LANDSCAPE CONTRACT DOCUMENTS

PROJECT: LANDSCAPE FOR MULTIFAMILY DEVELOPMENT

LOCATION: 842 E. 5TH STREET **CLIENT:** MEHRAN HALAVI

ARCHITECT/ DESIGNER: INSPIRED ARCHITECTURE

LANDSCAPE ARCHITECT CONSULTANT: SW LANDSCAPE ARCHITECT

ATTN: STEVE WONG 778 834-8959 stevewong234@gmail.com www.swlandscapearchitect.com

SUMMARY OF LANDSCAPE SCOPE OF WORK

SUMMARY: THE LANDSCAPE PORTION OF THE PROJECT INCLUDES ALL LANDSCAPE WORKS ASSOCIATED WITH A NEW MULTIFAMILY DEVELOPMENT PROJECT. THIS INCLUDES BUT NOT LIMITED TO, SITE DEMOLITION, SITE PREPARATION, GRADING AND DRAINAGE, SUPPLY AND INSTALLATION OF GROWING MEDIUM, LANDSCAPE PLANTS, MULCH, IRRIGATION SYSTEM, LANDSCAPE PAVERS/SLABS, CIP CONCRETE WALK/WALLS/STAIRS, ADDRESS SIGN, FENCING, GATES, LANDSCAPE LIGHTING, A ONE YEAR WARRANTY FOR FAULTY

PRODUCTS/WORKMANSHIP AND A ONE YEAR LANDSCAPE MAINTENANCE PERIOD FROM DATE OF ACCEPTANCE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ELECTRICAL AND WATER FEED TO ALLOW FOR THE INSTALLATION OF A COMPLETE, FUNCTIONING LANDSCAPE LIGHTING AND IRRIGATION SYSTEM. LANDSCAPE DESIGN/WORKS IS TO BE COORDINATED WITH THE ARCHITECT, ENGINEER AND OTHER CONSULTANTS.

LANDSCAPE LIST OF DRAWINGS

- L0 COVER SHEET
- LAYOUT L1
- L2 PLANTING PLAN
- LIGHTING PLAN L3 TREE MANAGEMENT PLAN L4
- L5 DETAILS 1

GENERAL CONDITIONS OF THE CONTRACT

-REFER TO GENERAL CONDITIONS OF CONTRACT, BY PRIME CONSULTANT -REFER TO, AND COORDINATE THESE CONTRACT DOCUMENTS WITH THE CONTRACT DOCUMENTS OF THE OTHER CONSULTANTS AND THE MAIN CONTRACT

LANDSCAPE SPECIFICATIONS

1. CANADIAN LANDSCAPE STANDARD (CLS), SECOND EDITION COPYRIGHT, 2020, ISBN: 978-0-9950714-1-4 -PUBLISHED JOINTLY BY: CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS 12 FORILLON CRESCENT, OTTAWA ON K2M 2W5 1-613-668-4775 csla-aapc.ca CANADIAN NURSERY LANDSCAPE ASSOCIATION 7856 FIFTH LINE SOUTH MILTON ON L9T 2X8 1-888-446-3499 cnla-acpp.ca

SUPPLEMENTARY SPECIFICATIONS- PROJECT SPECIFIC:

9. LANDSCAPE MAINTENANCE: ADD: PER SECTION 9.1.5. ESTABLISHMENT AND WARRANTY MAINTENANCE, THE MAINTENANCE PERIOD WILL BE FOR 1 CALENDAR YEAR FROM DATE OF ACCEPTANCE. PER SECTION 9.1.7, MAINTENANCE LEVEL FOR THIS PROJECT WILL BE AT LEVEL 3 "MODERATE"

CLS SPECIFICATIONS

- SCOPE OF THE STANDARD
- CONTRACT ADMINISTRATION
- SITE PREPARATION AND PROTECTION
- **GRADING AND DRAINAGE**
- **GROWING MEDIUM**
- PLANTS AND PLANTING MULCHING
- SEEDING AND SODDING
- LANDSCAPE MAINTENANCE
- 10. **IRRIGATION SYSTEMS**
- INTEGRATED PEST AND VEGETATION MANAGEMENT 11.
- 12. HARDSCAPE
- 13. LANDSCAPE OVER STRUCTURES 14. INTERIOR PLANTSCAPE N/A

APPENDIX A: LIST OF TABLES AND FIGURES APPENDIX B: BASIC CONTENTS OF A LANDSCAPE COMMISSIONING PLAN APPENDIX C: CANADIAN NURSERY STOCK STANDARD, NINTH EDITION APPENDIX D: NATIONAL VOLUNTARY CODE OF CONDUCT FOR THE ORNAMENTAL HORTICULTURE INDUSTRY **GLOSSARY OF TERMS AND DEFINITIONS**

MMCD (LATEST EDITION) SPECIFICATIONS AND DRAWINGS, WITH MUNICIPAL SUPPLEMENTARY SPECIFICATIONS AND ALL APPLICABLE MUNICIPAL BY-LAWS.

3. FOR ALL CHILDREN'S PLAY SPACES AND EQUIPMENT, THE FOLLOWING STANDARDS ARE APPLICABLE: CAN/CSA-Z614-14 AND IPEMA (INTERNATIONAL PLAY EQUIPMENT MANUFACTURERS ASSOCIATION) STANDARD. SPECIFICATIONS FOR PLAY SURFACES TO INCLUDE ASTM F1292/1951/2075/2223/F355

NOTES:

IN CASE OF CONFLICTING SPECIFICATIONS THE MOST STRINGENT SPECIFICATION PREVAILS CONTRACTOR TO PROVIDE DIGITAL PHOTOS TO THE LANDSCAPE ARCHITECT FOR ALL WORK 2 THAT WILL BE BURIED OR CONCEALED IN ORDER TO CONFIRM THAT THE WORK MEETS SPECIFICATIONS AND APPLICABLE STANDARDS

CONTRACTOR TO PROVIDE DIGITAL PHOTOS OF ALL TREES AT THE NURSERY FOR LANDSCAPE 3. ARCHITECT APPROVAL PRIOR TO SHIPPING. PHOTOS ARE TO BE REPRESENTATIVE OF THE PLANTS TO BE SHIPPED AND CLEARLY SHOW THE QUALITY AND SIZE OF THE PLANTS. A MEASURING STICK MUST BE USED TO SHOW THE HEIGHT OF A PLANT AS WELL AS A TAPE MEASURE TO SHOW CALIPER SIZE. 4. CONTRACTOR TO PROVIDE DOCUMENTATION (EG INVOICES, SHIPPING RECEIPTS) THAT

CONFIRM GENUS, SPECIES AND CULTIVARS, AS WELL AS SIZE FOR ALL PLANT MATERIAL INCLUDING SOD THAT IS SHIPPED TO SITE. ALL PLANT MATERIAL TO BE INSTALLED BY 0CTOBER 15 AT THE LATEST, OTHERWISE PLANTING

WILL BE REQUIRED TO BE POSTPONED UNTIL THE SPRING OF THE FOLLOWING YEAR.

