LEGAL DESCRIPTION:

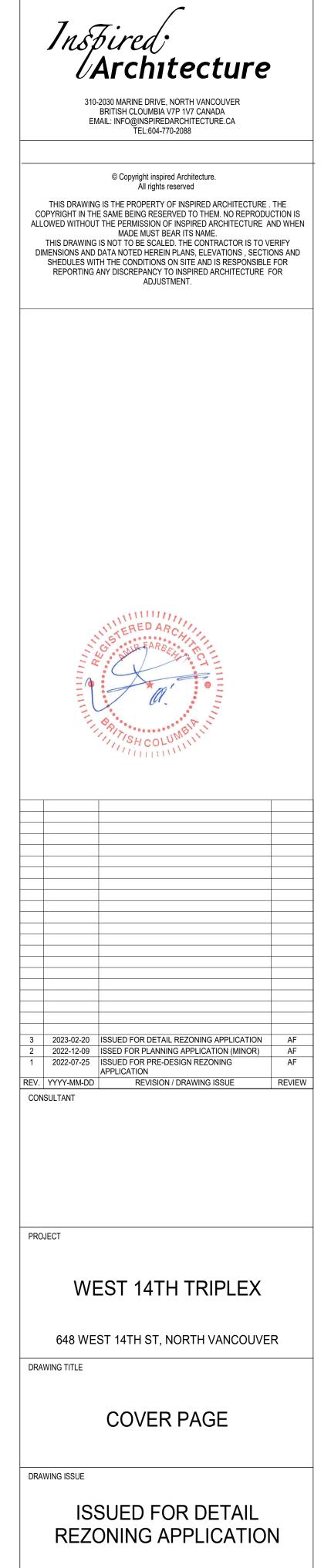
LOT; Lot:14; Block:112; DL:548; Plan:1228

ISSUED FOR DETAIL REZONING APPLICATION FEBRUARY 20, 2023

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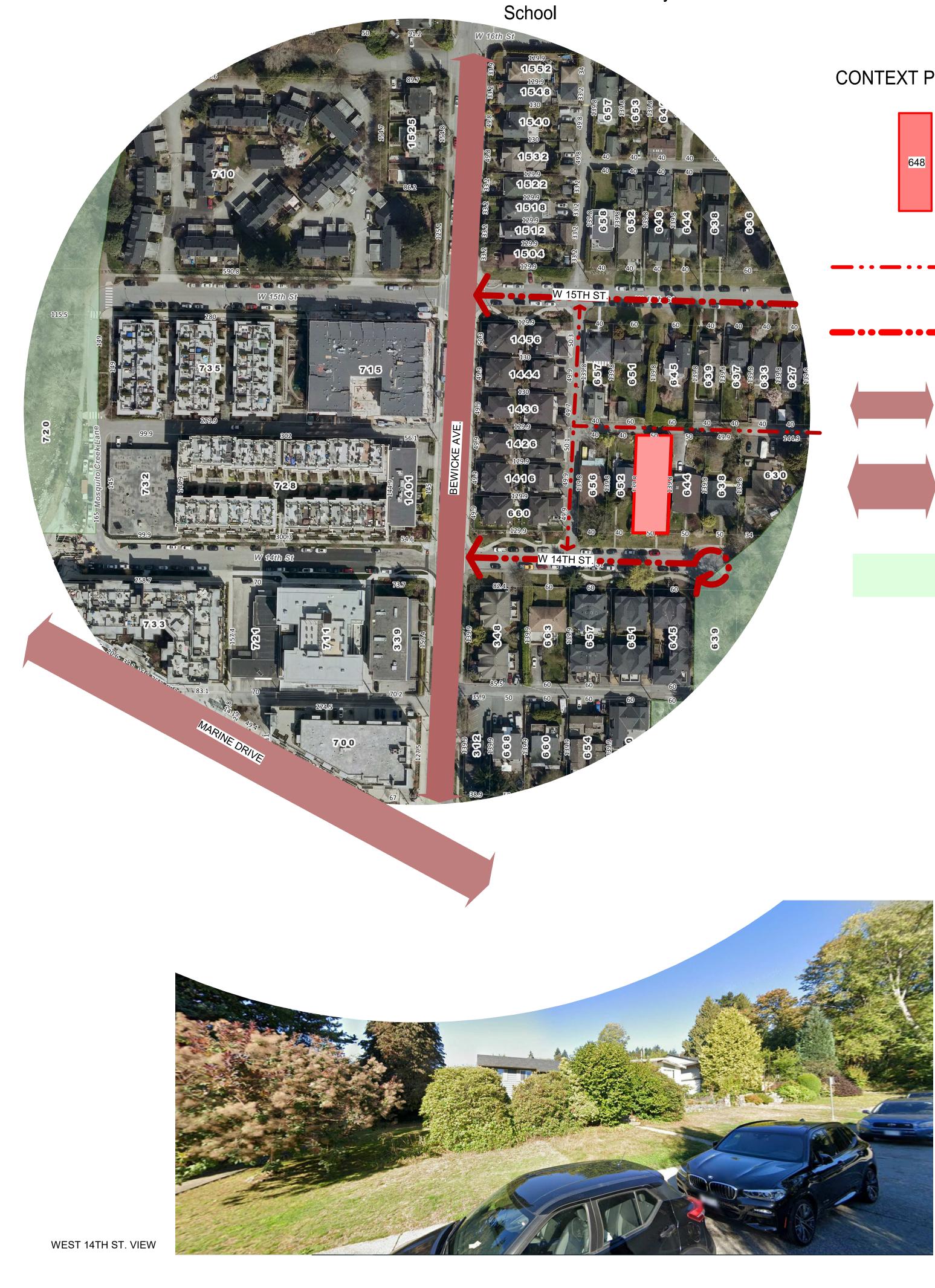
| Number | Sheet Name | Revision | Date |
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| A01 | COVER PAGE | 3 | 2023-02-20 |
| A02 | CONTEXT PLAN | 3 | 2023-02-20 |
| A03 | CONTEXT ELEVATIONS | 2 | 2023-02-20 |
| A04.1 | EXTERIOR RENDERINGS | 1 | 2023-02-20 |
| A04.2 | EXTERIOR RENDERINGS | 1 | 2022-12-09 |
| A04.3 | EXTERIOR RENDERINGS | 1 | 2023-02-20 |
| A05 | SITE PLAN | 5 | 2023-03-31 |
| A06 | LOT COVERAGE | 2 | 2023-02-20 |
| A07 | ASSECCOR BUILDING | 3 | 2023-02-20 |
| A08 | ASSECCOR BUILDING | 2 | 2023-02-20 |
| A09 | BASEMENT FLOOR PLAN | 3 | 2023-02-20 |
| A10 | LEVEL 1 FLOOR PLAN | 3 | 2023-02-20 |
| A11 | LEVEL 2 FLOOR PLAN | 3 | 2023-02-20 |
| A12 | ROOF PLAN | 3 | 2023-02-20 |
| A13 | BASEMENT AREA OVERLAY AND SCHEDULES | 2 | 2023-02-20 |
| A14 | LEVEL 1 AREA OVERLAY | 2 | 2023-02-20 |
| A15 | LEVEL 2 AREA OVERLAY | 2 | 2023-02-20 |
| A16 | ELEVATIONS - SOUTH & WEST | 3 | 2023-02-20 |
| A17 | ELEVATIONS - NORTH & EAST | 3 | 2023-02-20 |
| A18 | ELEVATIONS - EAST & WEST NEIGHBOUR OVERLAY | 2 | 2023-02-20 |
| A19 | BUILDING SECTIONS | 3 | 2023-02-20 |
| A20 | BUILDING SECTIONS | 3 | 2023-02-20 |
| A21 | NEIGHBOURHOOD SECTIONS | 2 | 2023-02-20 |
| A22 | AXONOMETRIC 3D VIEWS | 3 | 2023-02-20 |





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Westview Elementary



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CONTEXT PLAN LEGEND



Subject Project 49.88' x 139.77'

Lane Access

W 14TH ST. & W15TH ST

BEWICKE AVE.

MARINE DRIVE

Park



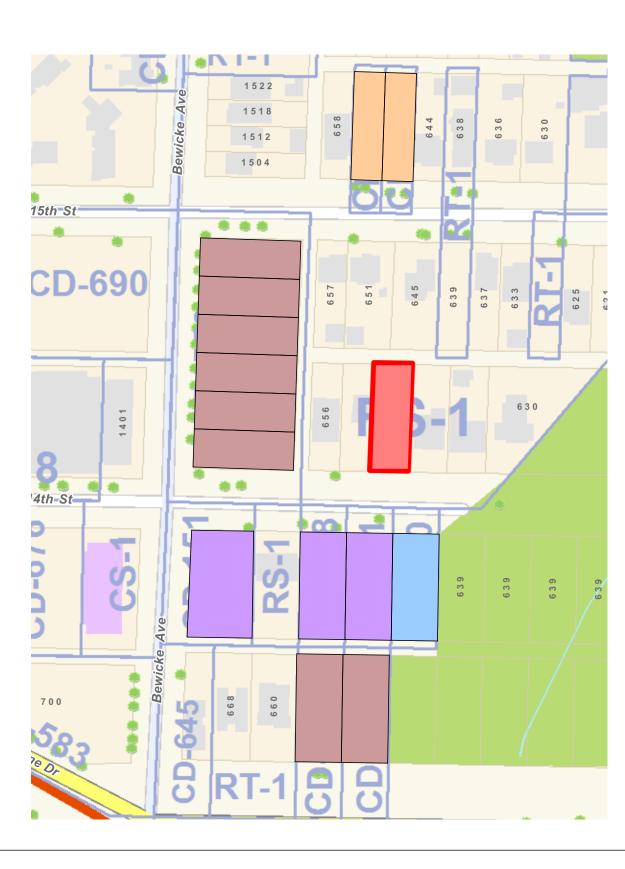
LANE VIEW



WEST 14TH ST. VIEW



WEST 14TH ST. CUL-DE-SAC VIEW



ZONING LEGEND

- Subject Project
- Duplex Development
- Triplex Development
- Fourplex Development
- 5-Dwelling Unit Development

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| | 648 WE | ST 14TH ST, NORTH VANCOUVE | R | |
| DRA | WING TITLE | | | |
| | | CONTEXT PLAN | | |

Inspired: Architecture

310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088

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DRAWING ISSUE

PROJECT NO. PLOT DATE FEB. 20, 2023 1/64" = 1'-0" 21248 SCALE AF REVISION DRAWING NO. A02 3





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A03

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EXTERIOR RENDERINGS

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ISSUED FOR DETAIL REZONING APPLICATION

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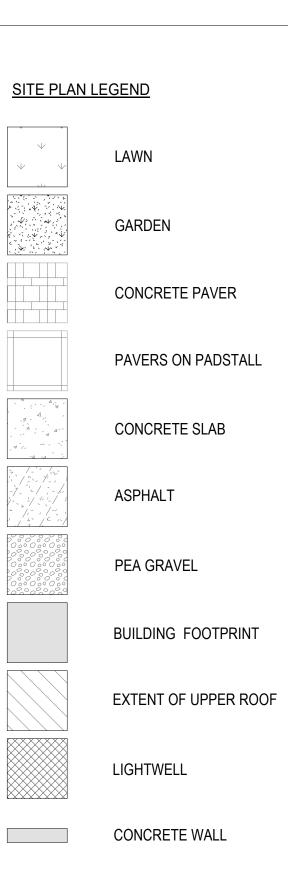
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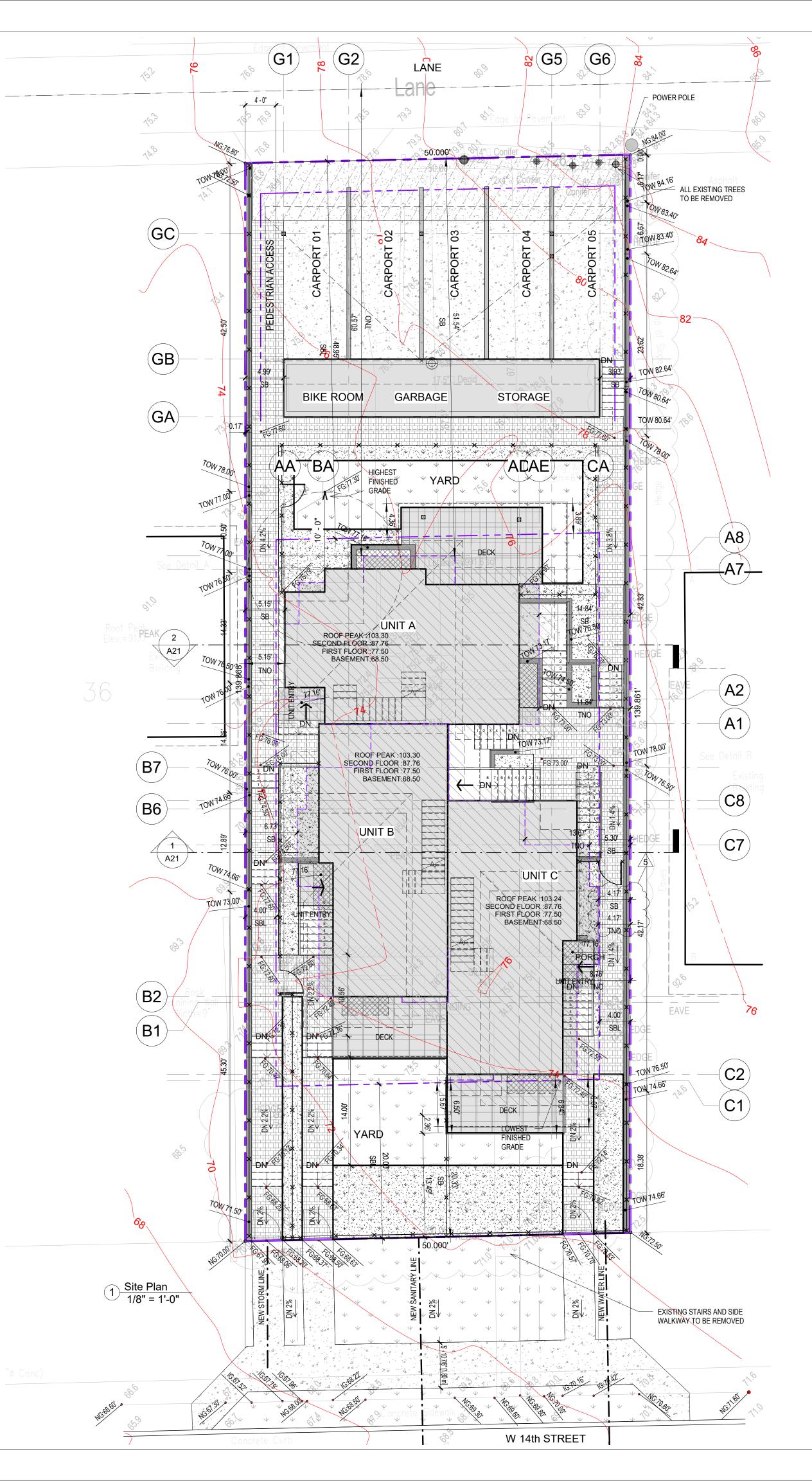


