

# Notice of Proposed Zoning Amendment Bylaw - No Public Hearing

## Zoning Amendment Bylaw, 2024, No. 9060

### 2416 Western Avenue

**Purpose:** The purpose of the proposed Bylaw is to rezone the subject property from a One-Unit Residential 1 Zone (RS-1) to a new Comprehensive Development 766 Zone (CD-766), to permit the development of a three (3) storey ground-oriented residential development consisting of 18 units.

**Subject Lands:** The lands that are the subject of the proposed Bylaw are shown on the inset map, with a civic address of 2416 Western Avenue.

Legal Description: Lot A, Block 215, DL 545 Group 1  
New Westminster District, Plan EPP119522

**Bylaw Readings:** Consideration of first, second and third readings of the proposed Bylaw will be at the **Regular Council Meeting on July 22, 2024**.

**Access Documents:** A copy of the proposed Bylaw is available for inspection online anytime at [cnv.org/PublicNotices](https://cnv.org/PublicNotices) from July 10 to July 22, 2024.

**Provide Input:** **Written submissions only, including your name and address**, may be addressed to the Corporate Officer and sent by email to [input@cnv.org](mailto:input@cnv.org), or by mail or delivered to City Hall, **no later than noon on Monday, July 22, 2024**, to ensure availability to Council at the meeting. No Public Hearing will be held, as it is prohibited by section 464(3) of the *Local Government Act*. **No Public Input Period submissions on this matter will be heard at the Council meeting.**

**Watch the Meeting:** Online at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming) or in person at City Hall, 141 West 14<sup>th</sup> Street. Enter City Hall from 13<sup>th</sup> Street after 5:30pm.

**Questions?** Linden Mulleder, Planner, [planning@cnv.org](mailto:planning@cnv.org) / 604-982-9675





 Department Manager	 Acting Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Linden Mulleder, Planner 2

SUBJECT: ZONING BYLAW AMENDMENT FOR 2416 WESTERN AVENUE (BY  
DESIGN CONSTRUCTION)

Date: July 3, 2024

File No: 08-3400-20-0134/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

## RECOMMENDATION

PURSUANT to the report of the Planner 2, dated July 3, 2024, entitled "Zoning Bylaw Amendment for 2416 Western Avenue (By Design Construction)":

THAT the application submitted by By Design Construction, to rezone the property located at 2416 Western Avenue Street from a RS-1 Zone to a Comprehensive Development Zone, be considered for first, second, and third readings with no Public Hearing held, in accordance with the *Local Government Act*, Section 464(3) [*public hearing prohibited*];

AND THAT the community benefits listed in the section "Density Bonus and Community Benefits" be secured, through agreements at the applicant's expense and to the satisfaction of staff.

## ATTACHMENTS

1. Context Map (CityDocs [2537050](#))
2. Architectural Plans, dated May 12, 2024 (CityDocs [2526105](#))
3. Landscape Plans, dated May 13, 2024 (CityDocs [2526113](#))
4. Advisory Design Panel Resolution, dated January 17, 2024 (CityDocs [2541484](#))
5. Advisory Design Panel Resolution, dated March 19, 2024 (CityDocs [2512495](#))
6. Public Consultation Summary (CityDocs [2540420](#))
7. Overview of Zoning Variances (CityDocs [2537229](#))
8. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 9060" (By Design Construction, 2416 Western Avenue, CD-766) (CityDocs [2536841](#))

## SUMMARY

This report presents a rezoning application at 2146 Western Avenue to rezone the properties to support the development of three ground-oriented residential buildings comprising a total of 18 units.

## BACKGROUND

Applicant:	By Design Construction
Architect:	Architectural Collective
Official Community Plan Designation:	Residential Level 4-A (Medium Density)
Existing Zoning:	One-Unit Residential 1 (RS-1)
Applicable Guidelines:	None

## DISCUSSION

### Site Context and Surrounding Use

The subject site has a total size of 1,311.5 sq. m (14,117 sq. ft.) with a frontage of approximately 29.5 m (96.69 ft.) along Western Ave. The proposed development would replace two existing single family homes on the site.

The site is located at the northern end of Western Avenue, just south of Highway 1. The site is close to frequent transit and within walking distance to commercial and recreational amenities along the Lonsdale corridor. The buildings and uses immediately surrounding the site are described in Table 1 below:

**Table 1. Surrounding Uses**

Direction	Address	Description	Zoning
North	N/A	Highway 1	N/A
South	2358 Western Ave.	Townhouses (OCP designation R4 A)	CD-635
East	2369 Lonsdale Ave	Rental Apartment building (OCP designation R5)	RM-1
West	2401-2417 Western Ave	Single family homes (OCP designation R3)	RS-1

### Project Description

The application proposes three buildings (two of which are three-storey and the other at two-storeys) with a total of 18 residential units. The residential units are ground oriented and the site includes outdoor amenity spaces for residents. Parking access is provided off the rear lane to the east.

Table 2 provides an overview of the proposed development:

**Table 2: Development proposal overview**

<b>Element</b>	<b>Proposal</b>
<b>Density</b>	1.0 FSR
<b>Unit Mix</b>	18 residential rental units, including <ul style="list-style-type: none"><li>• 6 one-bedroom units;</li><li>• 6 two-bedroom units;</li><li>• 2 three-bedroom units (11%);</li><li>• 4 four-bedroom units (22%)</li></ul>
<b>Height</b>	Building #1 – Three storeys and 11.5 metres Building #2 - Three storeys and 11.6 metres Building #3 – Two storeys and 7.8 metres

## **PLANNING ANALYSIS**

### **Policy Alignment**

The proposal is consistent with the OCP land use designation and below the OCP height limits for the site. The proposed density is 1.0 FSR, which is consistent with the OCP Residential Level 4A land use designation.

The proposed mix of unit types meets key actions of the Housing Action Plan for family-friendly units. The proposal addresses the Active Design Guidelines outdoor amenity spaces.

### **Built Form and Urban Design**

The proposed built form is generally consistent with the character of the neighbourhood. To allow the buildings to integrate with developments on adjoining lots, and to retain two large mature trees, a generous setback is provided at the front of the development while the building along the lane has been limited to 2 storeys. By doing so the proposal establishes a strong street wall along Western Avenue and the rear lane.

A high level of laneway activation and casual surveillance is also achieved through pedestrian access from the lane and patios facing the lane. The proposed development also features landscaping treatments within the project design to further soften the visual impacts of the built form.

### **Tree Replacement**

There are currently 13 trees on the site, including one which is within the lane dedication. Two large Western Red cedar trees at the south-west corner of the lot are in good condition, and will be retained.



The remainder of the trees will be removed to facilitate the development. Staff are supportive of the removal of these trees, as they are located within the buildable footprint of the property, and the proposed buildings and parkade cannot not be reasonably modified to retain the trees without decreasing the allowable density established in the Official Community Plan. Furthermore, the City has requested a considerable lane dedication along the northern property boundary, further impacting the developable portion of the site.

The removal of the trees is subject to the City's Tree Bylaw. It is anticipated that payment in lieu will be provided as per the bylaw, rather than replacement trees on site, given the limited area.

Beyond the payment in lieu, the City will also work towards street tree planting through the Building Permit Process when more detailed site design is considered.

### **Lane Dedication**

At the request of the City's Transportation Engineering Division, the applicant has agreed to provide a three-metre road dedication along the north side of the property line. This comprises about 10% of the current lot, which constrains the developable area and necessitates some variances to the zoning (Attachment 7). The road dedication will be used to provide a one-way lane connection between Western Ave and the rear lane.

The connection is needed to improve the traffic configuration at the intersection of the lane and West 23rd Street which is currently resulting in conflict among road users due to the proximity to the intersection with Lonsdale Ave. It is likely that that the issues will worsen without any intervention as more properties redevelop with increased density. The one-way lane connection would alleviate some of these pressures and opens up opportunities to improve this intersection that otherwise would not be feasible.

### **Proposed Zoning Changes**

The proposed Comprehensive Development Zone will be based on the Ground Oriented RG-3 zone. To allow the development, the proposed bylaw would vary the lot coverage, height, siting, and floor area exclusions in the RG-3 Zone. A table summary and overview of the proposed zoning changes is included in Attachment 7.

## Parking and Transportation

The application proposes vehicle access to the underground parkade from the Eastern laneway. The application exceeds the bicycle parking requirements of the Zoning Bylaw of 1.5 stalls per unit. The relevant statistics and variances are provided in Table 3.

**Table 3: Proposed Vehicle and Bicycle Parking**

<b>Car Parking</b>	17 Car Parking Spaces total <ul style="list-style-type: none"><li>• A total of 12 Resident parking spaces</li><li>• 1 Car share parking space (counted as 4 regular parking stalls as per the Zoning Bylaw)</li><li>• 1 visitor parking space</li></ul>
<b>Bicycle Parking</b>	Residential: <ul style="list-style-type: none"><li>• Secure — 32 spaces + 3 Cargo bike stalls (1.9 per unit);</li><li>• Short Term — 0 spaces (not required).</li></ul>
<b>Transportation Demand Management (TDM) measures</b>	2 Two-year Modo Memberships for each residential unit

Three variances to residential parking are proposed for the development:

- A reduction in Parking Spaces from 19 to 17. Based on the constrained site after the need for a land dedication, the parking was reduced. Considering the central location and transportation demand management measures in place, this variance is supported by staff.
- To reduce the visitor parking space requirement from 2 Parking Stall to 1 Parking Space. Based on the constrained site after the need for a land dedication, the parking was reduced. This variance is also supported by staff as one stall will still be provided, accommodating visitors parking on site.
- To waive the requirement to provide 1 Disability Parking Stall. Based on the constrained site after the need for a land dedication, the parking was reduced. Furthermore, none of the residential units are accessible, being ground-oriented units accessed via stairs and porches. The additional space necessary to make the parkade accessible via elevator or wheelchair ramp would not benefit the units, and would further reduce parking or open space. Therefore, staff are supportive of the variance to waive the requirements for 1 Disability Parking Stall.

## Off-Site Works and Infrastructure Upgrades

The proposed development will provide required off-site streetscape upgrades consistent with the Subdivision and Development Control Bylaw. This includes new sidewalks, curb and gutter, street trees, street lighting, and road and lane paving. The

frontage along Western Avenue and the rear lane will be reconstructed, and a new one-way lane in the land dedication to the north will be constructed.

In addition to the bylaw required works, the development will secure the following:

- Provision of a water main upgrade along Western Avenue from building service to W 23<sup>rd</sup> Street to provide adequate water service to meet the fire flow; and
- Dedication of 3 m along the north property line for construction of a laneway.

These requirements will be secured through legal agreements with the City.

### **Density Bonus and Community Benefits**

The City's *Density Bonus and Community Benefits Policy*, in conjunction with the Official Community Plan, allows for density bonuses beyond the existing zoned density of 0.5 FSR up to 1.0 FSR in the Residential Level 4A designation.

The proposed project would include community benefits valued at approximately \$176,462, as outlined in Table 4 below.

**Table 4. Estimated Value of Community Benefits through Density Bonusing**

Density Value Calculation	Value
Density Bonus to 1.0 FSR / OCP Density (7,058 @ \$25 / sq. ft.)	\$176,462.50
<b>Total Value of Community Benefits</b>	<b>\$176,462.50</b>

The policy provides a number of community benefits options for projects seeking additional density and seeks to ensure the City receives value for additional density granted. The specific amenities and benefits included in the proposed project are described in Table 5 below and would be secured as conditions of receiving a density bonus should Council wish to proceed with the proposed project.

**Table 5. Community Benefits Summary**

Community Benefit	Value
<b>A. Cash Contributions</b>	
Contribution to Community Amenity Reserve Fund	\$141,170
Contribution to Affordable Housing Reserve Fund	\$35,292
<b>B. In-Kind Benefits</b>	
N/a	0
<b>TOTAL VALUE (A + B)</b>	<b>\$176,462</b>

### **Legal Agreements**

Should Council support this rezoning, the following legal agreements will be prepared prior to final adoption:

- Development Covenant;
- Servicing Agreement;
- Road Dedication;
- Community Good Neighbour Agreement;
- Crane Swing and Shoring Agreement;

- Flooding Covenant; and
- Community Energy Agreement.

The plan for the road dedications will be required to be prepared by the applicant and signed and delivered to the City with the above-noted agreements prior to final adoption.

### **ADVISORY BODY INPUT**

The application was reviewed by the Advisory Design Panel (ADP) on January 16th 2024 and again on March 19th 2024 after revisions were made as per the directions of the ADP. On March 19th 2024 The ADP recommended approval of the proposal without further conditions.

The ADP resolutions for both meetings are available in Attachments 4 and 5.

### **COMMUNITY CONSULTATION**

A Developer's Information Session (DIS) was held on December 6th 2023, and was attended by 4 people. A total of 6 comment forms were submitted following the DIS. One of the comment forms received was opposed to the project.

Staff received one email outside of the DIS process.

The main reasons for support were

- Support for multi-unit development and more choice and supply
- General support for the building design and scale
- Support for new buildings to improve street frontage

The main concerns were:

- Concerns regarding traffic and access of lane for garbage and recycling trucks
- Concerns regarding reduced parking proposed on site
- Concerns regarding the increase in density

A summary of the public consultation, as prepared by the applicant, is available in Attachment 6.

#### **Staff Response**

The application was generally well received, the concerns regarding parking and access have been addressed through the provision of the one-way lane connection, which should improve vehicle movement through the lane for all developments. The parking reductions are in line with other developments within the Lonsdale Regional City Centre close in proximity of transit, bike routes and commercial services.

### **NO PUBLIC HEARING FOR OCP COMPLIANT RESIDENTIAL DEVELOPMENT**

Pursuant to recent Provincial amendments to Section 464 of the *Local Government Act*, which came into force on November 30, 2023, the City must not hold a public hearing

on a proposed rezoning bylaw if: an OCP is in place for the subject site; the bylaw is consistent with the OCP; the purpose of the bylaw is to permit a development that is residential; and that residential component is at least half of the gross floor area for the development. Since all of these factors apply to this development, no public hearing will be held and notices have been published prior to First Reading of the Bylaw, as required by the *Local Government Act*.

## **CONCLUSION**

This proposal is in alignment with the goals and objectives of the OCP and Council Strategic Plan to intensify residential development within the Lonsdale Regional City Centre, and to increase family-friendly units in the City. The project will also provide necessary land dedications to facilitate a lane connection between Western Avenue and the rear lane behind the property.

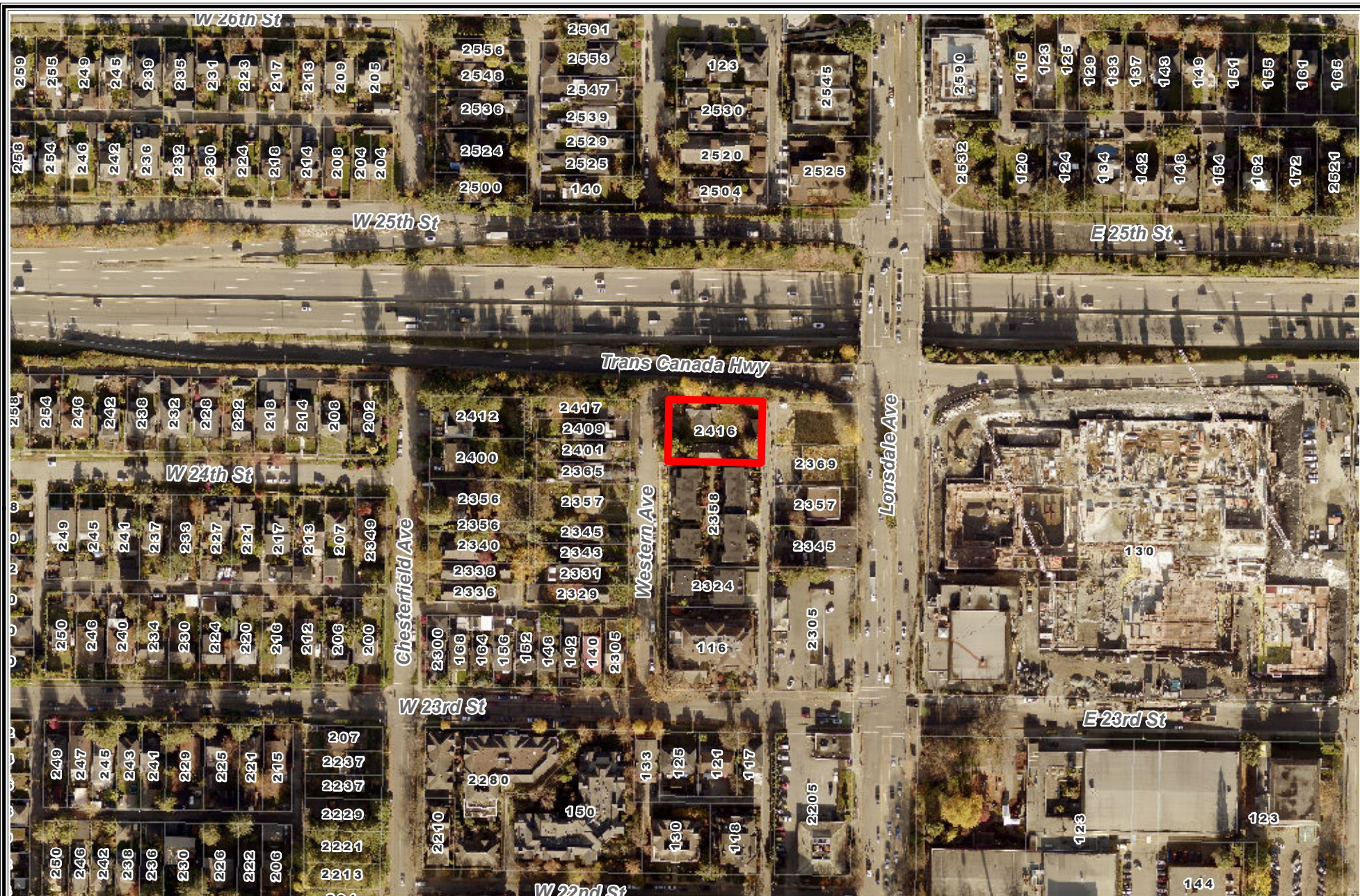
RESPECTFULLY SUBMITTED:



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Linden Mulleder  
Planner 2







DRAWING LIST table with columns: #, DRAWING NAME

Detailed drawing list table including titlesheet, site context, floor plans, elevations, sections, and shadow studies.

LIST OF CONSULTANTS

SURVEYOR: KEN K. WONG and ASSOCIATES. CONTACT: STEVE WONG. 5624 E HASTINGS STREET, BURNABY, B.C. V5B 1R4. TEL.: 604.294.8881. EMAIL: wong\_associates@shawbiz.ca

ARBORIST: TALUS CONSULTING. CONTACT: JOE MCLEOD. TEL. 604.354.7799. EMAIL: talusbc@gmail.com

LANDSCAPE ARCHITECT: PROSPECT & REFUGE. CONTACT: ALYSSA SEMCZYSZYN. #102-1661 W 2nd AVENUE, VANCOUVER, BC V7M 1H3. TEL.: 604.669.1003. EMAIL: info@prospectrefuge.ca

CIVIL ENGINEER: CREUS ENGINEERING. CONTACT: FRED CIAMBRELLI. #610 - EAST TOWER 221 ESPLANADE WEST, NORTH VANCOUVER, BC V7M 3J3. TEL: 604.987.9070 X301. EMAIL: FCIAMBRELLI@CREUS.CA



RESIDENTIAL LEVEL 4-A Ground Oriented (Medium Density)

Purpose: To provide a range of housing types and sizes close to transit and services including smaller, more affordable housing. Form: Townhouses, rowhouses, stacked townhouses, garden apartments, four-plexes. Max Density: 1.0 FSR. Bonus: n/a

DESIGN RATIONALE

THE SITE IS LOCATED AT THE NORTH END OF WESTERN AVENUE TO THE SOUTH OF THE UPPER LEVELS HIGHWAY THAT HAS A SIGNIFICANT GREEN SPACE BUFFER TO THE MERGING LANES INTO THE HIGHWAY. DIRECTLY TO THE SOUTH OF THE PROPERTY IS AN EXISTING 18 UNIT TOWNHOUSE DEVELOPMENT CONSISTING OF THREE BUILDINGS AND AN UNDERGROUND PARKING ACCESSED FROM THE EAST LANE.

THE PROPOSED DEVELOPMENT'S SOUTHERN BUILDING#2 IS PROPOSED TO BE SET BACK SIGNIFICANTLY FROM THE FRONT PROPERTY LINE TO RETAIN THE TWO EXISTING TREES AS RECOMMENDED BY THE ARBORIST. AS A RESULT, THE MASSING OF THE SOUTHERN BUILDING IS PROPOSED TO HOUSE ADDITIONAL FLOOR AREA IN THE FOURTH FLOOR TO FACILITATE THE RELOCATION OF THIS FLOOR AREA.

TO THE NORTH OF THE SITE, A 10 FEET LANE DEDICATION IS PROVIDED AS REQUIRED BY CITY ENGINEERING FURTHER LIMITING THE DEVELOPMENT FOOTPRINT. THE RESULTANT RESIDENTIAL UNIT DESIGN PROVIDES STACKED UNITS IN THE FRONT ORIENTED BUILDINGS AND A DUPLEX BUILDING IN THE REAR YARD WITH INTERMEDIARY COURTYARD SPACE.

THE DEVELOPMENT PROPOSAL FOR THIS SITE IS TO PROVIDE AN AFFORDABLE MIX OF STRATA RESIDENTIAL UNITS. UNIT FLOOR AREAS RANGE FROM TWO TO FOUR BEDROOMS AND 600SF TO 1630SF.

DESCRIPTION OF PROJECT & IMPLEMENTATION OF PROJECT GOALS AND OBJECTIVES:

USE: THE PROPOSED USE FOR THE MULTI-FAMILY RESIDENTIAL 18 UNIT PROJECT IS SIMILAR IN DEVELOPMENT TO THE SOUTH NEIGHBOURING LOT THAT IS ALSO A 1.0 FSR IN DENSITY WITHIN THE R4A LAND USE CODE. THIS DEVELOPMENT PROPOSAL FOLLOWS THE GROUND ORIENTED MEDIUM DENSITY RESIDENTIAL GUIDELINES AS RECOMMENDED IN THE OFFICIAL COMMUNITY PLAN (OCP).

INTENSITY: THE PROPOSED INTENSITY MEETS THE RESIDENTIAL LEVEL 4A MEDIUM DENSITY MAXIMUM FSR OF 1.0 AND IS APPROPRIATE TO THE NEIGHBOURHOOD AND THE EXISTING MULTI-FAMILY DEVELOPMENTS ALONG WESTERN AVENUE TO THE SOUTH.

FORM: THE EXISTING GRADING ON WESTERN AVENUE RISES FROM SOUTH TO NORTH. THE PROPOSED MASSING AND HEIGHT FOLLOWS THE EXISTING TOPOGRAPHY. SHADOWING WITH SOUTHERN SUN EXPOSURE WILL NOT IMPACT ANY NEIGHBOURS AS THE NORTH FACES THE LANE DEDICATION AND THE HIGHWAY BUFFER. PARKING ACCESS IS FROM THE EASTERN LANE AND RAMPS DOWN INTO THE UNDERGROUND PARKING LEVEL BELOW THE DUPLEX.

Figure 10A-02 - Parking Provision by Class of Building - Minimum Required Bicycle Parking Spaces

Table showing required bicycle parking spaces for residential uses: Townhouse, Apartment, Rental, etc.

(1) Required Disability Parking: A portion of the required Parking Spaces in accordance with Figure 9-3 shall be dedicated for Disability Parking and shall:

(a) Within Townhouse Residential Use, Apartment Residential Use, Rental Apartment Residential Use and Accessory Apartment Residential Use, be calculated at a ratio of 0.038 Disability Parking Spaces for each Dwelling Unit.

Figure 9-3 - Minimum Parking Provision by Class of Building

Table showing required number of parking spaces for various residential uses, including One-Unit, Accessory, and Cedar Village uses.

(7) Visitor Parking: Where provision of 10 or more Parking Spaces is required on a lot, a portion of the required Parking Spaces in accordance with Figure 9-3 shall be dedicated for visitor Parking and shall:

(a) be calculated at a ratio of 0.1 spaces per dwelling unit.

(d) Parking reduction: The minimum vehicle Parking requirement in accordance with subsection 905(8), with no reduction in the minimum Visitor Parking requirement in accordance with Section 905(7), shall be reduced by four Parking Spaces, for provision of all of the following:

Table listing unit areas: UNIT#1 (593SF), UNIT#2 (593SF), UNIT#3 (702SF), UNIT#4 (716SF), UNIT#5 (1631SF), UNIT#6 (1631SF), UNIT#7 (1611SF), UNIT#8 (1583SF), UNIT#9 (593SF), UNIT#10 (593SF), UNIT#11 (694SF), UNIT#12 (703SF), UNIT#13 (1631SF), UNIT#14 (1631SF), UNIT#15 (1582SF), UNIT#16 (1611SF), UNIT#17 (1501SF), UNIT#18 (1425SF)

GARBAGE/RECYCLING: MULTIPLE RESIDENTIAL UNITS SPACE REQUIREMENT 5.23SF / UNIT + 118.4SF MIN. REQUIRED: 5.23SF X 18 UNITS = 94SF + 118.4 = 212.4 SF. PROPOSED: 186SF PROPOSED



WESTERN AVENUE PROPOSED ELEVATION

PROJECT STATISTICS - REZONING DEVELOPMENT PROPOSAL / RESIDENTIAL LEVEL 4A

Table of project statistics including Site Area (14,117SF), FSR (ALLOWABLE: 1.00, PROPOSED: 1.00), Building Areas (CELLAR, LEVEL 1, LEVEL 2, LEVEL 3), GFA (21,024), and various exclusions (CELLAR, BIKE STORAGE, MECH. & ELEC., HRV CLOSET, EXTERIOR WALL THICKNESS, PARKING, ROOF DECKS, TOTAL EXCLUSIONS: 6,907SF).

Table of Lot Coverage Proposed (7863SF / 14,117SF = 55.7%) and Unit Mix (1 BED, 2 BED, 3 BED, 4 BED, TOTAL RESIDENTIAL UNITS = 18).

HEIGHTS: HEIGHT RECOMMENDATIONS R4A - All residential development without maximum heights on this map shall not exceed six storeys. HEIGHTS PROPOSED: BUILDING#1 - 11.528M / BUILDING#2 - 11.649M / BUILDING#3 - 7.820M

SETBACK: EAST SIDE - 2'-0", WEST SIDE - 13'-0", NORTH - 3'-11.25" (NOT INCLUDING LANE DEDICATION), SOUTH - 3'-11.25"

PARKING: PARKING SUMMARY - (BIKE PARKING) 1) SECURED BIKE STALLS = 18 UNITS X 1.5 = 27 STALLS (BIKE STALLS REQUIRED) 32 STALLS + 3 CARGO BIKE STALLS PROVIDED. PARKING SUMMARY - (CAR PARKING) 2) 18 UNITS X 1.05 STALLS PER UNIT = 18.9 = 19 STALLS (PARKING REQUIRED). VISITOR STALLS REQUIRED = 0.1 STALLS PER DWELLING UNIT = 18 UNITS X 0.1 = 1.8 = 2 STALLS. DISABILITY PARKING STALLS REQUIRED = 0.038 STALLS PER DWELLING UNIT = 18 UNITS X 0.038 = 0.684 = 1 STALLS. PROPOSED: (1 CAR SHARE = 4 STALLS) + 13 STALLS = 17 STALLS 14 SECURED PARKING STALLS (9 STANDARD STALL SIZE/ 5 SMALL CARS)



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GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK: IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS.

ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK.

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

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REVISIONS

Table with columns: No., Description, Date. Includes revisions 3 through 11 regarding issued and reissued drawings for preliminary and rezoning plans.

