LEGAL DESCRIPTION:

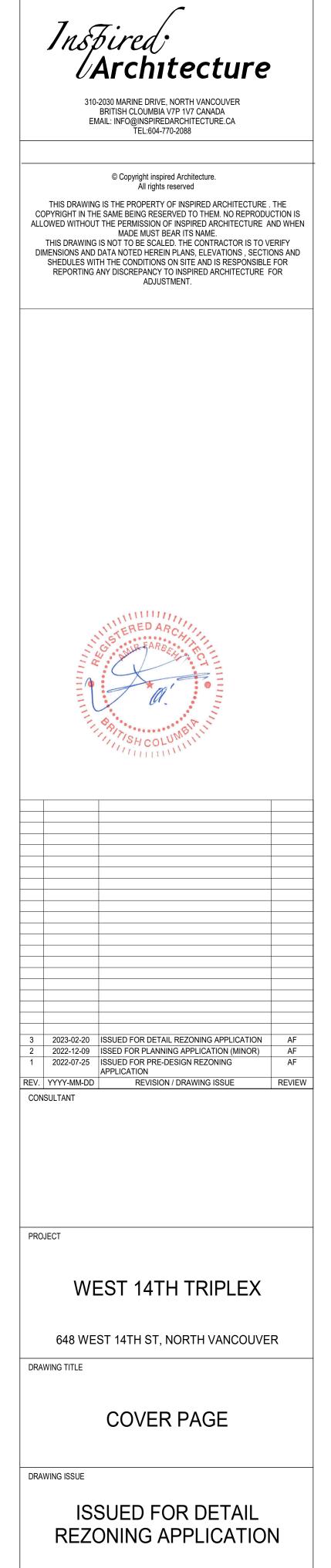
LOT; Lot:14; Block:112; DL:548; Plan:1228

ISSUED FOR DETAIL REZONING APPLICATION FEBRUARY 20, 2023

DRAWING LIST

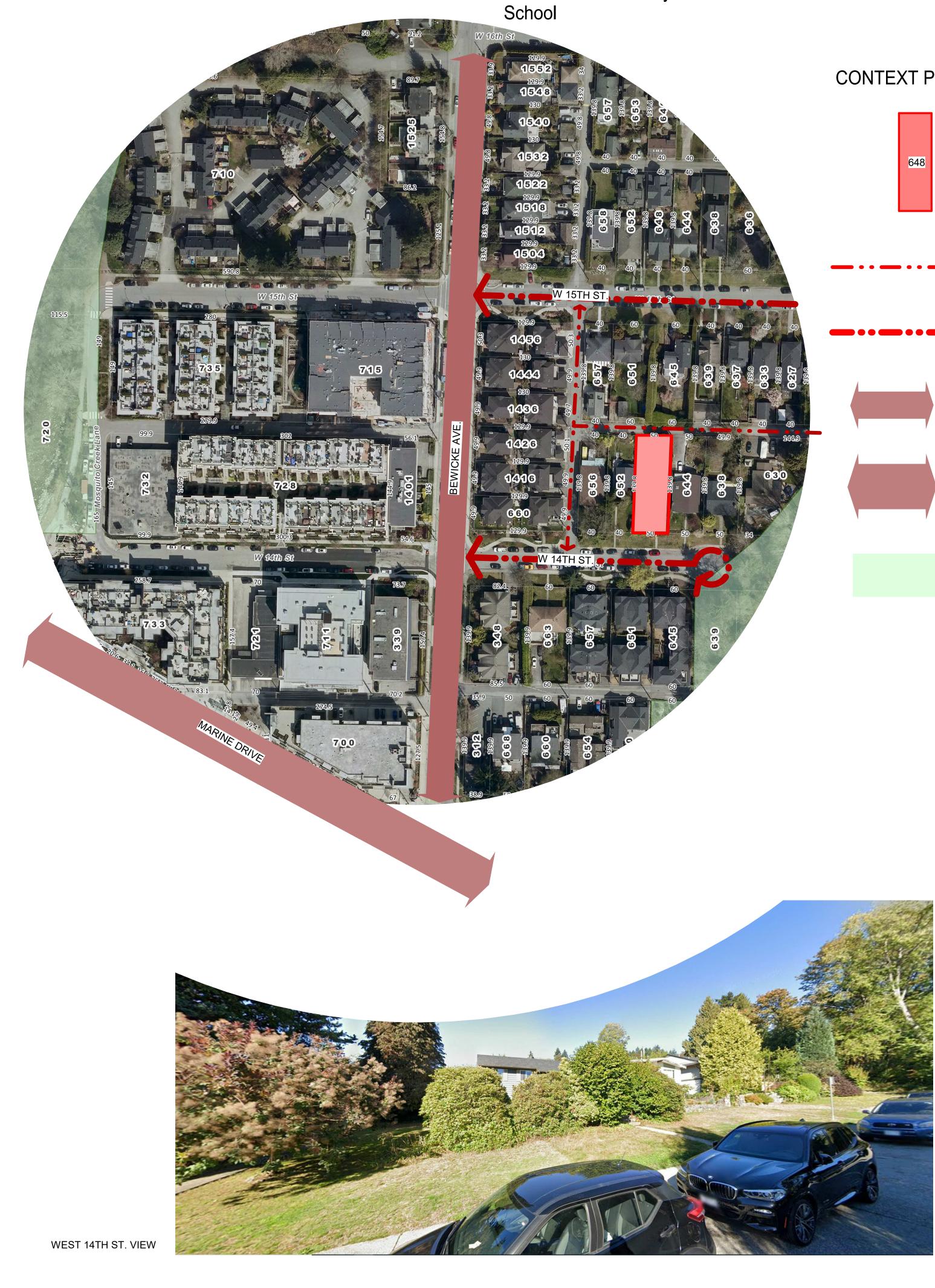
Number	Sheet Name	Revision	Date
A01	COVER PAGE	3	2023-02-20
A02	CONTEXT PLAN	3	2023-02-20
A03	CONTEXT ELEVATIONS	2	2023-02-20
A04.1	EXTERIOR RENDERINGS	1	2023-02-20
A04.2	EXTERIOR RENDERINGS	1	2022-12-09
A04.3	EXTERIOR RENDERINGS	1	2023-02-20
A05	SITE PLAN	5	2023-03-31
A06	LOT COVERAGE	2	2023-02-20
A07	ASSECCOR BUILDING	3	2023-02-20
A08	ASSECCOR BUILDING	2	2023-02-20
A09	BASEMENT FLOOR PLAN	3	2023-02-20
A10	LEVEL 1 FLOOR PLAN	3	2023-02-20
A11	LEVEL 2 FLOOR PLAN	3	2023-02-20
A12	ROOF PLAN	3	2023-02-20
A13	BASEMENT AREA OVERLAY AND SCHEDULES	2	2023-02-20
A14	LEVEL 1 AREA OVERLAY	2	2023-02-20
A15	LEVEL 2 AREA OVERLAY	2	2023-02-20
A16	ELEVATIONS - SOUTH & WEST	3	2023-02-20
A17	ELEVATIONS - NORTH & EAST	3	2023-02-20
A18	ELEVATIONS - EAST & WEST NEIGHBOUR OVERLAY	2	2023-02-20
A19	BUILDING SECTIONS	3	2023-02-20
A20	BUILDING SECTIONS	3	2023-02-20
A21	NEIGHBOURHOOD SECTIONS	2	2023-02-20
A22	AXONOMETRIC 3D VIEWS	3	2023-02-20





PROJECT NO.	FEB. 20, 2023	DRAWN	МТ
	T LD. 20, 2023		
21248	SCALE	REVIEWED	
			AF
DRAWING NO.			REVISION
	A01		3

Westview Elementary



¥

CONTEXT PLAN LEGEND



Subject Project 49.88' x 139.77'

Lane Access

W 14TH ST. & W15TH ST

BEWICKE AVE.

MARINE DRIVE

Park



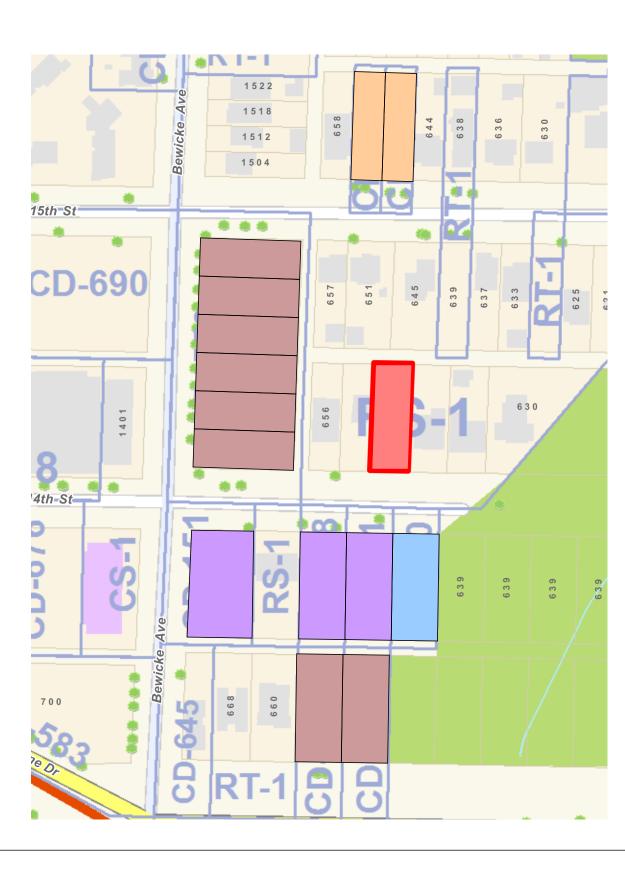
LANE VIEW



WEST 14TH ST. VIEW



WEST 14TH ST. CUL-DE-SAC VIEW



ZONING LEGEND

- Subject Project
- Duplex Development
- Triplex Development
- Fourplex Development
- 5-Dwelling Unit Development

ALL	DPYRIGHT IN THI OWED WITHOUT THIS DRAWING MENSIONS AND SHEDULES WIT	G IS THE PROPERTY OF INSPIRED ARCHITECTURE . E SAME BEING RESERVED TO THEM. NO REPRODU THE PERMISSION OF INSPIRED ARCHITECTURE A MADE MUST BEAR ITS NAME. IS NOT TO BE SCALED. THE CONTRACTOR IS TO VI DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIO TH THE CONDITIONS ON SITE AND IS RESPONSIBLE ANY DISCREPANCY TO INSPIRED ARCHITECTURE F ADJUSTMENT.	CTION IS ND WHEN ERIFY DNS AND FOR	
	3	GIS MUR FARBE		
		W AND		
		a'		
		BRITISH COLUMBIA		
3	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF	
2 1	2022-02-20 2022-12-09 2022-07-25	ISSUED FOR PLANNING APPLICATION (MINOR) ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF AF AF	
REV. CON	YYYY-MM-DD ISULTANT	REVISION / DRAWING ISSUE	REVIEW	
PRO	JECT			
WEST 14TH TRIPLEX				
	648 WE	ST 14TH ST, NORTH VANCOUVE	R	
DRA	WING TITLE			
		CONTEXT PLAN		

Inspired: Architecture

310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088

© Copyright inspired Architecture. All rights reserved



DRAWING ISSUE

PROJECT NO. PLOT DATE FEB. 20, 2023 1/64" = 1'-0" 21248 SCALE AF REVISION DRAWING NO. A02 3





	Insp	<i>Fired:</i> Architecture	
			?
		2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA IAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088	
ALL	DPYRIGHT IN TH OWED WITHOUT THIS DRAWING MENSIONS AND SHEDULES WIT	© Copyright inspired Architecture. All rights reserved S IS THE PROPERTY OF INSPIRED ARCHITECTURE SAME BEING RESERVED TO THEM. NO REPROD THE PERMISSION OF INSPIRED ARCHITECTURE MADE MUST BEAR ITS NAME. IS NOT TO BE SCALED. THE CONTRACTOR IS TO DATA NOTED HEREIN PLANS, ELEVATIONS , SEC TH THE CONDITIONS ON SITE AND IS RESPONSIB ANY DISCREPANCY TO INSPIRED ARCHITECTURE ADJUSTMENT.	OUCTION IS AND WHEN VERIFY TIONS AND LE FOR
		BRITISH COLUMBIA	
2	2023-02-20	ISSUED FOR DETAIL REZONING APPLICATION	AF
1 REV.	2022-12-09	ISSEE FOR PLANNING APPLICATION (MINOR) REVISION / DRAWING ISSUE	AF REVIEW
PRO	ŊECT		
	WE	EST 14TH TRIPLEX	
DC :		ST 14TH ST, NORTH VANCOUV	ER
URA		ITEXT ELEVATION	S
DRA	WING ISSUE		
		SUED FOR DETAIL	N
2	4040	LOT DATE FEB. 20, 2023 DRAWN CALE 1/8" = 1'-0" REVIEWED	Author Checker REVISION

A03

2





¥





Inspired: Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 © Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.
 1
 2023-02-20
 ISSUED FOR DETAIL REZONING APPLICATION
 AF

 REV.
 YYYY-MM-DD
 REVISION / DRAWING ISSUE
 REVIEW
 CONSULTANT PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE

EXTERIOR RENDERINGS

DRAWING ISSUE

ISSUED FOR DETAIL REZONING APPLICATION

DRAWING NO.	A04.1		REVISION
			Checker
21248	SCALE	REVIEWED	
PROJECT NO.	FEB. 20, 2023	DRAWN	Author
	1		





₹





Inspired: Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 © Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.
 1
 2022-12-09
 ISSED FOR PLANNING APPLICATION (MINOR)
 AF

 REV.
 YYYY-MM-DD
 REVISION / DRAWING ISSUE
 REVIEW
 CONSULTANT PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE EXTERIOR RENDERINGS DRAWING ISSUE ISSED FOR PLANNING APPLICATION (MINOR) PROJECT NO. PLOT DATE FEB. 20, 2023 DRAWN Author 21248 SCALE REVIEWED Checker DRAWING NO. REVISION A04.2 1





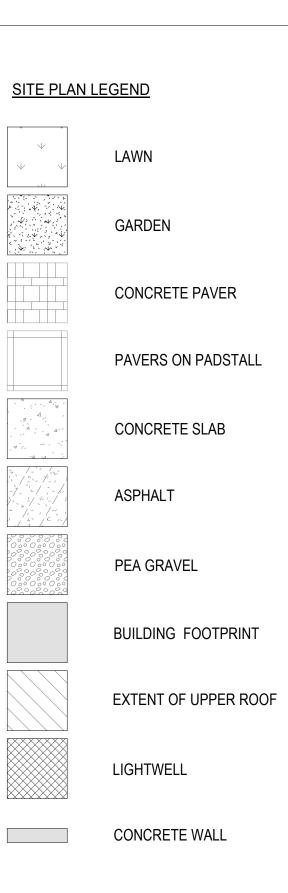
¥





Inspired: Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 © Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.
 1
 2023-02-20
 ISSUED FOR DETAIL REZONING APPLICATION
 AF

 REV.
 YYYY-MM-DD
 REVISION / DRAWING ISSUE
 REVIEW
 CONSULTANT PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE EXTERIOR RENDERINGS DRAWING ISSUE **ISSUED FOR DETAIL REZONING APPLICATION** PROJECT NO. PLOT DATE FEB. 20, 2023 DRAWN Author 21248 SCALE REVIEWED Checker REVISION DRAWING NO. A04.3 1

