



# LOT A

652 EAST 4TH ST. NORTH VANCOVER

A100 - SITE PLAN

A101 - FOUNDATION PLAN

A102 - BASEMENT FLOOR PLAN

A103 - MAIN FLOOR PLAN

A104 - 2ND FLOOR PLAN

A105 - ROOF PLAN

A106 - ELEVATIONS - NORTH & SOUTH

A107 - ELEVATIONS - WEST

A108 - ELEVATIONS - EAST

A109 - SECTIONS

A110 - DETAILS

A111 - F.A.R

A112 - GARAGE

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604-626-6020



• MILL AND PAVE AND/OR FULL ROAD RECONSTRUCTION TO CENTERLINE ADJACENT TO SITE  
 • REGULATORY SIGNAGE AND PAVEMENT MARKINGS AS REQUIRED  
 • DESIGN AND INSTALL NEW OVERHEAD AND PEDESTRIAN LEVEL STREET LIGHTING  
 • INSTALL SIDEWALK AND CURB AND GUTTER TO MATCH ADJACENT SIDEWALKS  
 • INSTALL STREET TREES AND BOLLIVARD LANDSCAPING TO CNV STANDARD. PROVIDE A MINIMUM OF 25 SQUARE METERS OF SOIL PER TREE. PROVIDE CONTIGUOUS 30MM G.S.M. TRENCH IN BOLLIVARDS AND 650MM DEEP STRUCTURAL SOIL UNDER SIDEWALK. ENSURE ADEQUATE SOIL VOLUMES FOR LARGE STREET TREES. SWIRM CONTINUOUS ROOT BARRIER REQUIRED AT STREET TREE LOCATIONS. PROVIDE IRRIGATION FOR ALL OFF-SITE LANDSCAPING AND STREET TREES.

PROPOSED PAVING BLOCKS TO BE INSTALLED UNDER ARBORIST SUPERVISION. REFER TO ARBORIST REPORT IF REQUIRED.

TREE PROTECTION FENCING AS PER DIAMOND HEAD REPORT DATED JUNE 14TH, 2024

ALL THIRD-PARTY UTILITY CONNECTIONS (ELECTRICAL, GAS, AND COMMUNICATIONS) MUST BE INSTALLED UNDERGROUND.

OFFSITE TREES WILL BE INSTALLED BY CNV. FINAL SPECIES SELECTION AND LOCATION WILL BE DETERMINED BY CNV PRIOR TO PLANTING.

NEW 150mm STORM SERVICE CONNECTION AND I.C. TO BE INSTALLED BY THE CITY OF NORTH VANCOUVER CREW AT DEVELOPERS COST

INVERT OF I.C. TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

RM - #3.85 @ I.C.  
 INV - +3.85 @ I.C. (BY CNV)

DESIGN INVERT = 62.10m @ I.C.

IF STORM I.C. INVERT DESIGNED AND CONSTRUCTED BY THE CNV IS HIGHER THAN 62.10m, A PUMP WILL BE REQUIRED FOR THE BASEMENT PERIMETER DRAINAGE SYSTEM.

INSTALL 1 M CONCRETE BOLLIVARD SIDEWALK AND CURB AND GUTTER TO MEET MCMC AND CNV STANDARDS. SIDEWALK WILL BE INSTALLED WITH A TYPICAL 2% SLOPE TOWARDS THE ROAD. FINAL CONFIGURATION WILL BE DETERMINED AT BUILDING PERMIT STAGE.

NEW 150mm STORM SERVICE CONNECTION AND I.C. TO BE INSTALLED BY THE CITY OF NORTH VANCOUVER CREW AT DEVELOPERS COST

INVERT OF I.C. TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

RM - #4.40 @ I.C. (BY CNV)  
 INV - +4.40 @ I.C. (BY CNV)

DESIGN INVERT = 62.08m @ I.C.

IF STORM I.C. INVERT DESIGNED AND CONSTRUCTED BY THE CNV IS HIGHER THAN 62.08m, A PUMP WILL BE REQUIRED FOR THE BASEMENT PERIMETER DRAINAGE SYSTEM.

OS/HEDGE1 - EASTERN WHITE CEDAR  
 TO REMAIN  
 EXISTING WOODEN WALL AND FENCE PROVIDES ADEQUATE PROTECTION  
 NOTE: RETAIN EXISTING WOOD WALL TO RETAIN AND PROTECT OS/HEDGE1

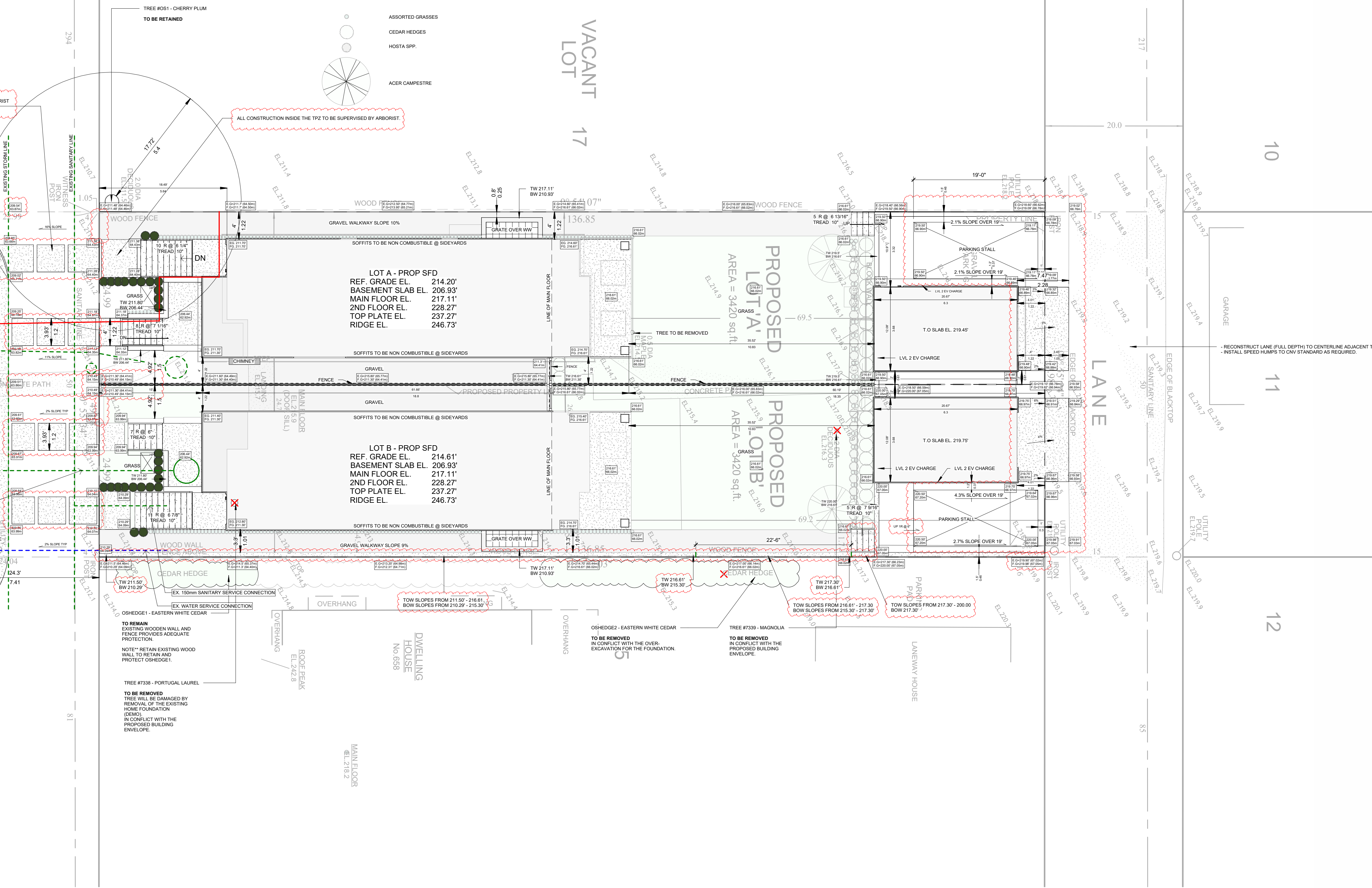
TREE #7338 - PORTUGAL LAUREL  
 TO BE REMOVED  
 TREE WILL BE DAMAGED BY REMOVAL OF THE EXISTING HOME FOUNDATION (DMSO) IN CONFLICT WITH THE PROPOSED BUILDING ENVELOPE.

OS/HEDGE2 - EASTERN WHITE CEDAR  
 TO BE REMOVED  
 IN CONFLICT WITH THE OVER-EXCAVATION FOR THE FOUNDATION

TREE #7339 - MAGNOLIA  
 TO BE REMOVED  
 IN CONFLICT WITH THE PROPOSED BUILDING ENVELOPE.

OS/HEDGE3 - EASTERN WHITE CEDAR  
 TO BE REMOVED  
 IN CONFLICT WITH THE PROPOSED BUILDING ENVELOPE.

OS/HEDGE4 - EASTERN WHITE CEDAR  
 TO BE REMOVED  
 IN CONFLICT WITH THE PROPOSED BUILDING ENVELOPE.



**PROJECT STATISTICS**

**SITE STATISTICS**

|                    |  |
|--------------------|--|
| CIVIC ADDRESS:     | 852 EAST 4TH ST NORTH VANCOUVER                        |
| LEGAL DESCRIPTION: | LOT 8 OF LOT 16, BLOCK 18, DISTRICT LOT 273, PLAN 1083 |
| ZONE:              | RS1  |
| SITE AREA (SQ FT): | 3,420  |
| SITE WIDTH (FT):   | 24.99  |

**PROJECT STATISTICS**

| HOUSE                  | PERMITTED/REQUIRED |        | PROPOSED |        |
|------------------------|--------------------|--------|----------|--------|
|                        | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| ROOF HEIGHT            | 33.1               | 10.09  | 32.54    | 9.92   |
| TOP PLATE              | 26.2               | 7.99   | 23.08    | 7.00   |
| FRONT YARD SETBACK (S) | 15                 | 4.57   | 15       | 4.57   |
| EAST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| WEST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| REAR YARD SETBACK (N)  | 47.89              | 14.60  | 60.19    | 18.35  |

**ACCESSORY BUILDING**

| ACCESSORY BUILDING          | PERMITTED/REQUIRED |        | PROPOSED |        |
|-----------------------------|--------------------|--------|----------|--------|
|                             | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| BUILDING HEIGHT             | 10                 | 3.05   | 11.4     | 3.48   |
| FRONT YARD SETBACK TO HOUSE | 2                  | 0.61   | 2        | 0.61   |
| EAST SIDE YARD SETBACK      | 2                  | 0.61   | 2        | 0.61   |
| WEST SIDE YARD SETBACK      | 4                  | 1.22   | 4        | 1.22   |

**FLOOR AREAS**

| FLOOR              | PERMITTED/REQUIRED |               | PROPOSED      |               |
|--------------------|--------------------|---------------|---------------|---------------|
|                    | AREA (SQ FT)       | AREA (M2)     | AREA (SQ FT)  | AREA (M2)     |
| BASEMENT           | 858.5              | 79.75         | 858.5         | 79.75         |
| MAIN FLOOR         | 839.3              | 77.87         | 839.3         | 77.87         |
| 2ND FLOOR          | 866.3              | 80.07         | 866.3         | 80.07         |
| ACCESSORY          | 249.7              | 23.20         | 249.7         | 23.20         |
| <b>TOTAL SQ FT</b> | <b>1713</b>        | <b>158.86</b> | <b>2813.8</b> | <b>260.89</b> |

**G.F.A. EXEMPTIONS**

| EXEMPTION                       | PERMITTED/REQUIRED |               | PROPOSED     |           |
|---------------------------------|--------------------|---------------|--------------|-----------|
|                                 | AREA (SQ FT)       | AREA (M2)     | AREA (SQ FT) | AREA (M2) |
| BASEMENT                        | 858.5              | 79.75         | 858.5        | 79.75     |
| ACCESSORY                       | 249.7              | 23.20         | 249.7        | 23.20     |
| <b>TOTAL EXEMPT FROM G.F.A.</b> | <b>1108.2</b>      | <b>102.95</b> |              |           |

**G.F.A.**

| TOTAL G.F.A.        | PERMITTED/REQUIRED                 |               | PROPOSED      |               |
|---------------------|------------------------------------|---------------|---------------|---------------|
|                     | AREA (SQ FT)                       | AREA (M2)     | AREA (SQ FT)  | AREA (M2)     |
| <b>TOTAL G.F.A.</b> | <b>SITE AREA x 90% (1713sq ft)</b> | <b>158.86</b> | <b>1707.6</b> | <b>158.64</b> |

**SITE COVERAGE - HOUSE**

| AREA OF HOUSE                        | PERMITTED/REQUIRED |              | PROPOSED     |              |
|--------------------------------------|--------------------|--------------|--------------|--------------|
|                                      | AREA (SQ FT)       | AREA (M2)    | AREA (SQ FT) | AREA (M2)    |
| <b>AREA OF HOUSE</b>                 | <b>1028</b>        | <b>95.32</b> | <b>858.5</b> | <b>79.75</b> |
| <b>TOTAL SITE COVERAGE (MAX 25%)</b> |                    |              | <b>858.5</b> | <b>79.75</b> |

**SITE COVERAGE - COMBINED**

| AREA OF HOUSE                        | PERMITTED/REQUIRED |               | PROPOSED     |              |
|--------------------------------------|--------------------|---------------|--------------|--------------|
|                                      | AREA (SQ FT)       | AREA (M2)     | AREA (SQ FT) | AREA (M2)    |
| <b>AREA OF HOUSE</b>                 | <b>1028</b>        | <b>95.32</b>  | <b>858.5</b> | <b>79.75</b> |
| <b>AREA OF ACCESSORY</b>             | <b>249.7</b>       | <b>23.20</b>  | <b>249.7</b> | <b>23.20</b> |
| <b>TOTAL SITE COVERAGE (MAX 40%)</b> | <b>1388</b>        | <b>127.09</b> | <b>249.7</b> | <b>23.20</b> |

**PROJECT STATISTICS**

**SITE STATISTICS**

|                    |  |
|--------------------|--|
| CIVIC ADDRESS:     | 852 EAST 4TH ST NORTH VANCOUVER                        |
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| ZONE:              | RS1  |
| SITE AREA (SQ FT): | 3,420  |
| SITE WIDTH (FT):   | 24.99  |

**PROJECT STATISTICS**

| HOUSE                  | PERMITTED/REQUIRED |        | PROPOSED |        |
|------------------------|--------------------|--------|----------|--------|
|                        | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| ROOF HEIGHT            | 33.1               | 10.09  | 32.54    | 9.79   |
| TOP PLATE              | 26.2               | 7.99   | 22.67    | 6.91   |
| FRONT YARD SETBACK (S) | 15                 | 4.57   | 15       | 4.57   |
| EAST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| WEST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| REAR YARD SETBACK (N)  | 47.89              | 14.60  | 60.19    | 18.35  |

**ACCESSORY BUILDING**

| ACCESSORY BUILDING          | PERMITTED/REQUIRED |        | PROPOSED |        |
|-----------------------------|--------------------|--------|----------|--------|
|                             | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| BUILDING HEIGHT             | 10                 | 3.05   | 10.3     | 3.12   |
| FRONT YARD SETBACK TO HOUSE | 2                  | 0.61   | 2        | 0.61   |
| EAST SIDE YARD SETBACK      | 2                  | 0.61   | 2        | 0.61   |
| WEST SIDE YARD SETBACK      | 4                  | 1.22   | 4        | 1.22   |

**FLOOR AREAS**

| FLOOR              | PERMITTED/REQUIRED |               | PROPOSED      |               |
|--------------------|--------------------|---------------|---------------|---------------|
|                    | AREA (SQ FT)       | AREA (M2)     | AREA (SQ FT)  | AREA (M2)     |
| BASEMENT           | 858.5              | 79.75         | 858.5         | 79.75         |
| MAIN FLOOR         | 839.3              | 77.87         | 839.3         | 77.87         |
| 2ND FLOOR          | 866.3              | 80.07         | 866.3         | 80.07         |
| ACCESSORY          | 249.7              | 23.20         | 249.7         | 23.20         |
| <b>TOTAL SQ FT</b> | <b>1713</b>        | <b>158.86</b> | <b>2813.8</b> | <b>260.89</b> |

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| EXEMPTION                       | PERMITTED/REQUIRED |               | PROPOSED     |           |
|---------------------------------|--------------------|---------------|--------------|-----------|
|                                 | AREA (SQ FT)       | AREA (M2)     | AREA (SQ FT) | AREA (M2) |
| BASEMENT                        | 858.5              | 79.75         | 858.5        | 79.75     |
| ACCESSORY                       | 249.7              | 23.20         | 249.7        | 23.20     |
| <b>TOTAL EXEMPT FROM G.F.A.</b> | <b>1108.2</b>      | <b>102.95</b> |              |           |

**G.F.A.**

| TOTAL G.F.A.        | PERMITTED/REQUIRED                 |               | PROPOSED      |               |
|---------------------|------------------------------------|---------------|---------------|---------------|
|                     | AREA (SQ FT)                       | AREA (M2)     | AREA (SQ FT)  | AREA (M2)     |
| <b>TOTAL G.F.A.</b> | <b>SITE AREA x 90% (1713sq ft)</b> | <b>158.86</b> | <b>1707.6</b> | <b>158.64</b> |

**SITE COVERAGE - HOUSE**

| AREA OF HOUSE                        | PERMITTED/REQUIRED |              | PROPOSED     |              |
|--------------------------------------|--------------------|--------------|--------------|--------------|
|                                      | AREA (SQ FT)       | AREA (M2)    | AREA (SQ FT) | AREA (M2)    |
| <b>AREA OF HOUSE</b>                 | <b>1028</b>        | <b>95.32</b> | <b>858.5</b> | <b>79.75</b> |
| <b>TOTAL SITE COVERAGE (MAX 25%)</b> |                    |              | <b>858.5</b> | <b>79.75</b> |

**SITE COVERAGE - COMBINED**

| AREA OF HOUSE                        | PERMITTED/REQUIRED |               | PROPOSED     |              |
|--------------------------------------|--------------------|---------------|--------------|--------------|
|                                      | AREA (SQ FT)       | AREA (M2)     | AREA (SQ FT) | AREA (M2)    |
| <b>AREA OF HOUSE</b>                 | <b>1028</b>        | <b>95.32</b>  | <b>858.5</b> | <b>79.75</b> |
| <b>AREA OF ACCESSORY</b>             | <b>249.7</b>       | <b>23.20</b>  | <b>249.7</b> | <b>23.20</b> |
| <b>TOTAL SITE COVERAGE (MAX 40%)</b> | <b>1388</b>        | <b>127.09</b> | <b>249.7</b> | <b>23.20</b> |

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REVISIONS

ISSUED FOR: BP

REVIEW SET: 2024-07-31 10:14:11 AM

PROJECT:  
 LOT A/B  
 652 EAST 4TH ST.  
 NORTH VANCOUVER

DRAWING TITLE:  
 SITE PLAN

SHEET:  
 PROJECT:  
 DRAWN BY: JP

24X36 SCALE: 1/8" = 1'-0"

PROJECT NUMBER: Project Number

START DATE: 05.03.23

**A100**

REVISIONS

ISSUED FOR: BP

REVIEW SET: 2024-07-31 10:14:11 AM

PROJECT:  
 LOT A/B  
 652 EAST 4TH ST.  
 NORTH VANCOUVER

DRAWING TITLE:  
 SITE PLAN

SHEET:  
 PROJECT:  
 DRAWN BY: JP

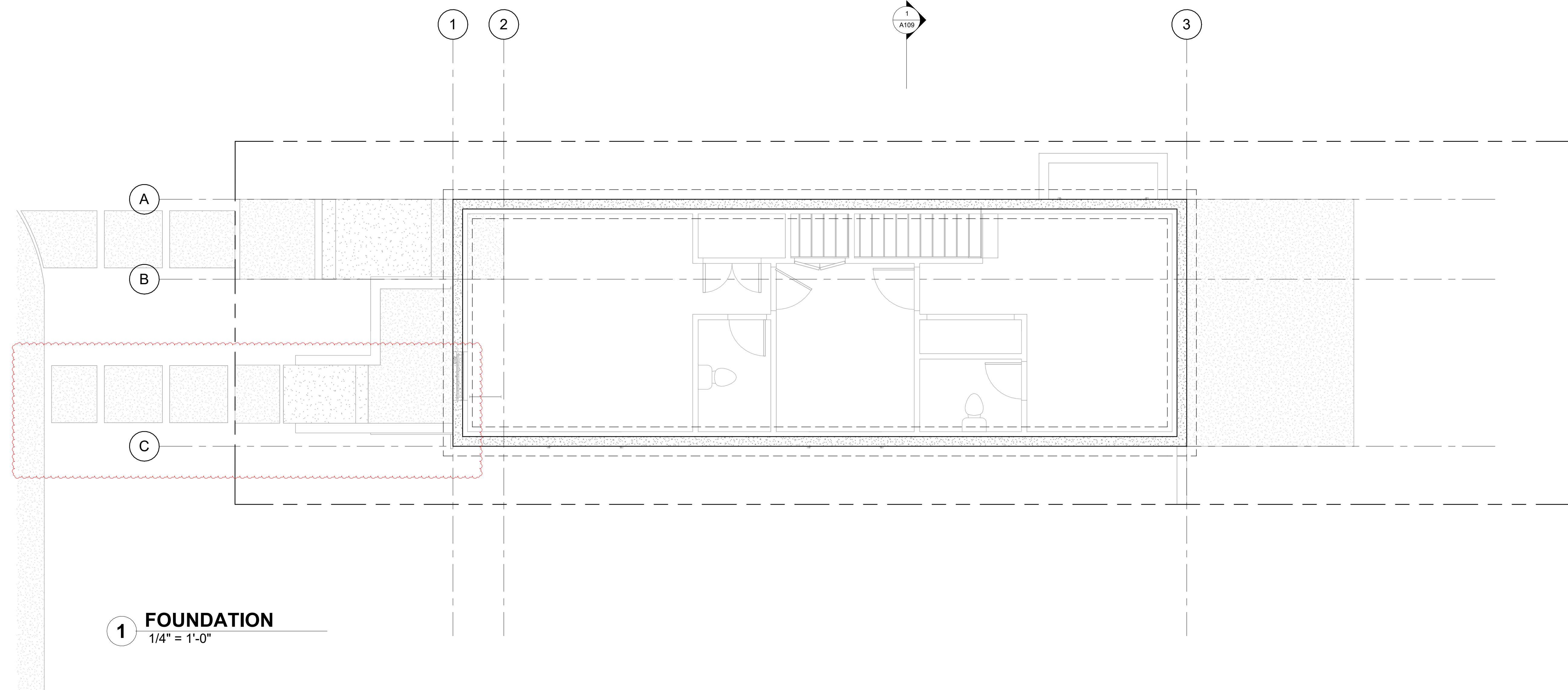
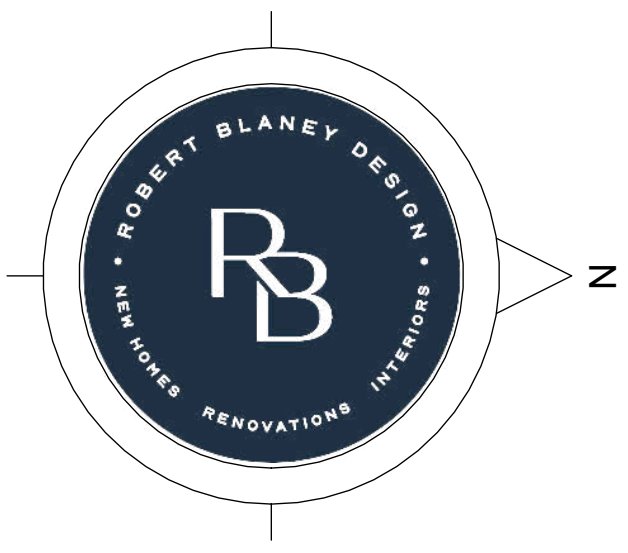
24X36 SCALE: 1/8" = 1'-0"

PROJECT NUMBER: Project Number

START DATE: 05.03.23

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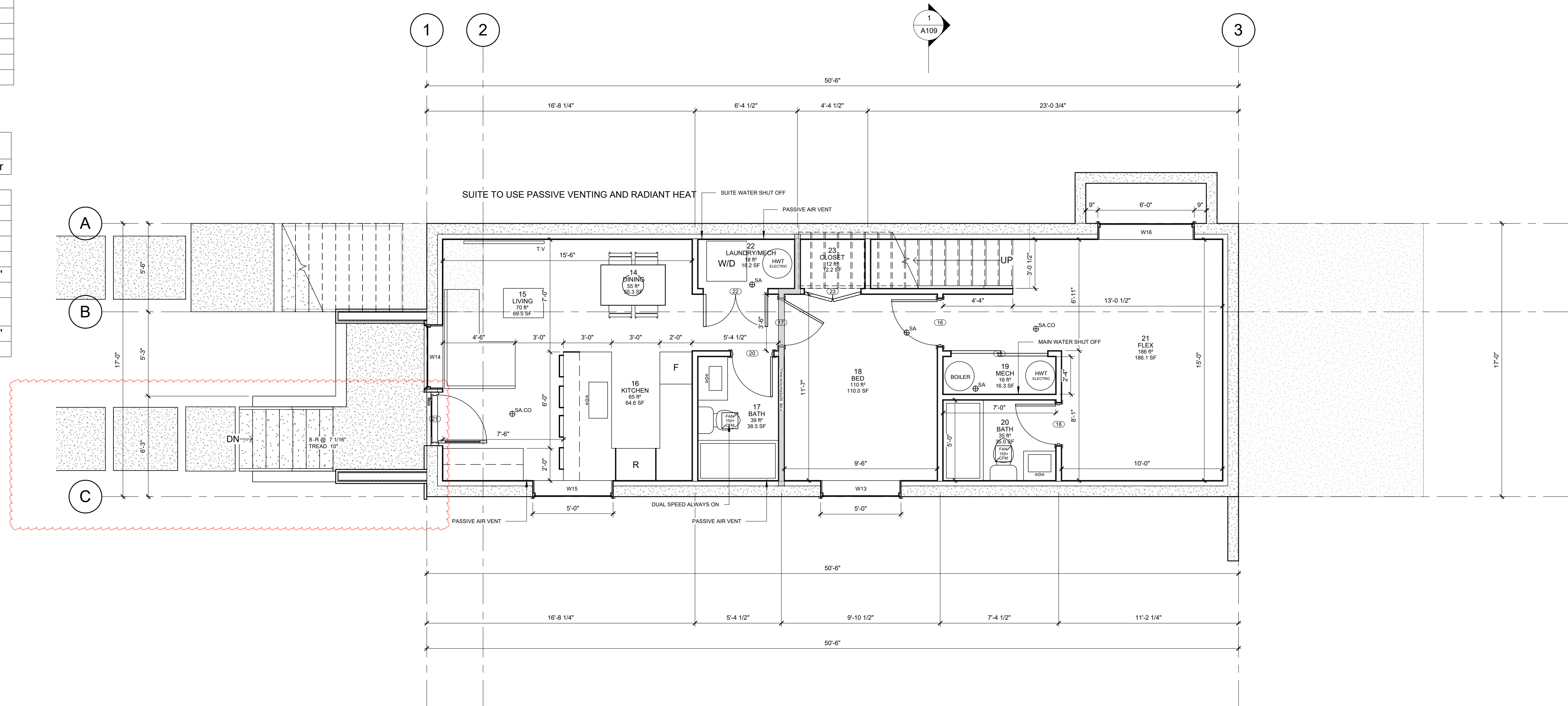
**1 FOUNDATION**  
1/4" = 1'-0"



| Window Schedule BASEMENT |      |         |         |             |
|--------------------------|------|---------|---------|-------------|
| Level                    | Mark | Width   | Height  | Sill Height |
| BASEMENT                 | W13  | 5' - 0" | 4' - 0" | 5' - 0"     |
| BASEMENT                 | W14  | 4' - 0" | 4' - 0" | 4' - 0"     |
| BASEMENT                 | W15  | 5' - 0" | 4' - 0" | 5' - 0"     |
| BASEMENT                 | W16  | 6' - 0" | 4' - 0" | 5' - 0"     |

| Door Schedule BASEMENT |      |          |         |
|------------------------|------|----------|---------|
| Level                  | Mark | Width    | Height  |
| BASEMENT               | 16   | 2' - 10" | 8' - 0" |
| BASEMENT               | 17   | 2' - 10" | 8' - 0" |
| BASEMENT               | 18   | 2' - 6"  | 8' - 0" |
| BASEMENT               | 19   | 6' - 0"  | 8' - 0" |
| BASEMENT               | 20   | 2' - 6"  | 8' - 0" |
| BASEMENT               | 21   | 3' - 0"  | 8' - 0" |
| BASEMENT               | 22   | 4' - 0"  | 8' - 0" |
| BASEMENT               | 23   | 3' - 6"  | 6' - 8" |

| Room Schedule BASEMENT |              |                     |              |
|------------------------|--------------|---------------------|--------------|
| Level                  | Name         | Area                | Perimeter    |
| BASEMENT               | BATH         | 39 ft <sup>2</sup>  | 25' - 5"     |
| BASEMENT               | BATH         | 35 ft <sup>2</sup>  | 24' - 0"     |
| BASEMENT               | BED          | 110 ft <sup>2</sup> | 42' - 2"     |
| BASEMENT               | CLOSET       | 12 ft <sup>2</sup>  | 14' - 1"     |
| BASEMENT               | DINING       | 55 ft <sup>2</sup>  | 29' - 10"    |
| BASEMENT               | FLEX         | 186 ft <sup>2</sup> | 64' - 8 3/4" |
| BASEMENT               | KITCHEN      | 65 ft <sup>2</sup>  | 32' - 2"     |
| BASEMENT               | LAUNDRY/MECH | 18 ft <sup>2</sup>  | 18' - 1"     |
| BASEMENT               | LIVING       | 70 ft <sup>2</sup>  | 33' - 6 1/2" |
| BASEMENT               | MECH         | 16 ft <sup>2</sup>  | 18' - 8"     |



**1 BASEMENT**  
1/4" = 1'-0"



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REVISIONS  
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REVIEW SET: 2024-07-31 10:14:13 AM

PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
BASEMENT FLOOR PLAN

SHEET:  
**A102**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23  
PROJECT NUMBER: Project Number

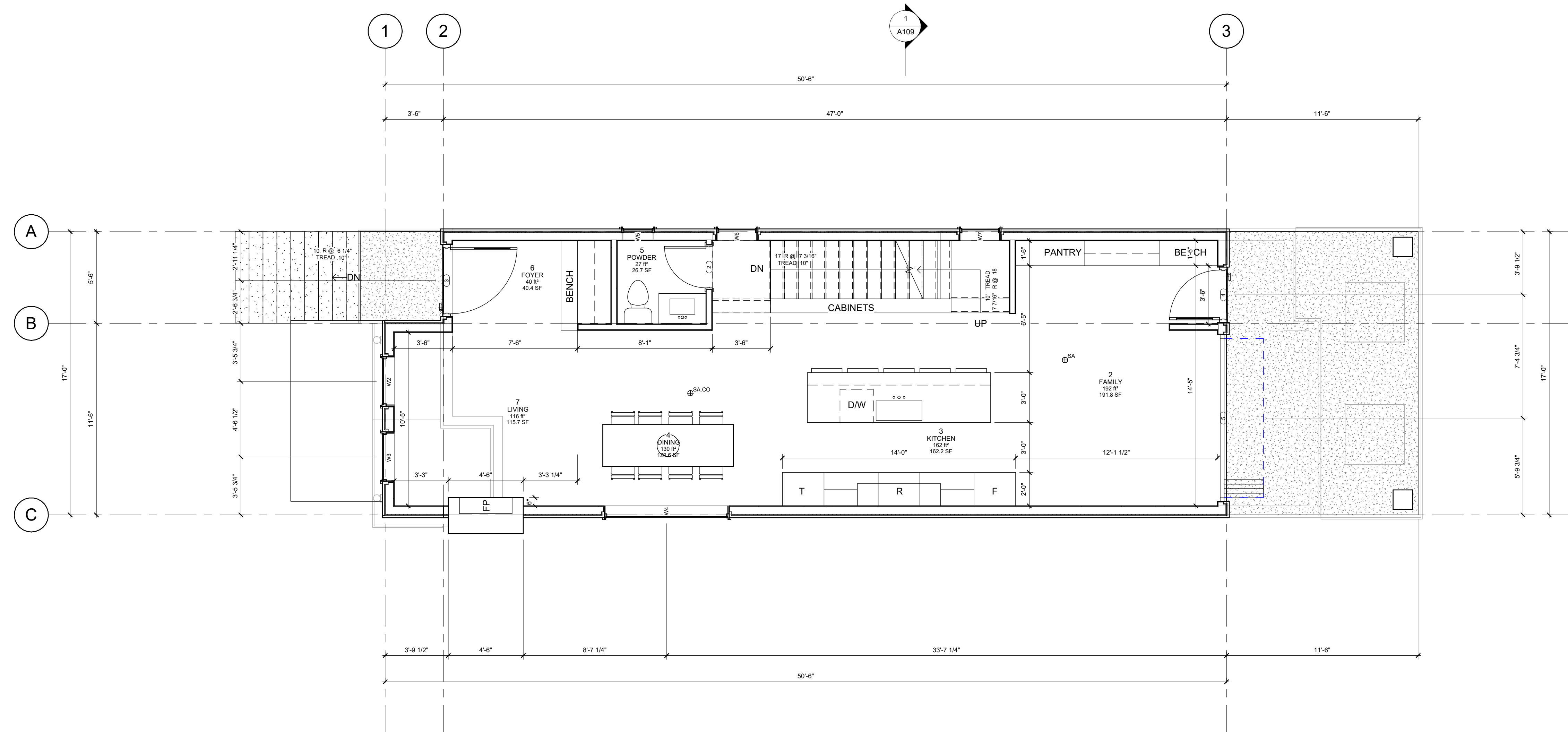
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| Window Schedule MAIN FLOOR |      |         |         |             |
|----------------------------|------|---------|---------|-------------|
| Level                      | Mark | Width   | Height  | Sill Height |
| MAIN FLOOR                 | S1   | 4' - 0" | 4' - 0" |             |
| MAIN FLOOR                 | S2   | 4' - 0" | 4' - 0" |             |
| MAIN FLOOR                 | W2   | 3' - 0" | 7' - 0" | 3' - 0"     |
| MAIN FLOOR                 | W3   | 3' - 0" | 7' - 0" | 3' - 0"     |
| MAIN FLOOR                 | W4   | 7' - 6" | 7' - 6" | 0' - 6"     |
| MAIN FLOOR                 | W5   | 2' - 0" | 4' - 0" | 4' - 0"     |
| MAIN FLOOR                 | W6   | 2' - 6" | 6' - 0" | 2' - 0"     |
| MAIN FLOOR                 | W7   | 2' - 6" | 6' - 0" | 2' - 0"     |

| Door Schedule MAIN FLOOR |      |          |         |
|--------------------------|------|----------|---------|
| Level                    | Mark | Width    | Height  |
| MAIN FLOOR               | 2    | 2' - 6"  | 8' - 0" |
| MAIN FLOOR               | 3    | 4' - 0"  | 8' - 0" |
| MAIN FLOOR               | 4    | 3' - 0"  | 8' - 0" |
| MAIN FLOOR               | 5    | 10' - 0" | 8' - 0" |

| Room Schedule MAIN FLOOR |         |                     |               |
|--------------------------|---------|---------------------|---------------|
| Level                    | Name    | Area                | Perimeter     |
| MAIN FLOOR               | FAMILY  | 192 ft <sup>2</sup> | 61' - 10 1/4" |
| MAIN FLOOR               | KITCHEN | 162 ft <sup>2</sup> | 50' - 3 1/4"  |
| MAIN FLOOR               | DINING  | 130 ft <sup>2</sup> | 45' - 8"      |
| MAIN FLOOR               | POWDER  | 27 ft <sup>2</sup>  | 20' - 8"      |
| MAIN FLOOR               | FOYER   | 40 ft <sup>2</sup>  | 25' - 9 1/4"  |
| MAIN FLOOR               | LIVING  | 116 ft <sup>2</sup> | 43' - 1 1/4"  |



**1 MAIN FLOOR**  
1/4" = 1'-0"



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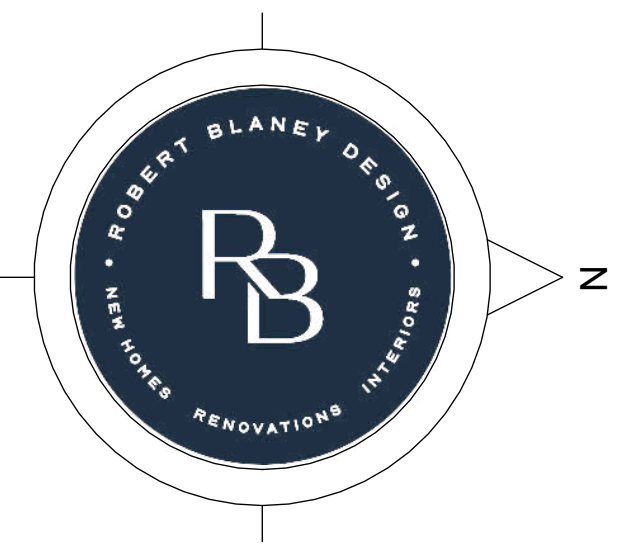
PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
MAIN FLOOR PLAN

SHEET:  
**A103**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23  
PROJECT NUMBER: Project Number