ABBREVIATION LEGEND

| Bottom of Wall Carbon Monoxide director Driveway Segment Electrical Fireplace Exhaust Fan Existing Fire Pit Floor Drain Gas Fireplace High guard High Handrail Lot Width Lower Window Head Property Line Proposed Ramp Segment Roof Drain Setback Setback line Slope down Slope Up Smoke Alarm To Cladding To Foundation To Nearest opening To Road Center line Top of Top of Slab Top of Wall | BOW CO DS FP EF EX FP GFP HH LW PL PR SBL SDW SA TCLD TFND TNO TCO TOS TOP |
|--|--|
| Top of Slab | TOS |
| | 2 |

SITE PLAN LINE TYPES

| PROPERTY LINE | |
|--------------------------------|----------|
| SETBACK LINE | |
| BLDG FOOTPRINT | |
| BLDG LEVEL 1 OUTLINE | |
| BLDG LEVEL 2 OUTLINE | |
| UPPER ROOF OUTLINE | |
| LOWER ROOF OVERHANG OUTLINE | |
| CLADDING OUTLINE | |
| TREE PROTECTION ZONE | |
| BLDG SERVICES | <u> </u> |



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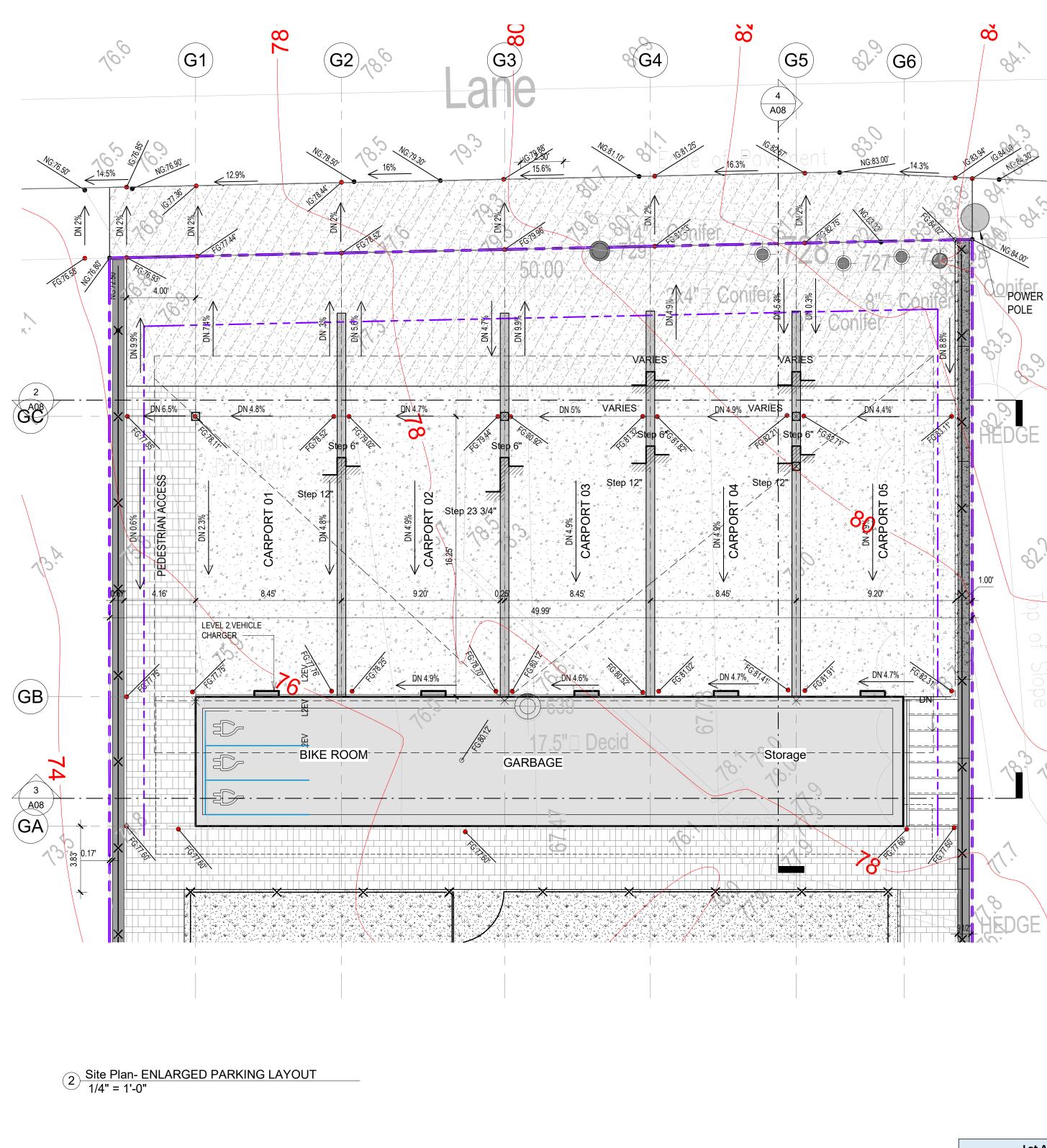
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|---|--|--|---|--|
| LEGAL DESCRIPTION: | | | | |
| ZONE: | | | | |
| LOT AREA: | | | | |
| LOT WIDTH: | | | | |
| DENSITY RATIO: | | | | |
| BUILDING ANALYSIS | | ALLC | OWED | |
| | Metrie | 2 | Imperia | I |
| FLOOR SPACE RATIO | 324.77 | m² | 3,495.80 | ft² |
| | | | | |
| FIRST FLOOR AREA | | ···· 2 | | ft² |
| SECOND FLOOR AREA | | m² | | π- |
| BELOW GRADE FLOOR AREA | | m² | | ft² |
| TOTAL LIVING SPACE | | m² | | ft² |
| STORAGE | | m² | | ft² |
| BIKE ROOM | | m² | | ft² |
| GARBAGE | | m² | | ft² |
| TOTAL OTHER EXEMPTIONS | | m² | | ft² |
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| BASEMENT | 563.06 | ft² | Below Grade | EXCLU |
| LEVEL 1 | 563.06 | ft² | Above Grade | FSR |
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| UNIT B: 14 | 1723.76 | ft² | | |
| BASEMENT | 564.03 | ft² | Below Grade | EXCLU |
| LEVEL 1 | 564.11 | ft² | Above Grade | FSR |
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| 211 | REQUI | | | | | | | | DD | OVIDE | -D | | | | | | |
| TED | | | , | SHOPT - | | | | | | | | | N A | | W | EST 14TH TRIPLEX | |
| TER | | | | SHORT | IERIV | l | LUI | NG TEI | KIVI | | SHOR | | IVI | | | | |
| (5x1 | L.5=7.5) | | | N/# | 4 | | | 18 | | | ١ | N/A | | | 648 WE | ST 14TH ST, NORTH VANCOUVE | R |
| | ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~ | | $\overline{\gamma}$ | | 2 | | | | | | | | | | WING TITLE | | |
| SIZES Area | o) Category | Sı | ite Nu | mber | $\langle \rangle$ | | | | | | | | | | | | |
| | JSION | Acc | essory | / | > | | | | | | | | | | | SITE PLAN | |
| | | | - | | | | | | | | | | | | | | |
| SR | JSION | | IT A IT A | | $\left\{ \left[\right] \right\}$ | 5 | | | | | | | | DRA | WING ISSUE | | |
| SR | | UN | IT A | | $\langle \rangle$ | | | | | | | | | | | SSUED FOR DETAIL | |
| | JSION | | IT B | | $\left\langle \right\rangle$ | | | | | | | | | | REZ | ONING APPLICATION | N |
| SR SR | | | IT B IT B | | Z | | | | | | | | | | | | |
| | JSION | 1 16.1 | IT C | | $\left\{ \right.$ | | | | | | | | | | | PLOT DATE DRAWN FEB. 20, 2023 DRAWN SCALE REVIEWED | MT |
| SR | | UN | IT C IT C IT C | | $\langle \rangle$ | | | | | | | \square | | AWING NO. | As indicated | | |
| 211 | | | |] | 5 | | | | | | | | | | - | A05 | 5 |
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SITE PLAN LINE TYP

PROPERTY LINE

SETBACK LINE

BLDG FOOTPRINT

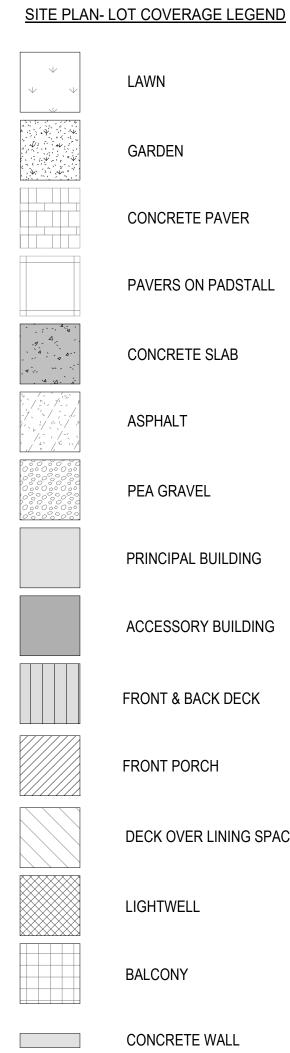
BLDG LEVEL 1 OUTLINE BLDG LEVEL 2 OUTLINE

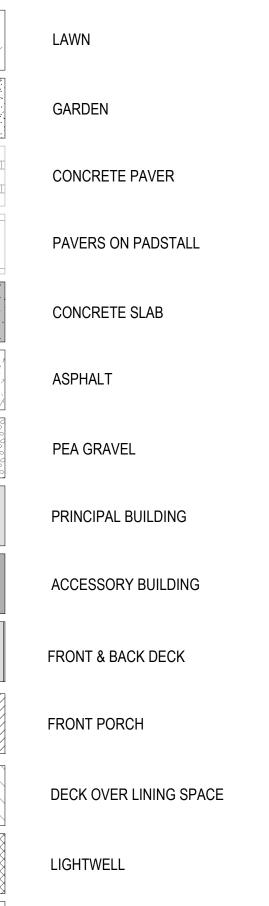
UPPER ROOF OUTLINE

LOWER ROOF OVERHANG OUTLINE CLADDING OUTLINE

TREE PROTECTION ZONE

BLDG SERVICES





BALCONY

CONCRETE WALL

LOT COVERAGE AREA BREAKDOWN

| | Lot Area | | | | | | | |
|-----|--|----------------|---------|--|--|--|--|--|
| PES | | | owed | | | | | |
| | | % Ar | | | | | | |
| | Principal building lot coverage | - | | | | | | |
| | Combined Lot coverage | - | | | | | | |
| | | | | | | | | |
| | Principal Building | | | | | | | |
| | Principal Building | | | | | | | |
| | Front Porch (Including slabs with 3' he | ight above ex | isting) | | | | | |
| | Back Deck (Including slabs with 3' heig | ght above exis | ting) | | | | | |
| | Front Deck (Including slabs with 3' hei | ght above exi | sting) | | | | | |
| | Balcony | | | | | | | |
| | Deck Over Living Space | | | | | | | |
| | Second Floor Balcony Projections Ove | r Deck & Porc | h | | | | | |
| | Principal Building Total | | | | | | | |
| | Accessory Bui | lding | | | | | | |
| | Accessory Building (MAX 889.00 ft ²) | | | | | | | |
| | Exclusion | S | | | | | | |
| | GRAND TOTAL | | | | | | | |
| E | Calculation Note: | | | | | | | |

Calculation Note: The provided lot coverage calculation excludes the access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.