PROJECT: LEGAL ADDRESS: LOT A, BLOCK 215, DISTRICT LOT 545, GROUP 1, NWD PLAN EPP119522

2416 WESTERN AVE. NORTH VANCOUVER

DRAWING TITLE: TITLESHEET & PROJECT STATISTICS

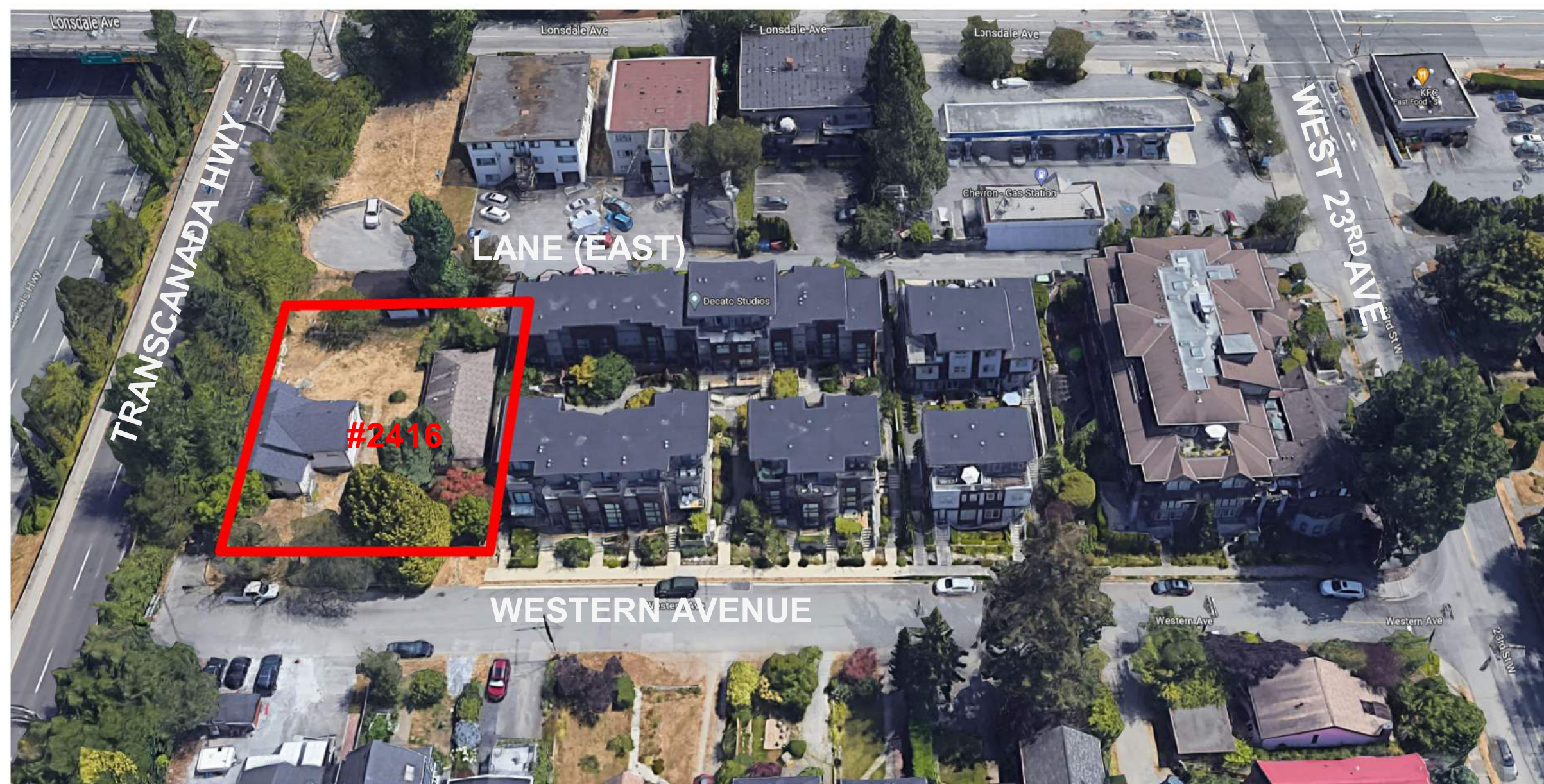
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Table with Scale (1/16" = 1'-0") and Drawing number (RZ100)

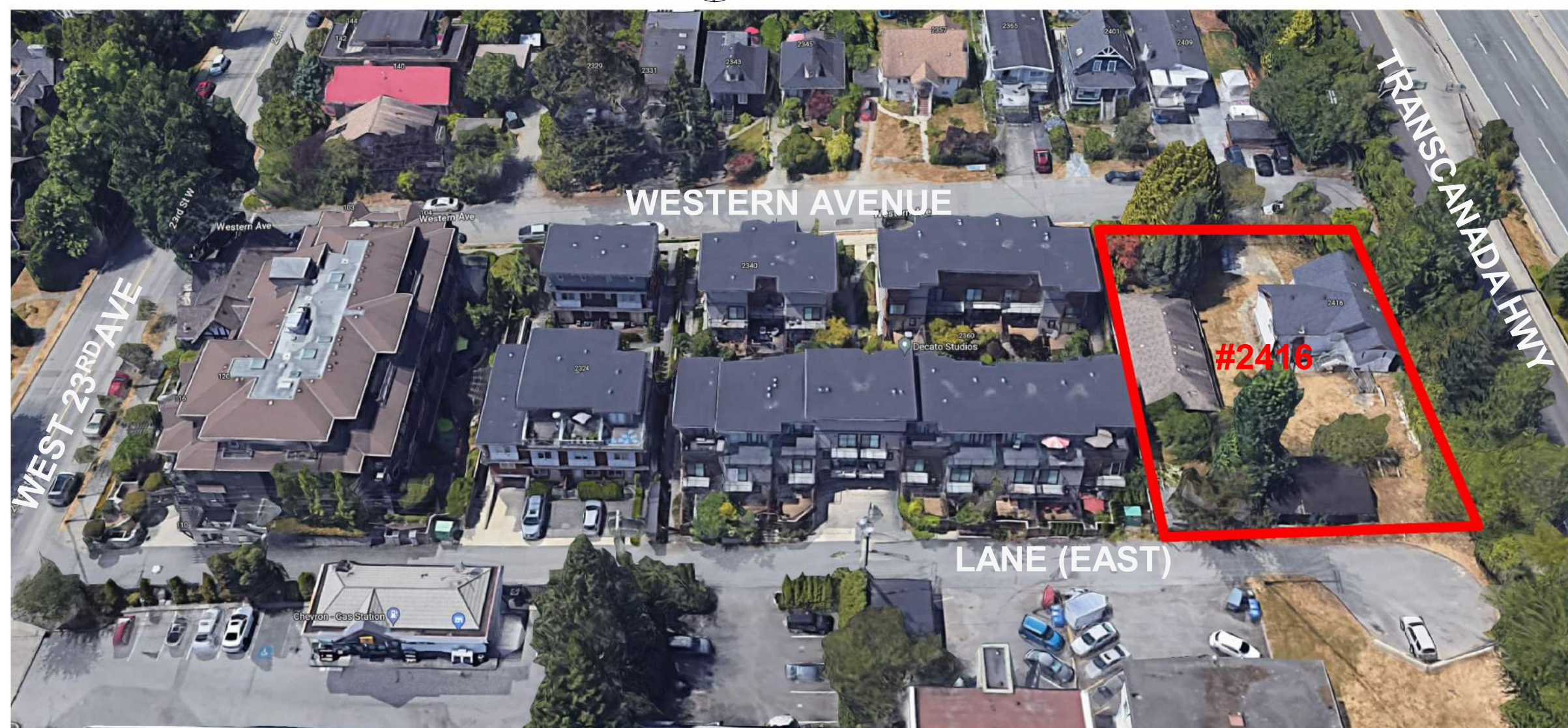
Table with Drawn by (SB) and Drawing number (RZ100)

Table with Approved by (CK) and Drawing number (RZ100)





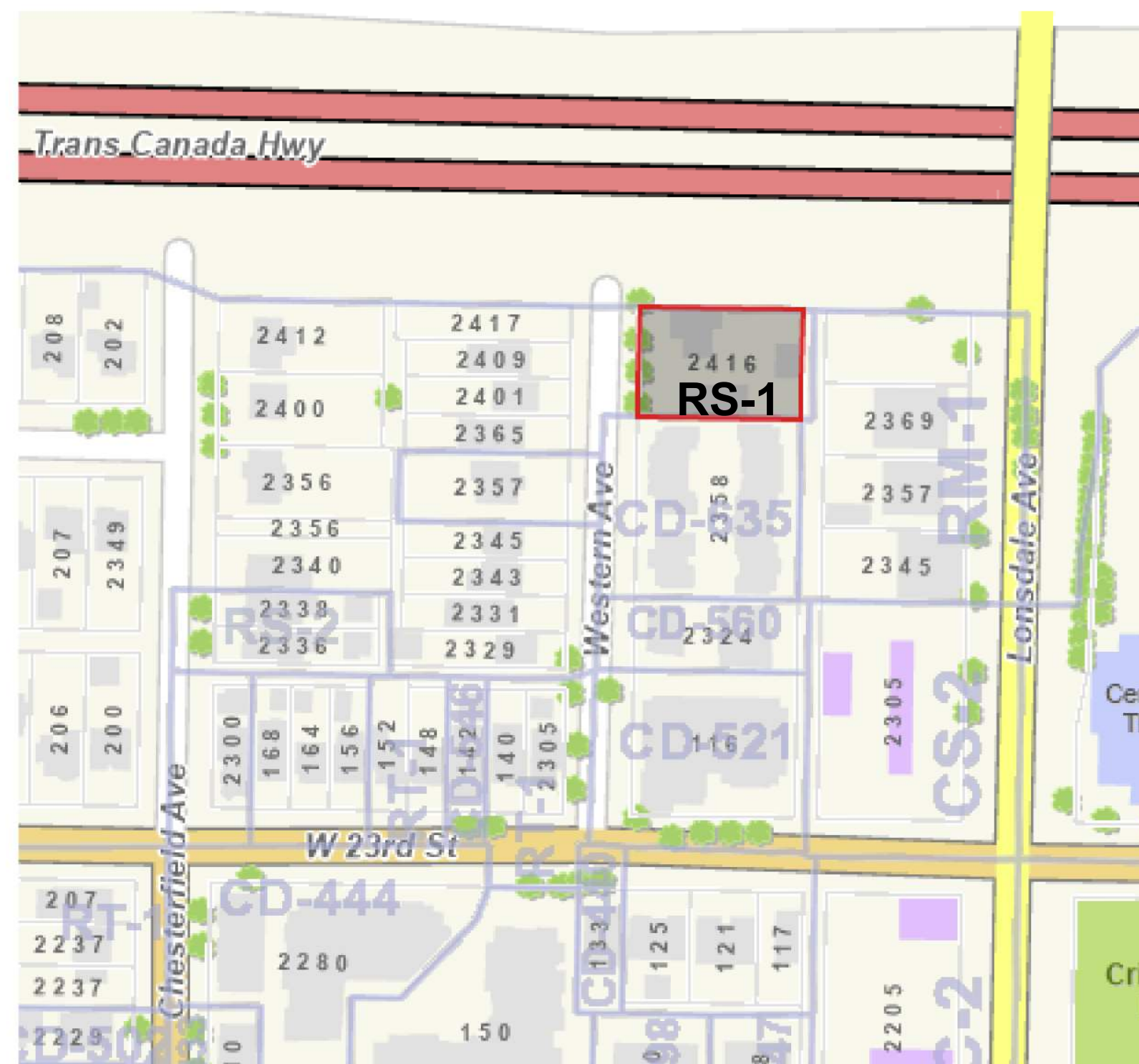
AERIAL VIEW - LOOKING EAST



AERIAL VIEW - LOOKING WEST



AERIAL VIEW - LOOKING SOUTH (PROPOSED)

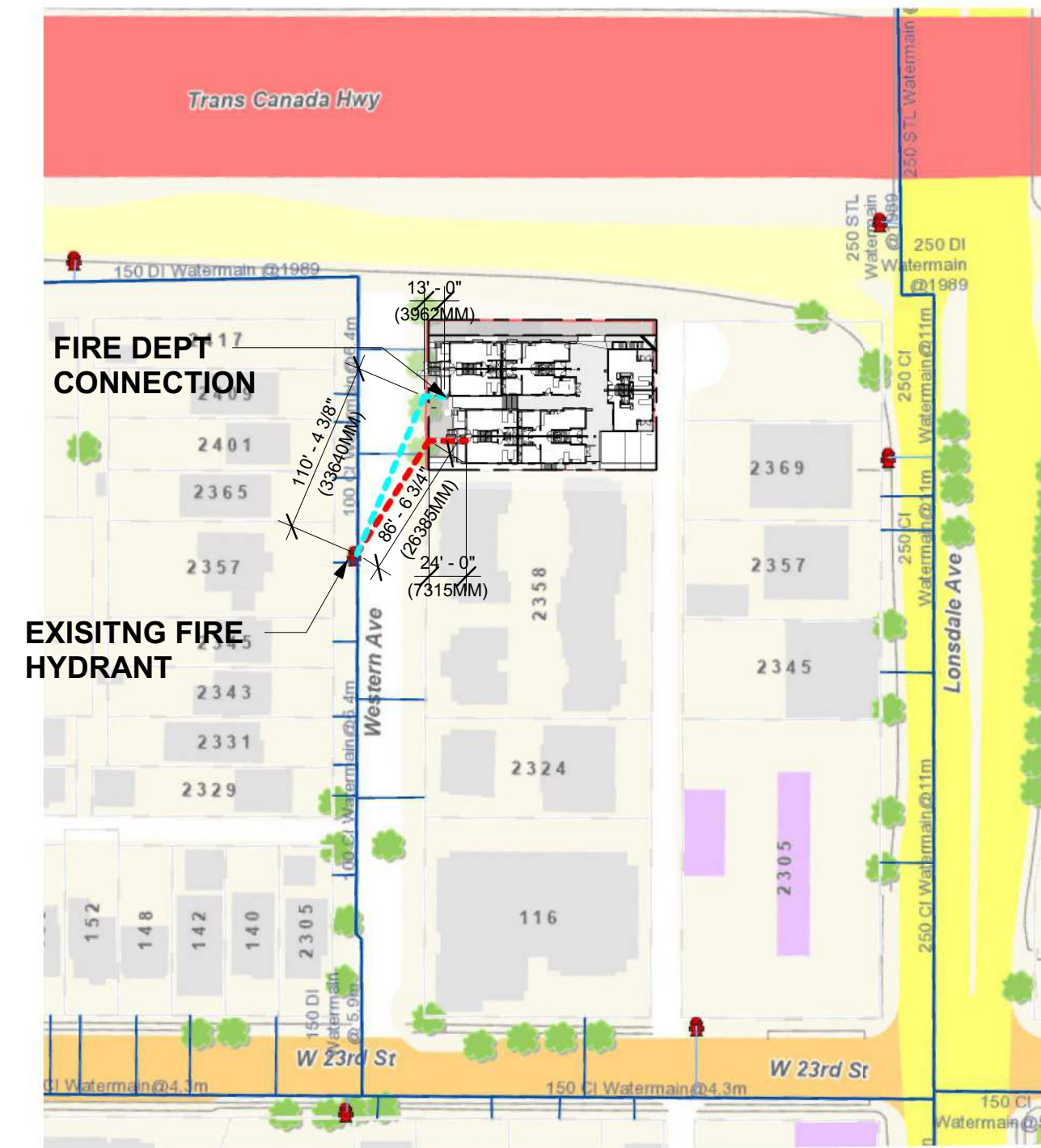
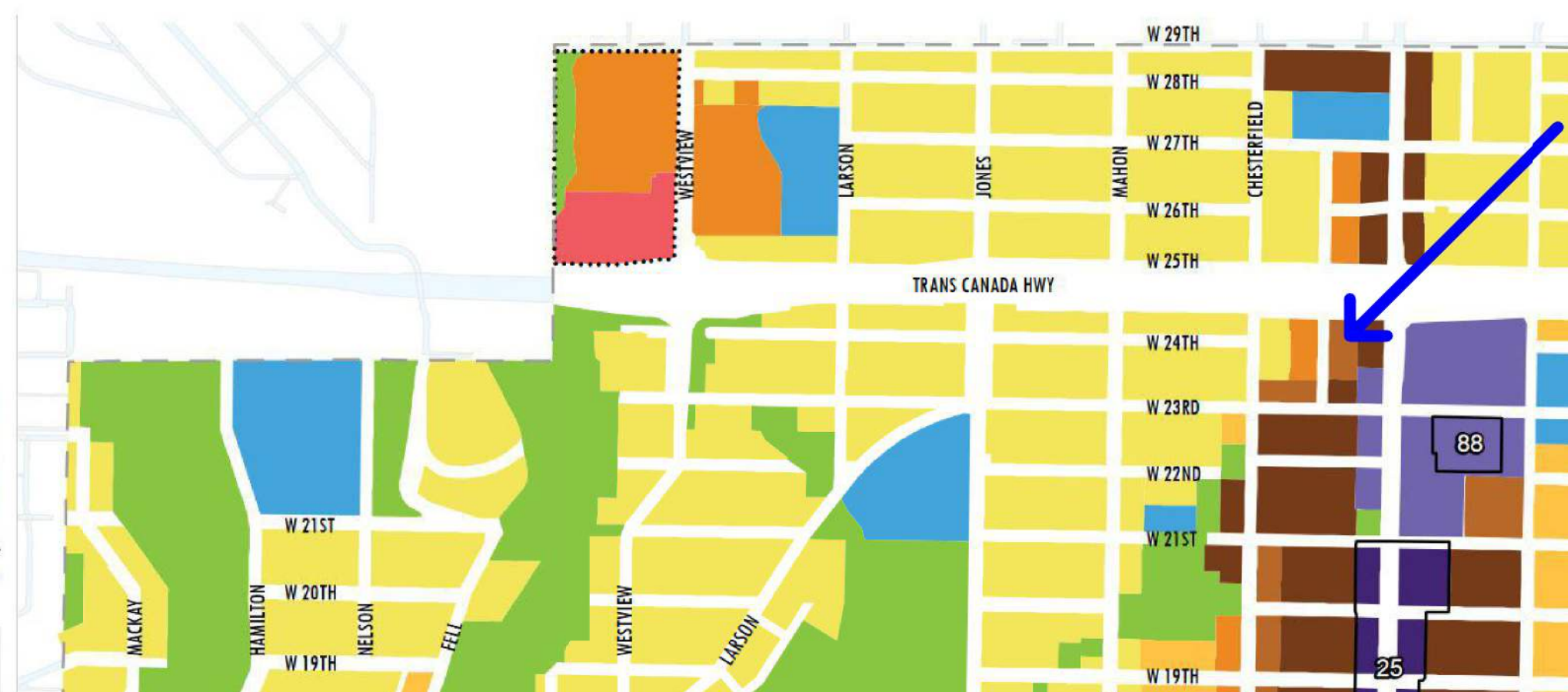


CONTEXT & ZONING MAP

**Land Use Designation**  
This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 1

Residential	Designation	OCF Density (FSR)	Maximum Bonus (FSR)
Yellow	Residential Level 1 (Low Density)	0.5	
Light Orange	Residential Level 2 (Low Density)	0.5	
Orange	Residential Level 3 (Low Density)	0.75	
Dark Orange	Residential Level 4A (Medium Density)	1.0	
Dark Orange with dots	Residential Level 4B (Medium Density)	1.25	
Brown	Residential Level 5 (Medium Density)	1.6	up to 1.0
Red	Residential Level 6 (High Density)	2.3	up to 1.0

OFFICIAL COMMUNITY PLAN



FIRE HYDRANT LOCATION



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**GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK**  
IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

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**REVISIONS**

No.	Description	Date
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
4	ISSUED FOR CLIENT REVIEW#3	2023 JUNE 19
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING	2023 OCT 08
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
SITE CONTEXT &  
FIRE DEPT  
REQTS

Date	Project number
2024 MAY 12	2316
Scale	RZ101
As indicated	
Drawn by	
SB	Approved by
CK	

2024-05-12 11:32:10 PM





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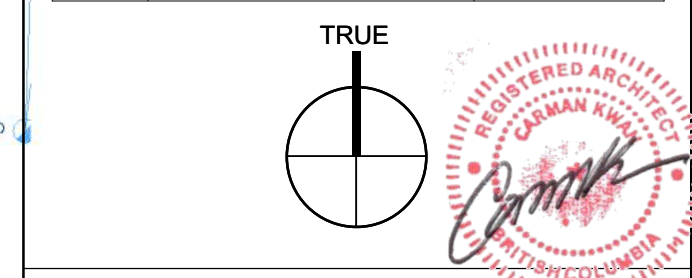
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REVISIONS		
No.	Description	Date
1	ISSUED FOR CLIENT REVIEW#1	2023 MAR 31
2	ISSUED FOR CLIENT REVIEW#2	2023 MAY 08
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
4	ISSUED FOR CLIENT REVIEW#3	2023 JUNE 19
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
6	ISSUED FOR COORD	2023 JULY 04
7	ISSUED FOR REZONING	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
9	ISSUED FOR COORD	2024 FEB 05
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

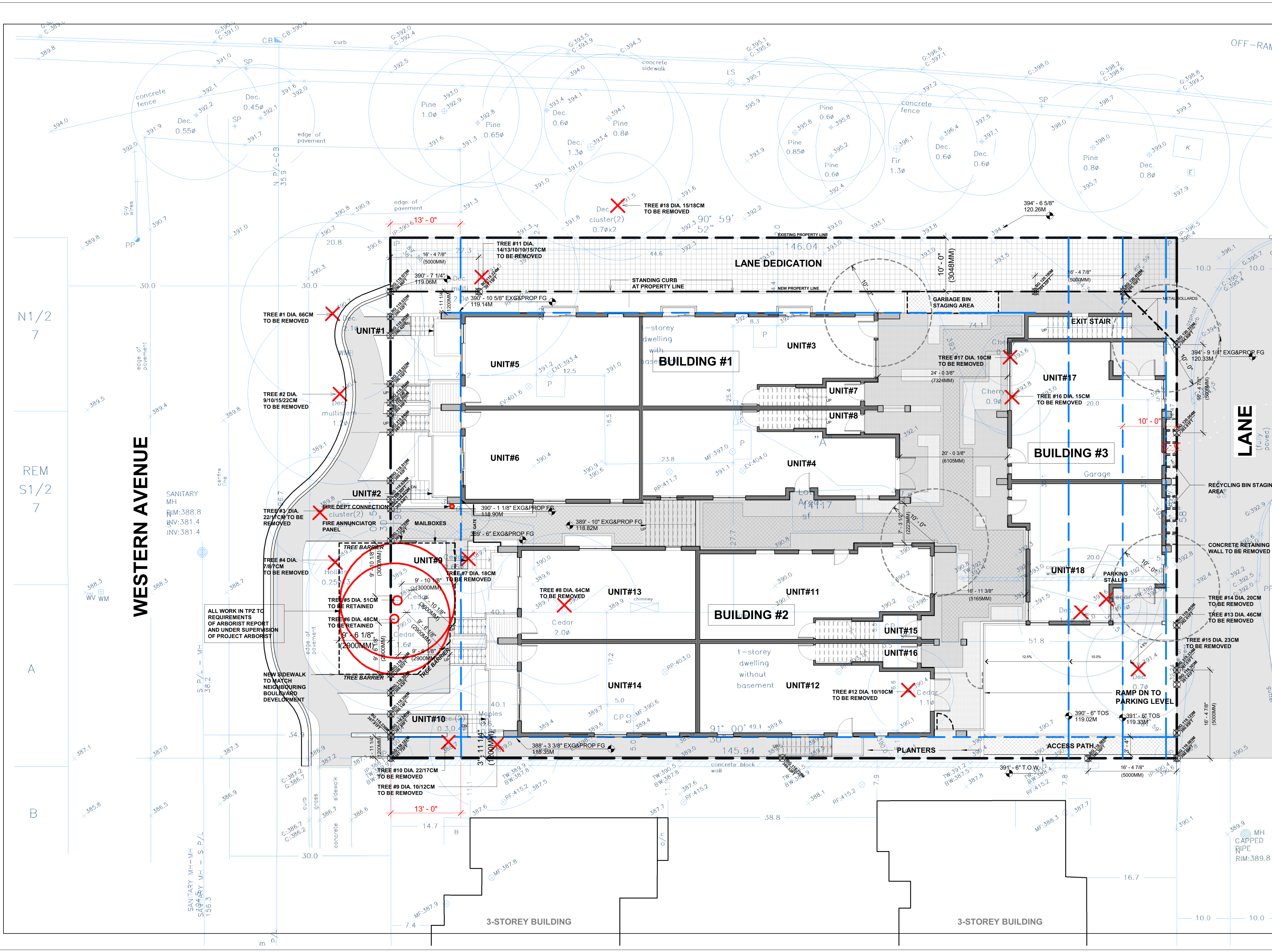
2416 WESTERN AVE.  
NORTH VANCOUVER

DRAWING TITLE

**SITE PLAN**

Date	2024 MAY 12	Project number	2316
Scale	1/8" = 1'-0"	<b>RZ102</b>	
Drawn by	CK/HD		
Approved by	CK		

2024-05-12 11:32:14 PM



**WESTERN AVENUE**

**LANE**  
(fully paved)

N1/2  
7

REM  
S1/2  
7

A

B

SANITARY MH  
RIM:388.8  
INV:381.4  
INV:381.4

SANITARY MH-MH  
SANITARY MH - S.P/L  
156.3

3-STOREY BUILDING

3-STOREY BUILDING





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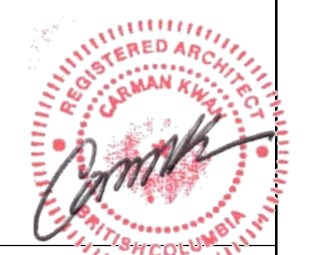
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**REVISIONS**

No.	Description	Date
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
4	ISSUED FOR CLIENT REVIEW#3	2023 JUNE 19
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING	2023 OCT 08
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**EXISTING AND PROPOSED WESTERN AVE. STREETSCAPE**

Date	2024 MAY 12	Project number	2316
Scale	As indicated	<b>RZ103</b>	
Drawn by	SB/HD		
Approved by	CK		

TRANSCANADA HWY

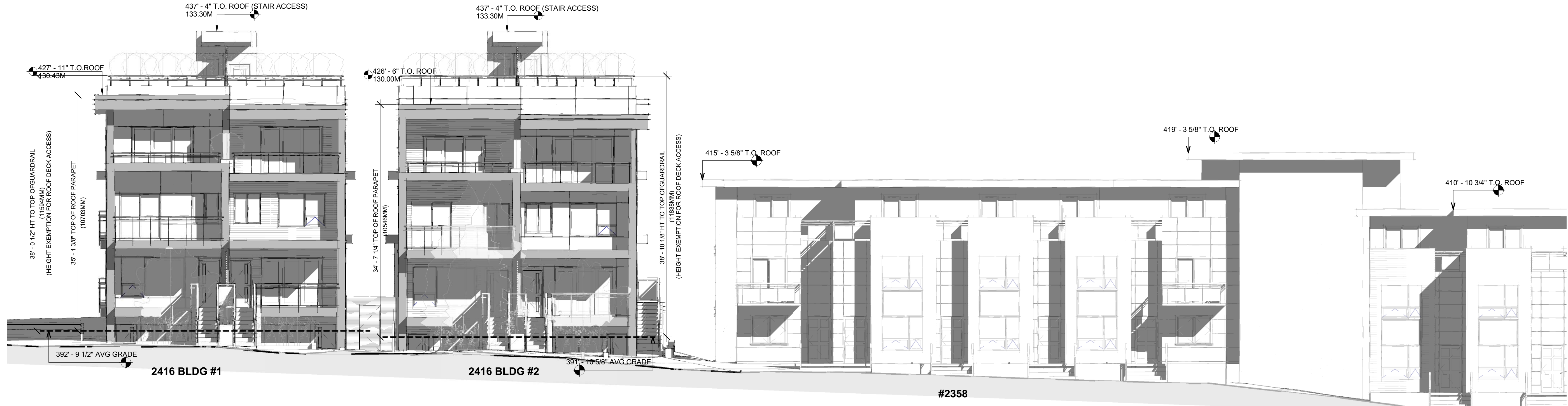
WEST 23RD AVENUE



**WESTERN AVENUE EXISTING STREETSCAPE**



**WESTERN AVENUE PROPOSED STREETSCAPE**



**WESTERN AVENUE PROPOSED STREETSCAPE ELEVATION**  
SCALE 1/8" = 1'-0"

2024-05-12 11:33:16 PM







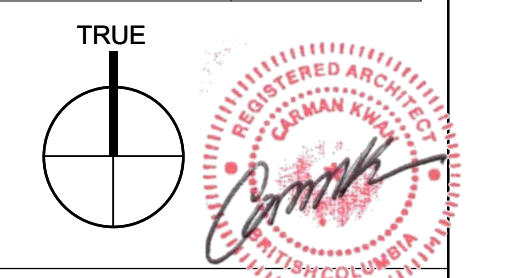


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7	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12

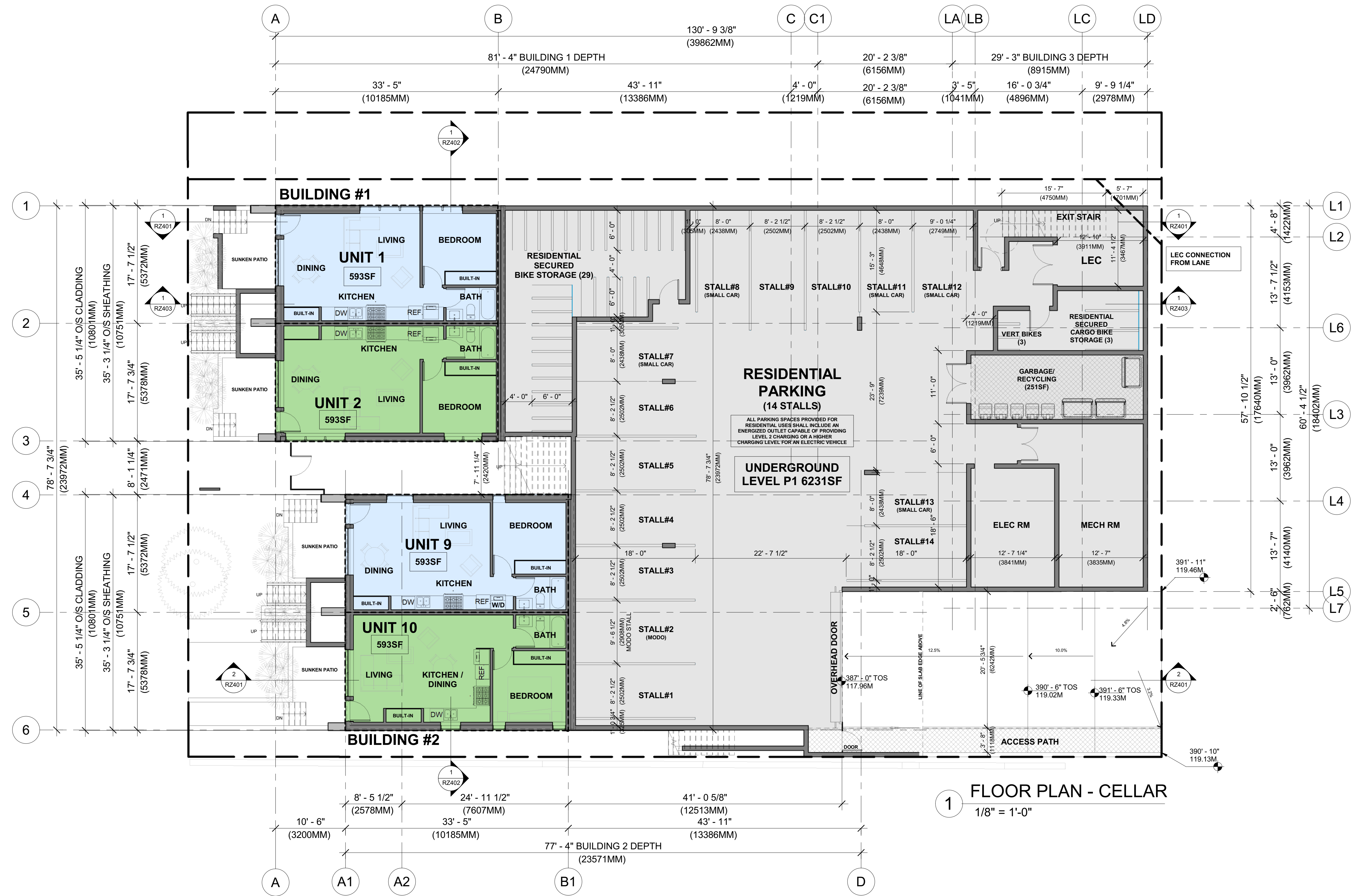


PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**FLOOR PLANS -  
CELLAR &  
PARKING LEVEL**