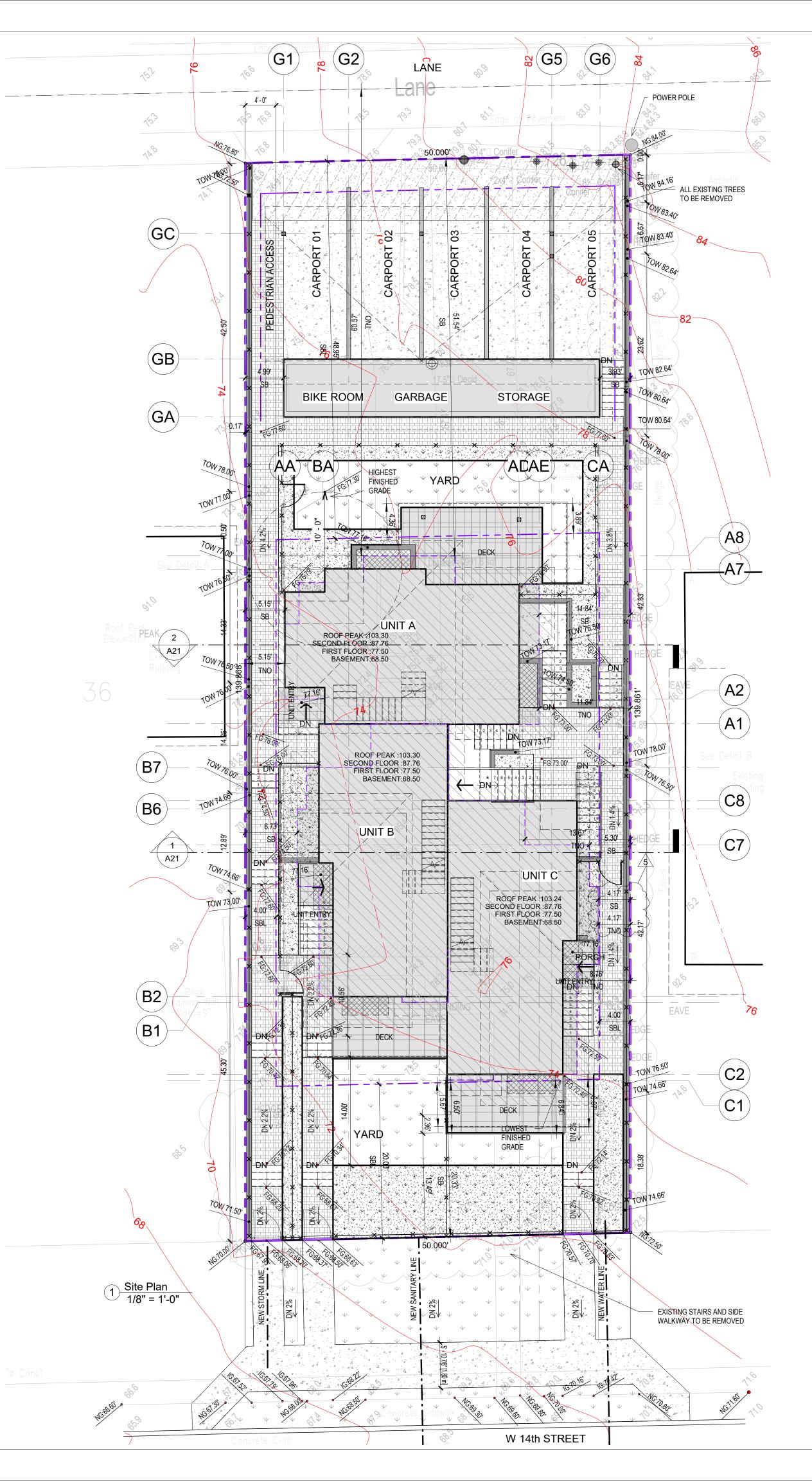


ABBREVIATION LEGEND

Bottom of Wall Carbon Monoxide director Driveway Segment Electrical Fireplace Exhaust Fan Existing Fire Pit Floor Drain Gas Fireplace High guard High Handrail Lot Width Lower Window Head Property Line Proposed Ramp Segment Roof Drain Setback Setback line Slope down Slope Up Smoke Alarm To Cladding To Foundation To Nearest opening To Road Center line Top of Top of Slab Top of Wall	BOW CO DS FP EF EX FP GFP HH LW PL PR SBL SDW SA TCLD TFND TNO TCO TOS TOP
Top of Slab	TOS
	2

SITE PLAN LINE TYPES

PROPERTY LINE	
SETBACK LINE	
BLDG FOOTPRINT	
BLDG LEVEL 1 OUTLINE	
BLDG LEVEL 2 OUTLINE	
UPPER ROOF OUTLINE	
LOWER ROOF OVERHANG OUTLINE	
CLADDING OUTLINE	
TREE PROTECTION ZONE	
BLDG SERVICES	<u> </u>



Ę

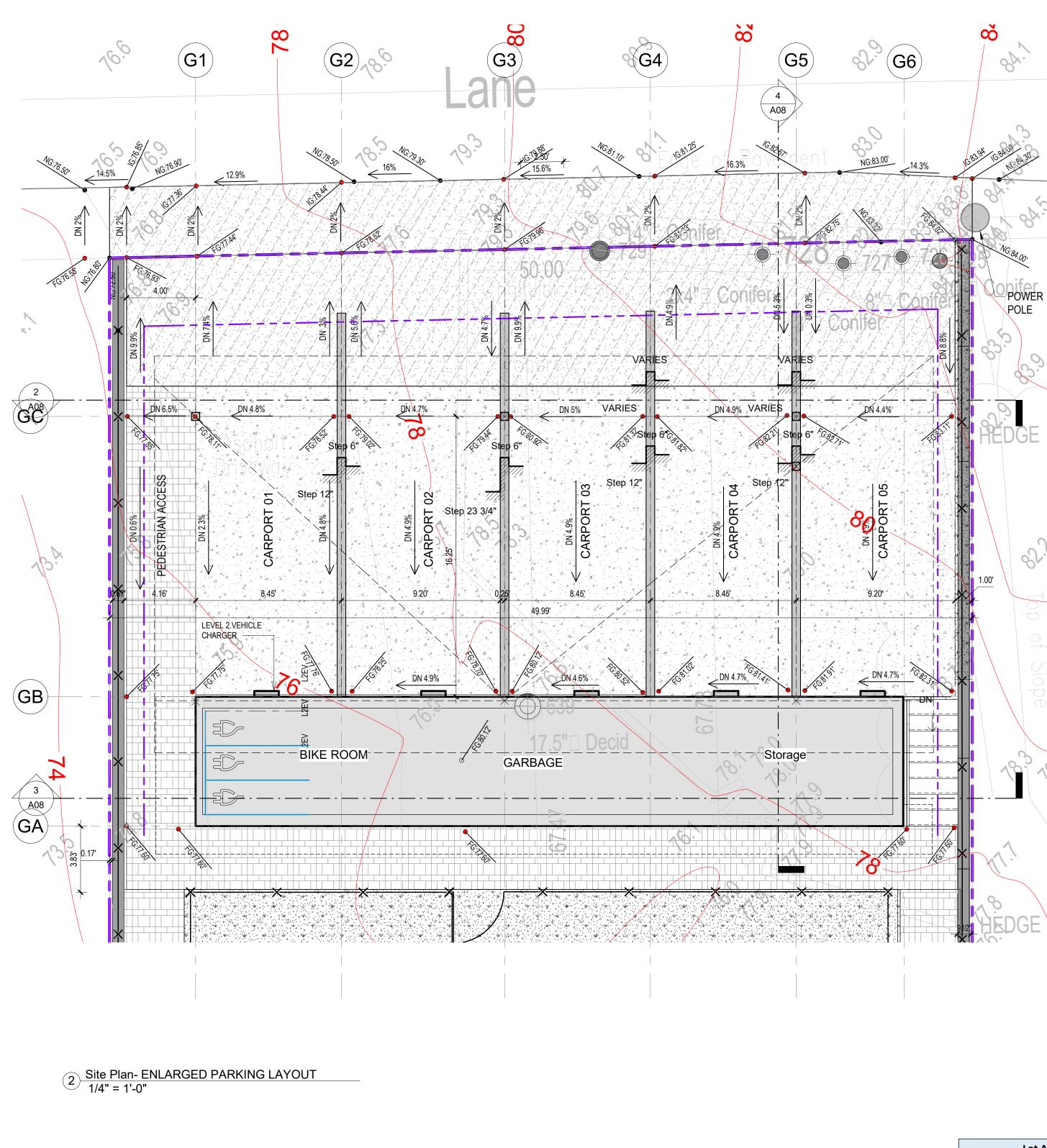
CIVIC ADDRESS:				
LEGAL DESCRIPTION:				
ZONE:				
LOT AREA:				
LOT WIDTH:				
DENSITY RATIO:				
BUILDING ANALYSIS		ALLC	OWED	
	Metrie	2	Imperia	I
FLOOR SPACE RATIO	324.77	m²	3,495.80	ft²
FIRST FLOOR AREA		···· 2		ft²
SECOND FLOOR AREA		m²		π-
BELOW GRADE FLOOR AREA		m²		ft²
TOTAL LIVING SPACE		m²		ft²
STORAGE		m²		ft²
BIKE ROOM		m²		ft²
GARBAGE		m²		ft²
TOTAL OTHER EXEMPTIONS		m²		ft²
PRINCIPAL BUILDING COVERAGE		m²		ft²
LOT COVERAGE		m²		ft²
		ALLC	WED	
OUTDOOR AREA	Metrie	3	Imperia	I
ΡΑΤΙΟ		m²		ft²
DALCONY		2		ft²
BALCONY		m²		
SUN DECK		m² m²		ft²
				-
SUN DECK	 	m²		ft²
SUN DECK COVERD DECK	 	m² m²	 	ft² ft²
SUN DECK COVERD DECK PORCH	 	m² m² m²	 	ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK	 	m² m² m² m² m²	 WED	ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA		m² m² m² m² m²	 WED 	ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE	 	m ² m ² m ² m² ALLC	 PWED 	ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE		m ² m ² m ² m ² ALLC m ² m ²	 WED WED	ft ² ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE		m ² m ² m ² m ² ALLC m ² m ²		ft ² ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE BULDING SITTING	 6.10	m ² m ² m ² m ² ALLC m ² M ²	 DWED	ft ² ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE BULDING SITTING COURT YARD WIDTH	 6.10 1.22	m ² m ² m ² m ² ALLC m ² ALLC	 PWED 	ft ² ft ² ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE BULDING SITTING COURT YARD WIDTH FRONT YARD		m ² m ² m ² m ² ALLC m ² ALLC m m	 PWED n/a	ft ² ft ² ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE BULDING SITTING COURT YARD WIDTH FRONT YARD SIDE YARD-EAST	1.22	m ² m ² m ² m ² ALLC m ² ALLC m m m	 WED n/a 4.00	ft ² ft ² ft ² ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE BULDING SITTING COURT YARD WIDTH FRONT YARD SIDE YARD-EAST SIDE YARD-WEST	1.22 1.22	m ² m ² m ² m ² ALLC m ² ALLC m m m	 WED n/a 4.00 4.00	ft ² ft ² ft ² ft ² ft ² ft ² ft ² ft ² ft ²
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE BULDING SITTING COURT YARD WIDTH FRONT YARD SIDE YARD-EAST SIDE YARD-EAST SIDE YARD-WEST REAR YARD	1.22 1.22 14.92	m ² m ² m ² ALLC m ² ALLC M m m m m m	 WED n/a 4.00 48.95 26.25 33.14	ft ² ft ² ft ² ft ² ft ² ft ² ft ² ft ft ft ft ft
SUN DECK COVERD DECK PORCH ROOF DECK TOTAL OUTDOOR AREA LANDSCAPE SITE PERMEABLE SITE IMPERMEABLE BULDING SITTING COURT YARD WIDTH FRONT YARD SIDE YARD-EAST SIDE YARD-EAST SIDE YARD-WEST REAR YARD TOP OF TOP PLATE	1.22 1.22 14.92 8	m ² m ² m ² ALLC m ² ALLC M m m m m m	 WED n/a 4.00 48.95 26.25	ft² ft ft

RECYCLING A	ND G/	
BUILDING USE		
MULTIPLE UNIT RESIDENTIAL (≥ 3 UNITS)		
RECYCLING AND GA	RBAG	

BUILDING	USE	GARE (3)	
		REQ.	
DWELLING UNITS	(4-9 UNITS)	1	

				BIK
DECOUDTION	N			
DESCRIPTIO	N	UNIT		ONG TERM
RESIDENTIA	L	5	1.5 per	unit (5x1
	$\searrow \bigcirc$			$\langle \rangle \rangle \langle \rangle$
A	REA OVERI	_AY-GROS	SS FLOOR AREA (SI	UITE SIZES
Level	Area	(Gross Area Category	Area C
LEVEL 1	310.03	ft²	Below Grade	EXCLU
Accessory: 3	310.03	ft²		
BASEMENT	547.09	ft²	Below Grade	EXCLU
LEVEL 1	546.94		Above Grade	FSR
LEVEL 2	619.11		Above Grade	FSR
UNIT A: 15	1713.13	ft²		
BASEMENT	563.06	ft²	Below Grade	EXCLU
LEVEL 1	563.06	ft²	Above Grade	FSR
LEVEL 2	597.65	ft²	Above Grade	FSR
UNIT B: 14	1723.76	ft²		
BASEMENT	564.03	ft²	Below Grade	EXCLU
LEVEL 1	564.11	ft²	Above Grade	FSR
LEVEL 2	598.10	ft²	Above Grade	FSR
UNIT C: 14	1726.25	ft²		
Grand total: 46	,5473.16	ft²	Å I	j. I
	\sim	$\smile \frown \bigcirc$		