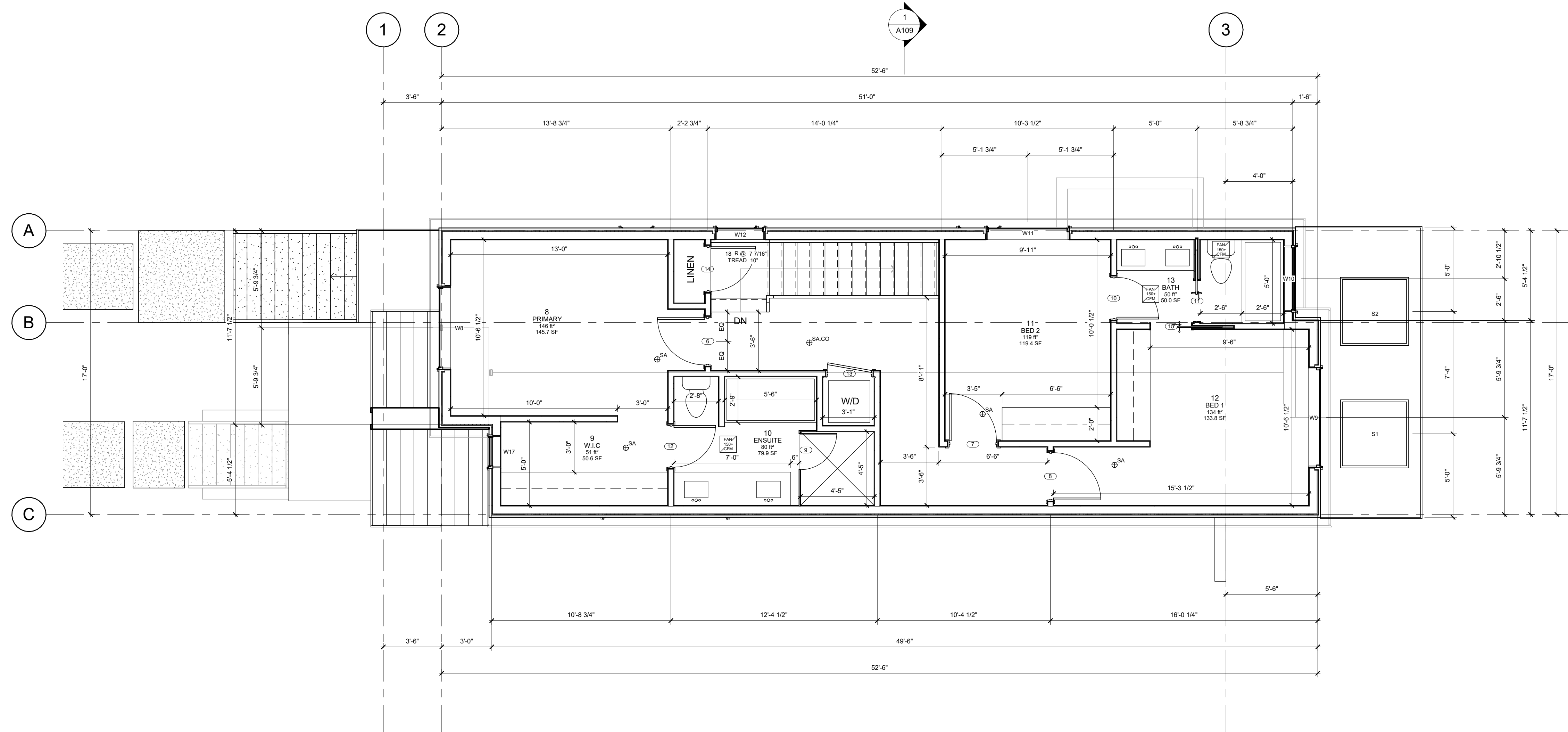
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| Window Schedule 2ND FLOOR |      |         |         |             |
|---------------------------|------|---------|---------|-------------|
| Level                     | Mark | Width   | Height  | Sill Height |
| 2ND FLOOR                 | W8   | 5' - 0" | 7' - 0" | 3' - 0"     |
| 2ND FLOOR                 | W9   | 6' - 0" | 6' - 0" | 2' - 0"     |
| 2ND FLOOR                 | W10  | 4' - 0" | 4' - 0" | 4' - 0"     |
| 2ND FLOOR                 | W11  | 5' - 0" | 5' - 0" | 3' - 0"     |
| 2ND FLOOR                 | W12  | 3' - 0" | 5' - 0" | 3' - 0"     |
| 2ND FLOOR                 | W17  | 2' - 0" | 4' - 0" | 4' - 0"     |

| Door Schedule 2ND FLOOR |      |          |         |
|-------------------------|------|----------|---------|
| Level                   | Mark | Width    | Height  |
| 2ND FLOOR               | 6    | 2' - 10" | 6' - 8" |
| 2ND FLOOR               | 7    | 2' - 10" | 6' - 8" |
| 2ND FLOOR               | 8    | 2' - 10" | 6' - 8" |
| 2ND FLOOR               | 9    | 2' - 2"  | 6' - 8" |
| 2ND FLOOR               | 10   | 2' - 6"  | 6' - 8" |
| 2ND FLOOR               | 11   | 2' - 6"  | 6' - 8" |
| 2ND FLOOR               | 12   | 2' - 6"  | 6' - 8" |
| 2ND FLOOR               | 13   | 2' - 8"  | 6' - 8" |
| 2ND FLOOR               | 14   | 2' - 8"  | 6' - 8" |
| 2ND FLOOR               | 15   | 2' - 6"  | 6' - 8" |

| Room Schedule 2ND FLOOR |         |                     |               |
|-------------------------|---------|---------------------|---------------|
| Level                   | Name    | Area                | Perimeter     |
| 2ND FLOOR               | BATH    | 50 ft <sup>2</sup>  | 30' - 0"      |
| 2ND FLOOR               | BED 1   | 134 ft <sup>2</sup> | 55' - 8"      |
| 2ND FLOOR               | BED 2   | 119 ft <sup>2</sup> | 43' - 11"     |
| 2ND FLOOR               | ENSUITE | 80 ft <sup>2</sup>  | 47' - 5"      |
| 2ND FLOOR               | PRIMARY | 146 ft <sup>2</sup> | 51' - 10 3/4" |
| 2ND FLOOR               | W.I.C   | 51 ft <sup>2</sup>  | 30' - 4 1/2"  |



**1 2ND FLOOR**  
1/4" = 1'-0"



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PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

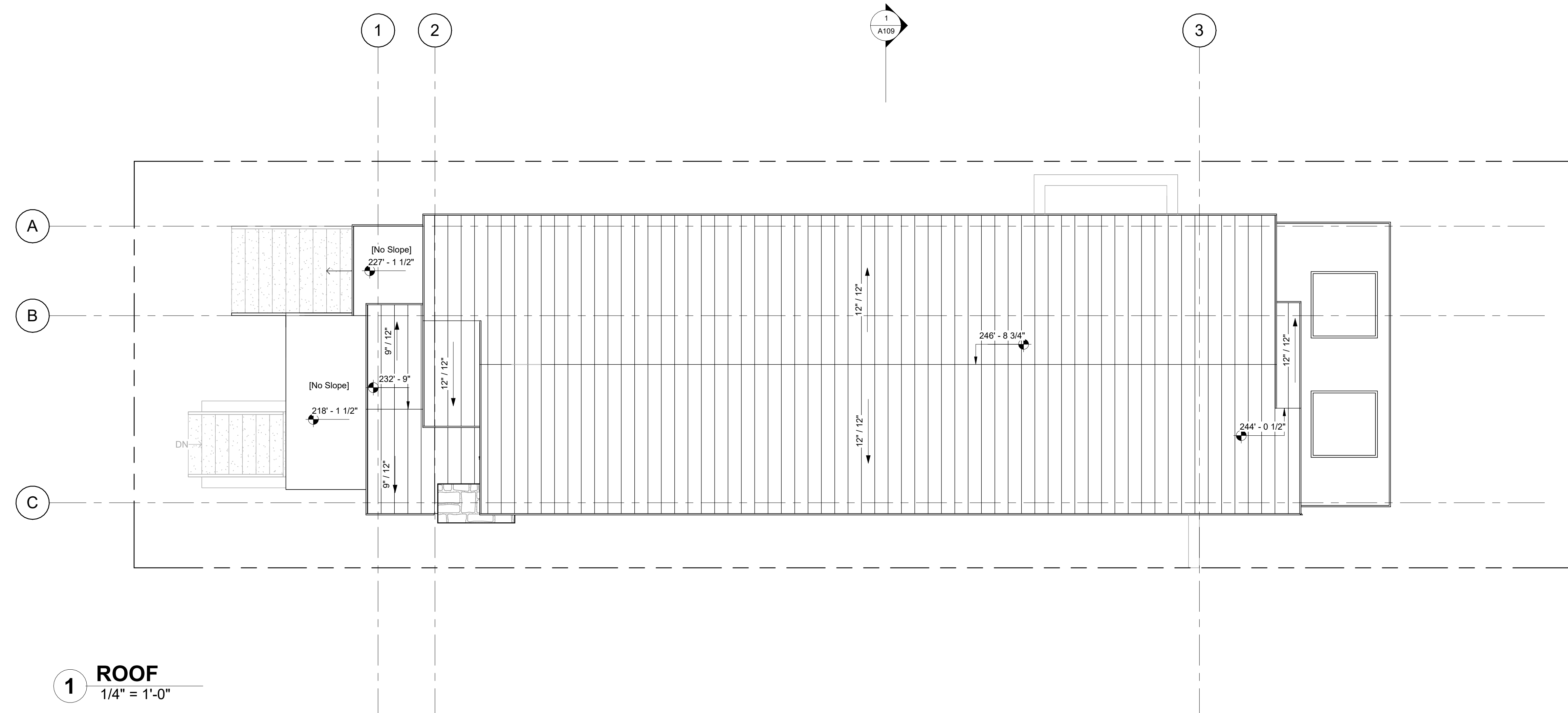
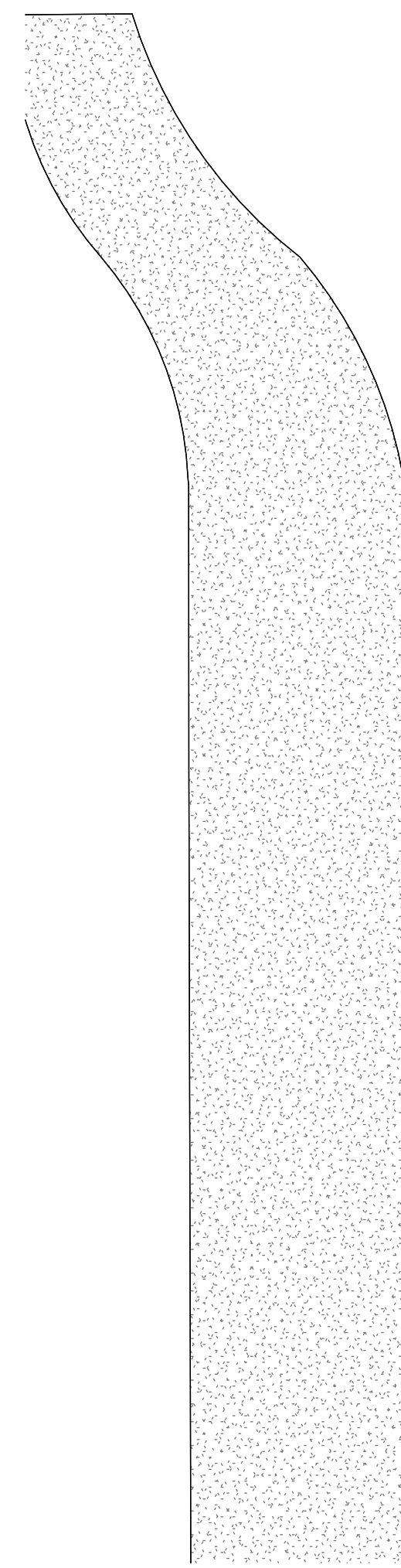
DRAWING TITLE:  
2ND FLOOR PLAN

SHEET:  
**A104**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23

PROJECT NUMBER:  
Project Number

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**1** ROOF  
1/4" = 1'-0"



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PROJECT:  
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DRAWING TITLE:  
ROOF PLAN

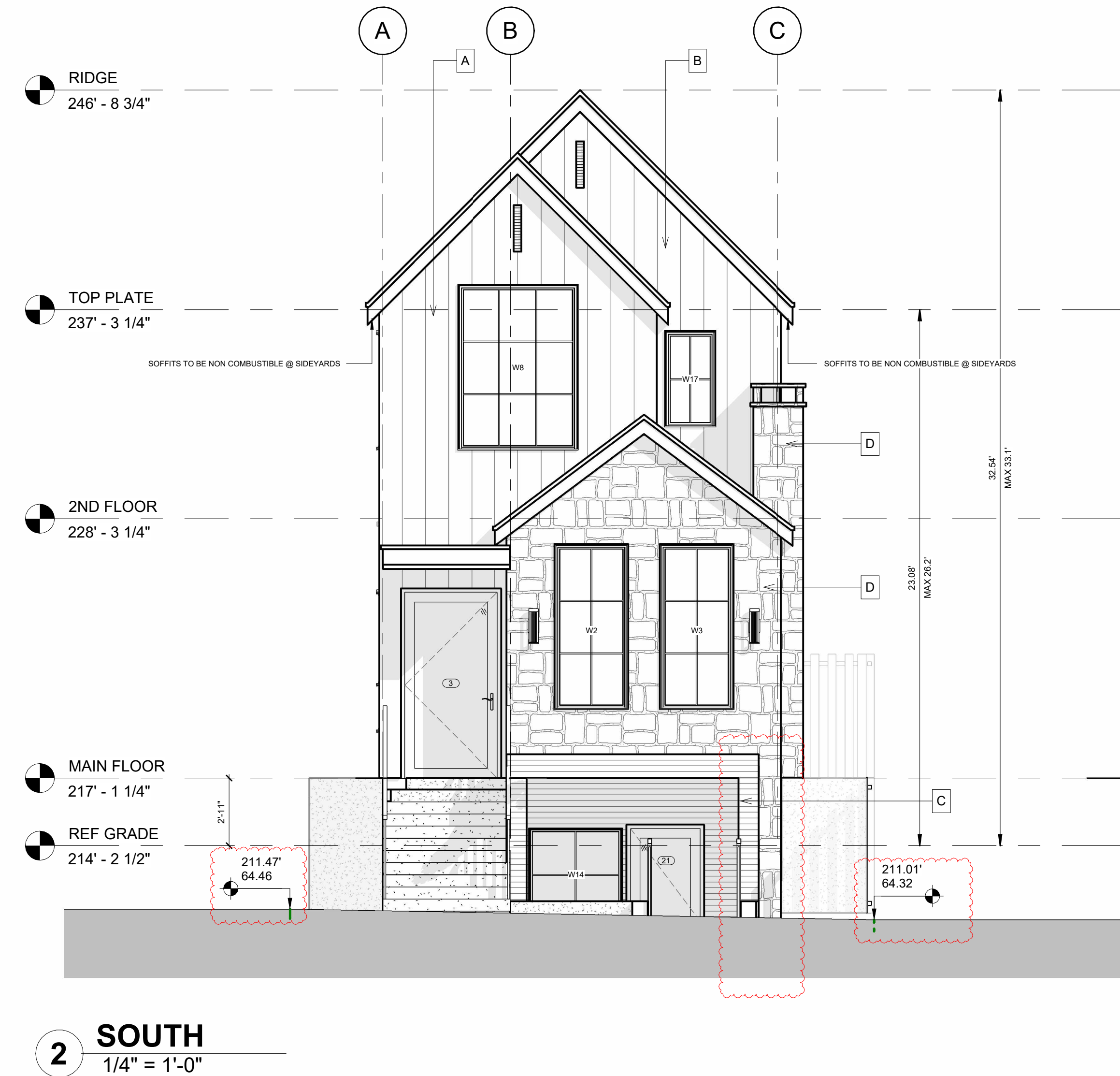
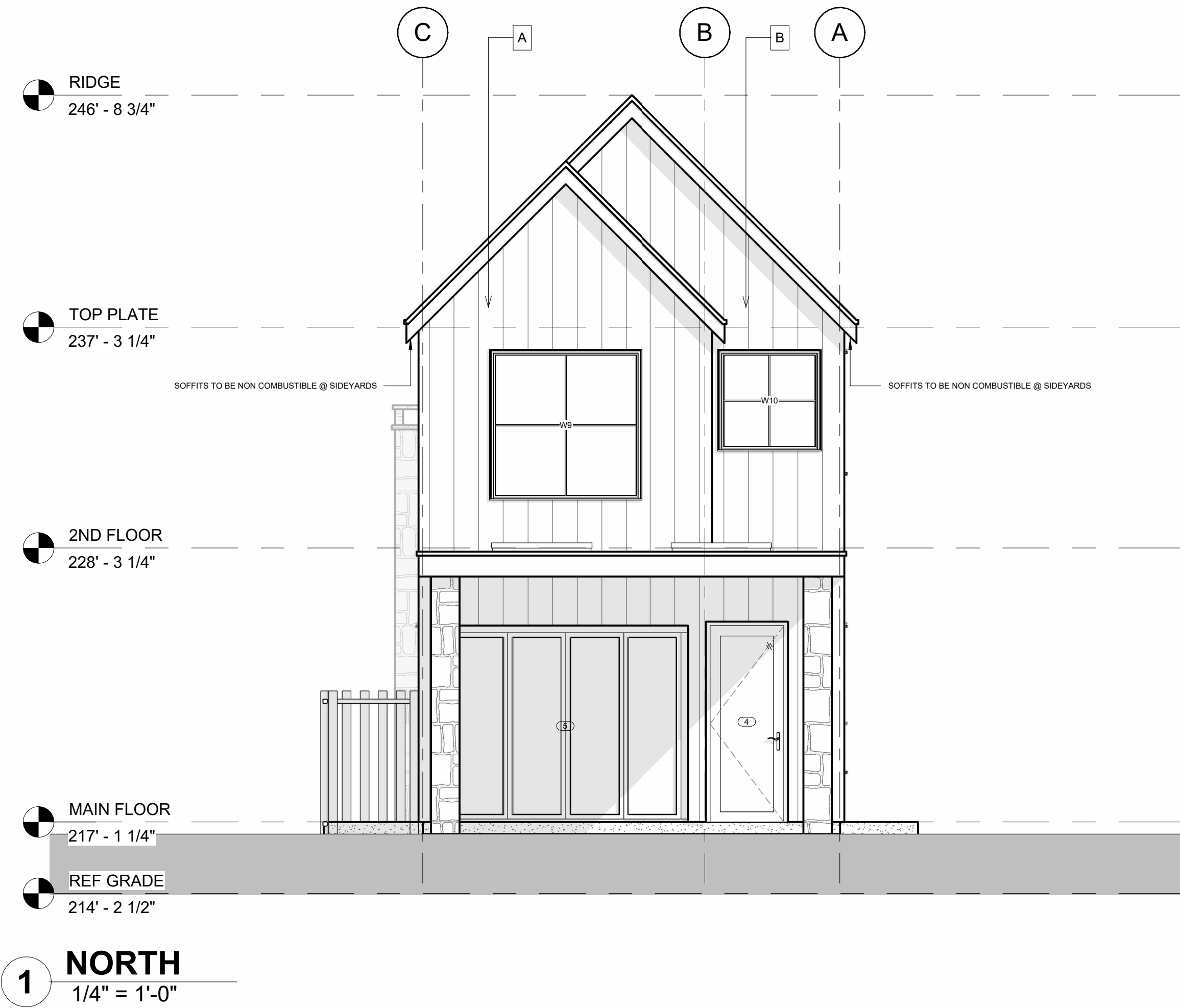
SHEET:  
  
**A105**

DRAWN BY:  
JP

24X36 SCALE:  
1/4" = 1'-0"

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| Window Schedule ALL FLOORS |      |             |         |         |                    |
|----------------------------|------|-------------|---------|---------|--------------------|
| Level                      | Mark | Sill Height | Width   | Height  | Area               |
| MAIN FLOOR                 | S1   |             | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| MAIN FLOOR                 | S2   |             | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| MAIN FLOOR                 | W2   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft <sup>2</sup> |
| MAIN FLOOR                 | W3   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft <sup>2</sup> |
| MAIN FLOOR                 | W4   | 0' - 6"     | 7' - 6" | 7' - 6" | 56 ft <sup>2</sup> |
| MAIN FLOOR                 | W5   | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft <sup>2</sup>  |
| MAIN FLOOR                 | W6   | 2' - 0"     | 2' - 6" | 6' - 0" | 15 ft <sup>2</sup> |
| MAIN FLOOR                 | W7   | 2' - 0"     | 2' - 6" | 6' - 0" | 15 ft <sup>2</sup> |
| 2ND FLOOR                  | W8   | 3' - 0"     | 5' - 0" | 7' - 0" | 35 ft <sup>2</sup> |
| 2ND FLOOR                  | W9   | 2' - 0"     | 6' - 0" | 6' - 0" | 36 ft <sup>2</sup> |
| 2ND FLOOR                  | W10  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| 2ND FLOOR                  | W11  | 3' - 0"     | 5' - 0" | 5' - 0" | 25 ft <sup>2</sup> |
| 2ND FLOOR                  | W12  | 3' - 0"     | 3' - 0" | 5' - 0" | 15 ft <sup>2</sup> |
| BASEMENT                   | W13  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft <sup>2</sup> |
| BASEMENT                   | W14  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| BASEMENT                   | W15  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft <sup>2</sup> |
| BASEMENT                   | W16  | 5' - 0"     | 6' - 0" | 4' - 0" | 24 ft <sup>2</sup> |
| 2ND FLOOR                  | W17  | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft <sup>2</sup>  |

| Door Schedule EXTERIOR |      |         |         |          |  |
|------------------------|------|---------|---------|----------|--|
| Level                  | Mark | Width   | Height  | Function |  |
| MAIN FLOOR             | 3    | 4' - 0" | 8' - 0" | Exterior |  |
| MAIN FLOOR             | 4    | 3' - 0" | 8' - 0" | Exterior |  |
| BASEMENT               | 21   | 3' - 0" | 8' - 0" | Exterior |  |
| GARAGE SLAB            | 25   | 3' - 0" | 6' - 8" | Exterior |  |

| LEGEND                         |   |
|--------------------------------|---|
| BOARD & BATTEN (WHITE)         | A |
| BOARD & BATTEN (BROWN)         | B |
| HORIZONTAL CEDAR (BROWN)       | C |
| STONE (TBD)                    | D |
| STANDING SEAM METAL (CHARCOAL) | E |



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PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
ELEVATIONS - NORTH &  
SOUTH

SHEET:  
  
**A106**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23  
PROJECT NUMBER: Project Number

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| Window Schedule ALL FLOORS |      |             |         |         |        |
|----------------------------|------|-------------|---------|---------|--------|
| Level                      | Mark | Sill Height | Width   | Height  | Area   |
| MAIN FLOOR                 | S1   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | S2   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | W2   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft² |
| MAIN FLOOR                 | W3   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft² |
| MAIN FLOOR                 | W4   | 0' - 6"     | 7' - 6" | 7' - 6" | 56 ft² |
| MAIN FLOOR                 | W5   | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft²  |
| MAIN FLOOR                 | W6   | 2' - 0"     | 2' - 6" | 6' - 0" | 15 ft² |
| MAIN FLOOR                 | W7   | 2' - 0"     | 2' - 6" | 6' - 0" | 15 ft² |
| 2ND FLOOR                  | W8   | 3' - 0"     | 5' - 0" | 7' - 0" | 35 ft² |
| 2ND FLOOR                  | W9   | 2' - 0"     | 6' - 0" | 6' - 0" | 36 ft² |
| 2ND FLOOR                  | W10  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| 2ND FLOOR                  | W11  | 3' - 0"     | 5' - 0" | 5' - 0" | 25 ft² |
| 2ND FLOOR                  | W12  | 3' - 0"     | 3' - 0" | 5' - 0" | 15 ft² |
| BASEMENT                   | W13  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W14  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| BASEMENT                   | W15  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W16  | 5' - 0"     | 6' - 0" | 4' - 0" | 24 ft² |
| 2ND FLOOR                  | W17  | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft²  |

| Door Schedule EXTERIOR |      |         |         |          |
|------------------------|------|---------|---------|----------|
| Level                  | Mark | Width   | Height  | Function |
| MAIN FLOOR             | 3    | 4' - 0" | 8' - 0" | Exterior |
| MAIN FLOOR             | 4    | 3' - 0" | 8' - 0" | Exterior |
| BASEMENT               | 21   | 3' - 0" | 8' - 0" | Exterior |
| GARAGE SLAB            | 25   | 3' - 0" | 6' - 8" | Exterior |



**1 WEST**  
1/4" = 1'-0"

| LEGEND                         |   |
|--------------------------------|---|
| BOARD & BATTEN (WHITE)         | A |
| BOARD & BATTEN (BROWN)         | B |
| HORIZONTAL CEDAR (BROWN)       | C |
| STONE (TBD)                    | D |
| STANDING SEAM METAL (CHARCOAL) | E |



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LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER  
  
DRAWING TITLE:  
ELEVATIONS - WEST

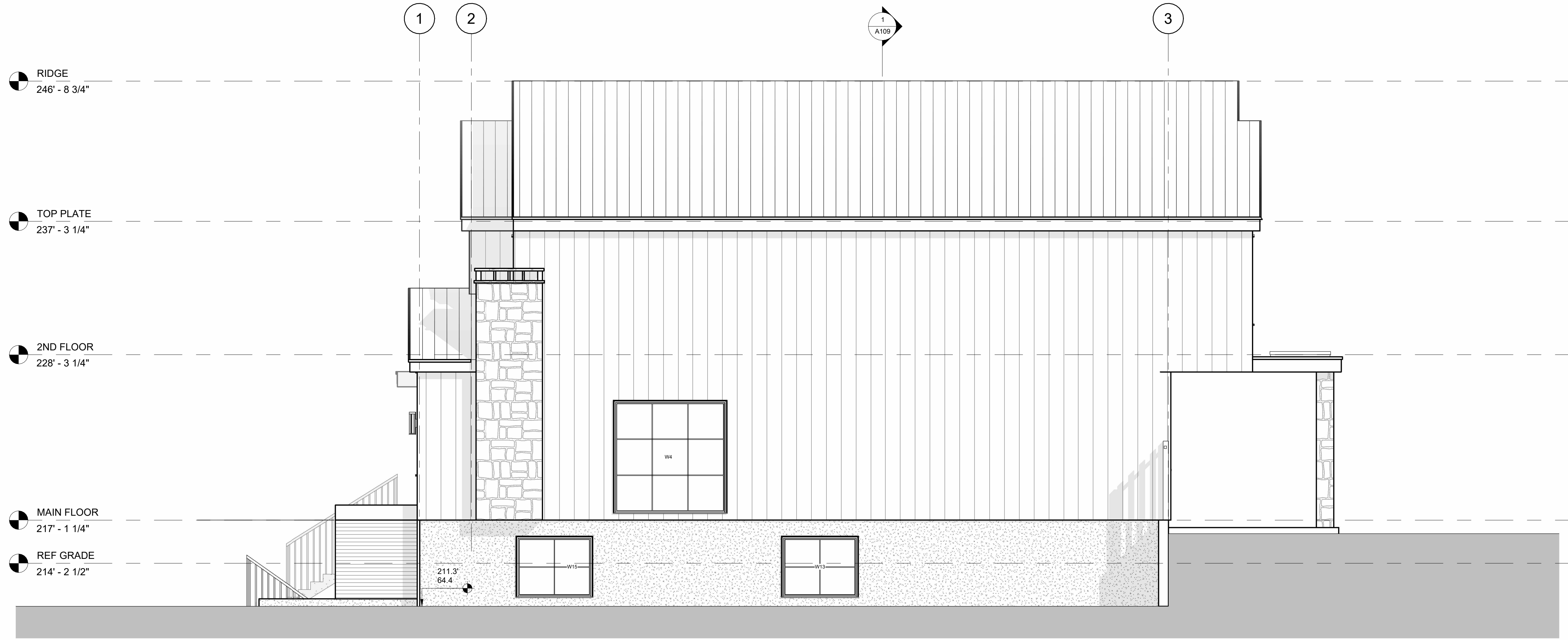
SHEET:  
**A107**

DRAWN BY: JP  
  
24X36 SCALE: 1/4" = 1'-0"  
  
START DATE: 05.03.23  
  
PROJECT NUMBER: Project Number

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| Window Schedule ALL FLOORS |      |             |         |         |        |
|----------------------------|------|-------------|---------|---------|--------|
| Level                      | Mark | Sill Height | Width   | Height  | Area   |
| MAIN FLOOR                 | S1   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | S2   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | W2   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft² |
| MAIN FLOOR                 | W3   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft² |
| MAIN FLOOR                 | W4   | 0' - 6"     | 7' - 6" | 7' - 6" | 56 ft² |
| MAIN FLOOR                 | W5   | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft²  |
| MAIN FLOOR                 | W6   | 2' - 0"     | 2' - 6" | 6' - 0" | 15 ft² |
| MAIN FLOOR                 | W7   | 2' - 0"     | 2' - 6" | 6' - 0" | 15 ft² |
| 2ND FLOOR                  | W8   | 3' - 0"     | 5' - 0" | 7' - 0" | 35 ft² |
| 2ND FLOOR                  | W9   | 2' - 0"     | 6' - 0" | 6' - 0" | 36 ft² |
| 2ND FLOOR                  | W10  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| 2ND FLOOR                  | W11  | 3' - 0"     | 5' - 0" | 5' - 0" | 25 ft² |
| 2ND FLOOR                  | W12  | 3' - 0"     | 3' - 0" | 5' - 0" | 15 ft² |
| BASEMENT                   | W13  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W14  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| BASEMENT                   | W15  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W16  | 5' - 0"     | 6' - 0" | 4' - 0" | 24 ft² |
| 2ND FLOOR                  | W17  | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft²  |

| Door Schedule EXTERIOR |      |         |         |          |
|------------------------|------|---------|---------|----------|
| Level                  | Mark | Width   | Height  | Function |
| MAIN FLOOR             | 3    | 4' - 0" | 8' - 0" | Exterior |
| MAIN FLOOR             | 4    | 3' - 0" | 8' - 0" | Exterior |
| BASEMENT               | 21   | 3' - 0" | 8' - 0" | Exterior |
| GARAGE SLAB            | 25   | 3' - 0" | 6' - 8" | Exterior |



**1 EAST**  
1/4" = 1'-0"

| LEGEND                         |   |
|--------------------------------|---|
| BOARD & BATTEN (WHITE)         | A |
| BOARD & BATTEN (BROWN)         | B |
| HORIZONTAL CEDAR (BROWN)       | C |
| STONE (TBD)                    | D |
| STANDING SEAM METAL (CHARCOAL) | E |



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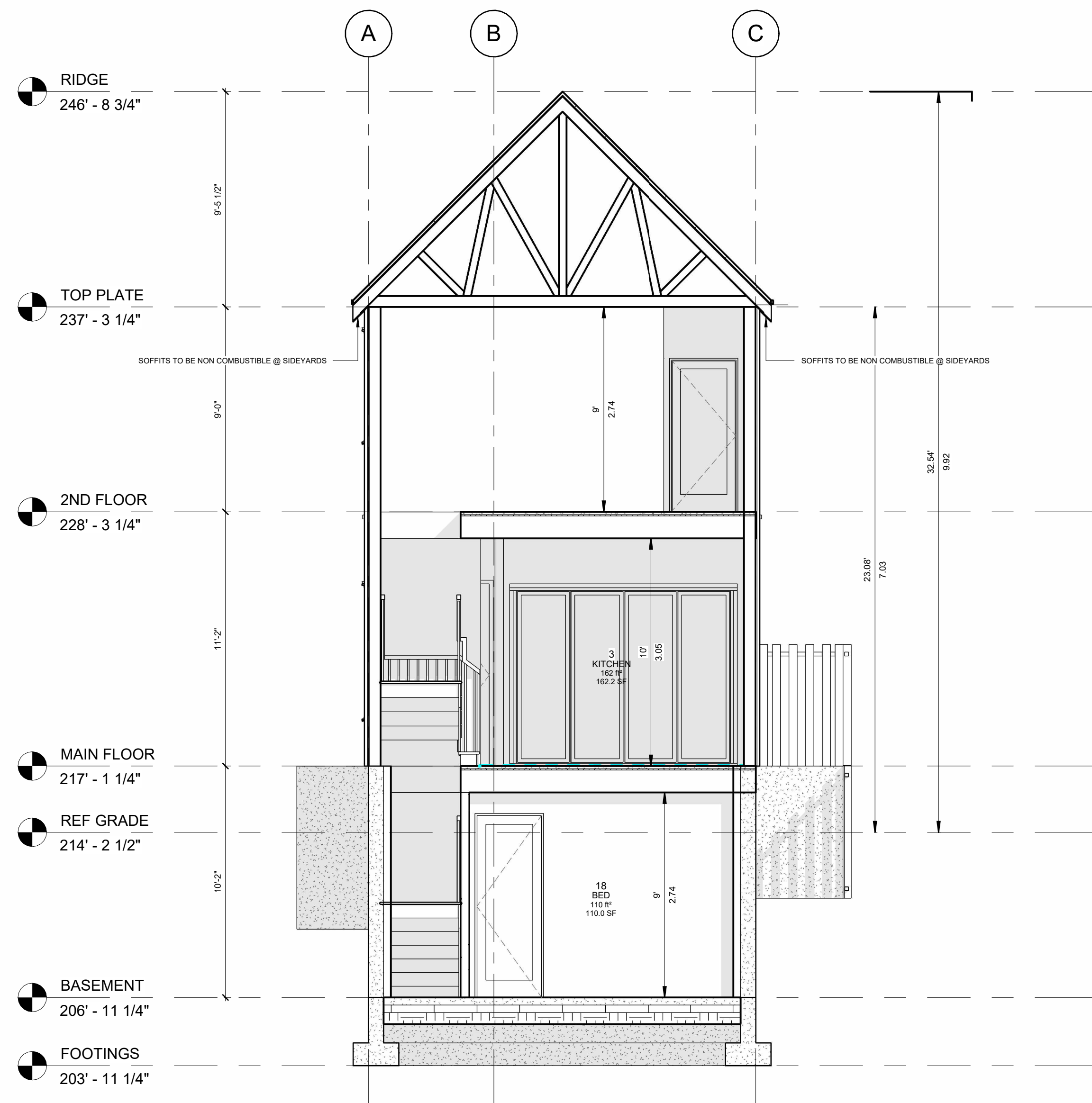
PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

SHEET:  
**A108**

DRAWN BY: JP  
  
24X36 SCALE: 1/4" = 1'-0"  
  
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PROJECT NUMBER: Project Number

DRAWING TITLE:  
**ELEVATIONS - EAST**

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**1 Section 1**  
1/4" = 1'-0"

**W1 EXTERIOR WALL (ABOVE GRADE)**

CLADDING  
1/2" PURLINS OR RAIN-SCREEN SYSTEM  
TYVEK SEALED & TAPED  
1/2" PLYWOOD SHEATHING  
2X6" STUDS @ 16" O.C  
BATT INSULATION (R24)  
6MIL POLY V.B  
1/2" G.W.B PAINTED  
AIR FILM (INTERIOR)

**W2 FURRED FOUNDATION WALL**

DRAINAGE MAT W/ FILTER FABRIC  
2 COATS OF BITUMINOUS SEALANT  
8" FOUNDATION WALL  
2X4" STUDS @ 16" O.C  
BATT INSULATION (R28)  
6MIL POLY V.B.  
1/2" G.W.B  
AIR FILM (INTERIOR)

**W3 FOUNDATION WALL**

DRAINAGE MAT W/ FILTER FABRIC  
2 COATS OF BITUMINOUS SEALANT  
8" CONCRETE WALL

**W4 INTERIOR WALL - 2x6"**

1/2" G.W.B BOTH SIDES  
2X6" STUDS @ 16" O.C

**W5 INTERIOR SEPERATION WALL - RATED**

45 MIN. F.R.R./S.T.C. 50 REQUIRED  
45 MIN. F.R.R./S.T.C. 50 PROVIDED

1 LAYER 1/2" TYPE 'X' G.W.B.  
TWO ROWS 38 MM x 89 MM STUDS EACH SPACED 400 MM OR  
600 MM O.C. STAGGERED ON COMMON 38 MM x 140 MM PLATE  
89 MM THICK ABSORPTIVE MATERIAL ON ONE SIDE  
2 LAYERS 1/2" TYPE 'X' G.W.B.

REFER TO  
B.C.B.C. 2018 / DIV-B / APPENDIX-A  
TABLE A-9.10.3.1.A  
TYPE W8B

**F1 FLOOR OVER CONDITIONED SPACE**

FLOOR FINISH  
1-1/2" CONCRETE TOPPING  
3/4" T&G FLOOR SHEATHING GLUED & SCREWED  
11-7/8" TJI JOISTS @ 12" O.C  
1/2" G.W.B PAINTED

**F2 FLOOR OVER UNCONDITIONED SPACE**

FLOOR FINISH  
1-1/2" CONCRETE TOPPING  
3/4" T&G FLOOR SHEATHING GLUED & SCREWED  
11-7/8" TJI JOISTS @ 16" O.C  
BATT INSUL (R28)

**F3 BASEMENT SLAB**

FLOOR FINISH  
4" REINFORCED CONCRETE SLAB  
6MIL POLY V.B  
RIGID INSULATION UNDER SLAB (R12)  
6" MIN. COMPACTED GRANULAR BASE  
RADON GAS VENTED

**F4 PATIO SLAB/DRIVEWAY ON GRADE**

4" REINFORCED CONCRETE SLAB  
6" MIN. COMPACTED GRANULAR BASE

**F5 MAIN FLOOR OVER SUITE - RATED**

60 MIN. F.R.R. REQUIRED/S.T.C. 50 REQUIRED  
60 MIN. F.R.R. PROVIDED/S.T.C. 54 PROVIDED

FLOOR FINISH  
3/4" FIR PLYWOOD FLOOR SHEATHING  
11 7/8" TJI FLOOR JOISTS  
BATT INSULATION (R22)  
RESILIENT METAL CHANNEL SPACED 24" O/C  
5/8" TYPE 'X' G.W.B.