Date	2024 MAY 12	Project number	2316
Scale	1/8" = 1'-0"	RZ201	
Drawn by	CK/HD		
Approved by	CK		



**1 FLOOR PLAN - CELLAR**  
1/8" = 1'-0"

2024-05-12 11:33:31 PM





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7	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12

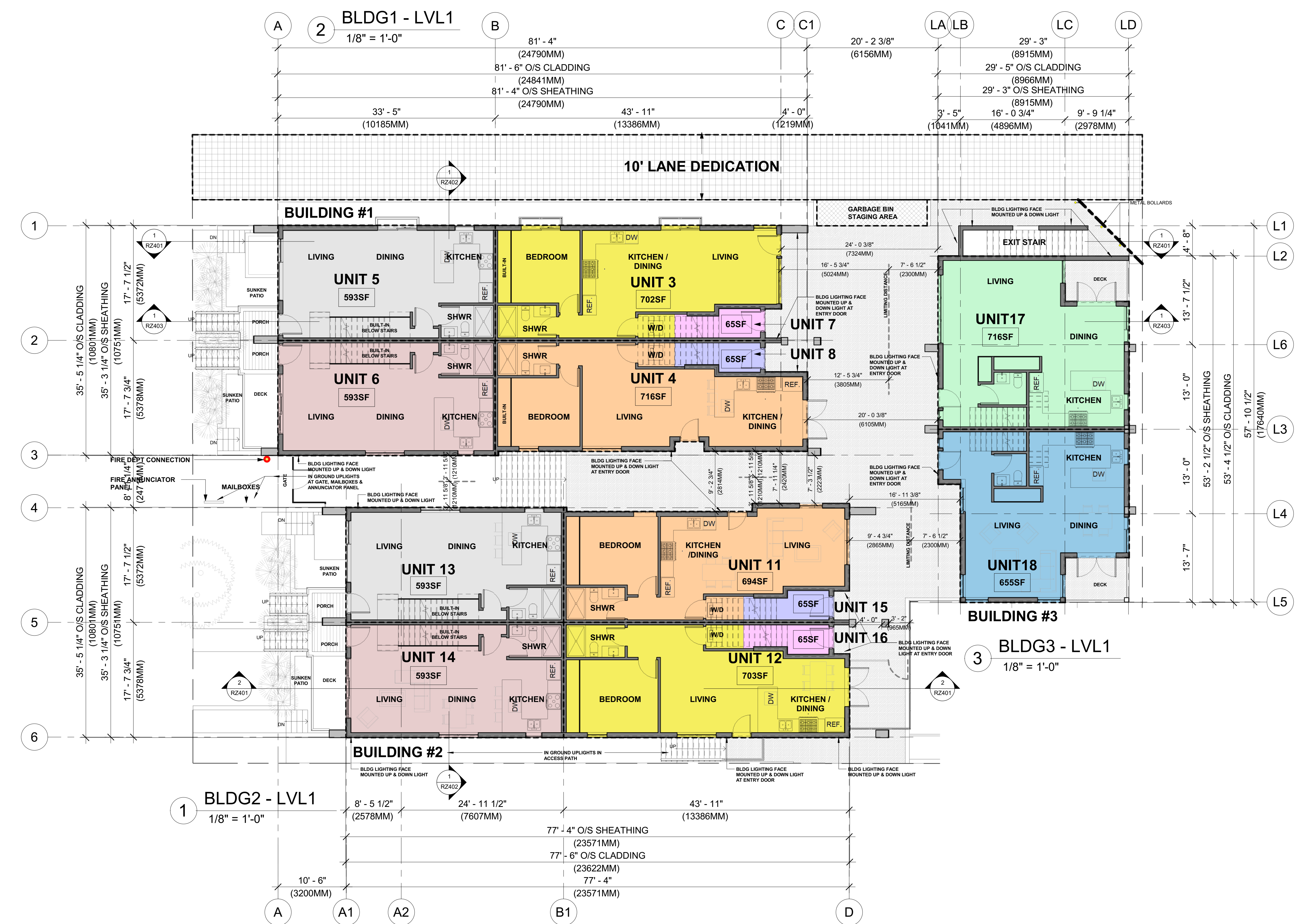


**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215, DISTRICT LOT 545, GROUP 1, NWD PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**FLOOR PLANS - LEVEL 1**

Date	2024 MAY 12	Project number	2316
Scale	1/8" = 1'-0"	RZ202	CK/HD
Drawn by	CK/HD		
Approved by	CK		



2024-05-12 11:33:35 PM





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No.	Description	Date
1	ISSUED FOR CLIENT REVIEW#1	2023 MAR 31
2	ISSUED FOR CLIENT REVIEW#2	2023 MAY 08
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
4	ISSUED FOR CLIENT REVIEW#3	2023 JUNE 19
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING REVIEW#3	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



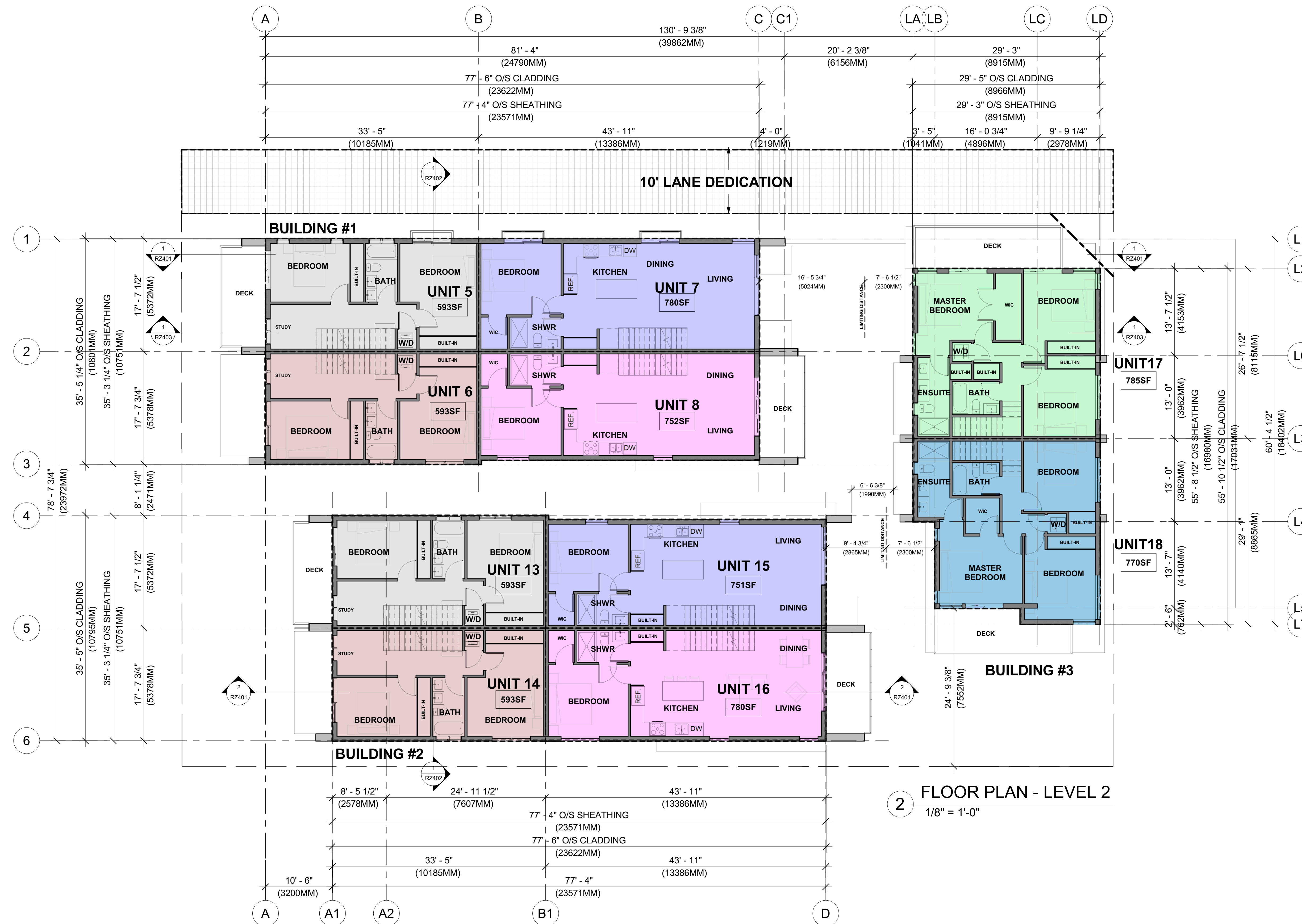
PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
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**DRAWING TITLE**

**FLOOR PLAN - LEVEL 2**

Date	2024 MAY 12	Project number	2316
Scale	1/8" = 1'-0"	RZ203	CK/HD
Drawn by	CK/HD		
Approved by	CK		



2024-05-12 11:33:38 PM





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REVISIONS		
No.	Description	Date
4	ISSUED FOR CLIENT REVIEW#3	2023 JUNE 19
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING REVIEW#4	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12

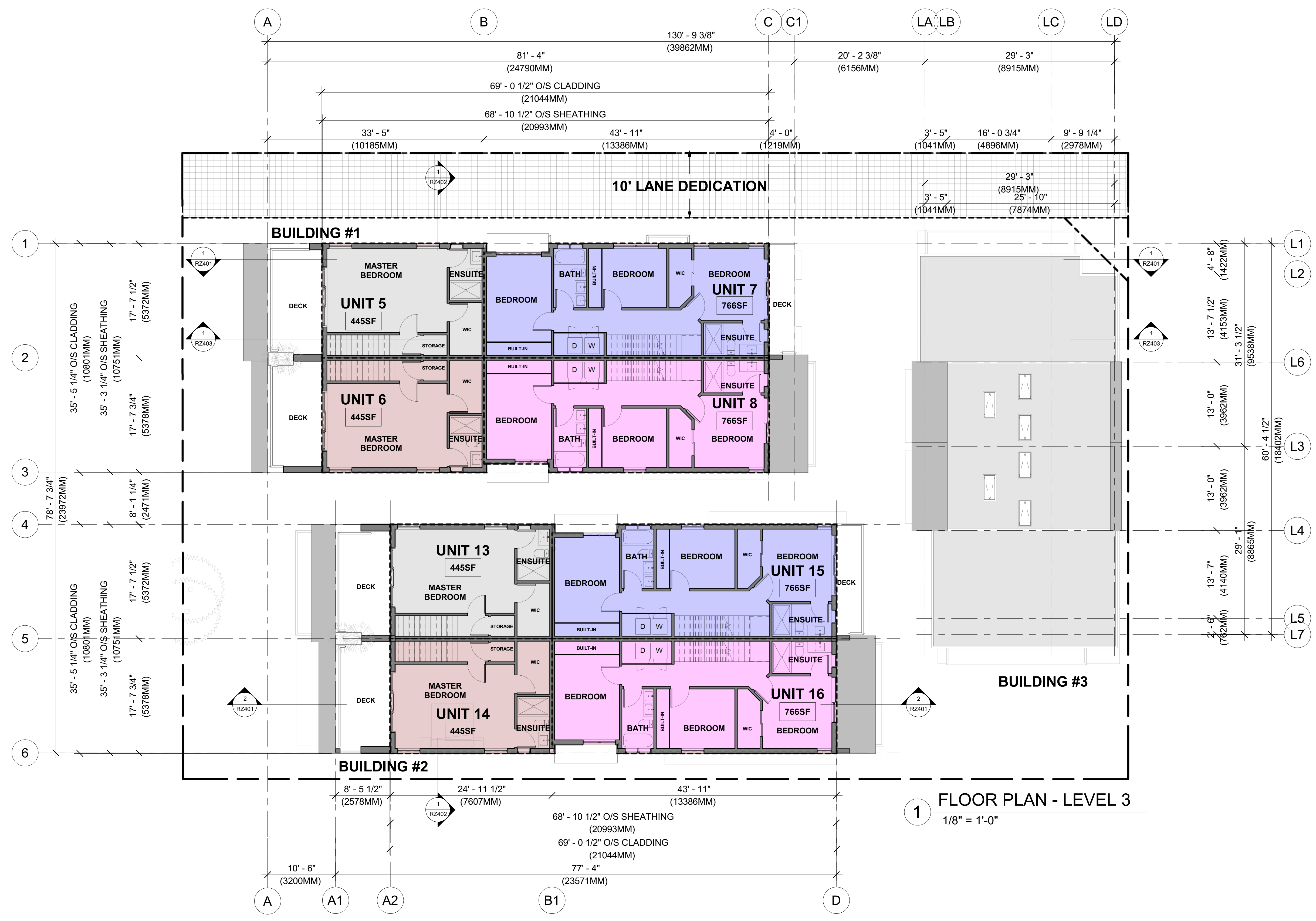


PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
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DRAWING TITLE  
**FLOOR PLAN - LEVEL 3**

Date	2024 MAY 12	Project number	2316
Scale	1/8" = 1'-0"	RZ204	
Drawn by	CK/HD		
Approved by	CK		



**1 FLOOR PLAN - LEVEL 3**  
1/8" = 1'-0"

2024-05-12 11:33:40 PM



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REVISIONS		
No.	Description	Date
2	ISSUED FOR CLIENT REVIEW#2	2023 MAY 08
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
4	ISSUED FOR CLIENT REVIEW#3	2023 JUNE 19
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING REVIEW#4	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12

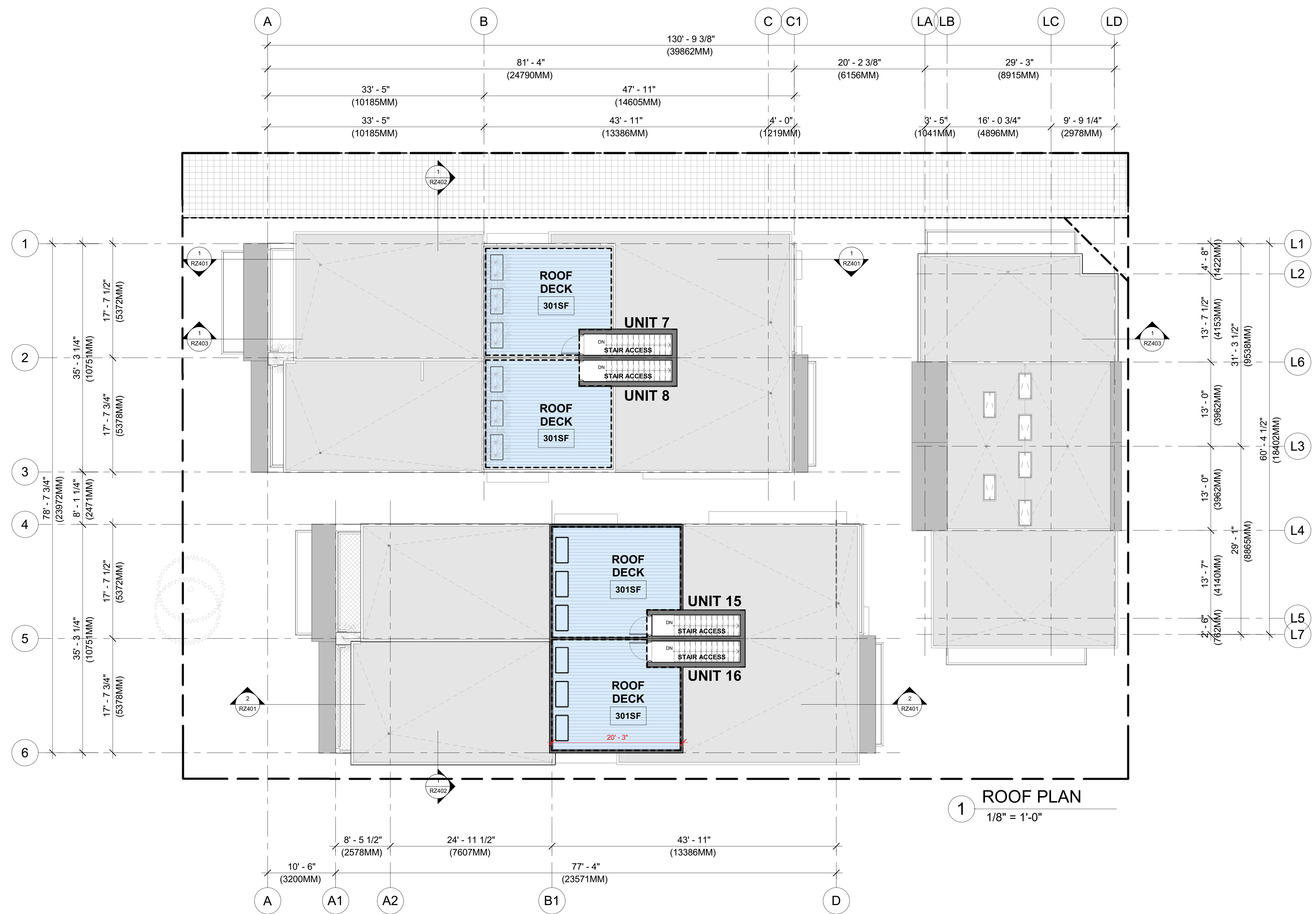


PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

DRAWING TITLE  
**ROOF PLAN**

Date	2024 MAY 12	Project number	2316
Scale	1/8" = 1'-0"	<b>RZ205</b>	2024-05-12 11:33:43 PM
Drawn by	CK/HD		
Approved by	CK		



**1** ROOF PLAN  
1/8" = 1'-0"





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REVISIONS		
No.	Description	Date
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING REVIEW#4	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#1	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATIONS -  
BLDGS #1/2 WEST**

Date	Project number
2024 MAY 12	2316

Scale	1/4" = 1'-0"
-------	--------------

Drawn by	SB/HD	RZ301
Approved by		

Approved by: CK



1-4 WEST (FRONT) ELEVATION  
1/4" = 1'-0"



WEST (FRONT) PERSPECTIVE

MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
1B	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM METROPOLITAN)
2A	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM DISTANT GREY)
2B	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM CHAMPION COBALT)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
4	1" REVEAL TRANSITION (PTD TO MATCH CLADDING)
5	DOUBLE GLAZED SLIDING DOOR
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
9	ENTRY DOOR W/ GLAZED LITES (PAINT COLOUR: BM LIGHTNING BUG)
10	CAST IN PLACE CONCRETE STAIR
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL
12	STACKING GLAZED DOOR SYSTEM
16	CAST IN PLACE CONCRETE PLANTER
19	POWDERCOATED ALUM PRIVACY SCREEN
20	STANDING SEAM METAL ROOFING

2024-05-12 11:33:54 PM



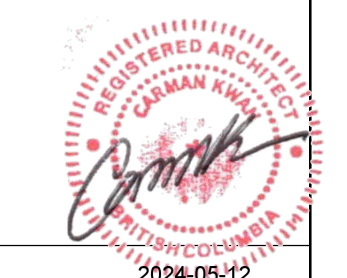


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REVISIONS		
No.	Description	Date
7	ISSUED FOR REZONING	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12

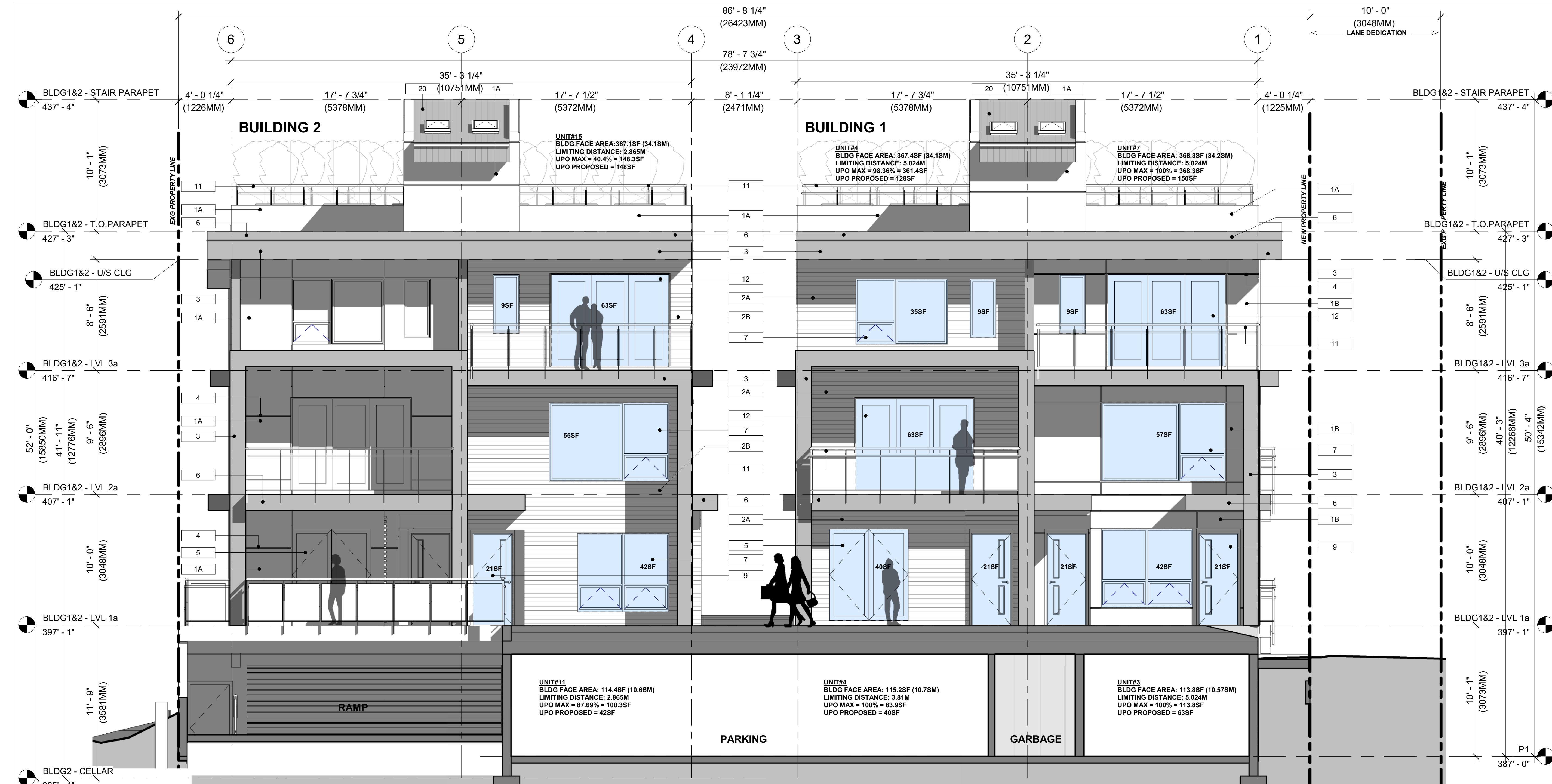


**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATIONS -  
BLDGS #1/2 EAST**

Date	2024 MAY 12	Project number	2316
Scale	1/4" = 1'-0"	RZ302	
Drawn by	CK/HD		
Approved by	CK		



**1-4 EAST (REAR) ELEVATION**  
1/4" = 1'-0"



**EAST (REAR) PERSPECTIVE**

MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
1B	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM METROPOLITAN)
2A	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM DISTANT GREY)
2B	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM CHAMPION COBALT)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
4	1" REVEAL TRANSITION (PTD TO MATCH CLADDING)
5	DOUBLE GLAZED SLIDING DOOR
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
9	ENTRY DOOR W/ GLAZED LITES (PAINT COLOUR: BM LIGHTNING BUG)
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL
12	STACKING GLAZED DOOR SYSTEM
20	STANDING SEAM METAL ROOFING

2024-05-12 11:35:06 PM





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**GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK**  
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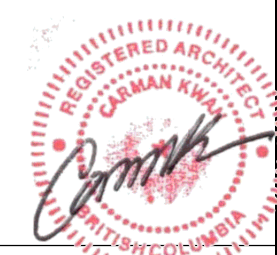
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REVISIONS		
No.	Description	Date
7	ISSUED FOR REZONING	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRIC LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATION -  
BLDG #1 NORTH**

Date	2024 MAY 12	Project number	2316
Scale	1/4" = 1'-0"	RZ303	
Drawn by	CK/HD		
Approved by	CK		



MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
1B	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM METROPOLITAN)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
4	1" REVEAL TRANSITION (PTD TO MATCH CLADDING)
5	DOUBLE GLAZED SLIDING DOOR
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL
19	POWDERCOATED ALUM PRIVACY SCREEN
20	STANDING SEAM METAL ROOFING



NORTH PERSPECTIVE - BUILDING 1

2024-05-12 11:35:13 PM





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REVISIONS		
No.	Description	Date
7	ISSUED FOR REZONING	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12

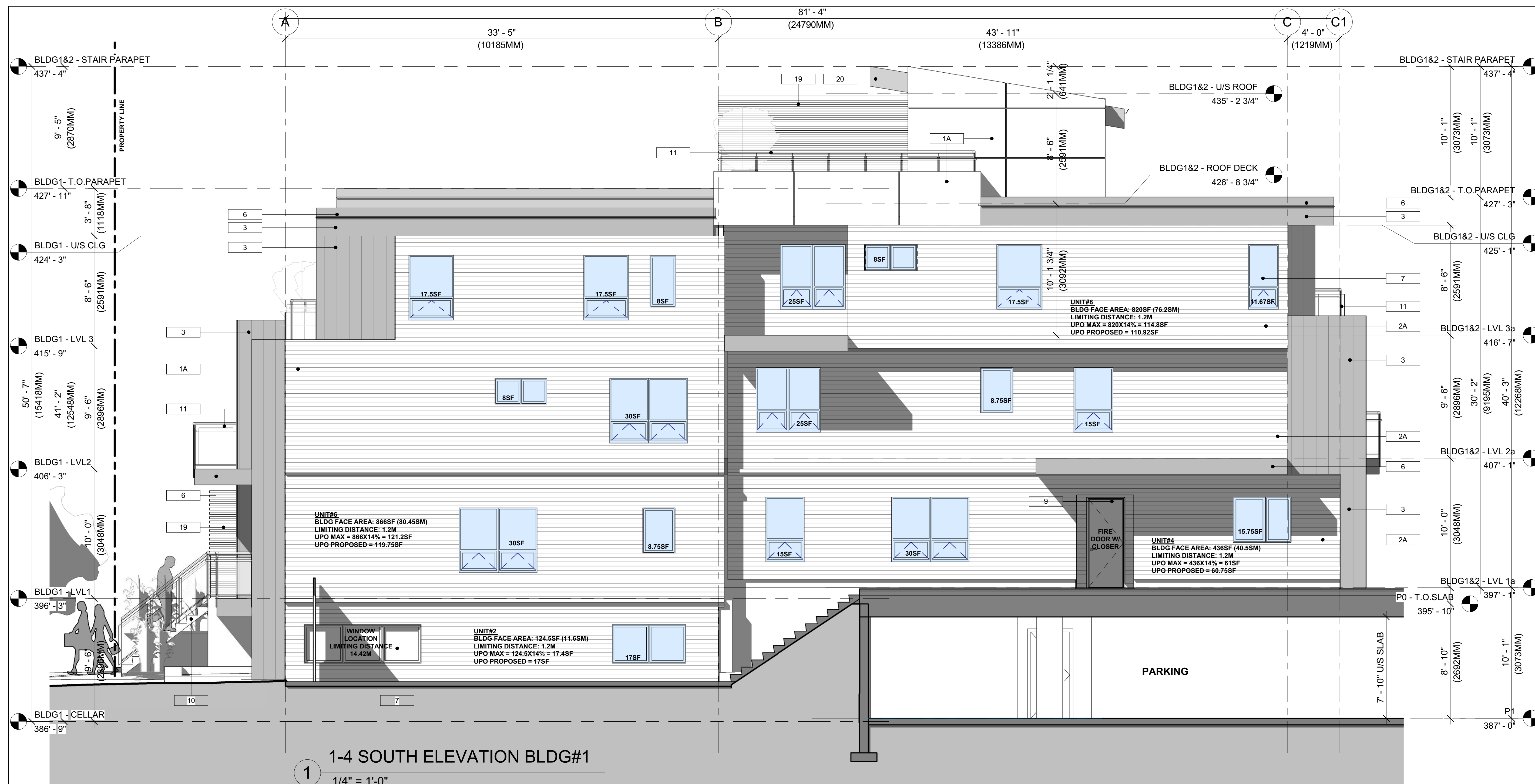


PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATION -  
BLDG #1 SOUTH**

Date	2024 MAY 12	Project number	2316
Scale	1/4" = 1'-0"	<b>RZ304</b>	
Drawn by	CK/HD		
Approved by	CK		



MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
2A	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM DISTANT GREY)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
9	ENTRY DOOR W/ GLAZED LITES (PAINT COLOUR: BM LIGHTNING BUG)
10	CAST IN PLACE CONCRETE STAIR
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL
19	POWDERCOATED ALUM PRIVACY SCREEN
20	STANDING SEAM METAL ROOFING