	PROJEC	ΤA							(50)						Ins	<i>Bired</i> Architecture	
			6	48 WEST 14 LOT; Lot:E												Architecture	
			2	F		-	ng To CD									-2030 MARINE DRIVE, NORTH VANCOUVER	
	649	.54	m²		6,991 3	.60 ff 0.473									E	BRITISH CLOUMBIA V7P 1V7 CANADA MAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088	
						0.5											
				PROPOSI						CON	MMENT	S				© Copyright inspired Architecture. All rights reserved	
ft²	Me 324	_	m²	Impe 3,488.		t ²	BALANCE 6.83								OPYRIGHT IN TH	G IS THE PROPERTY OF INSPIRED ARCHITECTURE . IE SAME BEING RESERVED TO THEM. NO REPRODUC	CTION IS
	524	• 1 • •		5,400.	57 1	•	0.85								THIS DRAWING	T THE PERMISSION OF INSPIRED ARCHITECTURE AI MADE MUST BEAR ITS NAME. S IS NOT TO BE SCALED. THE CONTRACTOR IS TO VE	ERIFY
ft²	155	.53	m²	1,674.	11 ft	2									SHEDULES W	DATA NOTED HEREIN PLANS, ELEVATIONS, SECTION TH THE CONDITIONS ON SITE AND IS RESPONSIBLE ANY DISCREPANCY TO INSPIRED ARCHITECTURE F	FOR
ft²	168 155			1,814. 1,674.												ADJUSTMENT.	
ft ²	479			5,163 .		t ²											
ft² ft²		.96		117.		t ²											
ft²		.21 .64	m²	109. 82.		t ²											
ft ²		.80	m²	310.		t²											
ft² ft²	35.9 48.6			35.92 48.68													
				PROPOSI													
ft²		tric .00	m²	Impe 0.		2 ²	% 0.00%							-			
ft²	55	.99	m²	602.	65 ft	t ²	11.67%										
ft² ft²		.00 .75	m² m²	0. 406.	00 ft 30 ft		0.00%	Inclue	des land	lscape				_			
ft²		.06	m²	97.		t ²	1.89%										
ft² ft²	0 102	.00 .80		0. 1,106.	00 fi 50 fi	t ²	0.00% 21.43%	Perce	Percentage of total living space					-			
	102			PROPOSI	ED		~ J/0									IN FRED AR	
ft² ft²			m² m²			t ²								-	111	AND FARBE	
				PROPOSI													
ft ft		.43 .20	m _m	24.		t t	5							-		7 a.	
ft	{ 1	.27	m	4.	17 f	t	3									BITISH COLUMBIA	
ft ft		.57 .71	_m m	<u> </u>		t t										THILL WILL	
ft	6	.69	m	21.	95 f	t											
ft	8	.65	m	28. PROPOSI		t											
5 0	PER/UNI [®] PER/UNI [®]		1	TOTAL TOTAL		5		Stand	lard stal								
D G	ARBAG	GE S	STO	RAGE C			ΓΙΟΝ										
				REQU								/IDED					
	ACE REC	-			M	IN.		UNIT		SP	ACE	U	NIT				
	0.486 n (5x0.4	-			1	1		m²		6	.1	r	n²	5	2023-03-31	REISSUED FOR DETAIL REZONING APPLICATION	Af
	(4 3 2	2023-02-20 2022-12-09 2022-11-21	ISSUED FOR DETAIL REZONING APPLICATION ISSED FOR PLANNING APPLICATION (MINOR) ISSUED FOR COORDINATION	AF AF AF
BAG	E STO	RA	GE (NUMBE	R OF	CC	NTAIN	ERS)						1	2022-07-25	ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF
GAR	BAGE	GAI	RBAG	E NEW I	PRINT		VIXED		XED				OD		YYYY-MM-DD NSULTANT	REVISION / DRAWING ISSUE	REVIEW
	yd³)	(2	yd³)*	• (36	OL)		PAPER (360L)		AINER 60L)	CARD	BOARD		RAPS 40L)				
EQ.	PRO.	REQ	. PR	O. REQ.	PRO.	REC	Q. PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.				
1	1	N/A	4 -	- 1	1	1	. 1	1	1	N/A	1	1	1				
BI	KE CAI	ิ่ว	JLAT	ΓΙΟΝ										PRC	JECT		
211	REQUI								DD	OVIDE	-D						
TED			, 	SHOPT -									N A		W	EST 14TH TRIPLEX	
TER				SHORT	IERIV	l	LUI	NG TEI	KIVI		SHOR		IVI				
(5x1	L.5=7.5)			N/#	4			18			١	N/A			648 WE	ST 14TH ST, NORTH VANCOUVE	R
	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		$\overline{\gamma}$		2										WING TITLE		
SIZES Area	o) Category	Sı	ite Nu	mber	$\langle \rangle$												
	JSION	Acc	essory	/	>											SITE PLAN	
			-														
SR	JSION		IT A IT A		$\left\{ \left[ \right] \right\}$	5								DRA	WING ISSUE		
SR		UN	IT A		$\langle \rangle$											SSUED FOR DETAIL	
	JSION		IT B		$\left\langle \right\rangle$										REZ	ONING APPLICATION	N
SR SR			IT B IT B		Z												
	JSION	1 16.1	IT C		$\left\{ \right.$											PLOT DATE         DRAWN           FEB. 20, 2023         DRAWN           SCALE         REVIEWED	MT
SR		UN	IT C IT C IT C		$\langle \rangle$							$\square$		AWING NO.	As indicated		
211				]	5										-	A05	5
$\nearrow$			$\checkmark$														~



SITE PLAN LINE TYP

PROPERTY LINE

SETBACK LINE

**BLDG FOOTPRINT** 

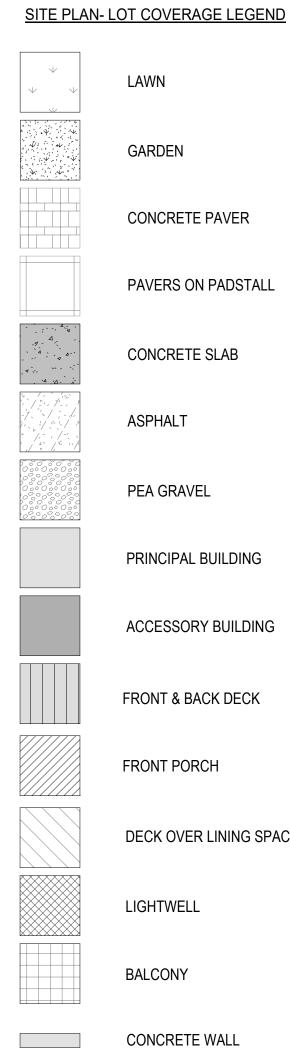
**BLDG LEVEL 1 OUTLINE BLDG LEVEL 2 OUTLINE** 

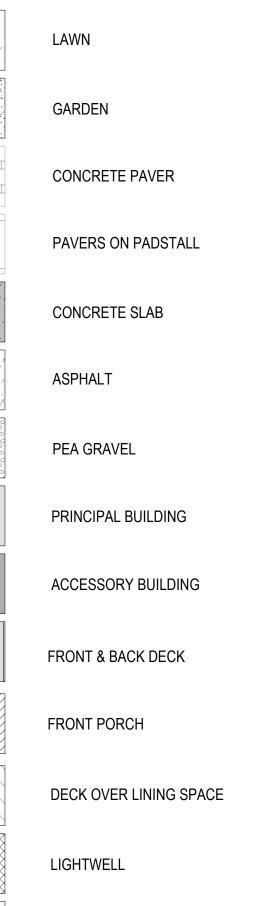
UPPER ROOF OUTLINE

LOWER ROOF OVERHANG OUTLINE CLADDING OUTLINE

TREE PROTECTION ZONE

BLDG SERVICES





BALCONY

CONCRETE WALL

### LOT COVERAGE AREA BREAKDOWN

	Lot Area							
PES			owed					
		% Ar						
	Principal building lot coverage	-						
	Combined Lot coverage	-						
	Principal Building							
	Principal Building							
	Front Porch (Including slabs with 3' he	ight above ex	isting)					
	Back Deck (Including slabs with 3' heig	ght above exis	ting)					
	Front Deck (Including slabs with 3' hei	ght above exi	sting)					
	Balcony							
	Deck Over Living Space							
	Second Floor Balcony Projections Ove	r Deck & Porc	h					
	Principal Building Total							
	Accessory Bui	lding						
	Accessory Building (MAX 889.00 ft ² )							
	Exclusion	S						
	GRAND TOTAL							
E	Calculation Note:							

Calculation Note: The provided lot coverage calculation excludes the access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.