Area ft²

-

-

6991.6

Provided

35.92% 2,511.60

AREA

1,911.79 ft²

20.86 ft²

0.00 ft²

225.99 ft²

602.69 ft²

-40.25 ft²

-209.48 ft²

891.74 ft²

3,403.34 ft²

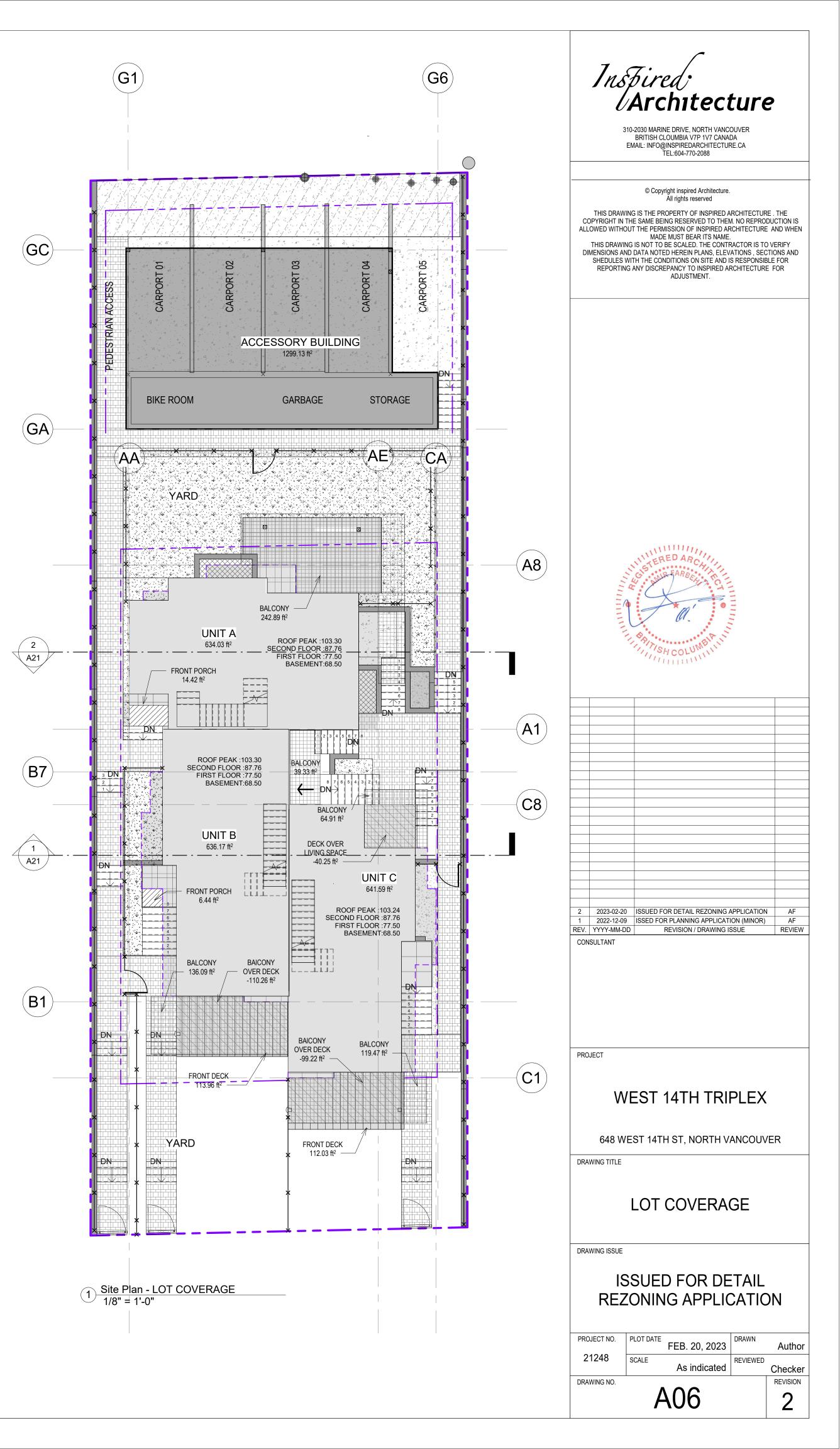
2,511.60 ft²

Area ft²

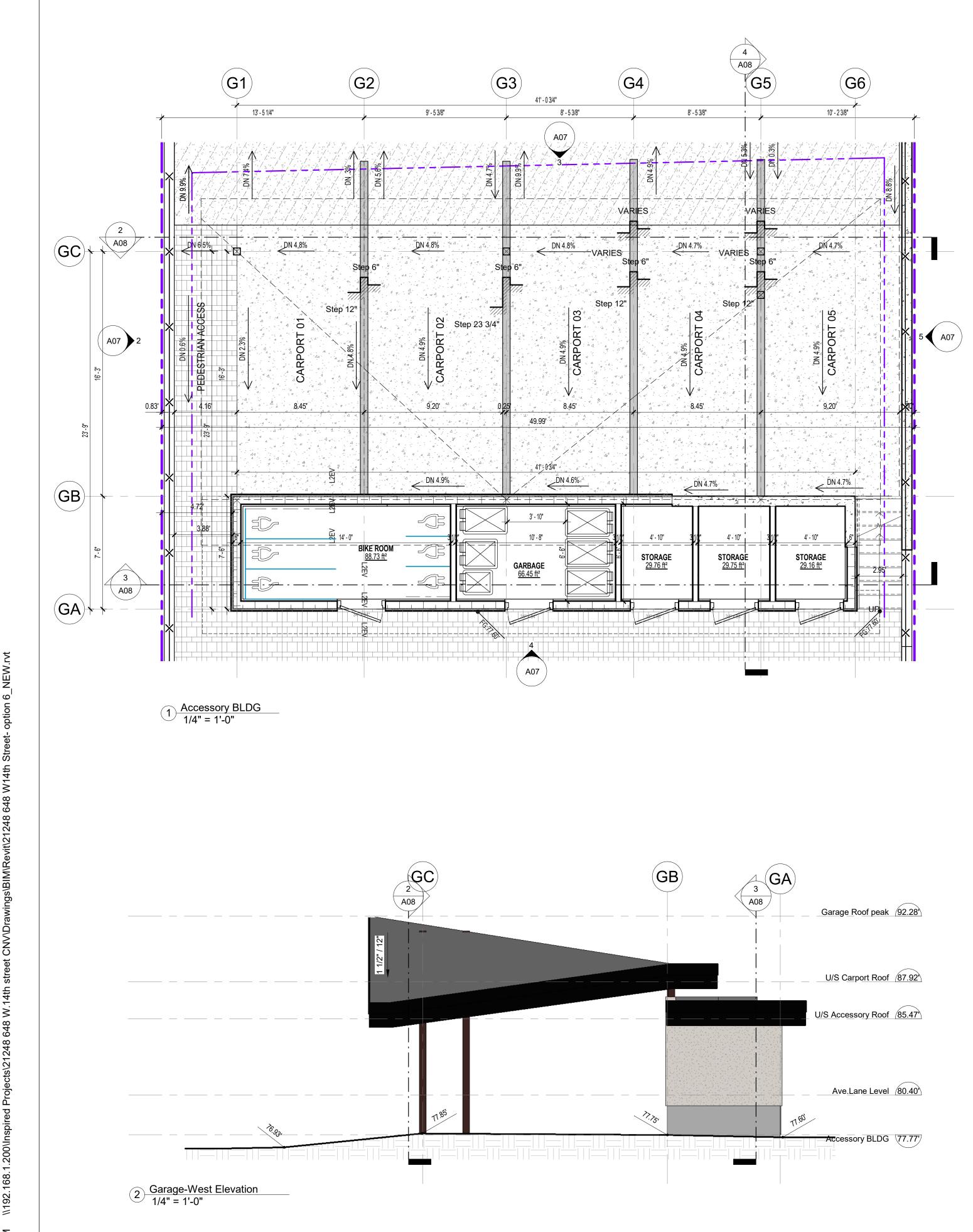
3,403.34

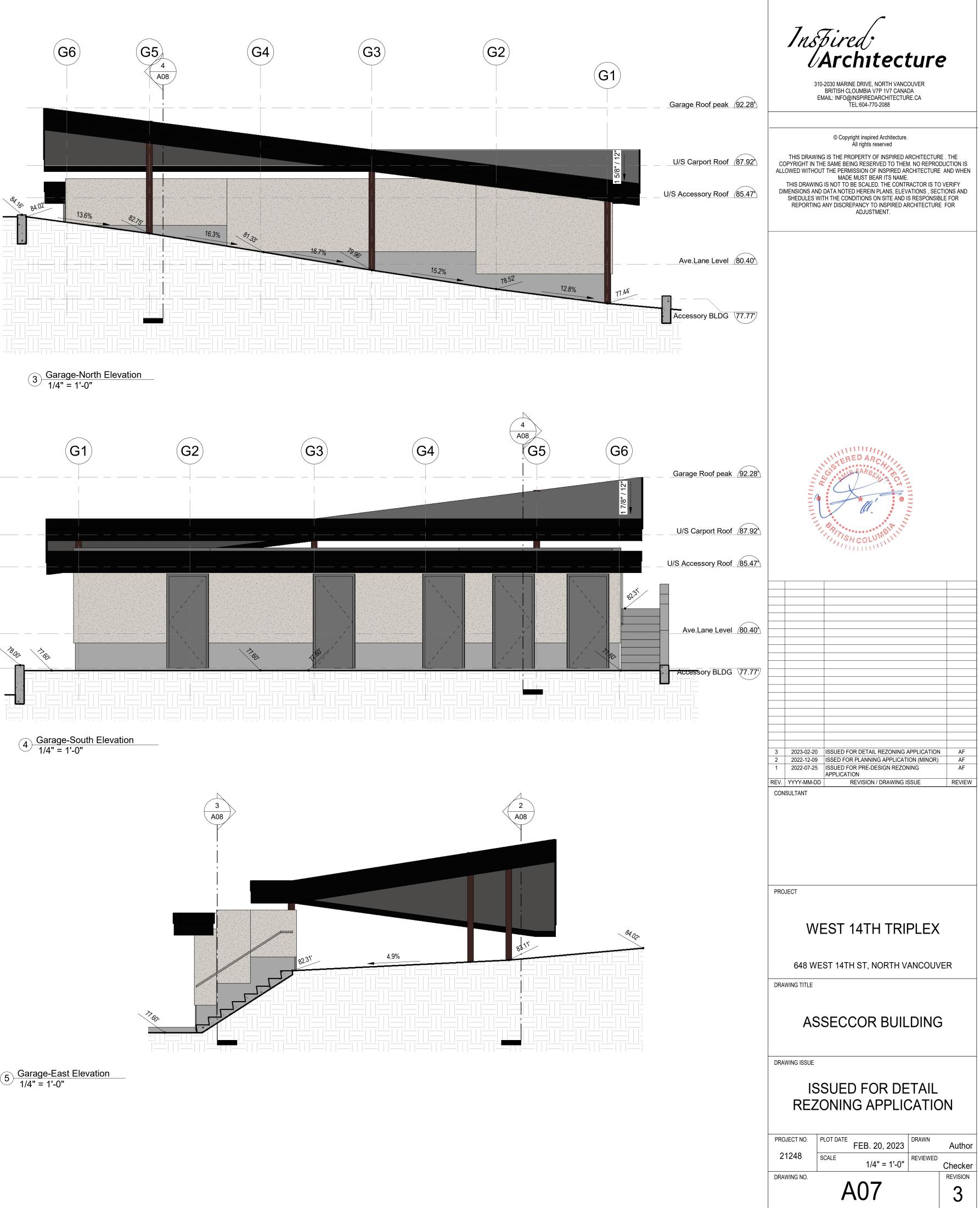
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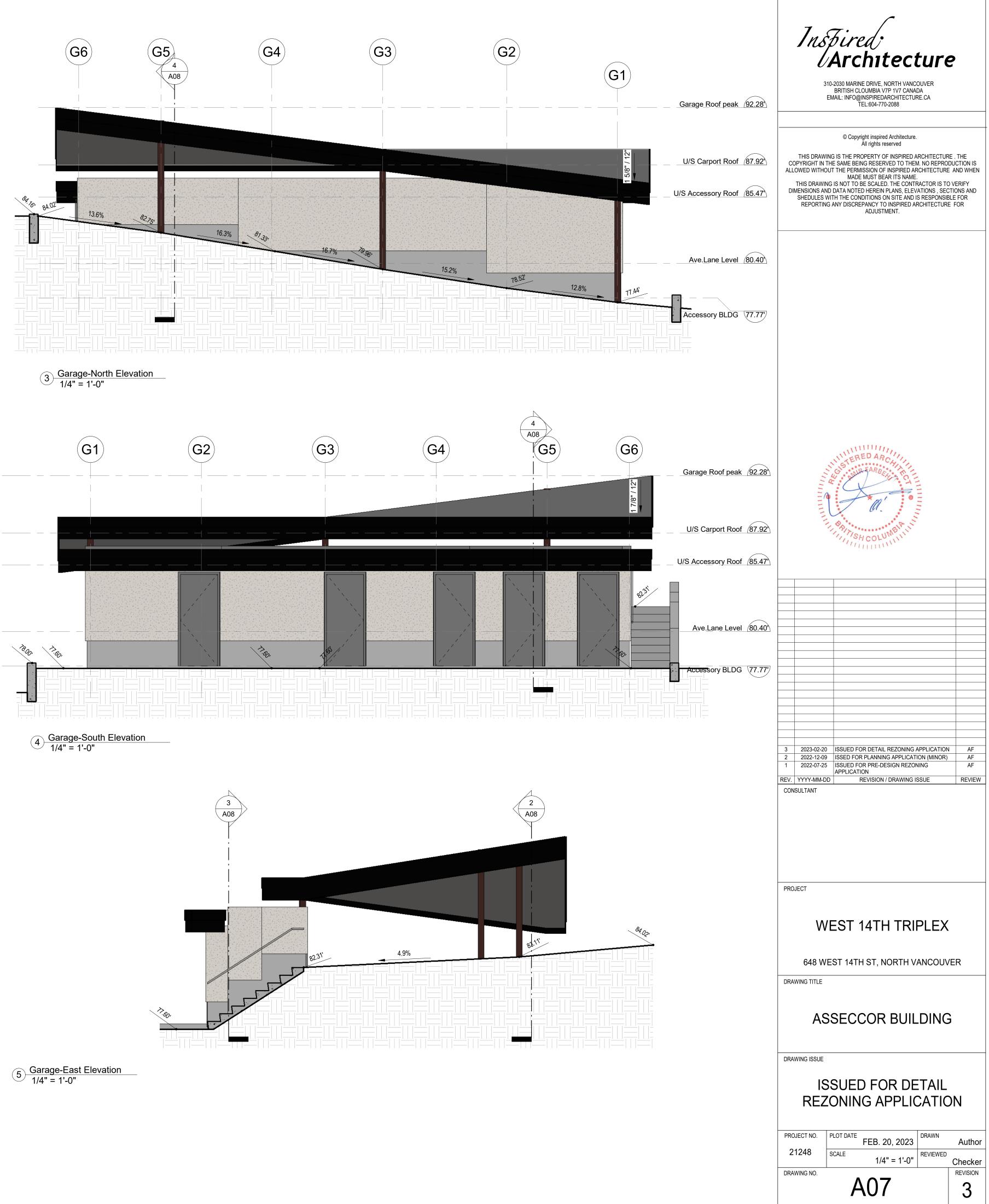
48.68%