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REVISIONS		
No.	Description	Date
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING REVIEW#4	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#1	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215, DISTRICT LOT 545, GROUP 1, NWD PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATION - BLDG #2 NORTH**

Date	2024 MAY 12	Project number	2316
Scale	1/4" = 1'-0"	<h1>RZ305</h1>	Drawn by CK/SB/HD Approved by CK



**1-4 NORTH ELEVATION BLDG#2**  
1/4" = 1'-0"

MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
2B	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM CHAMPION COBALT)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
4	1" REVEAL TRANSITION (PTD TO MATCH CLADDING)
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
9	ENTRY DOOR W/ GLAZED LITES (PAINT COLOUR: BM LIGHNING BUG)
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL
19	POWDERCOATED ALUM PRIVACY SCREEN
20	STANDING SEAM METAL ROOFING

2024-05-12 11:35:29 PM





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REVISIONS		
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3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING REVIEW#1	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12

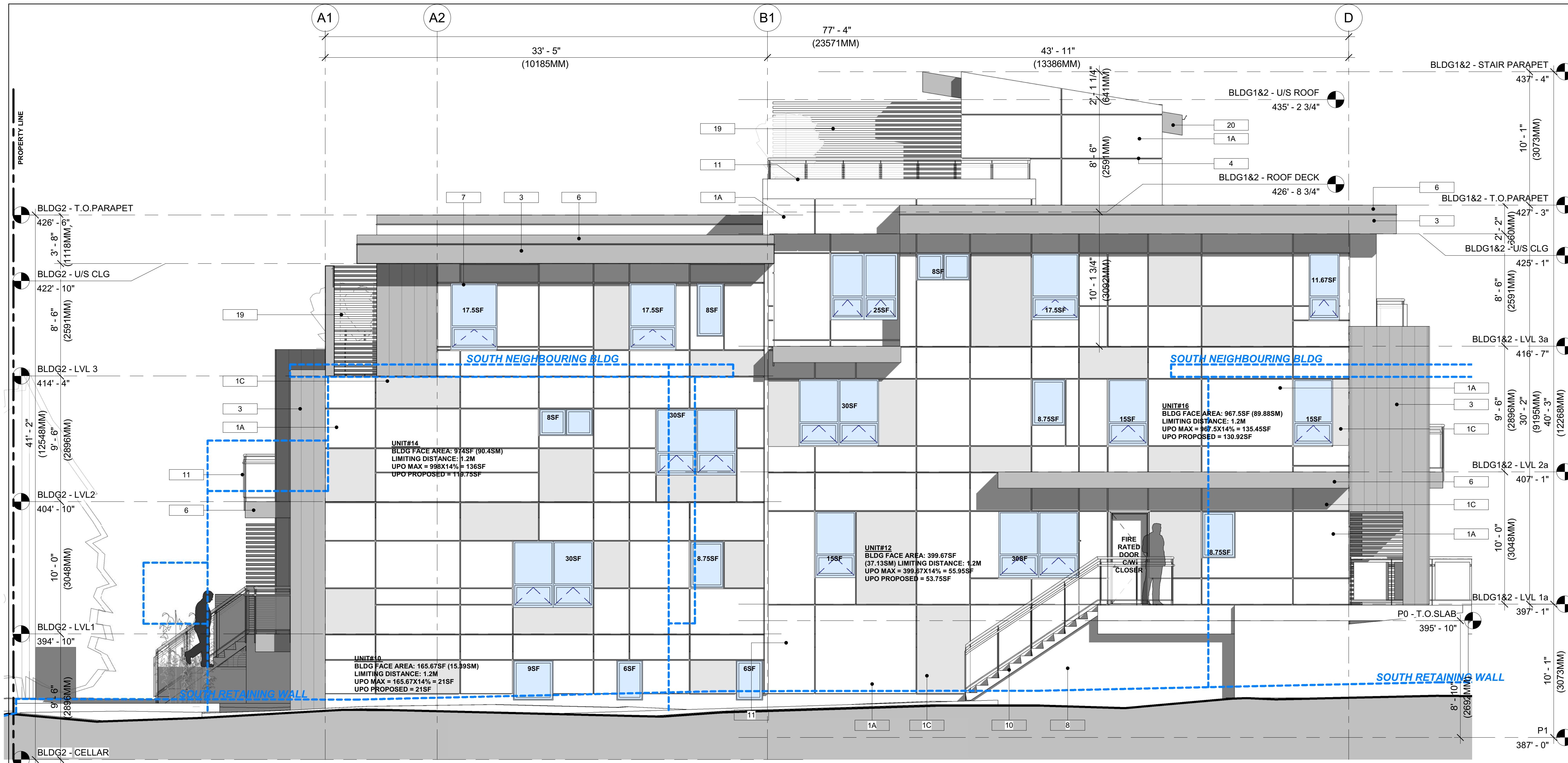


PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

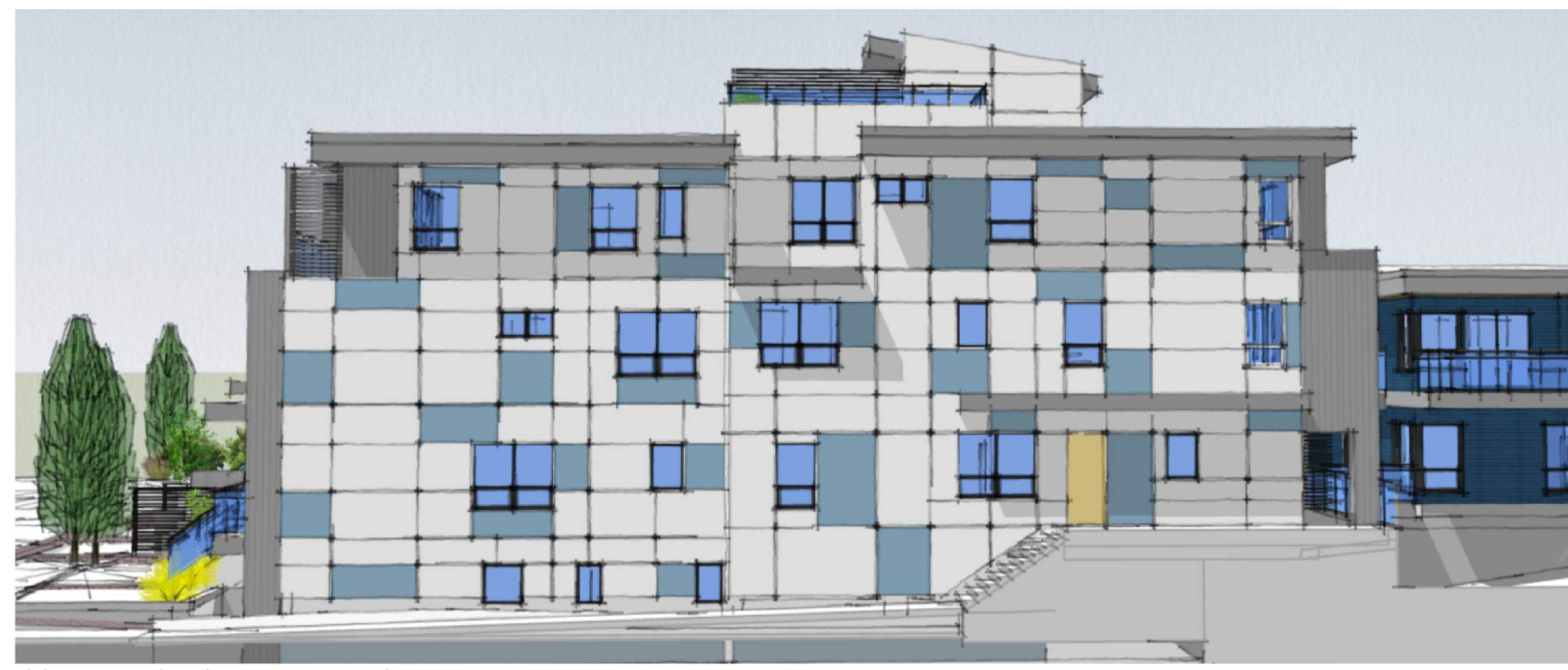
2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATION -  
BLDG #2 SOUTH**

Date	2024 MAY 12	Project number	2316
Scale	1/4" = 1'-0"	RZ306	2024-05-12 11:35:40 PM
Drawn by	CK		
Approved by	CK		



1-4 SOUTH ELEVATIONS  
BLDG#2  
1/4" = 1'-0"



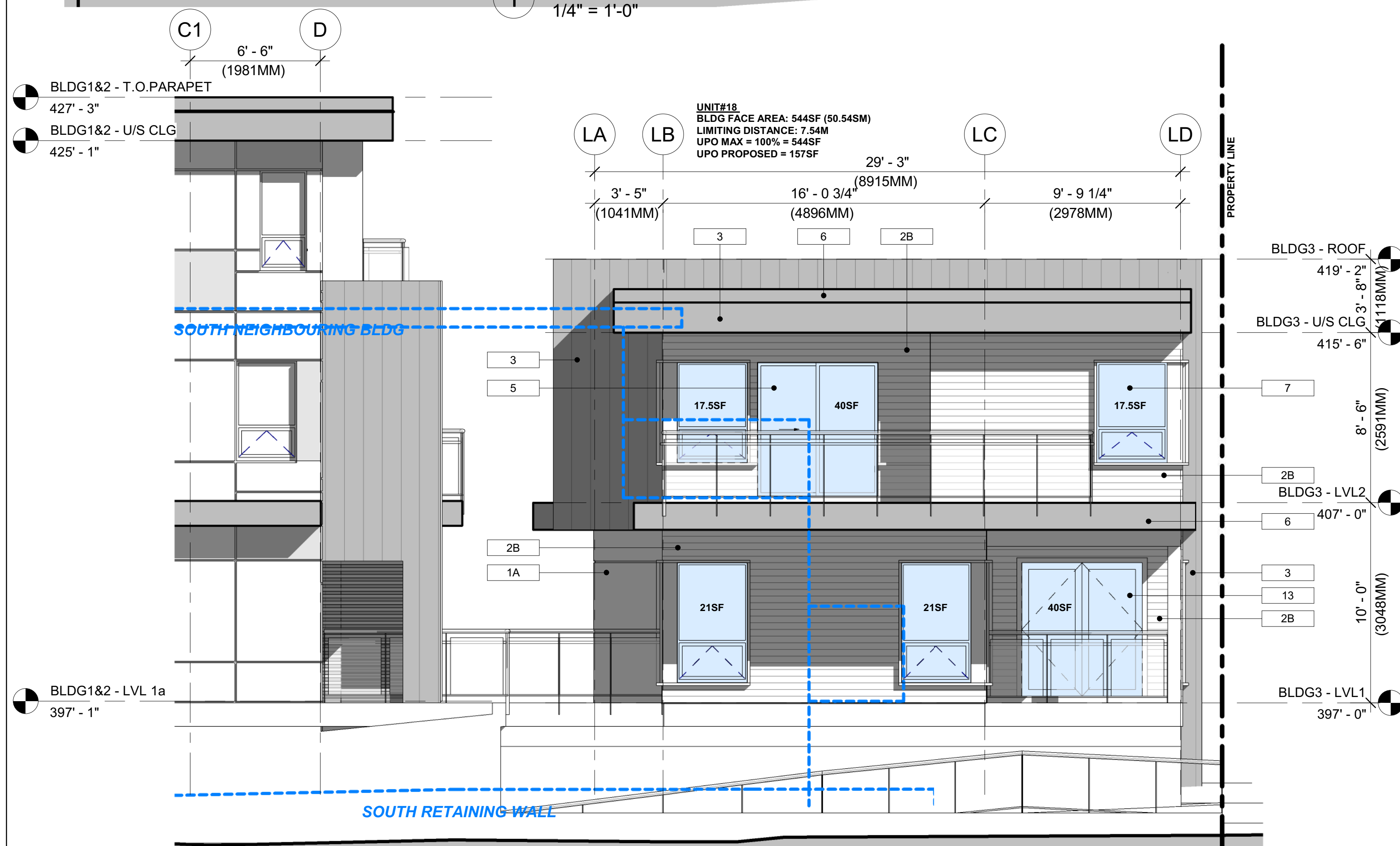
SOUTH PERSPECTIVE - BUILDING 2

MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
1C	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM COLONIAL BLUE)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
4	1" REVEAL TRANSITION (PTD TO MATCH CLADDING)
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
8	CAST IN PLACE CONCRETE FOUNDATION
10	CAST IN PLACE CONCRETE STAIR
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL
19	POWDERCOATED ALUM PRIVACY SCREEN
20	STANDING SEAM METAL ROOFING





1-4 EAST ELEVATION BLDG#3  
1/4" = 1'-0"



1-4 SOUTH ELEVATION BLDG#3  
1/4" = 1'-0"



EAST PERSPECTIVE - BUILDING 3

MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
1B	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM METROPOLITAN)
2A	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM DISTANT GREY)
2B	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM CHAMPION COBALT)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
5	DOUBLE GLAZED SLIDING DOOR
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
8	CAST IN PLACE CONCRETE FOUNDATION
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL
13	DOUBLE GLAZED FRENCH DOORS (FRAME COLOUR: BLACK)

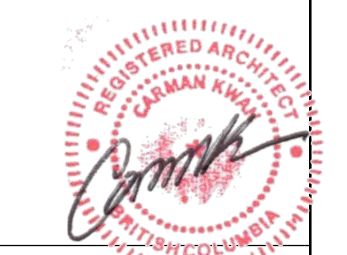


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REVISIONS		
No.	Description	Date
7	ISSUED FOR REZONING	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

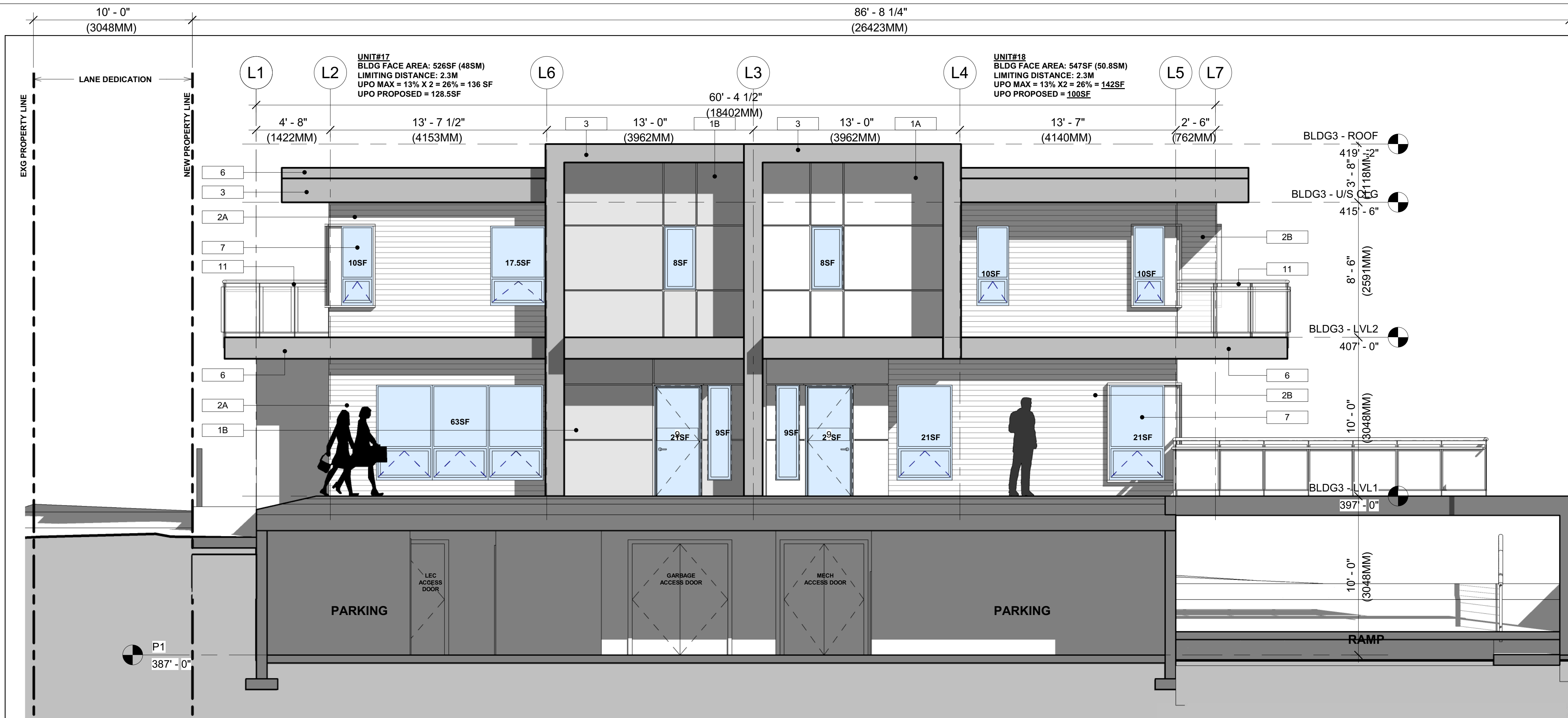
2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATIONS -  
BLDG #3 SOUTH &  
EAST**

Date	2024 MAY 12	Project number	2316
Scale	1/4" = 1'-0"	RZ307	
Drawn by	CK/HD		
Approved by	CK		

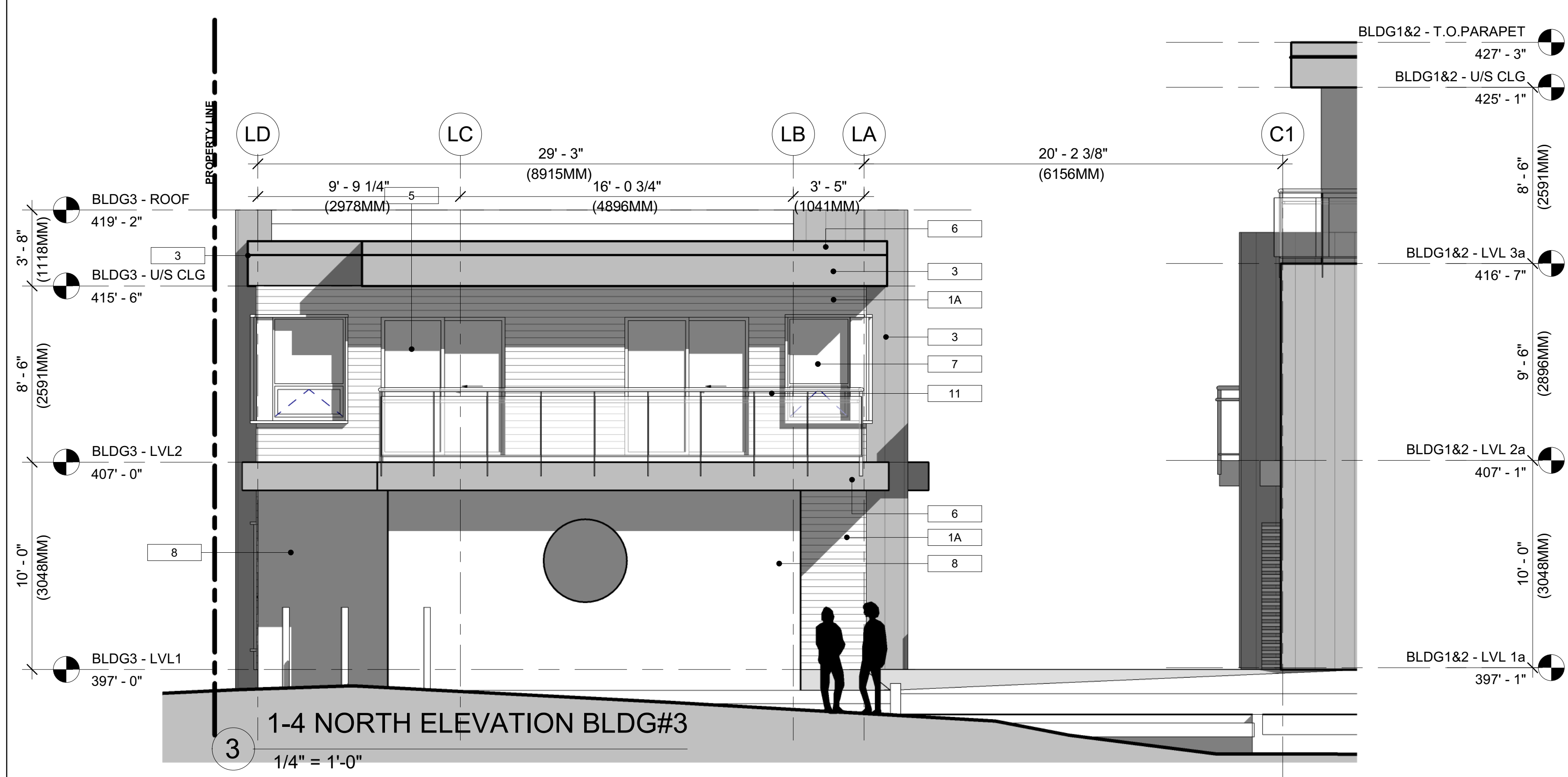
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1-4 WEST ELEVATION BLDG#3

1/4" = 1'-0"



1-4 NORTH ELEVATION BLDG#3

1/4" = 1'-0"



WEST PERSPECTIVE - BUILDING 3

MATERIALS LIST	
#	DESCRIPTION
1A	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM DISTANT GREY)
1B	NON-COMBUSTIBLE COMPOSITE PANEL C/W PREFIN METAL REVEALS/ TRANSITIONS (PAINT COLOUR: BM METROPOLITAN)
2A	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM DISTANT GREY)
2B	NON-COMBUSTIBLE PLANK SIDING (PAINT COLOUR: BM CHAMPION COBALT)
3	STANDING SEAM MTL CLADDING (PAINT COLOUR: CASCADIA SLATE GREY)
5	DOUBLE GLAZED SLIDING DOOR
6	PREFINISHED MTL FLASHING AT FASCIA (COLOUR TO MATCH STANDING SEAM)
7	VINYL FRAMED GLAZED WINDOWS (FRAME COLOUR: BLACK)
8	CAST IN PLACE CONCRETE FOUNDATION
9	ENTRY DOOR W/ GLAZED LITES (PAINT COLOUR: BM LIGHTNING BUG)
11	POWDERCOATED ALUM STANCHIONS C/W 1/2" TEMPERED GLAZED GUARDS C/W POWDERCOATED ALUM OR SS 'U' CHANNEL @ TOP OF GLAZING PANEL

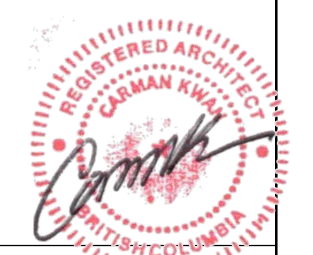


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REVISIONS		
No.	Description	Date
3	ISSUED FOR CNV PRELIM REVIEW#1	2023 MAY 26
5	ISSUED FOR CNV PRELIM REVIEW#2	2023 JUNE 26
7	ISSUED FOR REZONING REVIEW#4	2023 OCT 08
8	ISSUED FOR CLIENT REVIEW#4	2024 JAN 29
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**ELEVATIONS -  
BLDG#3 WEST &  
NORTH**

Date	2024 MAY 12	Project number	2316
Scale	As indicated	RZ308	
Drawn by	SB/HD		
Approved by	CK		

2024-05-12 11:35:54 PM





2 E-W SECTION THRU RAMP  
3/16" = 1'-0"

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**REVISIONS**

No.	Description	Date
7	ISSUED FOR REZONING	2023 OCT 08
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



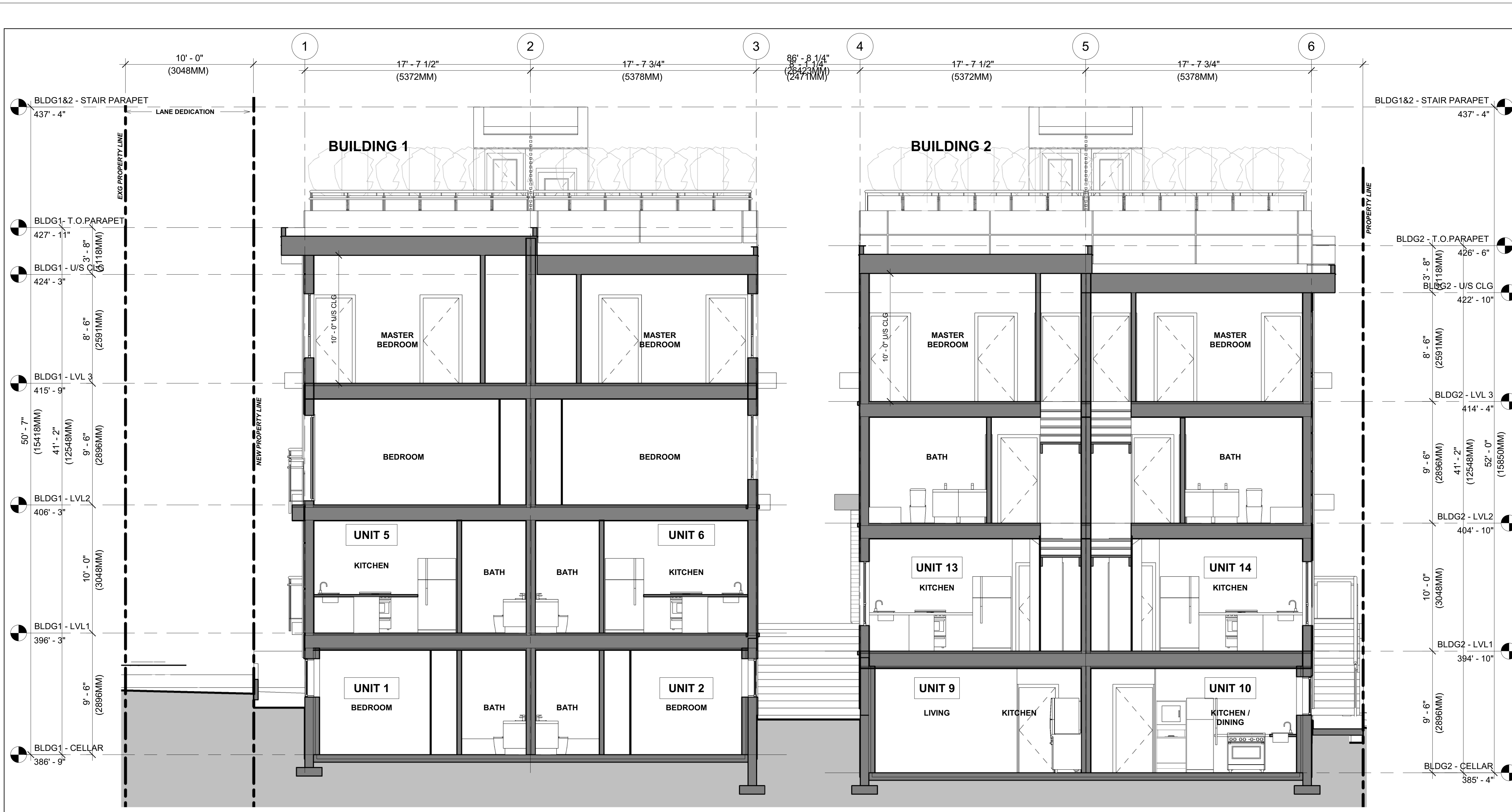
**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**

**SECTIONS - EAST-WEST**

Date	2024 MAY 12	Project number	2316
Scale	3/16" = 1'-0"	<b>RZ401</b>	
Drawn by	SB/HD		
Approved by	CK		



1 SECTION - N-S BLDG#1/2  
1/4" = 1'-0"

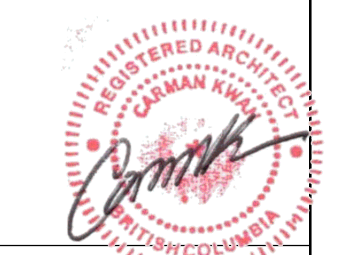


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REVISIONS		
No.	Description	Date
7	ISSUED FOR REZONING	2023 OCT 08
10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



PROJECT:  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**SECTIONS - NORTH-SOUTH (BLDG #1&2)**

Date	2024 MAY 12	Project number	2316
Scale	1/4" = 1'-0"	RZ402	
Drawn by	CK/HD		
Approved by	CK		