Area ft²

-

-

6991.6

Provided

35.92% 2,511.60

AREA

1,911.79 ft²

20.86 ft²

0.00 ft²

225.99 ft²

602.69 ft²

-40.25 ft²

-209.48 ft²

891.74 ft²

3,403.34 ft²

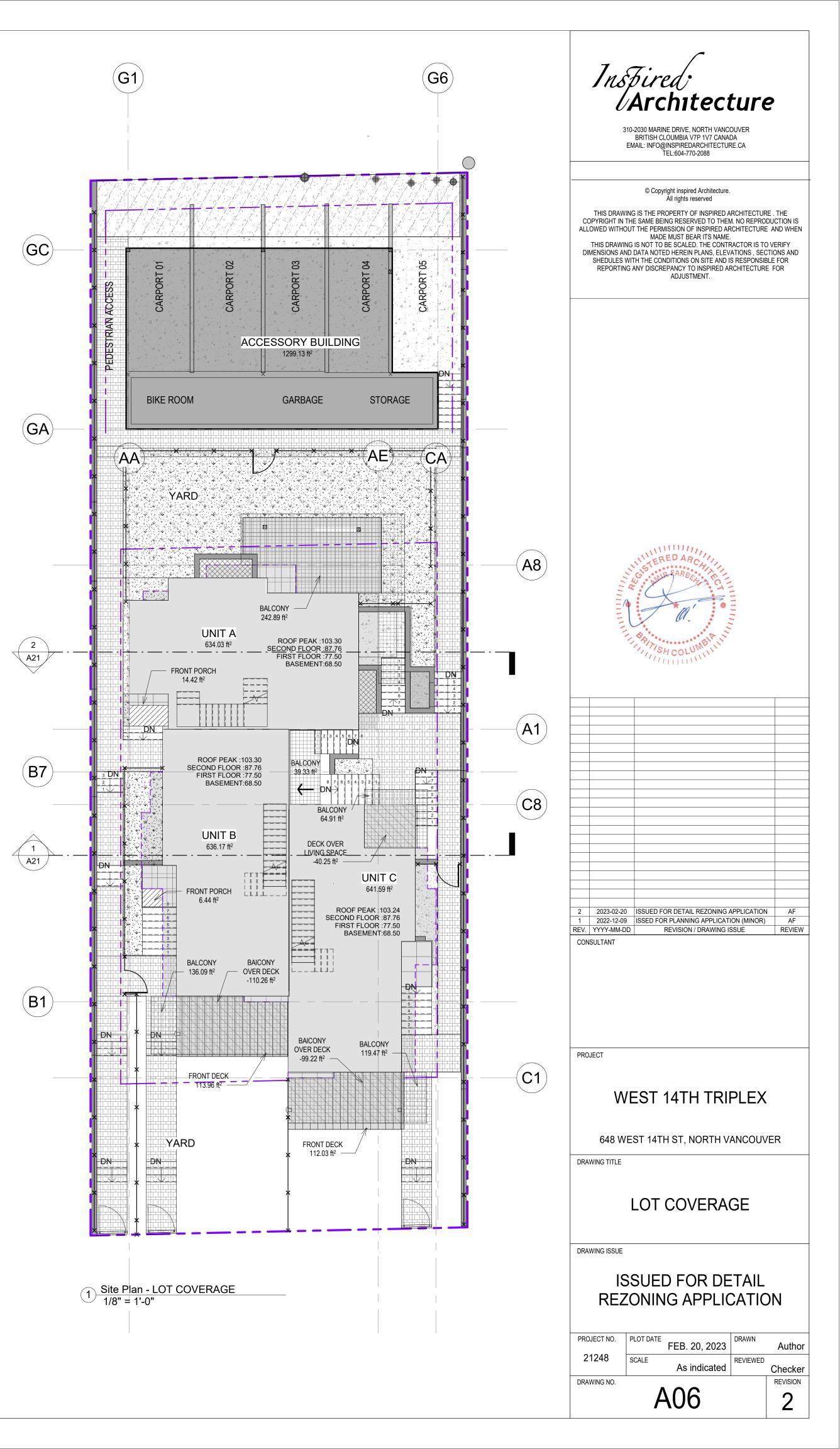
2,511.60 ft²

Area ft²

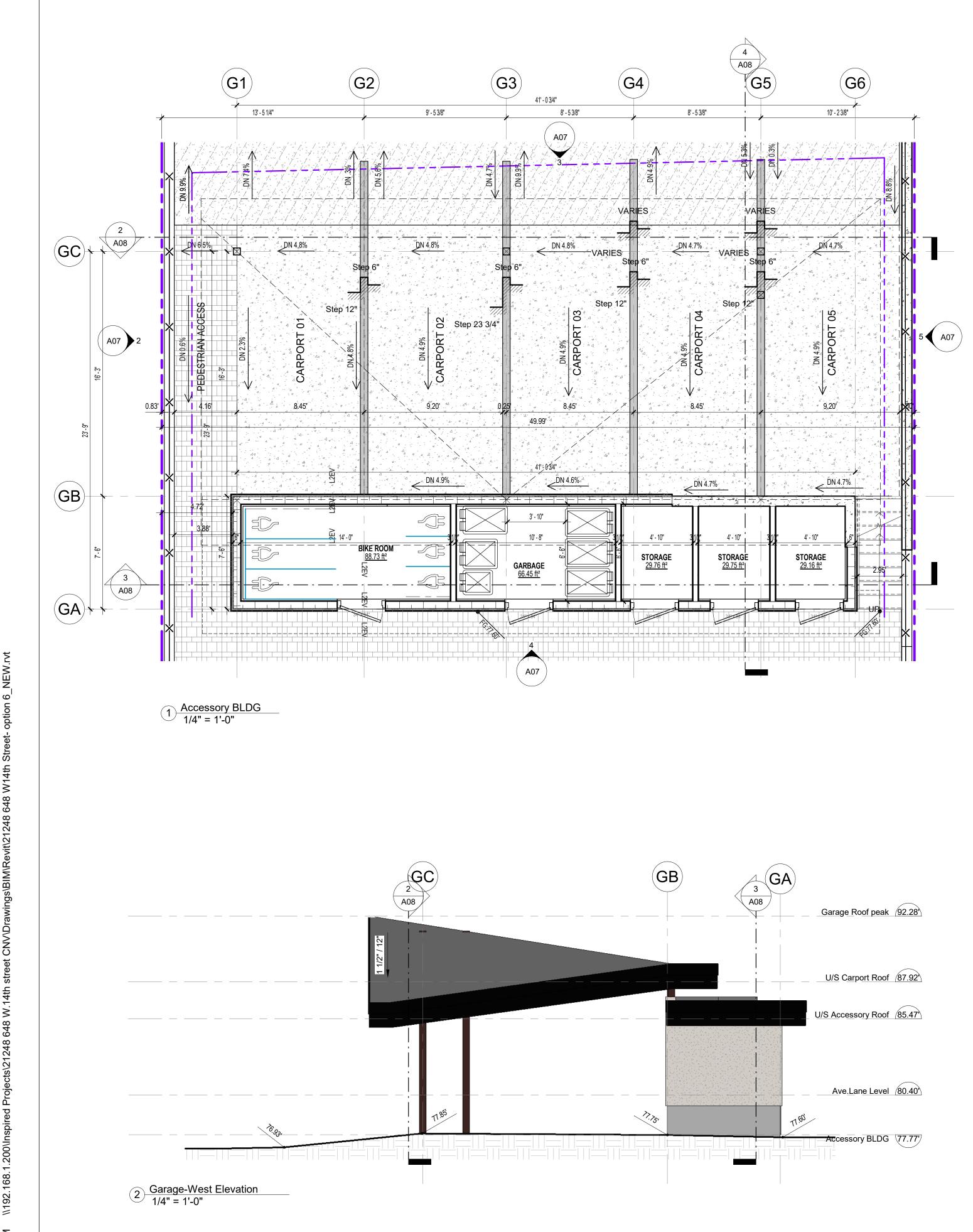
3,403.34

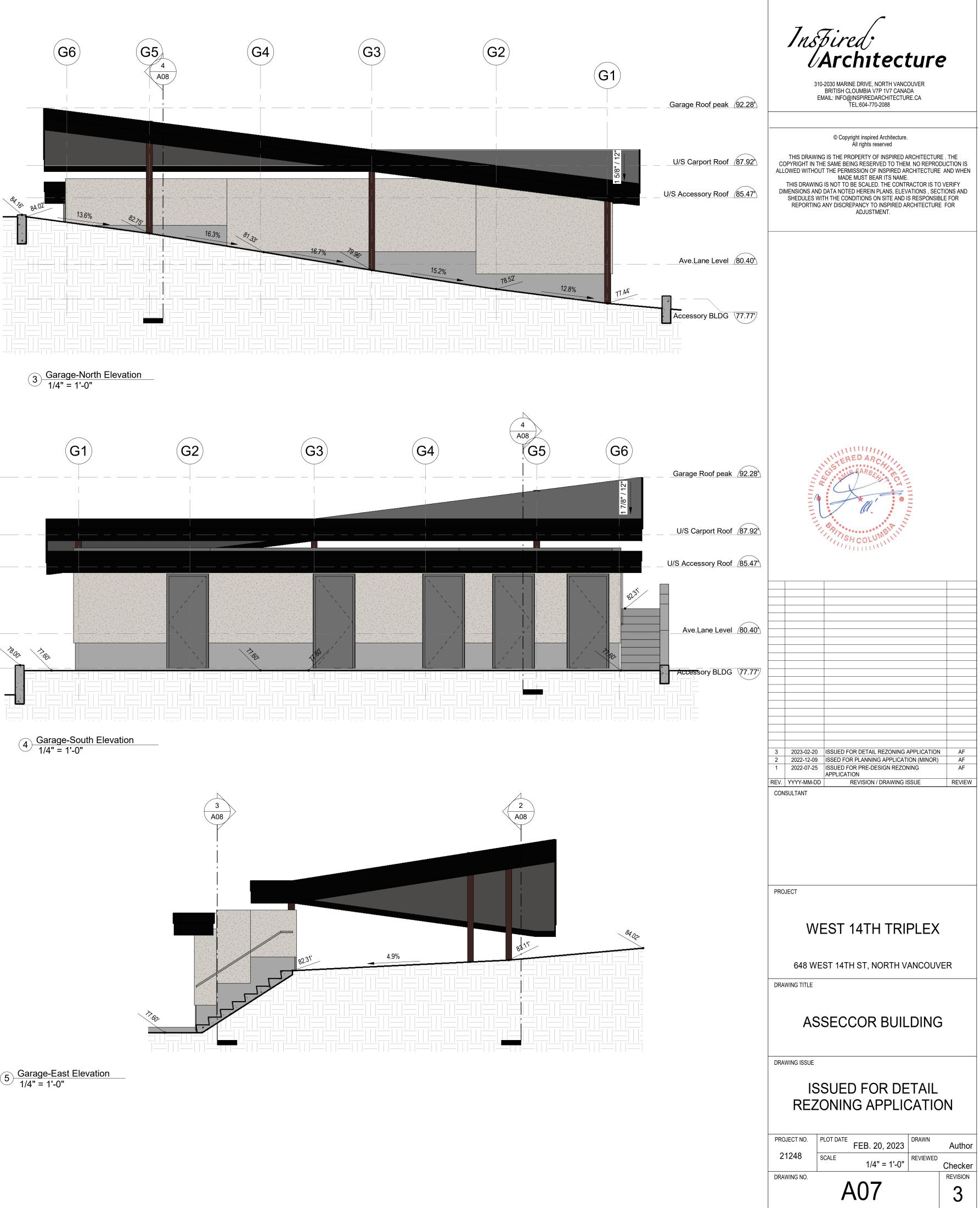
%

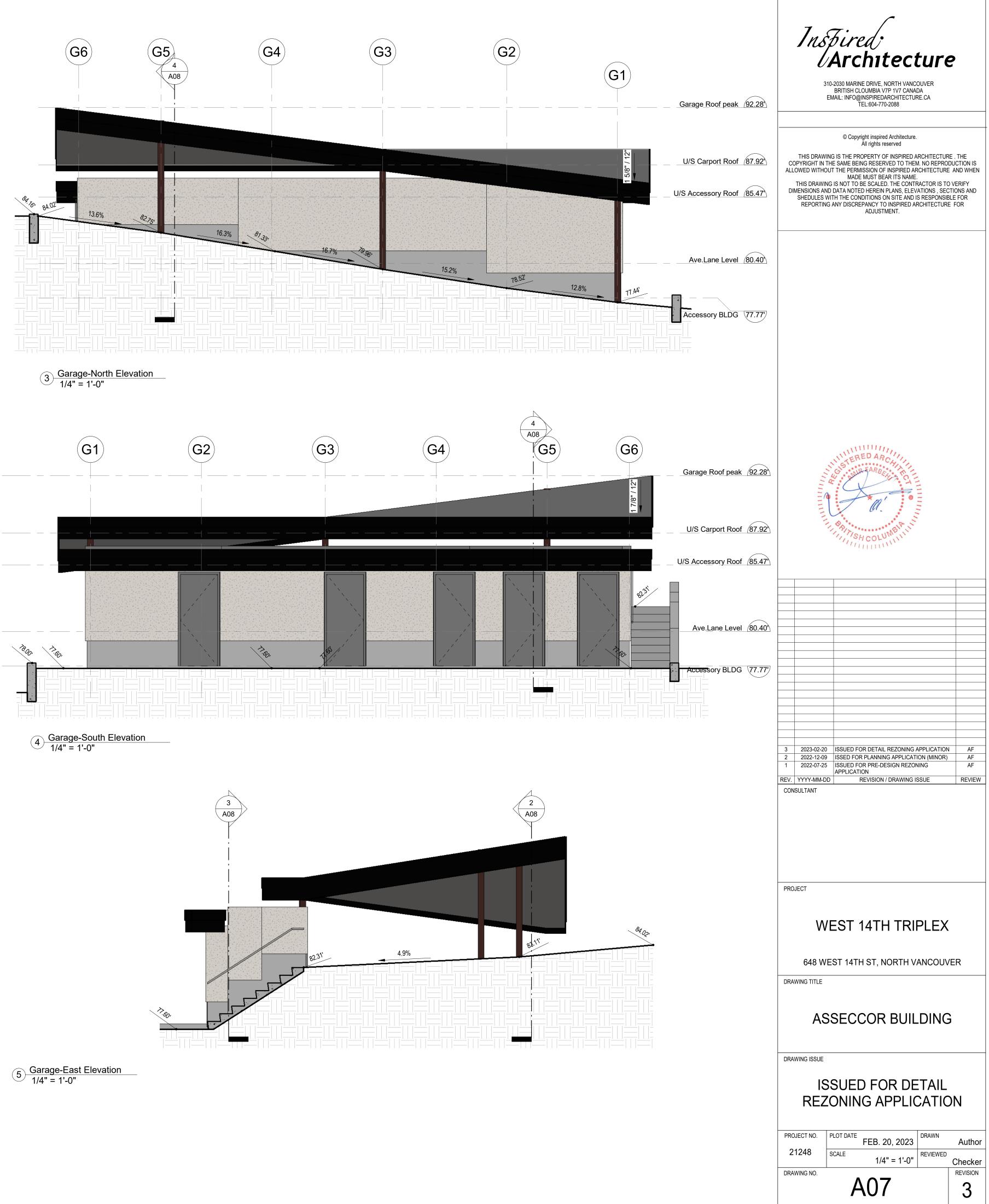
48.68%

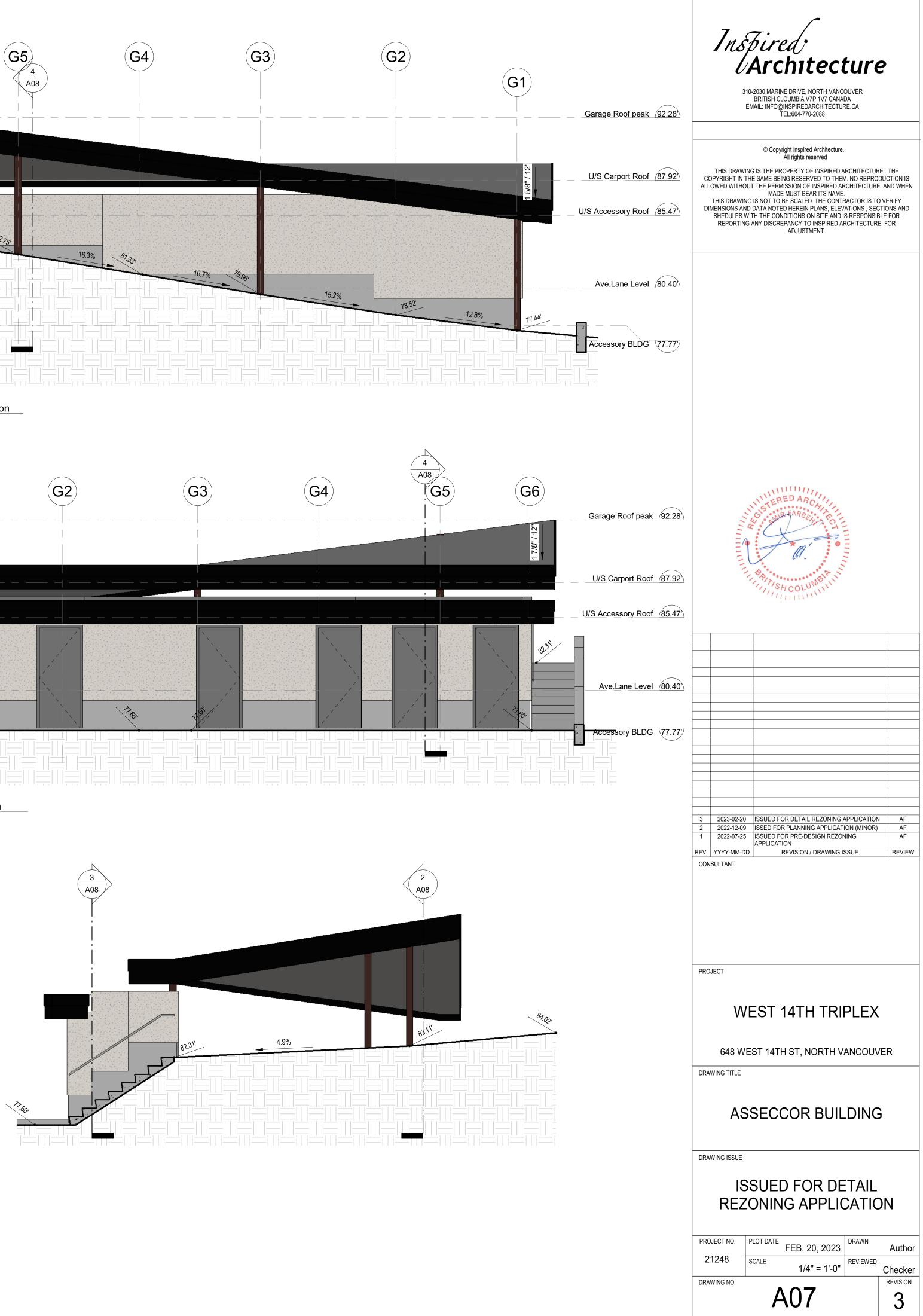


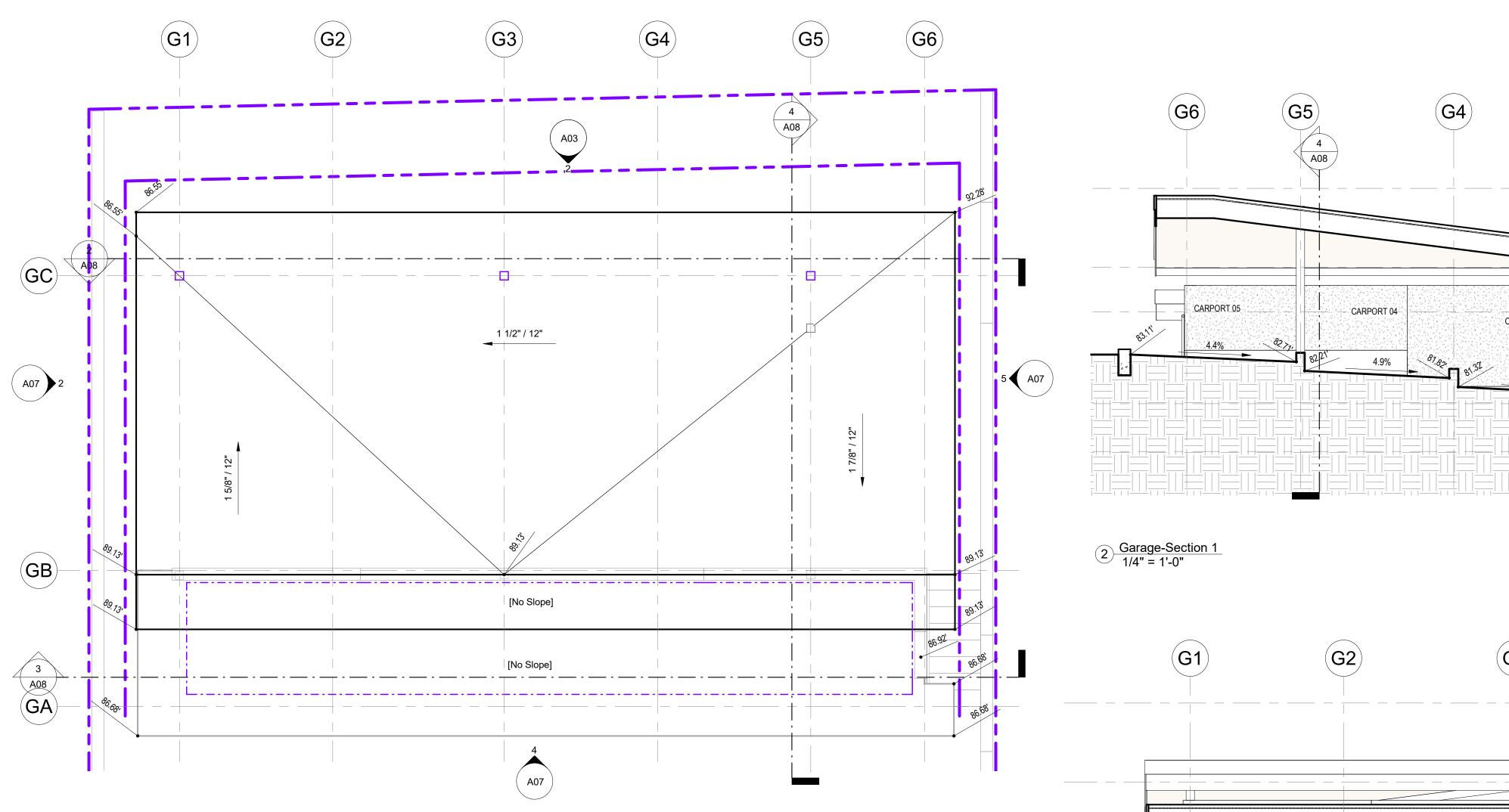
___.__.