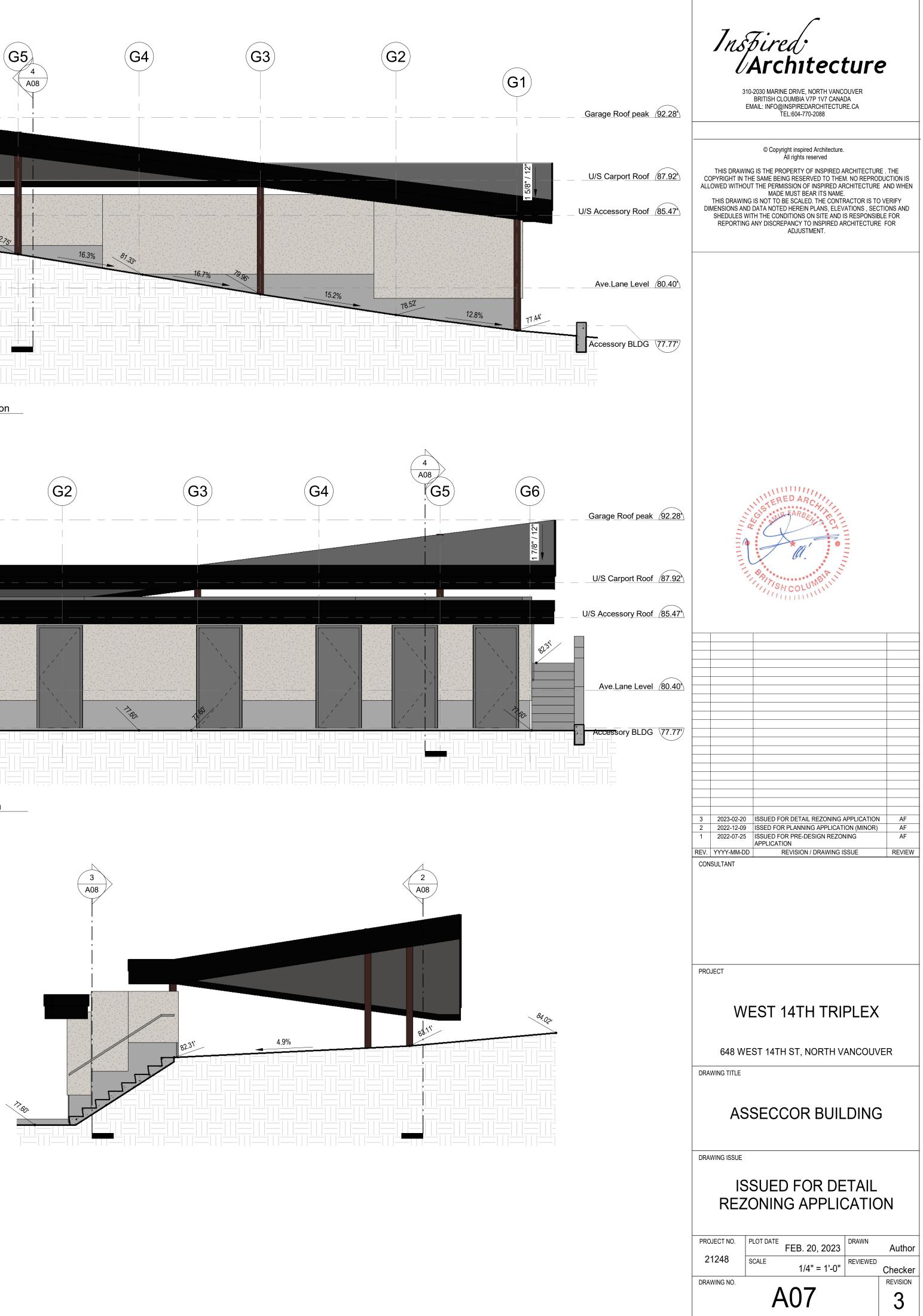


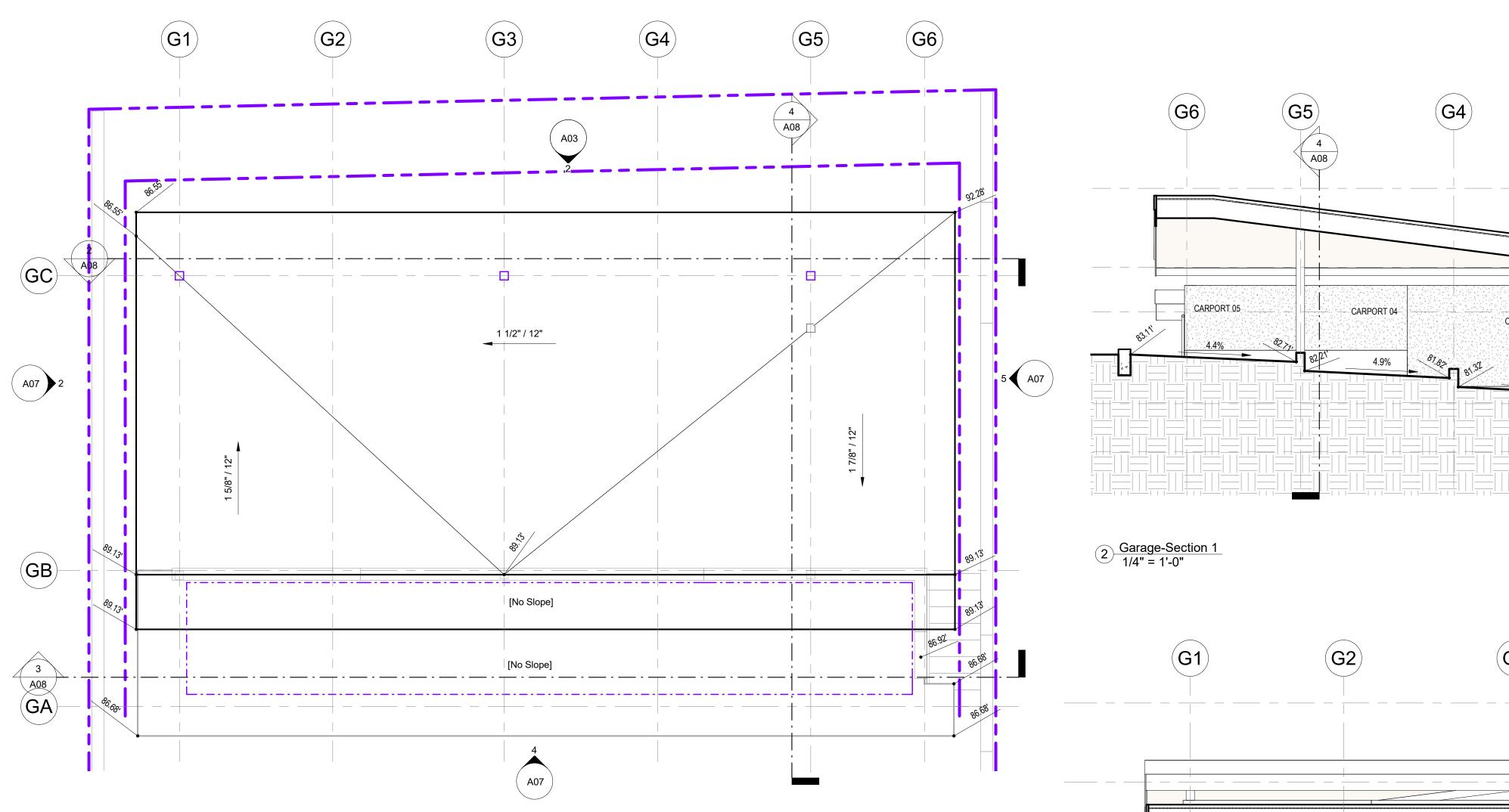
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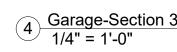