2024-05-12 11:36:02 PM

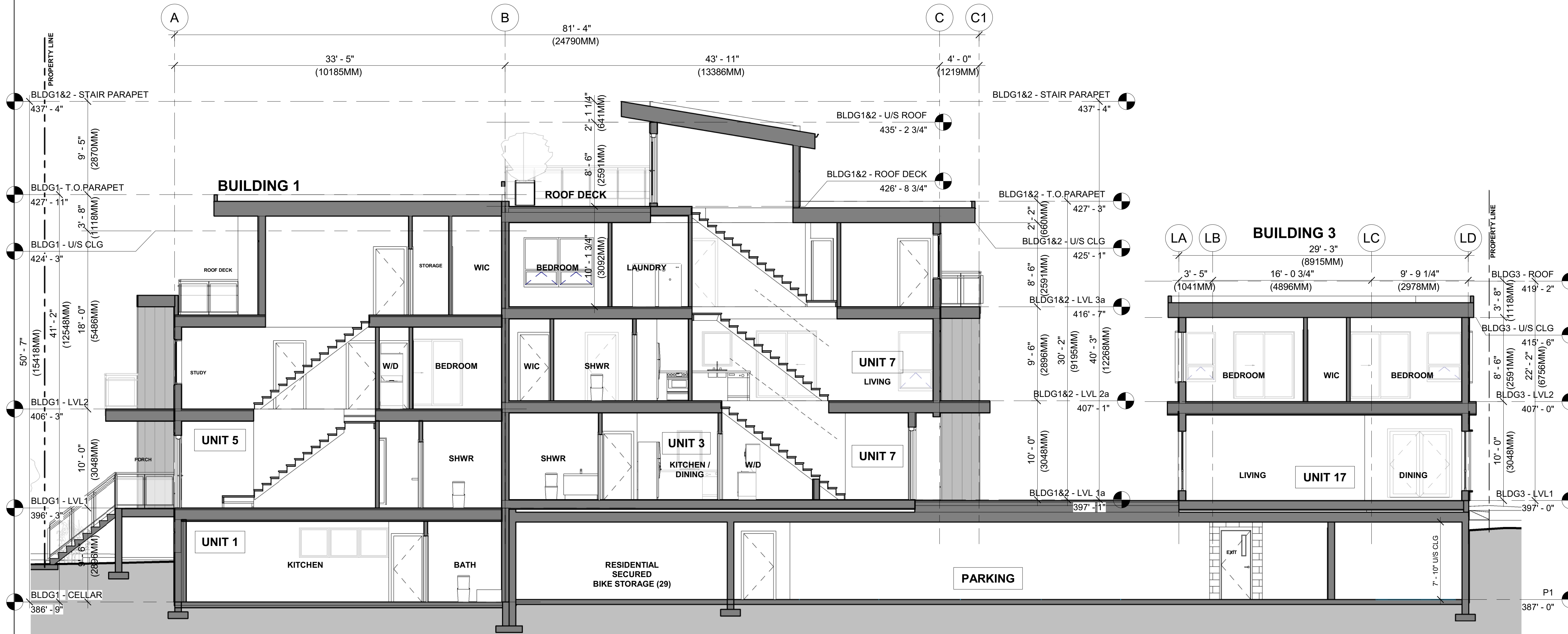




677 EAST 27TH AVENUE  
VANCOUVER, BC V5V 2K7  
PH: 604.266.4679  
E: INFO@ARCHITECTURALCOLLECTIVE.COM

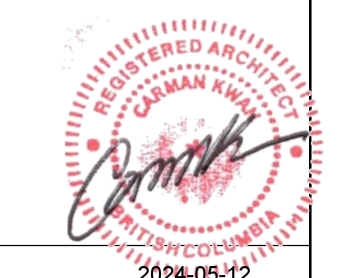
WWW.ARCHITECTURALCOLLECTIVE.COM

**GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK**  
IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.  
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**REVISIONS**

No.	Description	Date
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10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRICT LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**

**SECTIONS - EAST-WEST THRU ROOF DECKS (BLDG #1&3)**

**SECTION - E-W SECTION THRU ROOF DECKS**  
3/16" = 1'-0"

Date	2024 MAY 12	Project number	2316
Scale	3/16" = 1'-0"	<b>RZ403</b>	
Drawn by	CK/HD		
Approved by	CK		

2024-05-12 11:36:04 PM





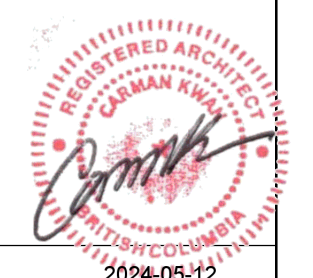
677 EAST 27<sup>TH</sup> AVENUE  
VANCOUVER, BC V5V 2K7  
PH: 604.266.4679  
E: INFO@ARCHITECTURALCOLLECTIVE.COM

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No.	Description	Date
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10	REISSUED FOR REZONING	2024 MAR 01
11	REISSUED FOR REZONING	2024 MAY 12



**PROJECT:**  
LEGAL ADDRESS: LOT A, BLOCK 215,  
DISTRIC LOT 545, GROUP 1, NWD  
PLAN EPP119522

2416 WESTERN AVE.  
NORTH VANCOUVER

**DRAWING TITLE**  
**MATERIALS & COLOURS**

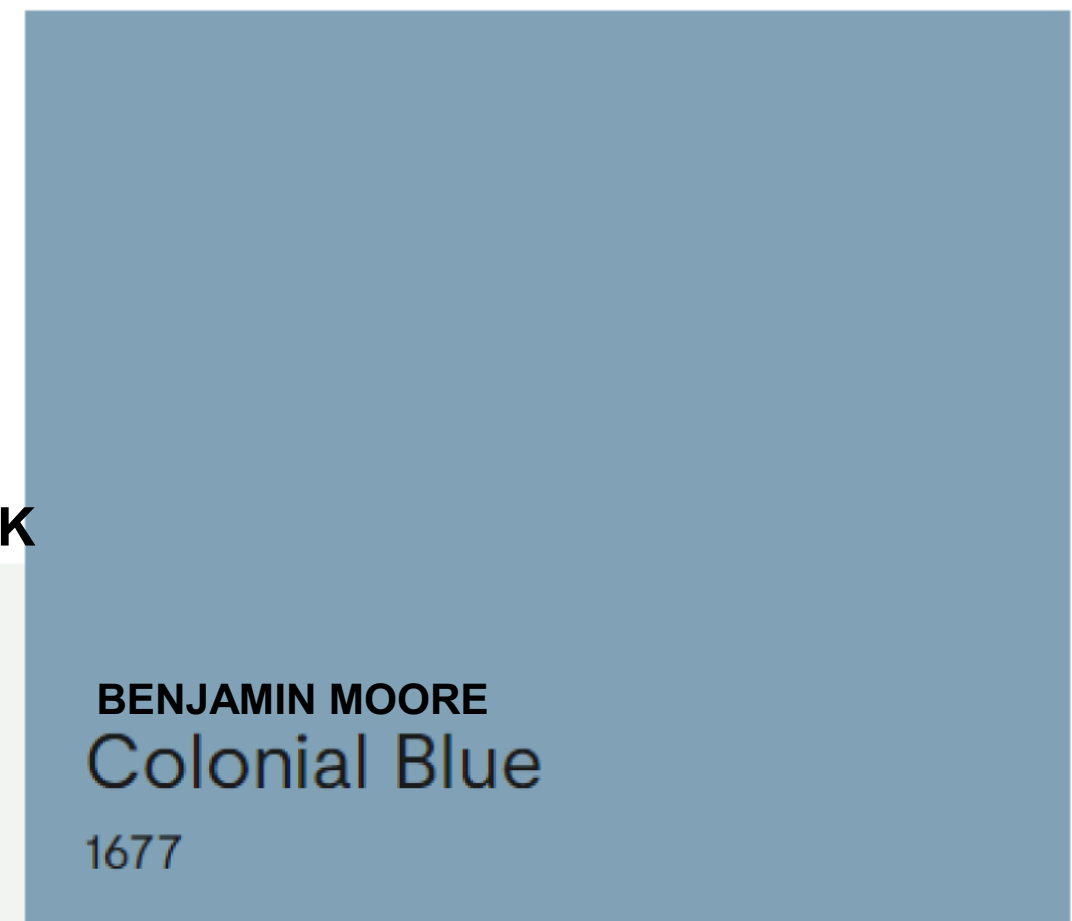
Date	2024 MAY 12	Project number	2316
Scale		RZ501	
Drawn by	CK/HD		
Approved by	CK		

2024-05-12 11:36:06 PM



**BENJAMIN MOORE**  
**Lightning Bug**  
340

**ENTRY DOORS**

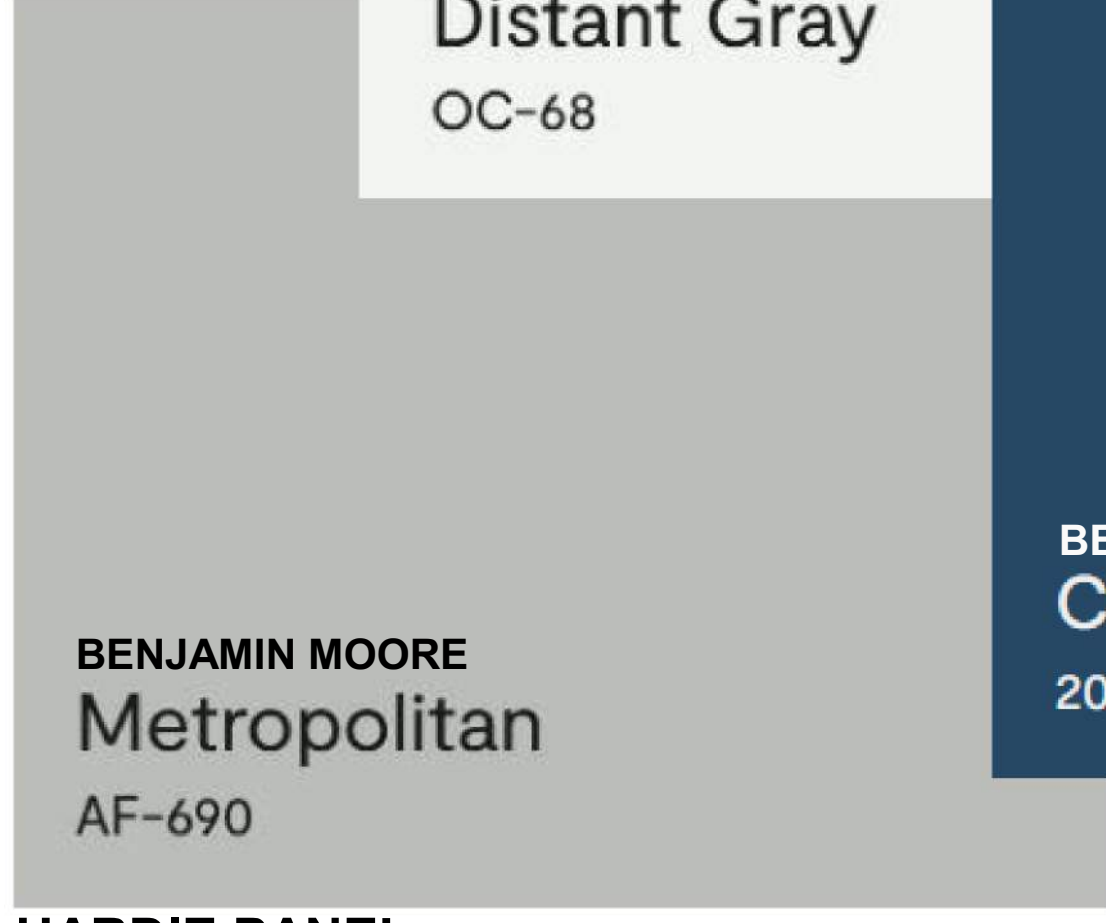


**BENJAMIN MOORE**  
**Colonial Blue**  
1677

**HARDIE PANEL**

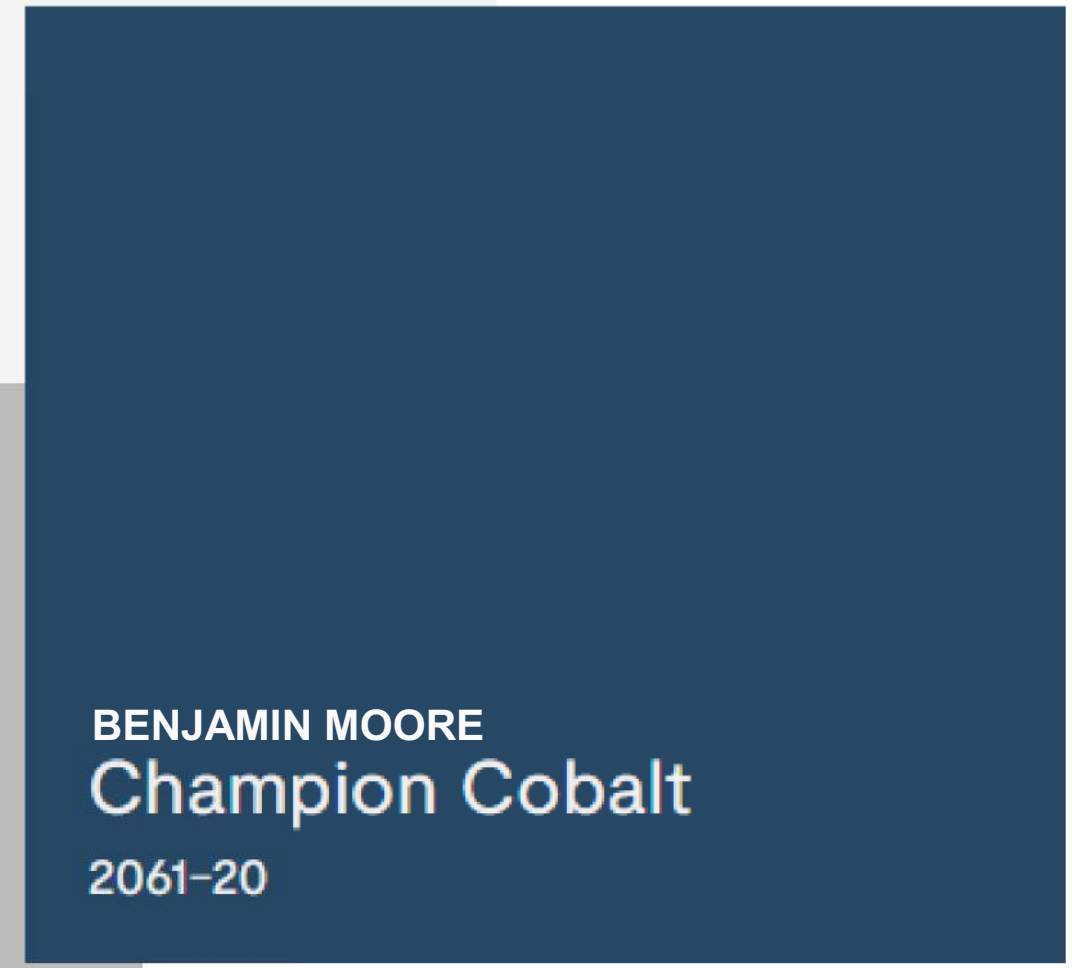
**HARDIE PANEL & PLANK**

**BENJAMIN MOORE**  
**Distant Gray**  
OC-68



**BENJAMIN MOORE**  
**Metropolitan**  
AF-690

**HARDIE PANEL**



**BENJAMIN MOORE**  
**Champion Cobalt**  
2061-20

**HARDIE PLANK**

**HARDIE PANEL (CEMENTIOUS COMPOSITE PANEL)**



**HARDIE PLANK SIDING (CEMENTIOUS)**



**STANDING SEAM METAL CLADDING & ROOF**



**SLATE GREY**

**SRI: 30**















# PROJECT NAME: 2416-2400 Western Ave North Van

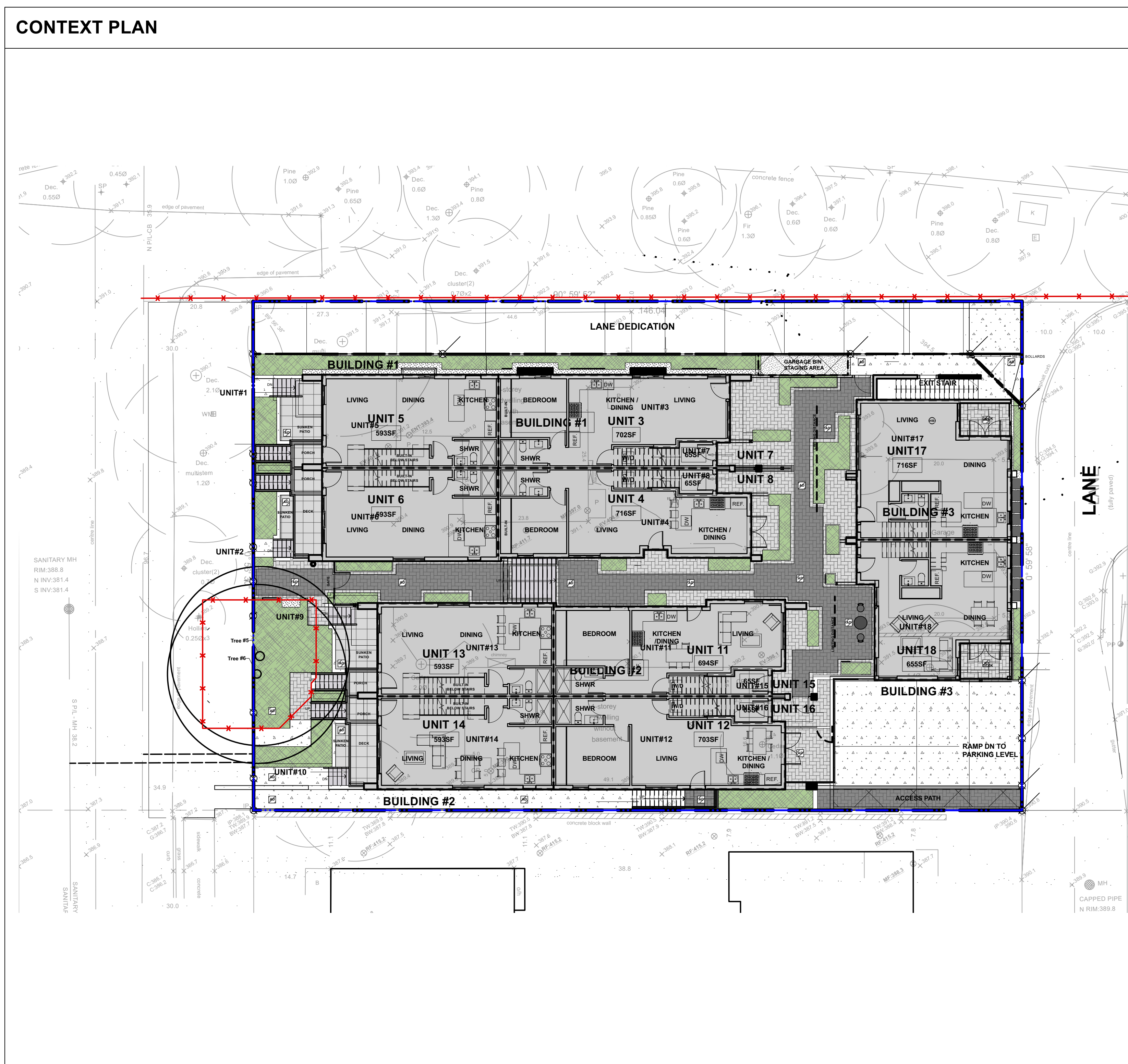
PROJECT NO: 2022-31

PROJECT ADDRESS: 2416-2400 Western Ave North Van

DATE: 2024-05-13

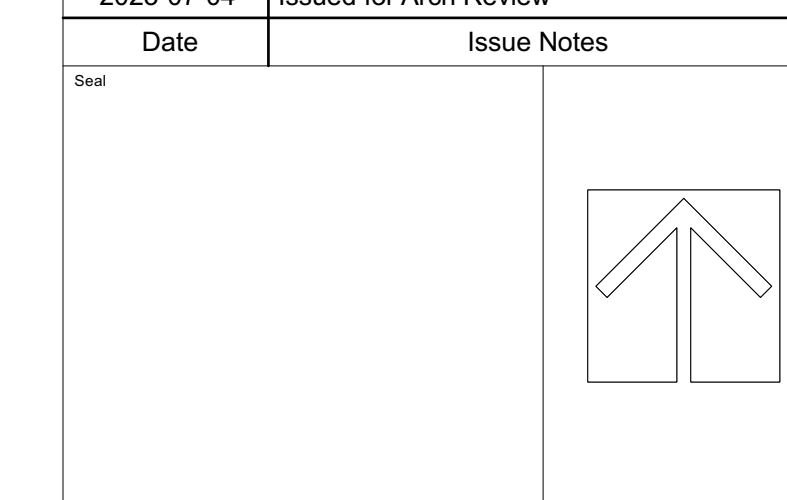
ISSUED FOR: Reissue for Rezoning

TABLE OF CONTENTS	
Sheet Number	Sheet Title
L0a	Landscape Cover Sheet
L1	Landscape Tree Protection Plan
L2a	Landscape Materials and Layout Plan - Ground Level
L2b	Landscape Materials and Layout Plan - Rooftop
L2c	Landscape Grading and Drainage Plan
L3	Landscape Lighting and Irrigation Plan
L4a	Landscape Planting Plan - Ground Level
L4b	Landscape Planting Plan - Roof Level
L5a	Landscape Materials and Layout Plan - Offsite
L5b	Landscape Planting Plan - Offsite
L6a	Landscape Details
L6b	Landscape Details



PACKAGE IS ONLY TO SCALE WHEN PRINTED ON 24"X36" SHEETS UNLESS OTHERWISE INDICATED

Date	Issue Notes
2024-05-13	Reissue for Rezoning
2024-03-13	Reissued for Rezoning
2024-02-24	Issued for Arch Coordination
2023-09-27	Issued for DP
2023-09-26	Issued for Review - Pre DP
2023-08-18	Issued for Arch Review/Coordination.
2023-08-09	Issued for Arch Review
2023-07-04	Issued for Arch Review



## Prospect & Refuge

LANDSCAPE ARCHITECTS  
 #102-1661 W 2nd Ave Vancouver, BC V6J 1H3  
 604-669-1003 info@prospectrefuge.ca  
 Building on over 25 years of history as Jonathan Losee, Ltd.

Project Title and Address

2416-2400 Western Ave North Van  
 2416-2400 Western Ave North Van

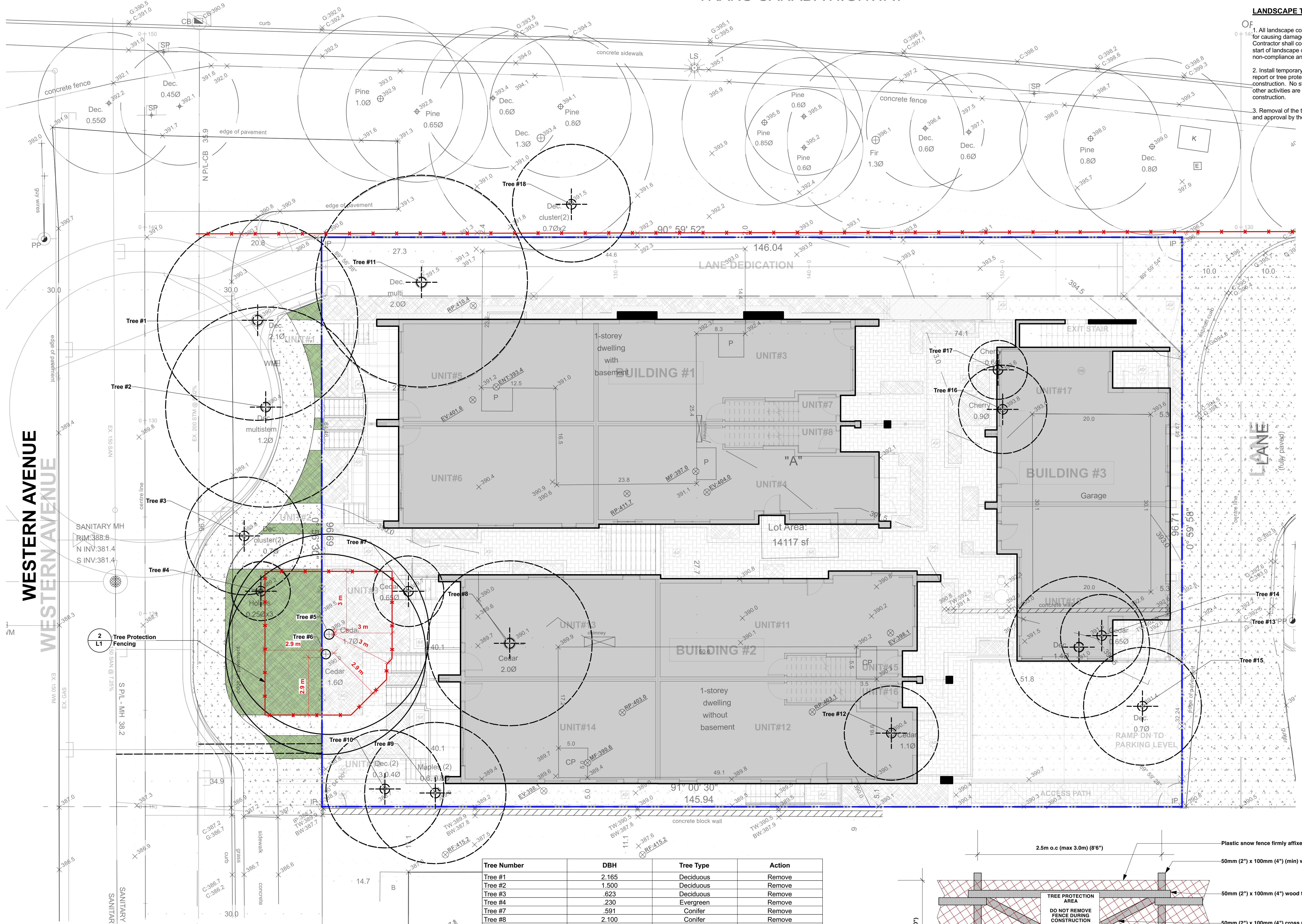
Sheet Title

Landscape Cover Sheet

Project No.	Scale
2022-31	
Project Manager	Sheet No.
NR	L0a
Reviewed By	
AS	



# TRANS CANADA HIGHWAY



### LANDSCAPE TREE NOTES

- All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the Project Arborist prior to the start of landscape operations to avoid tree protection non-compliance and bylaw issues.
- Install temporary tree protection fencing as per arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
- Removal of the tree barriers requires advance coordination and approval by the project arborist.

### LEGEND

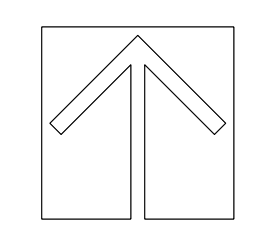
- Property Line
- Tree protection fence
- Existing Tree: TO BE RETAINED
- Existing Tree: TO BE REMOVED  
Confirm that trees are free of nesting birds prior to removal or wait until the bird nesting season is over.

**NOTE:** The tree protection barriers must be built and inspected before the building permit can be issued. Please call the building inspector at local municipality and request a tree barrier inspection at least 48 hours in advance of the building permit.

WESTERN AVENUE  
WESTERN AVENUE

LANE  
LANE (fully paved)

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2023-07-04	Issued for Arch Review



## Prospect & Refuge

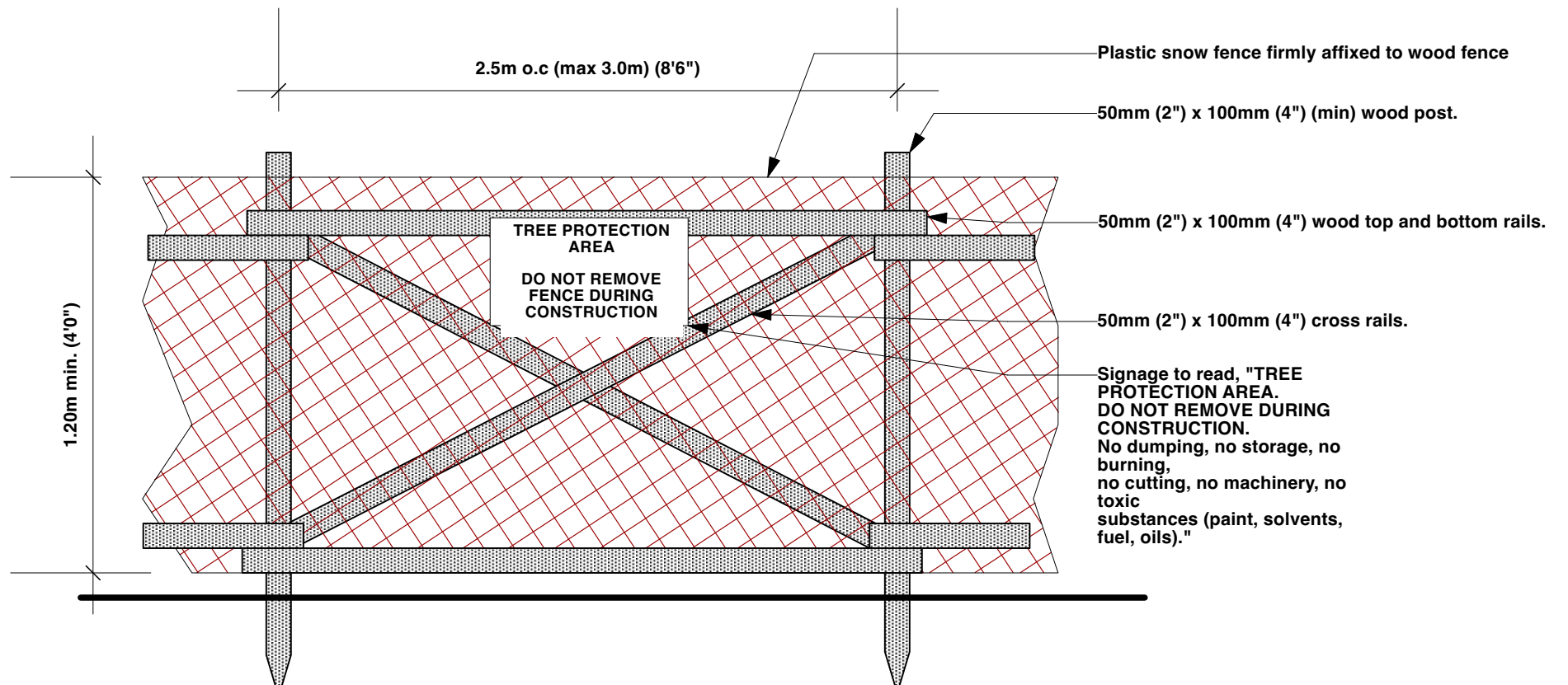
LANDSCAPE ARCHITECTS  
#102-1661 W 2nd Ave Vancouver, BC V6J 1H3  
604-669-1003 info@prospectrefuge.ca  
Building on over 25 years of history as Jonathan Losee, Ltd.