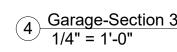


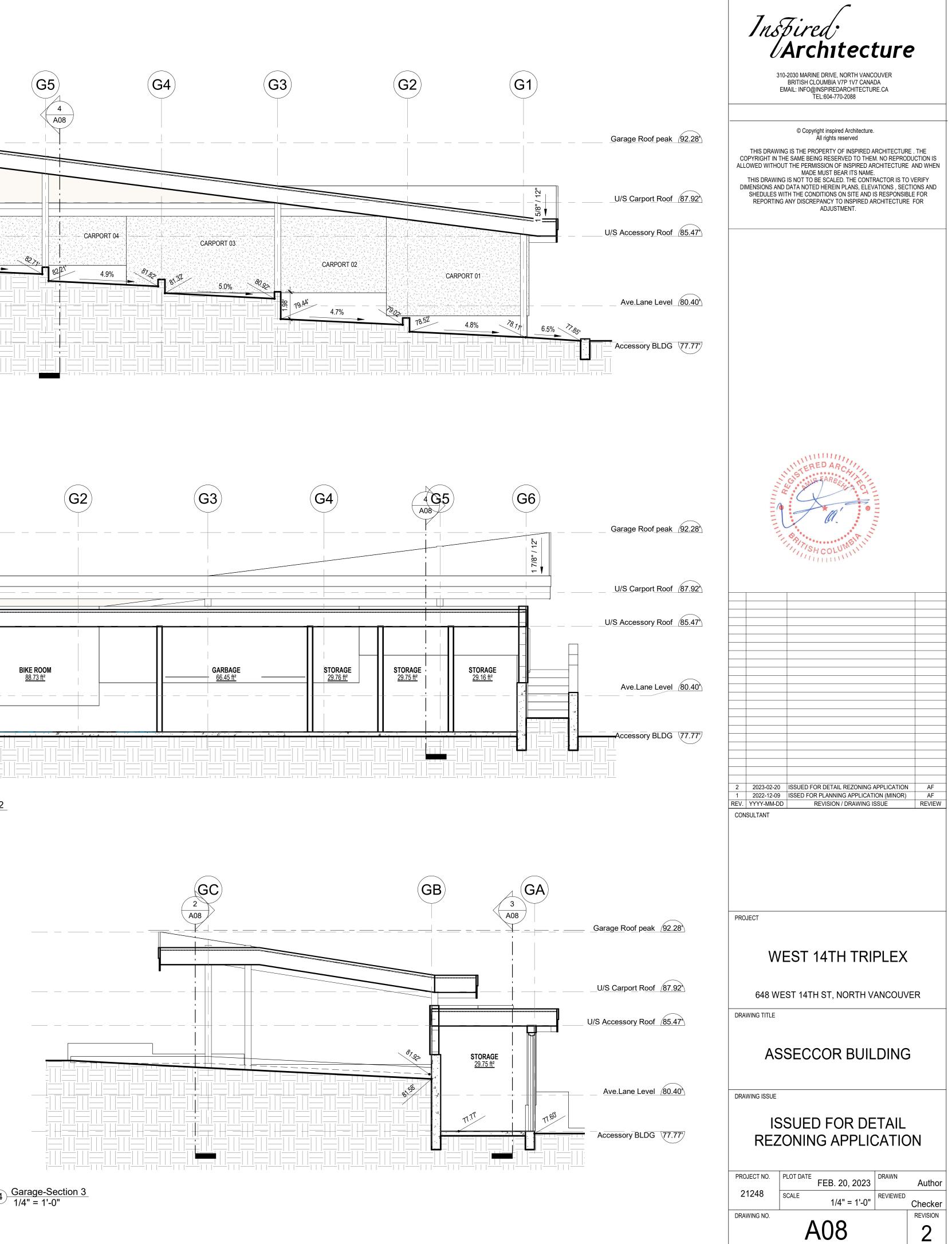


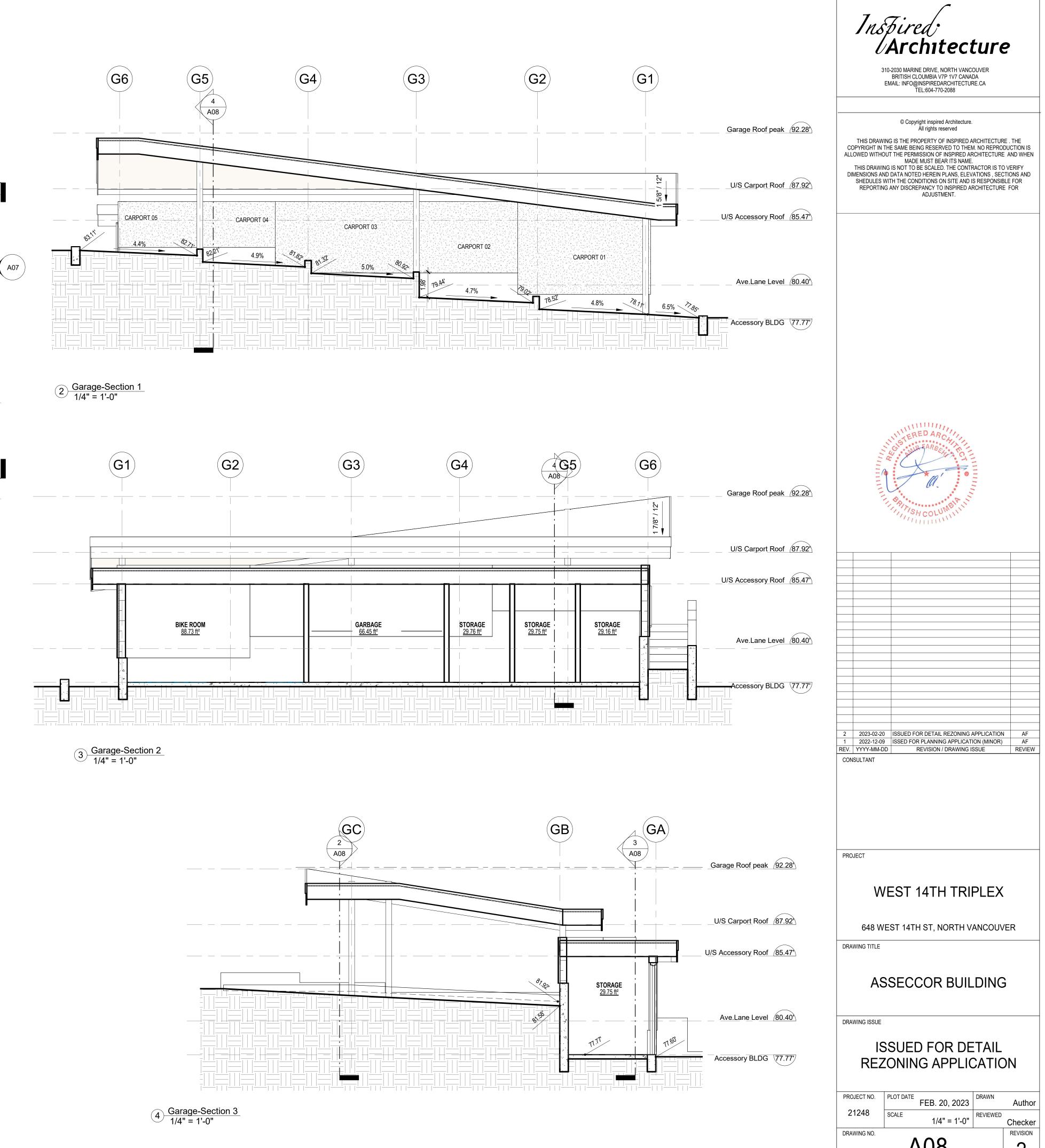


1 Garage-Roof Plan 1/4" = 1'-0"

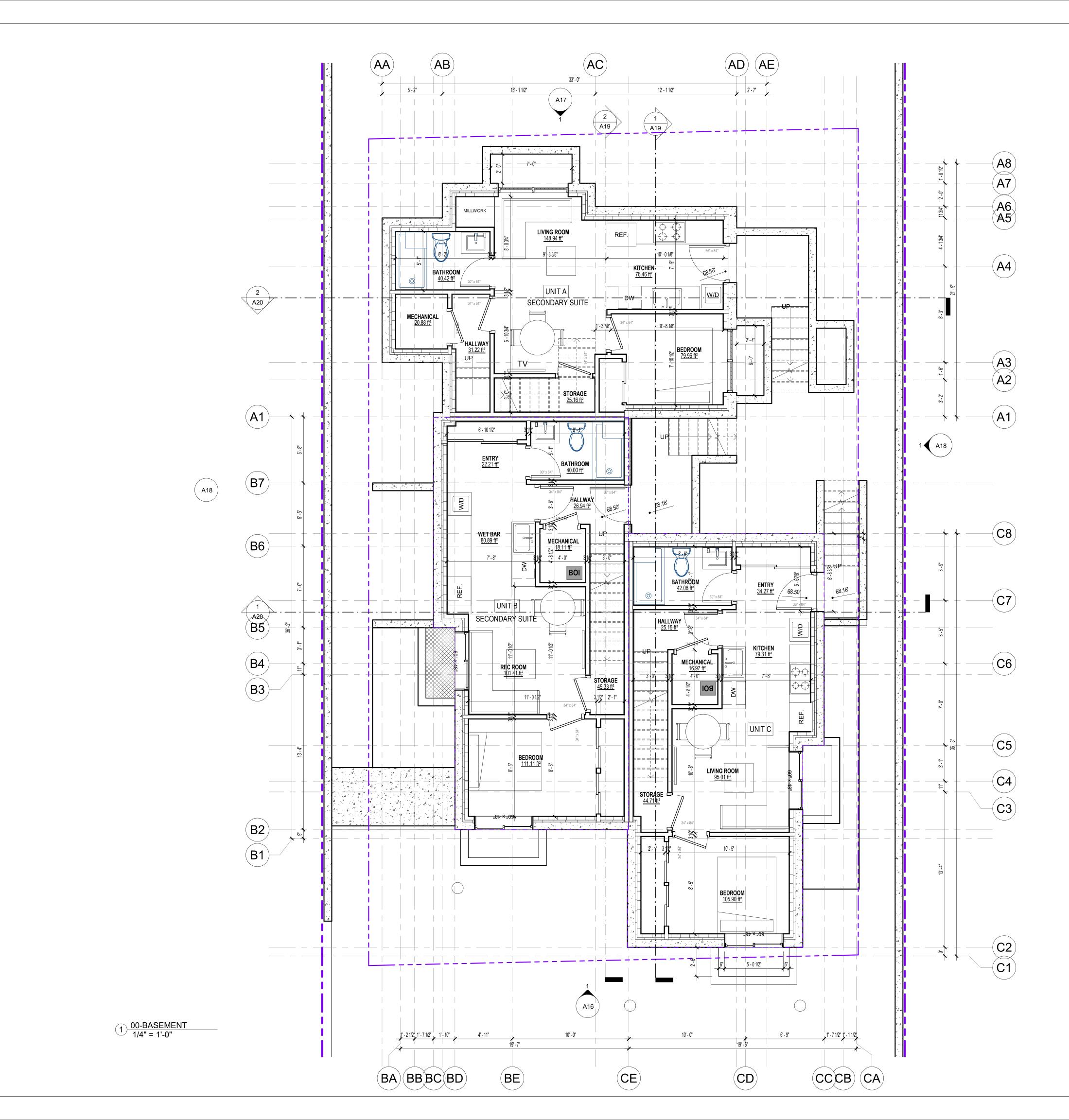
ば



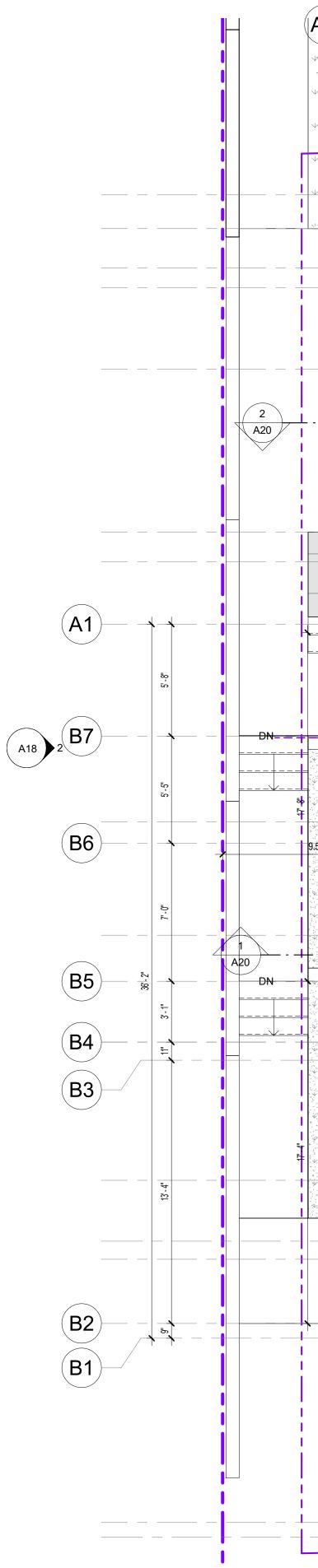




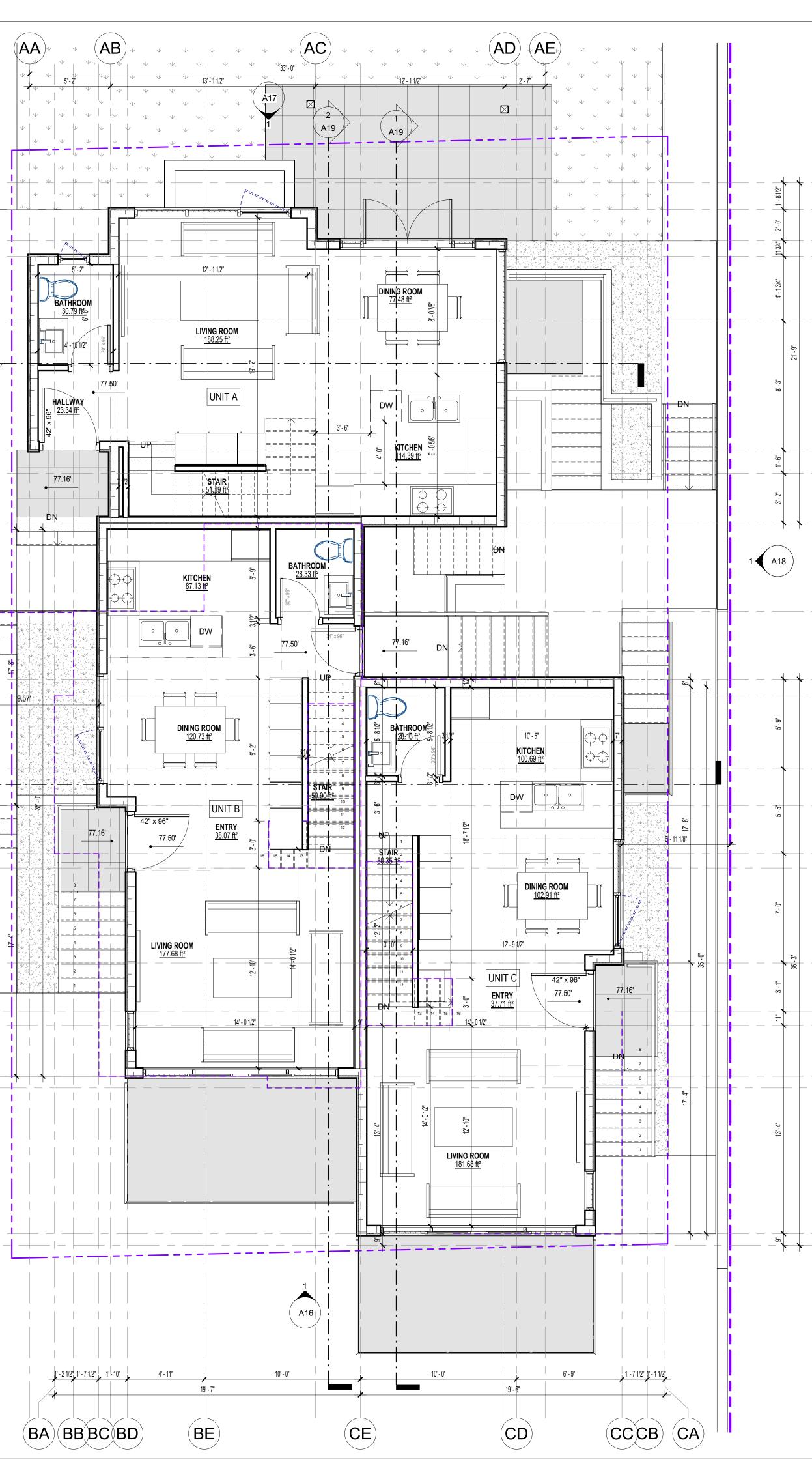




	InE	Tired.	
		<i>Fired:</i> Architecture	
	310-	2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA IAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088	
		© Copyright inspired Architecture. All rights reserved	
ALL	DPYRIGHT IN THI OWED WITHOUT THIS DRAWING MENSIONS AND SHEDULES WIT	G IS THE PROPERTY OF INSPIRED ARCHITECTURE E SAME BEING RESERVED TO THEM. NO REPRODI I THE PERMISSION OF INSPIRED ARCHITECTURE MADE MUST BEAR ITS NAME. IS NOT TO BE SCALED. THE CONTRACTOR IS TO ' DATA NOTED HEREIN PLANS, ELEVATIONS , SECT I'H THE CONDITIONS ON SITE AND IS RESPONSIBL ANY DISCREPANCY TO INSPIRED ARCHITECTURE ADJUSTMENT.	JCTION IS AND WHEN VERIFY IONS AND E FOR
		BRITISHCOLUMEIA	
3 2	2023-02-20 2022-12-09	ISSUED FOR DETAIL REZONING APPLICATION ISSED FOR PLANNING APPLICATION (MINOR)	AF AF
	2022-07-25 YYYY-MM-DD SULTANT	ISSUED FOR PRE-DESIGN REZONING APPLICATION REVISION / DRAWING ISSUE	AF
-	JECT		
PRO	WE	EST 14TH TRIPLEX	
_		EST 14TH TRIPLEX ST 14TH ST, NORTH VANCOUVE	ĒR
_	648 WE		
DRA	648 WE	ST 14TH ST, NORTH VANCOUVE	
DRA	648 WE WING TITLE BASE WING ISSUE	ST 14TH ST, NORTH VANCOUVE	N
DRA	648 WE WING TITLE BASE WING ISSUE ISS REZO	SUED FOR DETAIL	N