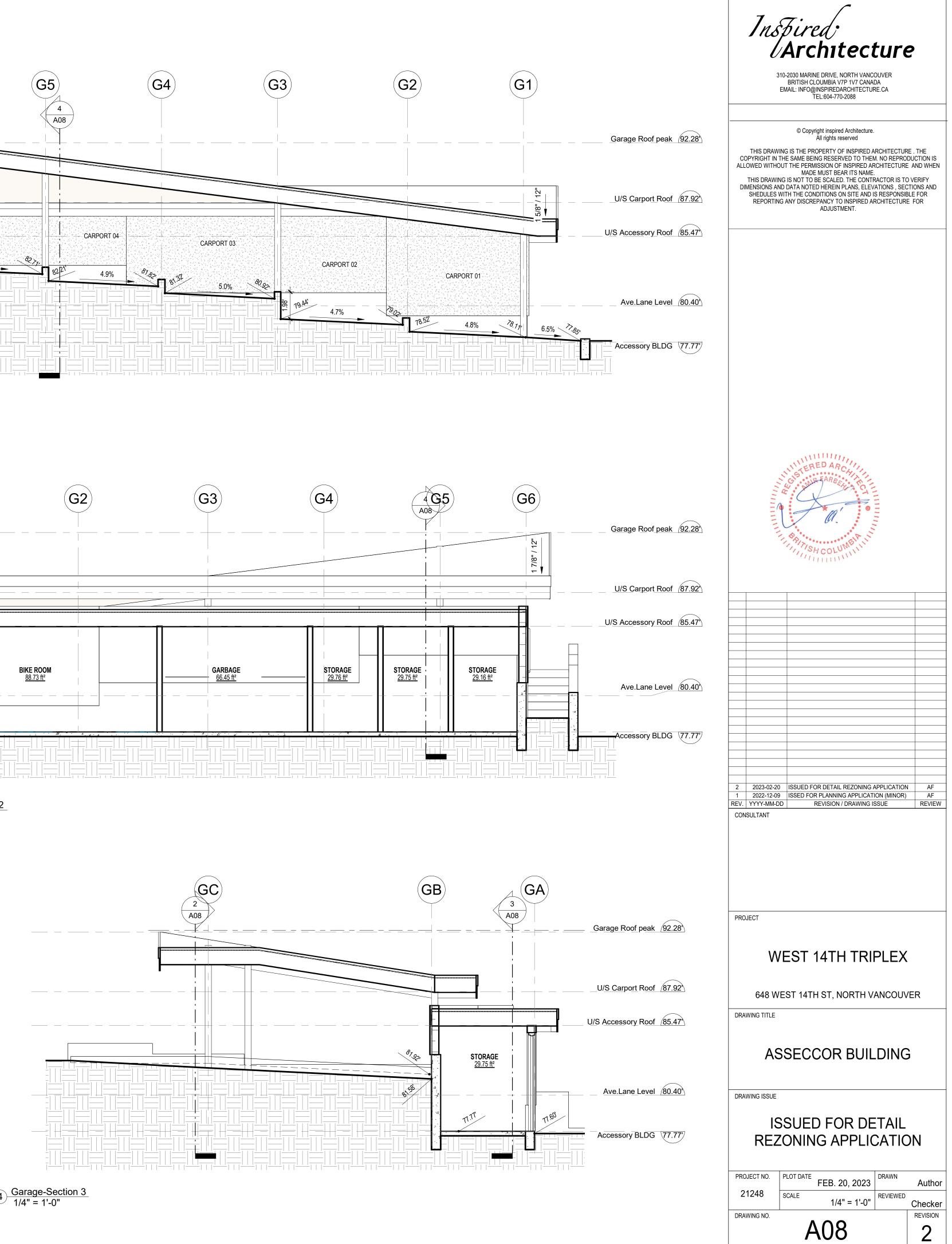


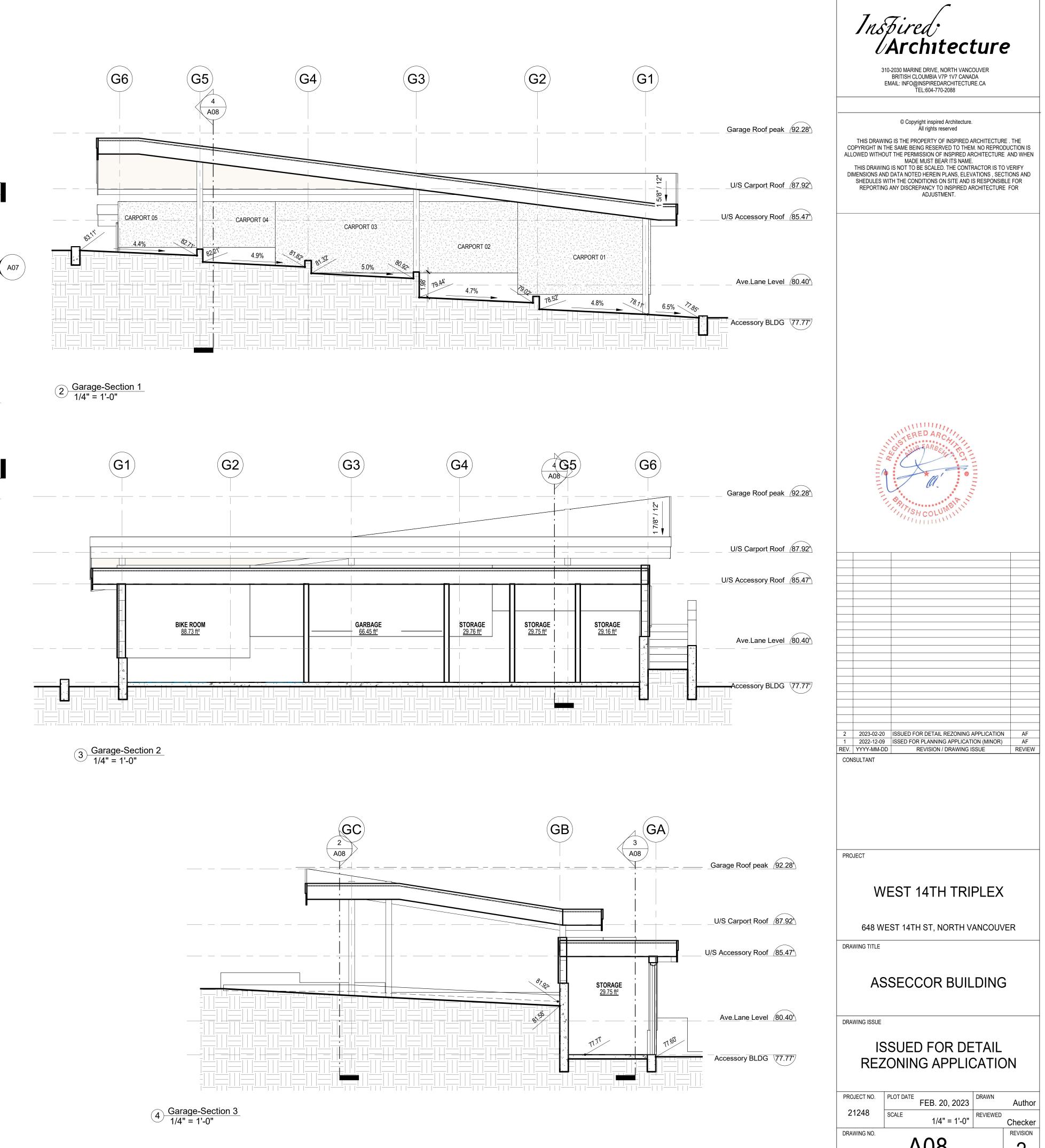


1 Garage-Roof Plan 1/4" = 1'-0"

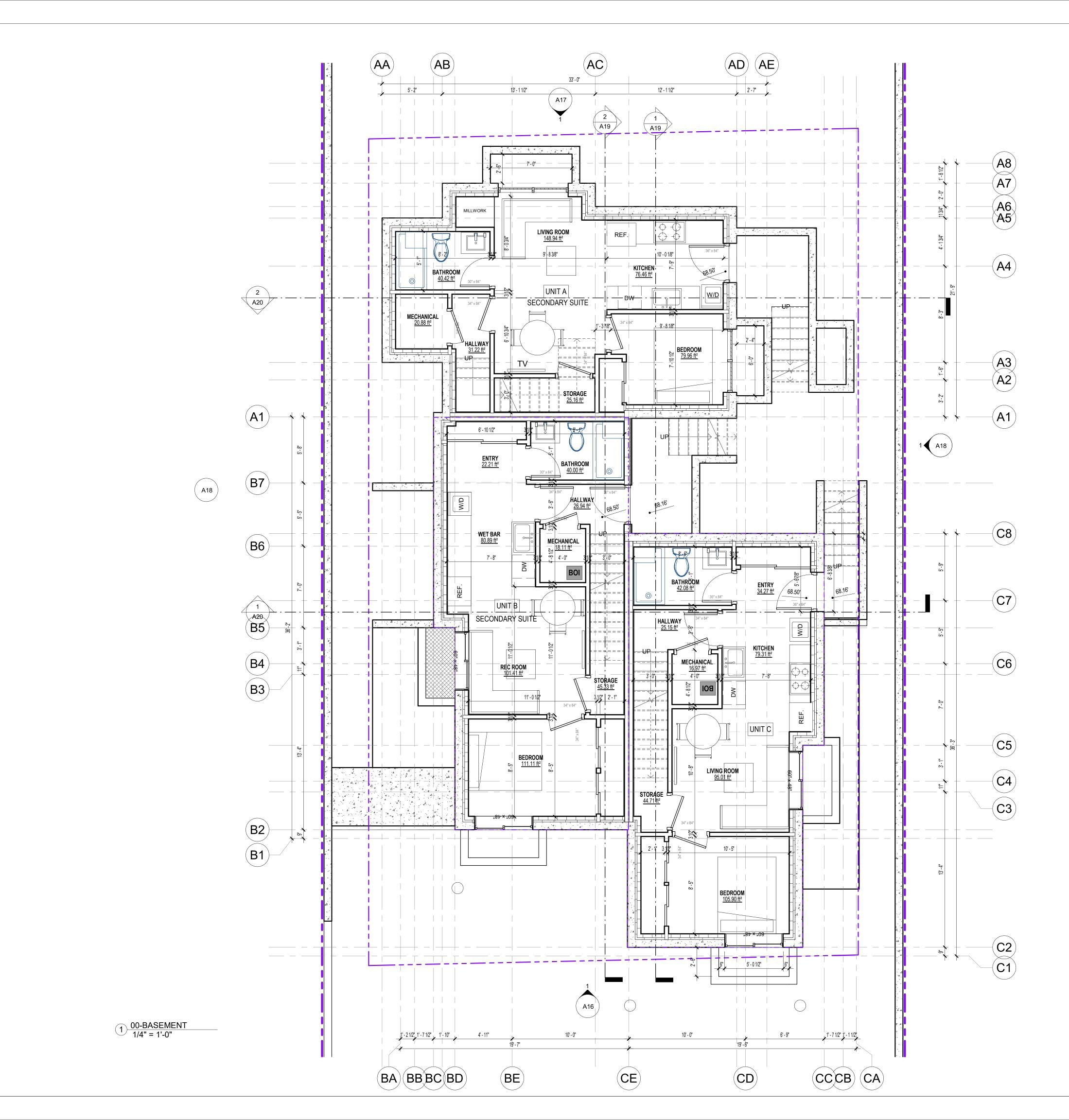
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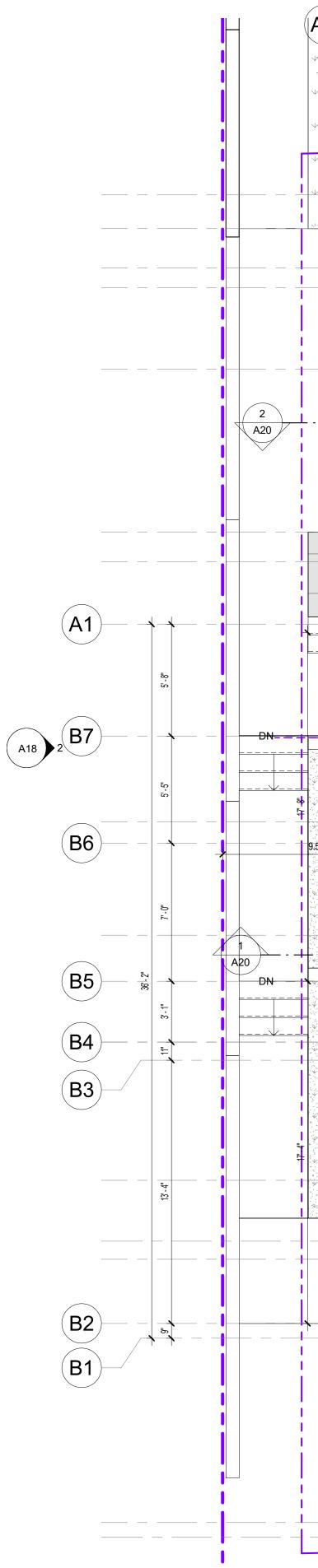




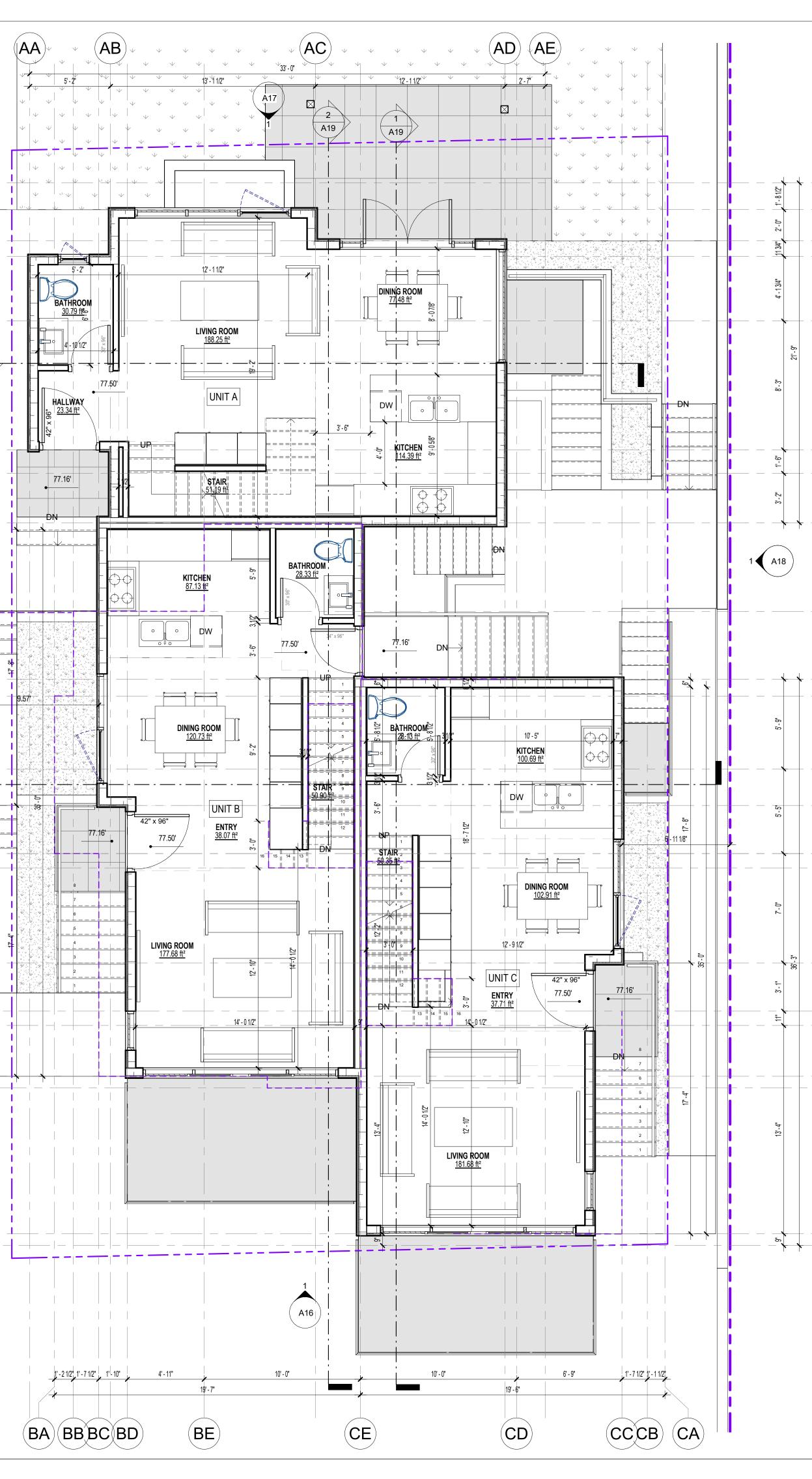




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| | | <i>Fired:</i> Architecture | |
| | 310- | 2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA IAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 | |
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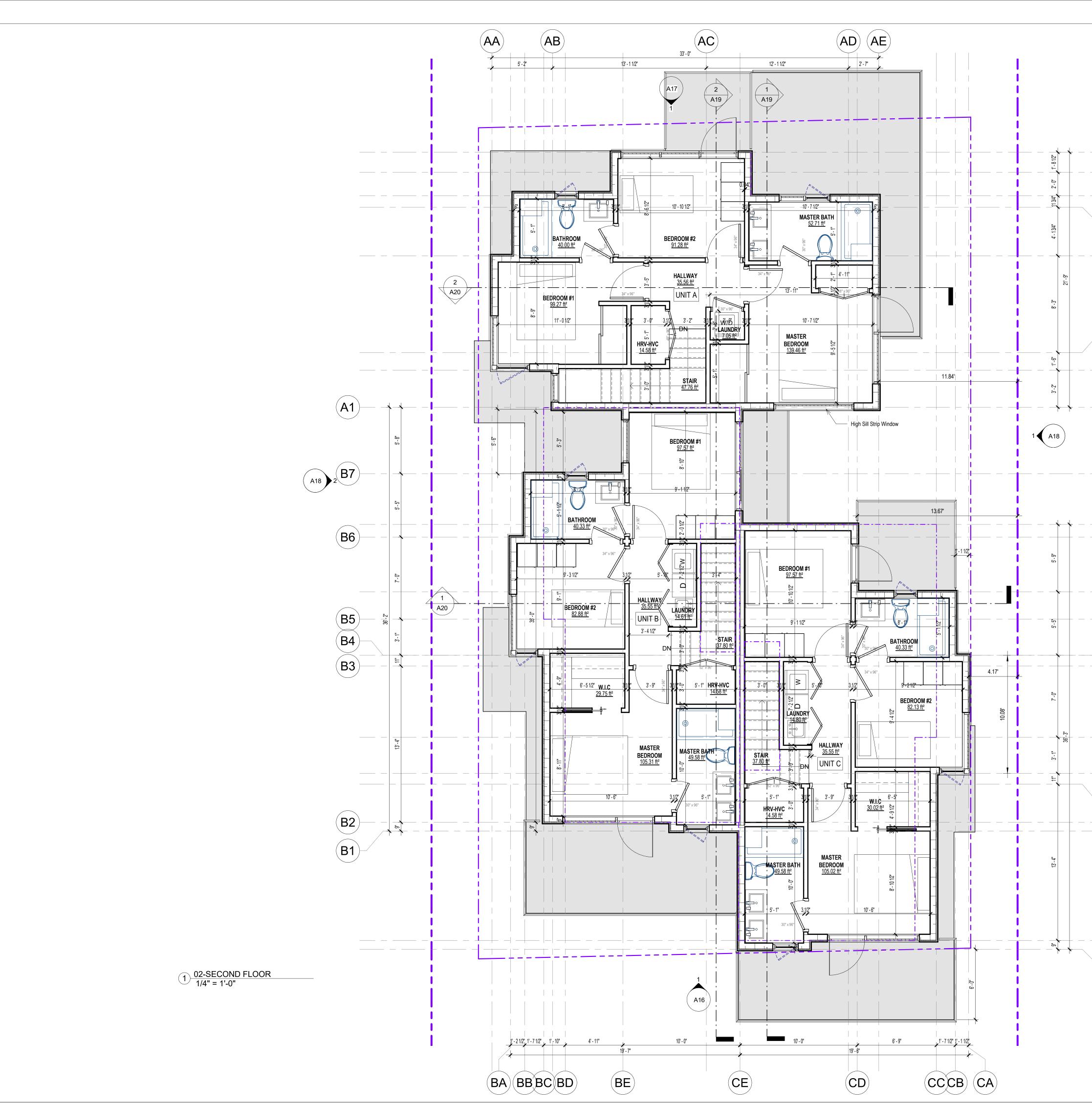


1 01-FIRST FLOOR 1/4" = 1'-0"



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| | PROJECT WEST 14TH TRIPLEX |
| | 648 WEST 14TH ST, NORTH VANCOUVER |
| 22 | LEVEL 1 FLOOR PLAN |
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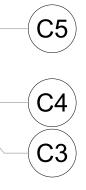


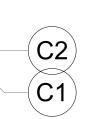
| Inspired Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 |
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| DRAWING ISSUE ISSUED FOR DETAIL REZONING APPLICATION |
| PROJECT NO. PLOT DATE FEB. 20, 2023 DRAWN NN 21248 SCALE 1/4" = 1'-0" REVIEWED AF DRAWING NO. A11 REVISION 3 |