GENERAL PROJECT AND CONTRACTOR NOTES

- Contractor to be ineligible for extras relating to such matters.

- Architect, Engineer) vicinity.
- codes and standards
- more stringent
- specification to that originally specified.
- the contractor's expense.

GENERAL LANDSCAPE NOTES

- 4. No slopes to be steeper than 2.5 horizontal: 1 vertical.
- over scarified subgrade.
- past the end of top/bottom treads.
- Building code.

GENERAL TREE NOTES

- critical root zone.
- Contact your project arborist for any TPZ barrier issues.
- 6. Refer to arborist report and drawing where applicable.

1. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the

Contractor shall submit reproducible shop drawings to Landscape Architect for Owner's approval. . Contractor shall co-ordinate with all trades to provide complete working systems.

4. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be

scaled. Any scales on drawings are only for the Contractor's convenience. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive

combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect,

5. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its

6. All work described by these documents shall be performed in full accordance with all applicable

7. 7 All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is

8. Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance

9. All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at

10. Coordinate landscape drawings with architect/engineer and all other consultant drawings.

1. All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery landscape Association.

2. All landscape works to be carried out by a contractor with minimum 5 years' experience doing work similar in scope and size, and on at least 3 comparable projects. The contractor needs to be a member in good standing with the appropriate trade organization: eg, B.C. Landscape and Nursery Association (BCLNA), Irrigation industry Association of B.C. (IIABC). Execution of work to be under the direct supervision of qualified industry certified technicians.

3. All grades to meet adjacent grades at property line. All stormwater is to be contained on site and away from adjacent properties. All hard surfaces to be sloped a minimum of 1.5%, and all lawn areas to be sloped a minimum of 2% to avoid standing water. Contractor is ultimately responsible for ensuring there is no standing water on site over an extended period.

5. All plant material and growing medium to meet Canadian Landscape Standard #1 specifications. Plant search area is to be any plant nursery within the Lower Mainland. Plant substitutions are only allowed if approved by Landscape Architect. Suggested plant substitutions shall be of similar species and of at least equal size to those originally specified.

6. All shrub beds to contain minimum 18" (450) mm depth of approved growing medium over scarified subgrade. All lawn areas to contain minimum 6" (150) mm of approved growing medium

7. All guardrails are required wherevever the fall height is over 2 ft. Guardrails to be a minimum 42" high from any climbable surface surface. Maximum openings between pickets to be under 4". 8. Stairs to have consistent rise/run for risers and treads. Stair treads to slope 2% to front edge of tread for drainage and constructed with materials or finishes to prevent slip falls. All stairs over 2 risers to have handrails between 32" to 38" high from the front of stair treads, and to extend 12"

9. Exterior ramps to adhere to BC Building code if greater than 5% slope. Ramps to be maximum of 8.3% and minimum 5' width. Handrails required on both sides. Construction to adhere to BC

10.All retaining walls and structures over 4 ft. in height or if there are issues with soil stability require signoff from the approriate engineer (eg structural, geotechnical). Contractor to provide engineer stamped shop drawings for Landscape Architect.

11.Landscape installation to be reviewed by registered Landscape Architect.

1. Any permitted tree removal(s) must be performed by a qualified professional.

2. No grade changes are to occur within the critical root zones of any retained trees. Any exposed roots from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent dessication of exposed roots; this root curtain must be removed prior to backfilling. Trees must be adquately watered during the entire construction process.

3. The removal of existing organics within the critical root zones of retained trees must be performed manually, when installing new plant material within the critical root zones of retained trees, if large roots (1.5' diameter and larger) are encountered, then new plantings must be shifted to accommodate. No more than 3" of additional soil for new landscaping may be added within any

4. Any excavation work or work within the protection zone of retained trees requires the supervision of a certified arborist. This includes, but is not limited to; demolition, the installation of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communication, electrical, irrigation, etc.), during the installation of patios, driveways, or any hardscape, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and deck footings.

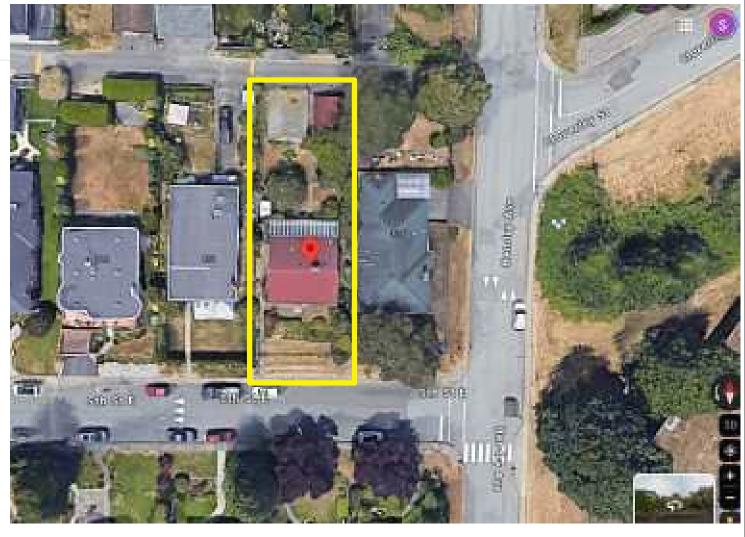
5. Construction materials must not be stored within the tree protection zone (TPZ) of trees to be retained, and TPZ fencing to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating 'Tree protection zone-Do not enter of modify'

MATERIALS LIST-COORDINATE WITH SPECIFICATIONS

1. ADDRESS SIGN: From Address Signage Company, North Vancouver. Address sign with integrated 12v LED lighting and standoffs. Contractor to mount to suitable support as confirmed by Landscape Architect. Specific design-3:Modern Stainless Steel Illuminated Sign in 18"x10".