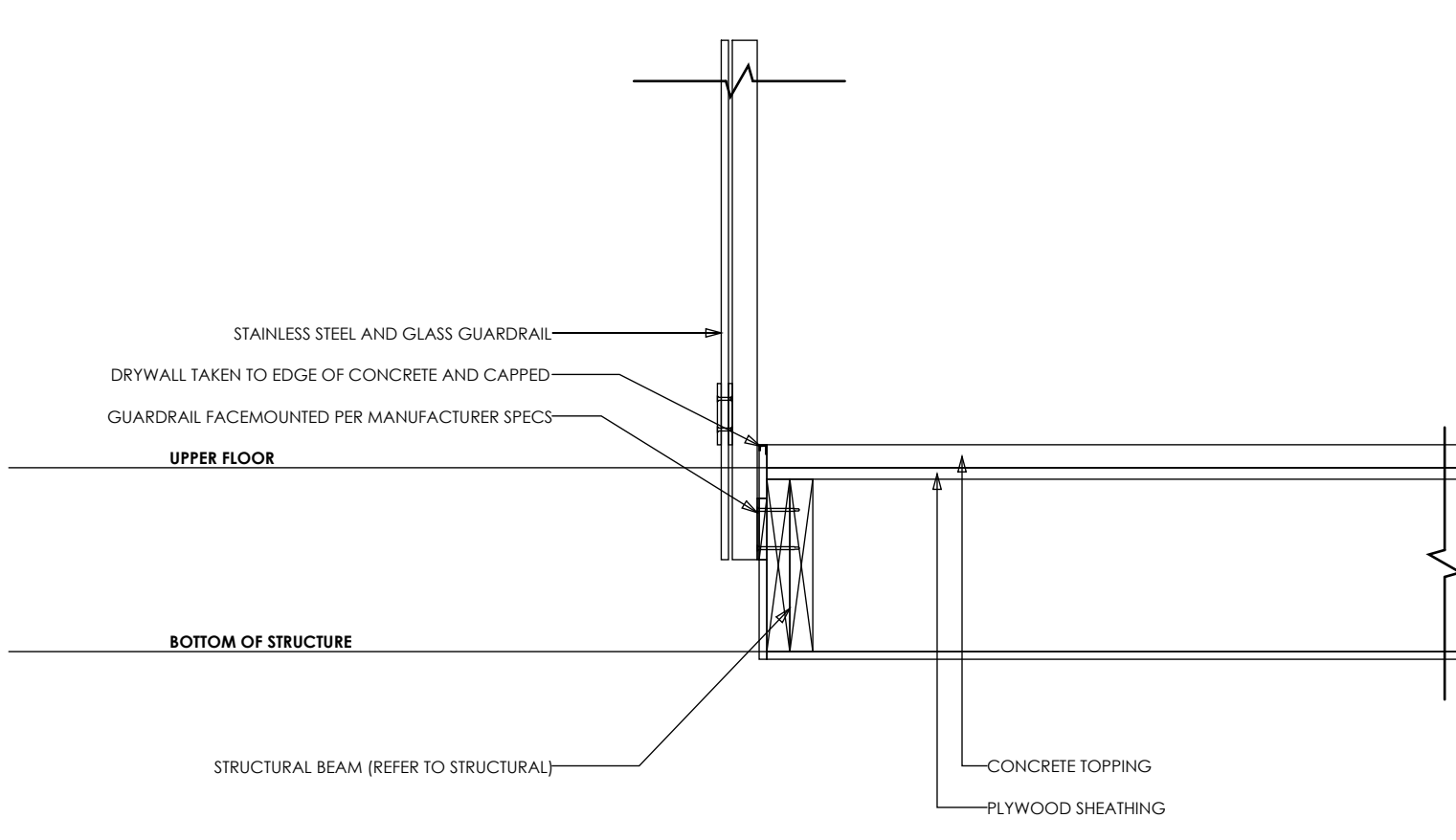
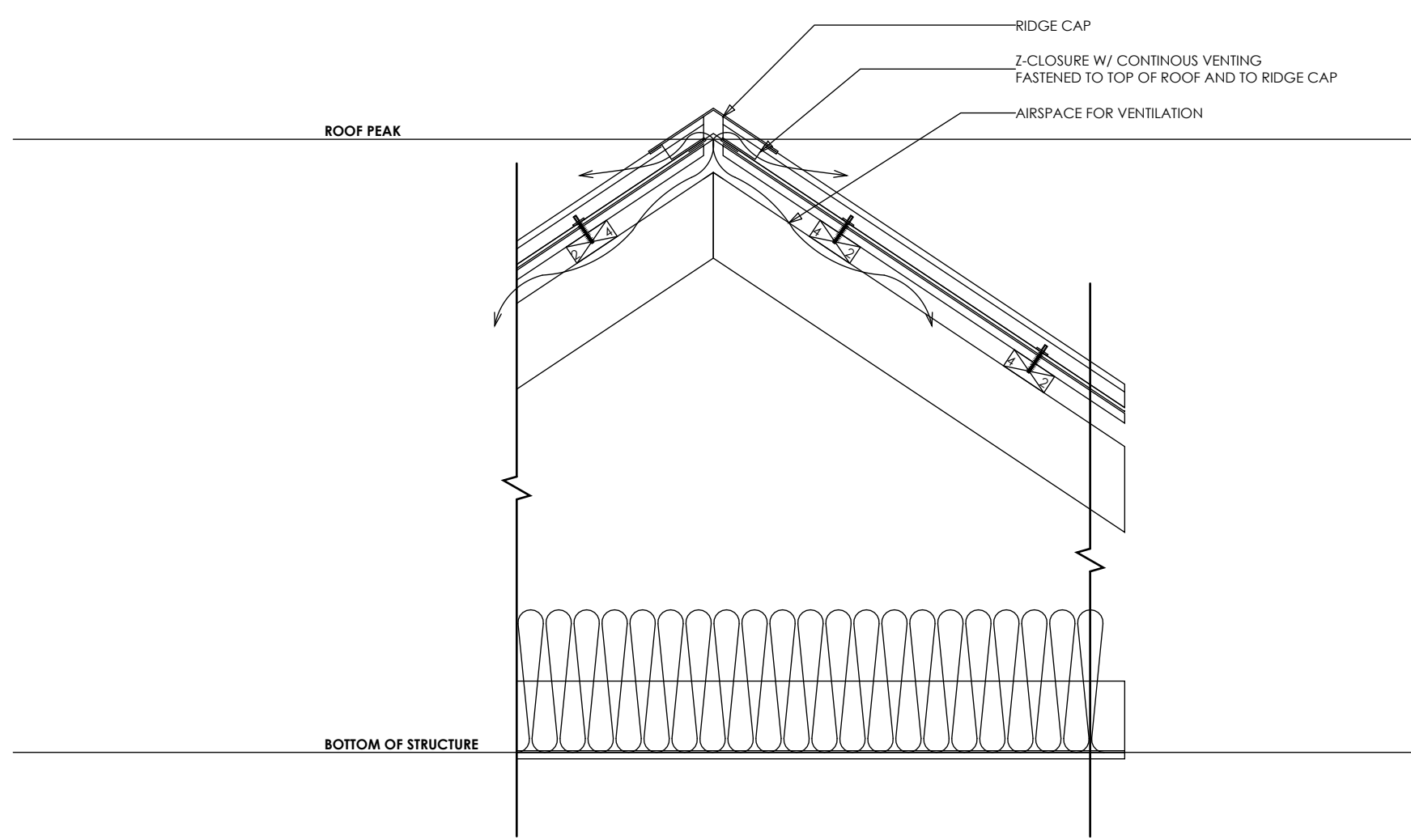
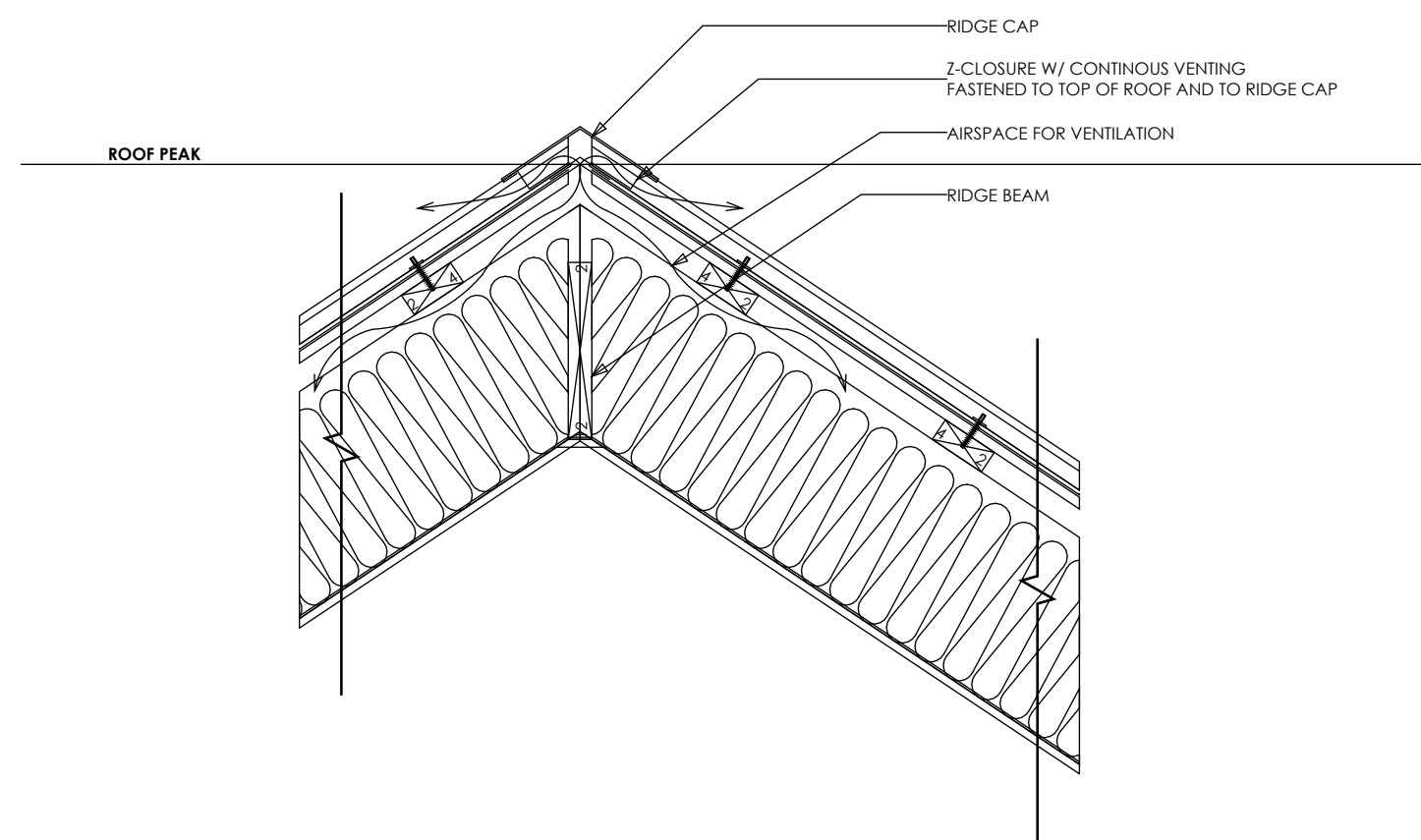
REFER TO  
B.C.B.C. 2018 / DIV-B / APPENDIX-A  
TABLE A-9.10.3.1.B  
TYPE F9D

**R1 TRUSS ROOF**

STANDING SEAM METAL  
UNDERLAYMENT  
3/4" ROOF SHAETHING  
2X4" CROSS STRAPPING @ 24" O.C  
ENGINEERED TRUSSES @ 24" O.C  
BLOWN INSULATION (R50)  
6MIL POLY V.B. TAPED AND SEALED  
1/2" G.W.B PAINTED  
AIR FILM (INTERIOR)

**R2 FLAT ROOF**

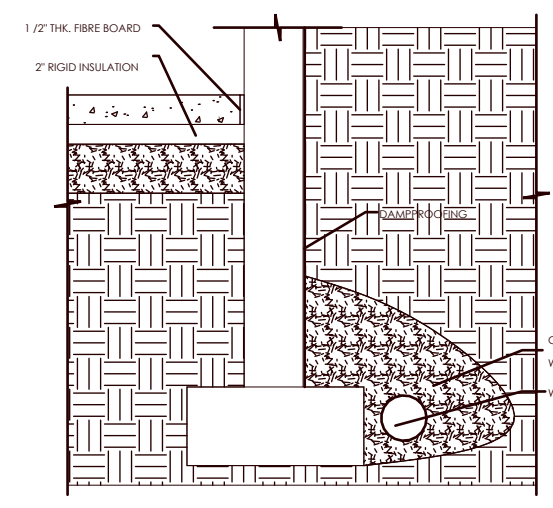
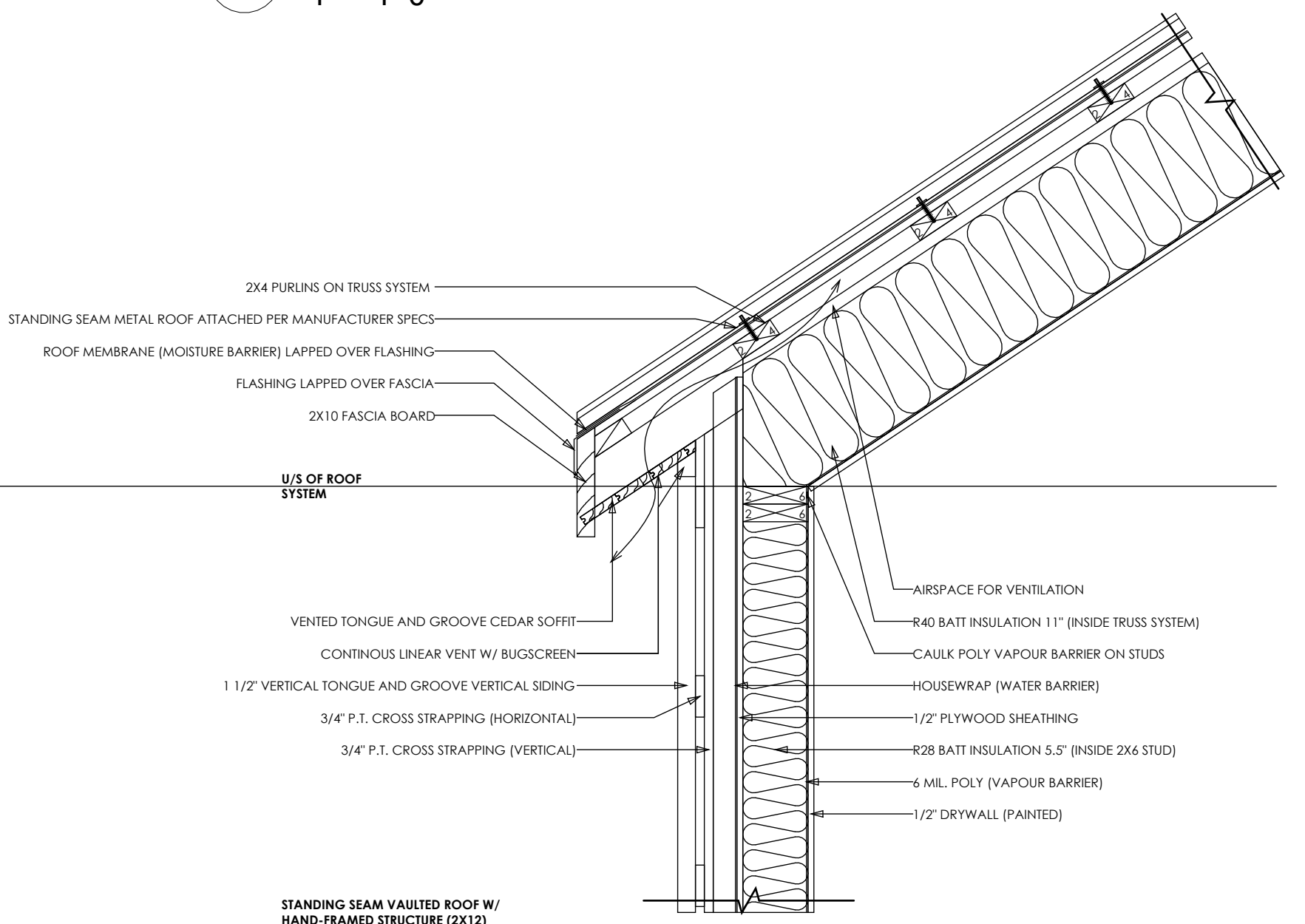
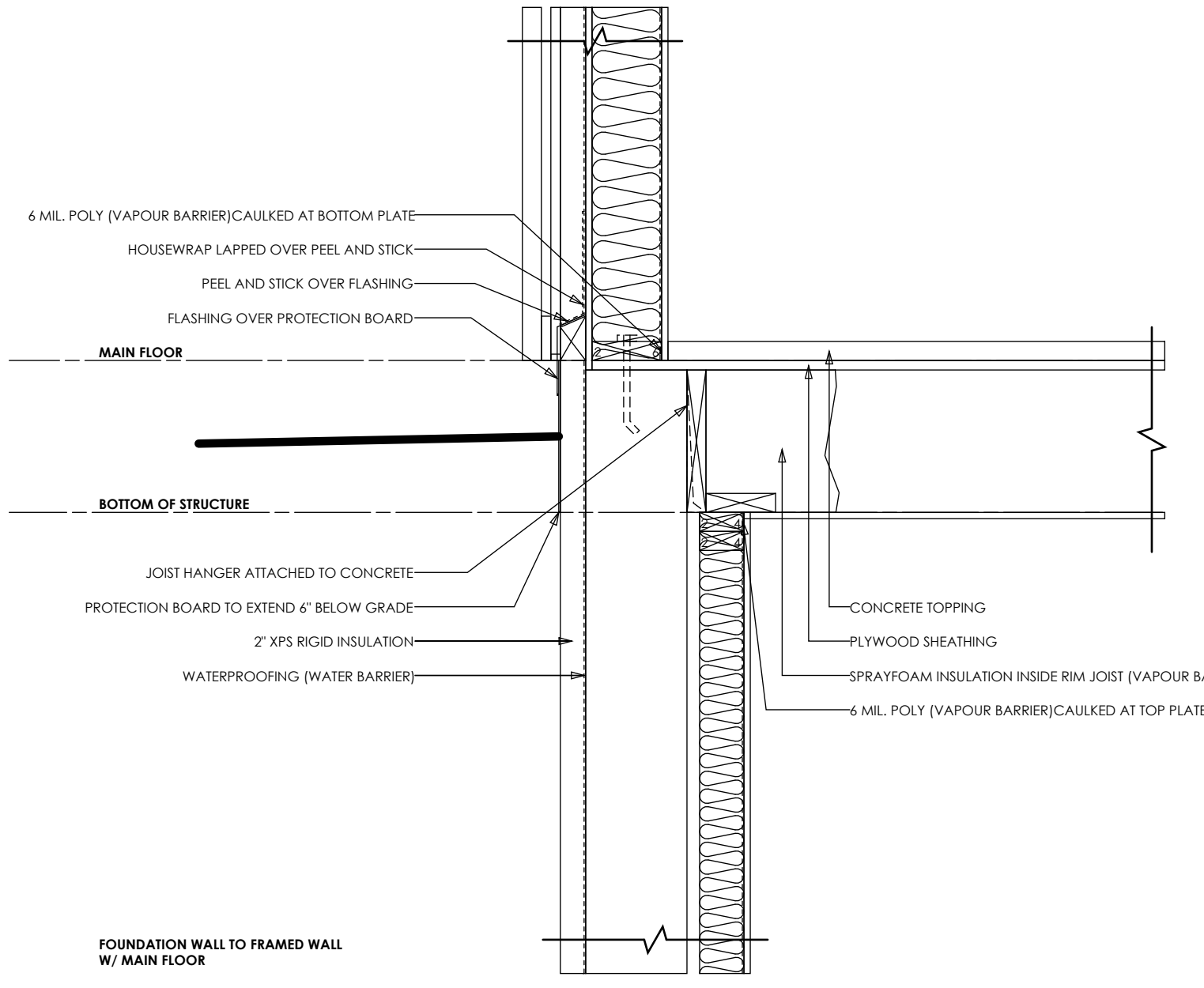
2 LAYERS TORCH ON ROOFING  
3/4" ROOF SHAETHING  
2X4" CROSS STRAPPING @ 16" O.C  
TGI RAFTERS @ 16" O.C  
BATT INSULATION (R28)  
6MIL POLY V.B. TAPED AND SEALED  
1/2" G.W.B PAINTED  
AIR FILM (INTERIOR)



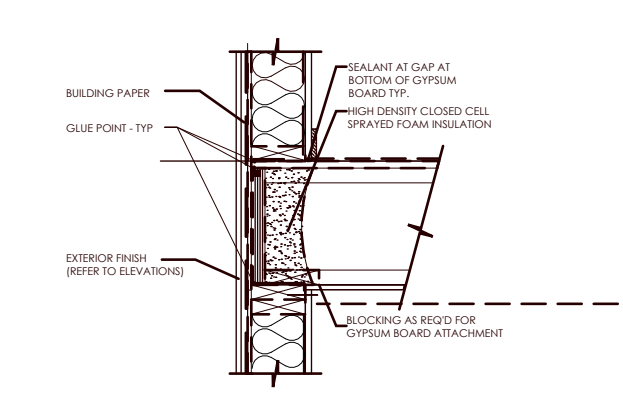
**9 RIDGE VENTING - VAULT**  
1" = 1'-0"

**8 RIDGE VENTING - TRUSS**  
1" = 1'-0"

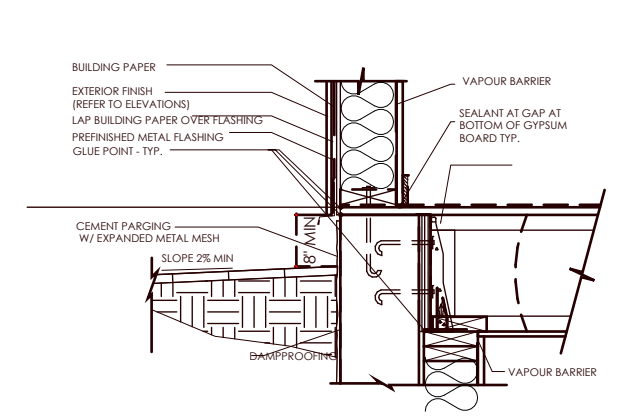
**10 GUARDRAIL**  
1" = 1'-0"



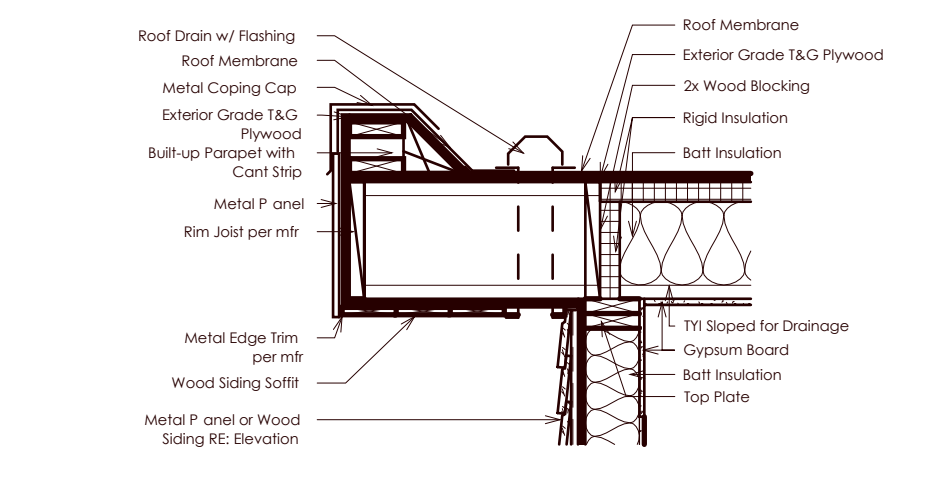
2 FOUNDATION



3 FLOOR JOIST



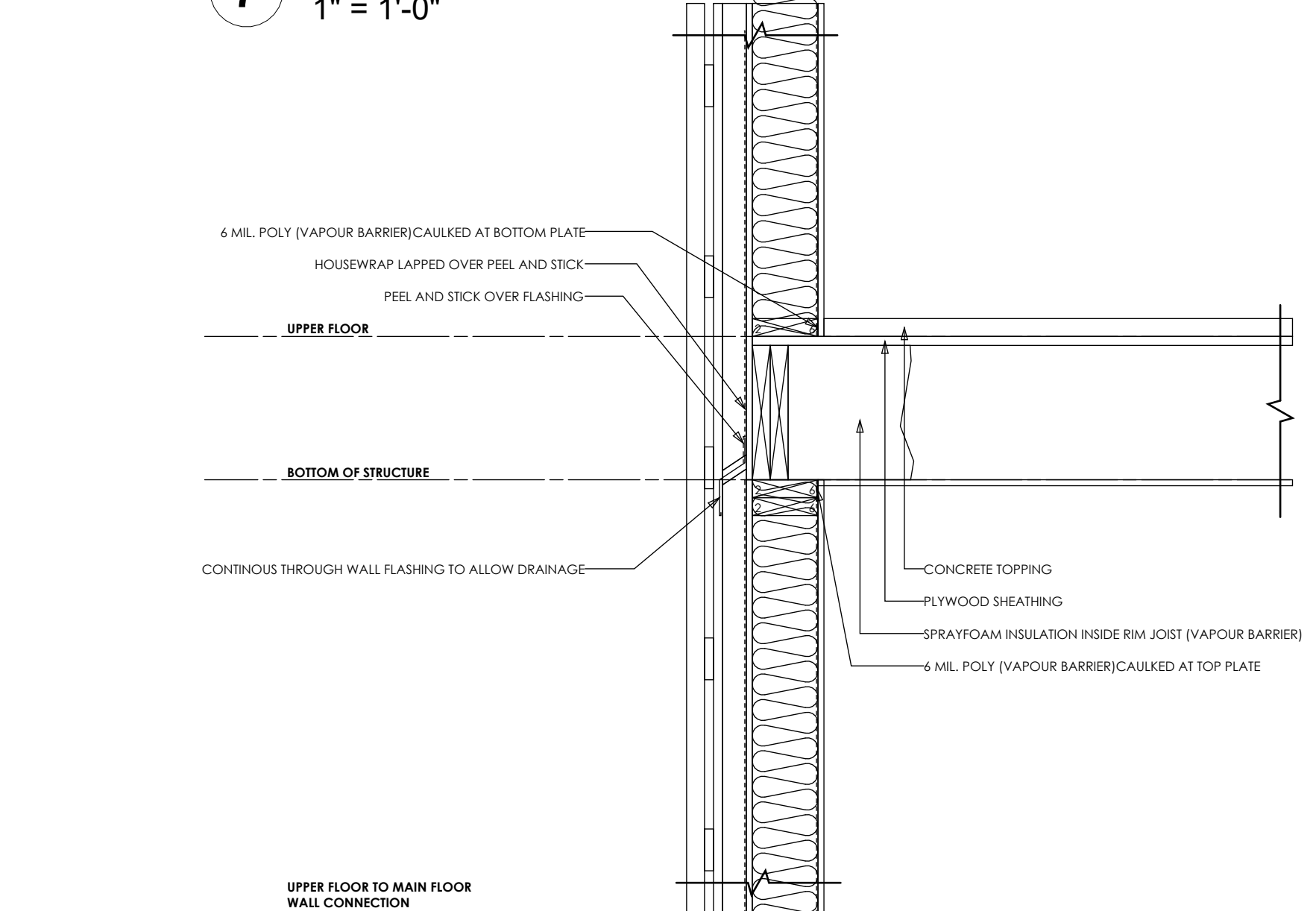
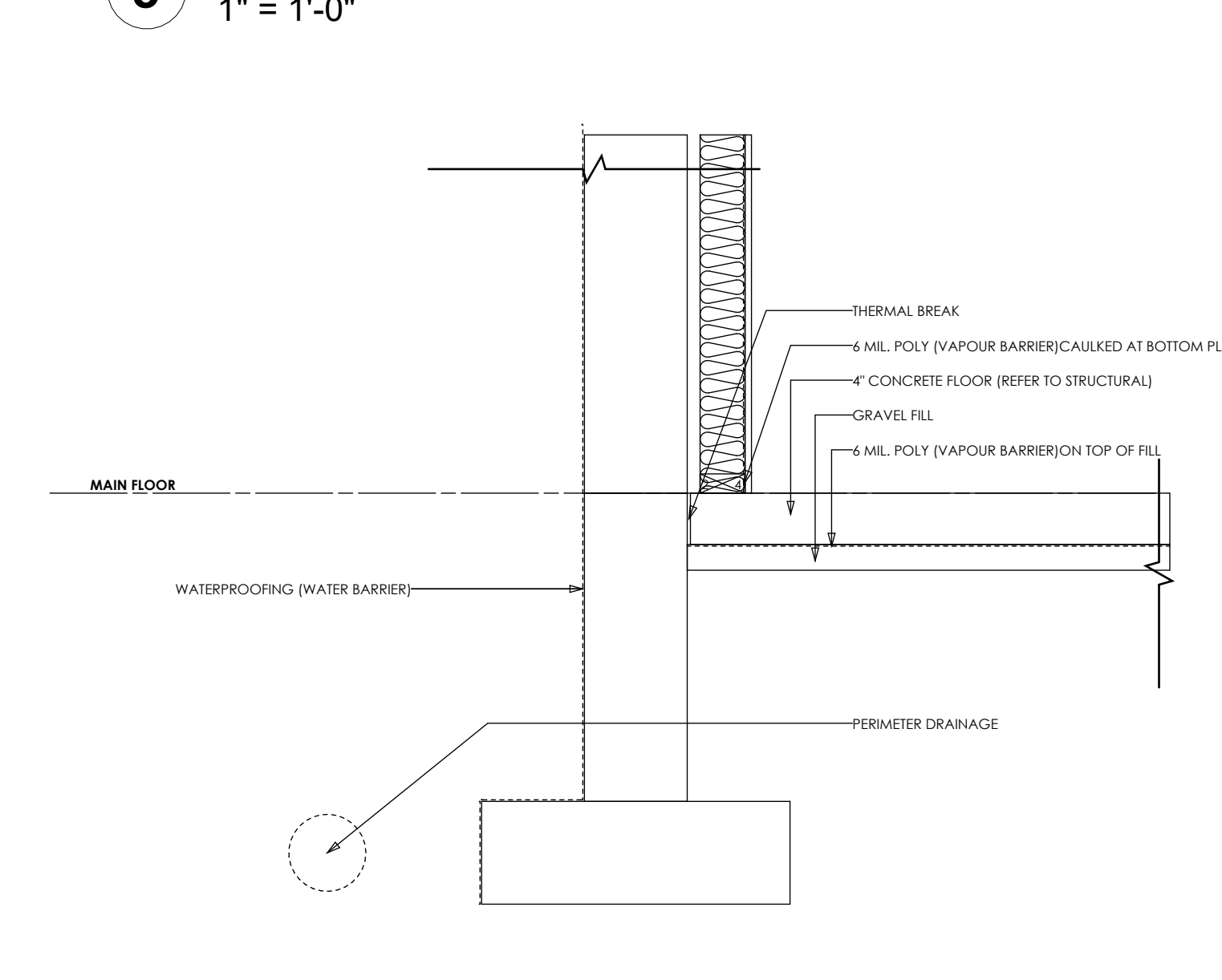
4 FLOOR JOIST



5 FLAT ROOF O.H

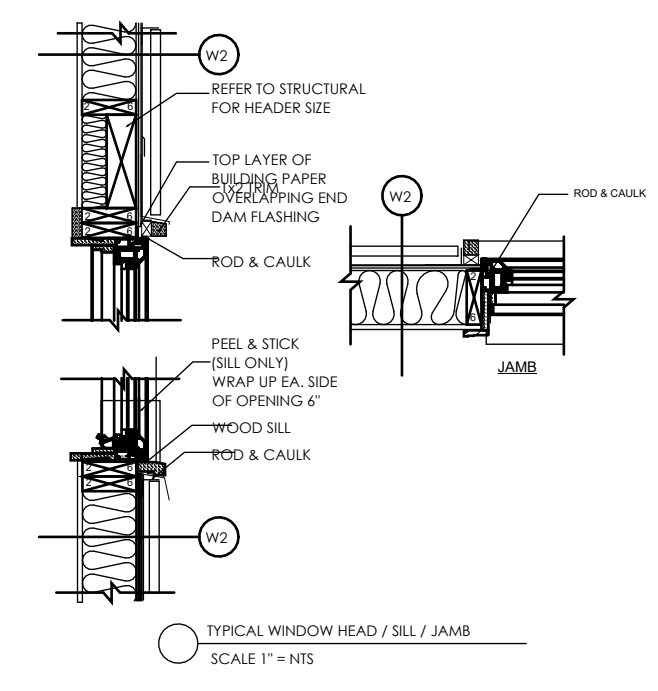
**5 FOUNDATION TO MAIN**  
1" = 1'-0"

**7 2ND TO ROOF**  
1" = 1'-0"

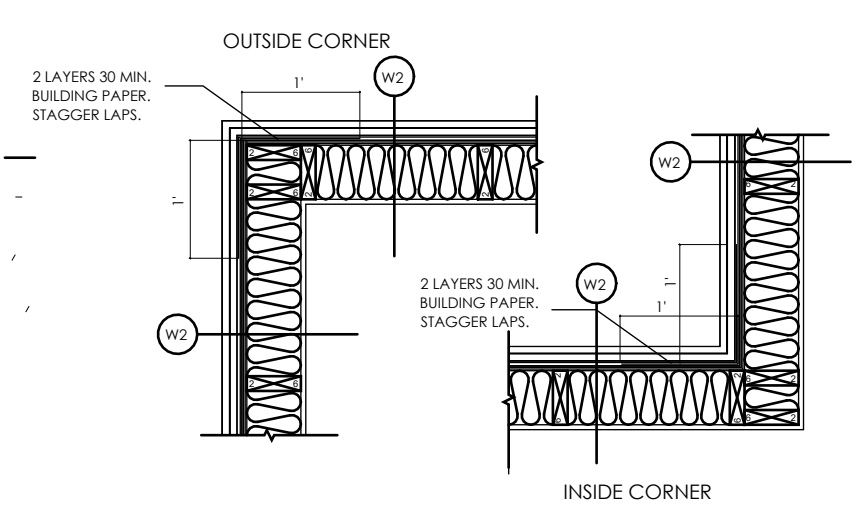


**4 FOOTING TO FOUNDATION**  
1" = 1'-0"

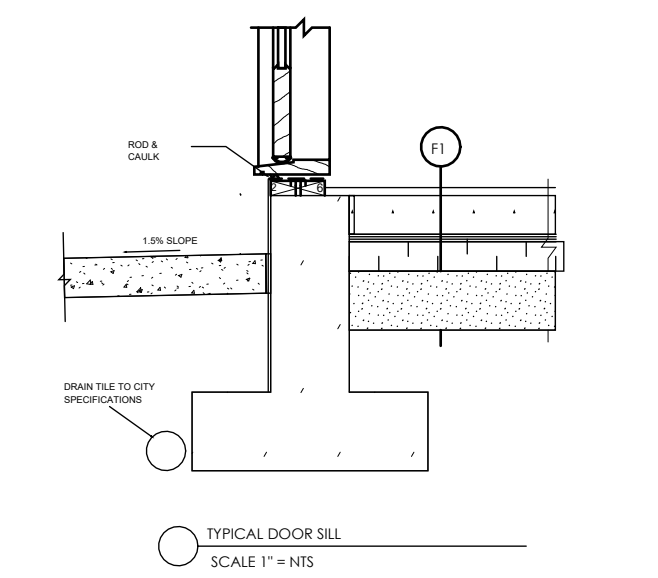
**6 MAIN TO 2ND**  
1" = 1'-0"



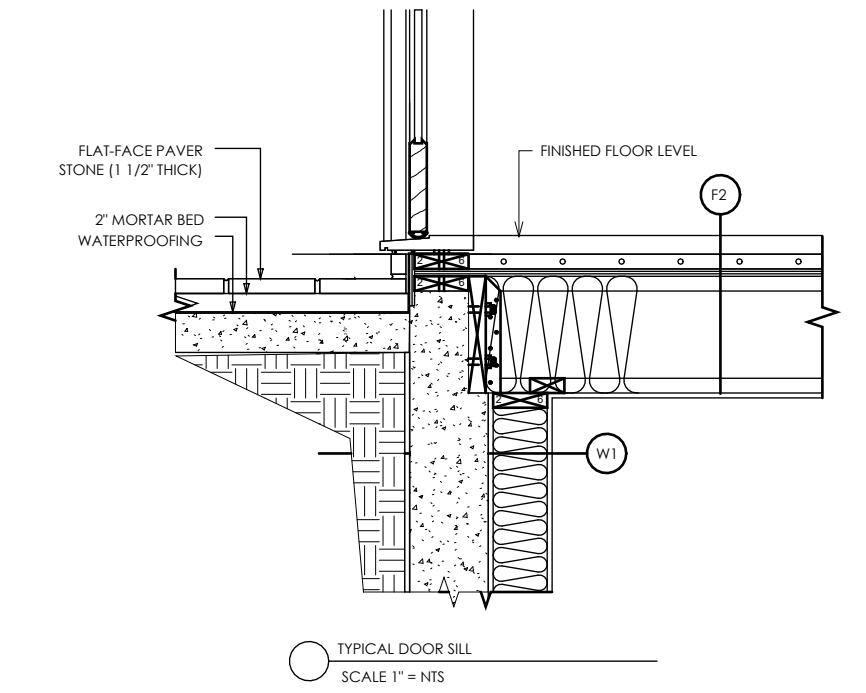
TYPICAL WINDOW HEAD / SILL / JAMB  
SCALE 1" = 16"



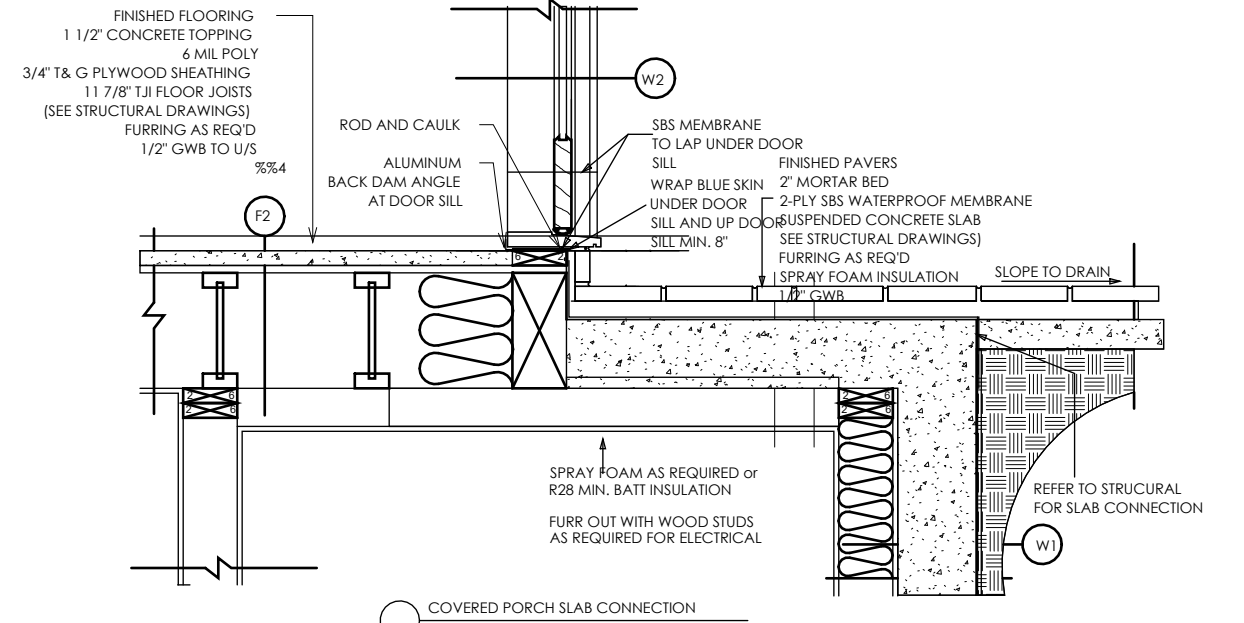
TYPICAL EXTERIOR WALL CONNECTION  
SCALE 1" = 16"



