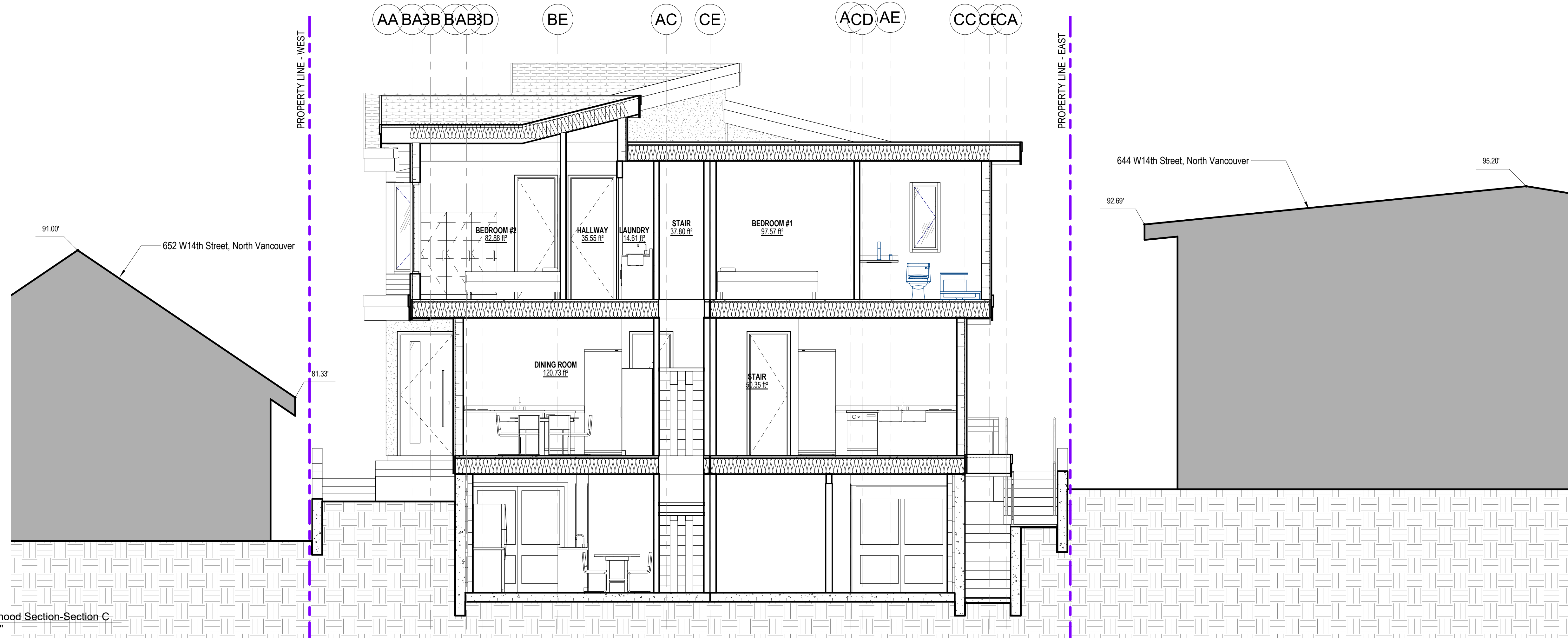
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