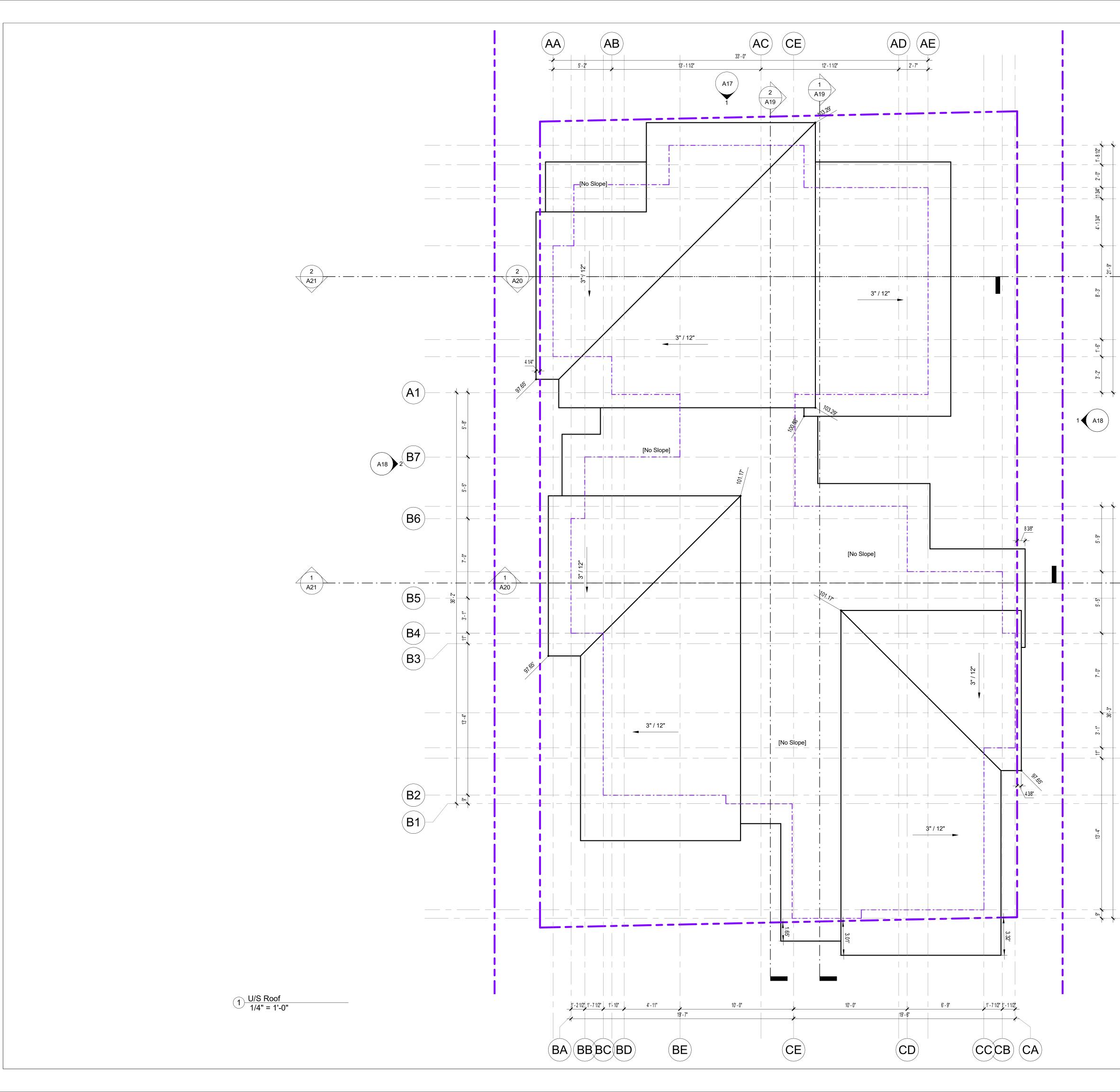
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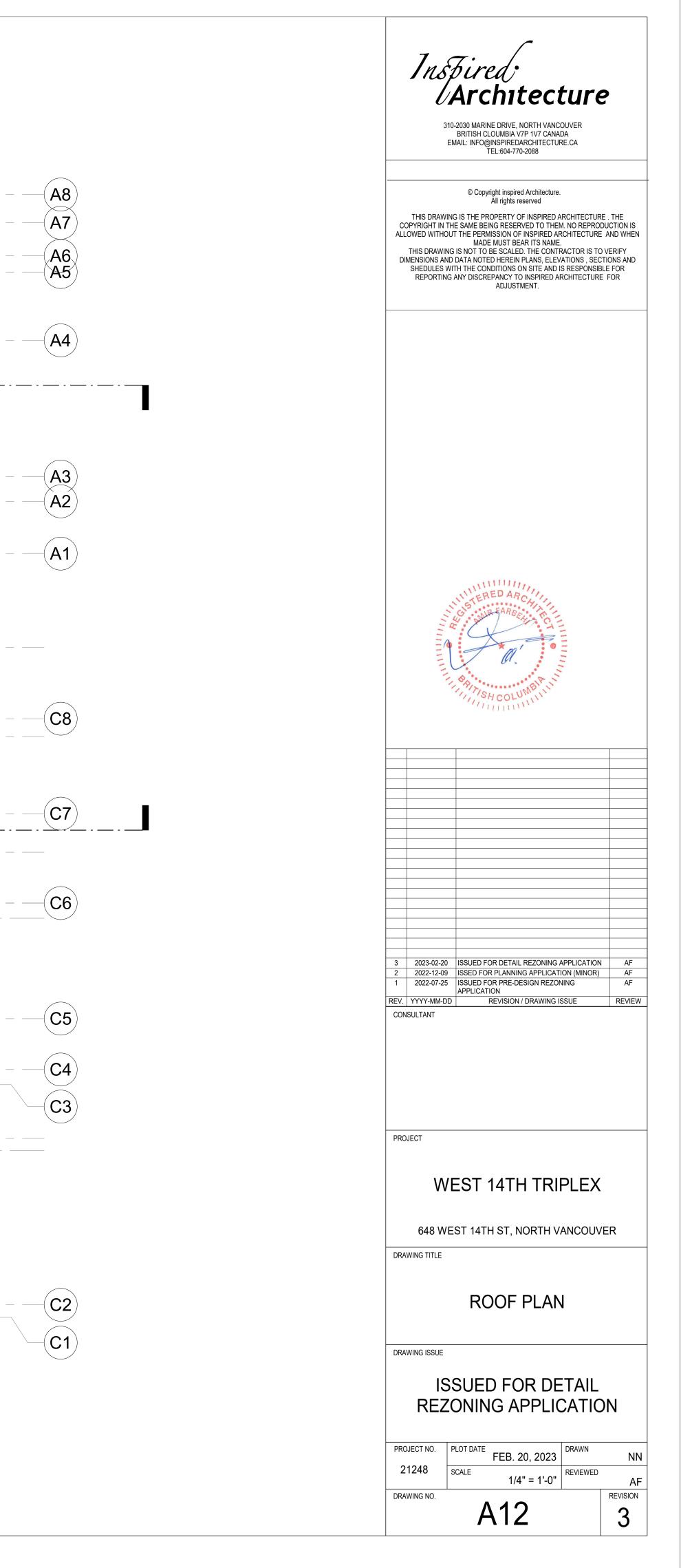
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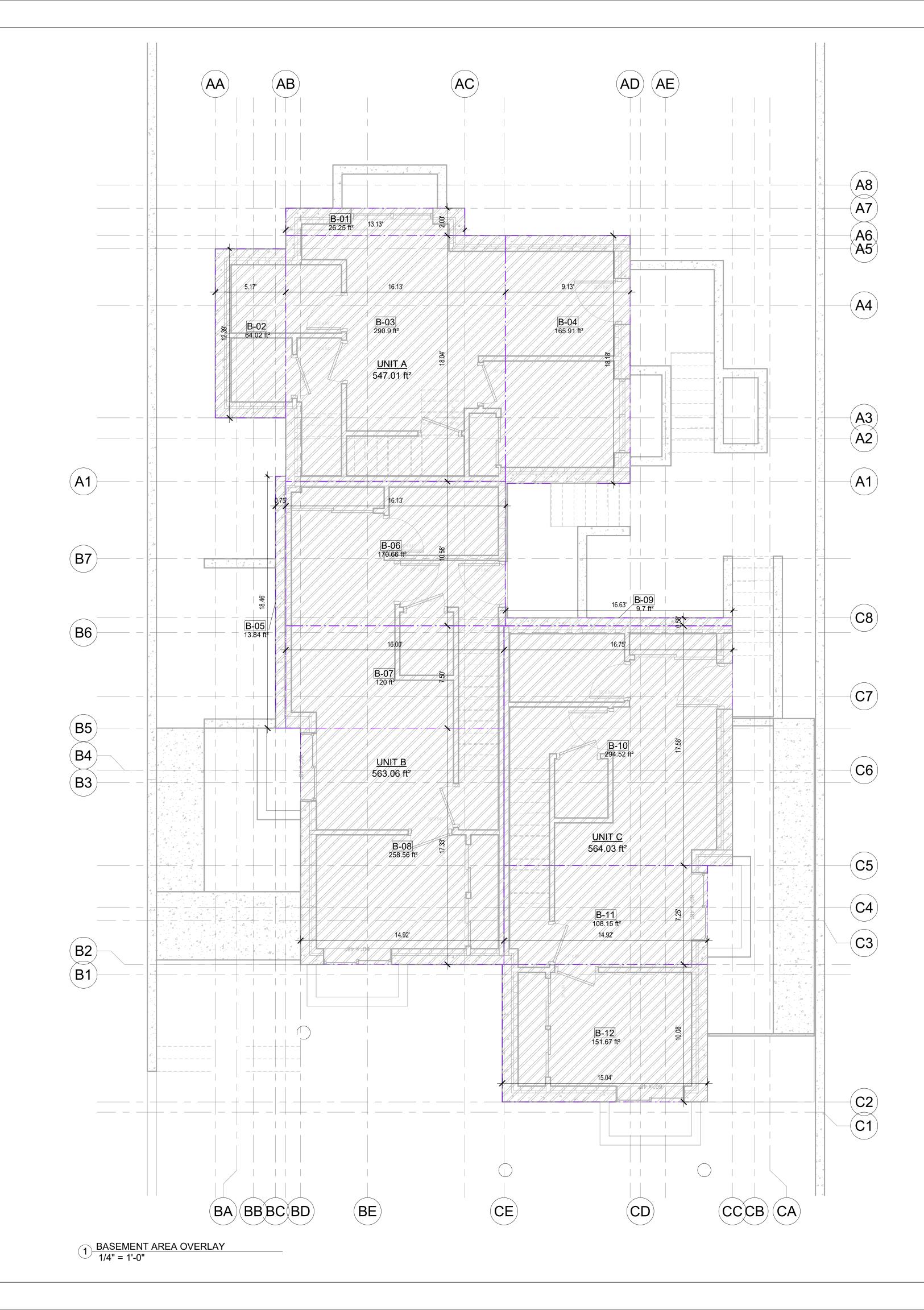












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| Level | Mark | Dimension X | Dimension Y | Area | Gross Area Category | Area Category | Suite Number |
|------------------|------|-------------|-------------|-------------------------|---------------------|---------------|--------------|
| | | | | | | | L |
| LEVEL 1 | F-01 | 13.13' | 2.00' | 26.25 ft ² | Above Grade | FSR | UNIT A |
| _EVEL 1 | F-02 | 5.17' | 12.39' | 64.02 ft ² | Above Grade | FSR | UNIT A |
| _EVEL 1 | F-04 | 9.13' | 18.17' | 165.76 ft ² | Above Grade | FSR | UNIT A |
| _EVEL 1 | F-03 | 16.13' | 18.04' | 290.90 ft ² | Above Grade | FSR | UNIT A |
| JNIT A: 4 | | | | 546.94 ft ² | | | |
| _EVEL 1 | F-06 | 16.13' | 10.58' | 170.66 ft ² | Above Grade | FSR | UNIT B |
| EVEL 1 | F-08 | 14.92' | 17.33' | 258.56 ft ² | Above Grade | FSR | UNIT B |
| EVEL 1 | F-05 | 0.75' | 18.46' | 13.84 ft ² | Above Grade | FSR | UNIT B |
| .EVEL 1 | F-07 | 16.00' | 7.50' | 120.00 ft ² | Above Grade | FSR | UNIT B |
| JNIT B: 4 | | | | 563.06 ft ² | | | |
| .EVEL 1 | F-09 | 16.75' | 0.58' | 9.77 ft ² | Above Grade | FSR | UNIT C |
| EVEL 1 | F-10 | 16.75' | 17.58' | 294.52 ft ² | Above Grade | FSR | UNIT C |
| _EVEL 1 | F-11 | 14.92' | 7.25' | 108.15 ft ² | Above Grade | FSR | UNIT C |
| _EVEL 1 | F-12 | 15.04' | 10.08' | 151.67 ft ² | Above Grade | FSR | UNIT C |
| JNIT C: 4 | | | | 564.11 ft ² | | | |
| EVEL 1: 12 | | | | 1674.10 ft ² | | | |
| EVEL 2 | S-01 | 11.88' | 3.71' | 44.05 ft ² | Above Grade | FSR | UNIT A |
| EVEL 2 | S-04 | 5.17' | 9.75' | 50.38 ft ² | Above Grade | FSR | UNIT A |
| EVEL 2 | S-07 | 11.71' | 18.21' | 213.17 ft ² | Above Grade | FSR | UNIT A |
| _EVEL 2 | S-06 | 10.13' | 12.96' | 131.20 ft ² | Above Grade | FSR | UNIT A |
| EVEL 2 | S-05 | 6.00' | 13.08' | 78.50 ft ² | Above Grade | FSR | UNIT A |
| EVEL 2 | S-03 | 11.08' | 5.12' | 56.79 ft ² | Above Grade | FSR | UNIT A |
| _EVEL 2 | S-02 | 8.38' | 5.38' | 45.02 ft ² | Above Grade | FSR | UNIT A |
| JNIT A: 7 | | | | 619.11 ft ² | | | |
| EVEL 2 | S-08 | 10.13' | 5.63' | 56.95 ft ² | Above Grade | FSR | UNIT B |
| _EVEL 2 | S-10 | 6.08' | 4.33' | 26.36 ft ² | Above Grade | FSR | UNIT B |
| EVEL 2 | S-13 | 5.96' | 26.17' | 155.91 ft ² | Above Grade | FSR | UNIT B |
| EVEL 2 | S-12 | 10.79' | 14.25' | 153.78 ft ² | Above Grade | FSR | UNIT B |
| EVEL 2 | S-11 | 13.63' | 10.08' | 137.39 ft ² | Above Grade | FSR | UNIT B |
| EVEL 2 | S-09 | 12.42' | 5.42' | 67.26 ft ² | Above Grade | FSR | UNIT B |
| JNIT B: 6 | | | | 597.65 ft ² | | | |
| EVEL 2 | S-14 | 10.00' | 5.75' | 57.50 ft ² | Above Grade | FSR | UNIT C |
| EVEL 2 | S-15 | 18.38' | 5.42' | 99.53 ft ² | Above Grade | FSR | UNIT C |
| EVEL 2 | S-16 | 19.50' | 10.08' | 196.62 ft ² | Above Grade | FSR | UNIT C |
| EVEL 2 | S-17 | 16.75' | 4.92' | 82.35 ft ² | Above Grade | FSR | UNIT C |
| | S-19 | 10.79' | 9.33' | 100.72 ft ² | Above Grade | FSR | UNIT C |
| EVEL 2 | | | | | 1 | | |
| EVEL 2 EVEL 2 | S-18 | 6.09' | 10.08' | 61.37 ft ² | Above Grade | FSR | UNIT C |

| | | AREA OVERLA | Y-GROSS FLOOR | AREA (BELOW GAR | RDE & ACCESSORY) | | |
|-----------------|---------|-------------|---------------|------------------------|---------------------|---------------|--------------|
| Level | Mark | Dimension X | Dimension Y | Area | Gross Area Category | Area Category | Suite Number |
| BASEMENT | B-01 | 13.13' | 2.00' | 26.25 ft ² | Below Grade | EXCLUSION | UNIT A |
| BASEMENT | B-02 | 5.17' | 12.39' | 64.02 ft ² | Below Grade | EXCLUSION | UNIT A |
| BASEMENT | B-03 | 16.13' | 18.04' | 290.90 ft ² | Below Grade | EXCLUSION | UNIT A |
| BASEMENT | B-04 | 9.13' | 18.18' | 165.91 ft ² | Below Grade | EXCLUSION | UNIT A |
| UNIT A: 4 | | | | 547.09 ft ² | | | |
| BASEMENT | B-05 | 0.75' | 18.46' | 13.84 ft ² | Below Grade | EXCLUSION | UNIT B |
| BASEMENT | B-06 | 16.13' | 10.58' | 170.66 ft ² | Below Grade | EXCLUSION | UNIT B |
| BASEMENT | B-07 | 16.00' | 7.50' | 120.00 ft ² | Below Grade | EXCLUSION | UNIT B |
| BASEMENT | B-08 | 14.92' | 17.33' | 258.56 ft ² | Below Grade | EXCLUSION | UNIT B |
| UNIT B: 4 | 1 | | | 563.06 ft ² | | | 1 |
| BASEMENT | B-09 | 16.63' | 0.58' | 9.70 ft ² | Below Grade | EXCLUSION | UNIT C |
| BASEMENT | B-10 | 16.75' | 17.58' | 294.52 ft ² | Below Grade | EXCLUSION | UNIT C |
| BASEMENT | B-11 | 14.92' | 7.25' | 108.15 ft ² | Below Grade | EXCLUSION | UNIT C |
| BASEMENT | B-12 | 15.04' | 10.08' | 151.67 ft ² | Below Grade | EXCLUSION | UNIT C |
| UNIT C: 4 | | | | 564.03 ft ² | | | 1 |
| BASEMENT: 12 | | | | 1,674.18 ft² | | | |
| LEVEL 1 | BIKE | 14.65' | 7.50' | 109.87 ft ² | Below Grade | EXCLUSION | Accessory |
| LEVEL 1 | GARBAGE | 10.96' | 7.50' | 82.19 ft ² | Below Grade | EXCLUSION | Accessory |
| LEVEL 1 | STORAGE | 15.73' | 7.50' | 117.97 ft ² | Below Grade | EXCLUSION | Accessory |
| Accessory: 3 | | | | 310.03 ft ² | | | |
| LEVEL 1: 3 | | | | 310.03 ft ² | | | |
| Grand total: 15 | | | | 1,984.21 ft² | | | |