Project Title and Address  
**2416-2400 Western Ave North Van**  
2416-2400 Western Ave North Van

Sheet Title  
**Landscape Tree Protection Plan**

Project No.	Scale
2022-31	1/8" = 1'-0"
Project Manager NR	Sheet No.
Reviewed By AS	<b>L1</b>

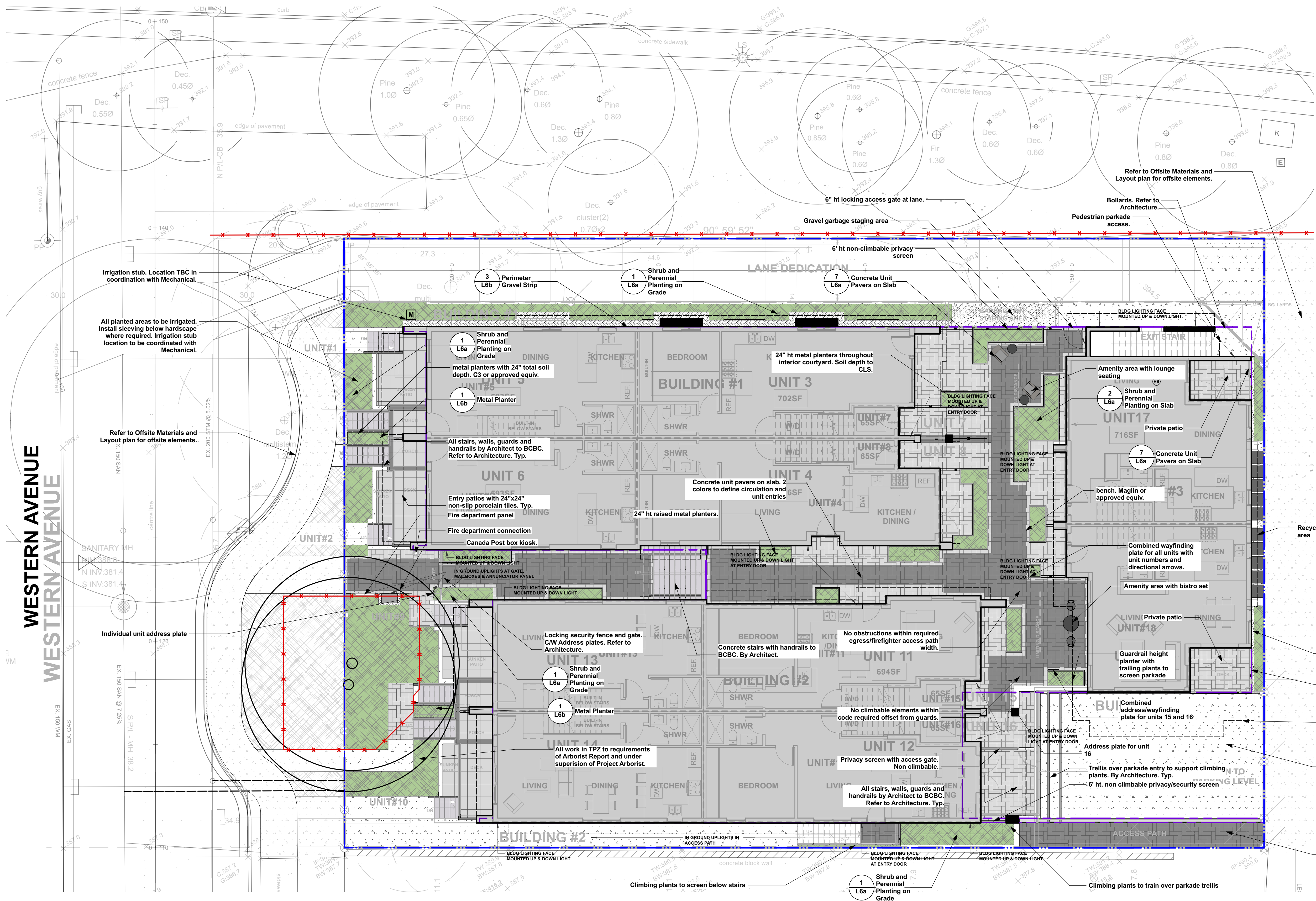
Tree Number	DBH	Tree Type	Action
Tree #1	2.165	Deciduous	Remove
Tree #2	1.500	Deciduous	Remove
Tree #3	.623	Deciduous	Remove
Tree #4	.230	Evergreen	Remove
Tree #7	.591	Conifer	Remove
Tree #8	2.100	Conifer	Remove
Tree #9	.510	Deciduous	Remove
Tree #10	.917	Deciduous	Remove
Tree #11	.377	Deciduous	Remove
Tree #17	.328	Deciduous	Remove
Tree #16	.492	Deciduous	Remove
Tree #12	.328	Conifer	Remove
Tree #14	.656	Deciduous	Remove
Tree #13	24.000	Deciduous	Remove
Tree #15	.755	Deciduous	Remove
Tree #6	1.575	Conifer	Retain
Tree #5	1.673	Conifer	Retain
Tree #18	.069	Deciduous	Remove



2 Tree Protection Fencing  
Scale: 1/2" = 1'-0"

3 Landscape Tree Protection Plan  
Scale: 1/8" = 1'-0"





- ### LANDSCAPE GENERAL NOTES
1. All Landscape material and execution shall conform to the Canadian Landscape Standard; all applicable and noted codes, bylaws and specifications; and life-safety requirements.
  2. Do not construct from these drawings unless marked "Issued For Construction".
  3. The Landscape Contractor shall submit all questions, reports, inquiries and requests pertaining to these drawings or their execution in writing to the Landscape Consultant.
  4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including subsurface).
  5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removals). Landscape Contractor shall report any discrepancies between the required and proposed work, to the Landscape Architect prior to construction.
  6. The Landscape Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. The Landscape Contractor shall report any discrepancies or incompatibilities to the Landscape Consultant.
  7. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%.
  8. All landscaping shall have a high efficiency irrigation system to IABC standards. Unless otherwise specified, the irrigation system shall be design-built by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
  9. All substitutions shall be approved by the Landscape Consultant.
  10. The Landscape Contractor shall repair any damage resulting from work on site.
  11. The Landscape Contractor shall provide 1 year of CLS level 1 maintenance (including watering) after the date of substantial completion.
  12. All walls 3' or taller, all guards, all concrete footings and all rebar shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.
  13. When working within the City of Vancouver, the Landscape Contractor shall ensure all project activities conform to Japanese Beetle Regulation

- ### LANDSCAPE TREE NOTES
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**NOTE:**  
All grades by Civil/Architecture. Refer to Civil/Arch for additional information

### LEGEND

**Property Line**  
**Tree protection fence**  
**Line of slab below**

**HARDSCAPE MATERIALS:**

- Concrete unit pavers on slab. Newstone Pavers Standard series c/w 3mm spacer bars. Layout: Herringbone. Color: Main - Northern Shadow, Accent - Natural
- Permeable concrete unit pavers on grade. Newstone Pavers Standard series c/w 3mm spacer bars. Layout: Herringbone. Color: Main - Northern Shadow, Accent - Natural
- CIP concrete sidewalk/walkway. To CNV standard where offsite.
- Porcelain Pavers with non-slip surface. 24"x24" unit size. Product spec tbd. Installation method (adhesive or on pedestals) tbc.

**SOFTSCAPE MATERIALS:**

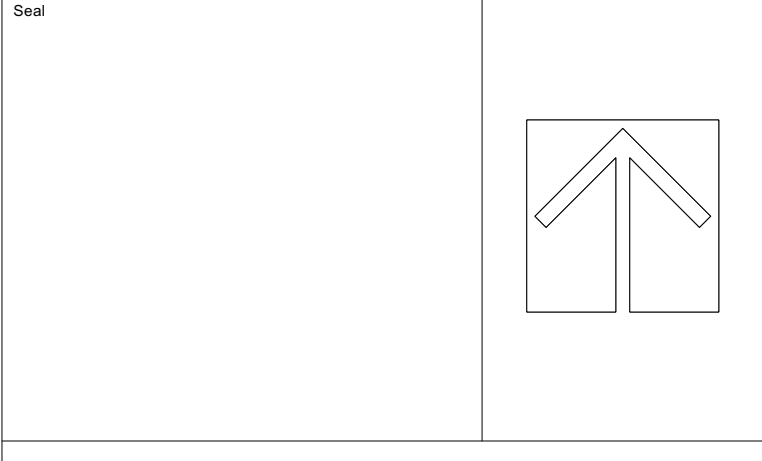
- Planting Bed
- Sodded Lawn

**LINES & SYMBOLS**

- Building envelope
- Building roof overhang

- ### DETAIL
- 7 L6a
  - 6 L6a
  - 8 L6a
  - 4 L6b
  - 2 L6a
  - 1 L6a
  - 4 L6a

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2023-07-04	Issued for Arch Review



### 3 Landscape Materials and Layout Plan - Ground Level

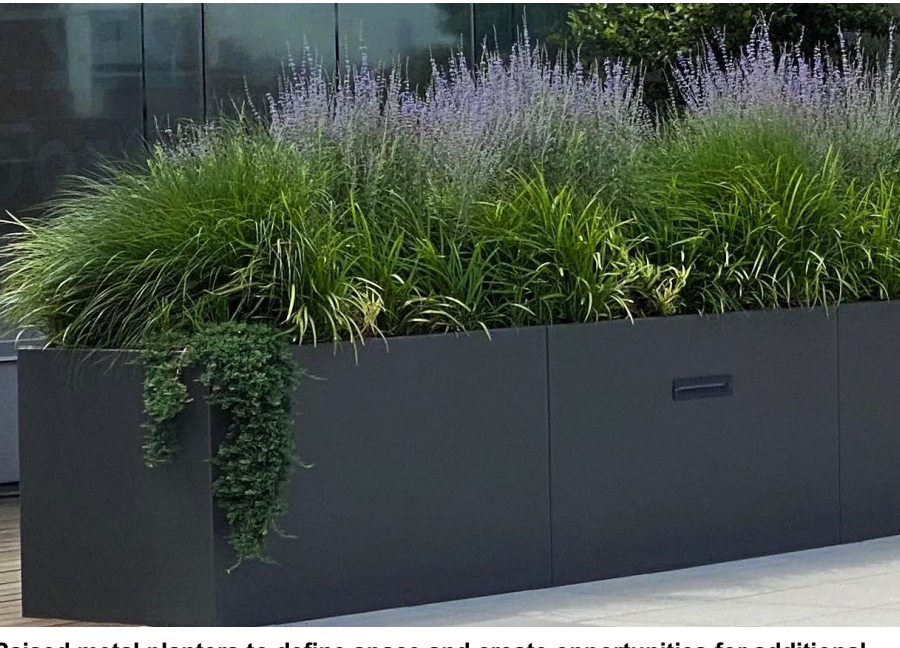
Scale: 1/8" = 1'-0"



2 colors of pavers to define entries and circulation areas



Indigenous and low maintenance planting



Raised metal planters to define space and create opportunities for additional planting in on slab areas



Small seating areas for community use



Small seating areas for community use

## Prospect & Refuge

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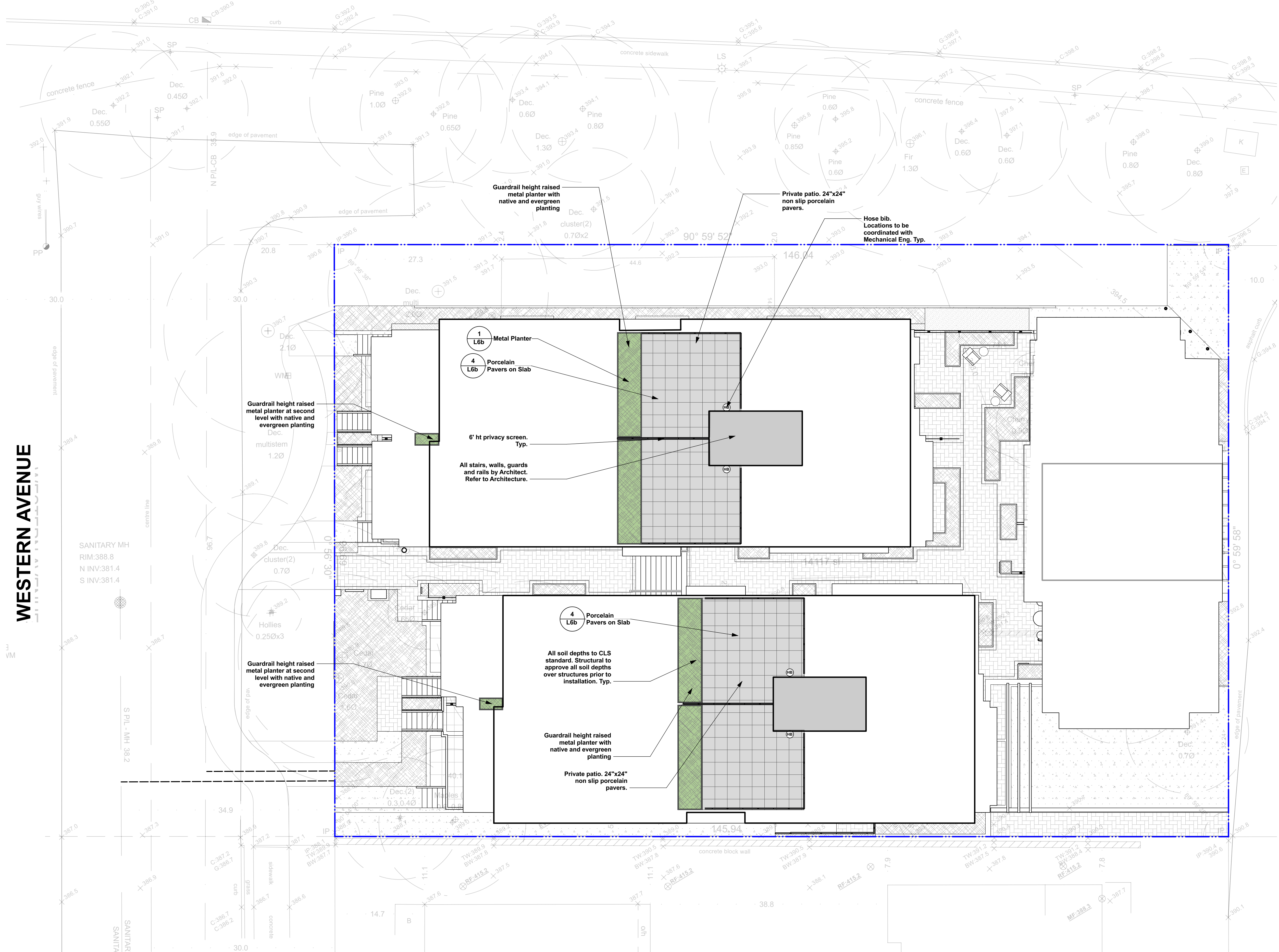
Project Title and Address  
**2416-2400 Western Ave North Van**  
2416-2400 Western Ave North Van

Sheet Title  
**Landscape Materials and Layout Plan - Ground Level**

Project No.	Scale
2022-31	1/8" = 1'-0"
Project Manager	Sheet No.
NR	L2a
Reviewed By	
AS	



TRANS CANADA HIGHWAY



LANDSCAPE GENERAL NOTES

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LEGEND

**Property Line**  
**Tree protection fence**  
**Line of slab below**

**HARDSCAPE MATERIALS:**

- Concrete unit pavers on slab. Newstone Pavers Standard series c/w 3mm spacer bars. Layout: Herringbone. Color: Main - Northern Shadow, Accent - Natural. **7 L6a**
- Permeable concrete unit pavers on grade. Newstone Pavers Standard series c/w 3mm spacer bars. Layout: Herringbone. Color: Main - Northern Shadow, Accent - Natural. **6 L6a**
- CIP concrete sidewalk/walkway. To CNV standard where offsite. **8 L6a**
- Porcelain Pavers with non-slip surface. 24"x24" unit size. Product spec tbd. Installation method (adhesive or on pedestals) tbc. **4 L6b**

**SOFTSCAPE MATERIALS:**

- Planting Bed **2 L6a**
- Sodded Lawn **1 L6a**

**LINES & SYMBOLS**

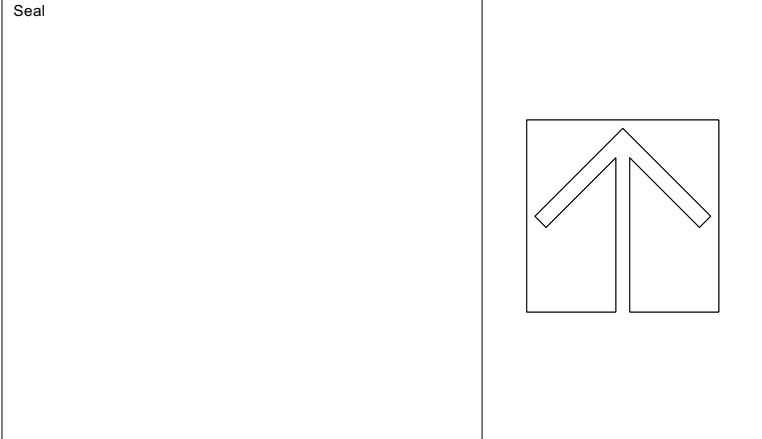
- Building envelope
- Building roof overhang

**NOTE:**  
 All grades by Civil/Architecture. Refer to Civil/Arch for additional information

**DETAIL**

7	L6a
6	L6a
8	L6a
4	L6b
2	L6a
1	L6a
4	L6a

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2023-07-04	Issued for Arch Review



Prospect & Refuge

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 Building on over 25 years of history as Jonathan Losee, Ltd.

Project Title and Address  
**2416-2400 Western Ave North Van**  
 2416-2400 Western Ave North Van

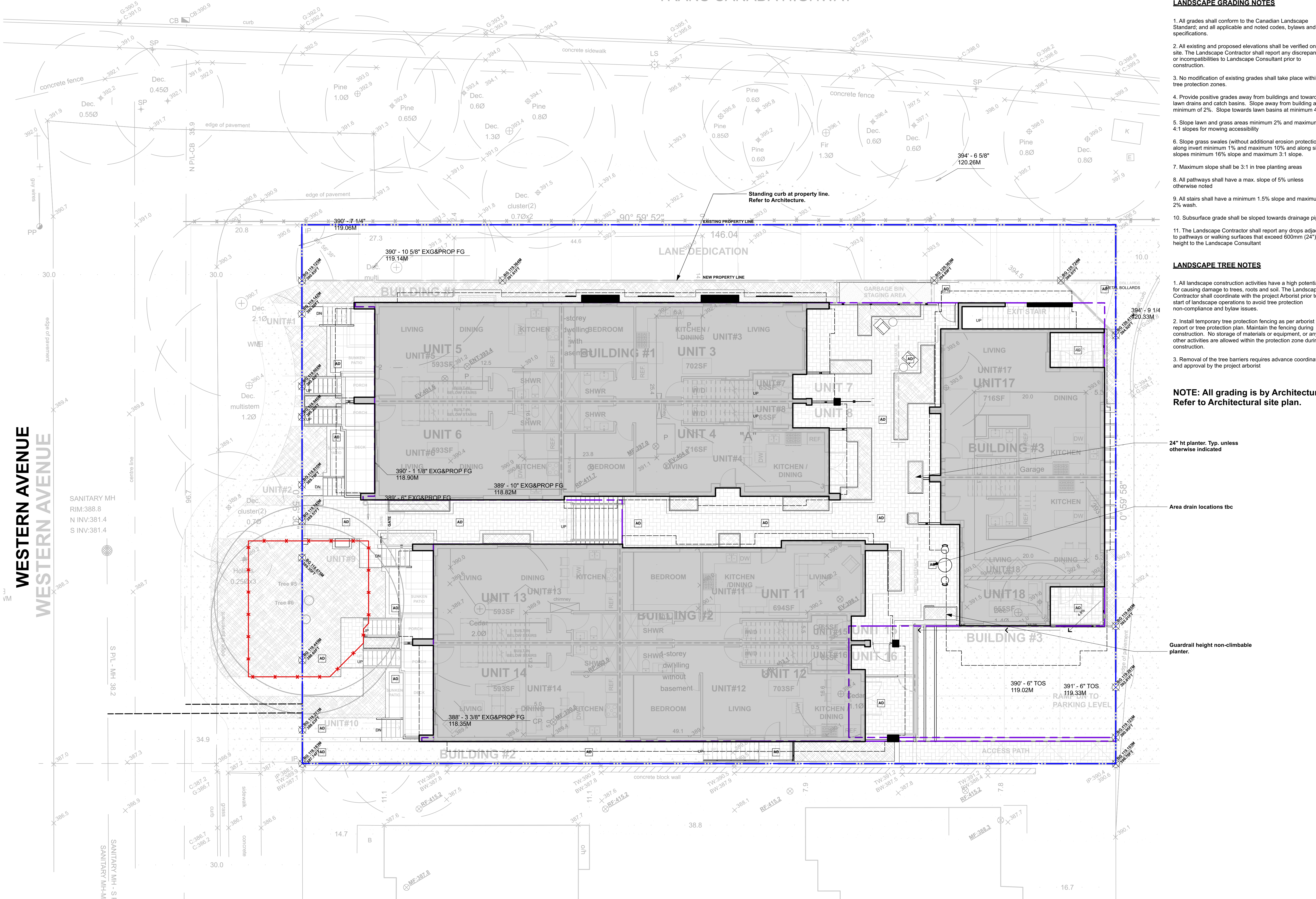
Sheet Title  
**Landscape Materials and Layout Plan - Rooftop**

Project No.	Scale
2022-31	1/8" = 1'-0"
Project Manager	Sheet No.
NR	L2b
Reviewed By	
AS	

**3 Landscape Materials and Layout Plan - Level 3**  
 Scale: 1/8" = 1'-0"



# TRANS CANADA HIGHWAY



## LANDSCAPE GRADING NOTES

1. All grades shall conform to the Canadian Landscape Standard; and all applicable and noted codes, bylaws and specifications.
2. All existing and proposed elevations shall be verified on site. The Landscape Contractor shall report any discrepancies or incompatibilities to Landscape Consultant prior to construction.
3. No modification of existing grades shall take place within tree protection zones.
4. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%.
5. Slope lawn and grass areas minimum 2% and maximum 4:1 slopes for mowing accessibility
6. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 16% slope and maximum 3:1 slope.
7. Maximum slope shall be 3:1 in tree planting areas
8. All pathways shall have a max. slope of 5% unless otherwise noted
9. All stairs shall have a minimum 1.5% slope and maximum 2% wash.
10. Subsurface grade shall be sloped towards drainage pipe
11. The Landscape Contractor shall report any drops adjacent to pathways or walking surfaces that exceed 600mm (24") in height to the Landscape Consultant

## LANDSCAPE TREE NOTES

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3. Removal of the tree barriers requires advance coordination and approval by the project arborist

**NOTE: All grading is by Architecture. Refer to Architectural site plan.**

24" ht planter. Typ. unless otherwise indicated

Area drain locations tbc

Guardrail height non-climbable planter.

## LEGEND

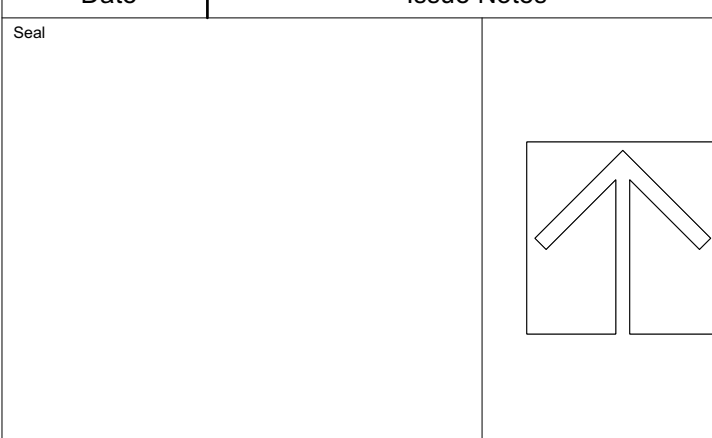
- Property Line
- Tree protection fence
- Perf pipe
- Drain clean out
- Area drain - bi-level where on slab
- Drainage direction
- 300mm Gravel drip strip
- Spot Elevation

## ABBREVIATIONS

- T.O.S. Top of Slab
- TS Top of Stairs
- BS Bottom of Stairs
- TW Top of Wall
- BW Bottom of Wall

**NOTE: All grading is by Architect and provided on this drawing for general reference only. Refer to Architecture and report any discrepancies between grades shown in this plan and those on Architectural plans.**

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2023-08-09	Issued for Arch Review
2023-07-04	Issued for Arch Review



## Prospect & Refuge

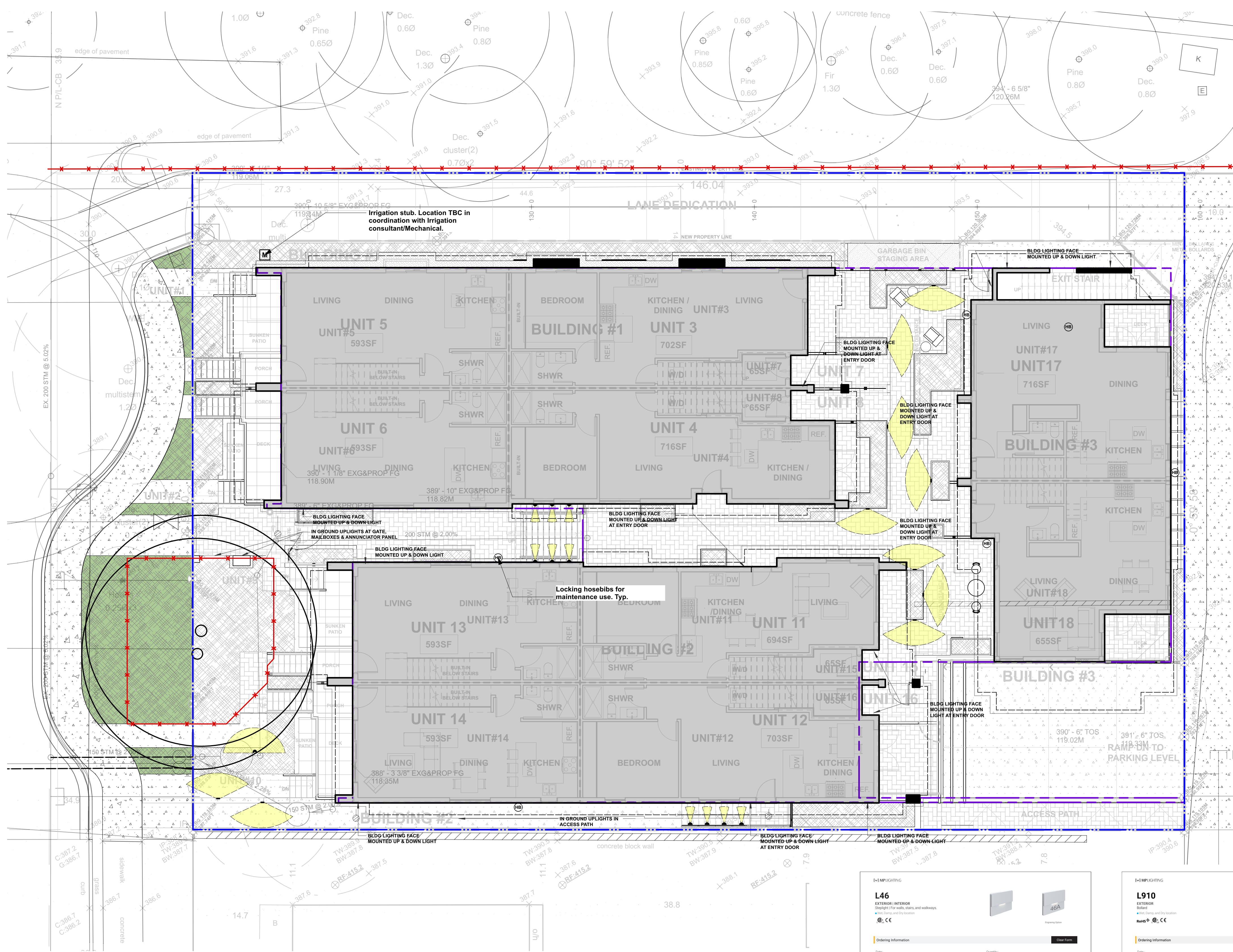
LANDSCAPE ARCHITECTS  
 #102-1661 W 2nd Ave Vancouver, BC V6J 1H3  
 604-669-1003 info@prospectrefuge.ca  
 Building on over 25 years of history as Jonathan Losee, Ltd.

Project Title and Address  
**2416-2400 Western Ave North Van**  
 2416-2400 Western Ave North Van

Sheet Title  
**Landscape Grading and Drainage Plan**

Project No.	Scale
2022-31	1/8" = 1'-0"
Project Manager	Sheet No.
NR	L2c
Reviewed By	AS





**LANDSCAPE GENERAL NOTES**

1. All Landscape material and execution shall conform to the Canadian Landscape Standard; all applicable and noted codes, bylaws and specifications; and life-safety requirements.
2. Do not construct from these drawings unless marked "Issued For Construction".
3. The Landscape Contractor shall submit all questions, reports, inquiries and requests pertaining to these drawings or their execution in writing to the Landscape Consultant.
4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including subsurface).
5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removals). Landscape Contractor shall report any discrepancies between the required and proposed work, to the Landscape Architect prior to construction.
6. The Landscape Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. The Landscape Contractor shall report any discrepancies or incompatibilities to the Landscape Consultant.
7. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system to IABC standards. Unless otherwise specified, the irrigation system shall be design-built by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall repair any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of CLS level 1 maintenance (including watering) after the date of substantial completion.
12. All walls 3' or taller, all guards, all concrete footings and all rebar shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.
13. When working within the City of Vancouver, the Landscape Contractor shall ensure all project activities conform to Japanese Beetle Regulation

**LANDSCAPE TREE NOTES**

1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Arbotrist prior to the start of landscape operations to avoid tree protection non-compliance and bylaw issues.
2. Install temporary tree protection fencing as per arbotrist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
3. Removal of the tree barriers requires advance coordination and approval by the project arbotrist

**NOTE:** The purpose of this lighting plan is to illustrate conceptual design intent. Further design development is required prior to tender and construction to ensure sufficient illumination. Coordination with Electrical is required.