- 2. ASPHALT: 3" of compacted hot mix asphalt applied in 2 lifts over 4" of well compacted ³/₄" minus base course per municipal and MMCD specifications.
- 3. CONCRETE FLATWORK: Per applicable industry standards. Concrete to be reinforced with rebar and/or WWM as shown on drawings. For concrete flatwork, provide medium broom finish with 2% cross slope, over min. 4" compacted granular base with expansion joints as required, and control joints @ 5'OC and where there is potential for cracking. Provide shop drawings for consultant review prior to placing showing expansion and control joints
- 4. GRAVEL EDGE BY BUILDING: Gravel layer to consist of 1 1/2" clean river rock, minimum 4" depth over nonwoven filter fabric or as shown on drawings.
- 5. GROWING MEDIUM: In accordance with CLS standards, latest edition. For Turf Areas: Level 1H (High Traffic Lawn Areas), containing by weight: 70-90% sand, maximum 25% fines (max 20% clay), 3-5% organic matter, with pH between 6-7; For Planting Areas: Level 1P (Planting Areas), containing by weight: 50-70% sand, maximum 25% fines (max 20% clay), 10-20% organic matter, with pH between 4.5-6.5. Minimum 6" depth for lawn areas on grade, 18" min for planted areas on grade, over scarified base, or as otherwise specified. A current representative soil analysis is to be done by Pacific Soil Analysis, Richmond to confirm soil sample meets specifications prior to shipping. If after shipping the quality of the soil is in question, further sampling and testing by Pacifc Soil Analysis will be required at contractor's expense. It is the contractor's responsibility to ensure all growing medium used meets specifications. If it is determined that the soil does not meet CLS Specifications, the soil is to be removed at contractor's expense. Contact information for Pacific Soil Analysis is: #5-11720 Voyageur Way, Richmond, BC V6X 3G9: Phone (604) 273-8226.
- 6. HANDRAILS FOR STAIRS: 36 " high measured from front edge of tread, powder coated medium gloss charcoal aluminum, installed to BC Building code. Exact style to be determined by Owner.
- 7. IRRIGATION: Supply and installation required for a complete automatic, inground irrigation system to provide supplemental water efficiently and uniformly. All components to be new, and includes all pipes, sleeves, valves, in-ground irrigation boxes, sprinkler heads, solenoid wires, controller and rain sensor. Quick couplers to be on their separate zone. Controller to have 2 extra zones for future expansion and if installed outside, to have controller and wiring secured in a lockable, weatherproof box. Irrigation components to be Rainbird, Toro or Hunter. Irrigation design and installation per Canadian Landscape Standards, latest edition. Design to be completed by a qualified designer/contractor with IIABC. Shop drawings for the irrigation design are to be provided by contractor and to be approved by the landscape architect prior to installation. Contractor is responsible for providing a water service line and connecting irrigation system to water service line complete with backflow preventor, pressure reducing valve, blowout and isolation valves. Contractor to adjust irrigation controller, sprinkler heads, drip lines and commission system in addition to providing as-built drawings and a one year warranty
- 8. LIGHTING-BOLLARD LIGHTING: Bollards to be by Solera, SRB6D, 6" D, 42" H in black powdercoated finish, with 36 LED (Max), 4672 lumens, 3000K running on 120 v. Available from SLS Lighting, Burnaby. Bollards to be securely fastened to 12" d. concrete piers 18" deep
- 9. LIGHTING-UP/ACCENT LIGHTING BY KICHLER: Lighting fixtures and accessories to be Kichler 12 V, LED, as required from the following: ACCENT LIGHT:KIC-16155BKT27 3.5W. Transformer sized to allow for an additional 50 watt capacity; Photocell controller to be Kichler 15565BK or equivalent, with a 24 hour digital timer. Lighting to be installed as a complete working system with wires, connectors, mounting hardware, transformer, photocell and timer. Contractor is responsible for providing a power source and to have transformer and timer secured in a lockable and weatherproof cabinet if accessible to the public. All wires to be hidden and buried min 8" in soil.
- 10. LIGHTING-GENERAL: Contractor is responsible for providing a complete operating system with power source, wiring, photocell sensor and timer. If timer is outside, it will need to be secured in a lockable and weatherproof cabinet. All work to conform to applicable codes. All low voltage wires to be hidden and buried min 8" in soil. Refer to architectural drawings for specifications for exterior building lights.
- 11. LIGHTING-STEP/WALL LIGHTING: Step/wall lighting to be recessed horizontal step light from Dals, LEDSTEP005D-BK, 4.7"x 2.9"x.25" in black powdercoated finish, with 3w, 100 lumens, 3000K running on 120 v. Bottom of light fixture to be 12" above horizontal surface or as otherwise indicated. Available from SLS Lighting, Burnaby.
- 12. METALWORK: To be fabricated and installed per CSA and ASTM ndustry standard. All metal to have a smooth finish and be free of burrs, rough edges and defects. Ferrous metal to be galvanized and/or powdercoated to adequately protect against the elements.
- 13. MULCH: To be composted fir bark, having dark brown, fine texture and ½" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil and Mulch (604 465-5193) or equivalent.
- 14. PLANT MATERIAL: All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards by qualified contractor. Plant search is throughout the Metro Vancouver area except if indicated otherwise. Any plant substitutions must be approved by Landscape Architect. See Notes on left column of Cover Page.
- 15. RAILINGS: Height per drawings. Finish to be powder coated medium gloss black charcoal. Railings to be installed where there is a fall height of 2' or more, minimum 42: high and installed per BC Building code. Maximum gap between pickets to be 4". Posts to be min 2" d. and maximum 6' oc or as otherwise indicated. Coordinate with architect/engineering drawings. Exact style to be determined by Owner. Contractor to supply shop drawings for approval by landscape archiect.
- 16. RETAINING WALL-CONCRETE: Per applicable industry standards. Concrete to be reinforced with rebar as shown on drawings. Drawings are to be confirmed with structural engineer. For retaining walls over 4' high, or where there may be issues with glaobal stability, stamped engineered drawings are required. Provide shop drawings for consultant review prior to placing showing expansion and control joints.
- 17. SOD: All sod to be sand based sod (Perennial rye/Kentucky bluegrass) with no netting. No clay or silt soil to be allowed with sod. To avoid any tripping hazards, install so that the surface of sod is flush with adjacent walking surfaces.
- 18. STEPS-CONCRETE: Medium broom finish, sloped 2% to front of tread per BC Building code. Coordinate with architect/engineering drawings.
- 19. TREE ROOT BARRIER: By Deep Root or equivalent, polypropylene barrier, 2' deep by .08" thickness by 10' long against concrete sidewalk
- 20. WOOD: Per industry standards. All exterior wood to be rot resistant, either western red cedar, yellow cedar, robinia, ipe or pressure treated (PT). Minimum standard to be #2 and better. Wood to be finished with minimum 2 coats of an approved exterior grade finish. All wood in contact with ground to be incised, ground contact approved per CCA/MCA PT. All cuts to be sealed prior to installation.
- 21. WOOD: Per industry standards. All exterior wood to be rot resistant, either western red cedar, yellow cedar, robinia, ipe or pressure treated (PT). Minimum standard to be #2 and better. Wood to be finished with minimum 2 coats of an approved exterior grade finish. All wood in contact with ground to be incised, ground contact approved per CCA/MCA PT. All cuts to be sealed prior to installation.

