

GENERAL PROJECT AND CONTRACTOR NOTES

- Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
- Contractor shall submit reproducible shop drawings to Landscape Architect for Owner's approval.
- Contractor shall co-ordinate with all trades to provide complete working systems.
- Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Any scales on drawings are only for the Contractor's convenience. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Architect, Engineer)
- Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
- All work described by these documents shall be performed in full accordance with all applicable codes and standards.
- All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
- Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
- All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at the contractor's expense.
- Coordinate landscape drawings with architect/engineer and all other consultant drawings.

No.	Date	Issue/Revision Notes
A	12/14/2023	SUBMIT FOR REVIEW

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Client: **MEHRAN HALAVI**

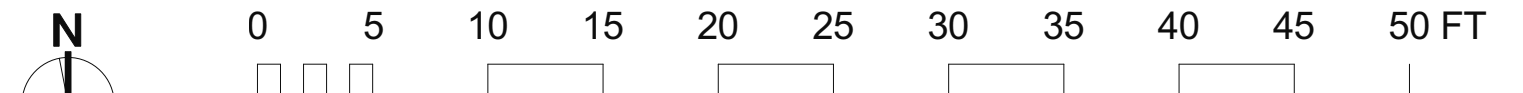
Project Title: **2 UNIT RESIDENTIAL
 842 E. 5TH ST, NORTH VAN**

Sheet Title: **LAYOUT**

LEGEND

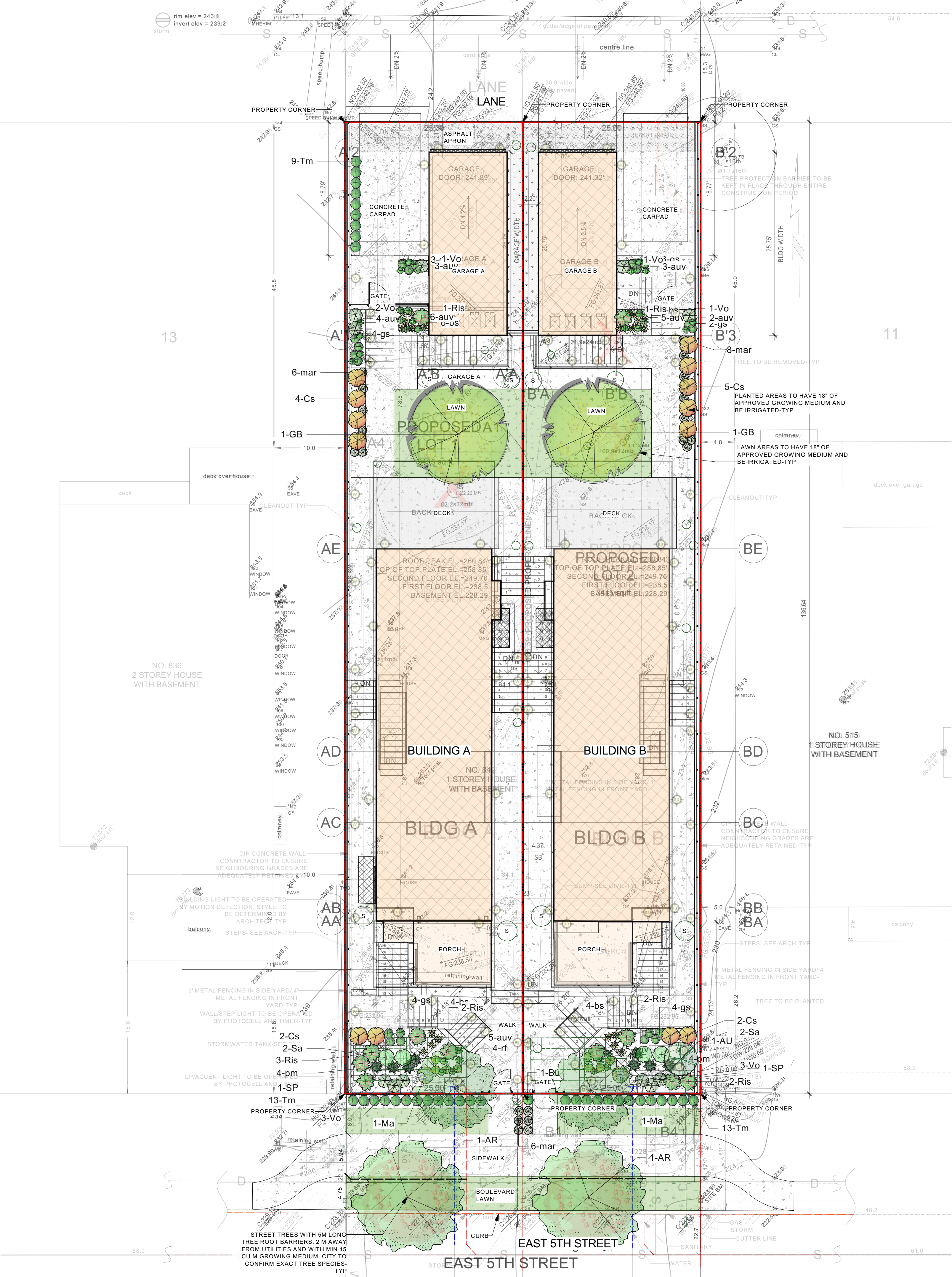
- 219.00 EXISTING ELEVATION
- 219.33 PROPOSED ELEVATION
- TW / 222.25 PROPOSED TOP OF WALL ELEVATION
- BW / 223.81 PROPOSED BOTTOM OF WALL ELEVATION
- PROPERTY LINE
- AREA DRAIN
- TRENCH DRAIN
- ASPHALT
- CONCRETE
- FIBAR
- SAND
- STONEMWORK
- SLABS/TILES
- WOOD DECK
- GRAVEL
- GRASS

1 LAYOUT
 Scale: 1/8" = 1'-0"



SCALE IS PROVIDED FOR CONVENIENCE
 DO NOT SCALE DRAWINGS FOR DIMENSIONS

Project Manager: STEVE WONG	Project ID: 2023-27
Drawn By: SW	Scale: AS NOTED
Date: NOV 2023	Sheet No.: L-1
CAD File Name: 842 E 5 NV.vwx	of 5