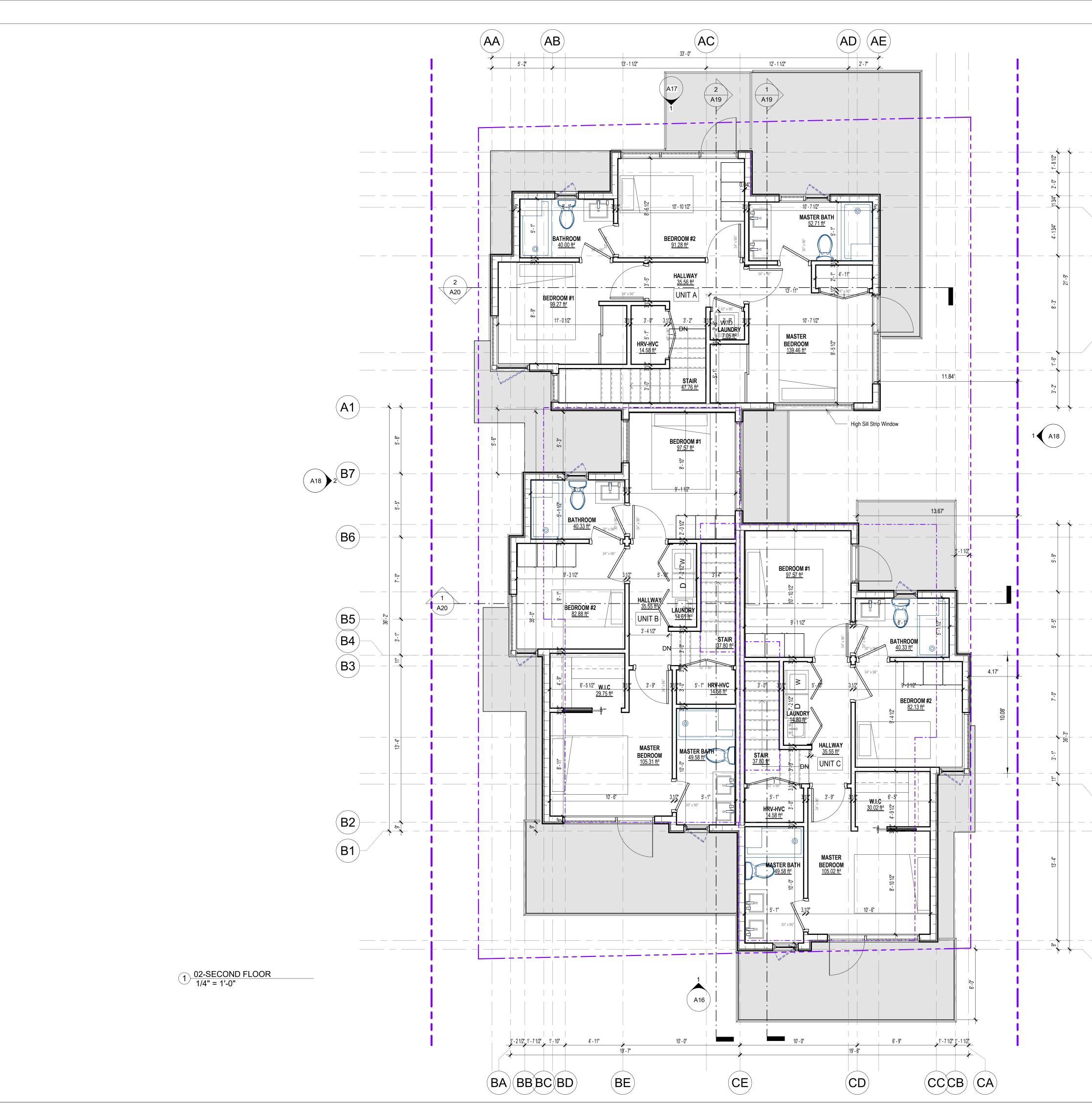


1 01-FIRST FLOOR 1/4" = 1'-0"



	Inspired Architecture BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA
48 47 46 45	© Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.
44	
<b>43</b> <b>42</b>	
<b>A1</b>	GISTERED ARCHING
C8	A COLUMBIA
27	Image: Constraint of the second se
26	Image:
25 24 23	3       2023-02-20       ISSUED FOR DETAIL REZONING APPLICATION       AF         2       2022-12-09       ISSED FOR PLANNING APPLICATION (MINOR)       AF         1       2022-07-25       ISSUED FOR PRE-DESIGN REZONING APPLICATION       AF         REV.       YYYY-MM-DD       REVISION / DRAWING ISSUE       REVIEW         CONSULTANT       Image: constant of the second secon
	PROJECT WEST 14TH TRIPLEX
	648 WEST 14TH ST, NORTH VANCOUVER
22	LEVEL 1 FLOOR PLAN
	ISSUED FOR DETAIL REZONING APPLICATION
	PROJECT NO.         PLOT DATE         FEB. 20, 2023         DRAWN         NN           21248         SCALE         1/4" = 1'-0"         REVIEWED         AF           DRAWING NO.         AT         AF         AF         AF





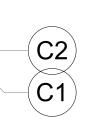
Inspired Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088
© Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.
THERED ARCHING
Image: Sector
Image: Second state of the second s
PROJECT
WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE
LEVEL 2 FLOOR PLAN
DRAWING ISSUE ISSUED FOR DETAIL REZONING APPLICATION
PROJECT NO.         PLOT DATE         FEB. 20, 2023         DRAWN         NN           21248         SCALE         1/4" = 1'-0"         REVIEWED         AF           DRAWING NO.         A11         REVISION         3



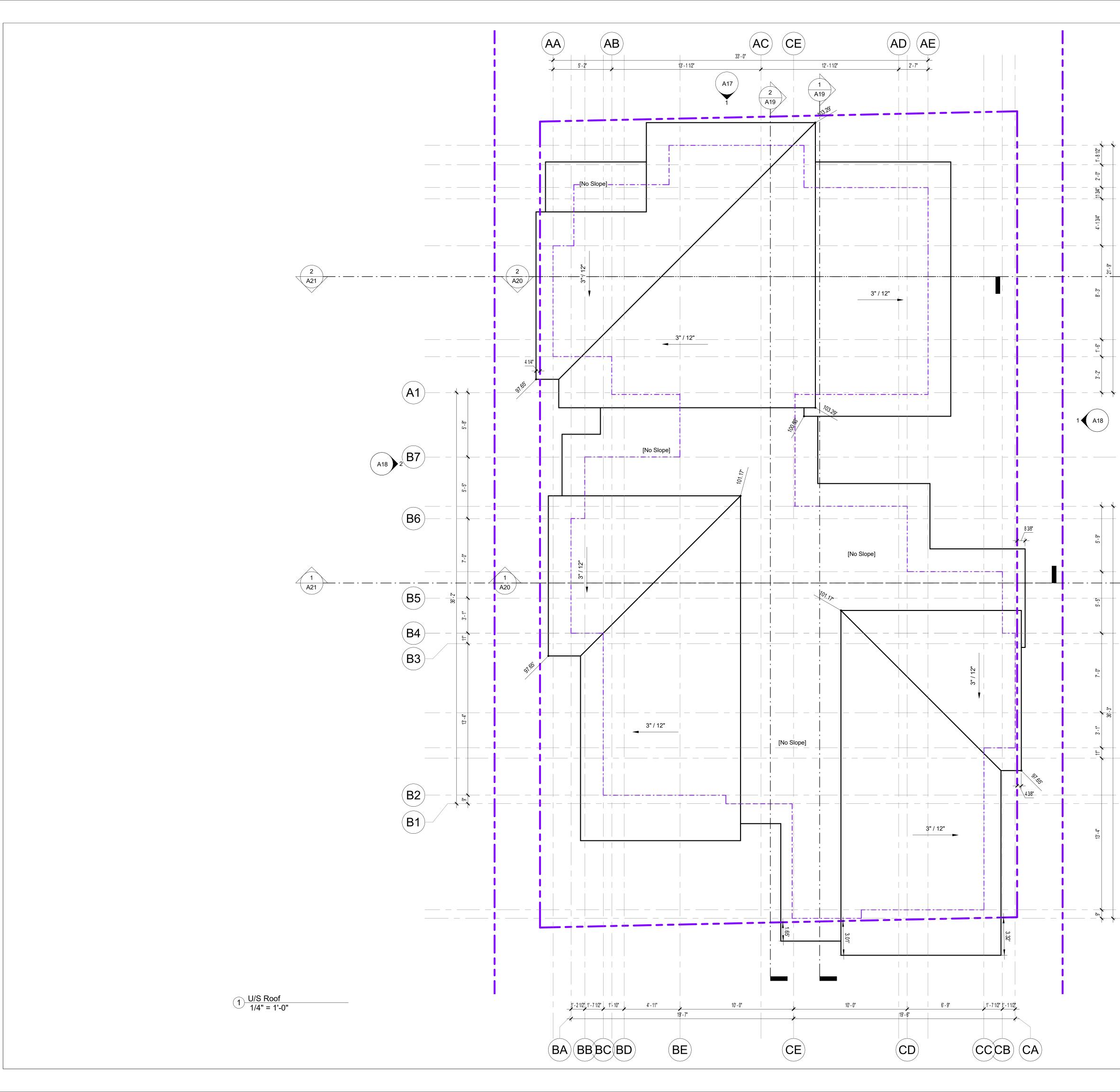
(A8)(A7)(A6)(A5)

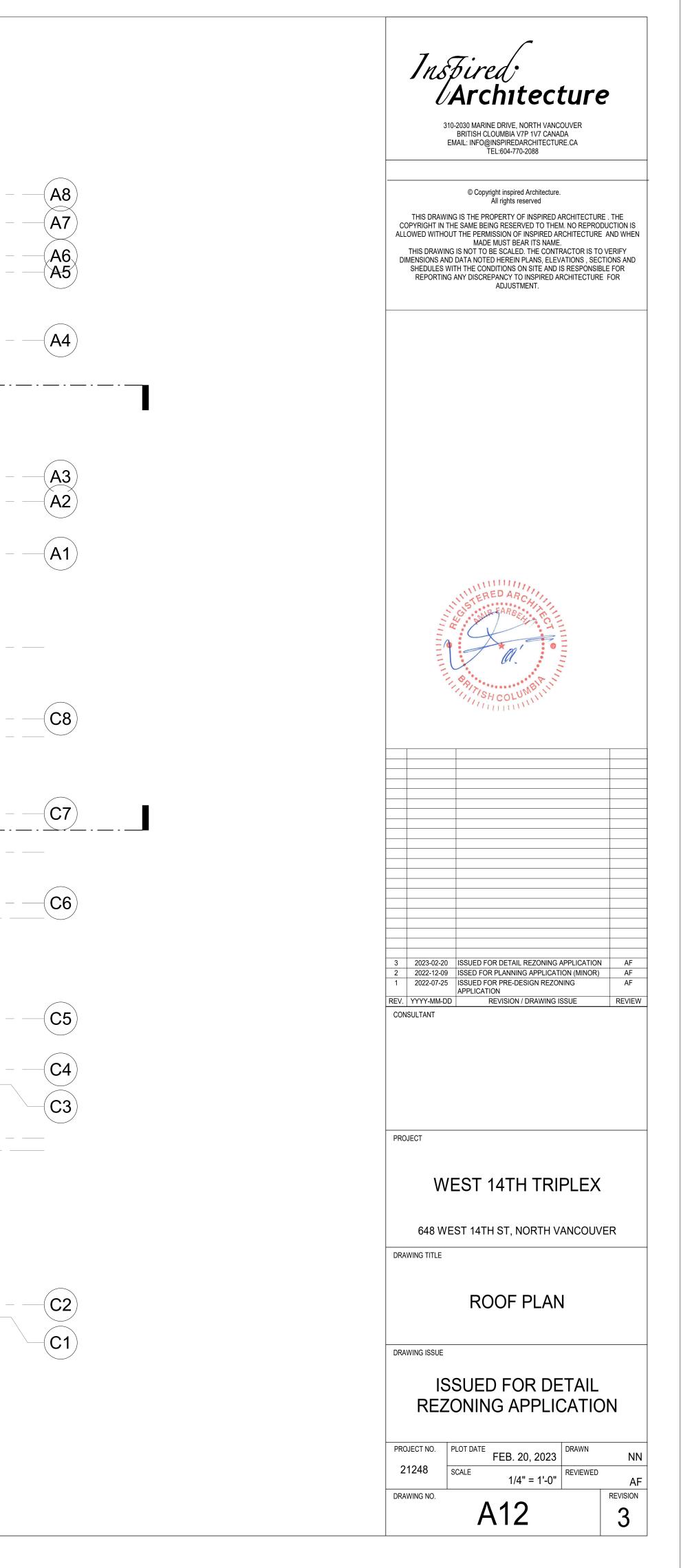
(A4)