NOTE: ALL MATERIALS SHOWN ON DRAWINGS ARE NOT NECESSARILY INCLUDED IN THIS MATERIALS LIST. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL MATERIALS **REQUIRED TO COMPLETE LANDSCAPE WORKS PER CONTRACT DOCUMENTS.**



AERIAL VIEW OF PROJECT SITE- UP IS NORTH

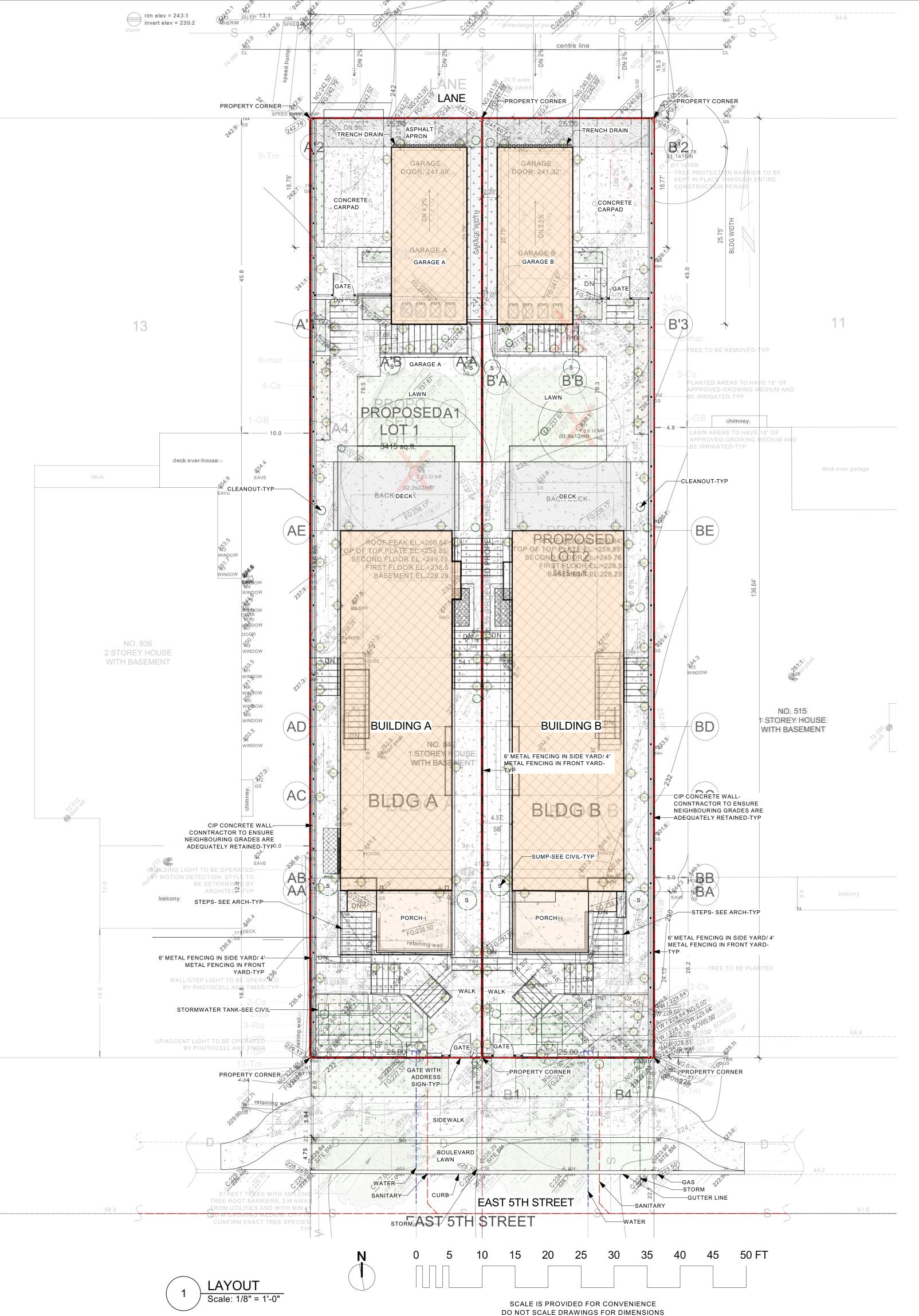


STREET VIEW OF PROJECT SITE

No.	Date	Issue/Revision Notes			
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		t be used, reproduced or distributed nsent of SW Landscape Architect.			
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	sw	andscape architect			
Design	Design Firm SW LANDSCAPE ARCHITECT				
919	919 MELBOURNE AVENUE, NORTH VANCOUVER				
	stevewong234@gmail.com 778 834-8959				
	www.swlandscapearchitect.com				
Client	Client MEHRAN HALAVI				
Project	Title				
	2 UNIT RESIDENTIAL				
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GENERAL PROJECT AND CONTRACTOR NOTES

- 1. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
- 2. Contractor shall submit reproducible shop drawings to Landscape Architect for Owner's approval. 3. Contractor shall co-ordinate with all trades to provide complete working systems.
- 4. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Any scales on drawings are only for the Contractor's convenience. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Architect, Engineer)
- 5. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
- 6. All work described by these documents shall be performed in full accordance with all applicable codes and standards.
- 7. 7 All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
- 8. Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
- 9. All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at the contractor's expense.
- 10.Coordinate landscape drawings with architect/engineer and all other consultant drawings.

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919		AVENUE, NORTH VANCOUVER
		4@gmail.com 778 834-8959 landscapearchitect.com
Client	M	IEHRAN HALAVI
Project 1	Title	
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Date	NOV 2023	Sheet No.
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LEGEND

EXISTING ELEVATION

 \oplus (219.33')

PROPOSED ELEVATION

🔶 (TW / 222.25') ⊕ (BW / 223.81')