PLANT LIST 842 E. 5TH ST. NORTH VANCOUVER

Botanical Name	Common Name	No.	Size	Spacing	Sym
TREES					
<i>Acer rubrum</i> 'Armstrong'	Red maple	2	7 cm	as shown	AR
<i>Arbutus unedo</i> 'Compacta'	Compact strawberry tree	1	2.4 m	as shown	AU
<i>Ginkgo biloba</i> 'Autumn Gold'	Ginkgo	2	7 cm	as shown	GB
<i>Stewartia pseudocamellia</i>	Stewartia	2	7 cm	as shown	SP
SHRUBS					
<i>Buxus</i> 'Green Velvet'	Boxwood	1	#2 pot	as shown	Bu
<i>Cornus stolonifera</i>	Redtwig dogwood	13	#2 pot	as shown	Cs
<i>Mahonia aquifolium</i>	Oregon grape	2	#2 pot	as shown	Ma
<i>Ribes sanguinum</i>	Red flowering currant	11	#2 pot	as shown	Ris
<i>Symphoricarpos alba</i>	Snowberry	4	#2 pot	as shown	Sa
<i>Taxus media</i> 'Rising Star'	Yew	35	1.2 m	as shown	Tm
<i>Vaccinium ovatum</i>	Evergreen huckleberry	11	#2 pot	as shown	Vp
VINES, GROUND COVERS AND HERBACEOUS PERENNIALS					
<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	33	#1 pot	as shown	auv
<i>Blechnum spicant</i>	Deer fern	20	#1 pot	as shown	bs
<i>Gaultheria shallon</i>	Salal	20	#1 pot	as shown	gs
<i>Mahonia repens</i>	Creeping oregon grape	20	#1 pot	as shown	mar
<i>Polystichum munium</i>	Western sword fern	8	#1 pot	as shown	pm
<i>Rudbeckia fulgida</i> 'Goldsturm'	Rudbeckia	8	#1 pot	as shown	rf

Contractor to be certified by BCLNA
 All plants and installation to meet or exceed latest Canadian Landscape standard (CLS) #1 standards
 Contractor to verify numbers and placement of plants prior to installation

GENERAL LANDSCAPE NOTES

- All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association.
- All landscape works to be carried out by a contractor with minimum 5 years' experience doing work similar in scope and size, and on at least 3 comparable projects. The contractor needs to be a member in good standing with the appropriate trade organization: eg. B.C. Landscape and Nursery Association (BCLNA), Irrigation Industry Association of B.C. (IIABC). Execution of work to be under the direct supervision of qualified industry certified technicians.
- All grades to meet adjacent grades at property line. All stormwater is to be contained on site and away from adjacent properties. All hard surfaces to be sloped a minimum of 1.5%, and all lawn areas to be sloped a minimum of 2% to avoid standing water. Contractor is ultimately responsible for ensuring there is no standing water on site over an extended period.
- No slopes to be steeper than 2.5 horizontal: 1 vertical.
- All plant material and growing medium to meet Canadian Landscape Standard #1 specifications. Plant search area is to be any plant nursery within the Lower Mainland. Plant substitutions are only allowed if approved by Landscape Architect. Suggested plant substitutions shall be of similar species and of at least equal size to those originally specified.
- All shrub beds to contain minimum 18" (450) mm depth of approved growing medium over scarified subgrade. All lawn areas to contain minimum 6" (150) mm of approved growing medium over scarified subgrade.
- All guardrails are required wherever the fall height is over 2 ft. Guardrails to be a minimum 42" high from any climbable surface. Maximum openings between pickets to be under 4".
- Stairs to have consistent rise/run for risers and treads. Stair treads to slope 2% to front edge of tread for drainage and constructed with materials or finishes to prevent slip falls. All stairs over 2 risers to have handrails between 32" to 38" high from the front of stair treads, and to extend 12" past the end of top/bottom treads.
- Exterior ramps to adhere to BC Building code if greater than 5% slope. Ramps to be maximum of 8.3% and minimum 5' width. Handrails required on both sides. Construction to adhere to BC Building code.
- All retaining walls and structures over 4 ft. in height or if there are issues with soil stability require signoff from the appropriate engineer (eg structural, geotechnical). Contractor to provide engineer stamped shop drawings for Landscape Architect.
- Landscape installation to be reviewed by registered Landscape Architect.

LEGEND

- 219.80 EXISTING ELEVATION
- 219.33 PROPOSED ELEVATION
- (TW / 222.25) PROPOSED TOP OF WALL ELEVATION
- (BW / 223.81) PROPOSED BOTTOM OF WALL ELEVATION
- PROPERTY LINE
- AREA DRAIN
- TRENCH DRAIN
- ASPHALT
- CONCRETE
- FIBAR
- SAND
- STONWORK
- SLABS/TILES
- WOOD DECK
- GRAVEL
- GRASS

No.	Date	Issue/Revision Notes
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Client: MEHRAN HALAVI