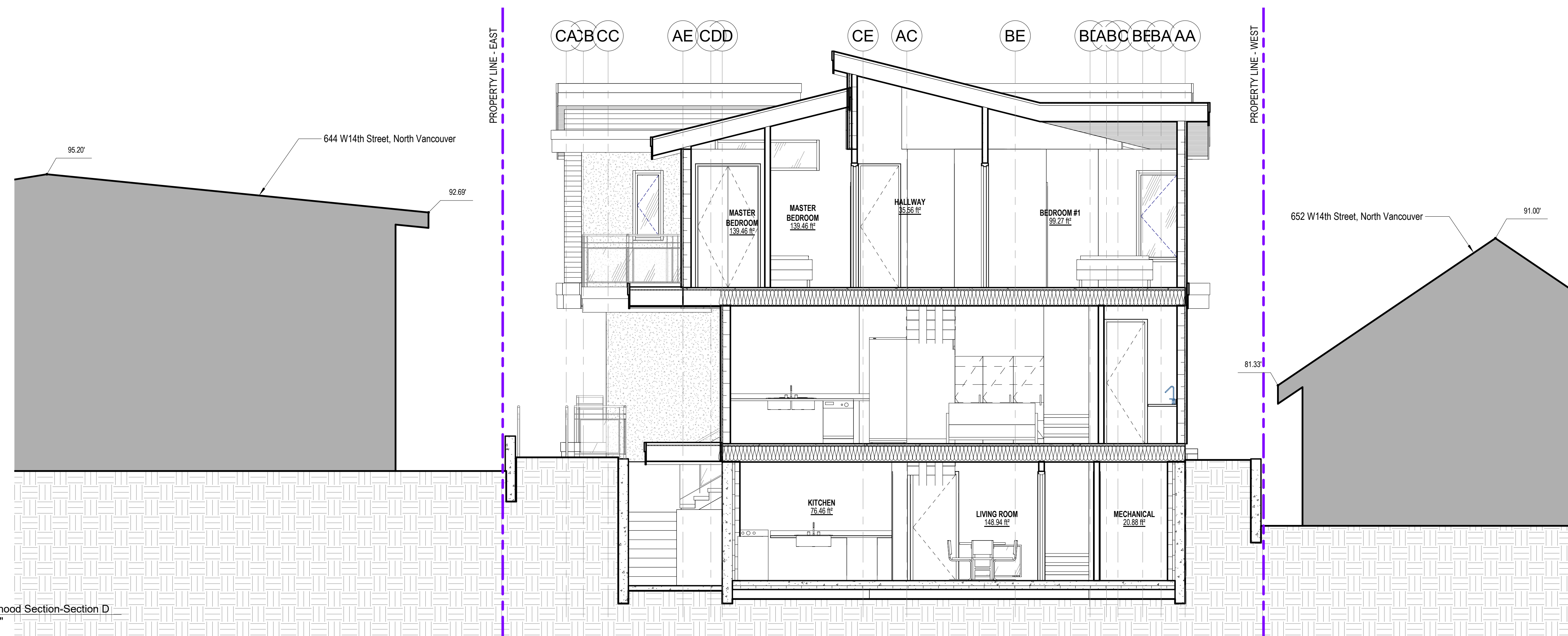
DRAWING TITLE  
**BUILDING SECTIONS**

DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	Author
21248	FEB. 20, 2023	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	REVISION
<b>A20</b>	1/4" = 1'-0"	3	3



1 Neighbourhood Section-Section C  
1/4" = 1'-0"



2 Neighbourhood Section-Section D  
1/4" = 1'-0"

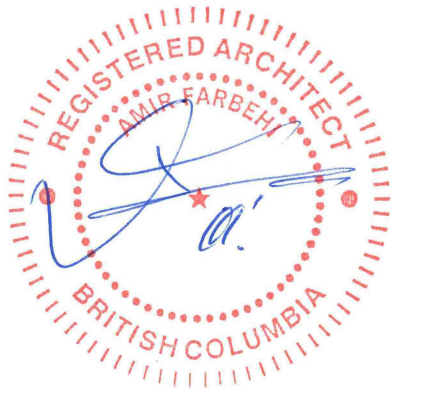
2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1	2022-12-09	ISSUED FOR PLANNING APPLICATION (MINOR)	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER  
DRAWING TITLE  
**NEIGHBOURHOOD SECTIONS**  
DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