PROPOSED BOTTOM OF WALL ELEVATION

PROPOSED TOP OF WALL ELEVATION

PROPERTY LINE

AREA DRAIN

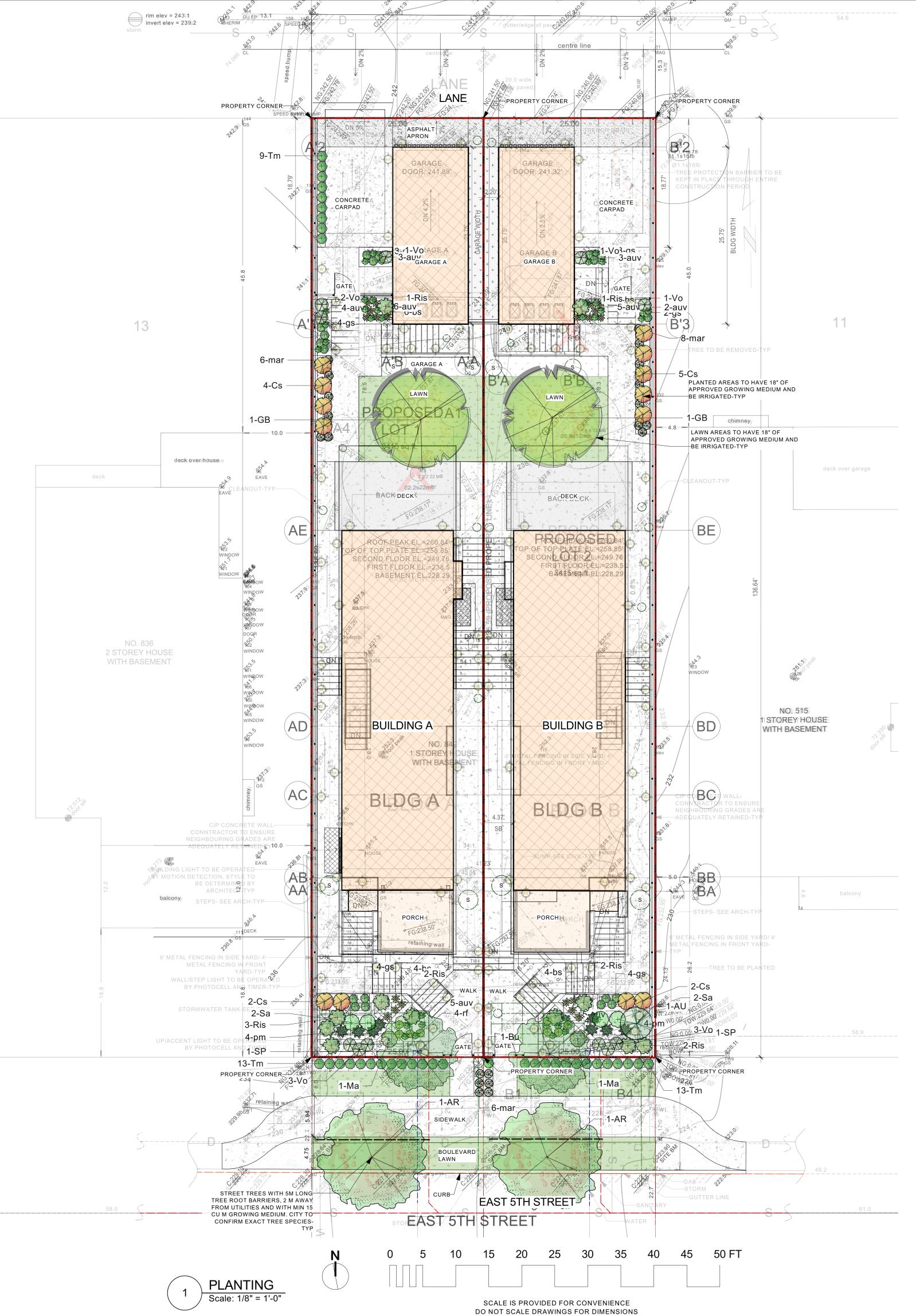
ASPHALT CONCRETE FIBAR GRAVEL

SAND STONEWORK

SLABS/TILES

WOOD DECK

GRASS



PLANT LIST 842 E. 5TH ST. NORTH VANCOUVER

Botanical Name	Common Name	No.	Size	Spacing	Sym
TREES					
Acer rubrum 'Armstrong'	Red maple	2	7 cm	as shown	AR
Arbutus unedo 'Compacta'	Compact strawberry tree	1	2.4 m	as shown	AU
Ginkgo biloba 'Autumn Gold'	Ginkgo	2	7 cm	as shown	GB
Stewartia pseudocamellia	Stewartia	2	7 cm	as shown	SP
SHRUBS					
Buxus 'Green Velvet'	Boxwood	1	#2 pot	as shown	Bu
Cornus stolonifera	Redtwig dogwood	13	#2 pot	as shown	Cs
Mahonia aquiufolium	Oregon grape	2	#2 pot	as shown	Ma
Ribes sanguinium	Red flowering currant	11	#2 pot	as shown	Ris
Symphoricarpus alba	Snowberry	4	#2 pot	as shown	Sa
Taxus media 'Rising Star'	Yew	35	1.2 m	as shown	Tm
Vaccinium ovatum	Evergreen huckleberry	11	#2 pot	as shown	Vp
VINES, GROUND COVERS AND HERBAG	CEOUS PERENNIALS				
Arctostaphylos uva-ursi	Kinnickinnick	33	#1 pot	as shown	auv
Blechnum spicant	Deer fern	20	#1 pot	as shown	bs
Gaultheria shallon	Salal	20	#1 pot	as shown	gs
Mahonia repens	Creeping oregon grape	20	#1 pot	as shown	mar
Polystichum munitum	Western sword fern	8	#1 pot	as shown	pm
Rudbeckia fulgida 'Goldsturm'	Rudbeckia	8	#1 pot	as shown	rf

Contractor to be certified by BCLNA

All plants and installation to meet or exceed latest Canadian Landscape standard (CLS) #1 standards Contractor to verify numbers and placement of plants prior to installation

GENERAL LANDSCAPE NOTES

- 1. All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery landscape Association.
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- 4. No slopes to be steeper than 2.5 horizontal: 1 vertical.
- 5. All plant material and growing medium to meet Canadian Landscape Standard #1 specifications. Plant search area is to be any plant nursery within the Lower Mainland. Plant substitutions are only allowed if approved by Landscape Architect. Suggested plant substitutions shall be of similar species and of at least equal size to those originally specified.
- 6. All shrub beds to contain minimum 18" (450) mm depth of approved growing medium over scarified subgrade. All lawn areas to contain minimum 6" (150) mm of approved growing medium over scarified subgrade.
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S Drawn B		2023-27
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LEGEND