Project Title: 2 UNIT RESIDENTIAL
 842 E. 5TH ST, NORTH VAN

Sheet Title: PLANTING PLAN

Project Manager: STEVE WONG | Project ID: 2023-27

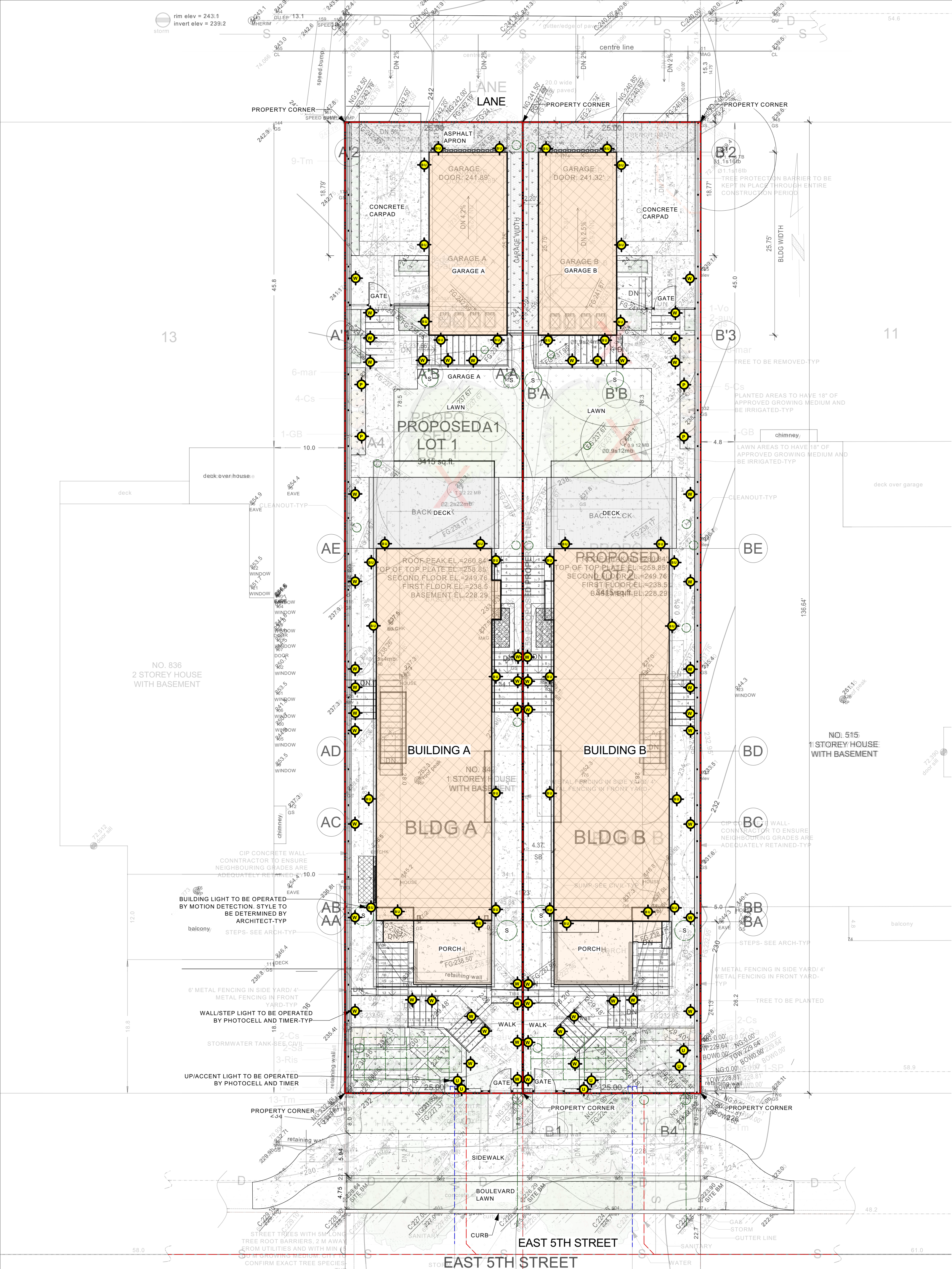
Drawn By: SW | Scale: AS NOTED

Date: NOV 2023 | Sheet No. L-2

CAD File Name: 842 E 5 NV.vwx | 5

1 PLANTING
 Scale: 1/8" = 1'-0"

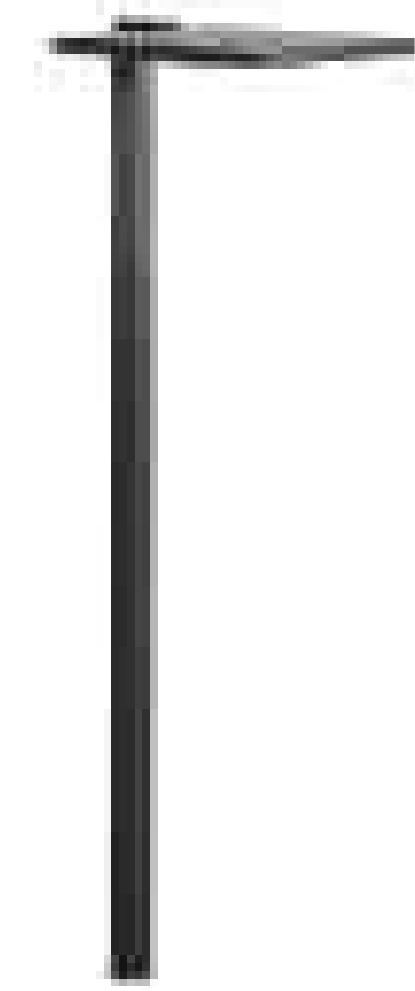
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1 DALI WALL/STEP LIGHT
Scale: NTS



2 KICHLER ACCENT LIGHT
Scale: N/A



3 KICHLER PATH LIGHT
Scale: N/A

LIGHTING LEGEND

- BUILDING LIGHT
- BOLLARD LIGHT
- STEP LIGHT
- WALL LIGHT
- UP/ACCENT LIGHT
- PATH LIGHT
- HARDSCAPE LIGHT
- DECK LIGHT
- DOWN/ACCENT LIGHT

10 LIGHTING
Scale: 1/8" = 1'-0"

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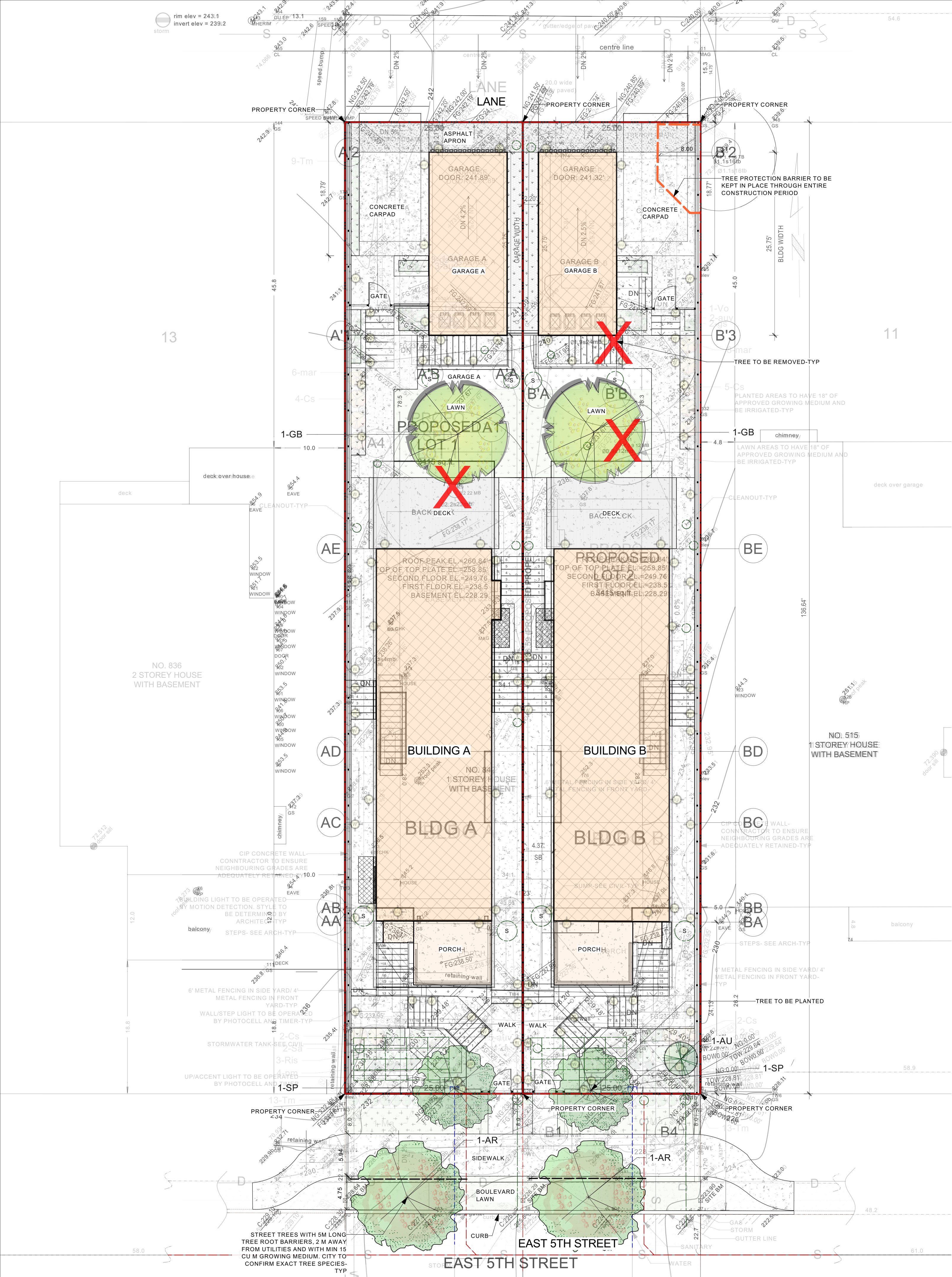
Client: MEHRAN HALAVI