**LEGEND**

- Property Line
- Tree protection fence
- LIGHTING**
  - 2 MP Lighting L49 Wall Light
  - 5 MP Lighting L46 Step Light
  - 4 MP Lighting L910 Bollard
- IRRIGATION**
  - Hose bib
  - approx. location of 1" irrigation water stub out, c/w electrical pull, locations to be coordinated with mechanical eng. Irrigate all planters. Note: Irrigation time clock and solenoids location TBC with mech. eng.
  - 2" dia. sch. 40 sleeving below paths, paving, and PIP planter walls where required typ.
- FURNISHINGS**
  - Adirondack chair and side table. Maglin or approved equiv.
  - Armchair and side table. Loll or approved equiv.

**3 Landscape Lighting Irrigation and Furnishings Plan**  
Scale: 1/8" = 1'-0"

**L46**  
EXTERNAL INTERIOR  
Straight (For walls, stairs, and walkways)  
Material: Polycarbonate  
Finish: CC

Ordering Information

Specifications

System Components (Ordered Separately)

Important Notes

Notes, Notes & Disclaimer

**L910**  
EXTERNAL INTERIOR  
Straight (For walls, stairs, and walkways)  
Material: Polycarbonate  
Finish: CC

Ordering Information

Specifications

System Components (Ordered Separately)

Important Notes

Notes, Notes & Disclaimer

**L49**  
EXTERNAL INTERIOR  
Straight (For walls, stairs, and walkways)  
Material: Polycarbonate  
Finish: CC

Ordering Information

Specifications

System Components (Ordered Separately)

Important Notes

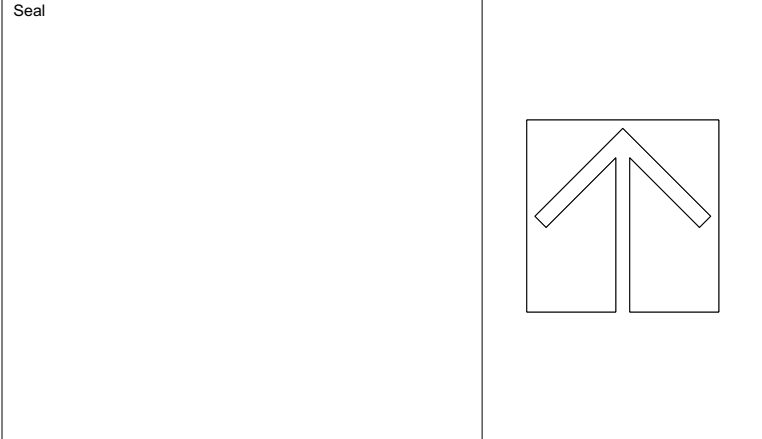
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**5 MP Lighting L46 Step Light**  
Scale: Half Actual Size

**4 MP Lighting L910 Bollard**  
Scale: Half Actual Size

**2 MP Lighting L49 Wall Light**  
Scale: Half Actual Size

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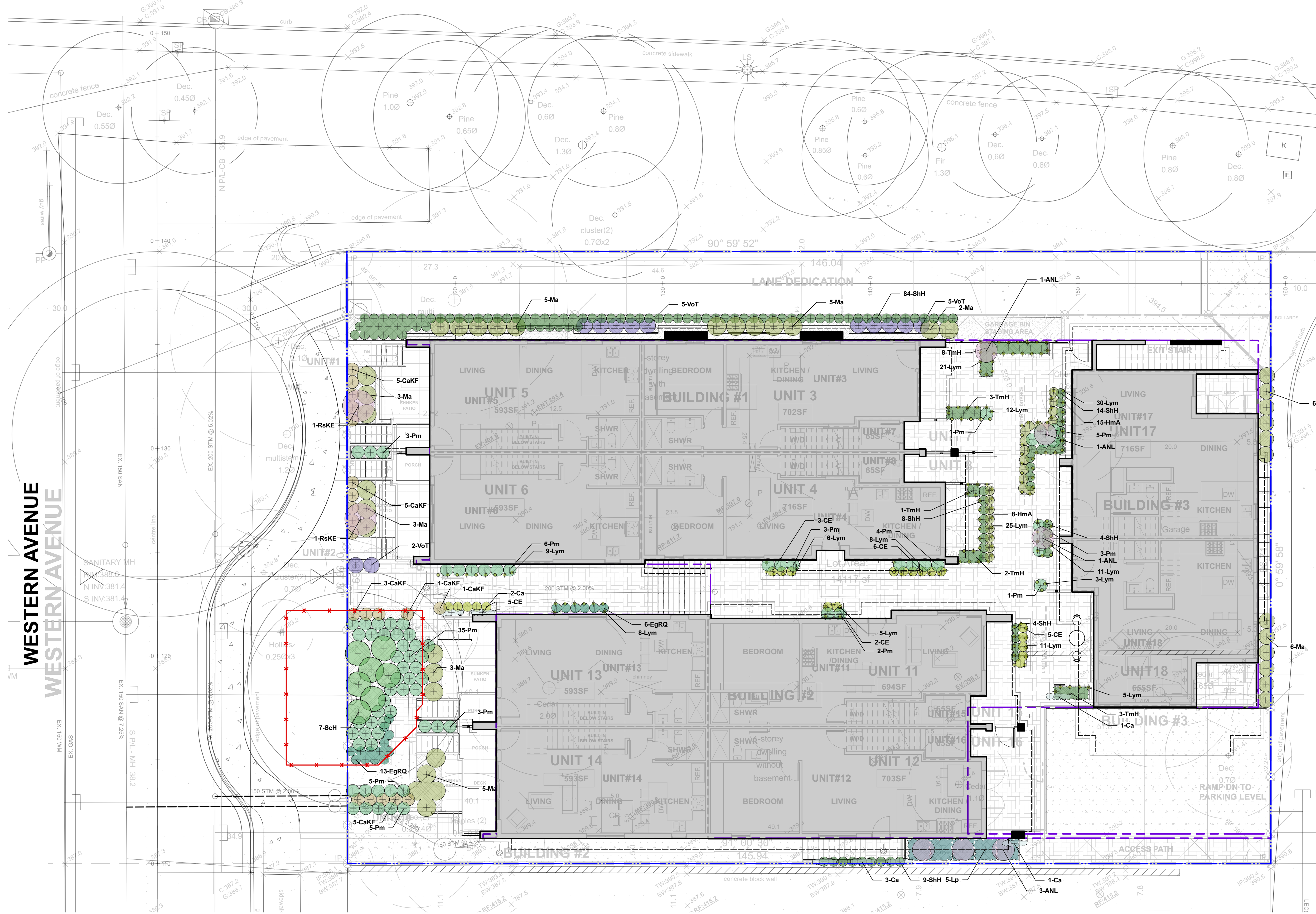
Sheet Title  
**Landscape Lighting and Irrigation Plan**

Project No.	Scale
2022-31	1/8" = 1'-0"

Project Manager	Sheet No.
NR	<b>L3</b>
Reviewed By	
AS	



TRANS CANADA HIGHWAY



LANDSCAPE PLANTING NOTES

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- Plant material shall be sourced from Washington State and BC.
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- The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Compacted subgrades shall be scarified to a minimum depth of 6" (150mm) immediately before placing growing medium.
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3 Landscape Planting Plan - Ground Level  
Scale: 1/8" = 1'-0"

ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
<b>TREES</b>					
ANL	Azalea 'Northern Lights'	Northern Lights Deciduous Azalea	6	#5 pot	Cont.
CaKF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	20	#1 pot @ 2'0" oc	Cont.
CE	Carex 'Evergold'	Golden Sedge Grass	21	#1 pot @ 1'6" oc	Cont.
Ca	Clematis armandi	Evergreen Clematis	7	#1 pot @ 5'0" oc	Cont.
EgRQ	Epidemium grandiflorum 'Red Queen'	Red Queen Epimedium	19	#1 pot @ 1'6" oc	Cont.
HmA	Hakonechloa macra 'Aurea'	Golden Japanese Forest Grass	23	#1 pot @ 1'6" oc	Cont.
Lp	Lonicera pileata	Privet honeysuckle	5	#3 pot @ 3'6" oc	Cont.
Lym	Lysimachia nummularia	creeping jenny	154	4" pot @ 1'6" oc	Cont.
Ma	Mahonia aquifolium	Tall Oregon Grape	38	#2 pot @ 2'6" oc	Cont.
Pm	Polystichum munifolium	Sword Fern	76	#1 pot @ 2'0" oc	Cont.
RsKE	Ribes sanguineum 'King Edward II'	King Edward Flowering Currant	2	#5 pot	Cont.
SH	Sarcococca hookeriana 'Humilis'	Dwarf Sweet Box	123	4'0" tall @ 1'9" oc. FJ	Cont. Full, Bushy
Sch	Symphoricarpos x chenaultii 'Hancock'	Chenault coralberry, Snowberry	7	#1 pot @ 4'0" oc	Cont.
TmH	Taxus x media 'Hicksii'	Hill's Yew	17	4'0" tall @ 1'9" oc. FJ	Cont.
VoT	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	12	#3 pot @ 2'6" oc	Cont.
<b>GROUND COVER</b>					
	Assorted perennials selected by Landscape Architect		20	#1 pot	Cont.

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Project Title and Address  
2416-2400 Western Ave North Van  
2416-2400 Western Ave North Van

Sheet Title  
Landscape Planting Plan - Ground Level

Project No. 2022-31 Scale 1/8" = 1'-0"

Project Manager NR Sheet No. L4a

Reviewed By AS



TRANS CANADA HIGHWAY

WESTERN AVENUE

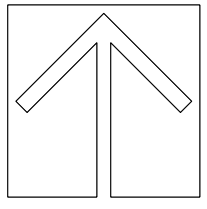
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LANDSCAPE TREE NOTES

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Project Title and Address  
**2416-2400 Western Ave North Van**  
 2416-2400 Western Ave North Van

Sheet Title  
**Landscape Planting Plan - Roof Level**

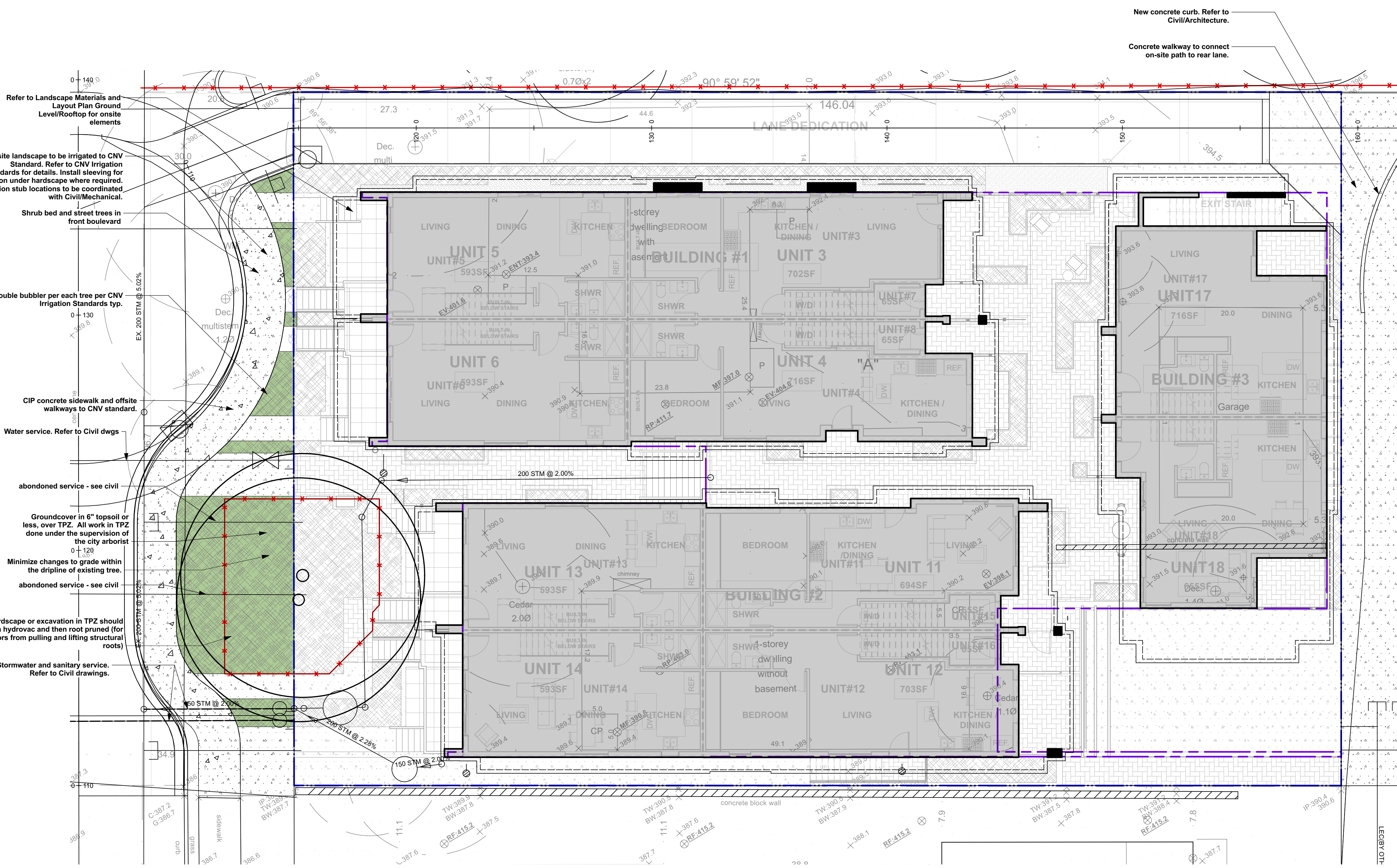
Project No.	Scale
2022-31	1/8" = 1'-0"
Project Manager	Sheet No.
NR	L4b
Reviewed By	
AS	

3 Landscape Planting Plan -Level 3  
 Scale: 1/8" = 1'-0"

PLANT LIST - Level 3	ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES						
SHRUBS						
Pm		Polystichum munitum	Sword Fern	36	#1 pot @ 2'0" oc.	Cont.
TmH		Taxus x media 'Hicksii'	Hill's Yew	36	4'0" tall @ 1'9" oc. F.	Cont.
GROUND COVER						
Assorted perennials selected by Landscape Architect						



**WESTERN AVENUE**



**4 Landscape Materials and Layout Plan - Offsite**  
Scale: 1/8" = 1'-0"

**LANDSCAPE GENERAL NOTES**

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4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including subsurface).
5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removals). Landscape Contractor shall report any discrepancies between the required and proposed work, to the Landscape Architect prior to construction.
6. The Landscape Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. The Landscape Contractor shall report any discrepancies or incompatibilities to the Landscape Consultant.
7. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system to IAABC standards. Unless otherwise specified, the irrigation system shall be design-built by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall repair any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of CLS level 1 maintenance (including watering) after the date of substantial completion.
12. All walls 3' or taller, all guards, all concrete footings and all rebar shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.

**LANDSCAPE TREE NOTES**

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**CNV OFFSITE IRRIGATION**

1. Refer to CNV Irrigation Standards for specifics. All landscaping shall have a high efficiency irrigation system to IAABC standards. Unless otherwise specified, the irrigation system shall be design-built by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant and CNV approval.

**CNV TREE NOTES**

1. Contact City Arborist at least three days in advance of excavation. City Arborist to be on site at all excavations within TPZ zone.
2. City arborist to perform root pruning.
3. Retain as much existing vegetation as possible to shade the ground and retain moisture.
4. Removal of any lawn within the tree protection area to be done by hand.
5. Provide irrigation during construction. All trees affected by construction must be irrigated during warranty period. Extend automatic irrigation system with drip irrigation to both trees and vegetation in the TPZ.

**LEGEND**

- Property Line
- Tree protection fence
- Line of slab below

**HARDSCAPE MATERIALS:**

- Concrete unit pavers on slab. Newstone Pavers Standard series c/w 3mm spacer bars. Layout: Herringbone. Color: Main - Northern Shadow, Accent - Natural
- Permeable concrete unit pavers on grade. Newstone Pavers Standard series c/w 3mm spacer bars. Layout: Herringbone. Color: Main - Northern Shadow, Accent - Natural
- CIP concrete sidewalk/walkway. To CNV standard where offsite.
- Porcelain Pavers with non-slip surface. 24"x24" unit size. Product spec tbd. Installation method (adhesive or on pedestals) tbc.

**SOFTSCAPE MATERIALS:**

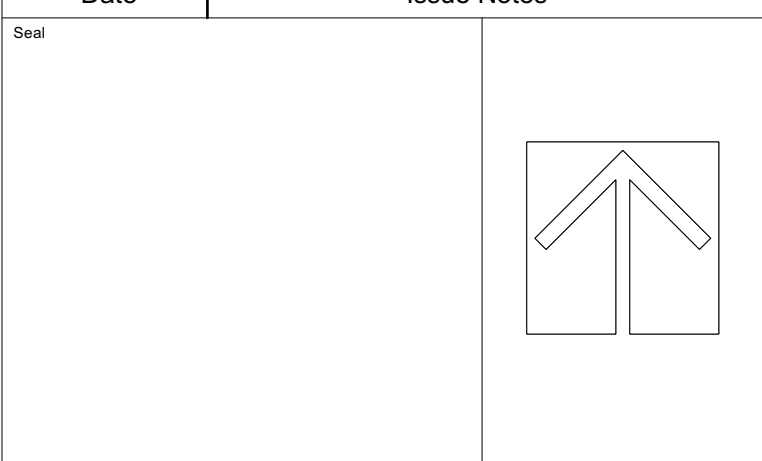
- Planting Bed
- Sodded Lawn

**LINES & SYMBOLS**

- Building envelope
- Building roof overhang

**NOTE:**  
All grades by Civil/Architecture. Refer to Civil/Arch for additional information

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Sheet Title  
**Landscape Materials and Layout Plan - Offsite**

Project No.	Scale
2022-31	1/8" = 1'-0"
Project Manager	Sheet No.
NR	<b>L5a</b>
Reviewed By	AS



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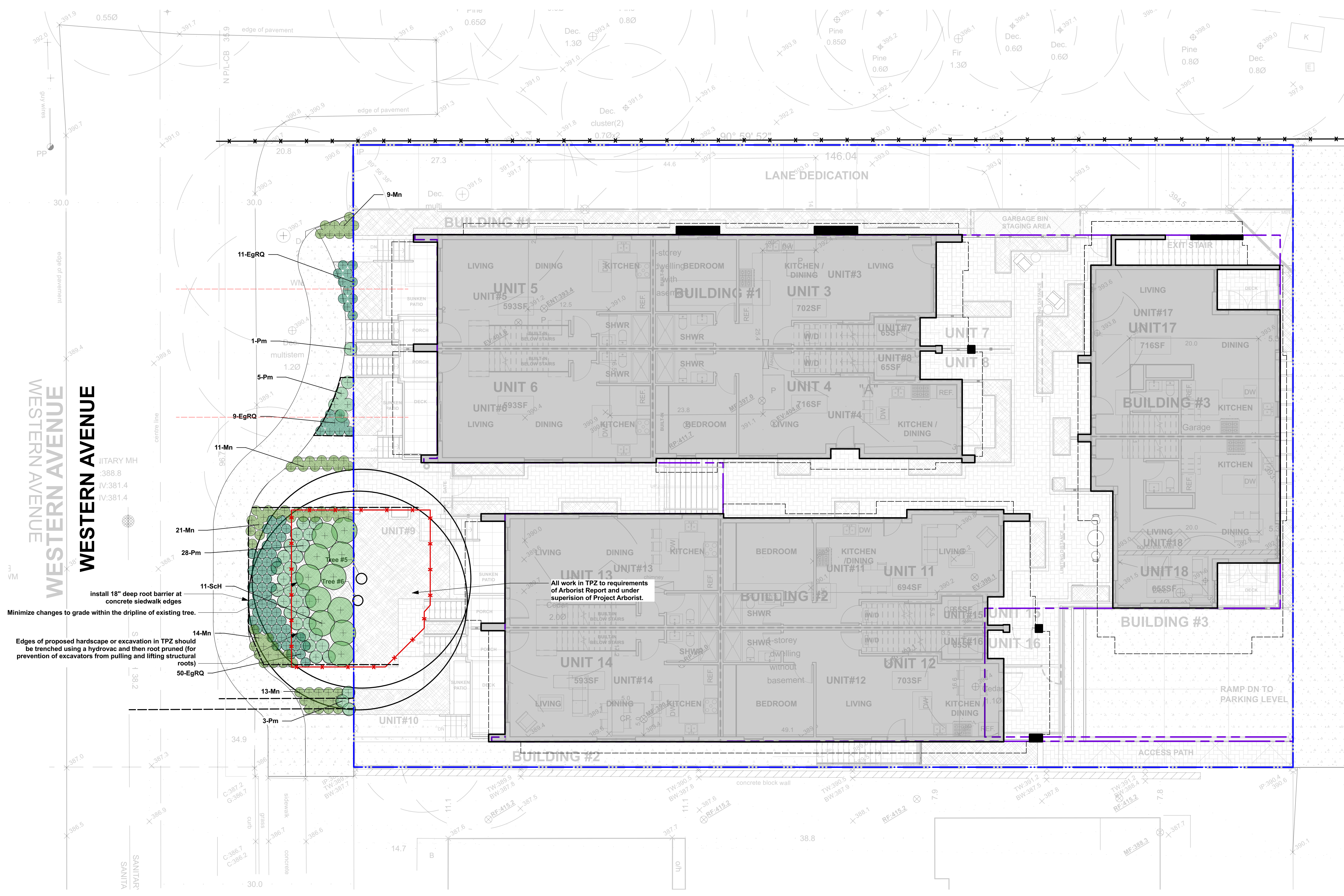
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Date	Issue Notes

**Prospect & Refuge**  
LANDSCAPE ARCHITECTS  
#102-1661 W 2nd Ave Vancouver, BC V6J 1H3  
604-669-1003 info@prospectrefuge.ca  
Building on over 25 years of history as Jonathan Losee, Ltd.

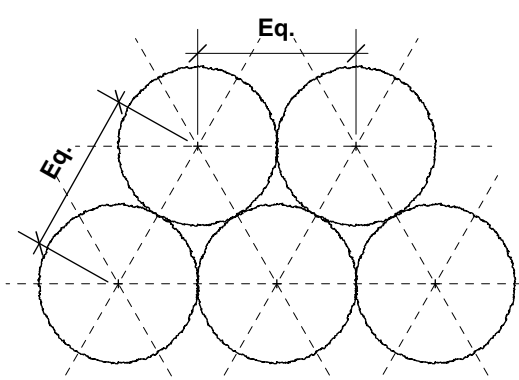
Project Title and Address <b>2416-2400 Western Ave North Van</b> 2416-2400 Western Ave North Van	
Project No. 2022-31	Scale 1/8" = 1'-0"
Project Manager NR	Sheet No. <b>L5b</b>
Reviewed By AS	

ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
<b>TREES</b>					
<b>SHRUBS</b>					
EgRQ	<i>Epidemium grandiflorum</i> 'Red Queen'	Red Queen Epimedium	70	#1 pot @ 16" oc	Cont.
Mn	<i>Mahonia nervosa</i>	Cascade Oregon Grape	27	#1 pot @ 16" oc	Cont.
Pm	<i>Polystichum munifolium</i>	Sword Fern	37	#1 pot @ 20" oc	Cont.
Sch	<i>Sambucus racemosa</i> x <i>chamaecrista</i> 'Hancock'	Chenault coralberry, Snowberry	11	#1 pot @ 40" oc	Cont.
<b>GROUND COVER</b>					
Assorted perennials selected by Landscape Architect			20	#1 pot	Cont.

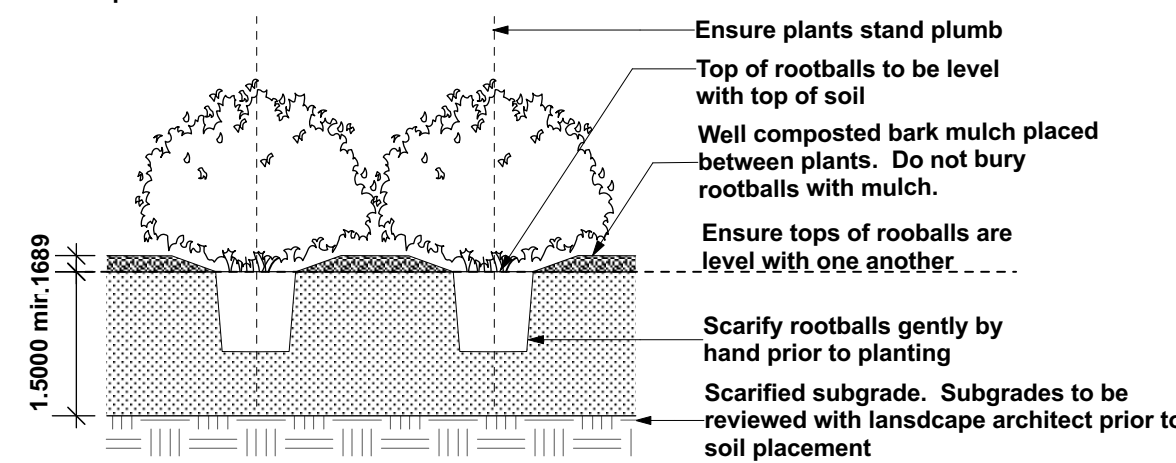


**2 Landscape Planting Plan - Offsite**  
Scale: 1/8" = 1'-0"



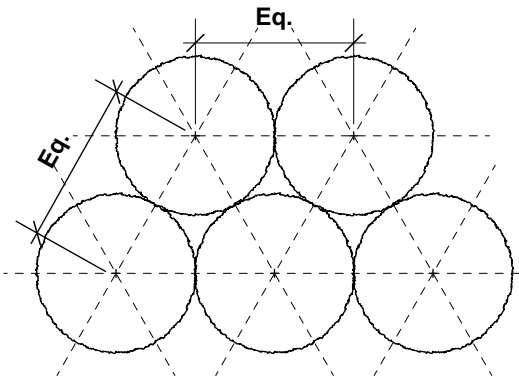


Plan view of typical planting layout: Unless otherwise noted, plants are to be spaced equally, in triangular layout pattern, to specified on-centre distance. Refer to planting plan and schedule.

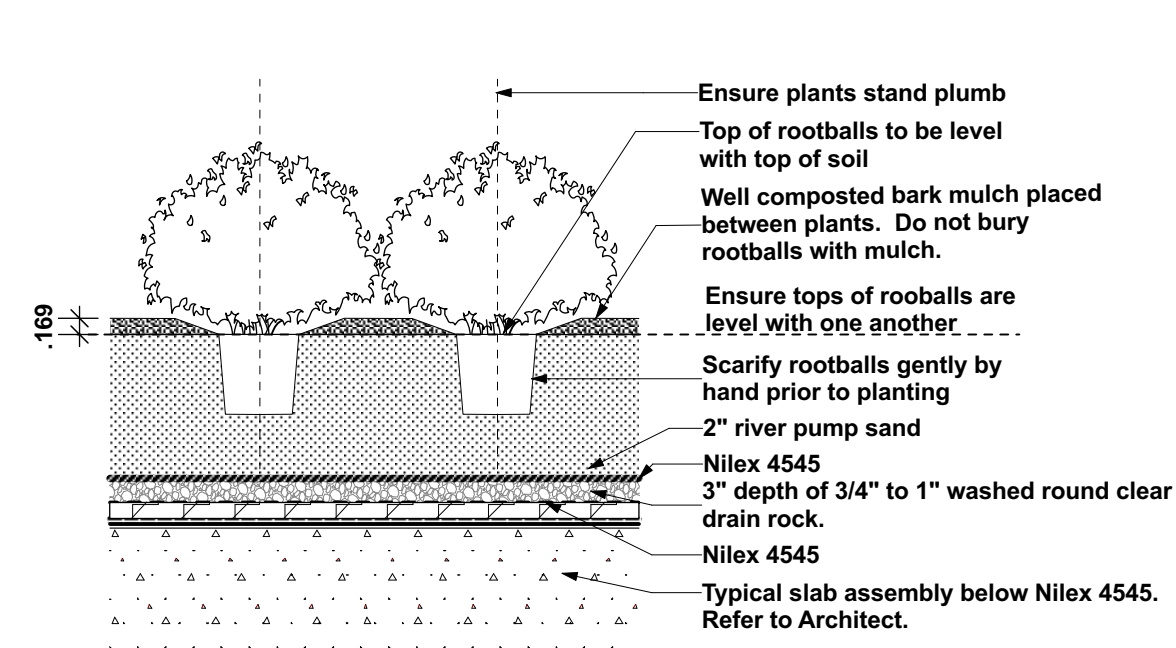


**NOTES:**  
 1. Min. container size and root spread to comply with BC Landscape Standard for Nursery Stock - current edition.  
 2. Prune all damaged, diseased, and dead limbs.  
 3. Keep roots moist during installation: water container stock well prior to planting and following planting.