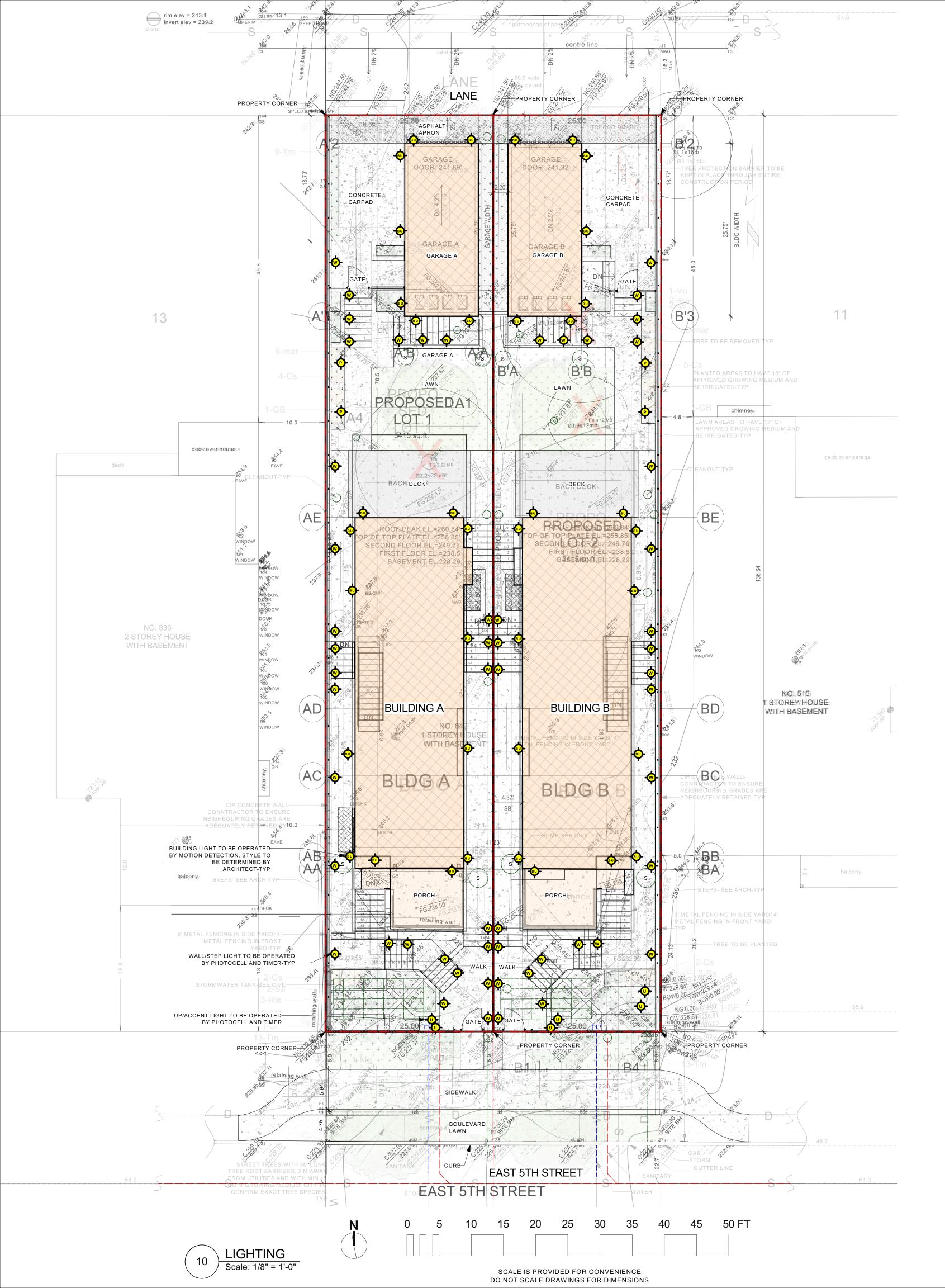
EXISTING ELEVATION

PROPOSED ELEVATION

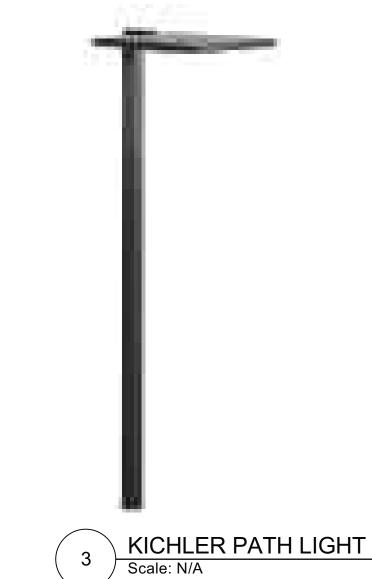
⊕ (219.33') ⊕ (TW / 222.25')

- PROPOSED TOP OF WALL ELEVATION PROPOSED BOTTOM OF WALL ELEVATION
- ⊕ (BW / 223.81')
 - PROPERTY LINE
 - AREA DRAIN
- TRENCH DRAIN
- ASPHALT CONCRETE FIBAR SAND STONEWORK SLABS/TILES WOOD DECK
- GRASS

- GRAVEL



DALS WALL/STEP LIGHT Scale: NTS 1









No.

Date

Issue/Revision Notes

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STEP LIGHT WALL LIGHT UP/ACCENT LIGHT PATH LIGHT

BUILDING LIGHT

BOLLARD LIGHT

LIGHTING LEGEND

-<mark>(BU</mark>)