Project Title: 2 UNIT RESIDENTIAL
842 E. 5TH ST, NORTH VAN

Sheet Title: LIGHTING PLAN

Project Manager: STEVE WONG | Project ID: 2023-27
Drawn By: SW | Scale: AS NOTED

Date: NOV 2023 | Sheet No.: L-3 of 5
CAD File Name: 842 E 5 NV.vwx



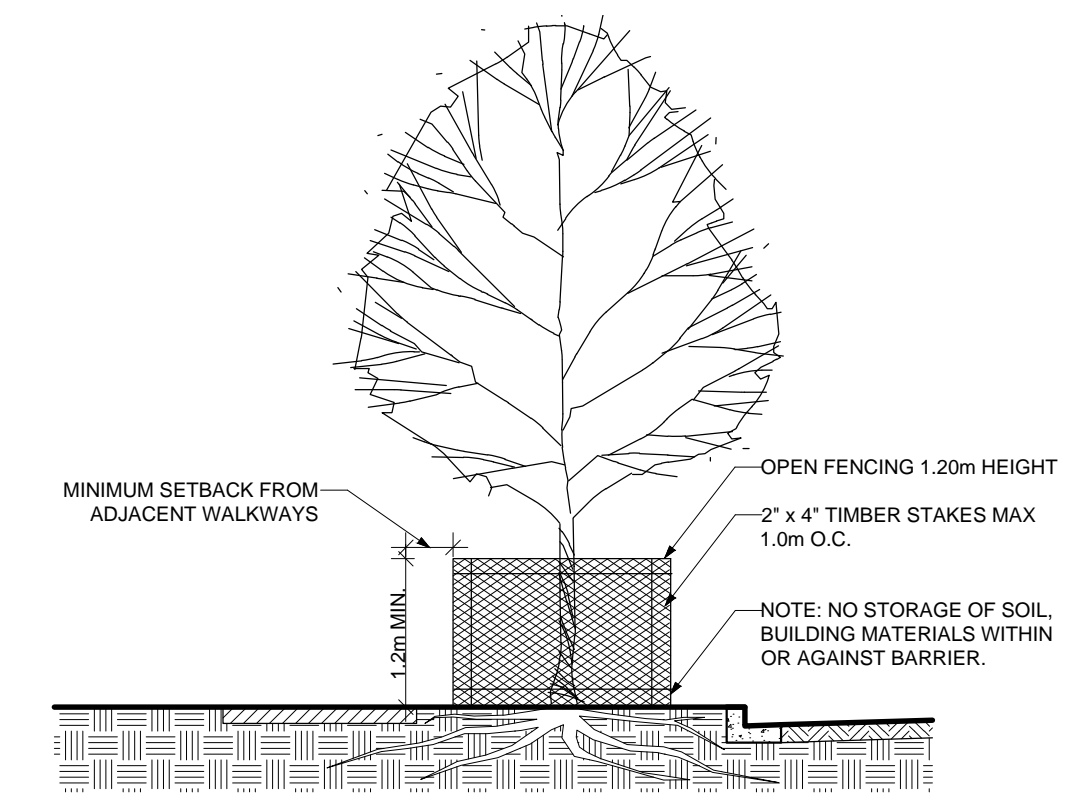
GENERAL TREE NOTES

- Any permitted tree removal(s) must be performed by a qualified professional.
- No grade changes are to occur within the critical root zones of any retained trees. Any exposed roots from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent dessication of exposed roots; this root curtain must be removed prior to backfilling. Trees must be adequately watered during the entire construction process.
- The removal of existing organics within the critical root zones of retained trees must be performed manually, when installing new plant material within the critical root zones of retained trees, if large roots (1.5' diameter and larger) are encountered, then new plantings must be shifted to accommodate. No more than 3" of additional soil for new landscaping may be added within any critical root zone.
- Any excavation work or work within the protection zone of retained trees requires the supervision of a certified arborist. This includes, but is not limited to; demolition, the installation of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communication, electrical, irrigation, etc.), during the installation of patios, driveways, or any hardscape, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and deck footings.
- Construction materials must not be stored within the tree protection zone (TPZ) of trees to be retained, and TPZ fencing to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating 'Tree protection zone-Do not enter or modify'. Contact your project arborist for any TPZ barrier issues.
- Refer to arborist report and drawing where applicable.

TREE SUMMARY

ONSITE TREES REMOVED 3
 TREES PLANTED 7
 -ONSITE- 5
 -OFFSITE-2

- LEGEND**
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - PROPOSED TOP OF WALL ELEVATION
 - PROPOSED BOTTOM OF WALL ELEVATION
 - PROPERTY LINE
 - AREA DRAIN
 - TRENCH DRAIN



SCHEDULE A - TREE PROTECTION BARRIER

TRUNK DIAMETER CM	MINIMUM DISTANCE FROM TRUNK (METERS)
20	0.6
25	0.8
30	1.0
35	1.2
40	1.5
45	1.8
50	2.1
55	2.4
60	2.7
65	3.0
70	3.3
75	3.6
80	3.9
85	4.2
90	4.5
95	4.8
100	5.1
105	5.4
110	5.7
115	6.0

NOTE:
 TREE PROTECTION BARRIERS MUST BE AT LEAST 1.20m IN HEIGHT AND CONSTRUCTED OF EITHER SNOW FENCING SECURELY FASTENED TO 2x4 TIMBER STAKES, OR METAL STAKES SPACED NO FURTHER THAN 1.00m APART.