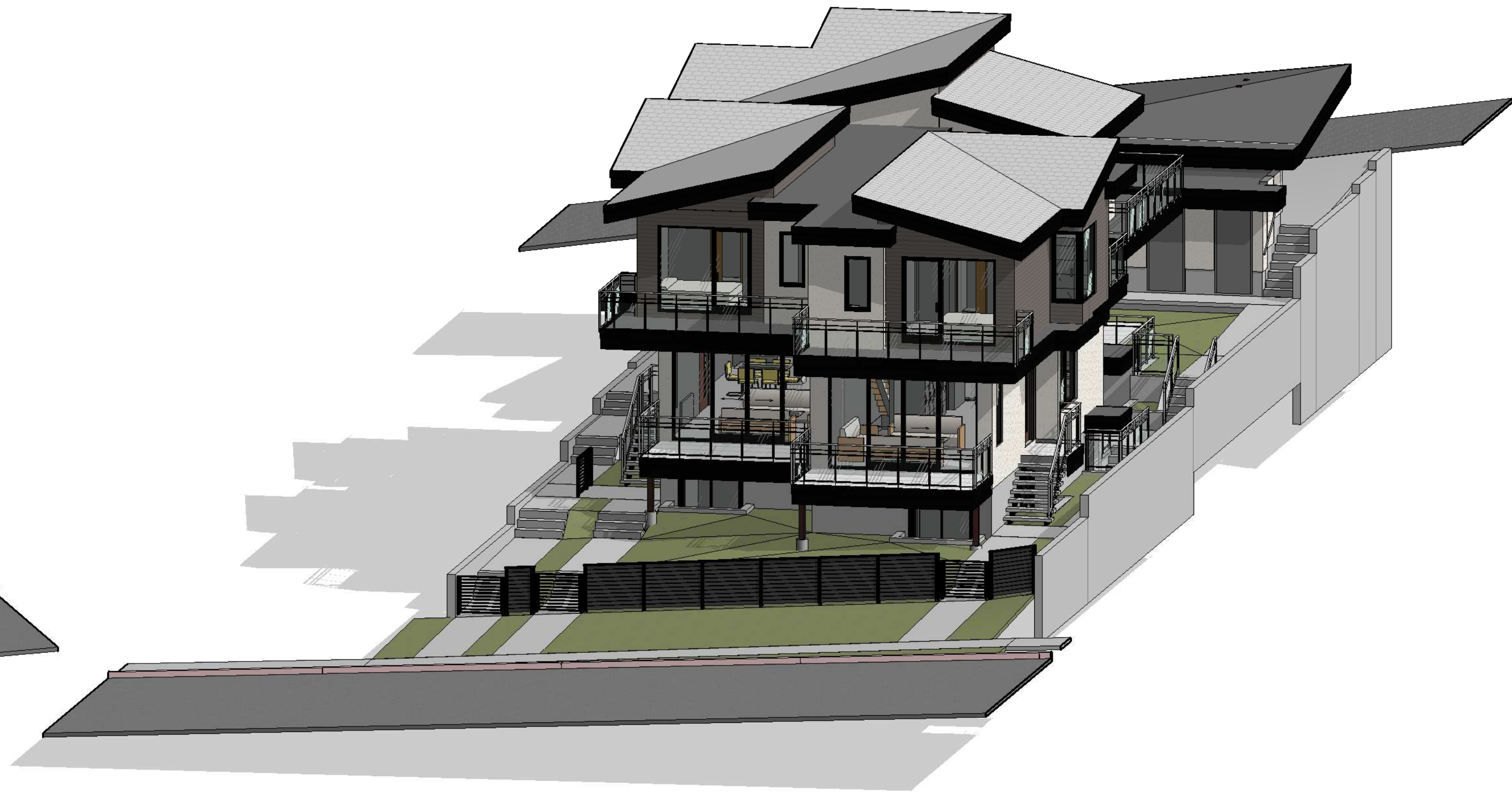
PROJECT NO.	PLOT DATE	FEB. 20, 2023	DRAWN	Author
21248	SCALE	1/4" = 1'-0"	REVIEWED	Checker
DRAWING NO.	<b>A21</b>		REVISION	2