(B

HARDSCAPE LIGHT

DECK LIGHT

DOWN/ACCENT LIGHT

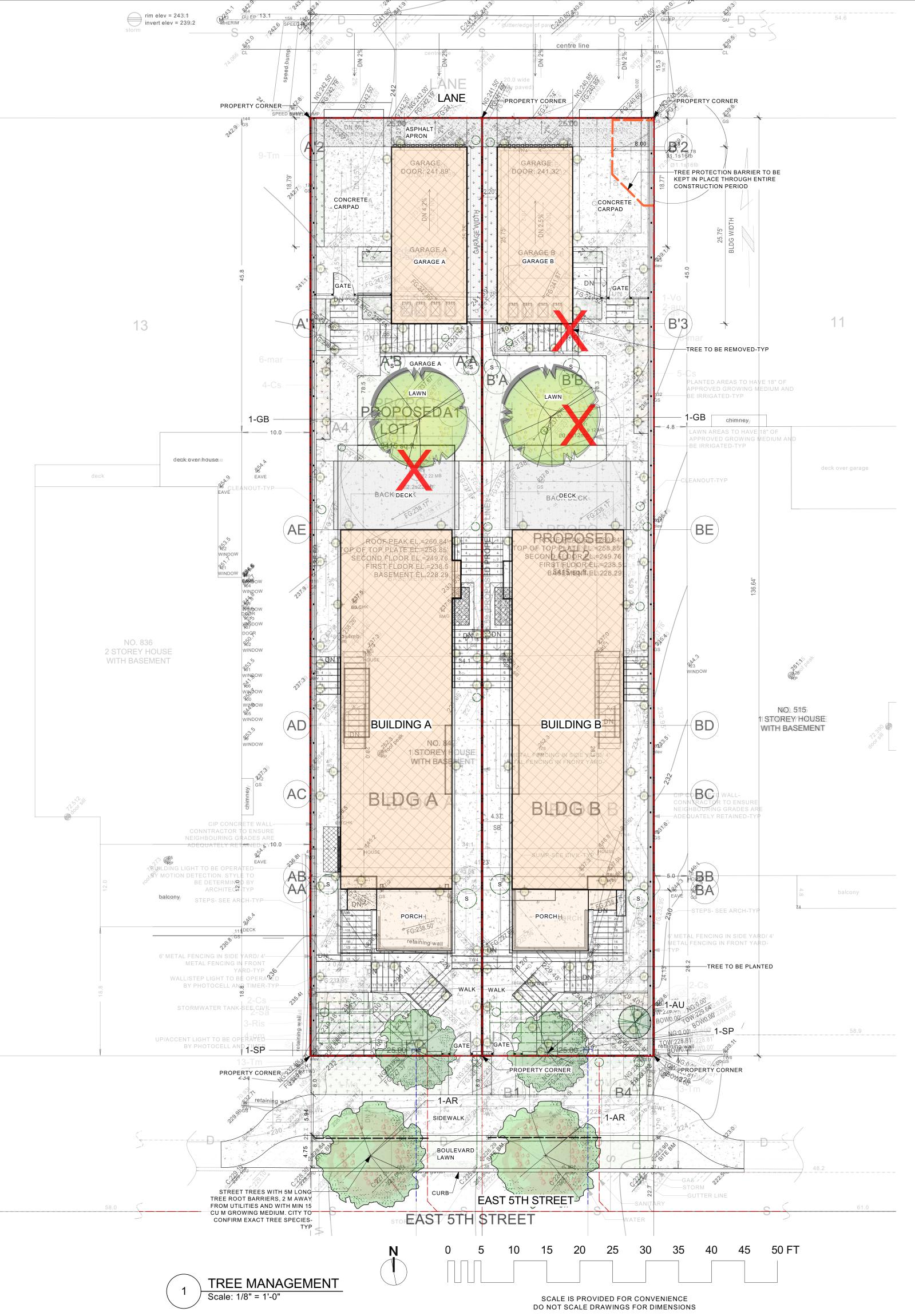
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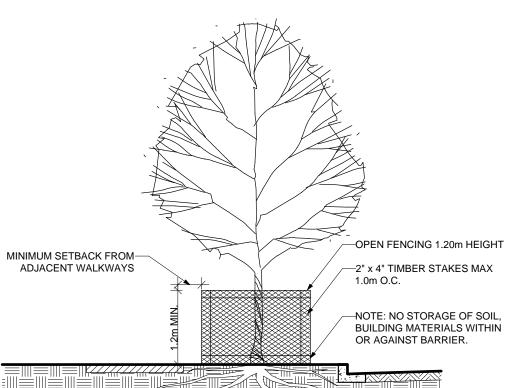
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	SWILA sw landscape architect				
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919	919 MELBOURNE AVENUE, NORTH VANCOUVER stevewong234@gmail.com 778 834-8959 www.swlandscapearchitect.com				
Client	Client MEHRAN HALAVI				
Project 1	Title				
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	TEVE WONG	Project ID 2023-27			
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SCHEDULE A - TREE PROTECTION BARRIER	NOTE:

TREE PROTECTION DISTANCE TABLE				
TRUNK [DIAMETER	MINIMUM DISTANCE		
CM	FT	FROM TRUNK (METERS)		
20	0.6	1.2		
25	0.8	1.5		
35	1.0	2.1		
40	1.2	2.4		
45	1.3	2.7		
50	1.5	3.0		
55	1.7	3.3		
60	2.0	3.6		
75	2.5	4.5		
90	3.0	5.0		
100	3.3	6.0		

TREE PROTECTION BARRIERS MUST BE AT LEAST 1.20m IN HEIGHT AND CONSTRUCTED OF EITHER SNOW FENCING SECURELY FASTENED TO 2x4 TIMBER STAKES, OR METAL STAKES SPACED NO FURTHER THAN 1.00m APART.

2 Scale: NTS

TREE PROTECTION BARRIER

GENERAL TREE NOTES

- 1. Any permitted tree removal(s) must be performed by a qualified professional.
- 2. No grade changes are to occur within the critical root zones of any retained trees. Any exposed roots from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent dessication of exposed roots; this root curtain must be removed prior to backfilling. Trees must be adquately watered during the entire construction process.
- 3. The removal of existing organics within the critical root zones of retained trees must be performed manually. when installing new plant material within the critical root zones of retained trees, if large roots (1.5' diameter and larger) are encountered, then new plantings must be shifted to accommodate. No more than 3" of additional soil for new landscaping may be added within any critical root zone.
- 4. Any excavation work or work within the protection zone of retained trees requires the supervision of a certified arborist. This includes, but is not limited to; demolition, the installation of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communication, electrical, irrigation, etc.), during the installation of patios, driveways, or any hardscape, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and deck footings.
- 5. Construction materials must not be stored within the tree protection zone (TPZ) of trees to be retained, and TPZ fencing to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating 'Tree protection zone-Do not enter of modify'. Contact your project arborist for any TPZ barrier issues.
- 6. Refer to arborist report and drawing where applicable.

TREE SUMMARY

ONSITE TREES REMOVED

TREES PLANTED -ONSITE- 5 -OFFSITE-2

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		andseano architect	
	SW la	andscape architect	
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	stevewong234@gmail.com 778 834-8959		
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Project 1	Title		
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	TREI	E MANAGEMENT	
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LEGEND

2 ⁰⁰
⊕ (219.33)
⊕ (TW / 222.25')
⊕ (BW / 223.81')