- ASPHALT
- CONCRETE
- FIBAR
- SAND
- STONEMWORK
- SLABS/TILES
- WOOD DECK
- GRAVEL
- GRASS

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Client: **MEHRAN HALAVI**

Project Title: **2 UNIT RESIDENTIAL
 842 E. 5TH ST, NORTH VAN**

Sheet Title: **TREE MANAGEMENT**

Project Manager: **STEVE WONG** Project ID: **2023-27**

Drawn By: **SW** Scale: **AS NOTED**

Date: **NOV 2023** Sheet No.: **L-4**
 CAD File Name: **842 E 5 NV.vwx** of 5

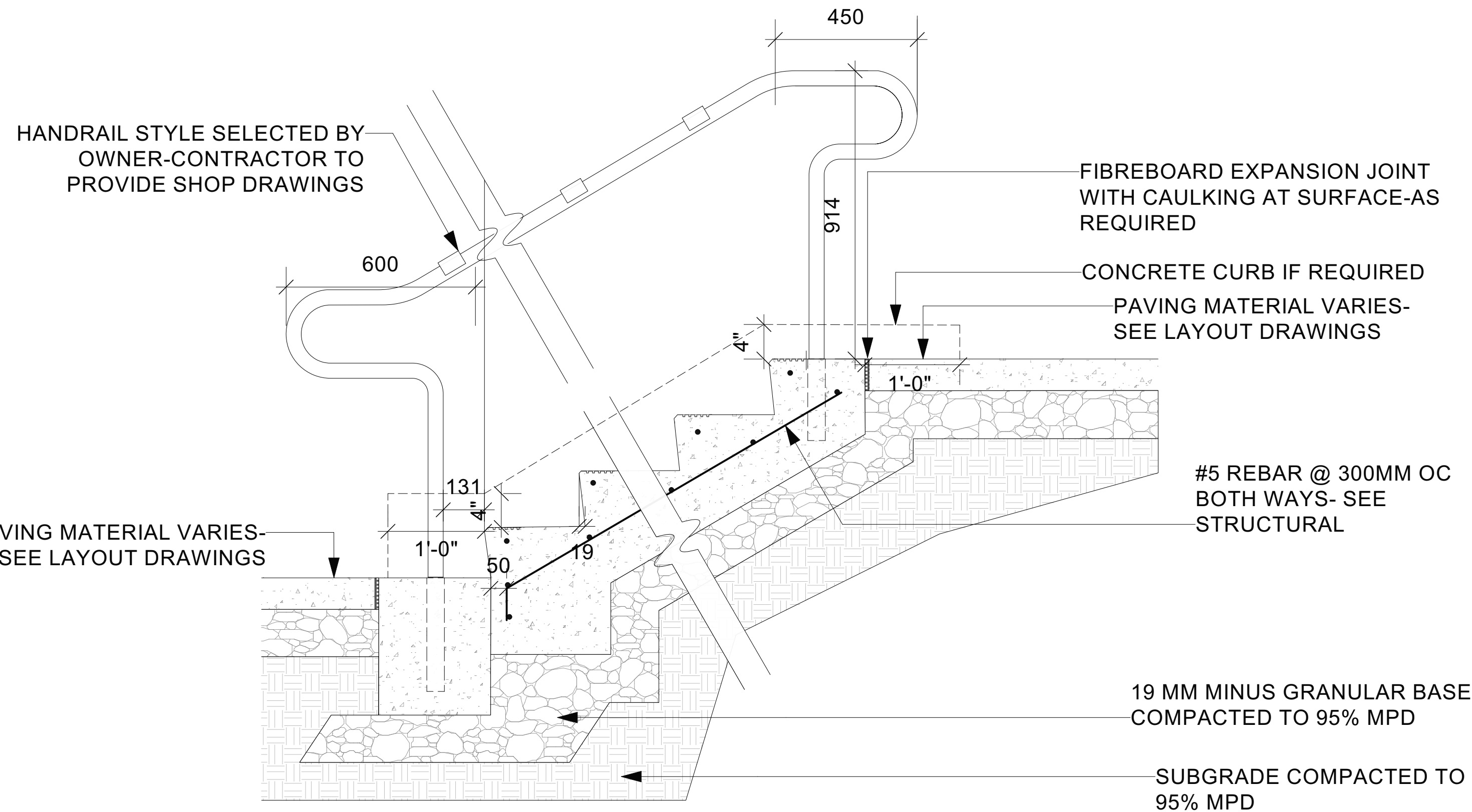
1 TREE MANAGEMENT
 Scale: 1/8" = 1'-0"

2 TREE PROTECTION BARRIER
 Scale: NTS

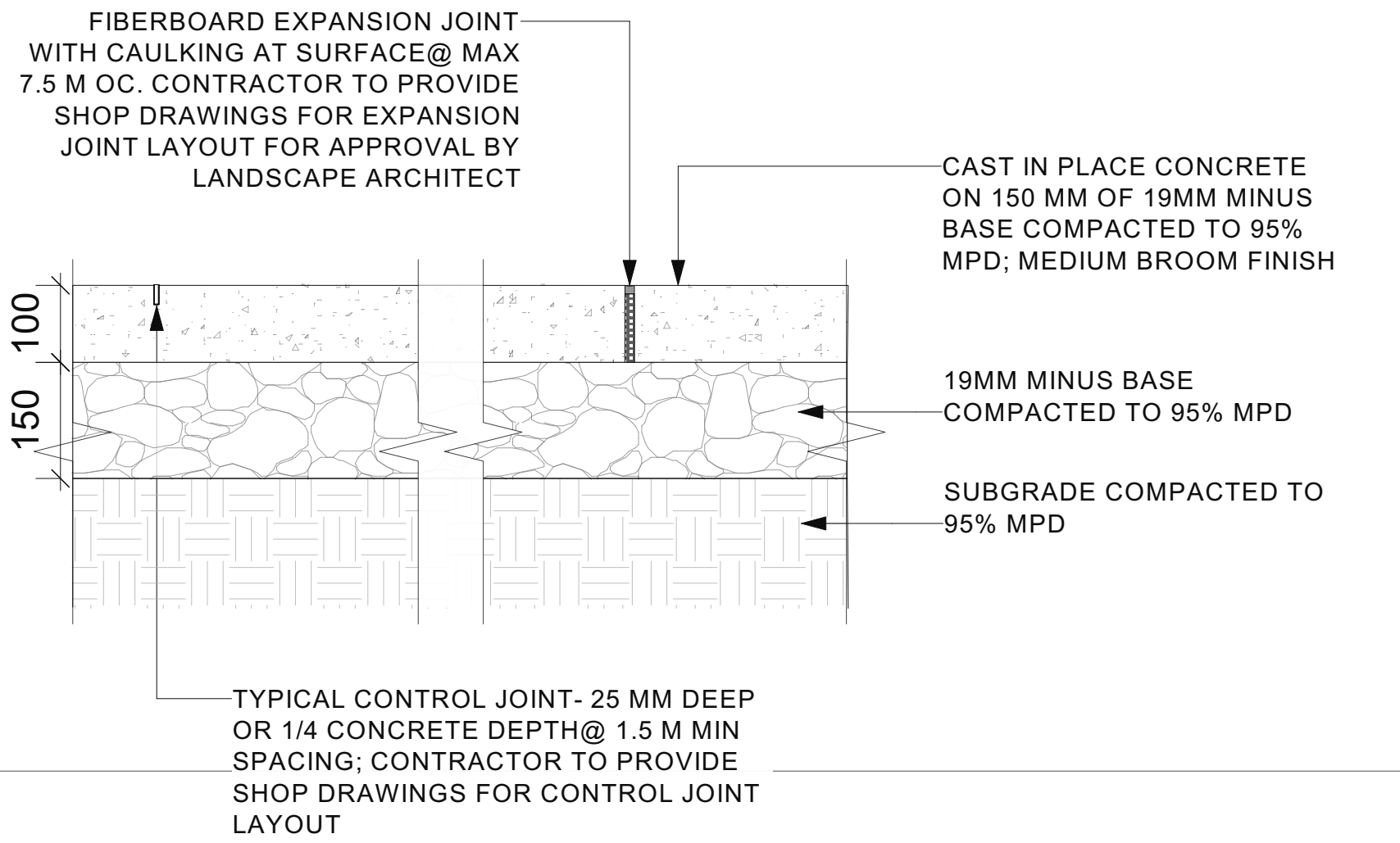
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CIP CONCRETE STAIR NOTES