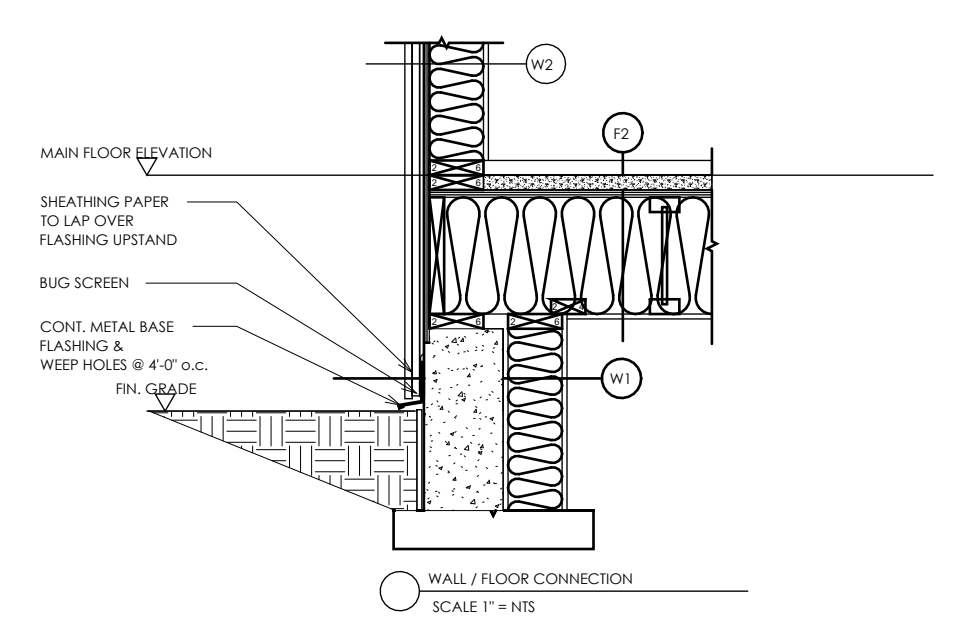
TYPICAL DOOR SILL  
SCALE 1" = 16"



TYPICAL FLOOR SILL  
SCALE 1" = 16"



COVERED PORCH SLAB CONNECTION  
SCALE 1" = 16"



MAIN FLOOR TO SECOND FLOOR WALL CONNECTION  
SCALE 1" = 16"

REVISIONS  
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PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

SHEET:

DRAWN BY:

JP

24X36 SCALE: As indicated

PROJECT NUMBER:  
Project Number

START DATE:  
05.03.23

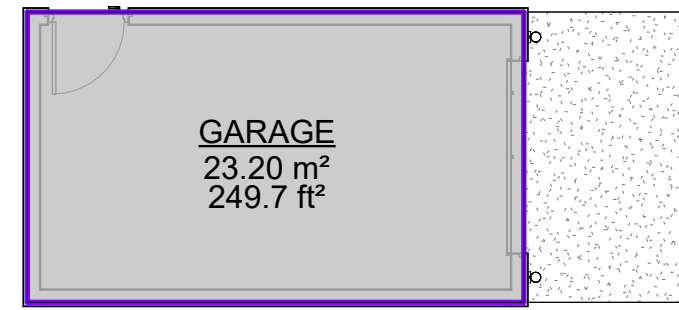
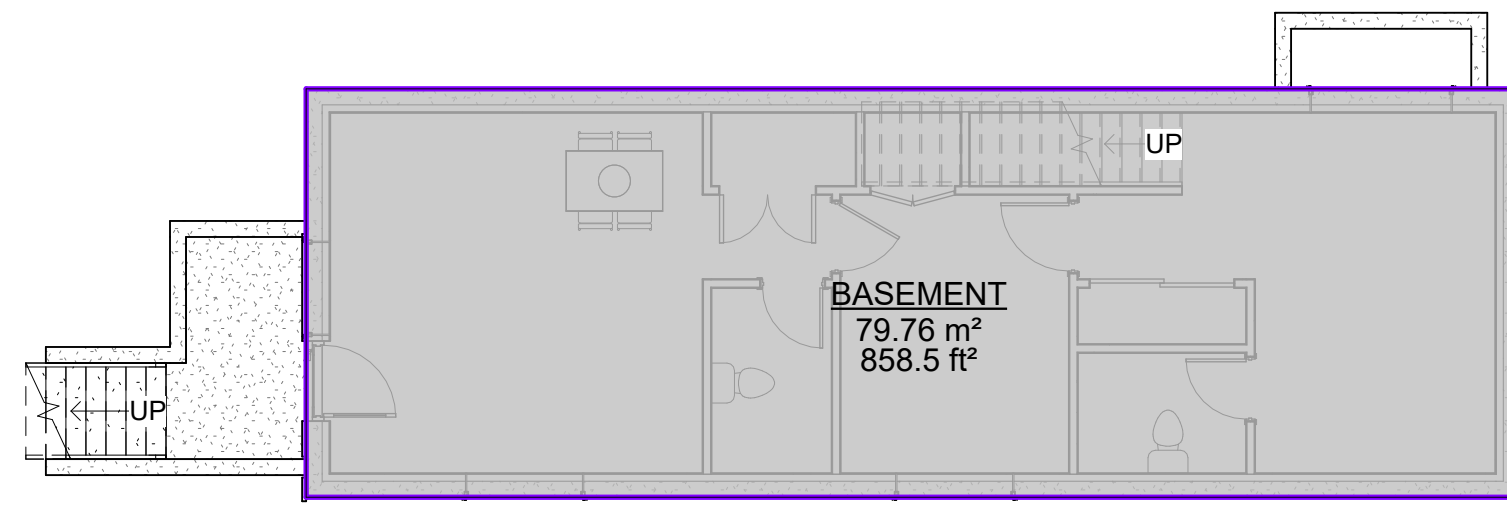
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DRAWING TITLE:  
**DETAILS**

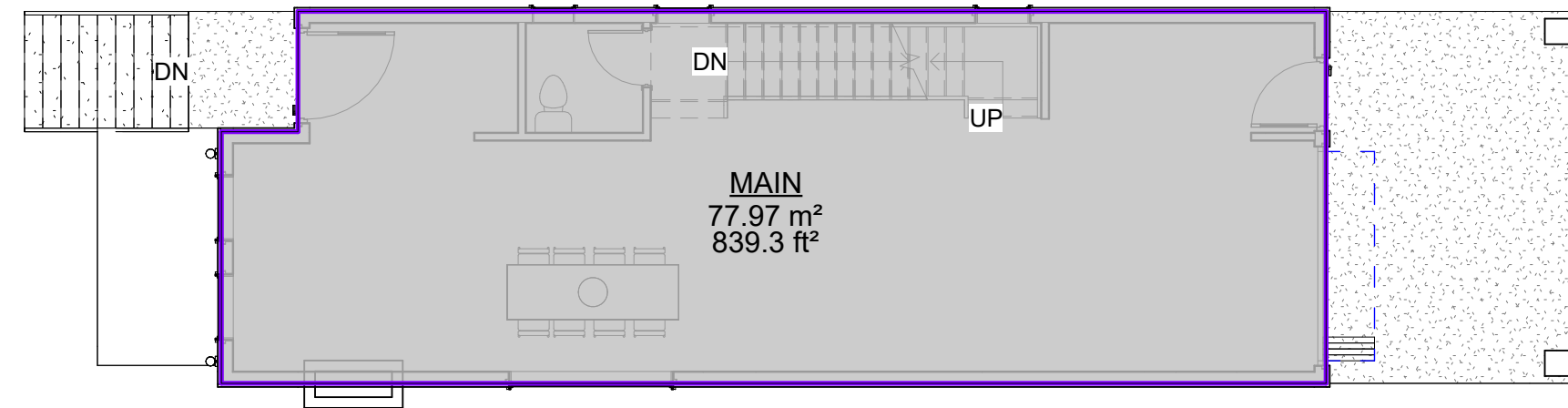
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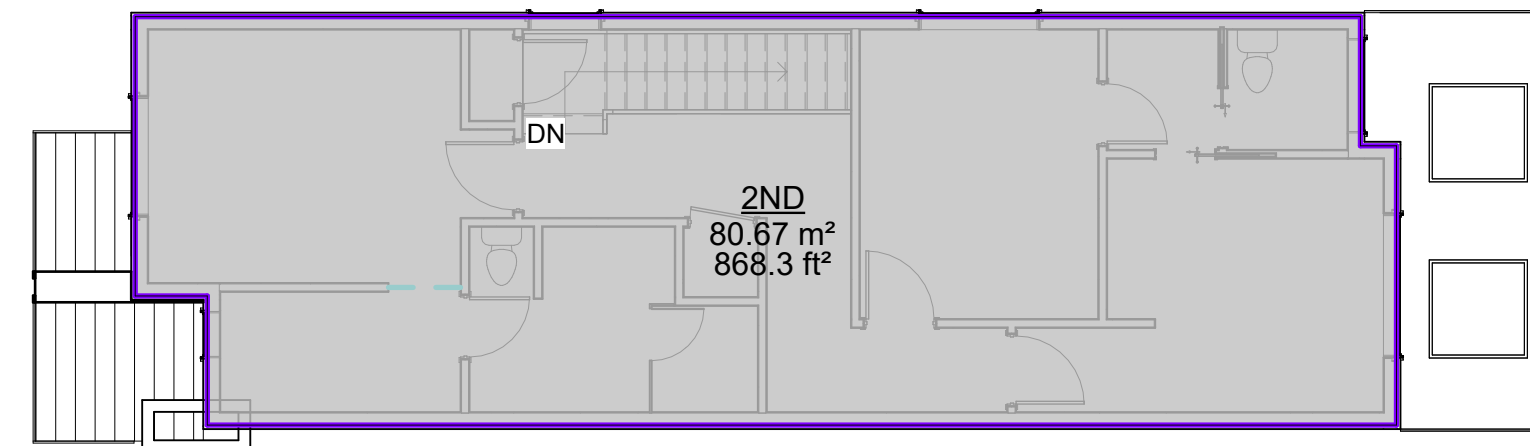
**3 BASEMENT**  
1/8" = 1'-0"

**4 GARAGE**  
1/8" = 1'-0"

| Area Schedule (Gross Building) |          |             |           |
|--------------------------------|----------|-------------|-----------|
| Name                           | Area     | Level       | Perimeter |
| MAIN                           | 839 ft²  | MAIN FLOOR  | 135' - 0" |
| 2ND                            | 868 ft²  | 2ND FLOOR   | 139' - 0" |
| BASEMENT                       | 859 ft²  | BASEMENT    | 135' - 0" |
| GARAGE                         | 250 ft²  | GARAGE SLAB | 65' - 6"  |
|                                | 2816 ft² |             |           |



**1 MAIN FLOOR**  
1/8" = 1'-0"



**2 2ND FLOOR**  
1/8" = 1'-0"



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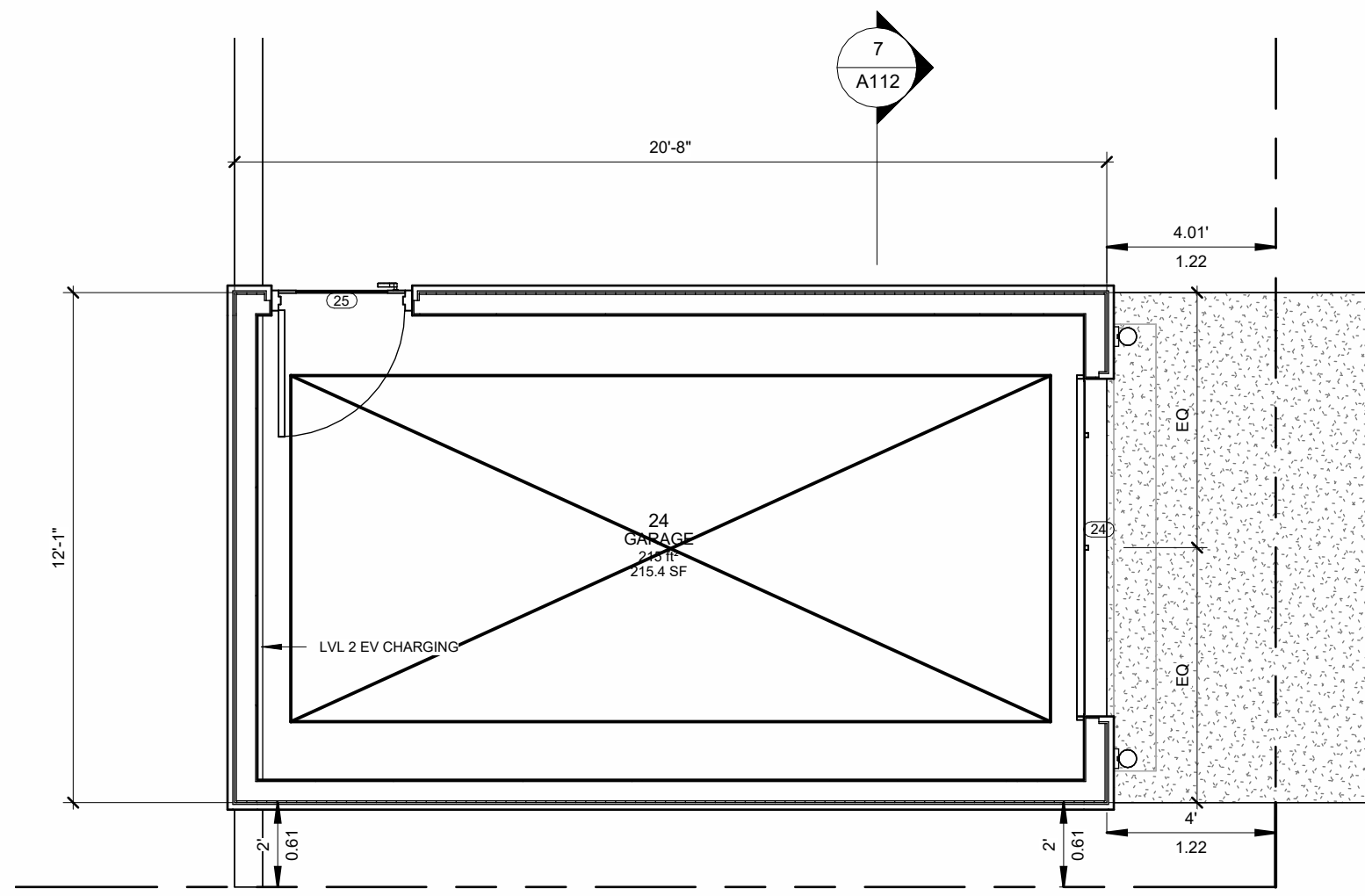
PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
F.A.R

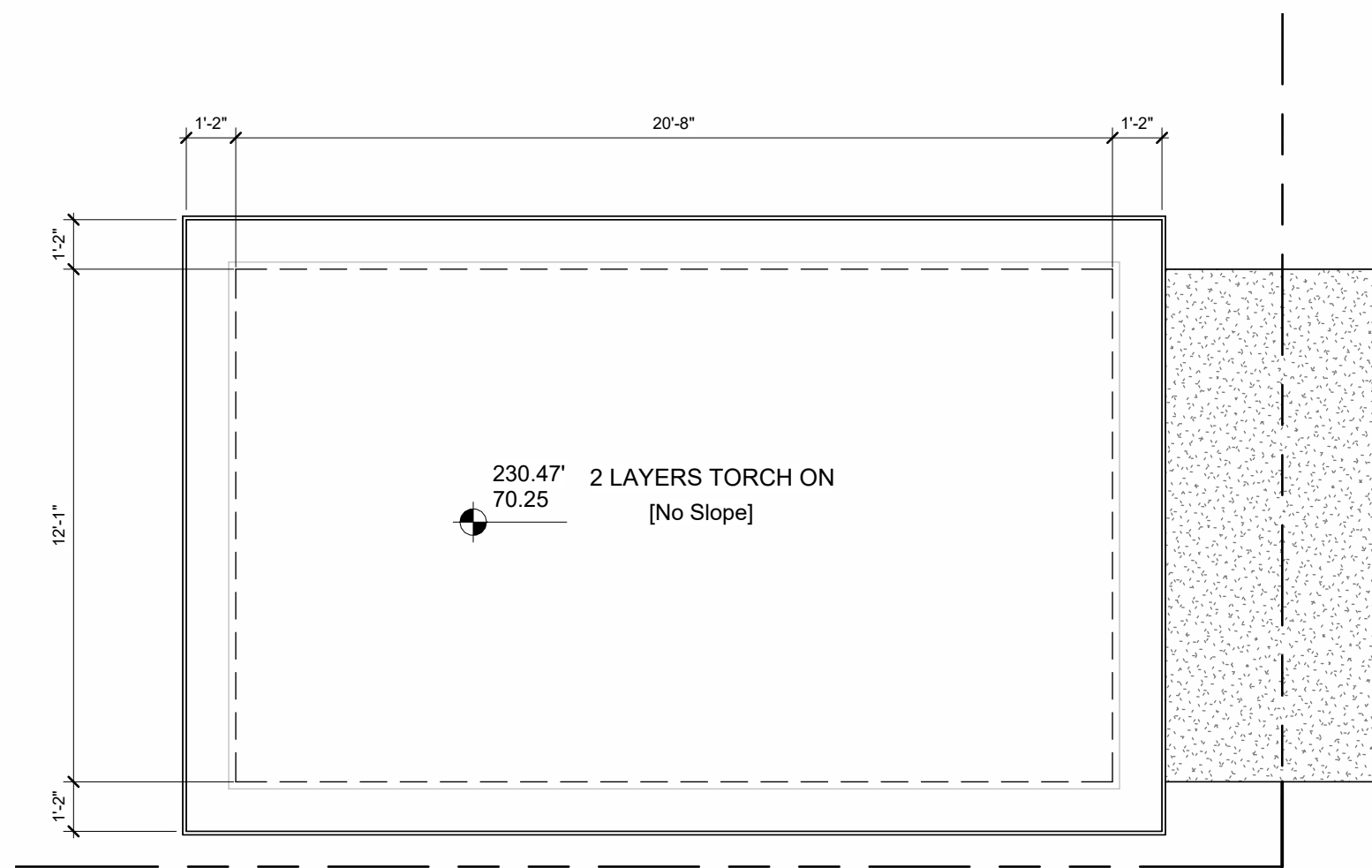
SHEET:  
**A111**

DRAWN BY: JP  
24X36 SCALE: 1/8" = 1'-0"  
PROJECT NUMBER: Project Number  
START DATE: 05.03.23

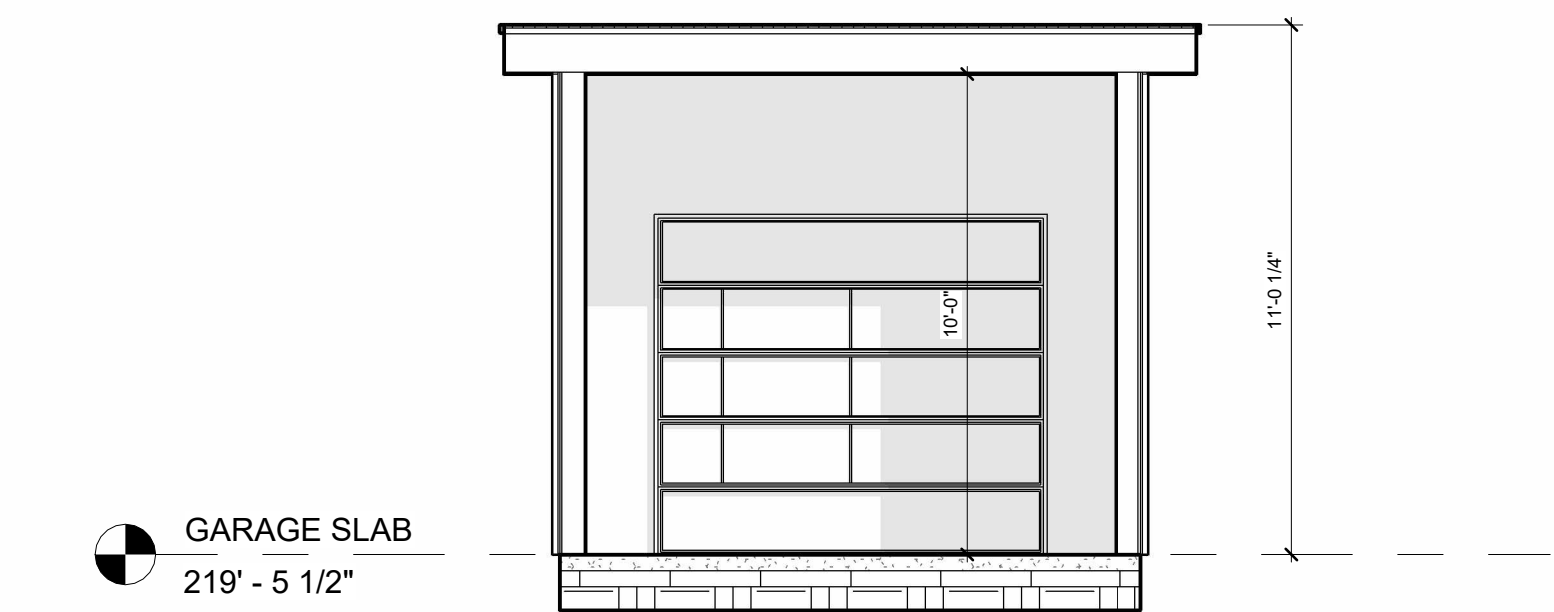
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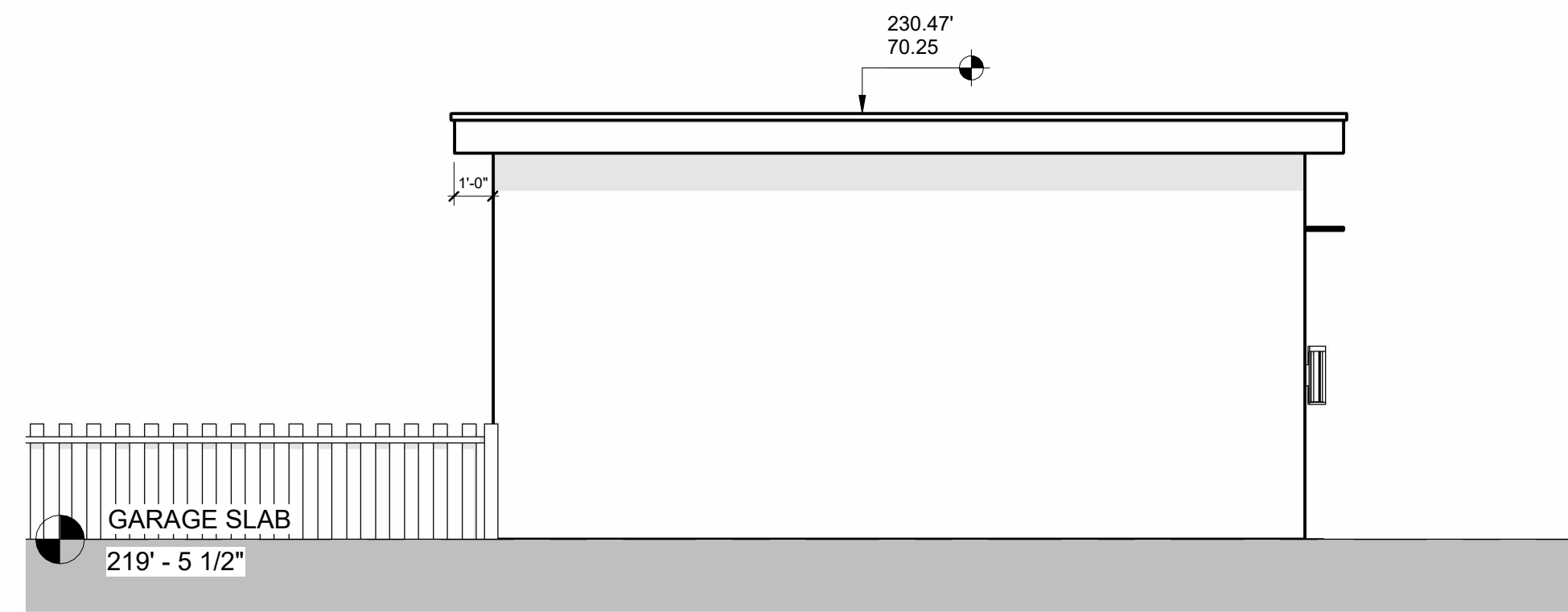
**1 GARAGE FLOOR PLAN**  
1/4" = 1'-0"



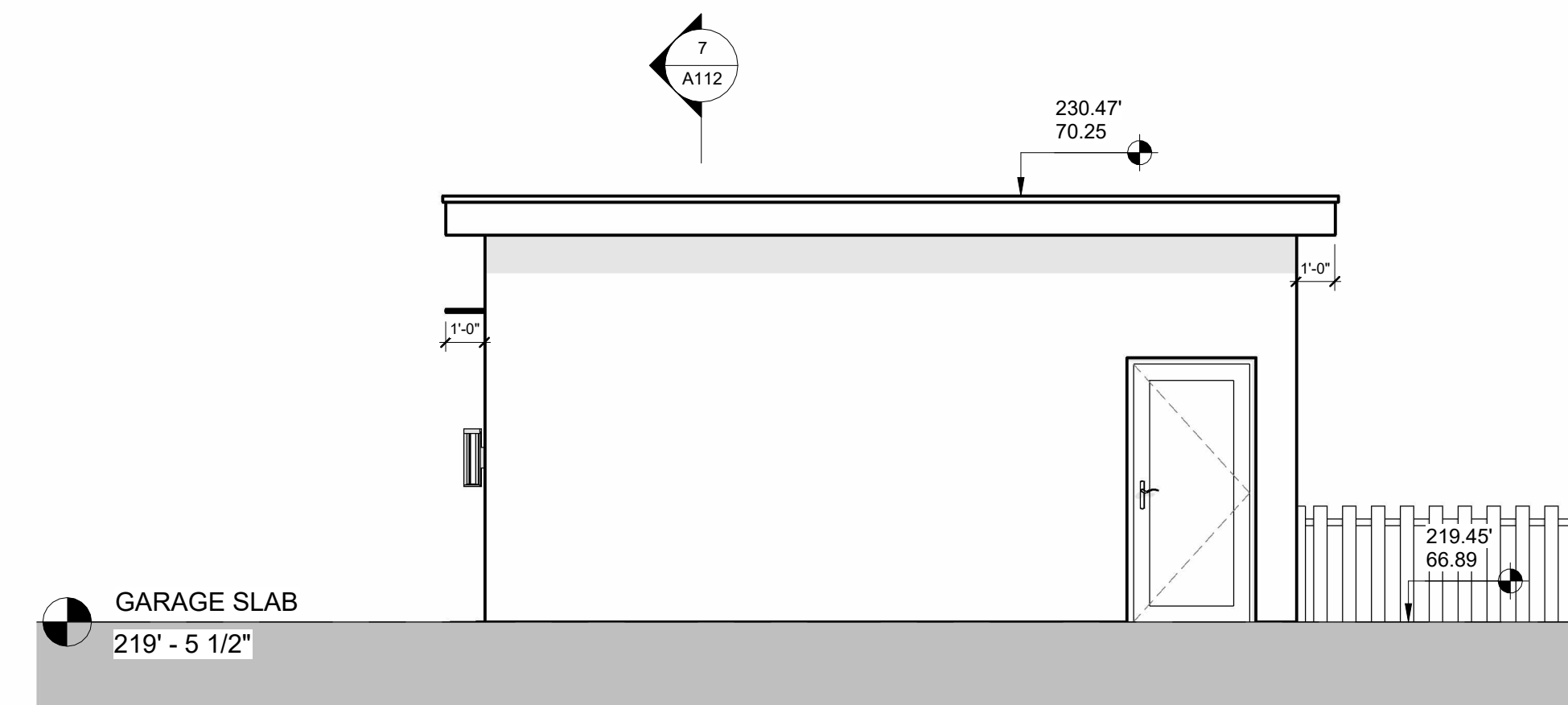
**2 GARAGE ROOF PLAN**  
1/4" = 1'-0"



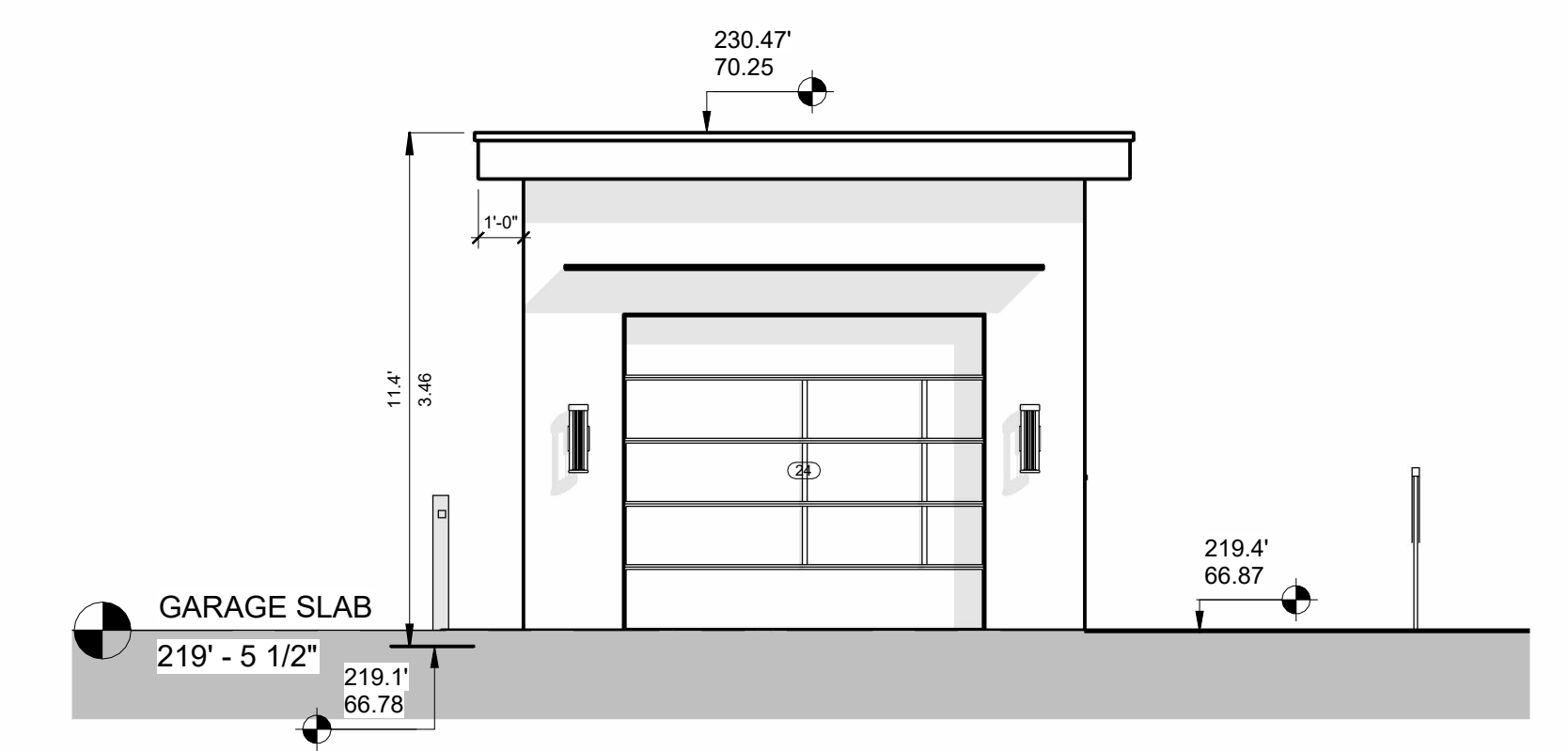
**7 GARAGE SECTION**  
1/4" = 1'-0"



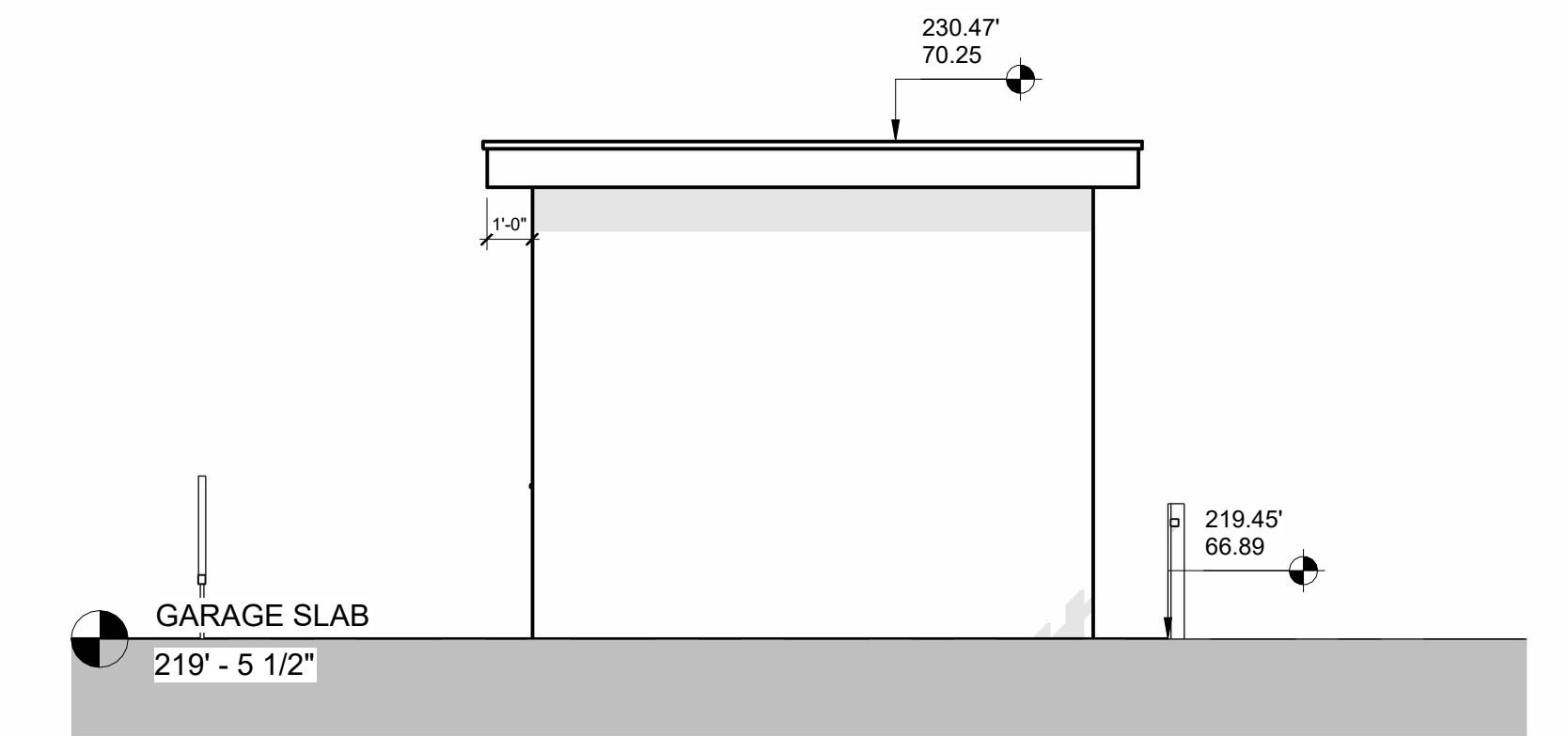
**3 GARAGE EAST**  
1/4" = 1'-0"



**6 GARAGE WEST**  
1/4" = 1'-0"



**4 GARAGE NORTH**  
1/4" = 1'-0"



**5 GARAGE SOUTH**  
1/4" = 1'-0"



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PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

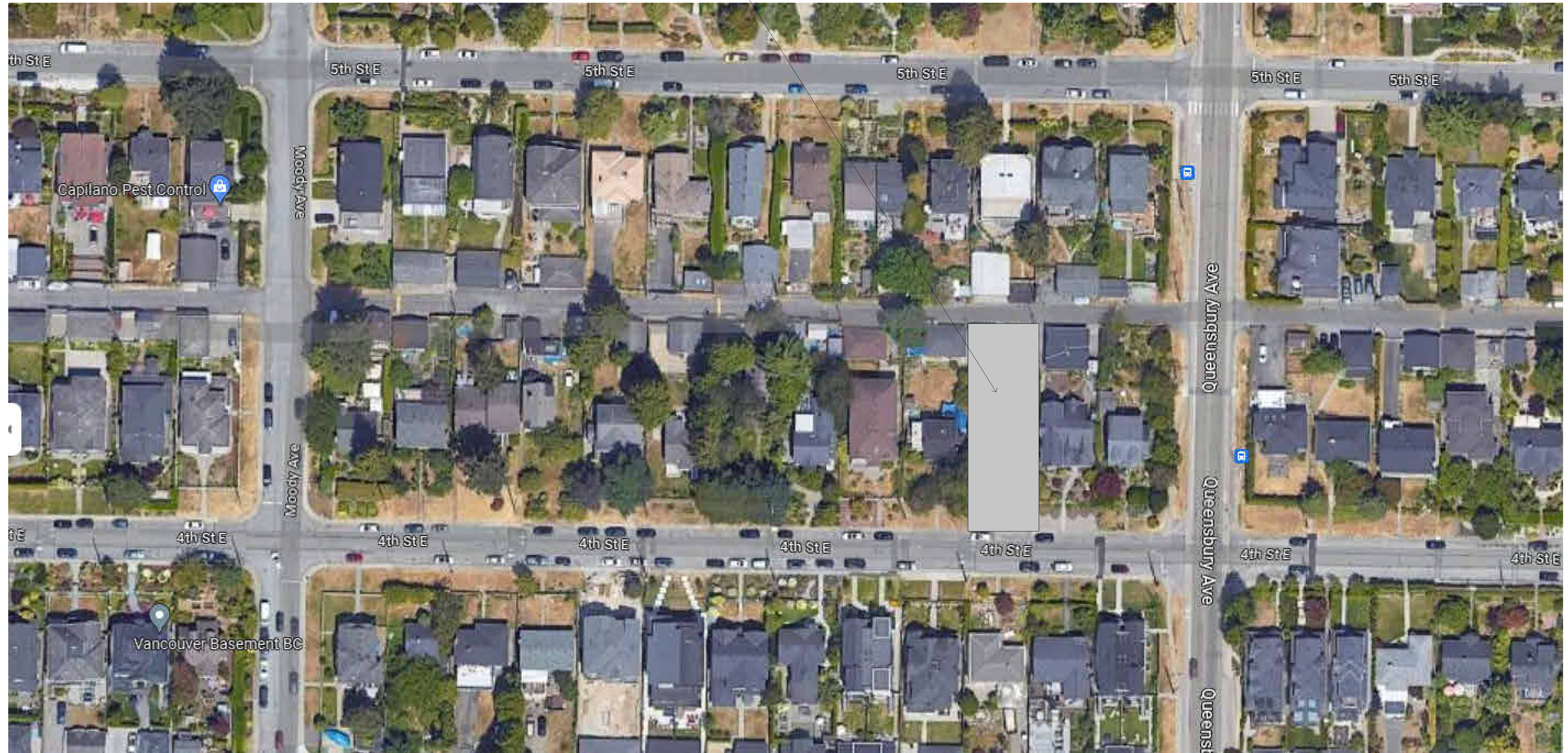
DRAWING TITLE:  
GARAGE

SHEET:  
  