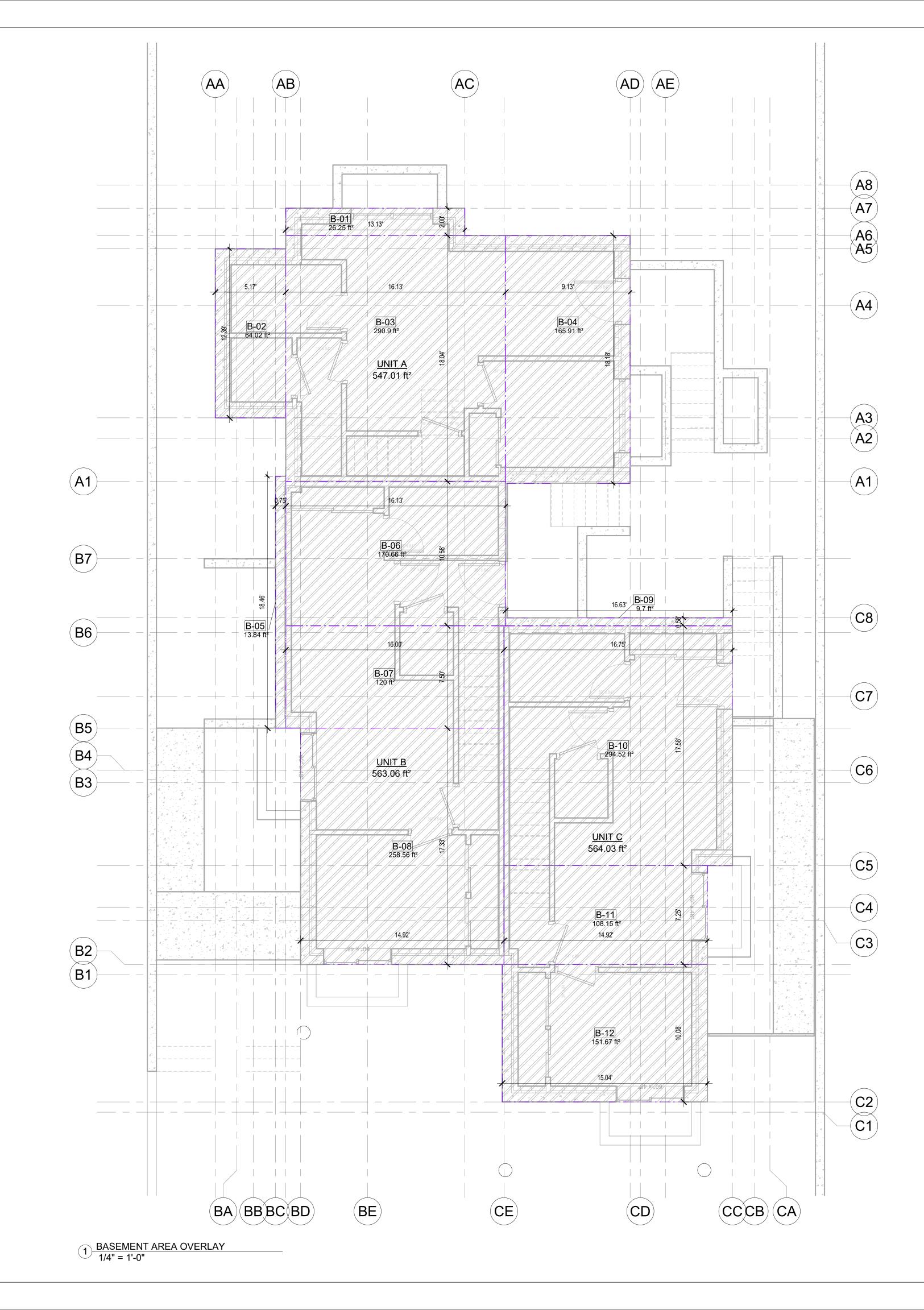












≥ 2 0  $\sim$ 

¥

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
							L
LEVEL 1	F-01	13.13'	2.00'	26.25 ft ²	Above Grade	FSR	UNIT A
_EVEL 1	F-02	5.17'	12.39'	64.02 ft ²	Above Grade	FSR	UNIT A
_EVEL 1	F-04	9.13'	18.17'	165.76 ft ²	Above Grade	FSR	UNIT A
_EVEL 1	F-03	16.13'	18.04'	290.90 ft ²	Above Grade	FSR	UNIT A
JNIT A: 4				546.94 ft ²			
_EVEL 1	F-06	16.13'	10.58'	170.66 ft ²	Above Grade	FSR	UNIT B
EVEL 1	F-08	14.92'	17.33'	258.56 ft ²	Above Grade	FSR	UNIT B
EVEL 1	F-05	0.75'	18.46'	13.84 ft ²	Above Grade	FSR	UNIT B
.EVEL 1	F-07	16.00'	7.50'	120.00 ft ²	Above Grade	FSR	UNIT B
JNIT B: 4				563.06 ft ²			
.EVEL 1	F-09	16.75'	0.58'	9.77 ft ²	Above Grade	FSR	UNIT C
EVEL 1	F-10	16.75'	17.58'	294.52 ft ²	Above Grade	FSR	UNIT C
_EVEL 1	F-11	14.92'	7.25'	108.15 ft ²	Above Grade	FSR	UNIT C
_EVEL 1	F-12	15.04'	10.08'	151.67 ft ²	Above Grade	FSR	UNIT C
JNIT C: 4				564.11 ft ²			
EVEL 1: 12				1674.10 ft ²			
EVEL 2	S-01	11.88'	3.71'	44.05 ft ²	Above Grade	FSR	UNIT A
EVEL 2	S-04	5.17'	9.75'	50.38 ft ²	Above Grade	FSR	UNIT A
EVEL 2	S-07	11.71'	18.21'	213.17 ft ²	Above Grade	FSR	UNIT A
_EVEL 2	S-06	10.13'	12.96'	131.20 ft ²	Above Grade	FSR	UNIT A
EVEL 2	S-05	6.00'	13.08'	78.50 ft ²	Above Grade	FSR	UNIT A
EVEL 2	S-03	11.08'	5.12'	56.79 ft ²	Above Grade	FSR	UNIT A
_EVEL 2	S-02	8.38'	5.38'	45.02 ft ²	Above Grade	FSR	UNIT A
JNIT A: 7				619.11 ft ²			
EVEL 2	S-08	10.13'	5.63'	56.95 ft ²	Above Grade	FSR	UNIT B
_EVEL 2	S-10	6.08'	4.33'	26.36 ft ²	Above Grade	FSR	UNIT B
EVEL 2	S-13	5.96'	26.17'	155.91 ft ²	Above Grade	FSR	UNIT B
EVEL 2	S-12	10.79'	14.25'	153.78 ft ²	Above Grade	FSR	UNIT B
EVEL 2	S-11	13.63'	10.08'	137.39 ft ²	Above Grade	FSR	UNIT B
EVEL 2	S-09	12.42'	5.42'	67.26 ft ²	Above Grade	FSR	UNIT B
JNIT B: 6				597.65 ft ²			
EVEL 2	S-14	10.00'	5.75'	57.50 ft ²	Above Grade	FSR	UNIT C
EVEL 2	S-15	18.38'	5.42'	99.53 ft ²	Above Grade	FSR	UNIT C
EVEL 2	S-16	19.50'	10.08'	196.62 ft ²	Above Grade	FSR	UNIT C
EVEL 2	S-17	16.75'	4.92'	82.35 ft ²	Above Grade	FSR	UNIT C
	S-19	10.79'	9.33'	100.72 ft ²	Above Grade	FSR	UNIT C
EVEL 2					1		
EVEL 2 EVEL 2	S-18	6.09'	10.08'	61.37 ft ²	Above Grade	FSR	UNIT C

		AREA OVERLA	Y-GROSS FLOOR	AREA (BELOW GAR	RDE & ACCESSORY)		
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
BASEMENT	B-01	13.13'	2.00'	26.25 ft ²	Below Grade	EXCLUSION	UNIT A
BASEMENT	B-02	5.17'	12.39'	64.02 ft ²	Below Grade	EXCLUSION	UNIT A
BASEMENT	B-03	16.13'	18.04'	290.90 ft ²	Below Grade	EXCLUSION	UNIT A
BASEMENT	B-04	9.13'	18.18'	165.91 ft ²	Below Grade	EXCLUSION	UNIT A
UNIT A: 4				547.09 ft ²			
BASEMENT	B-05	0.75'	18.46'	13.84 ft ²	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-06	16.13'	10.58'	170.66 ft ²	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-07	16.00'	7.50'	120.00 ft ²	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-08	14.92'	17.33'	258.56 ft ²	Below Grade	EXCLUSION	UNIT B
UNIT B: 4	1			563.06 ft ²			1
BASEMENT	B-09	16.63'	0.58'	9.70 ft ²	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-10	16.75'	17.58'	294.52 ft ²	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-11	14.92'	7.25'	108.15 ft ²	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-12	15.04'	10.08'	151.67 ft ²	Below Grade	EXCLUSION	UNIT C
UNIT C: 4				564.03 ft ²			1
BASEMENT: 12				1,674.18 ft²			
LEVEL 1	BIKE	14.65'	7.50'	109.87 ft ²	Below Grade	EXCLUSION	Accessory
LEVEL 1	GARBAGE	10.96'	7.50'	82.19 ft ²	Below Grade	EXCLUSION	Accessory
LEVEL 1	STORAGE	15.73'	7.50'	117.97 ft ²	Below Grade	EXCLUSION	Accessory
Accessory: 3				310.03 ft ²			
LEVEL 1: 3				310.03 ft ²			
Grand total: 15				1,984.21 ft²			

					RDE & ACCESSORY)		
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
BASEMENT	B-01	13.13'	2.00'	26.25 ft ²	Below Grade	EXCLUSION	UNIT A
BASEMENT	B-01 B-02	5.17'	12.39'	64.02 ft ²	Below Grade	EXCLUSION	UNIT A
BASEMENT				290.90 ft ²		EXCLUSION	UNIT A
	B-03	16.13'	18.04'		Below Grade		
BASEMENT	B-04	9.13'	18.18'	165.91 ft ²	Below Grade	EXCLUSION	UNIT A
UNIT A: 4				547.09 ft ²			
BASEMENT	B-05	0.75'	18.46'	13.84 ft ²	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-06	16.13'	10.58'	170.66 ft ²	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-07	16.00'	7.50'	120.00 ft ²	Below Grade	EXCLUSION	UNIT B
BASEMENT	B-08	14.92'	17.33'	258.56 ft ²	Below Grade	EXCLUSION	UNIT B
UNIT B: 4				563.06 ft ²			
BASEMENT	B-09	16.63'	0.58'	9.70 ft ²	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-10	16.75'	17.58'	294.52 ft ²	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-11	14.92'	7.25'	108.15 ft ²	Below Grade	EXCLUSION	UNIT C
BASEMENT	B-12	15.04'	10.08'	151.67 ft ²	Below Grade	EXCLUSION	UNIT C
UNIT C: 4	I	11		564.03 ft ²			
BASEMENT: 12				1,674.18 ft²			
		44.051	7.50	400.07.#2	Dalam Ora da	EVOLUCION	<b>A</b>
LEVEL 1	BIKE	14.65'	7.50'	109.87 ft ²	Below Grade	EXCLUSION	Accessory
LEVEL 1	GARBAGE	10.96'	7.50'	82.19 ft ²	Below Grade	EXCLUSION	Accessory
LEVEL 1	STORAGE	15.73'	7.50'	117.97 ft ²	Below Grade	EXCLUSION	Accessory
Accessory: 3				310.03 ft ²			
LEVEL 1: 3				310.03 ft ²			
Crand total: 15				1 00/ 01 #2			

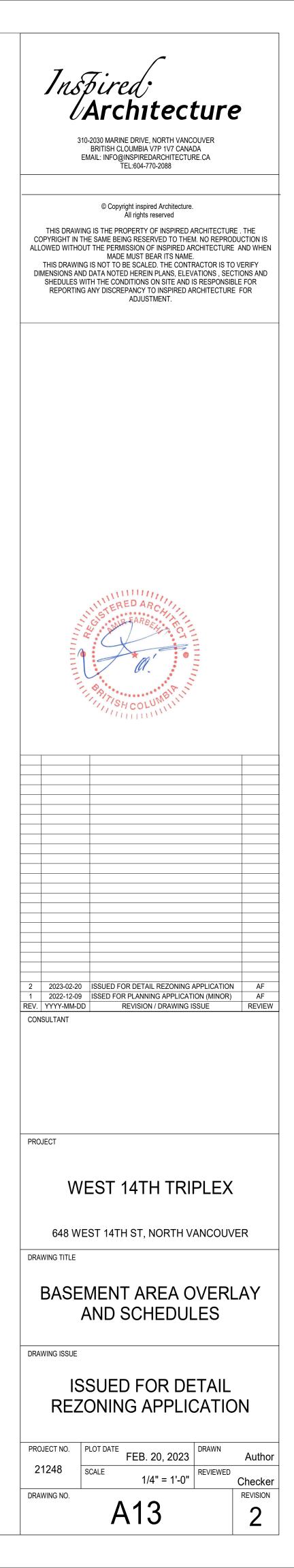
Level	Mark	Dimension X	Dimension Y
LEVEL 1	D-01	15.13'	10.00'
LEVEL 1	D-02	2.00'	8.00'
LEVEL 1	D-03	1.21'	5.50'
LEVEL 1	P-01	6.25'	4.29'
UNIT A: 4			
LEVEL 1	D-04	14.79'	8.00'
LEVEL 1	P-02	4.50'	5.50'
LEVEL 1	P-04	5.49'	4.00'
UNIT B: 3	1		
LEVEL 1	D-05	15.04'	7.58'
LEVEL 1	P-03	4.00'	6.00'

LEVEL 2	BA-01	7.29'	6.79'	
LEVEL 2	BA-02	14.42'	10.50'	
LEVEL 2	BA-03	3.50'	12.00'	
UNIT A: 3	•			
LEVEL 2	BA-04	4.00'	9.83'	
LEVEL 2	BA-05	12.29'	7.75'	
LEVEL 2	BA-06	5.83'	7.00'	
UNIT B: 3	•			
LEVEL 2	BA-07	8.38'	7.75'	
LEVEL 2	BA-08	6.08'	6.00'	
LEVEL 2	BA-09	12.29'	6.75'	
UNIT C: 3				

LEVEL 2: 9

Grand total: 18

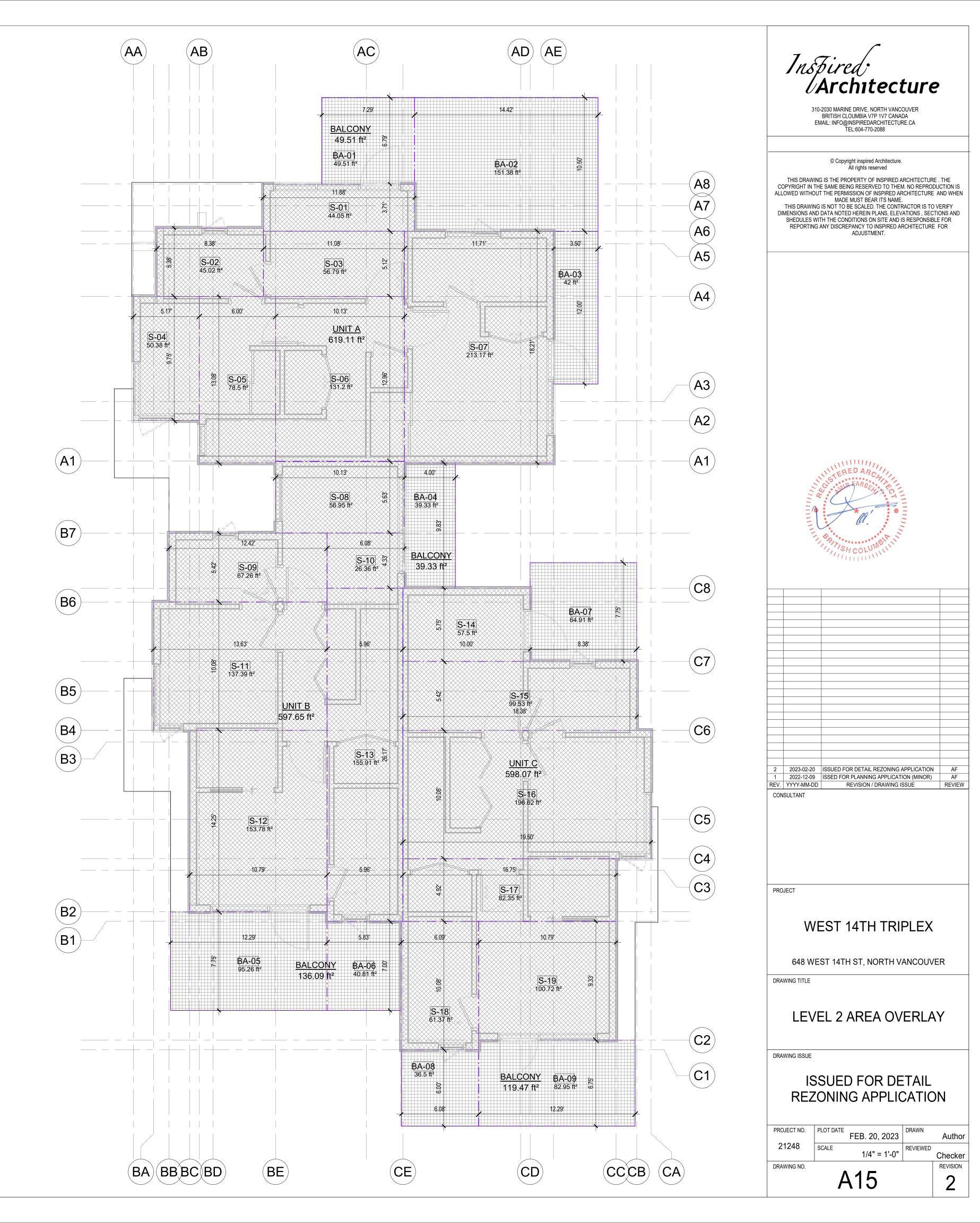
ANDA & BALCONIES Gross Area Category Area Category Suite Number Area 151.25 ft² 16.00 ft² UNIT A Covered Deck EXCLUSION UNIT A UNIT A Covered Deck EXCLUSION 6.65 ft² Covered Deck EXCLUSION 26.83 ft² EXCLUSION UNIT A Porch 200.73 ft² UNIT B UNIT B 118.33 ft² Covered Deck EXCLUSION 24.75 ft² Porch EXCLUSION UNIT B 21.97 ft² EXCLUSION Porch 165.05 ft² 114.07 ft² 24.00 ft² 138.07 ft² UNIT C UNIT C EXCLUSION Covered Deck EXCLUSION Porch 503.84 ft²  $\begin{array}{c} 49.51 \ \text{ft}^2 \\ 151.38 \ \text{ft}^2 \\ 42.00 \ \text{ft}^2 \\ 242.89 \ \text{ft}^2 \\ 39.33 \ \text{ft}^2 \\ 95.26 \ \text{ft}^2 \\ 40.81 \ \text{ft}^2 \\ \end{array}$ UNIT A EXCLUSION Balcony EXCLUSION UNIT A Balcony EXCLUSION UNIT A Balcony UNIT B EXCLUSION Balcony UNIT B EXCLUSION Balcony UNIT B EXCLUSION Balcony 175.41 ft²  $\begin{array}{c} 64.91 \ \text{ft}^2 \\ 64.91 \ \text{ft}^2 \\ 36.50 \ \text{ft}^2 \\ 82.95 \ \text{ft}^2 \\ 184.35 \ \text{ft}^2 \\ 602.65 \ \text{ft}^2 \end{array}$ UNIT C EXCLUSION Balcony UNIT C UNIT C EXCLUSION Balcony EXCLUSION Balcony