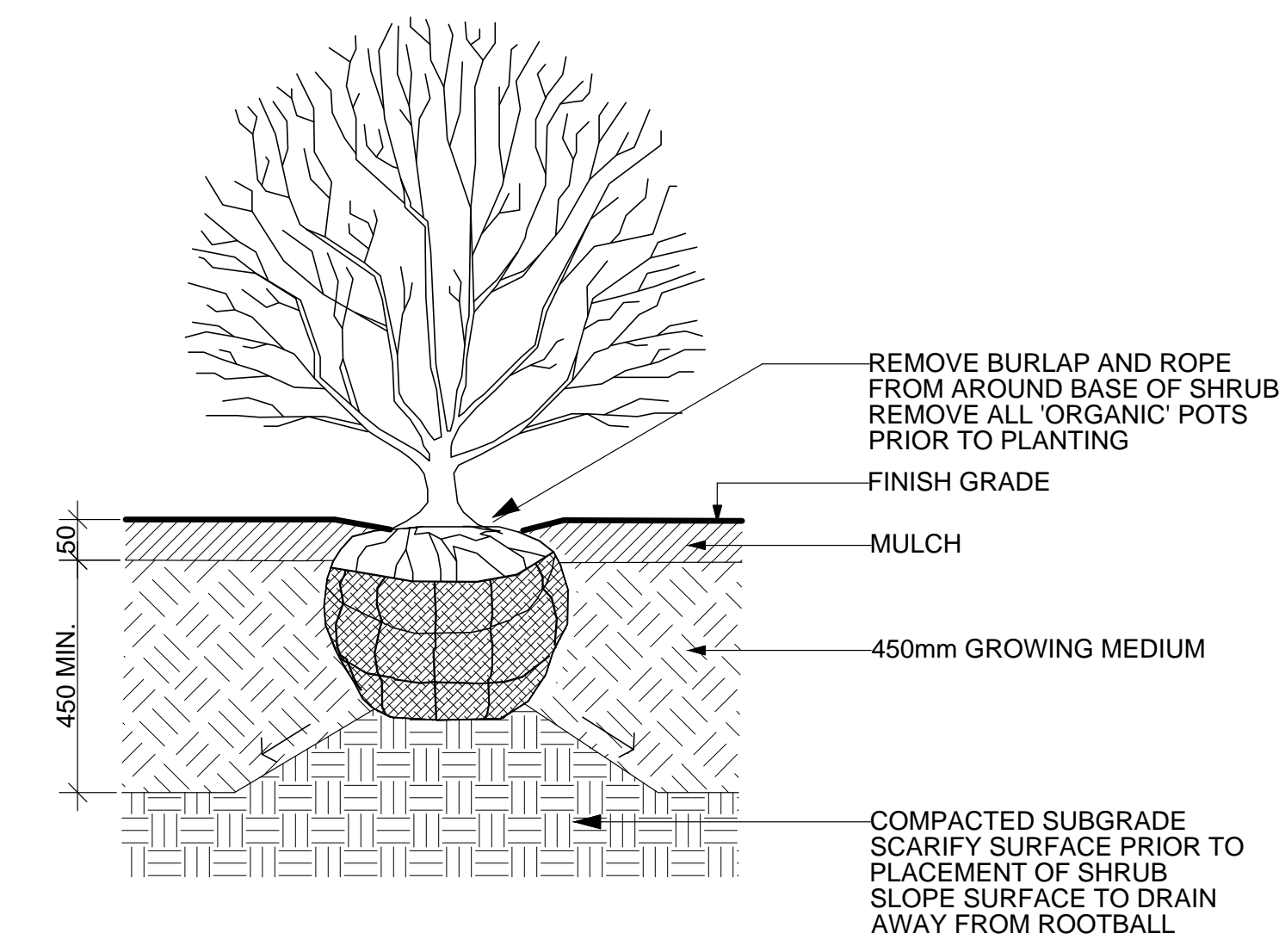
1. REFER TO LAYOUT/GRADING PLAN FOR # OF RISERS AND TREAD/RISER DIMENSIONS
2. STAIR WITH MEDIUM BROOM FINISH, TOOLED ANTI-SLIP TREADS AND TO SLOPE 2% TO FRONT
3. RISER TO SLOPE BACK 19 MM; STAIR NOSING TOOLED TO 12 MM R