**A112**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23  
PROJECT NUMBER: Project Number

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PROPERTY TO BE DEVELOPED



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ISSUED FOR: BP  
REVIEW SET: 2024-07-31 10:14:46 AM

PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
CONTEXTUAL - AERIAL

SHEET:

A113.1

DRAWN BY:  
JP

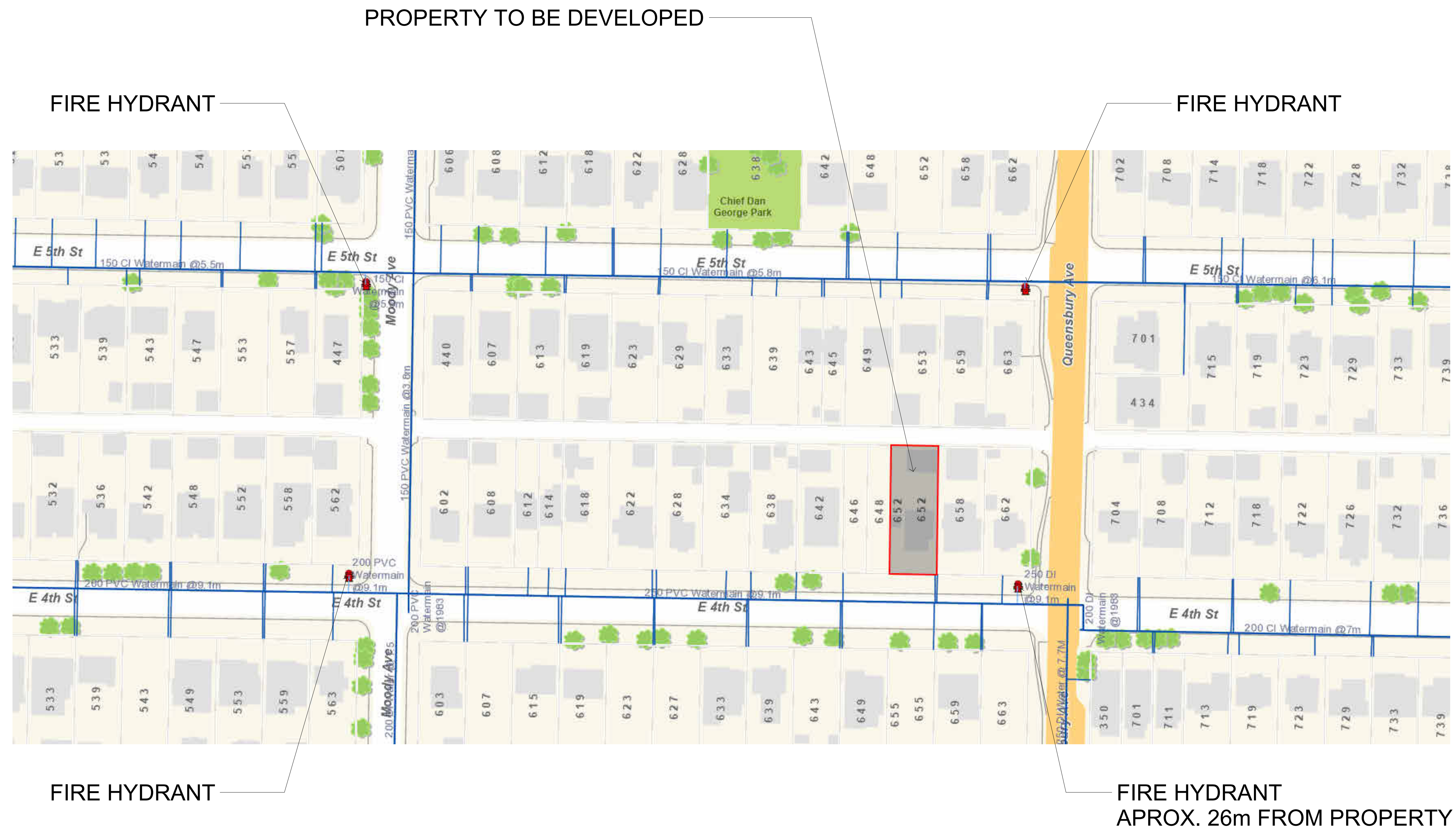
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3/8" = 1'-0"

START DATE:  
05.03.23

PROJECT NUMBER:  
Project Number

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PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
CONTEXTUAL - FIRE  
HYDRANTS

SHEET:  
**A113.2**

DRAWN BY: JP

24X36 SCALE: 1/4" = 1'-0"

PROJECT NUMBER: Project Number

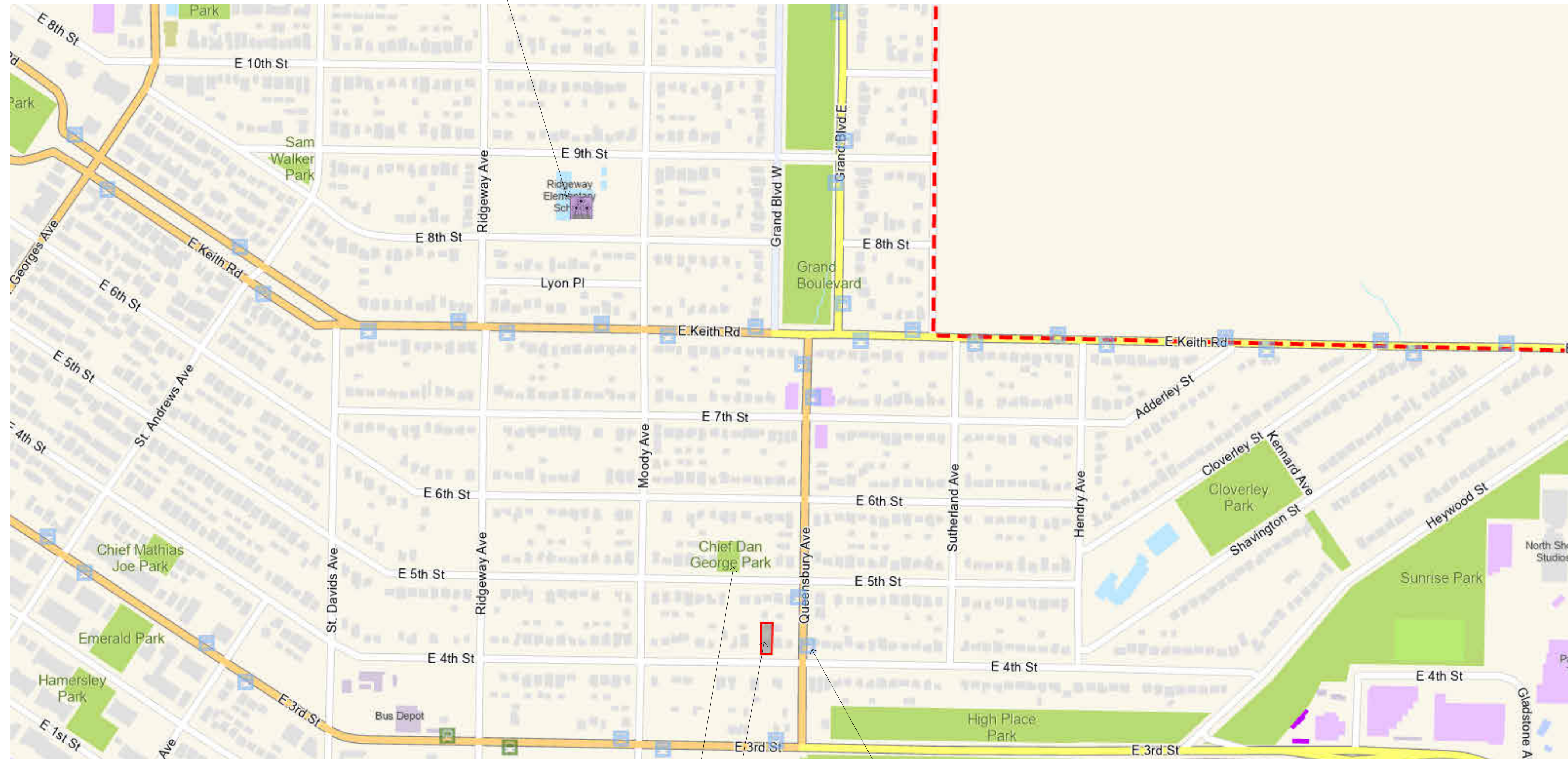
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CLOSEST SCHOOL  
APPROX 552m FROM PROPERTY



CLOSEST PARK  
APPROX 76m FROM PROPERTY

CLOSEST TRANSIT  
APPROX 46m FROM PROPERTY

PROPERTY TO BE DEVELOPED



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REVISIONS  
ISSUED FOR: BP  
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PROJECT:  
LOT A  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
CONTEXTUAL -  
AMENITIES

SHEET:

A113.3

DRAWN BY:  
JP

24X36 SCALE:  
1/4" = 1'-0"

START DATE:  
05.03.23

PROJECT NUMBER:  
Project  
Number

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# LOT B

652 EAST 4TH ST. NORTH VANCOVER

A100 - SITE PLAN

A101 - FOUNDATION PLAN

A102 - BASEMENT FLOOR PLAN

A103 - MAIN FLOOR PLAN

A104 - 2ND FLOOR PLAN

A105 - ROOF PLAN

A106 - ELEVATIONS - NORTH & SOUTH

A107 - ELEVATIONS - WEST

A108 - ELEVATIONS - EAST

A109 - SECTIONS

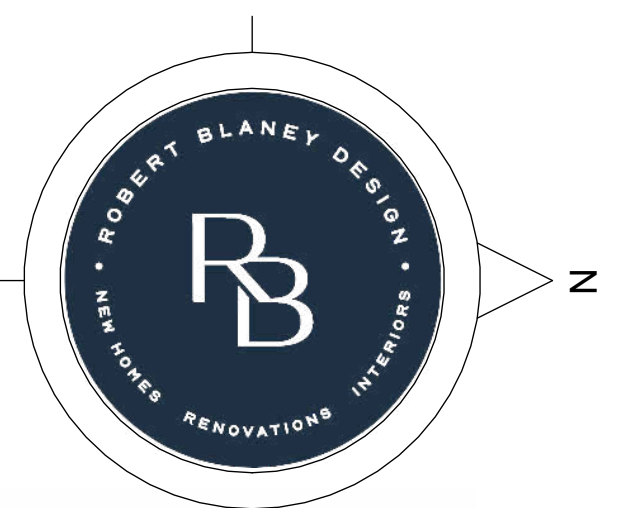
A110 - DETAILS

A111 - F.A.R

A112 - GARAGE

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• MILL AND PAVE AND/OR FULL ROAD RECONSTRUCTION TO CENTERLINE ADJACENT TO SITE  
 • REGULATORY SIGNAGE AND PAVEMENT MARKINGS AS REQUIRED  
 • DESIGN AND INSTALL NEW OVERHEAD AND PEDESTRIAN LEVEL STREET LIGHTING  
 • INSTALL SIDEWALK AND CURB AND GUTTER TO MATCH ADJACENT SIDEWALKS  
 • INSTALL STREET TREES AND BOLLEVARD LANDSCAPING TO CNV STANDARD. PROVIDE A MINIMUM OF 25 SQUARE METERS OF SOIL PER TREE. PROVIDE CONTINGUOUS 50MM G.S.M. TRENCH IN BOLLEVARDS AND 65MM DEEP STRUCTURAL SOIL UNDER SIDEWALK. ENSURE ADEQUATE SOIL VOLUMES FOR LARGE STREET TREES. SWAMP CONTINUOUS ROOT BARRIER REQUIRED AT STREET TREE LOCATIONS. PROVIDE IRRIGATION FOR ALL OFF-SITE LANDSCAPING AND STREET TREES.

PROPOSED PAVING BLOCKS TO BE INSTALLED UNDER ARBORIST SUPERVISION. REFER TO ARBORIST REPORT IF REQUIRED.  
 TREE PROTECTION FENCING AS PER DIAMOND HEAD REPORT DATED JUNE 14TH, 2024  
 ALL THIRD-PARTY UTILITY CONNECTIONS (ELECTRICAL, GAS, AND COMMUNICATIONS) MUST BE INSTALLED UNDERGROUND.

OFFSITE TREES WILL BE INSTALLED BY CNV. FINAL SPECIES SELECTION AND LOCATION WILL BE DETERMINED BY CNV PRIOR TO PLANTING.  
 BENCH MARK LEAD PLUG ON SIDEWALK ELEVATION 205.45 FEET

NEW 150mm STORM SERVICE CONNECTION AND I.C. TO BE INSTALLED BY THE CITY OF NORTH VANCOUVER CREW AT DEVELOPERS COST  
 INVERT OF I.C. TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.  
 RM - #3.85 @ I.C.  
 INV - +3.85 @ I.C. (BY CNV)  
 DESIGN INVERT = 62.10m @ I.C.  
 IF STORM I.C. INVERT DESIGNED AND CONSTRUCTED BY THE CNV IS HIGHER THAN 62.10m, A PUMP WILL BE REQUIRED FOR THE BASEMENT PERIMETER DRAINAGE SYSTEM.

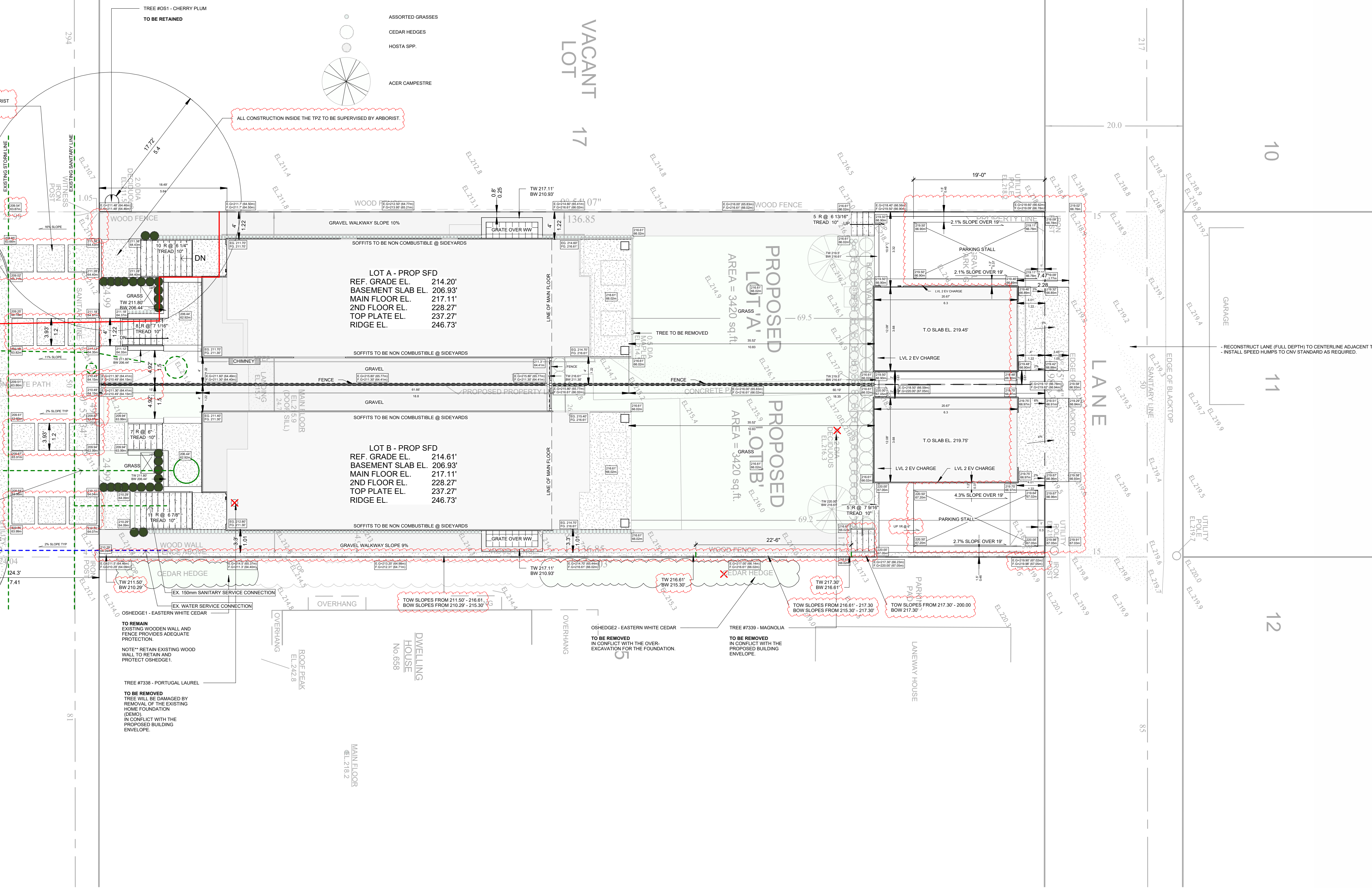
INSTALL 1 M CONCRETE BOLLEVARDE SIDEWALK AND CURB AND GUTTER TO MEET CMCC AND CNV STANDARDS. SIDEWALK WILL BE INSTALLED WITH A TYPICAL 2% SLOPE TOWARDS THE ROAD. FINAL CONFIGURATION WILL BE DETERMINED AT BUILDING PERMIT STAGE.  
 NEW 150mm STORM SERVICE CONNECTION AND I.C. TO BE INSTALLED BY THE CITY OF NORTH VANCOUVER CREW AT DEVELOPERS COST  
 INVERT OF I.C. TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.  
 RM - #4.40 @ I.C. (BY CNV)  
 INV - +4.40 @ I.C. (BY CNV)  
 DESIGN INVERT = 62.08m @ I.C.  
 IF STORM I.C. INVERT DESIGNED AND CONSTRUCTED BY THE CNV IS HIGHER THAN 62.08m, A PUMP WILL BE REQUIRED FOR THE BASEMENT PERIMETER DRAINAGE SYSTEM.

OS/HEDGE 1 - EASTERN WHITE CEDAR  
 TO REMAIN  
 EXISTING WOODEN WALL AND FENCE PROVIDES ADEQUATE PROTECTION  
 NOTE: RETAIN EXISTING WOOD WALL TO RETAIN AND PROTECT OS/HEDGE 1  
 TREE #7338 - PORTUGAL LAUREL  
 TO BE REMOVED  
 TREE WILL BE DAMAGED BY REMOVAL OF THE EXISTING HOME FOUNDATION (DMSO) IN CONFLICT WITH THE PROPOSED BUILDING ENVELOPE.

OS/HEDGE 2 - EASTERN WHITE CEDAR  
 TO BE REMOVED  
 IN CONFLICT WITH THE OVER-EXCAVATION FOR THE FOUNDATION

OS/HEDGE 3 - EASTERN WHITE CEDAR  
 TO BE REMOVED  
 IN CONFLICT WITH THE OVER-EXCAVATION FOR THE FOUNDATION

OS/HEDGE 4 - EASTERN WHITE CEDAR  
 TO BE REMOVED  
 IN CONFLICT WITH THE OVER-EXCAVATION FOR THE FOUNDATION



**PROJECT STATISTICS**

**SITE STATISTICS**

|                   |  |  |  |  |
|-------------------|--|--|--|--|
| CIVIC ADDRESS     | 852 EAST 4TH ST NORTH VANCOUVER                        |  |  |  |
| LEGAL DESCRIPTION | LOT 8 OF LOT 16, BLOCK 18, DISTRICT LOT 273, PLAN 1083 |  |  |  |
| ZONE              | RS1  |  |  |  |
| SITE AREA (SQ FT) | 3,420  |  |  |  |
| SITE WIDTH (FT)   | 24.99  |  |  |  |

**PROJECT STATISTICS**

| HOUSE                  | PERMITTED/REQUIRED |        | PROPOSED |        |
|------------------------|--------------------|--------|----------|--------|
|                        | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| ROOF HEIGHT            | 33.1               | 10.09  | 32.54    | 9.92   |
| TOP PLATE              | 26.2               | 7.99   | 23.08    | 7.00   |
| FRONT YARD SETBACK (S) | 15                 | 4.57   | 15       | 4.57   |
| EAST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| WEST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| REAR YARD SETBACK (N)  | 47.89              | 14.60  | 60.19    | 18.35  |

**ACCESSORY BUILDING**

| HOUSE                       | PERMITTED/REQUIRED |        | PROPOSED |        |
|-----------------------------|--------------------|--------|----------|--------|
|                             | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| BUILDING HEIGHT             | 10                 | 3.05   | 11.4     | 3.48   |
| FRONT YARD SETBACK TO HOUSE | 2                  | 0.61   | 2        | 0.61   |
| EAST SIDE YARD SETBACK      | 2                  | 0.61   | 2        | 0.61   |
| WEST SIDE YARD SETBACK      | 4                  | 1.22   | 4        | 1.22   |

**FLOOR AREAS**

| FLOOR       | PERMITTED/REQUIRED |           | PROPOSED     |           |
|-------------|--------------------|-----------|--------------|-----------|
|             | AREA (SQ FT)       | AREA (M2) | AREA (SQ FT) | AREA (M2) |
| BASEMENT    | 658.5              | 60.9      | 658.5        | 60.9      |
| MAIN FLOOR  | 838.3              | 77.37     | 838.3        | 77.37     |
| 2ND FLOOR   | 866.3              | 80.07     | 866.3        | 80.07     |
| ACCESSORY   | 249.7              | 23.20     | 249.7        | 23.20     |
| TOTAL SQ FT | 1713               | 158.86    | 2613.8       | 241.54    |

**G.F.A. EXEMPTIONS**

| EXEMPTION                | PERMITTED/REQUIRED |           | PROPOSED     |           |
|--------------------------|--------------------|-----------|--------------|-----------|
|                          | AREA (SQ FT)       | AREA (M2) | AREA (SQ FT) | AREA (M2) |
| BASEMENT                 | 658.5              | 60.9      | 658.5        | 60.9      |
| ACCESSORY                | 249.7              | 23.20     | 249.7        | 23.20     |
| TOTAL EXEMPT FROM G.F.A. | 1108.2             | 104.10    | 1108.2       | 104.10    |

**PROJECT STATISTICS**

**SITE STATISTICS**

|                   |  |  |  |  |
|-------------------|--|--|--|--|
| CIVIC ADDRESS     | 852 EAST 4TH ST NORTH VANCOUVER                        |  |  |  |
| LEGAL DESCRIPTION | LOT 8 OF LOT 16, BLOCK 18, DISTRICT LOT 273, PLAN 1083 |  |  |  |
| ZONE              | RS1  |  |  |  |
| SITE AREA (SQ FT) | 3,420  |  |  |  |
| SITE WIDTH (FT)   | 24.99  |  |  |  |

**PROJECT STATISTICS**

| HOUSE                  | PERMITTED/REQUIRED |        | PROPOSED |        |
|------------------------|--------------------|--------|----------|--------|
|                        | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| ROOF HEIGHT            | 33.1               | 10.09  | 32.54    | 9.92   |
| TOP PLATE              | 26.2               | 7.99   | 22.67    | 6.91   |
| FRONT YARD SETBACK (S) | 15                 | 4.57   | 15       | 4.57   |
| EAST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| WEST SIDE YARD SETBACK | 4                  | 1.22   | 4        | 1.22   |
| REAR YARD SETBACK (N)  | 47.89              | 14.60  | 60.19    | 18.35  |

**ACCESSORY BUILDING**

| HOUSE                       | PERMITTED/REQUIRED |        | PROPOSED |        |
|-----------------------------|--------------------|--------|----------|--------|
|                             | IMPERIAL           | METRIC | IMPERIAL | METRIC |
| BUILDING HEIGHT             | 10                 | 3.05   | 10.9     | 3.32   |
| FRONT YARD SETBACK TO HOUSE | 2                  | 0.61   | 2        | 0.61   |
| EAST SIDE YARD SETBACK      | 2                  | 0.61   | 2        | 0.61   |
| WEST SIDE YARD SETBACK      | 4                  | 1.22   | 4        | 1.22   |

**FLOOR AREAS**

| FLOOR       | PERMITTED/REQUIRED |           | PROPOSED     |           |
|-------------|--------------------|-----------|--------------|-----------|
|             | AREA (SQ FT)       | AREA (M2) | AREA (SQ FT) | AREA (M2) |
| BASEMENT    | 658.5              | 60.9      | 658.5        | 60.9      |
| MAIN FLOOR  | 838.3              | 77.37     | 838.3        | 77.37     |
| 2ND FLOOR   | 866.3              | 80.07     | 866.3        | 80.07     |
| ACCESSORY   | 249.7              | 23.20     | 249.7        | 23.20     |
| TOTAL SQ FT | 1713               | 158.86    | 2613.8       | 241.54    |

**G.F.A. EXEMPTIONS**

| EXEMPTION                | PERMITTED/REQUIRED |           | PROPOSED     |           |
|--------------------------|--------------------|-----------|--------------|-----------|
|                          | AREA (SQ FT)       | AREA (M2) | AREA (SQ FT) | AREA (M2) |
| BASEMENT                 | 658.5              | 60.9      | 658.5        | 60.9      |
| ACCESSORY                | 249.7              | 23.20     | 249.7        | 23.20     |
| TOTAL EXEMPT FROM G.F.A. | 1108.2             | 104.10    | 1108.2       | 104.10    |

**ROBERT BLANEY HOMES**

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REVISIONS  
 ISSUED FOR: BP  
 REVIEW SET: 2024-07-31 10:13:17 AM

PROJECT:  
 LOT A/B  
 652 EAST 4TH ST.  
 NORTH VANCOUVER

DRAWING TITLE:  
 SITE PLAN

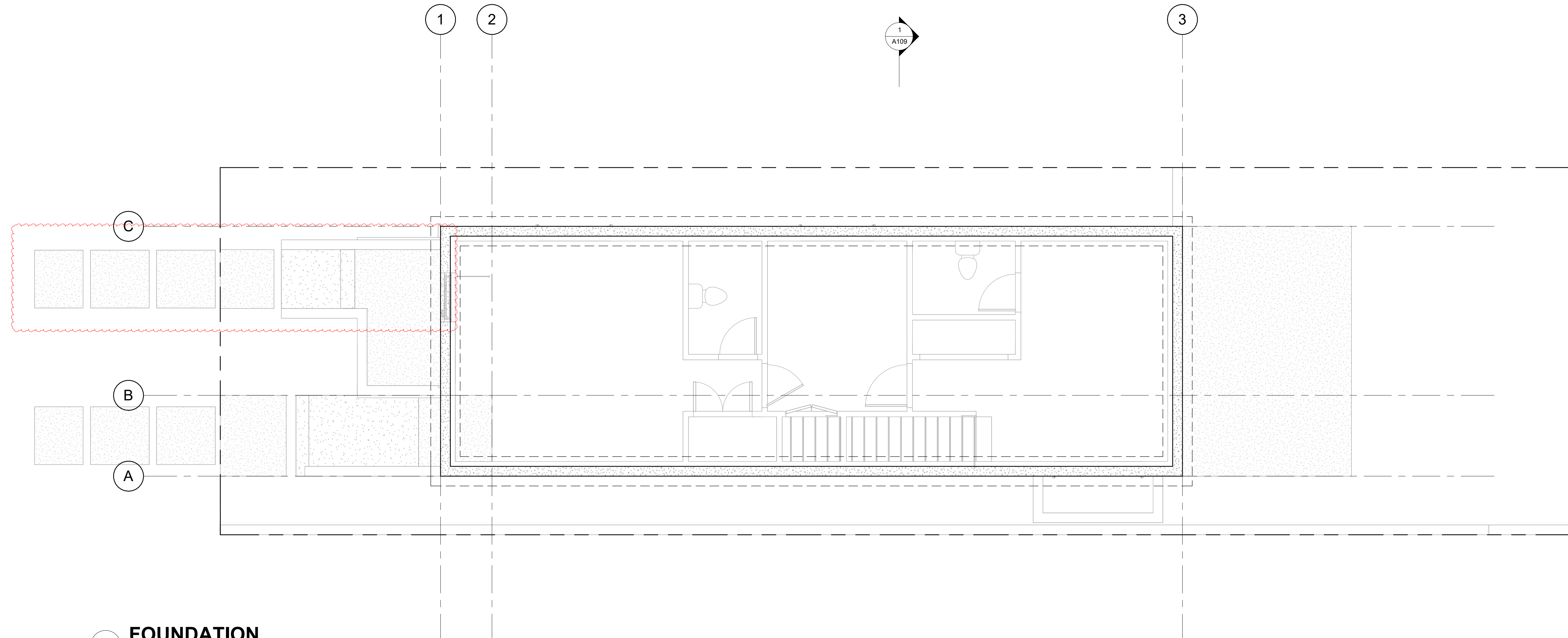
SHEET:  
 PROJECT:  
 DRAWN BY: JP  
 24X36 SCALE: 1/8" = 1'-0"  
 START DATE: 05.03.23

**A100**

PROJECT NUMBER:  
 Project Number

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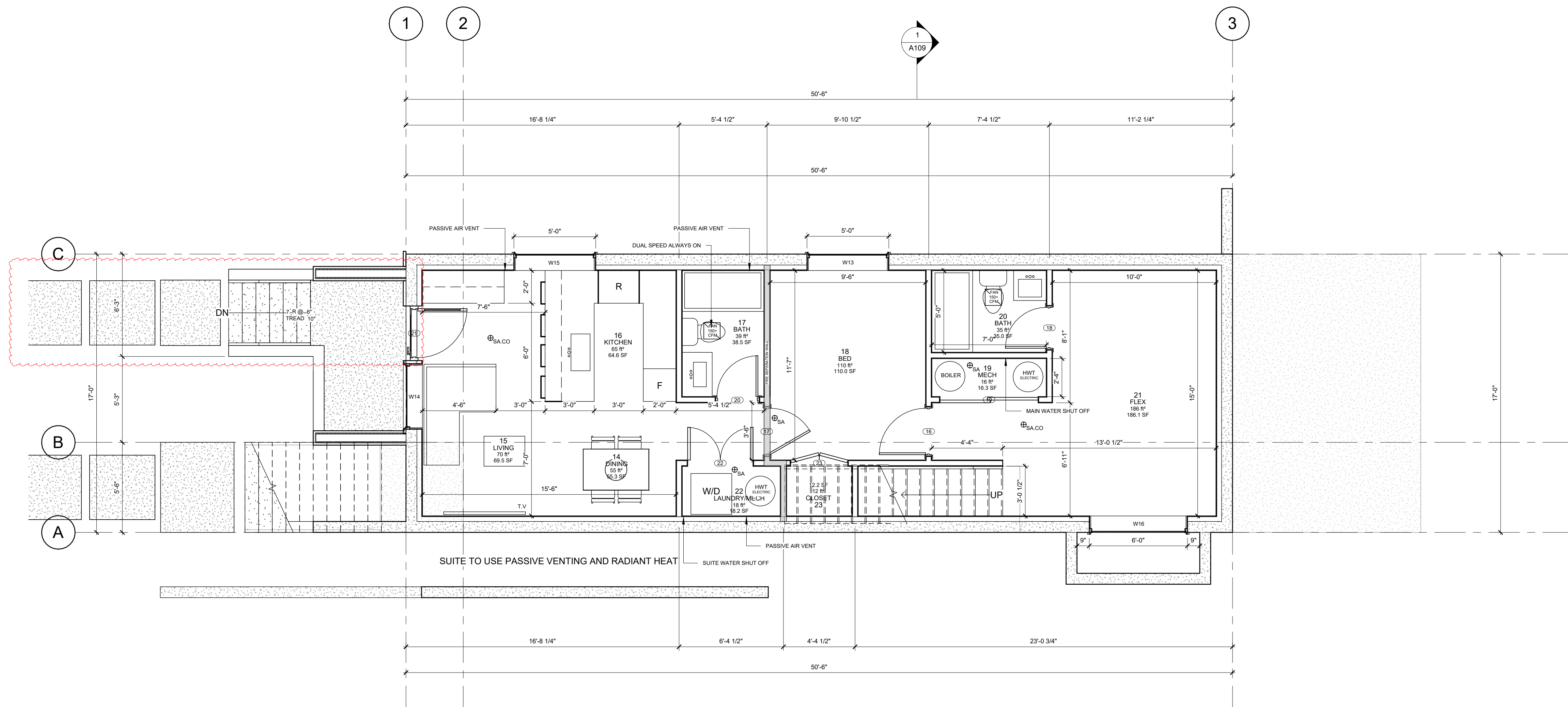
**1 FOUNDATION**  
1/4" = 1'-0"



| Window Schedule BASEMENT |      |         |         |             |
|--------------------------|------|---------|---------|-------------|
| Level                    | Mark | Width   | Height  | Sill Height |
| BASEMENT                 | W13  | 5' - 0" | 4' - 0" | 5' - 0"     |
| BASEMENT                 | W14  | 4' - 0" | 4' - 0" | 4' - 0"     |
| BASEMENT                 | W15  | 5' - 0" | 4' - 0" | 5' - 0"     |
| BASEMENT                 | W16  | 6' - 0" | 4' - 0" | 5' - 0"     |

| Door Schedule BASEMENT |      |          |         |
|------------------------|------|----------|---------|
| Level                  | Mark | Width    | Height  |
| BASEMENT               | 16   | 2' - 10" | 8' - 0" |
| BASEMENT               | 17   | 2' - 10" | 8' - 0" |
| BASEMENT               | 18   | 2' - 6"  | 8' - 0" |
| BASEMENT               | 19   | 6' - 0"  | 8' - 0" |
| BASEMENT               | 20   | 2' - 6"  | 8' - 0" |
| BASEMENT               | 21   | 3' - 0"  | 8' - 0" |
| BASEMENT               | 22   | 4' - 0"  | 8' - 0" |
| BASEMENT               | 23   | 3' - 6"  | 6' - 8" |

| Room Schedule BASEMENT |              |                     |              |
|------------------------|--------------|---------------------|--------------|
| Level                  | Name         | Area                | Perimeter    |
| BASEMENT               | BATH         | 39 ft <sup>2</sup>  | 25' - 5"     |
| BASEMENT               | BATH         | 35 ft <sup>2</sup>  | 24' - 0"     |
| BASEMENT               | BED          | 110 ft <sup>2</sup> | 42' - 2"     |
| BASEMENT               | CLOSET       | 12 ft <sup>2</sup>  | 14' - 1"     |
| BASEMENT               | DINING       | 55 ft <sup>2</sup>  | 29' - 10"    |
| BASEMENT               | FLEX         | 186 ft <sup>2</sup> | 64' - 8 3/4" |
| BASEMENT               | KITCHEN      | 65 ft <sup>2</sup>  | 32' - 2"     |
| BASEMENT               | LAUNDRY/MECH | 18 ft <sup>2</sup>  | 18' - 1"     |
| BASEMENT               | LIVING       | 70 ft <sup>2</sup>  | 33' - 6 1/2" |
| BASEMENT               | MECH         | 16 ft <sup>2</sup>  | 18' - 8"     |



**1 BASEMENT**  
1/4" = 1'-0"



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REVISIONS  
ISSUED FOR: BP  
REVIEW SET: 2024-07-31 10:16:18 AM

PROJECT:  
LOT B  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
BASEMENT FLOOR PLAN

SHEET:  
**A102**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23  
PROJECT NUMBER: Project Number

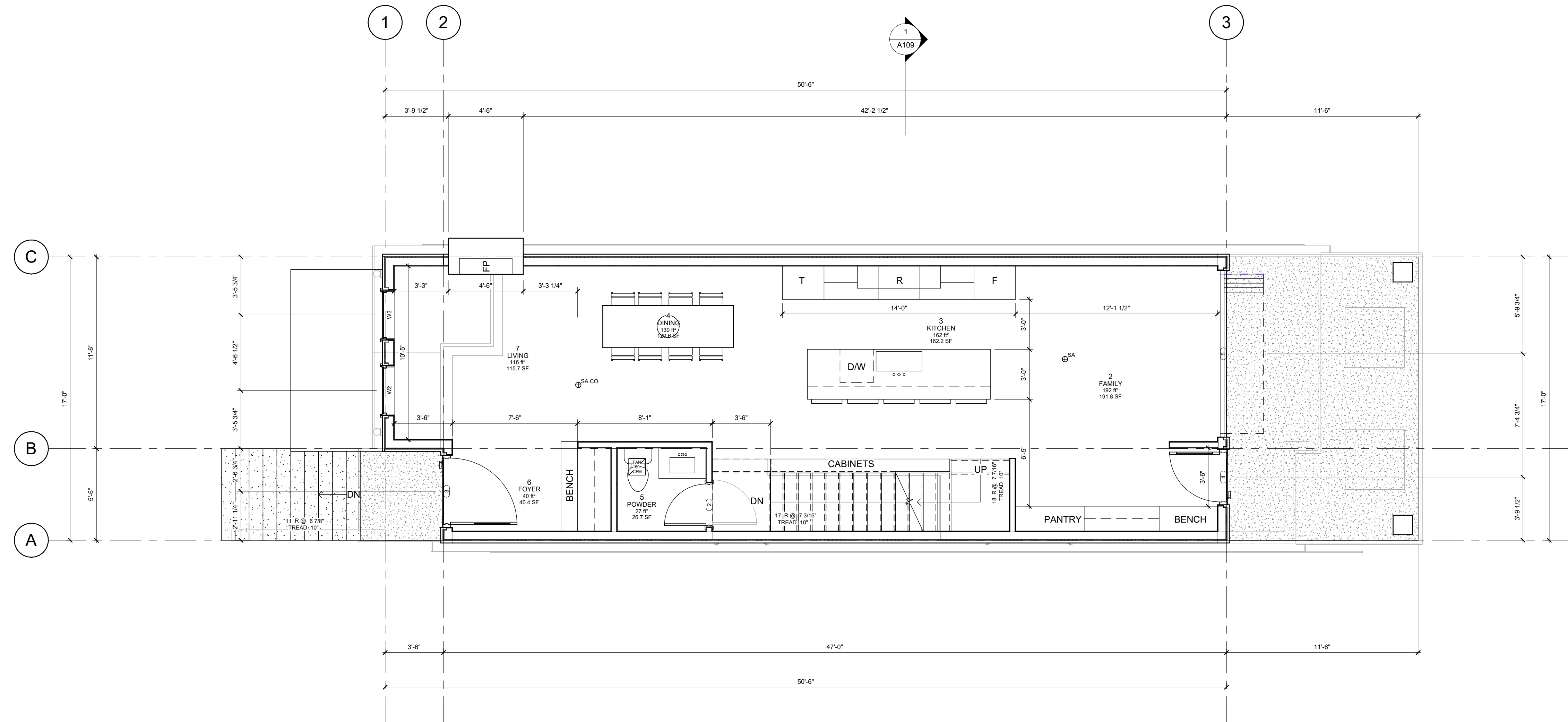
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| Window Schedule MAIN FLOOR |      |         |         |             |
|----------------------------|------|---------|---------|-------------|
| Level                      | Mark | Width   | Height  | Sill Height |
| MAIN FLOOR                 | S1   | 4' - 0" | 4' - 0" |             |
| MAIN FLOOR                 | S2   | 4' - 0" | 4' - 0" |             |
| MAIN FLOOR                 | W2   | 3' - 0" | 7' - 0" | 3' - 0"     |
| MAIN FLOOR                 | W3   | 3' - 0" | 7' - 0" | 3' - 0"     |

| Door Schedule MAIN FLOOR |      |          |         |
|--------------------------|------|----------|---------|
| Level                    | Mark | Width    | Height  |
| MAIN FLOOR               | 2    | 2' - 6"  | 8' - 0" |
| MAIN FLOOR               | 3    | 4' - 0"  | 8' - 0" |
| MAIN FLOOR               | 4    | 3' - 0"  | 8' - 0" |
| MAIN FLOOR               | 5    | 10' - 0" | 8' - 0" |

| Room Schedule MAIN FLOOR |         |                     |               |
|--------------------------|---------|---------------------|---------------|
| Level                    | Name    | Area                | Perimeter     |
| MAIN FLOOR               | FAMILY  | 192 ft <sup>2</sup> | 61' - 10 1/4" |
| MAIN FLOOR               | KITCHEN | 162 ft <sup>2</sup> | 50' - 3 1/4"  |
| MAIN FLOOR               | DINING  | 130 ft <sup>2</sup> | 45' - 8"      |
| MAIN FLOOR               | POWDER  | 27 ft <sup>2</sup>  | 20' - 8"      |
| MAIN FLOOR               | FOYER   | 40 ft <sup>2</sup>  | 25' - 9 1/4"  |
| MAIN FLOOR               | LIVING  | 116 ft <sup>2</sup> | 43' - 1 1/4"  |