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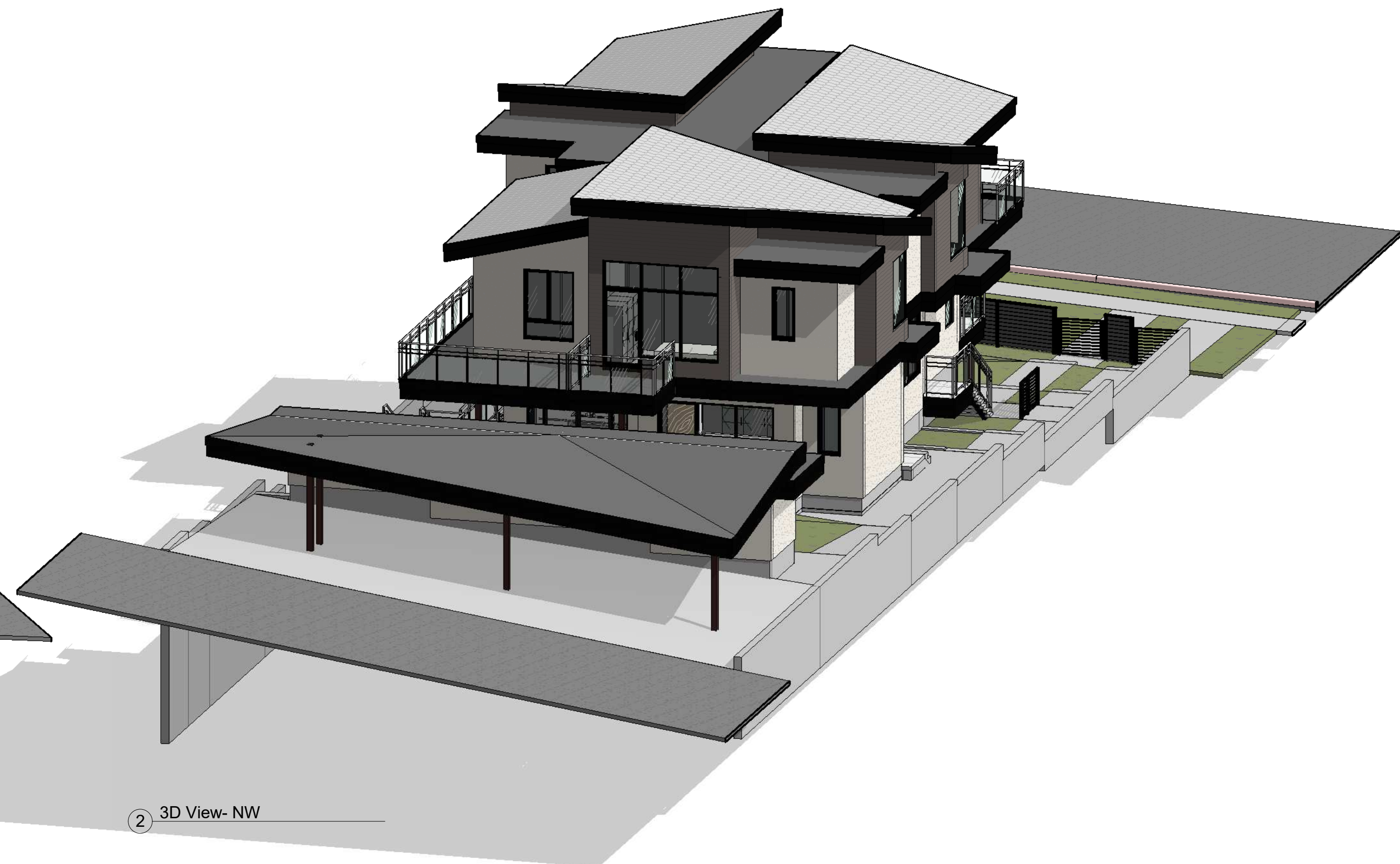
④ 3D View- SW



③ 3D View- SE



① 3D View- NE



② 3D View- NW

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
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CONSULTANT	PROJECT

CONSULTANT

PROJECT  
**WEST 14TH TRIPLEX**  
648 WEST 14TH ST, NORTH VANCOUVER

DRAWING TITLE  
**AXONOMETRIC 3D VIEWS**

DRAWING ISSUE  
**ISSUED FOR DETAIL REZONING APPLICATION**

PROJECT NO.	PLOT DATE	DRAWN	NN
21248	FEB. 20, 2023		
DRAWING NO.	SCALE	REVIEWED	AF
A22			
			REVISION
			3