1,106.49 ft²



Ę



1 LEVEL 2 AREA OVERLAY 1/4" = 1'-0"



Ę

	9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE												
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED			
	ft²	m²	ft	m	ft²	m²	ft²	m²					
NORTH	904.58	84.04	60.57	18.46	268.79	24.97	904.58	84.04	100.00%	29.71%			
SOUTH	1005.66	93.43	59.30	18.07	438.27	40.72	1005.66	93.43	100.00%	43.58%			

	9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE											
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED		
	ft²	m²	ft	m	ft²	m²	ft²	m²				
EAST (A)	1686.59	156.69	4.17	1.27	83.49	7.76	640.00	59.46	14.00%	13.05%		
EAST (B)	1686.59	156.69	11.84	3.61	97.96	9.10	450.00	41.81	22.44%	21.77%		
EAST (C)	1686.59	156.69	13.67	9.60	113.26	10.52	160.00	14.86	75.20%	70.79%		
EAST (D)	1686.59	156.69	8.76	2.67	63.57	5.91	436.59	40.56	18.68%	14.56%		
WEST	1590.32	147.75	5.15	1.57	184.87	17.17	1590.32	147.75	14.28%	11.62%		

PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

MATERIAL LEGEND						
ITEM	Material Description	COLOUR				
01	STUCCO	BENJAMIN MOORE OC-27 (BALBOA MIST)				
02	HARDI-PLANK LAP SIDING	Rich Espresso, 7" Expose				
03	LAMINATED FIBERGLASS SHINGLE ROOF	ANTIQUE BLACK				
04	DOUBLE GLAZED GLASS PANEL	CLEAR				
05	WINDOW VINYL	BEIGE				
06	CAST-IN -PLACE CONCRETE	ORIGINAL COLOUR				
07	1X10 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN				
08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN				
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED				
10	1x4 WOOD SOFFIT	BENJAMIN MOORE CC-546 METROPOLIS				
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN				

### SPRINKLERED BUILDING: YES

	ROOF PEAK 103.30
211-11 [144" [6.69 m]	U.W.Sill 89.45 U.W.Sill 89.45 LEVEL 2 87.76 L.W. Head 85.56
	Ave. Rear 80.40 L.W.Sill 79.56
	LEVEL 1 (77.50) T.O.Foundation (76.37) REFERENCE Grade (74.91) Court Yard (73.00)
06 70,72, 68,20	Ave. Front 71.25
	T.O. Footing 67.00

Inspired: Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 © Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS, SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT. 2023-02-20 ISSUED FOR DETAIL REZONING APPLICATION 
 3
 2023-02-20
 ISOSED FOR DETAIL REPORTS AT ELORIDON

 2
 2022-12-09
 ISSED FOR PLANNING APPLICATION (MINOR)
 AF

 1
 2022-07-25
 ISSUED FOR PRE-DESIGN REZONING APPLICATION
 AF

 REV.
 YYYY-MM-DD
 REVISION / DRAWING ISSUE
 REVIEW
 REVIEW CONSULTANT PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE **ELEVATIONS - SOUTH & WEST** DRAWING ISSUE **ISSUED FOR DETAIL REZONING APPLICATION** PROJECT NO. PLOT DATE DRAWN FEB. 20, 2023 M٦ 21248 REVIEWED SCALE 1/4" = 1'-0" AF REVISION DRAWING NO. A16 3



9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA				FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED		
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	904.58	84.04	60.57	18.46	268.79	24.97	904.58	84.04	100.00%	29.71%
SOUTH	1005.66	93.43	59.30	18.07	438.27	40.72	1005.66	93.43	100.00%	43.58%

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING FACE	BUILDING	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST (A)	1686.59	156.69	4.17	1.27	83.49	7.76	640.00	59.46	14.00%	13.05%
EAST (B)	1686.59	156.69	11.84	3.61	97.96	9.10	450.00	41.81	22.44%	21.77%
EAST (C)	1686.59	156.69	13.67	9.60	113.26	10.52	160.00	14.86	75.20%	70.79%
EAST (D)	1686.59	156.69	8.76	2.67	63.57	5.91	436.59	40.56	18.68%	14.56%
WEST	1590.32	147.75	5.15	1.57	184.87	17.17	1590.32	147.75	14.28%	11.62%

MATERIAL LEGEND							
ITEM	Material Description COLOUR						
01	STUCCO	BENJAMIN MOORE OC-27 (BALBOA MIST)					
02	HARDI-PLANK LAP SIDING	Rich Espresso, 7" Expose					
03	LAMINATED FIBERGLASS SHINGLE ROOF	ANTIQUE BLACK					
04	DOUBLE GLAZED GLASS PANEL	CLEAR					
05	WINDOW VINYL	BEIGE					
06	CAST-IN -PLACE CONCRETE	ORIGINAL COLOUR					
07	1X10 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN					
08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN					
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED					
10	1x4 WOOD SOFFIT	BENJAMIN MOORE CC-546 METROPOLIS					
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN					

Instired:						
Inspired Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER						
BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088						
Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.						
THE RED AROANT						
3         2023-02-20         ISSUED FOR DETAIL REZONING APPLICATION           2         2022-12-09         ISSED FOR PLANNING APPLICATION (MINOR)           1         2022-07-25         ISSUED FOR PRE-DESIGN REZONING APPLICATION	AF AF					
REV.         YYYY-MM-DD         REVISION / DRAWING ISSUE           CONSULTANT	REVIEW					
PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE ELEVATIONS - NORTH & EAST						
DRAWING ISSUE						
ISSUED FOR DETAIL REZONING APPLICATION						
PROJECT NO.     PLOT DATE     FEB. 20, 2023     DRAWN       21248     SCALE     4/41     41.01     REVIEWED	MT					
DRAWING NO.	AF REVISION 3					



3/31/2023 4:16:37 PM \\192.168.1.200\Inspired Projects\21248 648 W.14th street CNV\Drawings\BIM\Revit\21248 648 W14th Street- option 6_NEW.rvt

Inspired Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088				
© Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.				
THE RED ARCHING				
Image: Construction of the second				
PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER				
DRAWING TITLE ELEVATIONS - EAST & WEST NEIGHBOUR OVERLAY DRAWING ISSUE				
ISSUED FOR DETAIL REZONING APPLICATIONPROJECT NO.PLOT DATE FEB. 20, 2023DRAWN Author21248SCALE1/4" = 1'-0"REVIEWED Checker				
DRAWING NO. REVISION				



<text><text><text></text></text></text>	CTION IS ND WHEN ERIFY DNS AND FOR
SHITTING ARED ARE	
A COLUMBIANING	
Image: Second system       Image: Second system         3       2023-02-20       ISSUED FOR DETAIL REZONING APPLICATION         2       2022-12-09       ISSED FOR PLANNING APPLICATION (MINOR)         1       2022-07-25       ISSUED FOR PRE-DESIGN REZONING APPLICATION         REV.       YYYY-MM-DD       REVISION / DRAWING ISSUE	AF AF AF REVIE
PROJECT	
WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE	R
BUILDING SECTIONS	
DRAWING ISSUE ISSUED FOR DETAIL REZONING APPLICATION	N
PROJECT NO.         PLOT DATE         FEB. 20, 2023         DRAWN           21248         SCALE         1/4" = 1'-0"         REVIEWED           DRAWING NO.         REVIEWED         F	M A REVISION

	T.O. Footing 67.00
	Ave. Front (71.25) BASEMENT (68.50)
	Court Yard 73.00
	REFERENCE Grade 74.91
	LEVEL 1 (77.50)
	L.W.Sill (79.56)
	Ave. Rear 80.40
	L.W. Head 85.56
	U.W.Sill 89.45 LEVEL 2 87.76
	U/S Roof 96.85' U.W.Head 95.45'
	ROOF EAVE 97.65
	ROOF PEAK 103.30
                   	BASEMENT (68.50)
=    +==+++==  -     ===      == =      ==       ==	Ave. Front 71.25
	Court Yard 73.00
	REFERENCE Grade 74.91
	LEVEL 1 (77.50 [*] ) T.O.Foundation (76.37 [*] )
	L.W.Sill 79.56
	Ave. Rear 80.40
	L.W. Head 85.56
	LEVEL 2 87.76
	U.W.Sill (89.45)
	U.W.Head 95.45
	U/S Roof 96.85'
	ROOF EAVE 97.65

ROOF PEAK 103.30



1 Section C 1/4" = 1'-0"

3/31/2023 4:16:41 PM //192.168.1.200\Inspired Projects\21248 648 W.14th street CNV\Drawings\BIM\Revit\21248 648 W14th Street- option 6_N

ž

2 Section D 1/4" = 1'-0"

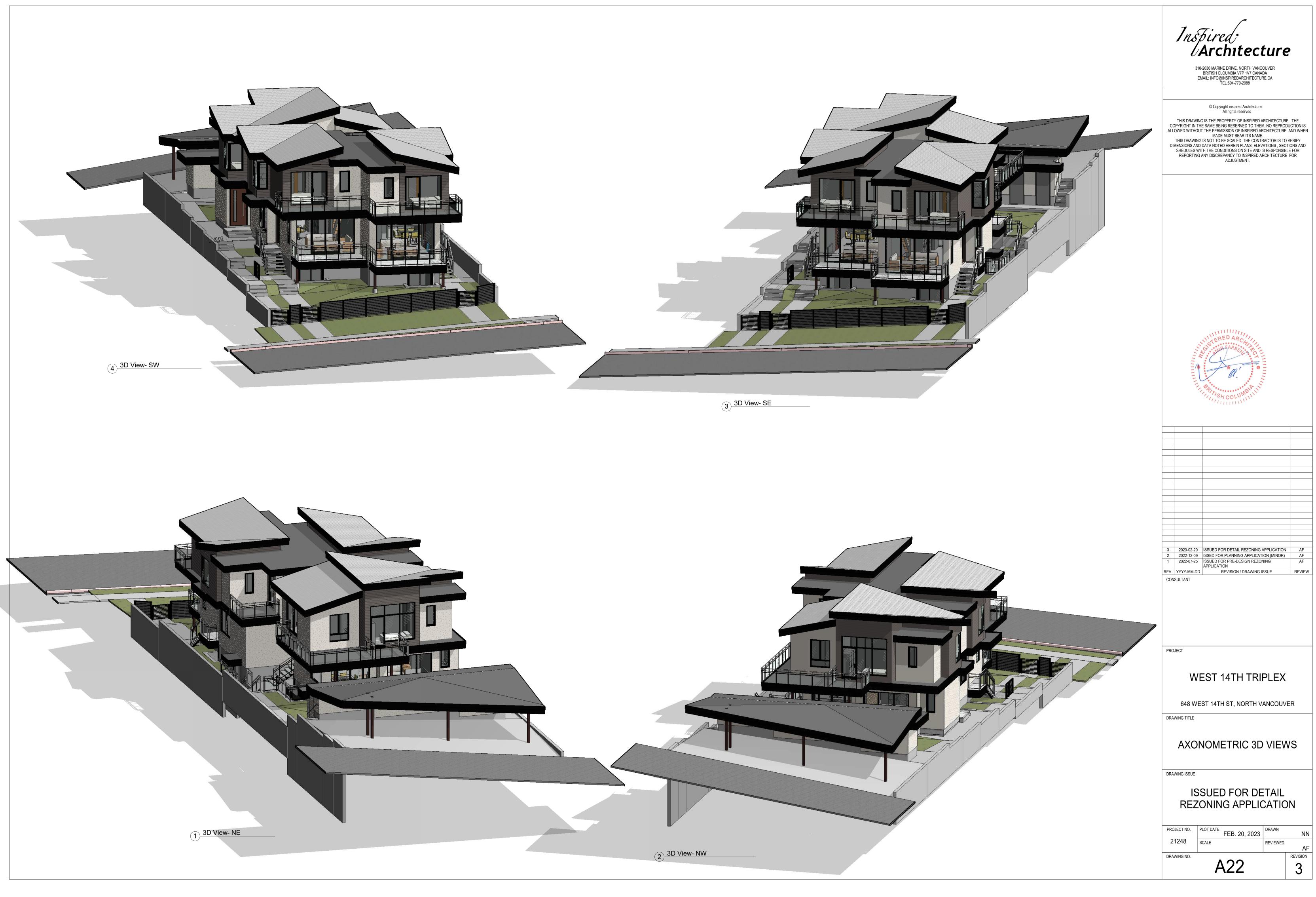
3.30	Inspired Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088
	© Copyright inspired Architecture. All rights reserved
.65	THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS
.85'	ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY
.45'	DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS , SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR
	REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.
.45	
.76'	
.56'	
.40	
.56'/	
.50'	
.37	
.91	A COLUMBIA
_	LUB SHUR FARBERS
<u>(00.</u>	
	a.
.25	ET AP
.50	SHCOLUMIN
.00'	
03.30	
7.65	3     2023-02-20     ISSUED FOR DETAIL REZONING APPLICATION     AF       2     2022-12-09     ISSED FOR PLANNING APPLICATION (MINOR)     AF
	1 2022-07-25 ISSUED FOR PRE-DESIGN REZONING AF APPLICATION AF
6.85' 5.45'	REV.         YYYY-MM-DD         REVISION / DRAWING ISSUE         REVIEW           CONSULTANT
5.45	
9.45	
7.76'	PROJECT
5.56	WEST 14TH TRIPLEX
	648 WEST 14TH ST, NORTH VANCOUVER
0.40	DRAWING TITLE
9.56'/	
$\sim$	BUILDING SECTIONS
<u>7.50'</u> 6.37'	
4.91	
	DRAWING ISSUE
3.00	ISSUED FOR DETAIL
	REZONING APPLICATION
1.25	
8.50	PROJECT NO. PLOT DATE FEB. 20, 2023 DRAWN Author
	21248 SCALE REVIEWED
7.00	DRAWING NO. REVISION
	A20 3



Inspired: Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 © Copyright inspired Architecture. All rights reserved THIS DRAWING IS THE PROPERTY OF INSPIRED ARCHITECTURE . THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN ALLOWED WITHOUT THE PERMISSION OF INSPIRED ARCHITECTURE AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS, SECTIONS AND SHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT. 
 2
 2023-02-20
 ISSUED FOR DETAIL REZONING APPLICATION
 AF

 1
 2022-12-09
 ISSED FOR PLANNING APPLICATION (MINOR)
 AF

 REV.
 YYYY-MM-DD
 REVISION / DRAWING ISSUE
 REVIEW
 CONSULTANT PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE **NEIGHBOURHOOD SECTIONS** DRAWING ISSUE **ISSUED FOR DETAIL REZONING APPLICATION** PROJECT NO. PLOT DATE DRAWN FEB. 20, 2023 Author 1/4" = 1'-0" 21248 SCALE Checker REVISION DRAWING NO. A21 2



Š 92 S 2

Ę