**1 MAIN FLOOR**  
1/4" = 1'-0"



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REVISIONS  
ISSUED FOR: BP  
REVIEW SET: 2024-07-31 10:16:20 AM

PROJECT:  
LOT B  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
MAIN FLOOR PLAN

SHEET:  
**A103**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23  
PROJECT NUMBER: Project Number

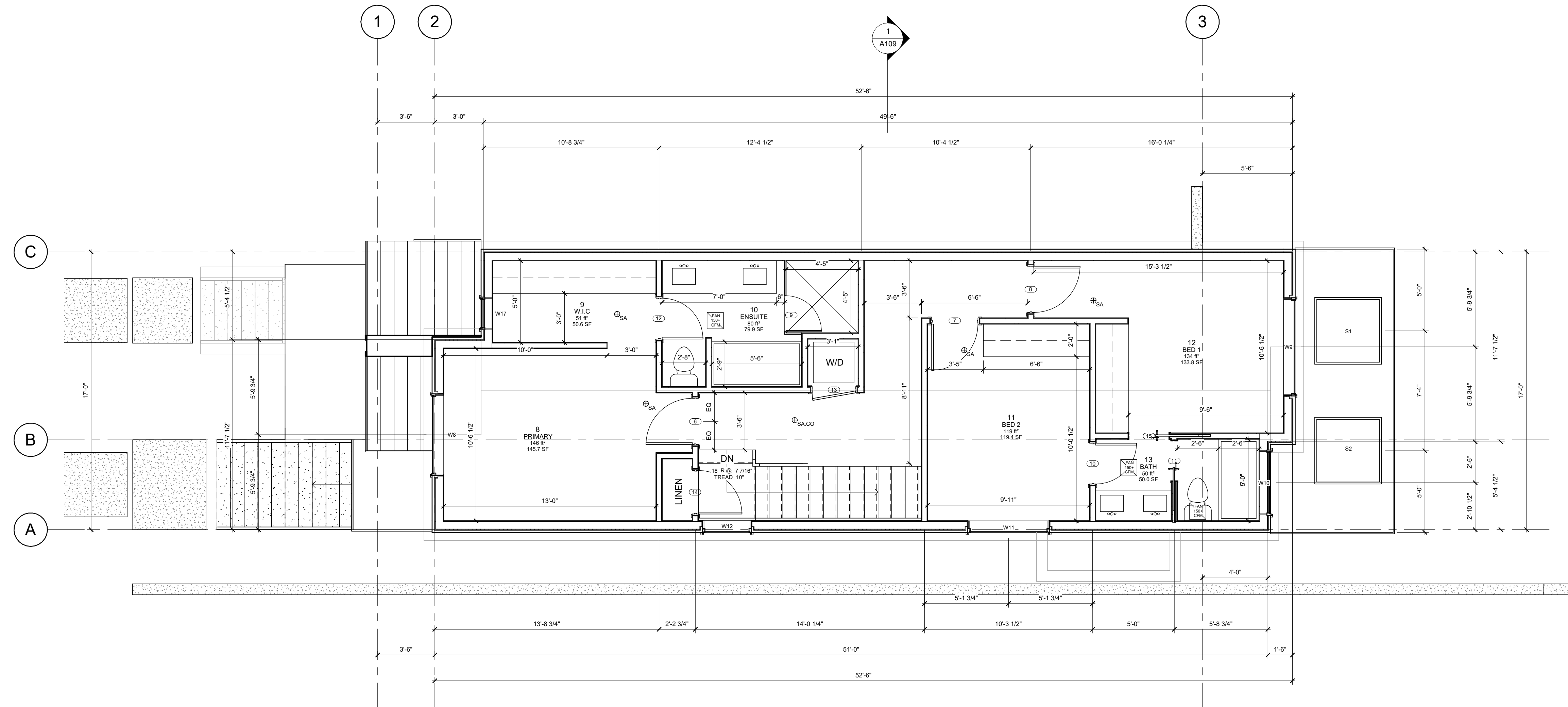
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| Window Schedule 2ND FLOOR |      |         |         |             |
|---------------------------|------|---------|---------|-------------|
| Level                     | Mark | Width   | Height  | Sill Height |
| 2ND FLOOR                 | W8   | 5' - 0" | 7' - 0" | 3' - 0"     |
| 2ND FLOOR                 | W9   | 6' - 0" | 6' - 0" | 2' - 0"     |
| 2ND FLOOR                 | W10  | 4' - 0" | 4' - 0" | 4' - 0"     |
| 2ND FLOOR                 | W11  | 5' - 0" | 5' - 0" | 3' - 0"     |
| 2ND FLOOR                 | W12  | 3' - 0" | 5' - 0" | 3' - 0"     |
| 2ND FLOOR                 | W17  | 2' - 0" | 4' - 0" | 4' - 0"     |

| Door Schedule 2ND FLOOR |      |          |         |
|-------------------------|------|----------|---------|
| Level                   | Mark | Width    | Height  |
| 2ND FLOOR               | 6    | 2' - 10" | 6' - 8" |
| 2ND FLOOR               | 7    | 2' - 10" | 6' - 8" |
| 2ND FLOOR               | 8    | 2' - 10" | 6' - 8" |
| 2ND FLOOR               | 9    | 2' - 2"  | 6' - 8" |
| 2ND FLOOR               | 10   | 2' - 6"  | 6' - 8" |
| 2ND FLOOR               | 11   | 2' - 6"  | 6' - 8" |
| 2ND FLOOR               | 12   | 2' - 6"  | 6' - 8" |
| 2ND FLOOR               | 13   | 2' - 8"  | 6' - 8" |
| 2ND FLOOR               | 14   | 2' - 8"  | 6' - 8" |
| 2ND FLOOR               | 15   | 2' - 6"  | 6' - 8" |

| Room Schedule 2ND FLOOR |         |                     |               |
|-------------------------|---------|---------------------|---------------|
| Level                   | Name    | Area                | Perimeter     |
| 2ND FLOOR               | BATH    | 50 ft <sup>2</sup>  | 30' - 0"      |
| 2ND FLOOR               | BED 1   | 134 ft <sup>2</sup> | 55' - 8"      |
| 2ND FLOOR               | BED 2   | 119 ft <sup>2</sup> | 43' - 11"     |
| 2ND FLOOR               | ENSUITE | 80 ft <sup>2</sup>  | 47' - 5"      |
| 2ND FLOOR               | PRIMARY | 146 ft <sup>2</sup> | 51' - 10 3/4" |
| 2ND FLOOR               | W.I.C   | 51 ft <sup>2</sup>  | 30' - 4 1/2"  |



**1 2ND FLOOR**  
1/4" = 1'-0"



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ISSUED FOR: BP  
REVIEW SET: 2024-07-31 10:16:22 AM

PROJECT:  
LOT B  
652 EAST 4TH ST.  
NORTH VANCOUVER

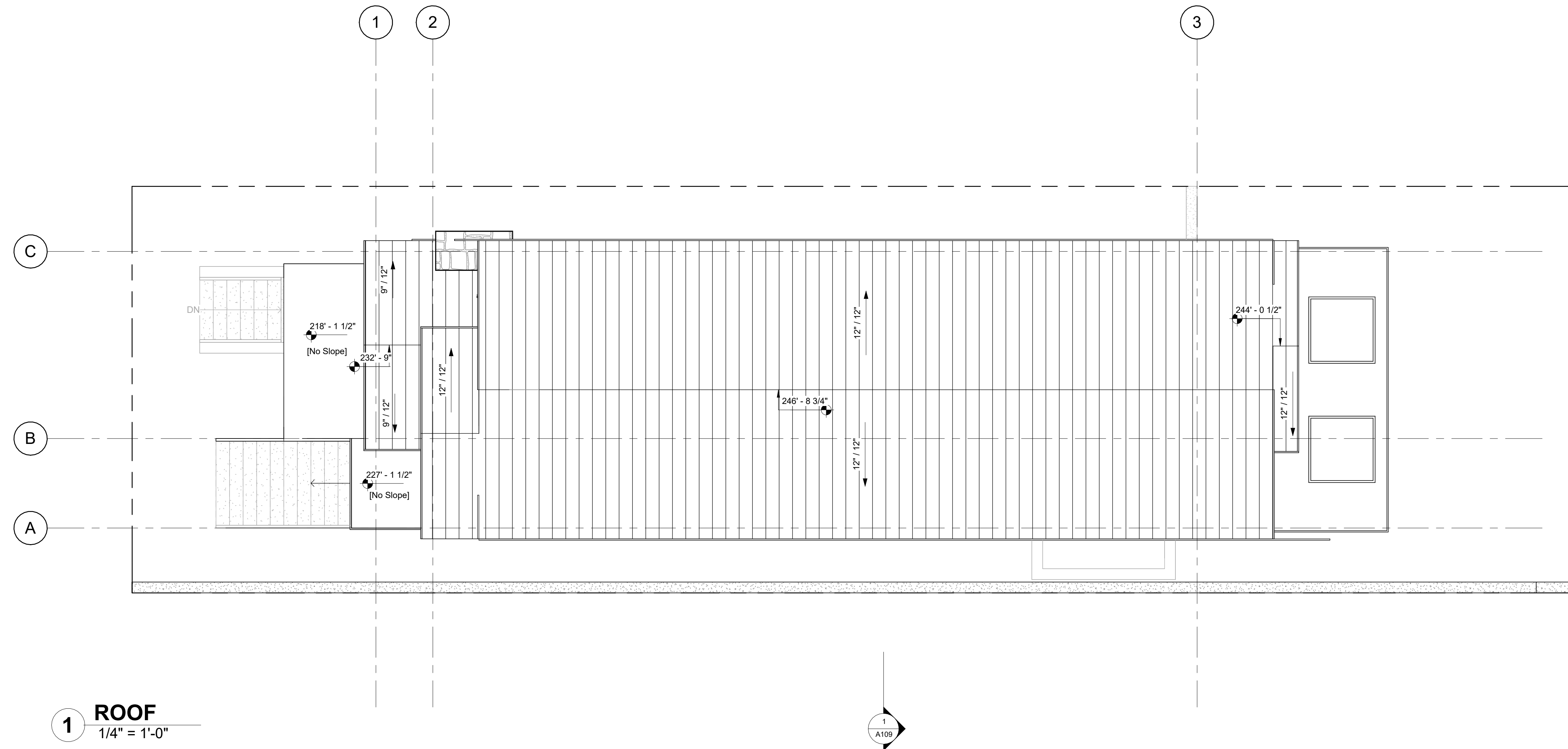
DRAWING TITLE:  
2ND FLOOR PLAN

SHEET:  
**A104**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23

PROJECT NUMBER:  
Project Number

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**1** ROOF  
1/4" = 1'-0"

**1**  
A109



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ISSUED FOR: BP  
REVIEW SET: 2024-07-31 10:16:23 AM

PROJECT:  
LOT B  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
ROOF PLAN

SHEET:  
  
**A105**

DRAWN BY:  
JP

24X36 SCALE:  
1/4" = 1'-0"

PROJECT NUMBER:  
Project Number

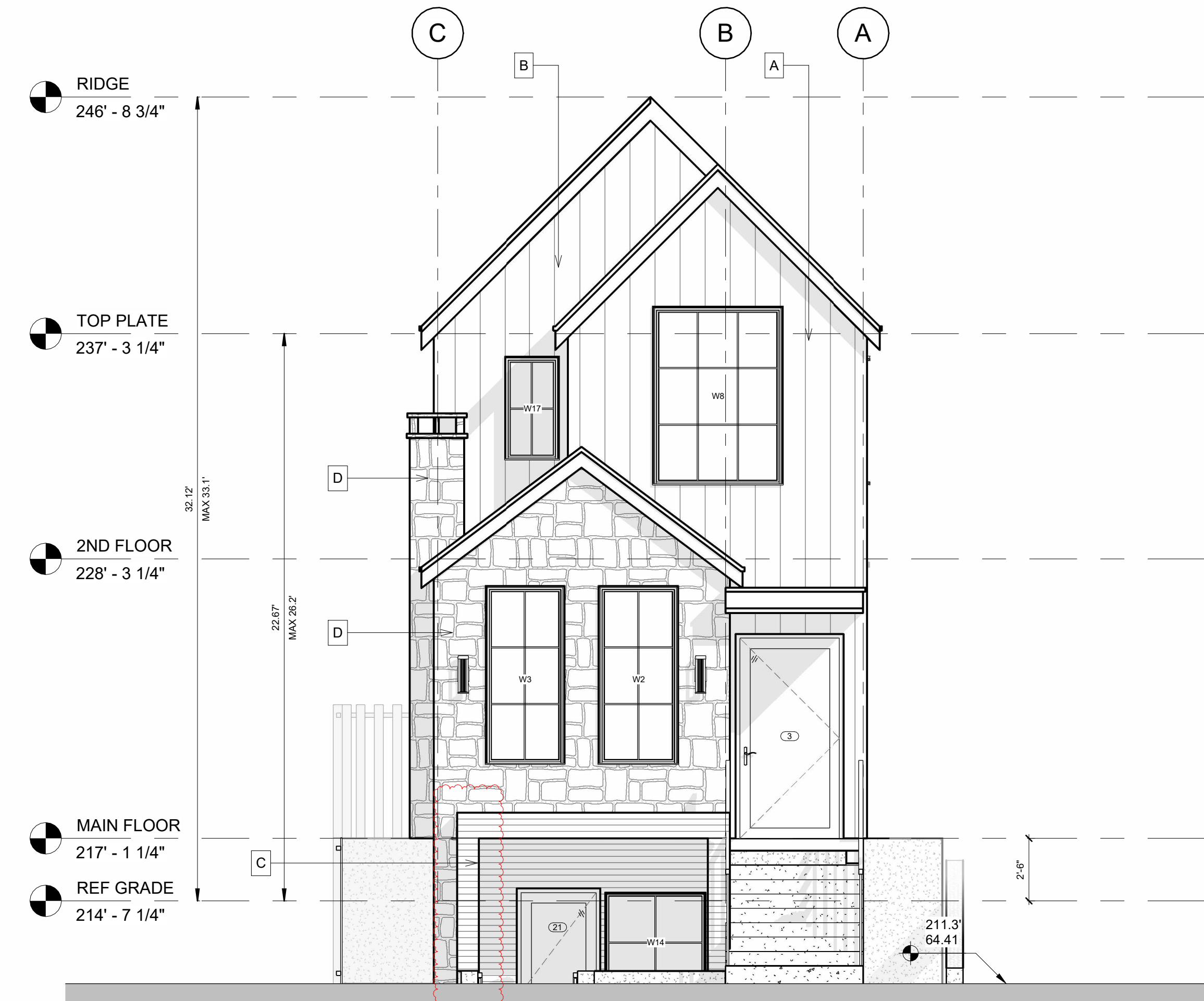
START DATE:  
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**1 NORTH**  
1/4" = 1'-0"



**2 SOUTH**  
1/4" = 1'-0"

| Window Schedule ALL FLOORS |      |             |         |         |                    |
|----------------------------|------|-------------|---------|---------|--------------------|
| Level                      | Mark | Sill Height | Width   | Height  | Area               |
| MAIN FLOOR                 | S1   |             | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| MAIN FLOOR                 | S2   |             | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| MAIN FLOOR                 | W2   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft <sup>2</sup> |
| MAIN FLOOR                 | W3   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft <sup>2</sup> |
| 2ND FLOOR                  | W8   | 3' - 0"     | 5' - 0" | 7' - 0" | 35 ft <sup>2</sup> |
| 2ND FLOOR                  | W9   | 2' - 0"     | 6' - 0" | 6' - 0" | 36 ft <sup>2</sup> |
| 2ND FLOOR                  | W10  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| 2ND FLOOR                  | W11  | 3' - 0"     | 5' - 0" | 5' - 0" | 25 ft <sup>2</sup> |
| 2ND FLOOR                  | W12  | 3' - 0"     | 3' - 0" | 5' - 0" | 15 ft <sup>2</sup> |
| BASEMENT                   | W13  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft <sup>2</sup> |
| BASEMENT                   | W14  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft <sup>2</sup> |
| BASEMENT                   | W15  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft <sup>2</sup> |
| BASEMENT                   | W16  | 5' - 0"     | 6' - 0" | 4' - 0" | 24 ft <sup>2</sup> |
| 2ND FLOOR                  | W17  | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft <sup>2</sup>  |

| Door Schedule EXTERIOR |      |         |         |          |  |
|------------------------|------|---------|---------|----------|--|
| Level                  | Mark | Width   | Height  | Function |  |
| MAIN FLOOR             | 3    | 4' - 0" | 8' - 0" | Exterior |  |
| MAIN FLOOR             | 4    | 3' - 0" | 8' - 0" | Exterior |  |
| BASEMENT               | 21   | 3' - 0" | 8' - 0" | Exterior |  |
| GARAGE SLAB            | 25   | 3' - 0" | 6' - 8" | Exterior |  |

| LEGEND                         |   |
|--------------------------------|---|
| BOARD & BATTEN (WHITE)         | A |
| BOARD & BATTEN (BROWN)         | B |
| HORIZONTAL CEDAR (BROWN)       | C |
| STONE (TBD)                    | D |
| STANDING SEAM METAL (CHARCOAL) | E |



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REVISIONS  
ISSUED FOR: BP  
REVIEW SET: 2024-07-31 10:16:31 AM

PROJECT:  
LOT B  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
ELEVATIONS - NORTH &  
SOUTH

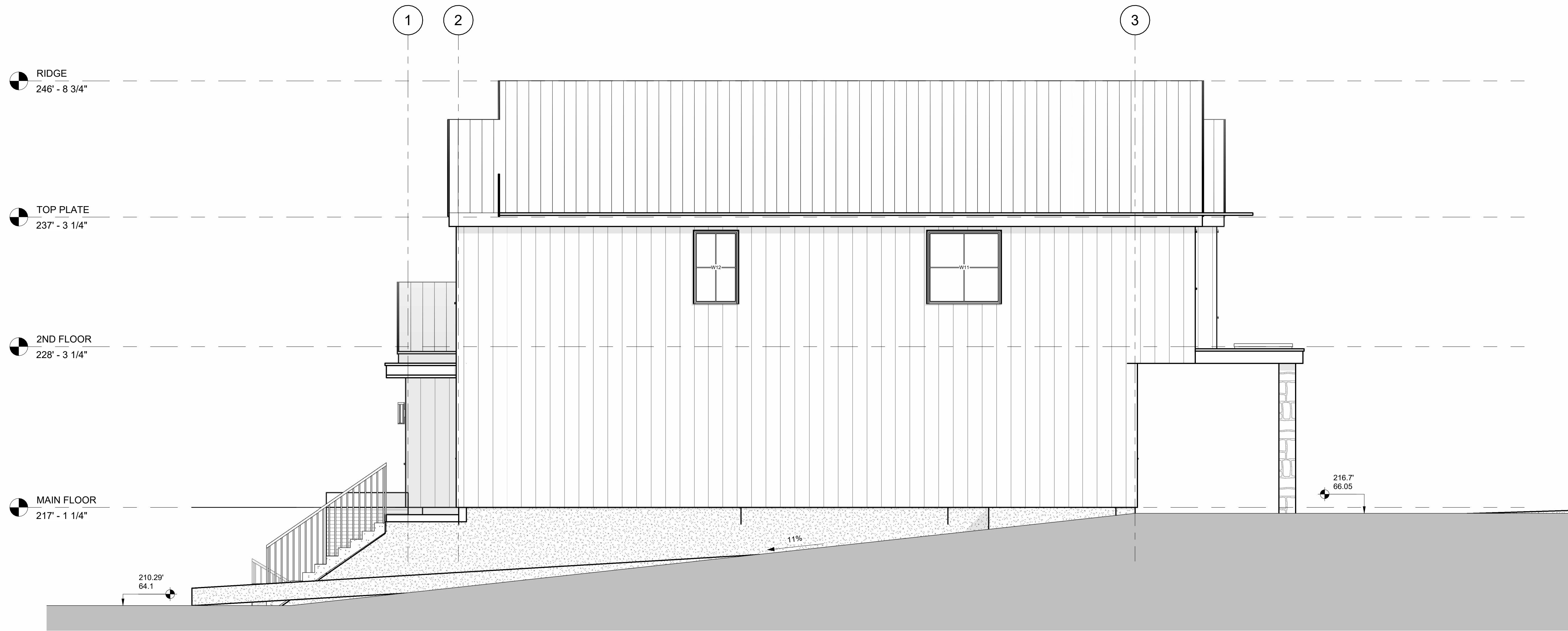
SHEET:  
  
**A106**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
PROJECT NUMBER: Project Number  
START DATE: 05.03.23

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| Window Schedule ALL FLOORS |      |             |         |         |        |
|----------------------------|------|-------------|---------|---------|--------|
| Level                      | Mark | Sill Height | Width   | Height  | Area   |
| MAIN FLOOR                 | S1   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | S2   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | W2   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft² |
| MAIN FLOOR                 | W3   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft² |
| 2ND FLOOR                  | W8   | 3' - 0"     | 5' - 0" | 7' - 0" | 35 ft² |
| 2ND FLOOR                  | W9   | 2' - 0"     | 6' - 0" | 6' - 0" | 36 ft² |
| 2ND FLOOR                  | W10  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| 2ND FLOOR                  | W11  | 3' - 0"     | 5' - 0" | 5' - 0" | 25 ft² |
| 2ND FLOOR                  | W12  | 3' - 0"     | 3' - 0" | 5' - 0" | 15 ft² |
| BASEMENT                   | W13  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W14  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| BASEMENT                   | W15  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W16  | 5' - 0"     | 6' - 0" | 4' - 0" | 24 ft² |
| 2ND FLOOR                  | W17  | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft²  |

| Door Schedule EXTERIOR |      |         |         |          |
|------------------------|------|---------|---------|----------|
| Level                  | Mark | Width   | Height  | Function |
| MAIN FLOOR             | 3    | 4' - 0" | 8' - 0" | Exterior |
| MAIN FLOOR             | 4    | 3' - 0" | 8' - 0" | Exterior |
| BASEMENT               | 21   | 3' - 0" | 8' - 0" | Exterior |
| GARAGE SLAB            | 25   | 3' - 0" | 6' - 8" | Exterior |



**1 WEST**  
1/4" = 1'-0"

| LEGEND                         |   |
|--------------------------------|---|
| BOARD & BATTEN (WHITE)         | A |
| BOARD & BATTEN (BROWN)         | B |
| HORIZONTAL CEDAR (BROWN)       | C |
| STONE (TBD)                    | D |
| STANDING SEAM METAL (CHARCOAL) | E |



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ISSUED FOR: BP  
REVIEW SET: 2024-07-31 10:16:38 AM

PROJECT:  
LOT B  
652 EAST 4TH ST.  
NORTH VANCOUVER

DRAWING TITLE:  
ELEVATIONS - WEST

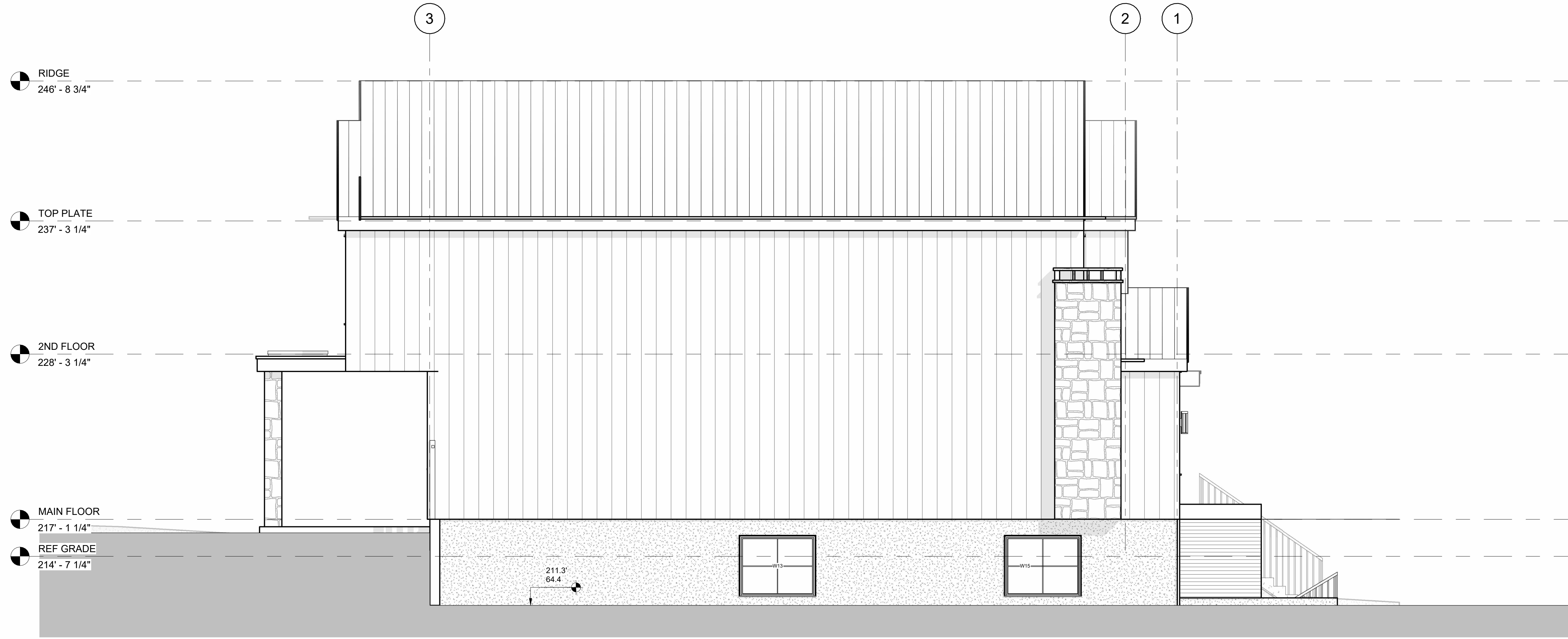
SHEET:  
**A107**

DRAWN BY: JP  
24X36 SCALE: 1/4" = 1'-0"  
START DATE: 05.03.23  
PROJECT NUMBER: Project Number

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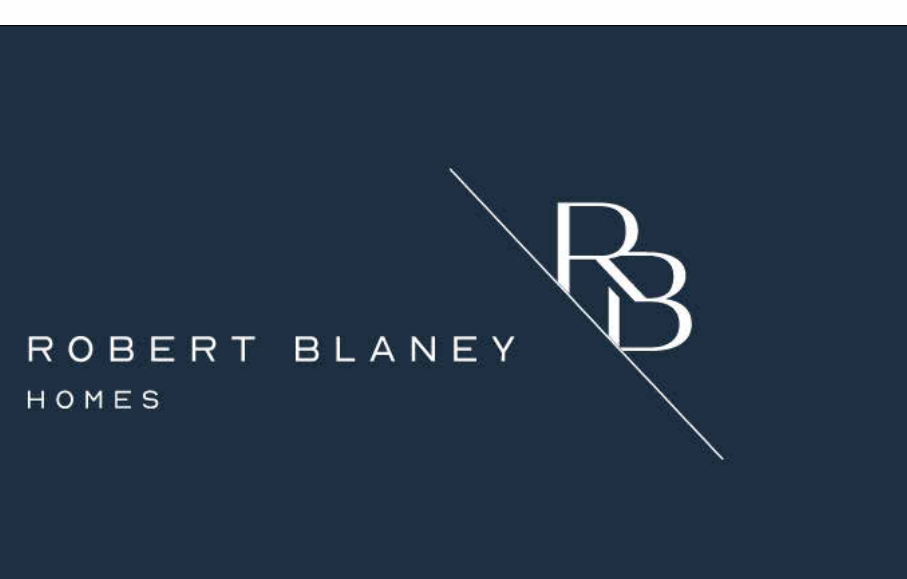
| Window Schedule ALL FLOORS |      |             |         |         |        |
|----------------------------|------|-------------|---------|---------|--------|
| Level                      | Mark | Sill Height | Width   | Height  | Area   |
| MAIN FLOOR                 | S1   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | S2   |             | 4' - 0" | 4' - 0" | 16 ft² |
| MAIN FLOOR                 | W2   |             | 3' - 0" | 7' - 0" | 21 ft² |
| MAIN FLOOR                 | W3   | 3' - 0"     | 3' - 0" | 7' - 0" | 21 ft² |
| 2ND FLOOR                  | W8   | 3' - 0"     | 5' - 0" | 7' - 0" | 35 ft² |
| 2ND FLOOR                  | W9   | 2' - 0"     | 6' - 0" | 6' - 0" | 36 ft² |
| 2ND FLOOR                  | W10  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| 2ND FLOOR                  | W11  | 3' - 0"     | 5' - 0" | 5' - 0" | 25 ft² |
| 2ND FLOOR                  | W12  | 3' - 0"     | 3' - 0" | 5' - 0" | 15 ft² |
| BASEMENT                   | W13  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W14  | 4' - 0"     | 4' - 0" | 4' - 0" | 16 ft² |
| BASEMENT                   | W15  | 5' - 0"     | 5' - 0" | 4' - 0" | 20 ft² |
| BASEMENT                   | W16  | 5' - 0"     | 6' - 0" | 4' - 0" | 24 ft² |
| 2ND FLOOR                  | W17  | 4' - 0"     | 2' - 0" | 4' - 0" | 8 ft²  |

| Door Schedule EXTERIOR |      |         |         |          |
|------------------------|------|---------|---------|----------|
| Level                  | Mark | Width   | Height  | Function |
| MAIN FLOOR             | 3    | 4' - 0" | 8' - 0" | Exterior |
| MAIN FLOOR             | 4    | 3' - 0" | 8' - 0" | Exterior |
| BASEMENT               | 21   | 3' - 0" | 8' - 0" | Exterior |
| GARAGE SLAB            | 25   | 3' - 0" | 6' - 8" | Exterior |

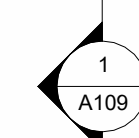


**1 EAST**  
1/4" = 1'-0"

| LEGEND                         |   |
|--------------------------------|---|
| BOARD & BATTEN (WHITE)         | A |
| BOARD & BATTEN (BROWN)         | B |
| HORIZONTAL CEDAR (BROWN)       | C |
| STONE (TBD)                    | D |
| STANDING SEAM METAL (CHARCOAL) | E |



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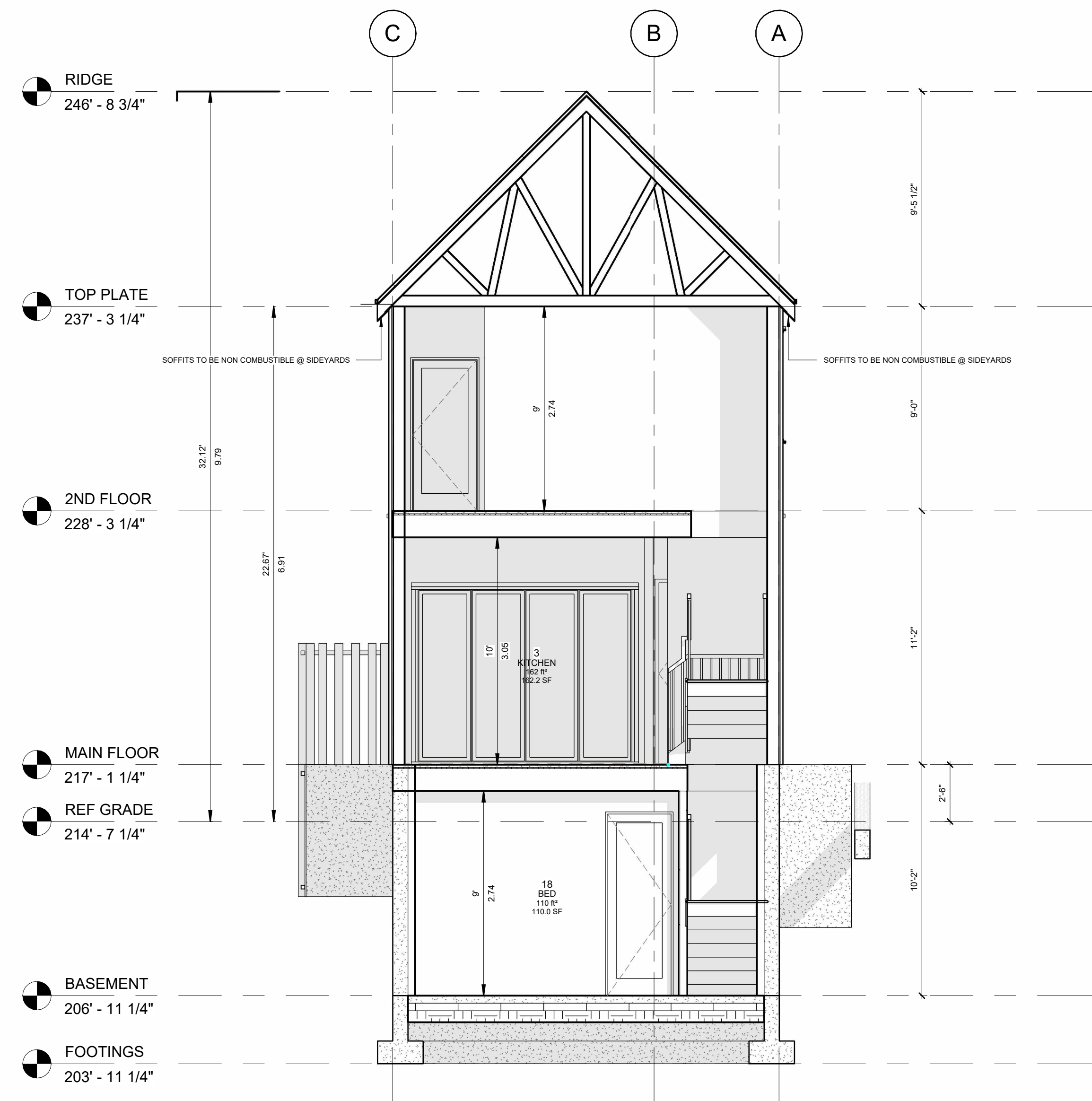
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PROJECT:  
LOT B  
652 EAST 4TH ST.  
NORTH VANCOUVER  
  
DRAWING TITLE:  
**ELEVATIONS - EAST**

SHEET:  
  
**A108**

DRAWN BY: JP  
  
24X36 SCALE: 1/4" = 1'-0"  
  
START DATE: 05.03.23  
  
PROJECT NUMBER: Project Number

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**W1 EXTERIOR WALL (ABOVE GRADE)**

CLADDING  
 1/2" PURLINS OR RAIN-SCREEN SYSTEM  
 TYVEK SEALED & TAPED  
 1/2" PLYWOOD SHEATHING  
 2X6" STUDS @ 16" O.C  
 BATT INSULATION (R24)  
 6MIL POLY V.B  
 1/2" G.W.B PAINTED  
 AIR FILM (INTERIOR)

**W2 FURRED FOUNDATION WALL**

DRAINAGE MAT W/ FILTER FABRIC  
 2 COATS OF BITUMINOUS SEALANT  
 8" FOUNDATION WALL  
 2X4" STUDS @ 16" O.C  
 BATT INSULATION (R28)  
 6MIL POLY V.B.  
 1/2" G.W.B  
 AIR FILM (INTERIOR)

**W3 FOUNDATION WALL**

DRAINAGE MAT W/ FILTER FABRIC  
 2 COATS OF BITUMINOUS SEALANT  
 8" CONCRETE WALL

**W4 INTERIOR WALL - 2x6"**

1/2" G.W.B BOTH SIDES  
 2X6" STUDS @ 16" O.C

**W5 INTERIOR SEPERATION WALL - RATED**

45 MIN. F.R.R./S.T.C. 50 REQUIRED  
 45 MIN. F.R.R./S.T.C. 50 PROVIDED  
  
 1 LAYER 1/2" TYPE 'X' G.W.B.  
 TWO ROWS 38 MM x 89 MM STUDS EACH SPACED 400 MM OR  
 600 MM O.C. STAGGERED ON COMMON 38 MM x 140 MM PLATE  
 89 MM THICK ABSORPTIVE MATERIAL ON ONE SIDE  
 2 LAYERS 1/2" TYPE 'X' G.W.B.