1 CIP CONCRETE STAIR DETAIL
Scale: 1" = 1'-0"

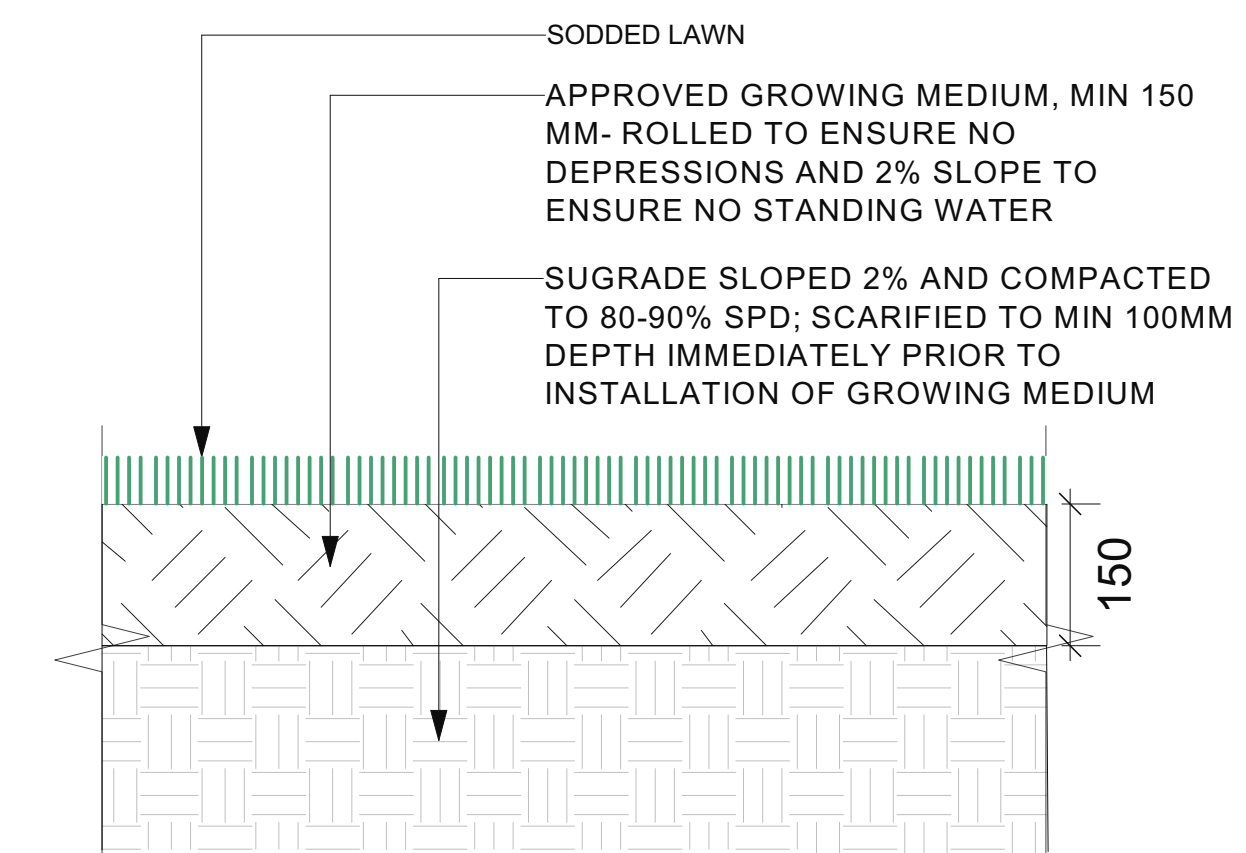


2 CIP FLATWORK
Scale: 1 1/2" = 1'-0"

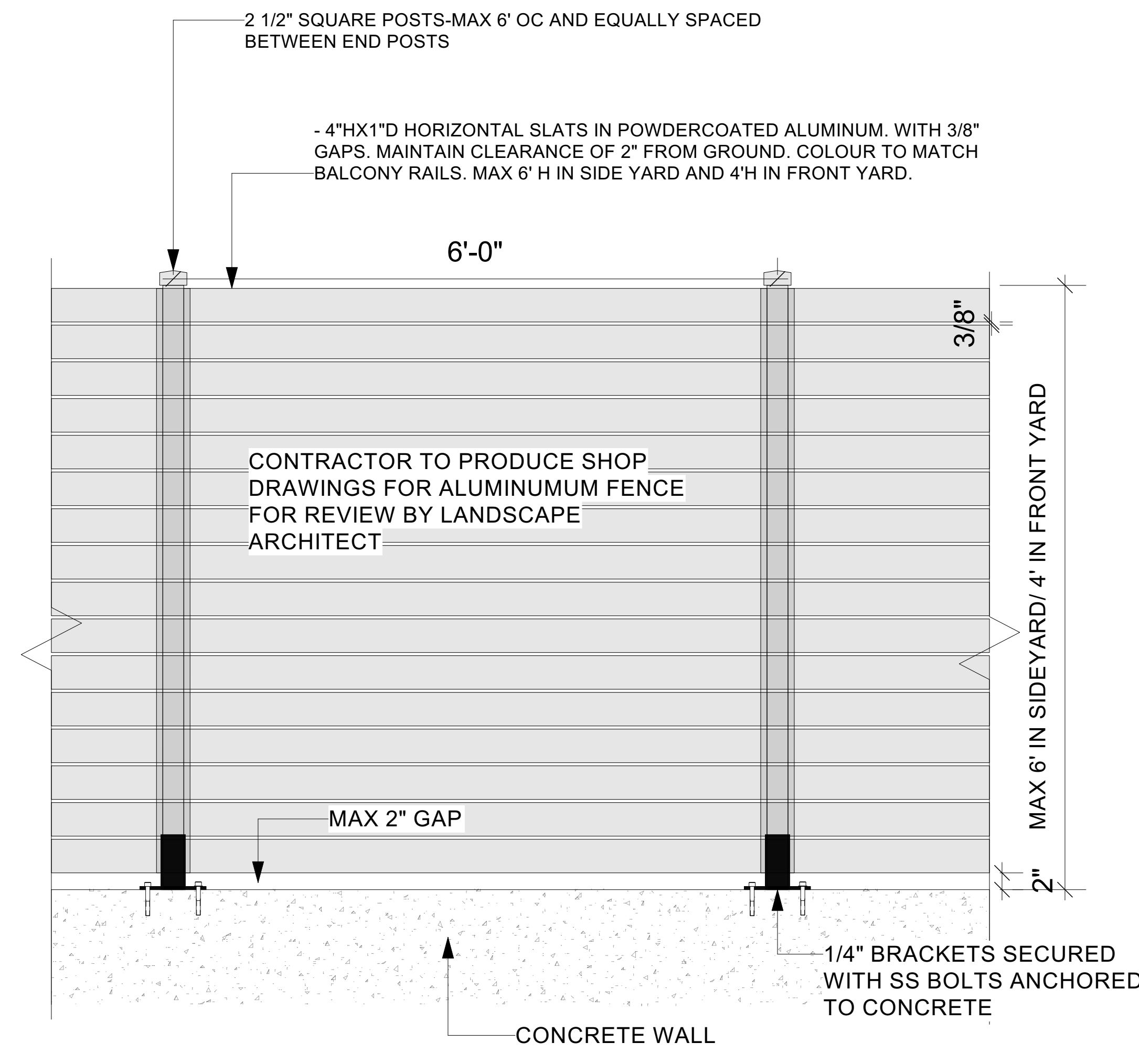


- NOTES:**
1. SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE OF GROWING MEDIUM.
 2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB.
 3. PLANTING PIT MUST BE FREE DRAINING