| | | | | | RDE & ACCESSORY) | | |
|-----------------|--------------|-------------|-------------|------------------------|---------------------|---------------|--------------|
| Level | Mark | Dimension X | Dimension Y | Area | Gross Area Category | Area Category | Suite Number |
| BASEMENT | B-01 | 13.13' | 2.00' | 26.25 ft ² | Below Grade | EXCLUSION | UNIT A |
| BASEMENT | B-01 B-02 | 5.17' | 12.39' | 64.02 ft ² | Below Grade | EXCLUSION | UNIT A |
| BASEMENT | | | | 290.90 ft ² | | EXCLUSION | UNIT A |
| | B-03 | 16.13' | 18.04' | | Below Grade | | |
| BASEMENT | B-04 | 9.13' | 18.18' | 165.91 ft ² | Below Grade | EXCLUSION | UNIT A |
| UNIT A: 4 | | | | 547.09 ft ² | | | |
| BASEMENT | B-05 | 0.75' | 18.46' | 13.84 ft ² | Below Grade | EXCLUSION | UNIT B |
| BASEMENT | B-06 | 16.13' | 10.58' | 170.66 ft ² | Below Grade | EXCLUSION | UNIT B |
| BASEMENT | B-07 | 16.00' | 7.50' | 120.00 ft ² | Below Grade | EXCLUSION | UNIT B |
| BASEMENT | B-08 | 14.92' | 17.33' | 258.56 ft ² | Below Grade | EXCLUSION | UNIT B |
| UNIT B: 4 | | | | 563.06 ft ² | | | |
| BASEMENT | B-09 | 16.63' | 0.58' | 9.70 ft ² | Below Grade | EXCLUSION | UNIT C |
| BASEMENT | B-10 | 16.75' | 17.58' | 294.52 ft ² | Below Grade | EXCLUSION | UNIT C |
| BASEMENT | B-11 | 14.92' | 7.25' | 108.15 ft ² | Below Grade | EXCLUSION | UNIT C |
| BASEMENT | B-12 | 15.04' | 10.08' | 151.67 ft ² | Below Grade | EXCLUSION | UNIT C |
| UNIT C: 4 | I | 11 | | 564.03 ft ² | | | |
| BASEMENT: 12 | | | | 1,674.18 ft² | | | |
| | | 44.051 | 7.50 | 400.07.#2 | Dalam Ora da | EVOLUCION | A |
| LEVEL 1 | BIKE | 14.65' | 7.50' | 109.87 ft ² | Below Grade | EXCLUSION | Accessory |
| LEVEL 1 | GARBAGE | 10.96' | 7.50' | 82.19 ft ² | Below Grade | EXCLUSION | Accessory |
| LEVEL 1 | STORAGE | 15.73' | 7.50' | 117.97 ft ² | Below Grade | EXCLUSION | Accessory |
| Accessory: 3 | | | | 310.03 ft ² | | | |
| LEVEL 1: 3 | | | | 310.03 ft ² | | | |
| Crand total: 15 | | | | 1 00/ 01 #2 | | | |

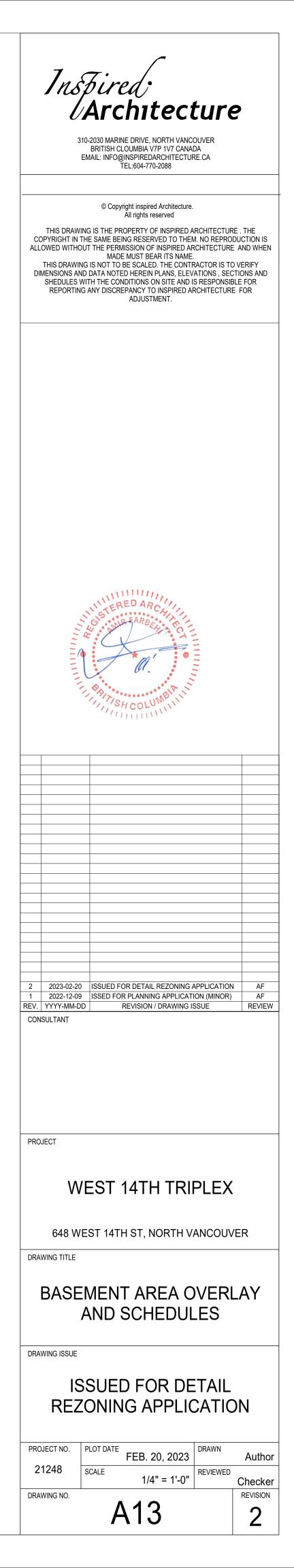
| Level | Mark | Dimension X | Dimension Y |
|-----------|------|-------------|-------------|
| | | | |
| LEVEL 1 | D-01 | 15.13' | 10.00' |
| LEVEL 1 | D-02 | 2.00' | 8.00' |
| LEVEL 1 | D-03 | 1.21' | 5.50' |
| LEVEL 1 | P-01 | 6.25' | 4.29' |
| UNIT A: 4 | | | |
| LEVEL 1 | D-04 | 14.79' | 8.00' |
| LEVEL 1 | P-02 | 4.50' | 5.50' |
| LEVEL 1 | P-04 | 5.49' | 4.00' |
| UNIT B: 3 | 1 | | |
| LEVEL 1 | D-05 | 15.04' | 7.58' |
| LEVEL 1 | P-03 | 4.00' | 6.00' |

| LEVEL 2 | BA-01 | 7.29' | 6.79' | |
|-----------|-------|--------|--------|--|
| LEVEL 2 | BA-02 | 14.42' | 10.50' | |
| LEVEL 2 | BA-03 | 3.50' | 12.00' | |
| UNIT A: 3 | • | | | |
| LEVEL 2 | BA-04 | 4.00' | 9.83' | |
| LEVEL 2 | BA-05 | 12.29' | 7.75' | |
| LEVEL 2 | BA-06 | 5.83' | 7.00' | |
| UNIT B: 3 | • | | | |
| LEVEL 2 | BA-07 | 8.38' | 7.75' | |
| LEVEL 2 | BA-08 | 6.08' | 6.00' | |
| LEVEL 2 | BA-09 | 12.29' | 6.75' | |
| UNIT C: 3 | | | | |
| | | | | |

LEVEL 2: 9

Grand total: 18

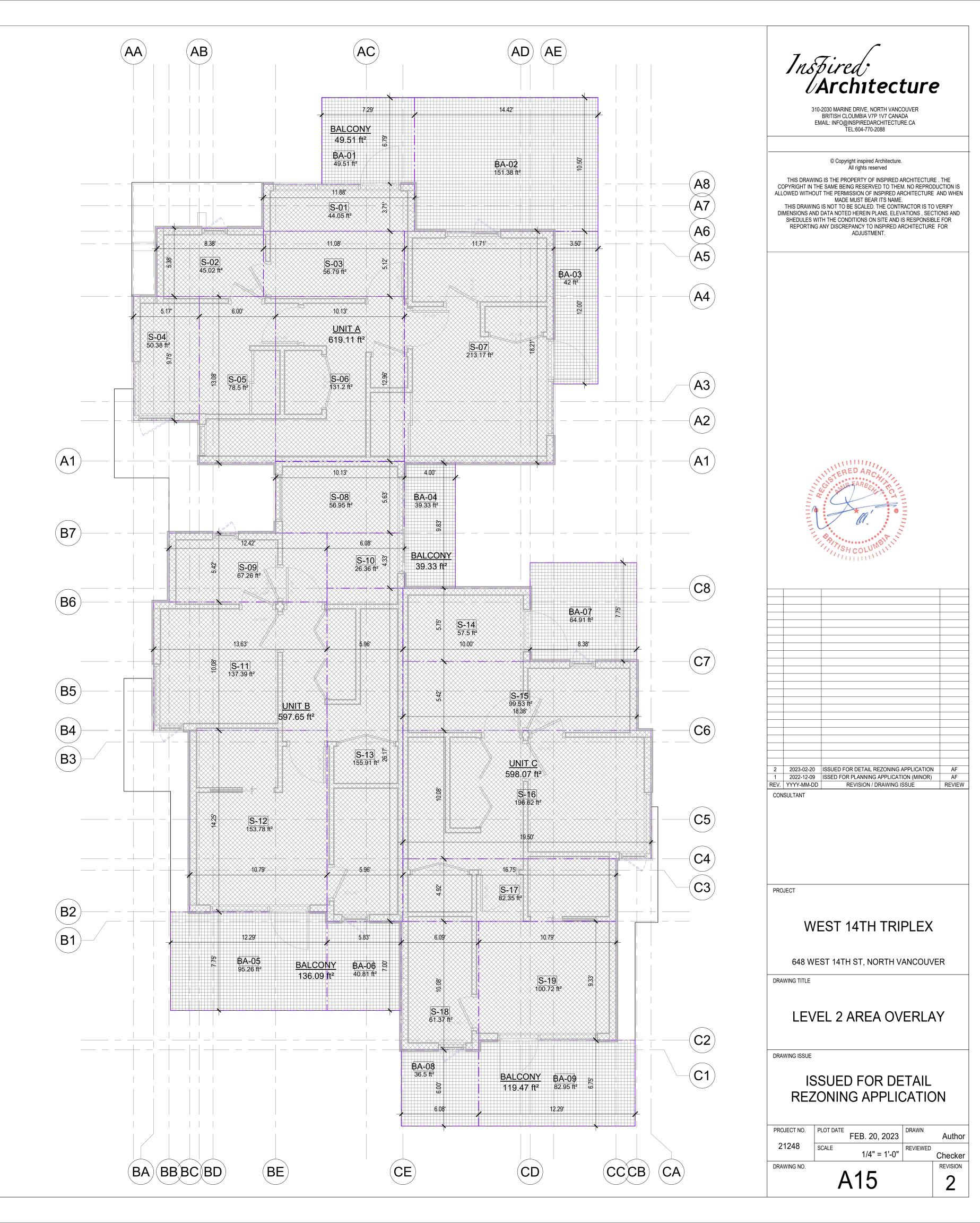
ANDA & BALCONIES Gross Area Category Area Category Suite Number Area 151.25 ft² 16.00 ft² UNIT A Covered Deck EXCLUSION UNIT A UNIT A Covered Deck EXCLUSION 6.65 ft² Covered Deck EXCLUSION 26.83 ft² EXCLUSION UNIT A Porch 200.73 ft² UNIT B UNIT B 118.33 ft² Covered Deck EXCLUSION 24.75 ft² Porch EXCLUSION UNIT B 21.97 ft² EXCLUSION Porch 165.05 ft² 114.07 ft² 24.00 ft² 138.07 ft² UNIT C UNIT C EXCLUSION Covered Deck EXCLUSION Porch 503.84 ft² $\begin{array}{c} 49.51 \ \text{ft}^2 \\ 151.38 \ \text{ft}^2 \\ 42.00 \ \text{ft}^2 \\ 242.89 \ \text{ft}^2 \\ 39.33 \ \text{ft}^2 \\ 95.26 \ \text{ft}^2 \\ 40.81 \ \text{ft}^2 \\ \end{array}$ UNIT A EXCLUSION Balcony EXCLUSION UNIT A Balcony EXCLUSION UNIT A Balcony UNIT B EXCLUSION Balcony UNIT B EXCLUSION Balcony UNIT B EXCLUSION Balcony 175.41 ft² $\begin{array}{c} 64.91 \ \text{ft}^2 \\ 64.91 \ \text{ft}^2 \\ 36.50 \ \text{ft}^2 \\ 82.95 \ \text{ft}^2 \\ 184.35 \ \text{ft}^2 \\ 602.65 \ \text{ft}^2 \end{array}$ UNIT C EXCLUSION Balcony UNIT C UNIT C EXCLUSION Balcony EXCLUSION Balcony



1,106.49 ft²



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1 LEVEL 2 AREA OVERLAY 1/4" = 1'-0"



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| | 9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE | | | | | | | | | | | | |
|--------|--|-------|--|-------|-------------|-------|------------------------------|-------|-------------------|---------------|--|--|--|
| FACADE | EXPOSING BUILDING FACE AREA | | LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING | | WINDOW AREA | | FACE SECTION /COMPARTMENT | | MAX. % ALLOWED | % PROVIDED | | | |
| | ft² | m² | ft | m | ft² | m² | ft² | m² | | | | | |
| NORTH | 904.58 | 84.04 | 60.57 | 18.46 | 268.79 | 24.97 | 904.58 | 84.04 | 100.00% | 29.71% | | | |
| SOUTH | 1005.66 | 93.43 | 59.30 | 18.07 | 438.27 | 40.72 | 1005.66 | 93.43 | 100.00% | 43.58% | | | |

| | 9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE | | | | | | | | | | | |
|----------|--|--------|--|------|-------------|-------|------------------------------|--------|-------------------|---------------|--|--|
| FACADE | EXPOSING BUILDING FACE AREA | | LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING | | WINDOW AREA | | FACE SECTION /COMPARTMENT | | MAX. % ALLOWED | % PROVIDED | | |
| | ft² | m² | ft | m | ft² | m² | ft² | m² | | | | |
| EAST (A) | 1686.59 | 156.69 | 4.17 | 1.27 | 83.49 | 7.76 | 640.00 | 59.46 | 14.00% | 13.05% | | |
| EAST (B) | 1686.59 | 156.69 | 11.84 | 3.61 | 97.96 | 9.10 | 450.00 | 41.81 | 22.44% | 21.77% | | |
| EAST (C) | 1686.59 | 156.69 | 13.67 | 9.60 | 113.26 | 10.52 | 160.00 | 14.86 | 75.20% | 70.79% | | |
| EAST (D) | 1686.59 | 156.69 | 8.76 | 2.67 | 63.57 | 5.91 | 436.59 | 40.56 | 18.68% | 14.56% | | |
| WEST | 1590.32 | 147.75 | 5.15 | 1.57 | 184.87 | 17.17 | 1590.32 | 147.75 | 14.28% | 11.62% | | |

PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

| MATERIAL LEGEND | | | | | | |
|-----------------|--------------------------------------|--------------------------------------|--|--|--|--|
| ITEM | Material Description | COLOUR | | | | |
| | | | | | | |
| 01 | STUCCO | BENJAMIN MOORE OC-27 (BALBOA MIST) | | | | |
| 02 | HARDI-PLANK LAP SIDING | Rich Espresso, 7" Expose | | | | |
| 03 | LAMINATED FIBERGLASS SHINGLE ROOF | ANTIQUE BLACK | | | | |
| 04 | DOUBLE GLAZED GLASS PANEL | CLEAR | | | | |
| 05 | WINDOW VINYL | BEIGE | | | | |
| 06 | CAST-IN -PLACE CONCRETE | ORIGINAL COLOUR | | | | |
| 07 | 1X10 ON 1X12 FASCIA BOARD | BENJAMIN MOORE 2134-30 IRON MOUNTAIN | | | | |
| 08 | 1X8 ON 1X12 FASCIA BOARD | BENJAMIN MOORE 2134-30 IRON MOUNTAIN | | | | |
| 09 | ALUMUNUM AND GLASS GUARD | CHARCOAL-ANODIZED | | | | |
| 10 | 1x4 WOOD SOFFIT | BENJAMIN MOORE CC-546 METROPOLIS | | | | |
| 11 | WOOD COLUMN | BENJAMIN MOORE 2134-30 IRON MOUNTAIN | | | | |