REFER TO  
 B.C.B.C. 2018 / DIV-B / APPENDIX-A  
 TABLE A-9.10.3.1.A  
 TYPE W8B

**F1 FLOOR OVER CONDITIONED SPACE**

FLOOR FINISH  
 1-1/2" CONCRETE TOPPING  
 3/4" T&G FLOOR SHEATHING GLUED & SCREWED  
 11-7/8" TJI JOISTS @ 12" O.C  
 1/2" G.W.B PAINTED

**F2 FLOOR OVER UNCONDITIONED SPACE**

FLOOR FINISH  
 1-1/2" CONCRETE TOPPING  
 3/4" T&G FLOOR SHEATHING GLUED & SCREWED  
 11-7/8" TJI JOISTS @ 16" O.C  
 BATT INSUL (R28)

**F3 BASEMENT SLAB**

FLOOR FINISH  
 4" REINFORCED CONCRETE SLAB  
 6MIL POLY V.B  
 RIGID INSULATION UNDER SLAB (R12)  
 6" MIN. COMPACTED GRANULAR BASE  
 RADON GAS VENTED

**F4 PATIO SLAB/DRIVEWAY ON GRADE**

4" REINFORCED CONCRETE SLAB  
 6" MIN. COMPACTED GRANULAR BASE

**F5 MAIN FLOOR OVER SUITE - RATED**

60 MIN. F.R.R. REQUIRED/S.T.C. 50 REQUIRED  
 60 MIN. F.R.R. PROVIDED/S.T.C. 54 PROVIDED

FLOOR FINISH  
 3/4" FIR PLYWOOD FLOOR SHEATHING  
 11 7/8" TJI FLOOR JOISTS  
 BATT INSULATION (R22)  
 RESILIENT METAL CHANNEL SPACED 24" O/C  
 5/8" TYPE 'X' G.W.B.

REFER TO  
 B.C.B.C. 2018 / DIV-B / APPENDIX-A  
 TABLE A-9.10.3.1.B  
 TYPE F9D

**R1 TRUSS ROOF**

STANDING SEAM METAL  
 UNDERLAYMENT  
 3/4" ROOF SHAETHING  
 2X4" CROSS STRAPPING @ 24" O.C  
 ENGINEERED TRUSSES @ 24" O.C  
 BLOWN INSULATION (R50)  
 6MIL POLY V.B. TAPED AND SEALED  
 1/2" G.W.B PAINTED  
 AIR FILM (INTERIOR)

**R2 FLAT ROOF**

2 LAYERS TORCH ON ROOFING  
 3/4" ROOF SHAETHING  
 2X4" CROSS STRAPPING @ 16" O.C  
 TGI RAFTERS @ 16" O.C  
 BATT INSULATION (R28)  
 6MIL POLY V.B. TAPED AND SEALED  
 1/2" G.W.B PAINTED  
 AIR FILM (INTERIOR)

**1 Section 1**  
 1/4" = 1'-0"



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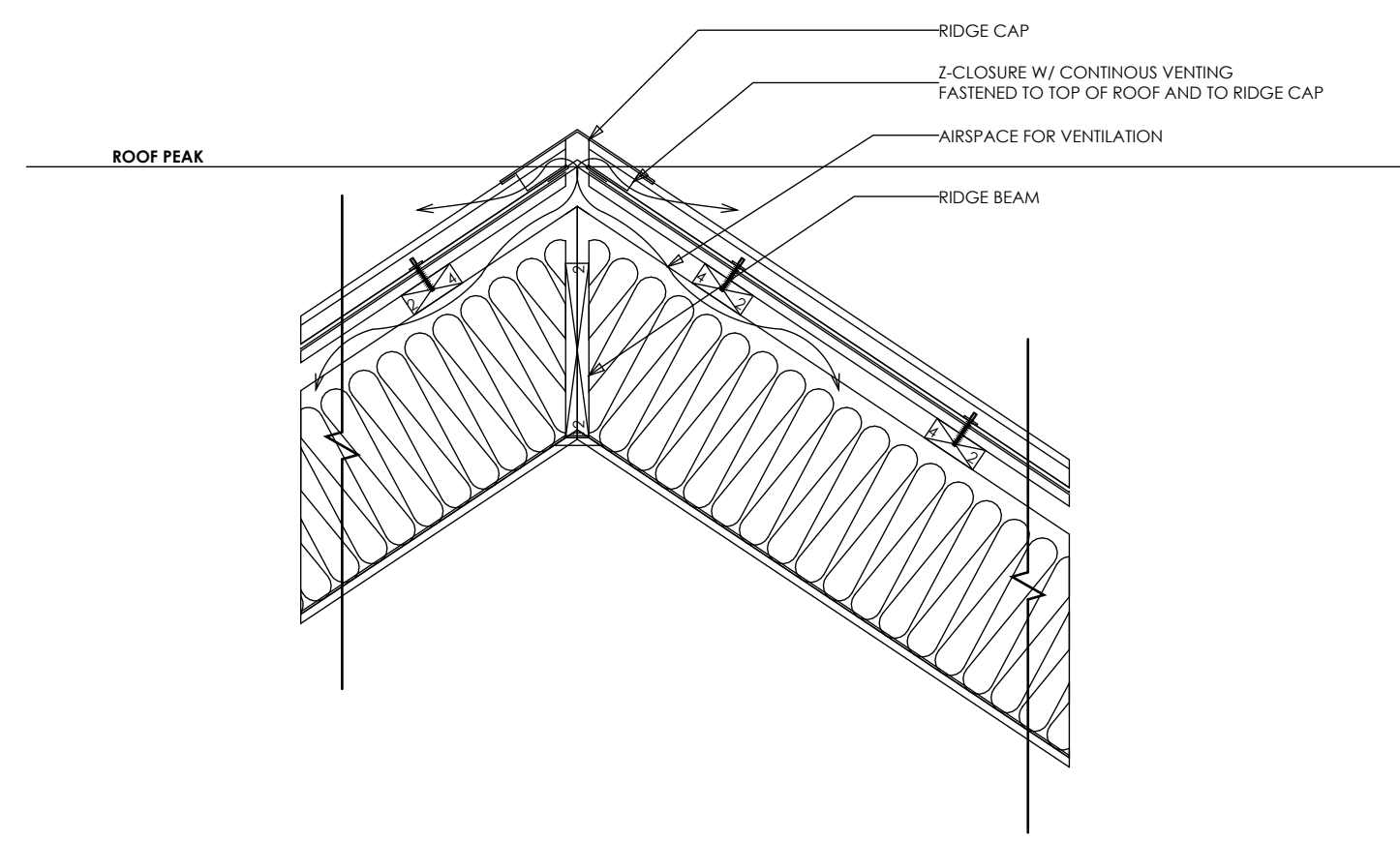
PROJECT:  
 LOT B  
 652 EAST 4TH ST.  
 NORTH VANCOUVER

SHEET:  
  
**A109**

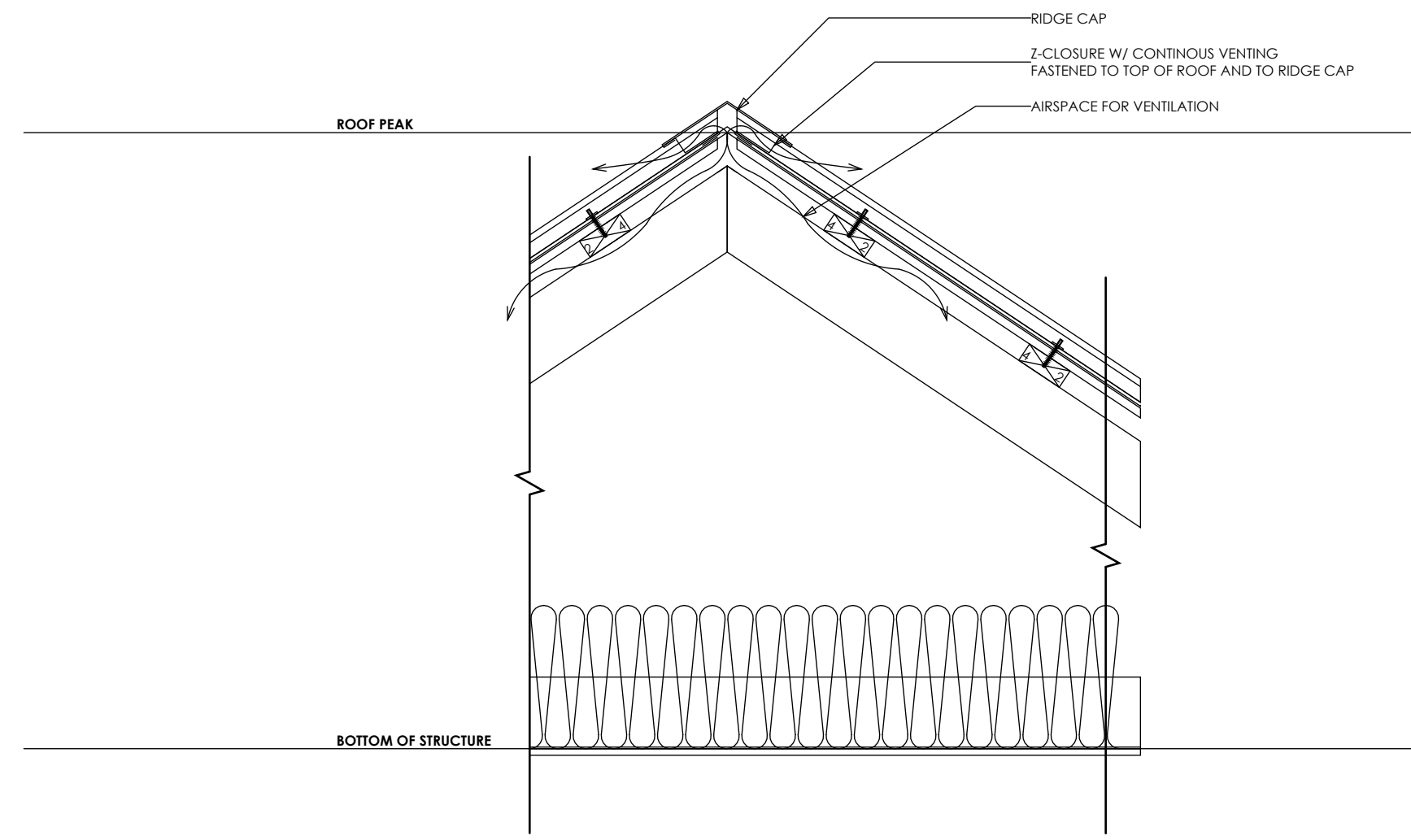
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 24X36 SCALE: 1/4" = 1'-0"  
 PROJECT NUMBER: Project Number  
 START DATE: 05.03.23

DRAWING TITLE:  
**SECTIONS &  
 ASSEMBLIES**

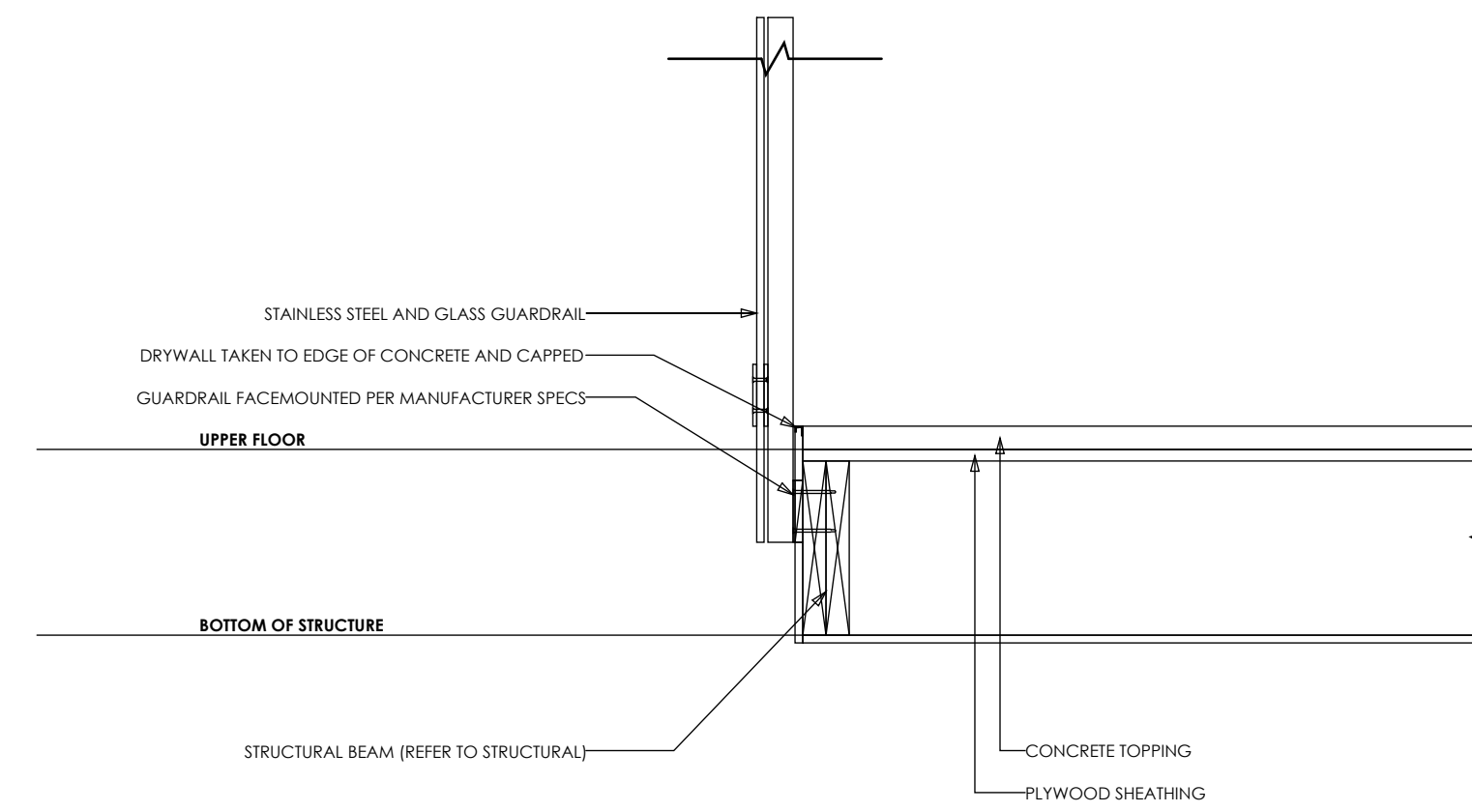
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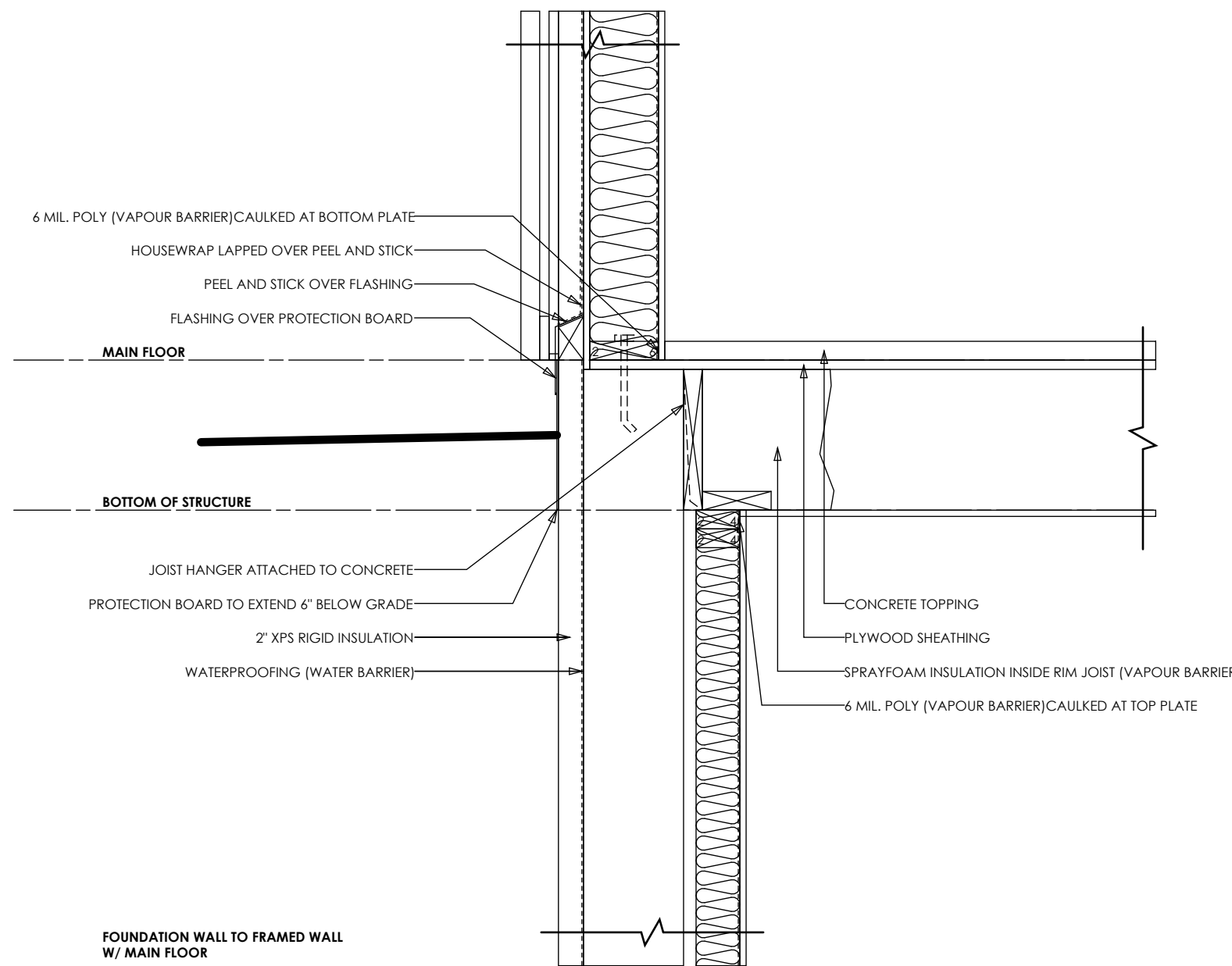
**9 RIDGE VENTING - VAULT**  
1" = 1'-0"



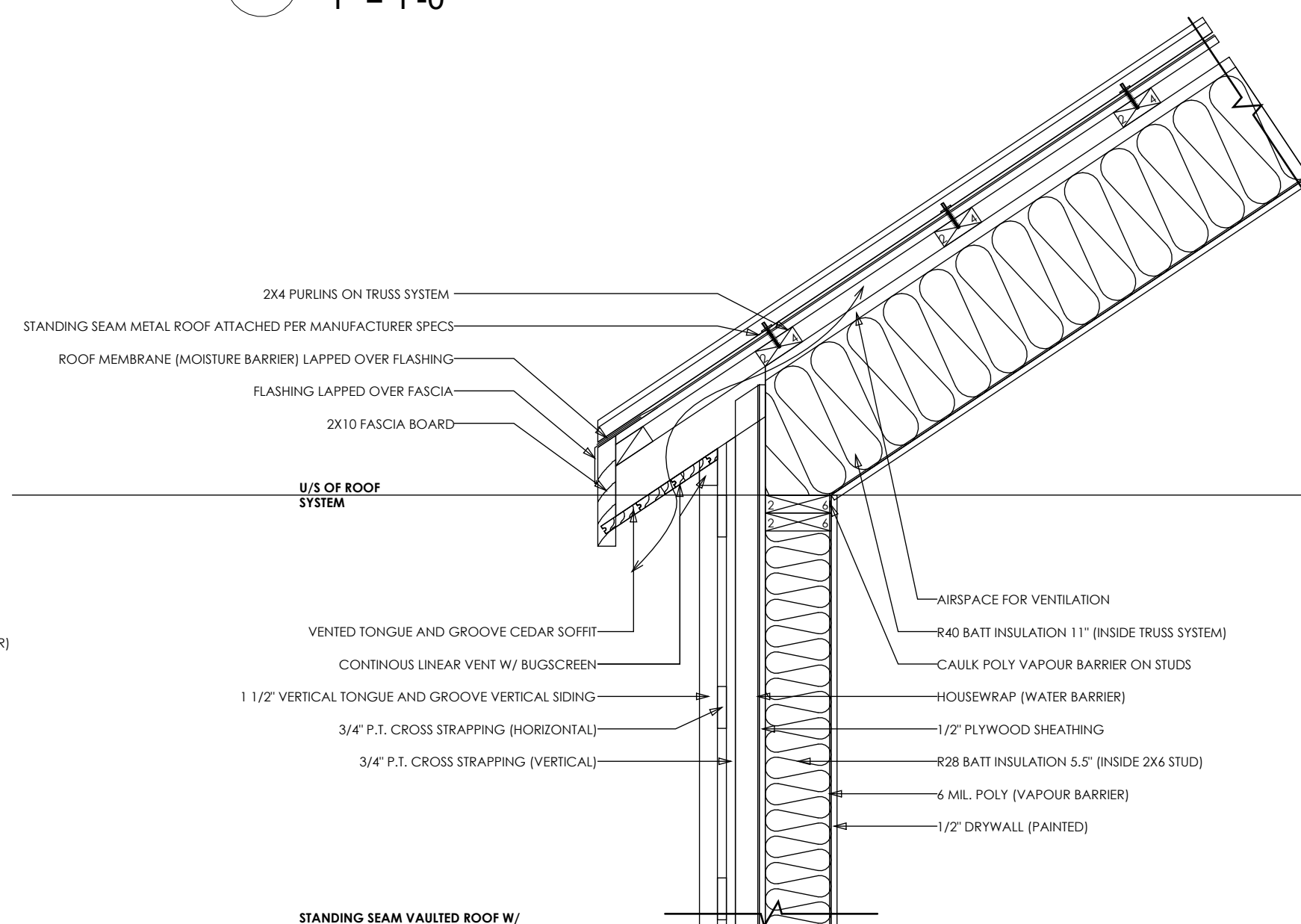
**8 RIDGE VENTING - TRUSS**  
1" = 1'-0"



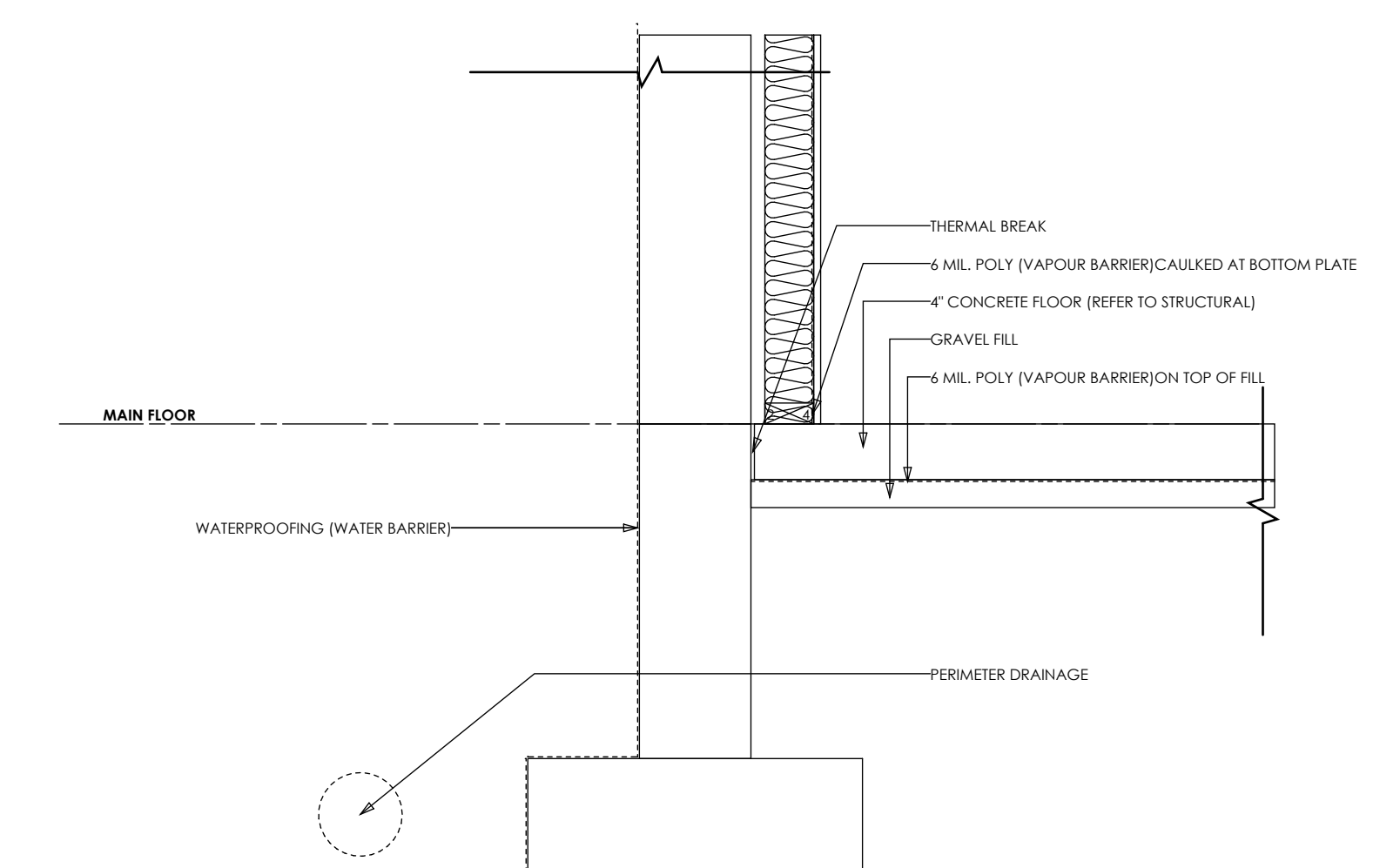
**10 GUARDRAIL**  
1" = 1'-0"



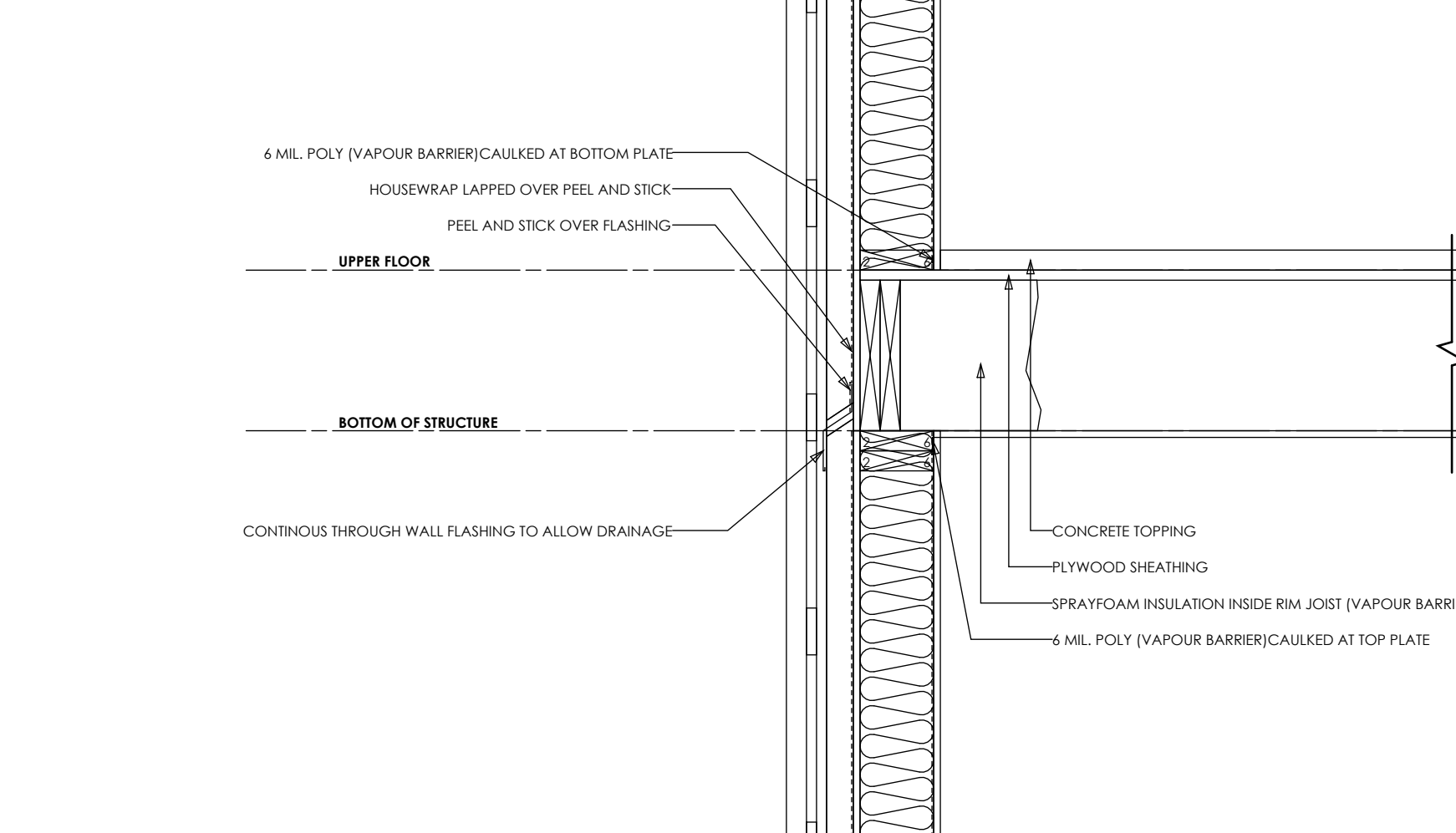
**5 FOUNDATION TO MAIN**  
1" = 1'-0"



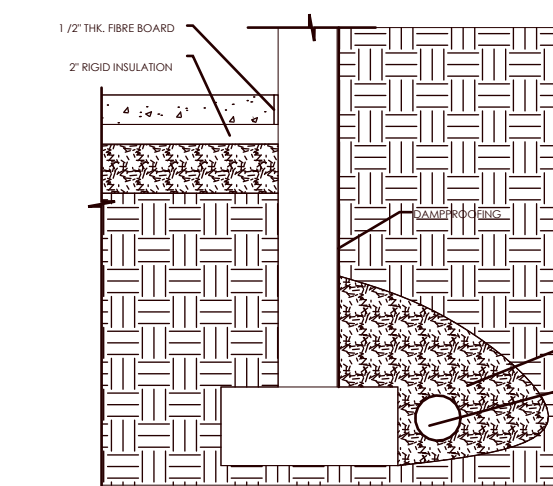
**7 2ND TO ROOF**  
1" = 1'-0"



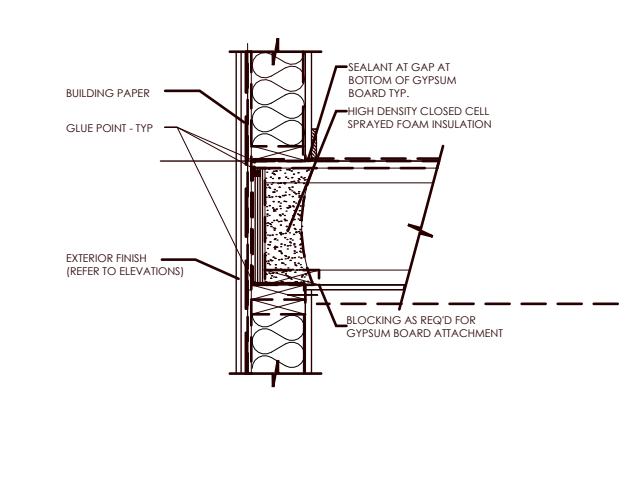
**4 FOOTING TO FOUNDATION**  
1" = 1'-0"



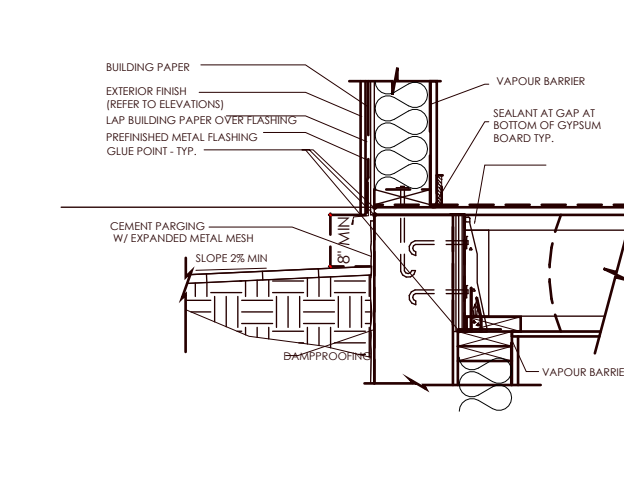
**6 MAIN TO 2ND**  
1" = 1'-0"



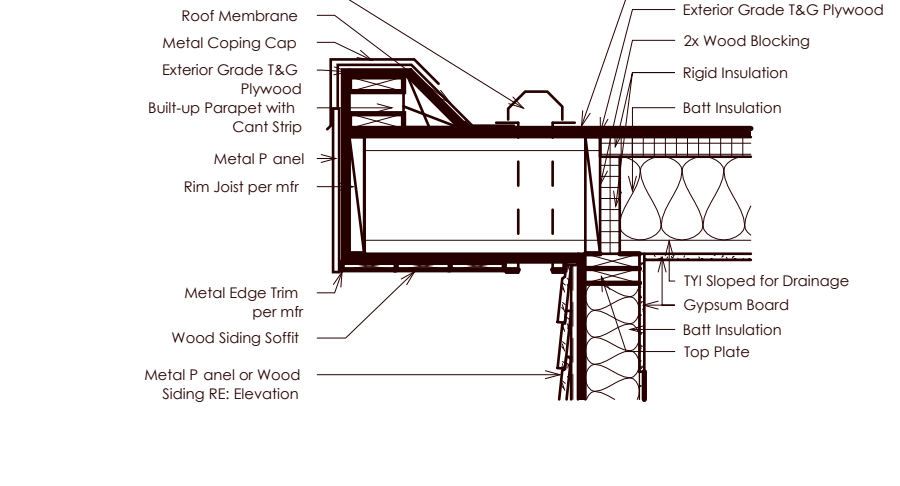
**2 FOUNDATION**



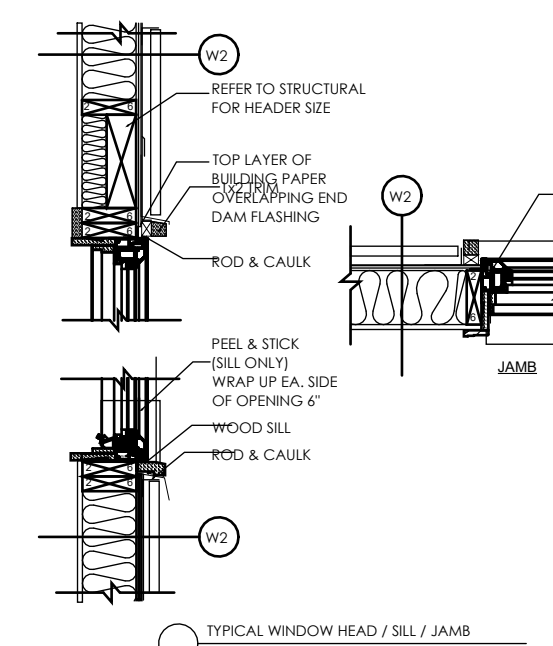
**3 FLOOR JOIST**



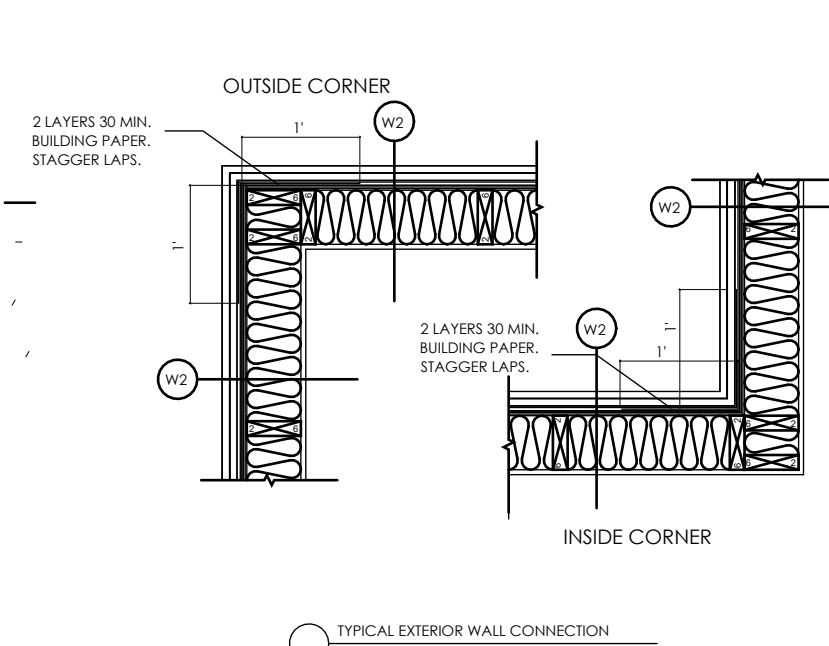
**4 FLOOR JOIST**



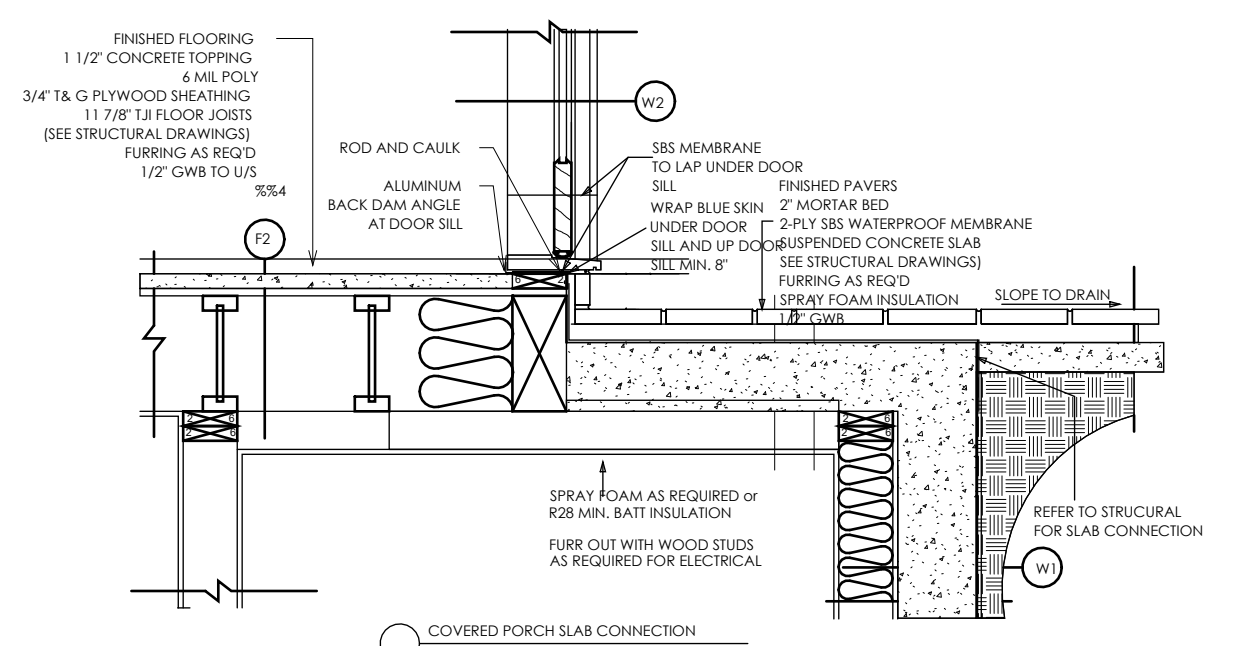
**5 FLAT ROOF O.H**



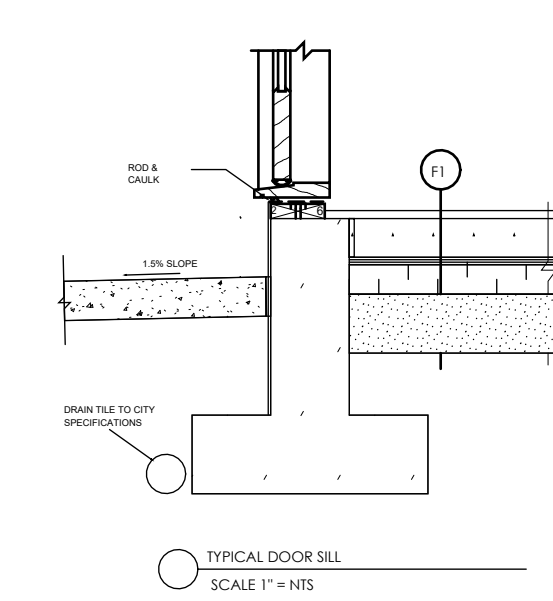
**TYPICAL WINDOW HEAD / SILL / JAMB**  
SCALE 1" = 4" NS