EXISTING ELEVATION

PROPOSED ELEVATION

PROPOSED TOP OF WALL ELEVATION

PROPOSED BOTTOM OF WALL ELEVATION

PROPERTY LINE















AREA DRAIN

TRENCH DRAIN

ASPHALT

CONCRETE

FIBAR

SAND

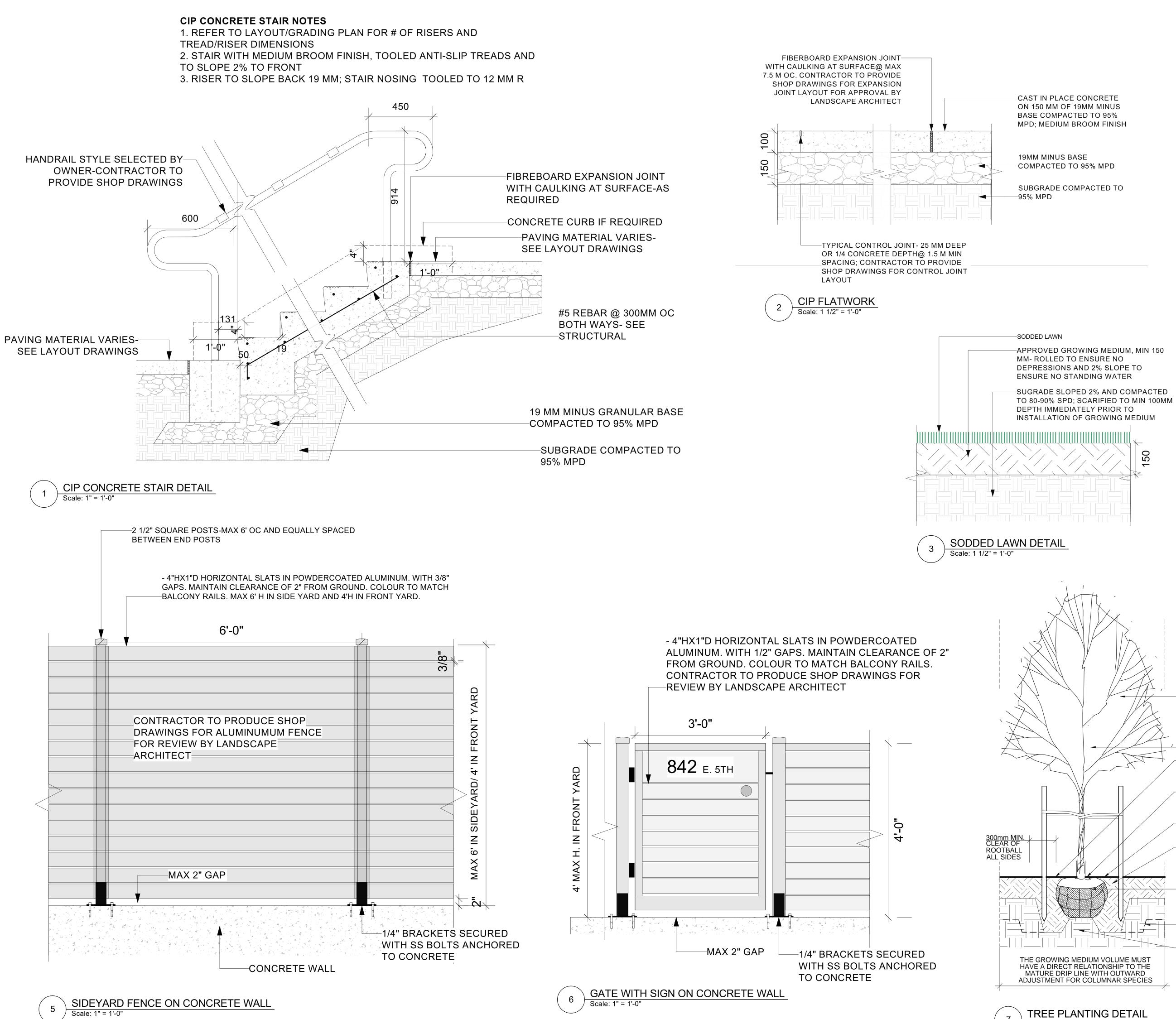
STONEWORK

SLABS/TILES

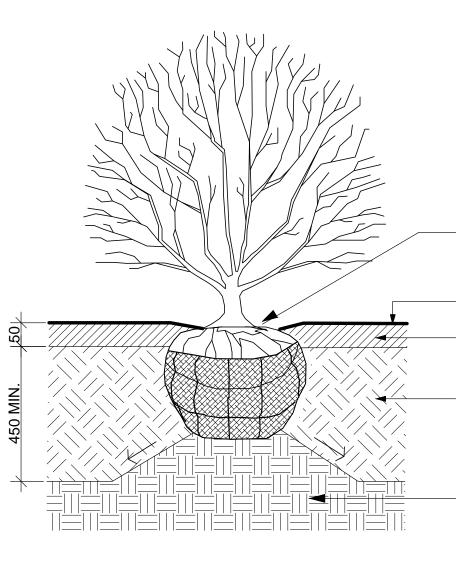
WOOD DECK

GRAVEL

GRASS



Scale: 1" = 1'-0"



SHRUB PLANTING DETAIL

REMOVE BURLAP AND ROPE FROM AROUND BASE OF SHRUB REMOVE ALL 'ORGANIC' POTS PRIOR TO PLANTING -FINISH GRADE

-MULCH

-450mm GROWING MEDIUM

COMPACTED SUBGRADE SCARIFY SURFACE PRIOR TO PLACEMENT OF SHRUB SLOPE SURFACE TO DRAIN AWAY FROM ROOTBALL

NOTES:

4

Scale: N/A

1. SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE OF GROWING MEDIUM. 2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB. 3. PLANTING PIT MUST BE FREE DRAINING

Scale: N/A

SET TREE PLUM. STAKE TREE WITH TWO VERTICAL 50mm X 50mm PRESSURE TREATED STAKES 1500mm LONG; PLACE 1/3RD OF THE STAKE BELOW GRADE. STAKES TO BE POSITIONED PARALLEL TO STREET FOR STREET TREES OR TO PREVAILING WIND. STAKES NOT TO PENETRATE OR DAMAGE ROOT BALL DO NOT CUT LEADER

> - CREATE A 50mm DEEP WELL IN GROWING MEDIUM FOR THE FIRST YEAR OF WATERING. ENSURE WELL IS A CLEAN-EDGED CIRCLE WITH A DIA. OF 1500mm

- TOP OF THE ROOTBALL TO BE FLUSH WITH SURROUNDING GRADE. FINISHED GRADE OF PLANTING TO BE EQUIVALENT TO NURSERY **GROWN GRADE OF TREE**

PLACE 50mm DEPTH OF MULCH OVER THE PLANTING WELL. KEEP MULCH BACK FROM TRUNK A MINIMUM DISTANCE OF 100mm

——— PLANTING HOLE SHALL BE MINIMUM DEPTH OF ROOTBALL. PLANTING HOLE EDGE TO BE A SHALLOW ANGLE. SCARIFY SIDES AND BOTTOM OF TREE PIT PRIOR TO PLANTING.

REMOVE COMPLETELY THE TOP 1/3 OF THE WIRE BASKET, BURLAP, AND ALL NYLON AND BINDING MATERIAL. CUT OFF WIRE BASKET AND BURLAP, DO NOT FOLD THEM INTO THE HOLE PRIOR TO BACKFILLING

- SOIL DEPTH MAY VARY TO ACCOMMODATE REQUIRED VOLUME WITHIN 900mm MAXIMUM DEPTH.

- ENSURE A MIN. 300mm DEPTH OF COMPACTED SUBGRADE UNDERNEATH ROOTBALL TO PREVENT SETTLING OF TREE

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Project N S	^{Manager} TEVE WONG	Project ID 2023-27
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