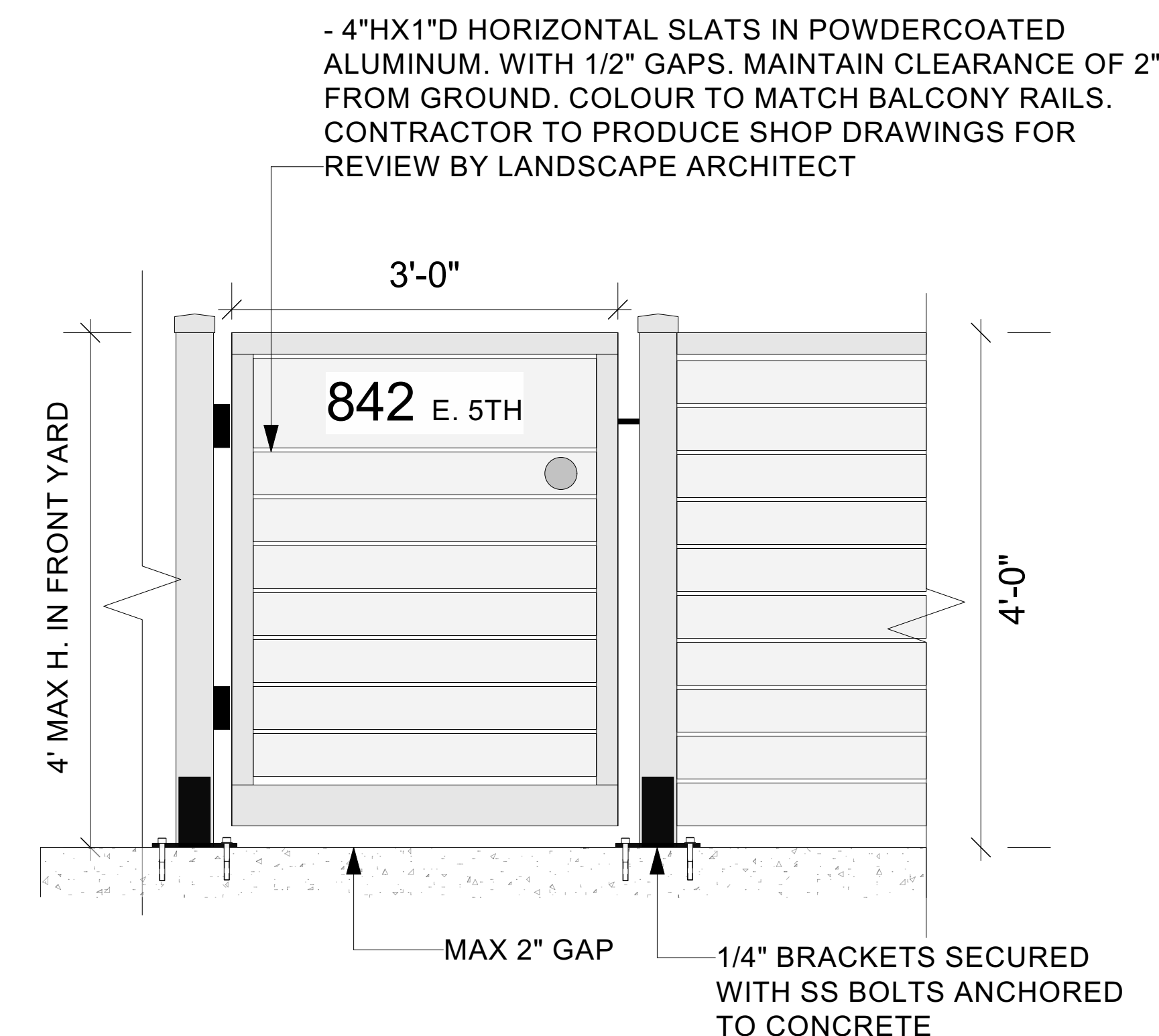
4 SHRUB PLANTING DETAIL
Scale: N/A



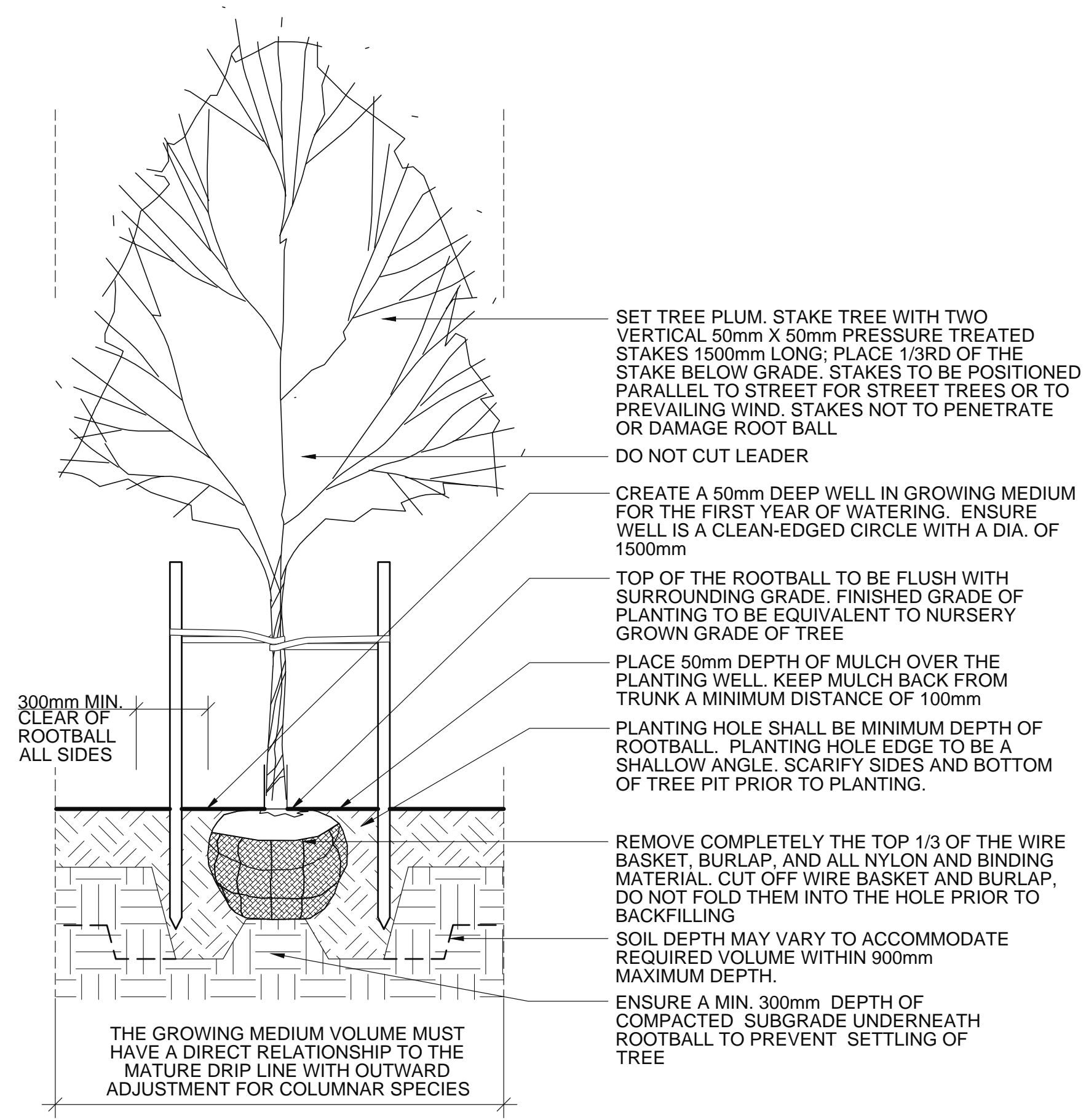
3 SODDED LAWN DETAIL
Scale: 1 1/2" = 1'-0"



5 SIDYARD FENCE ON CONCRETE WALL
Scale: 1" = 1'-0"



6 GATE WITH SIGN ON CONCRETE WALL
Scale: 1" = 1'-0"



7 TREE PLANTING DETAIL
Scale: N/A

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Project Title: 2 UNIT RESIDENTIAL
842 E. 5TH ST, NORTH VAN

Sheet Title: DETAILS 1

Project Manager: STEVE WONG Project ID: 2023-27

Drawn By: SW Scale: AS NOTED

Date: NOV 2023 Sheet No. L-5

CAD File Name: 842 E 5 NV.vwx of 5