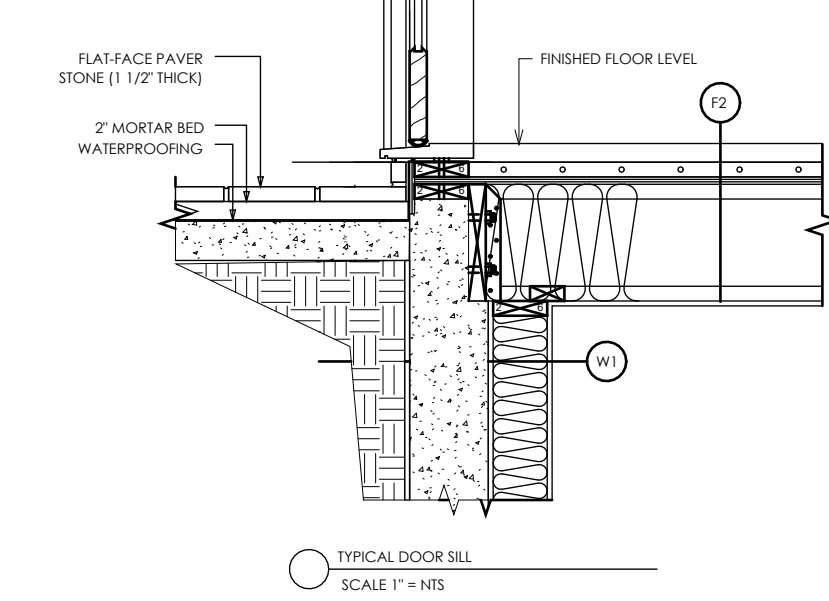
**TYPICAL EXTERIOR WALL CONNECTION**  
SCALE 1" = 4" NS



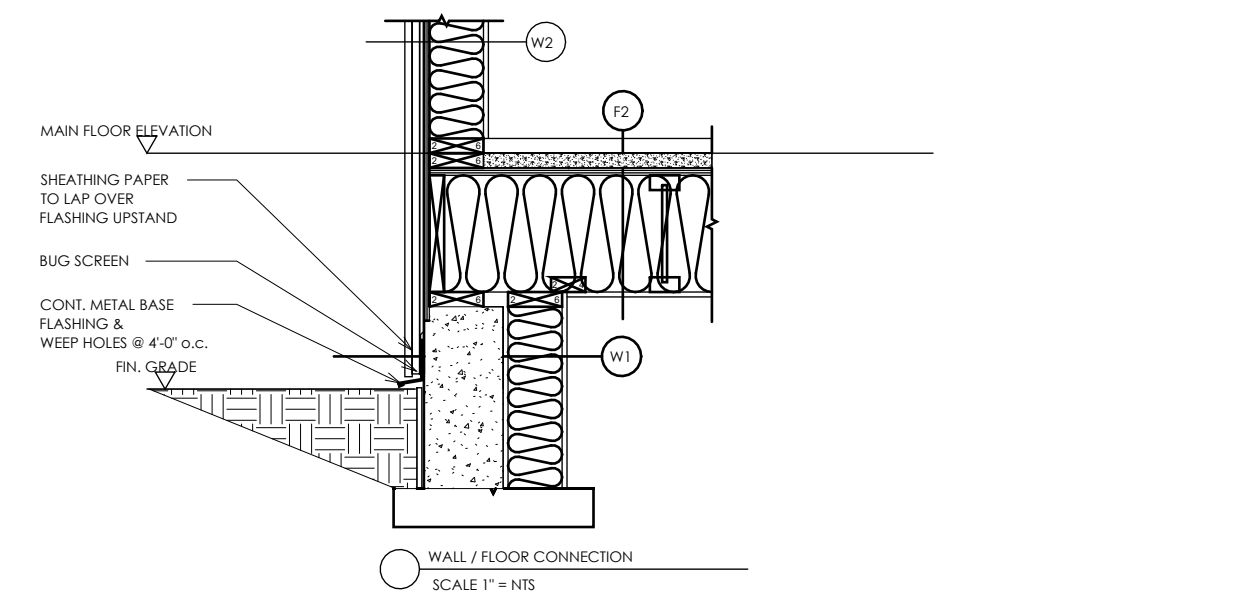
**COVERED PORCH SLAB CONNECTION**  
SCALE 1" = 4" NS



**TYPICAL DOOR SILL**  
SCALE 1" = 4" NS



**TYPICAL DOOR SILL**  
SCALE 1" = 4" NS



**WALL / FLOOR CONNECTION**  
SCALE 1" = 4" NS



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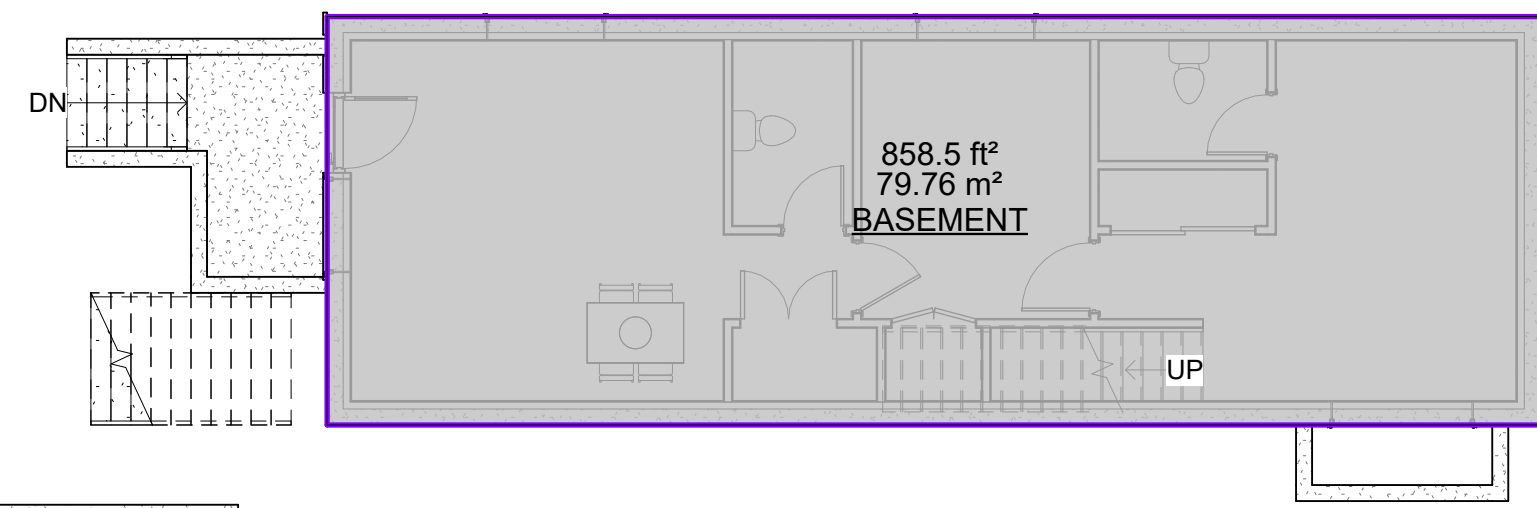
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652 EAST 4TH ST.  
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DETAILS

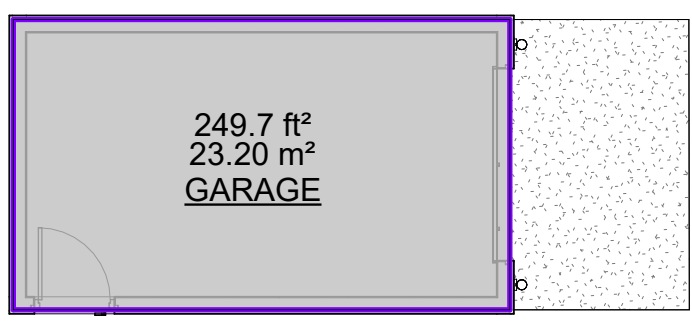
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24X36 SCALE: As indicated  
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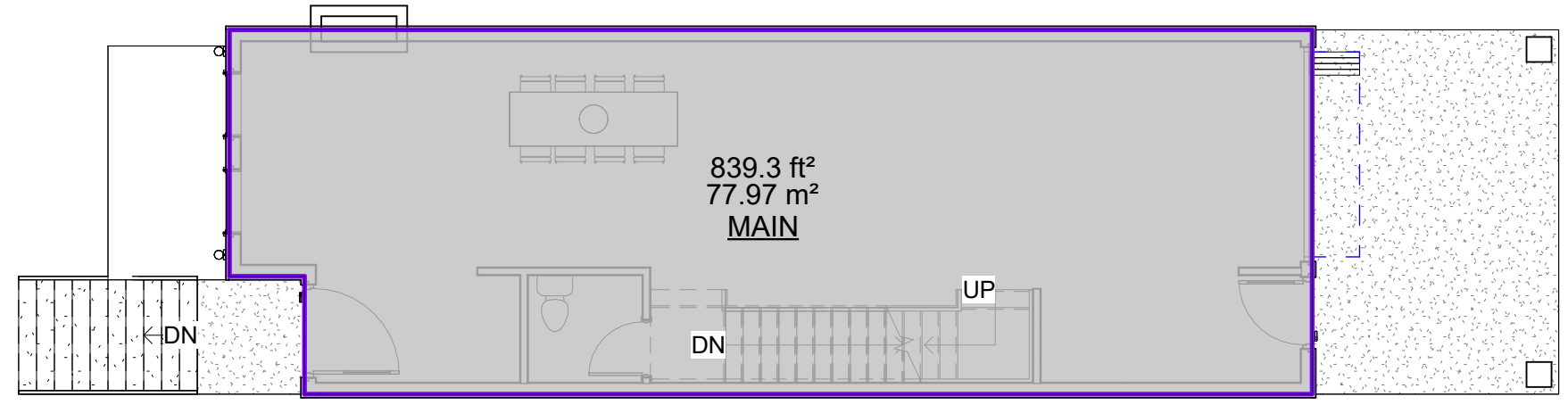


**3 BASEMENT**  
1/8" = 1'-0"

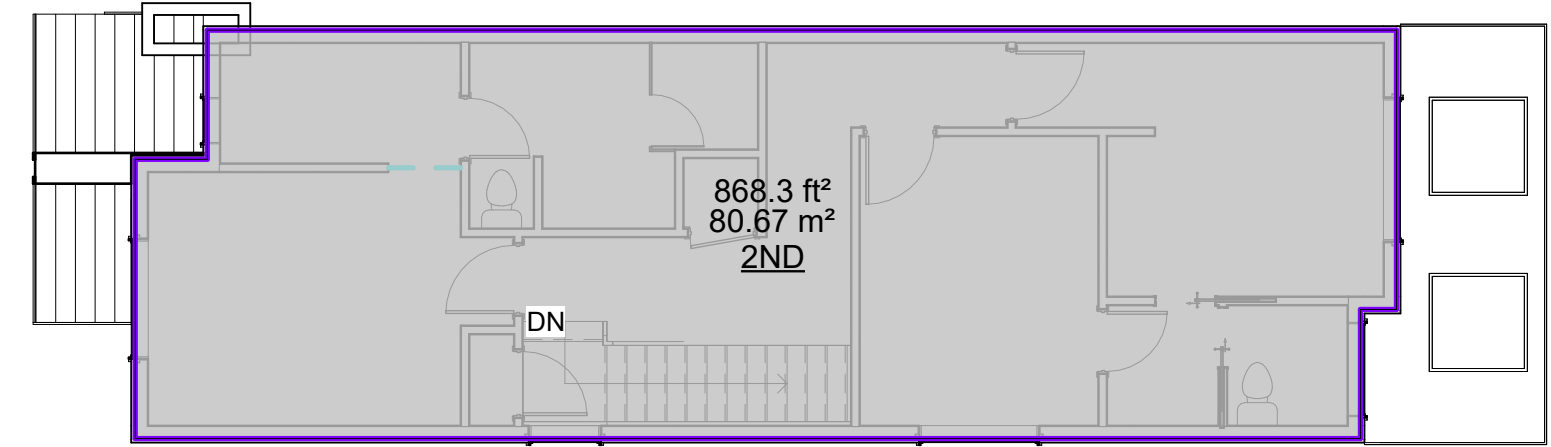


**4 GARAGE**  
1/8" = 1'-0"

| Area Schedule (Gross Building) |          |             |           |
|--------------------------------|----------|-------------|-----------|
| Name                           | Area     | Level       | Perimeter |
| MAIN                           | 839 ft²  | MAIN FLOOR  | 135' - 0" |
| 2ND                            | 868 ft²  | 2ND FLOOR   | 139' - 0" |
| BASEMENT                       | 859 ft²  | BASEMENT    | 135' - 0" |
| GARAGE                         | 250 ft²  | GARAGE SLAB | 65' - 6"  |
|                                | 2816 ft² |             |           |



**1 MAIN FLOOR**  
1/8" = 1'-0"



**2 2ND FLOOR**  
1/8" = 1'-0"



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NORTH VANCOUVER

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F.A.R

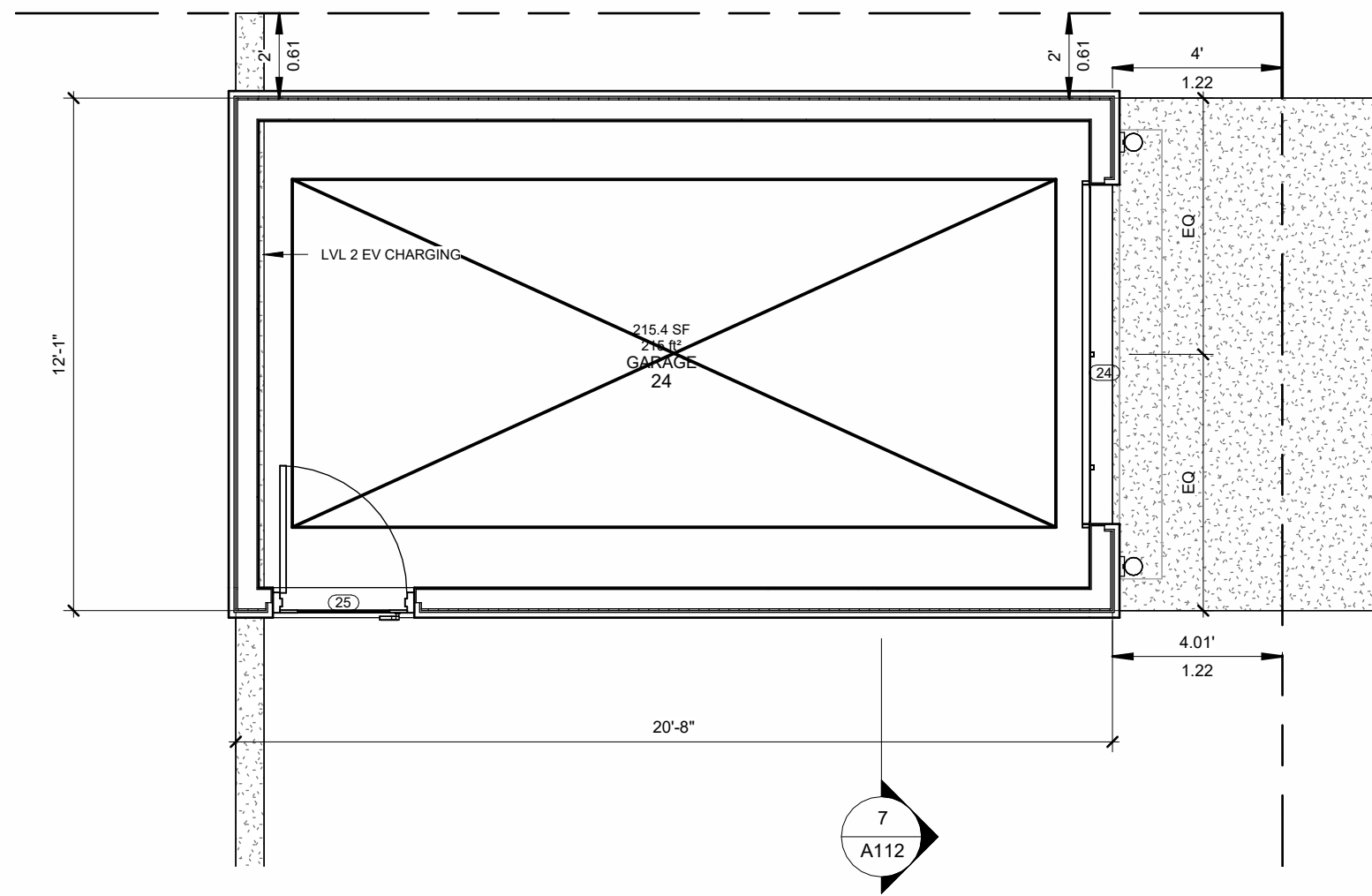
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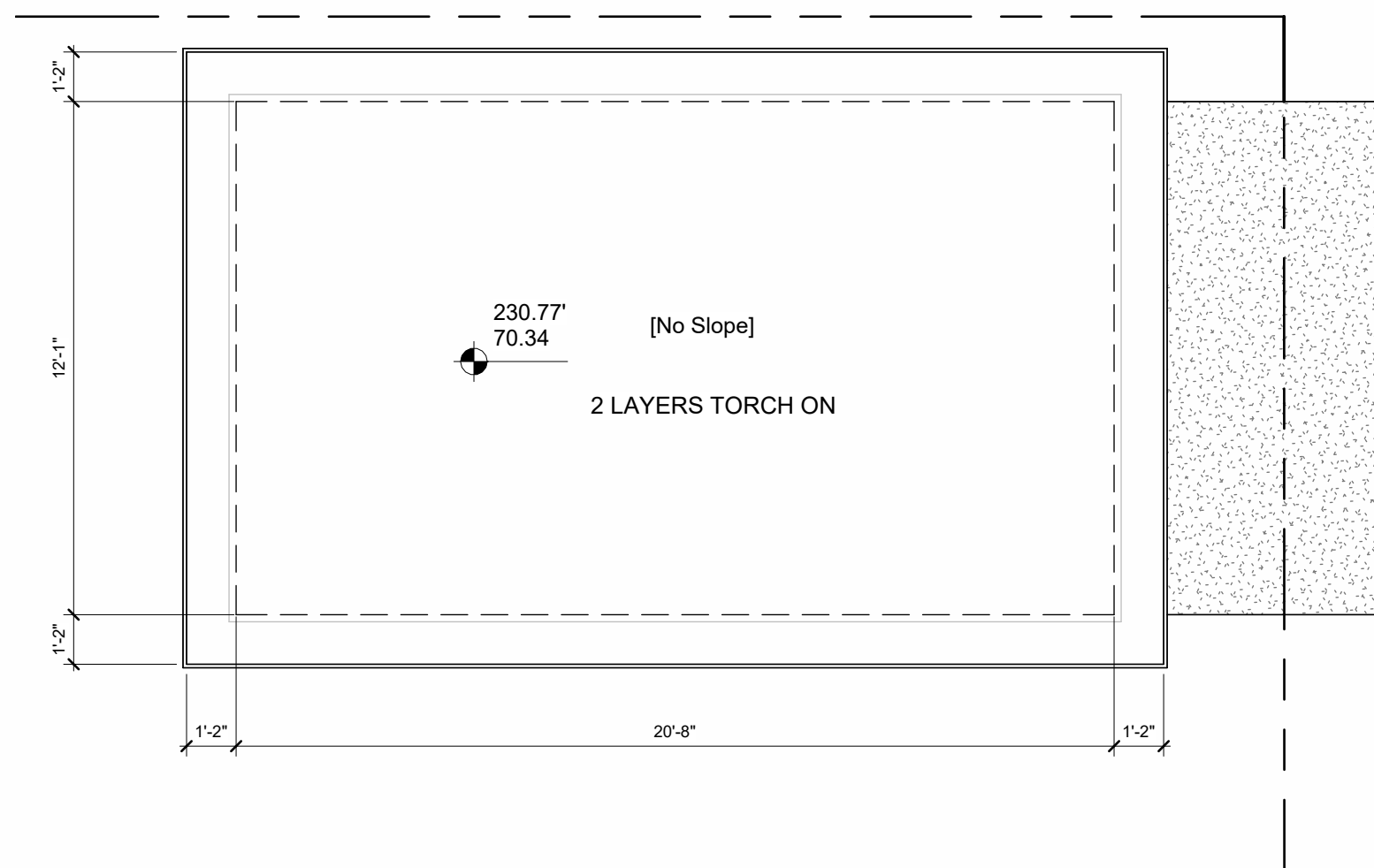
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PROJECT NUMBER: Project Number

START DATE:  
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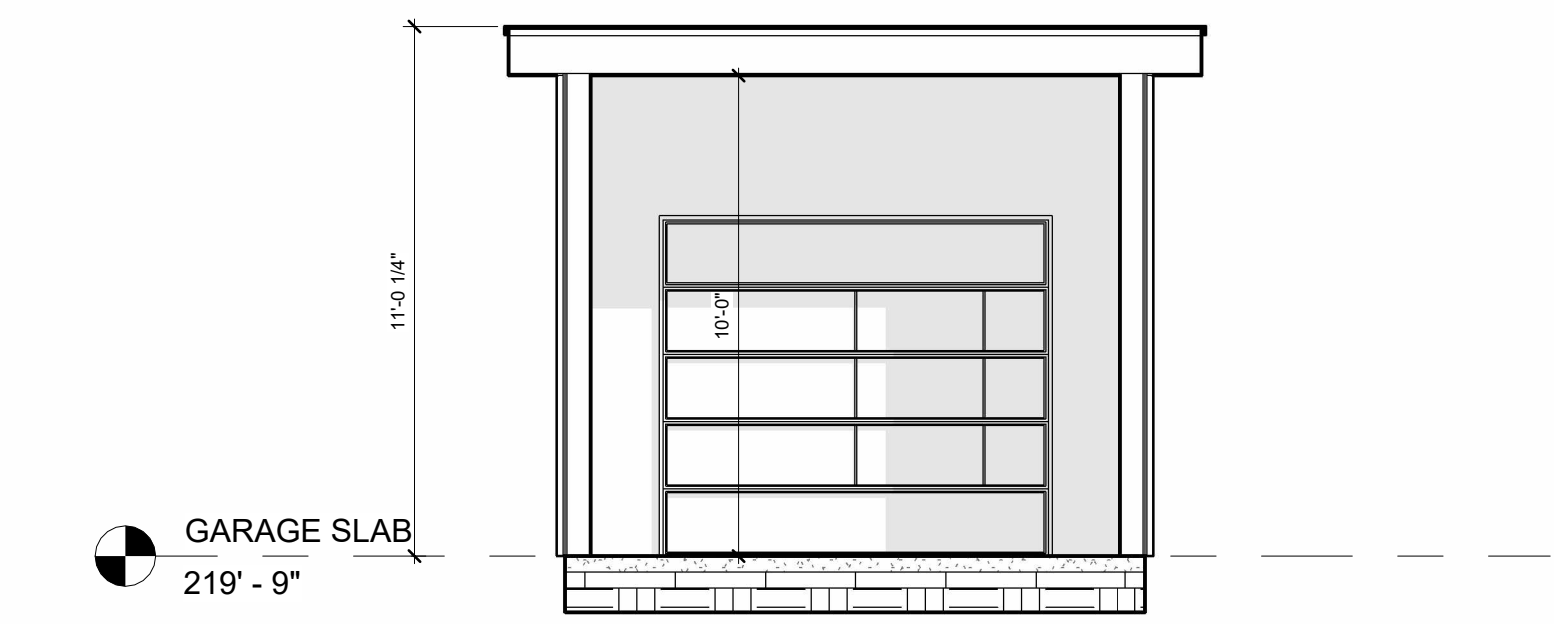
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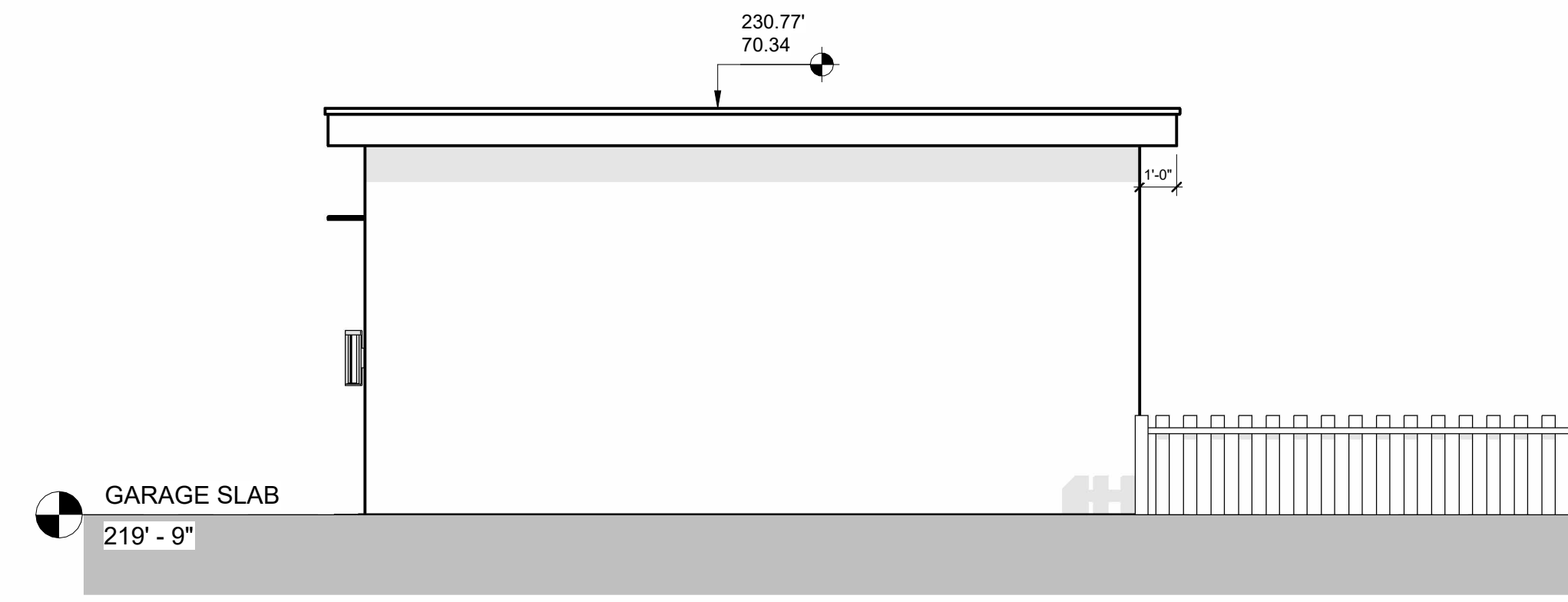
**1 GARAGE FLOOR PLAN**  
1/4" = 1'-0"



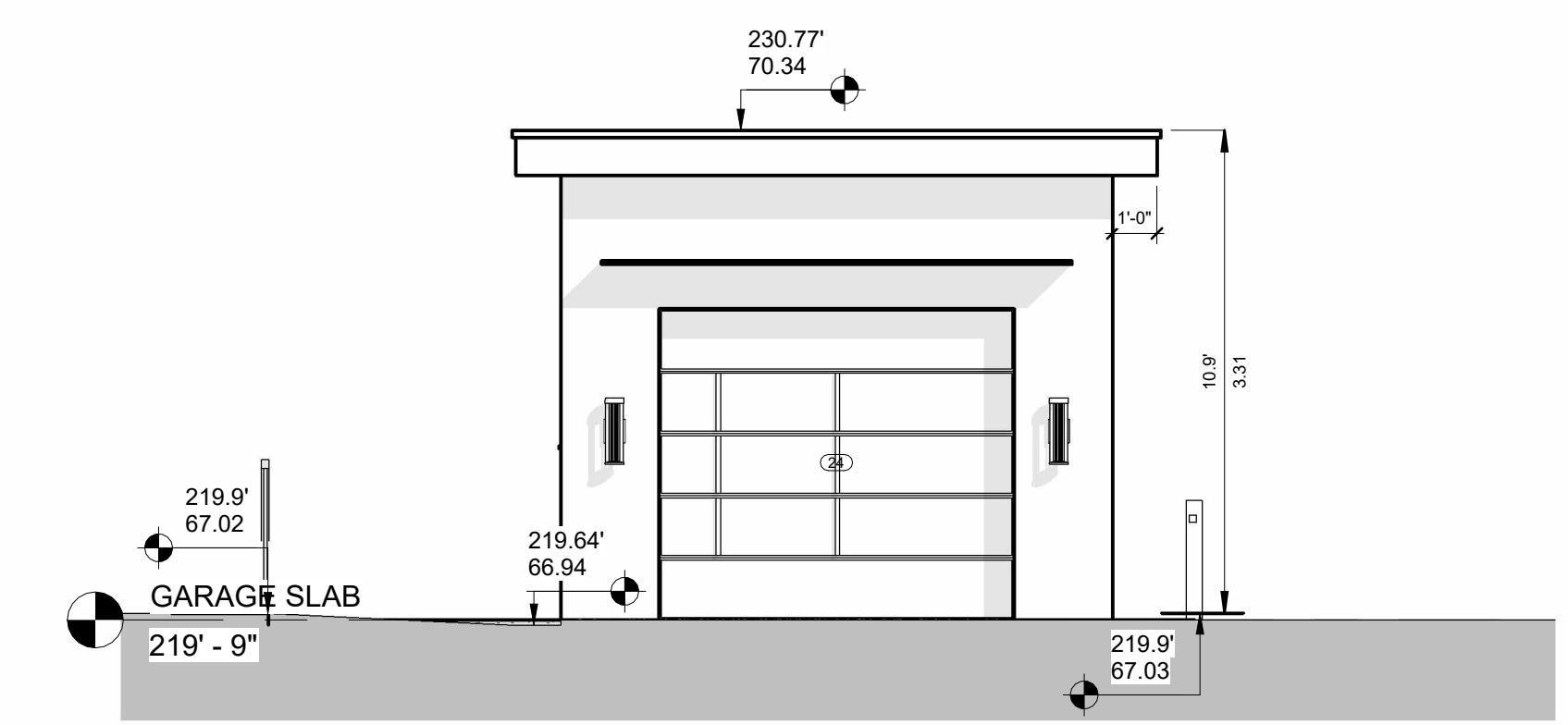
**2 GARAGE ROOF PLAN**  
1/4" = 1'-0"



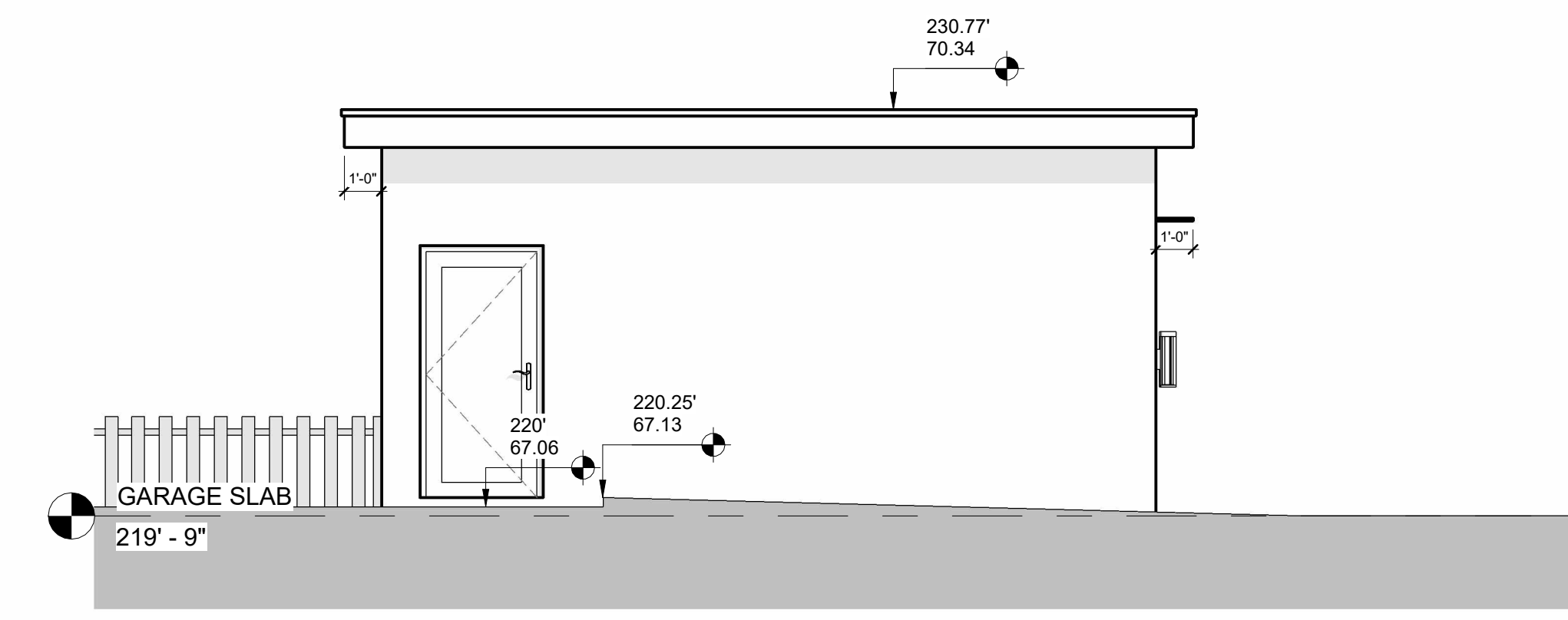
**7 GARAGE SECTION**  
1/4" = 1'-0"



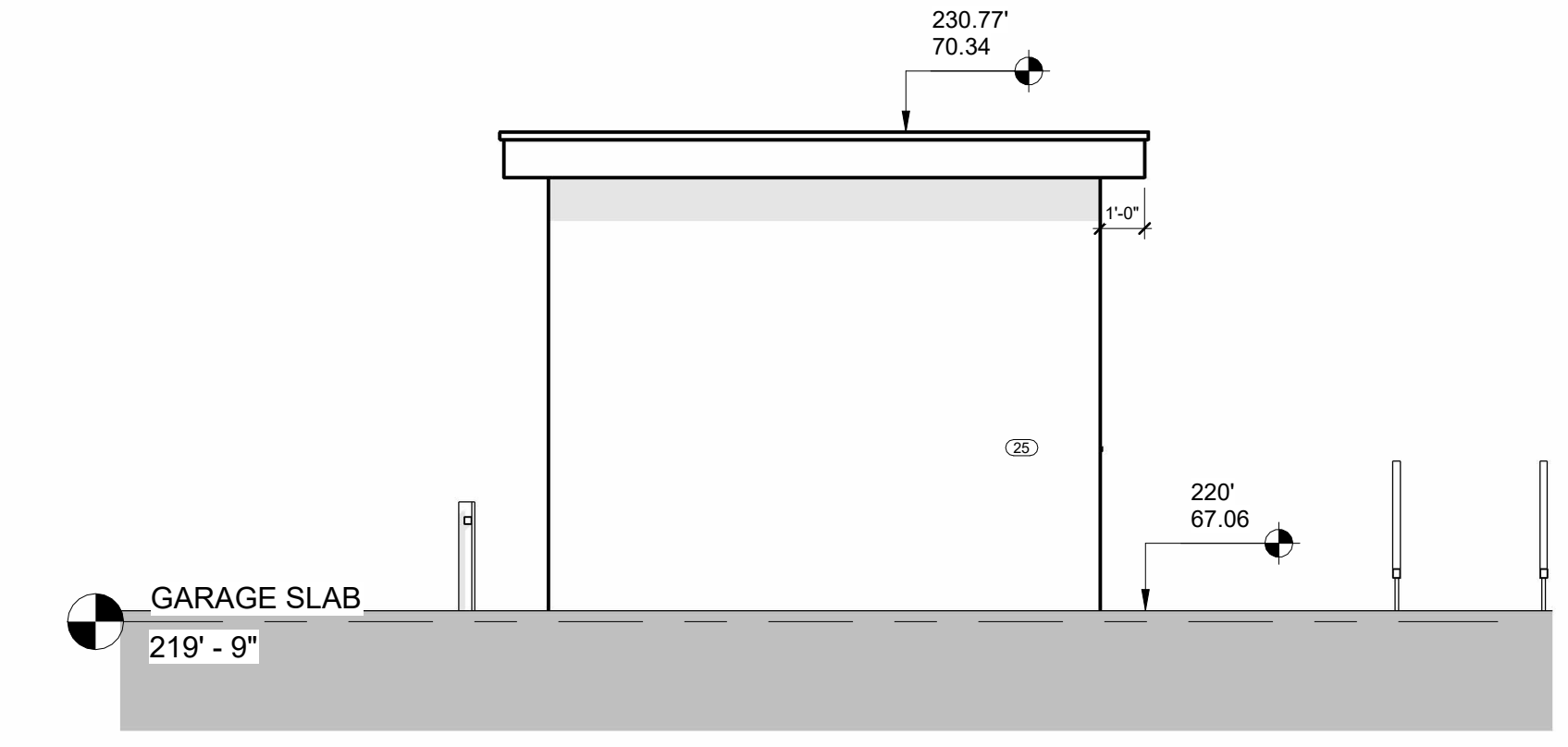
**3 GARAGE EAST**  
1/4" = 1'-0"



**4 GARAGE NORTH**  
1/4" = 1'-0"



**6 GARAGE WEST**  
1/4" = 1'-0"



**5 GARAGE SOUTH**  
1/4" = 1'-0"



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NORTH VANCOUVER

DRAWING TITLE:  
GARAGE

SHEET:  
  
**A112**

DRAWN BY: JP  
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