SPRINKLERED BUILDING: YES

| | ROOF PEAK 103.30 |
|-----------------------|--|
| | |
| 211-11 [144" [6.69 m] | U.W.Sill 89.45 U.W.Sill 89.45 LEVEL 2 87.76 L.W. Head 85.56 |
| | Ave. Rear 80.40 L.W.Sill 79.56 |
| | LEVEL 1 (77.50) T.O.Foundation (76.37) REFERENCE Grade (74.91) Court Yard (73.00) |
| 06 70,72, 68,20 | Ave. Front 71.25 |
| | T.O. Footing 67.00 |

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 2022-12-09
 ISSED FOR PLANNING APPLICATION (MINOR)
 AF

 1
 2022-07-25
 ISSUED FOR PRE-DESIGN REZONING APPLICATION
 AF

 REV.
 YYYY-MM-DD
 REVISION / DRAWING ISSUE
 REVIEW
 REVIEW CONSULTANT PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE **ELEVATIONS - SOUTH & WEST** DRAWING ISSUE **ISSUED FOR DETAIL REZONING APPLICATION** PROJECT NO. PLOT DATE DRAWN FEB. 20, 2023 M٦ 21248 REVIEWED SCALE 1/4" = 1'-0" AF REVISION DRAWING NO. A16 3



| 9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE | | | | | | | | | | |
|--|--------------------------------|-------|-------|-------|------------------------------|-------|-------------------|---------------|---------|--------|
| FACADE | EXPOSING BUILDING FACE AREA | | | | FACE SECTION /COMPARTMENT | | MAX. % ALLOWED | % PROVIDED | | |
| | ft² | m² | ft | m | ft² | m² | ft² | m² | | |
| NORTH | 904.58 | 84.04 | 60.57 | 18.46 | 268.79 | 24.97 | 904.58 | 84.04 | 100.00% | 29.71% |
| SOUTH | 1005.66 | 93.43 | 59.30 | 18.07 | 438.27 | 40.72 | 1005.66 | 93.43 | 100.00% | 43.58% |

| 9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE | | | | | | | | | | |
|--|------------------|----------|--|------|-------------|-------|------------------------------|--------|-------------------|---------------|
| FACADE | EXPOSING FACE | BUILDING | LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING | | WINDOW AREA | | FACE SECTION /COMPARTMENT | | MAX. % ALLOWED | % PROVIDED |
| | ft² | m² | ft | m | ft² | m² | ft² | m² | | |
| EAST (A) | 1686.59 | 156.69 | 4.17 | 1.27 | 83.49 | 7.76 | 640.00 | 59.46 | 14.00% | 13.05% |
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| WEST | 1590.32 | 147.75 | 5.15 | 1.57 | 184.87 | 17.17 | 1590.32 | 147.75 | 14.28% | 11.62% |

| MATERIAL LEGEND | | | | | | | |
|-----------------|--------------------------------------|--------------------------------------|--|--|--|--|--|
| ITEM | Material Description COLOUR | | | | | | |
| | | | | | | | |
| 01 | STUCCO | BENJAMIN MOORE OC-27 (BALBOA MIST) | | | | | |
| 02 | HARDI-PLANK LAP SIDING | Rich Espresso, 7" Expose | | | | | |
| 03 | LAMINATED FIBERGLASS SHINGLE ROOF | ANTIQUE BLACK | | | | | |
| 04 | DOUBLE GLAZED GLASS PANEL | CLEAR | | | | | |
| 05 | WINDOW VINYL | BEIGE | | | | | |
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| 07 | 1X10 ON 1X12 FASCIA BOARD | BENJAMIN MOORE 2134-30 IRON MOUNTAIN | | | | | |
| 08 | 1X8 ON 1X12 FASCIA BOARD | BENJAMIN MOORE 2134-30 IRON MOUNTAIN | | | | | |
| 09 | ALUMUNUM AND GLASS GUARD | CHARCOAL-ANODIZED | | | | | |
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| 11 | WOOD COLUMN | BENJAMIN MOORE 2134-30 IRON MOUNTAIN | | | | | |

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| Inspired Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER | | | | | | |
| BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 | | | | | | |
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| THE RED AROANT | | | | | | |
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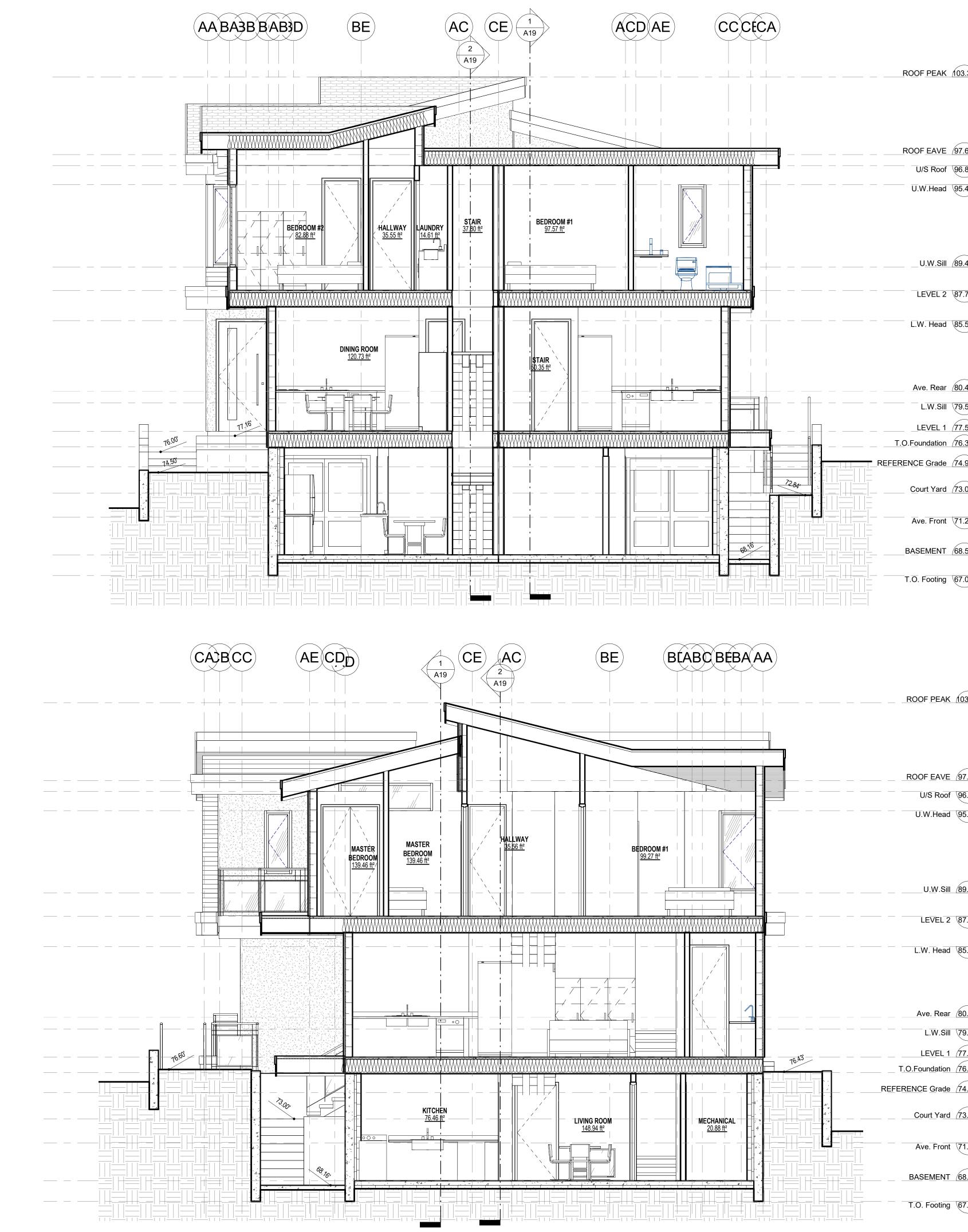
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| Image: Construction of the second | | | | |
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| Image: Second system Image: Second system 3 2023-02-20 ISSUED FOR DETAIL REZONING APPLICATION 2 2022-12-09 ISSED FOR PLANNING APPLICATION (MINOR) 1 2022-07-25 ISSUED FOR PRE-DESIGN REZONING APPLICATION REV. YYYY-MM-DD REVISION / DRAWING ISSUE | AF AF AF REVIE |
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| WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE | R |
| BUILDING SECTIONS | |
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| PROJECT NO. PLOT DATE FEB. 20, 2023 DRAWN 21248 SCALE 1/4" = 1'-0" REVIEWED DRAWING NO. REVIEWED F | M A REVISION |

| | T.O. Footing 67.00 |
|---|---|
| | Ave. Front (71.25) BASEMENT (68.50) |
| | Court Yard 73.00 |
| | REFERENCE Grade 74.91 |
| | LEVEL 1 (77.50) |
| | L.W.Sill (79.56) |
| | Ave. Rear 80.40 |
| | L.W. Head 85.56 |
| | U.W.Sill 89.45 LEVEL 2 87.76 |
| | |
| | U/S Roof 96.85' U.W.Head 95.45' |
| | ROOF EAVE 97.65 |
| | ROOF PEAK 103.30 |
| | |
| | BASEMENT (68.50) |
| = +==+++== - === == = == == | Ave. Front 71.25 |
| | Court Yard 73.00 |
| | REFERENCE Grade 74.91 |
| | LEVEL 1 (77.50 [*]) T.O.Foundation (76.37 [*]) |
| | L.W.Sill 79.56 |
| | Ave. Rear 80.40 |
| | L.W. Head 85.56 |
| | LEVEL 2 87.76 |
| | U.W.Sill (89.45) |
| | U.W.Head 95.45 |
| | U/S Roof 96.85' |
| | ROOF EAVE 97.65 |

ROOF PEAK 103.30



1 Section C 1/4" = 1'-0"

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2 Section D 1/4" = 1'-0"

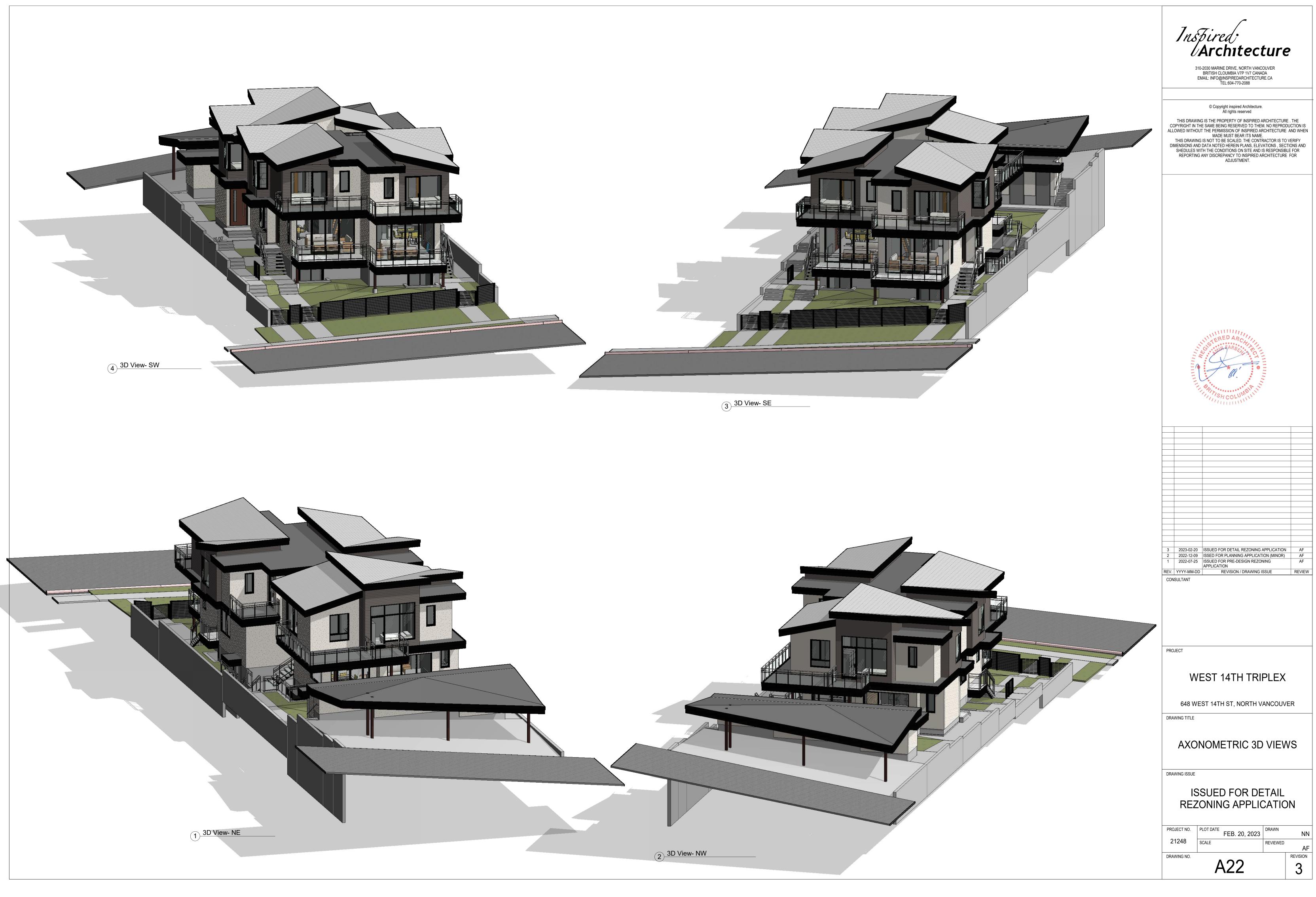
| 3.30 | Inspired Architecture 310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088 |
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| | 21248 SCALE REVIEWED |
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 ISSUED FOR DETAIL REZONING APPLICATION
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 CONSULTANT PROJECT WEST 14TH TRIPLEX 648 WEST 14TH ST, NORTH VANCOUVER DRAWING TITLE **NEIGHBOURHOOD SECTIONS** DRAWING ISSUE **ISSUED FOR DETAIL REZONING APPLICATION** PROJECT NO. PLOT DATE DRAWN FEB. 20, 2023 Author 1/4" = 1'-0" 21248 SCALE Checker REVISION DRAWING NO. A21 2



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