**1 Shrub and Perennial Planting on Grade**  
 Scale: 1/2" = 1'-0"

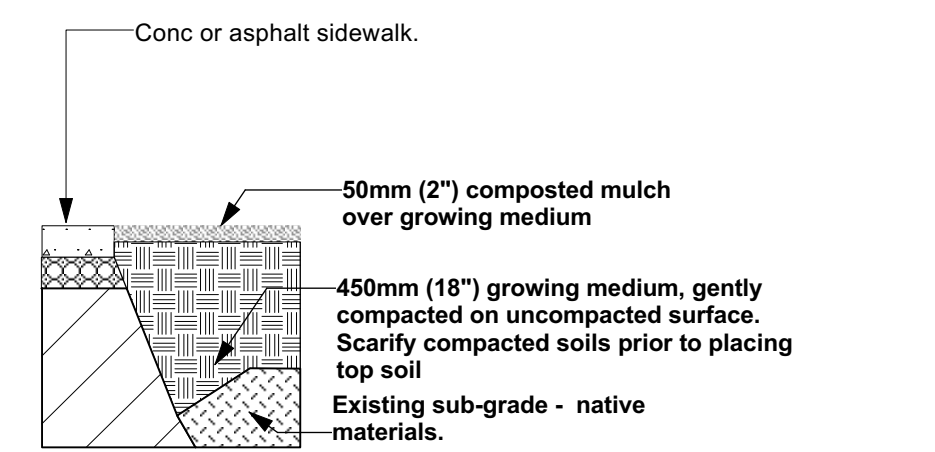


Plan view of typical planting layout: Unless otherwise noted, plants are to be spaced equally, in triangular layout pattern, to specified on-centre distance. Refer to planting plan and schedule.



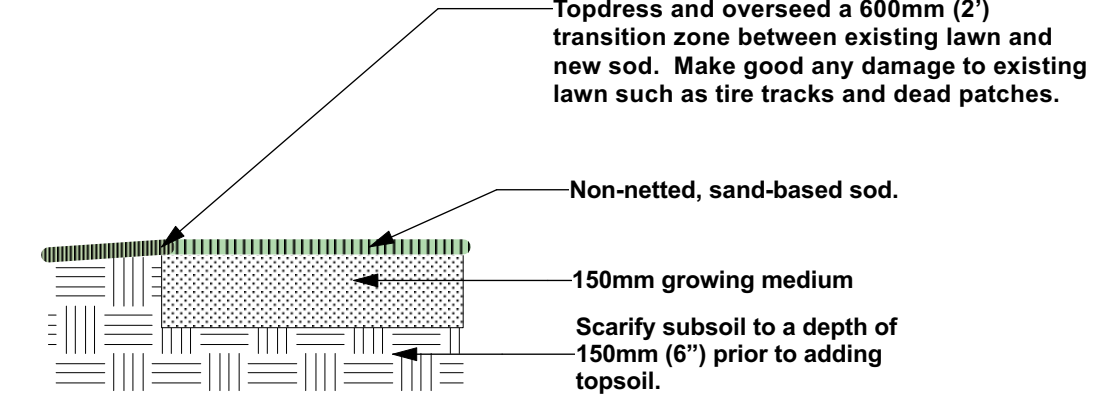
**NOTES:**  
 1. Min. container size and root spread to comply v BC Landscape Standard for Nursery Stock - current edition.  
 2. Prune all damaged, diseased, and dead limbs.  
 3. Keep roots moist during installation - water container stock well prior to planting and following planting.  
 4. Soil for all on slab applications to be a lightweight free draining planter blend. Fines within soil blend be less than 15%, as defined in a soil analysis provided to the landscape architect for review and comment prior to delivery on site. Soil report shall no older than one month.

**2 Shrub and Perennial Planting on Slab**  
 Scale: 1/2" = 1'-0"



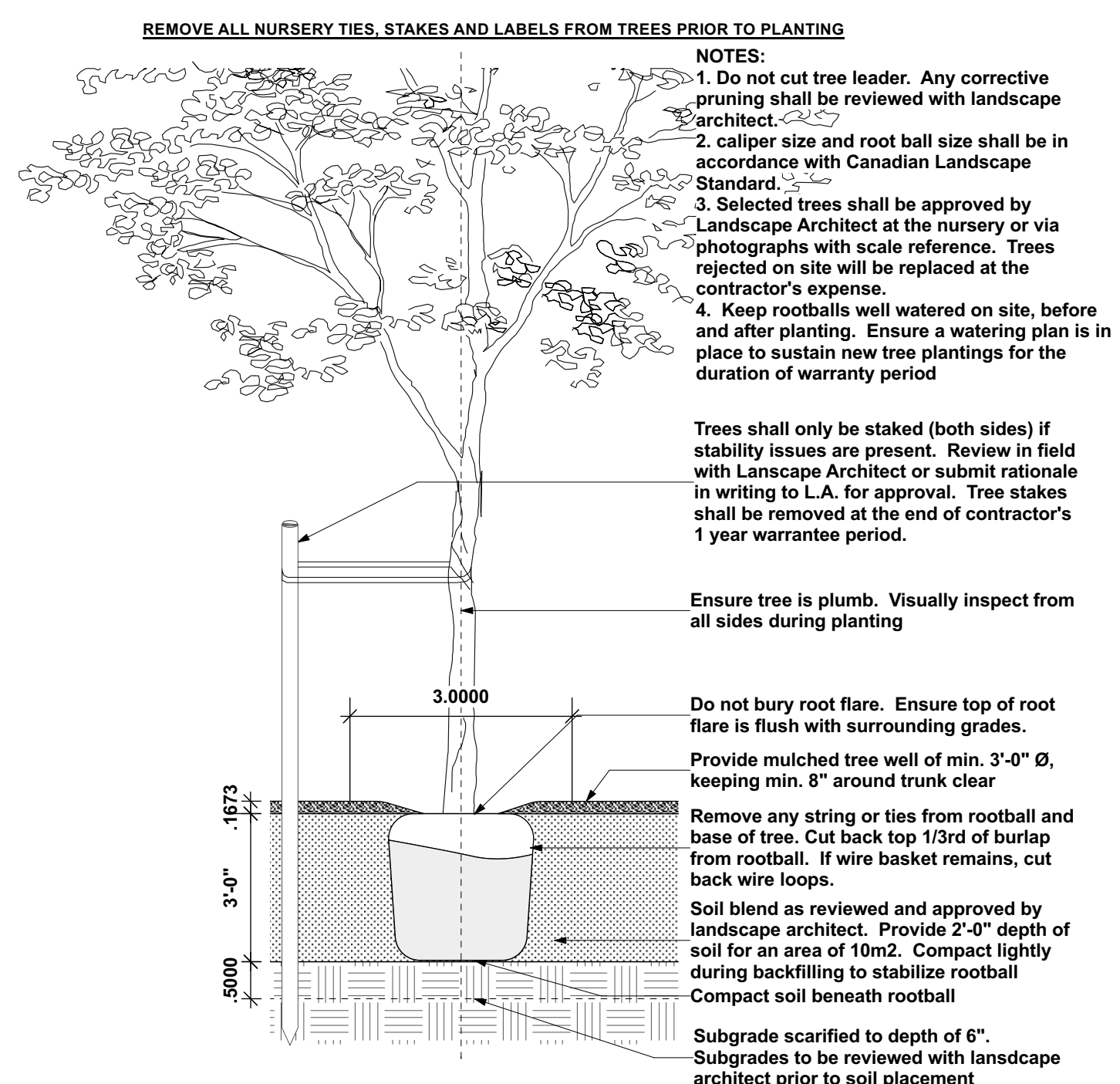
**Standard Growing Medium:** Level 1 type 1P as per Canadian Landscape Standards unless otherwise noted.  
 -Supply sample to landscape architect for approval  
 Tree planting areas requires 3'-0" soil depth.  
 -Soil depths to meet or exceed Canadian Landscape Standard for growing medium:  
 On-Grade: 6" for irrigated turf, 9" non irrigated, 18" for small shrubs & 24" for large shrubs and 3'-0" for trees.

**3 Top Soil on Grade**  
 Scale: 1/2" = 1'-0"



**Standard Growing Medium for Lawn offsite:** Level 2 type 2L as per Canadian Landscape Standards unless otherwise noted.  
**Standard Growing Medium for Lawn onsite:** Level 1 type 1H as per Canadian Landscape Standards unless otherwise noted.  
 -Supply sample to landscape architect for approval  
 -Soil depths to meet or exceed Canadian Landscape Standard for growing medium:  
 On-Slab: 6" for irrigated turf, 9" for non-irrigated.

**4 Sodded Lawn**  
 Scale: 1/2" = 1'-0"



**REMOVE ALL NURSERY TIES, STAKES AND LABELS FROM TREES PRIOR TO PLANTING**

**NOTES:**  
 1. Do not cut tree leader. Any corrective pruning shall be reviewed with landscape architect.  
 2. caliper size and root ball size shall be in accordance with Canadian Landscape Standard.  
 3. Selected trees shall be approved by Landscape Architect at the nursery or via photographs with scale reference. Trees rejected on site will be replaced at the contractor's expense.  
 4. Keep rootballs well watered on site, before and after planting. Ensure a watering plan is in place to sustain new tree plantings for the duration of warranty period

Trees shall only be staked (both sides) if stability issues are present. Review in field with Landscape Architect or submit rationale in writing to L.A. for approval. Tree stakes shall be removed at the end of contractor's 1 year warranty period.

Ensure tree is plumb. Visually inspect from all sides during planting

Do not bury root flare. Ensure top of root flare is flush with surrounding grades.

Provide mulched tree well of min. 3'-0" Ø, keeping min. 8" around trunk clear

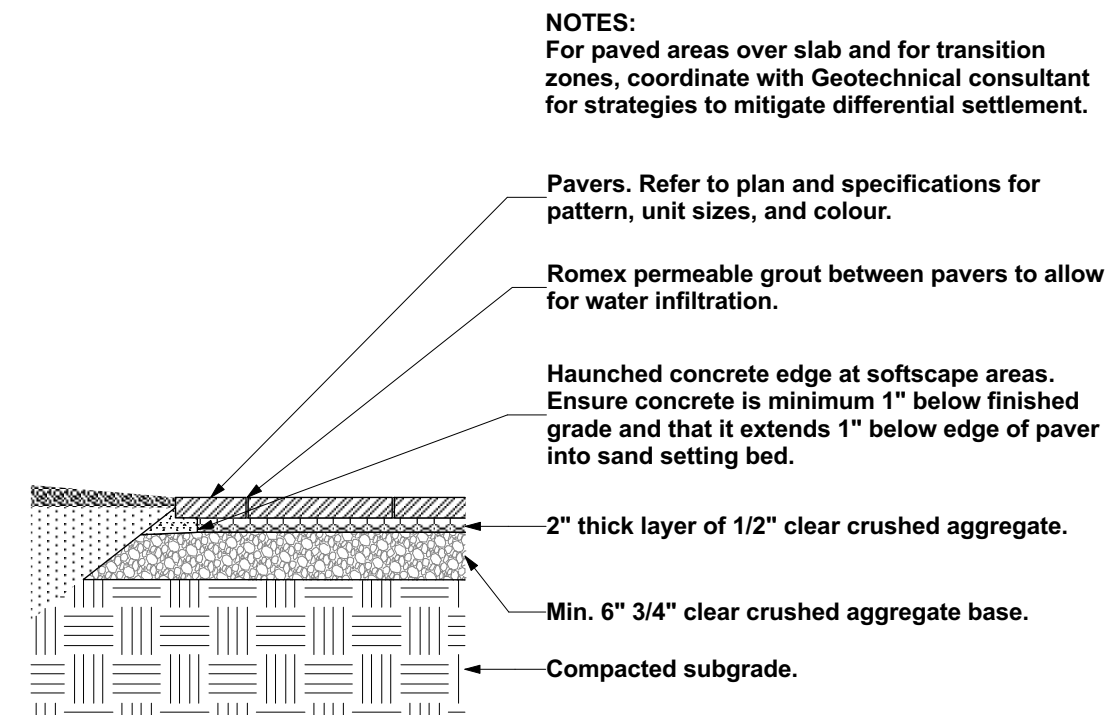
Remove any string or ties from rootball and base of tree. Cut back top 1/3rd of burlap from rootball. If wire basket remains, cut back wire loops

Soil blend as reviewed and approved by landscape architect. Provide 2'-0" depth of soil for an area of 10m2. Compact lightly during backfilling to stabilize rootball

Compact soil beneath rootball

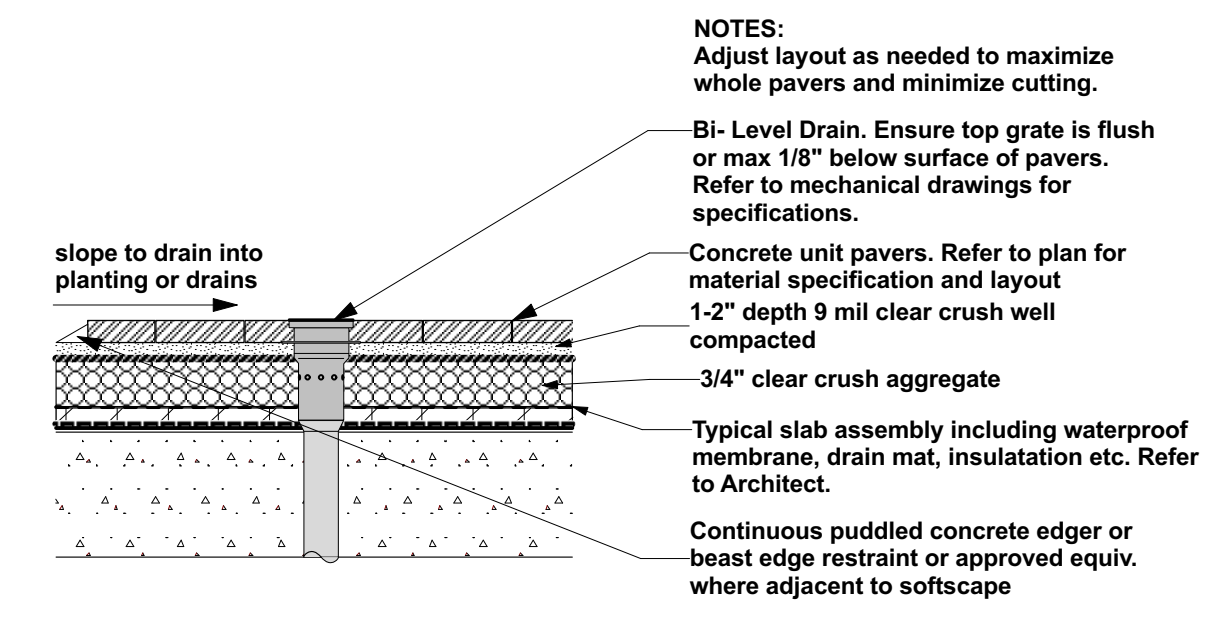
Subgrade scarified to depth of 6". Subgrades to be reviewed with landscape architect prior to soil placement

**5 Tree Planting on Grade**  
 Scale: 1/2" = 1'-0"



**NOTES:**  
 For paved areas over slab and for transition zones, coordinate with Geotechnical consultant for strategies to mitigate differential settlement.

**6 Permeable Concrete Unit Pavers on Grade**  
 Scale: 1/2" = 1'-0"



**NOTES:**  
 Adjust layout as needed to maximize whole pavers and minimize cutting.

Bi-Level Drain. Ensure top grate is flush or max 1/8" below surface of pavers. Refer to mechanical drawings for specifications.

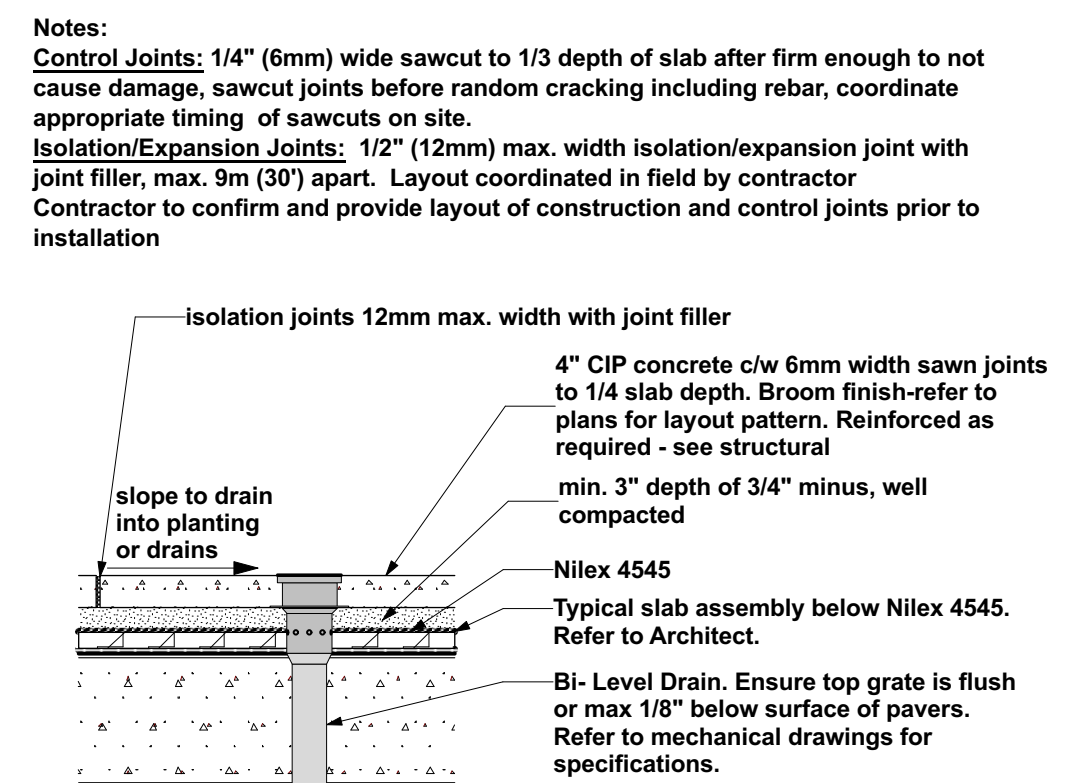
Concrete unit pavers. Refer to plan for material specification and layout 1-2" depth 9 mil clear crush well compacted

3/4" clear crush aggregate

Typical slab assembly including waterproof membrane, drain mat, insulation etc. Refer to Architect.

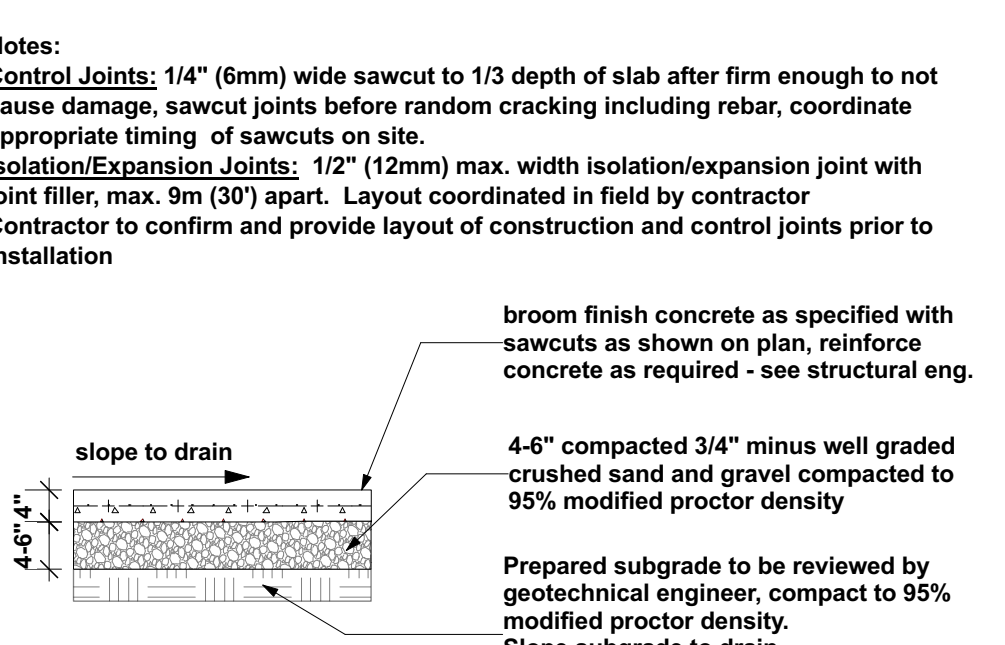
Continuous puddled concrete edger or beast edge restraint or approved equiv. where adjacent to softscape

**7 Concrete Unit Pavers on Slab**  
 Scale: 1/2" = 1'-0"



**Notes:**  
 Control Joints: 1/4" (6mm) wide sawcut to 1/3 depth of slab after firm enough to not cause damage, sawcut joints before random cracking including rebar, coordinate appropriate timing of sawcuts on site.  
 Isolation/Expansion Joints: 1/2" (12mm) max. width isolation/expansion joint with joint filler, max. 9m (30') apart. Layout coordinated in field by contractor  
 Contractor to confirm and provide layout of construction and control joints prior to installation

**8 CIP Concrete Walkway on Slab**  
 Scale: 1/2" = 1'-0"



**Notes:**  
 Control Joints: 1/4" (6mm) wide sawcut to 1/3 depth of slab after firm enough to not cause damage, sawcut joints before random cracking including rebar, coordinate appropriate timing of sawcuts on site.  
 Isolation/Expansion Joints: 1/2" (12mm) max. width isolation/expansion joint with joint filler, max. 9m (30') apart. Layout coordinated in field by contractor  
 Contractor to confirm and provide layout of construction and control joints prior to installation

**9 CIP Concrete Walkway on Grade**  
 Scale: 1/2" = 1'-0"

Date	Issue Notes
2024-05-13	Reissue for Rezoning
2024-03-13	Reissued for Rezoning
2024-02-24	Issued for Arch Coordination
2023-09-27	Issued for DP
2023-09-26	Issued for Review - Pre DP
2023-08-18	Issued for Arch Review/Coordination.
2023-08-09	Issued for Arch Review
2023-07-04	Issued for Arch Review

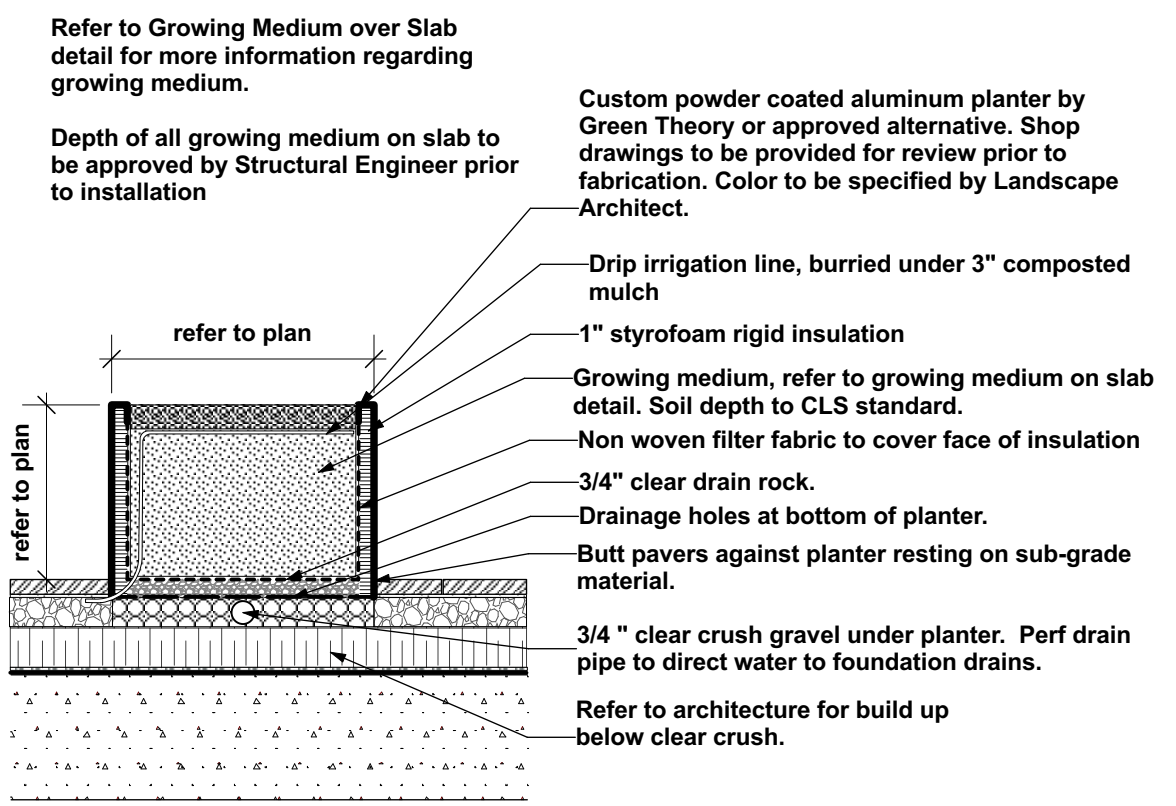
Date	Issue Notes

**Prospect & Refuge**  
 LANDSCAPE ARCHITECTS  
 #102-1661 W 2nd Ave Vancouver, BC V6J 1H3  
 604-669-1003 info@prospectrefuge.ca  
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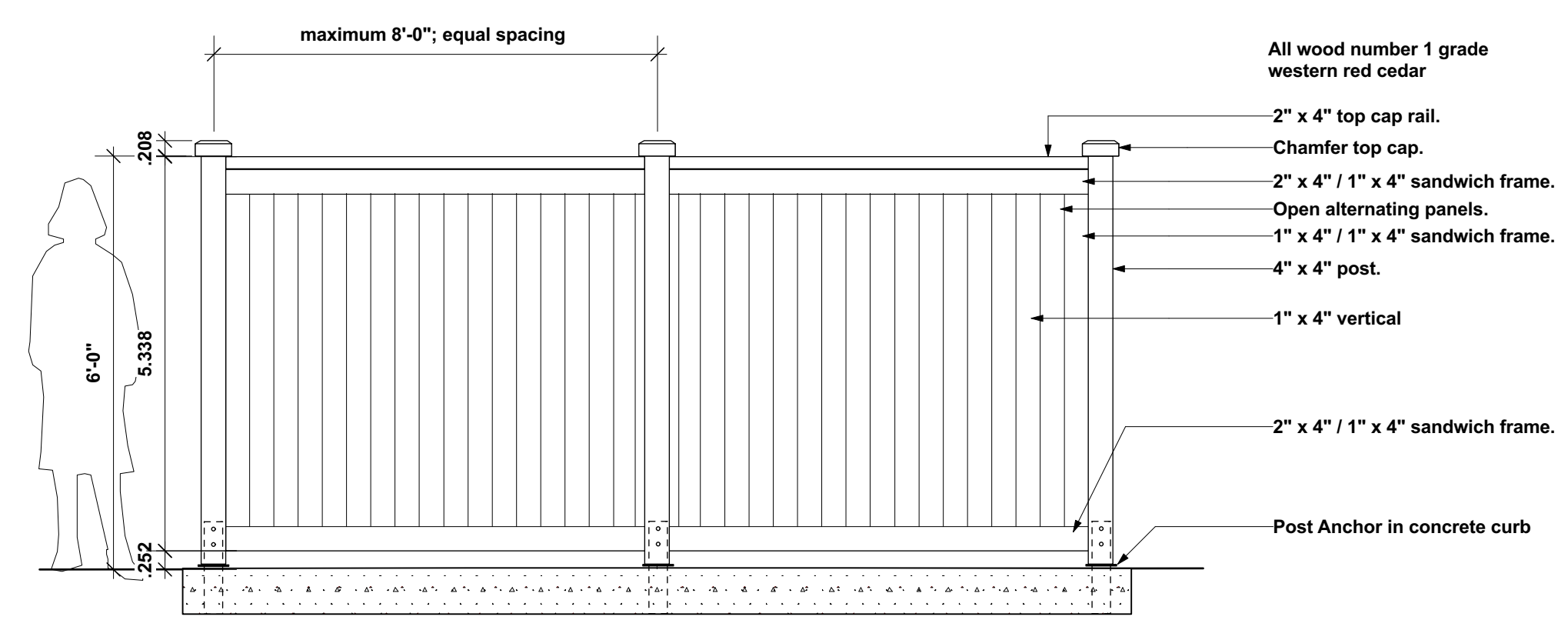
Project Title and Address  
**2416-2400 Western Ave North Van**  
 2416-2400 Western Ave North Van

Landscape Details	
Project No.	Scale
2022-31	As Noted
Project Manager	Sheet No.
NR	L6a
Reviewed By	
AS	

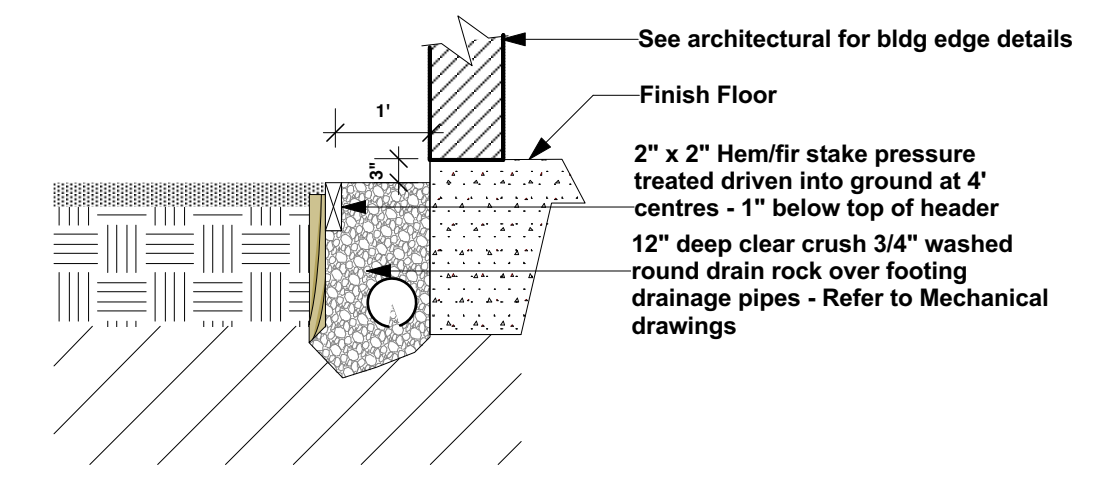




**1 Metal Planter**  
Scale: 1/2" = 1'-0"

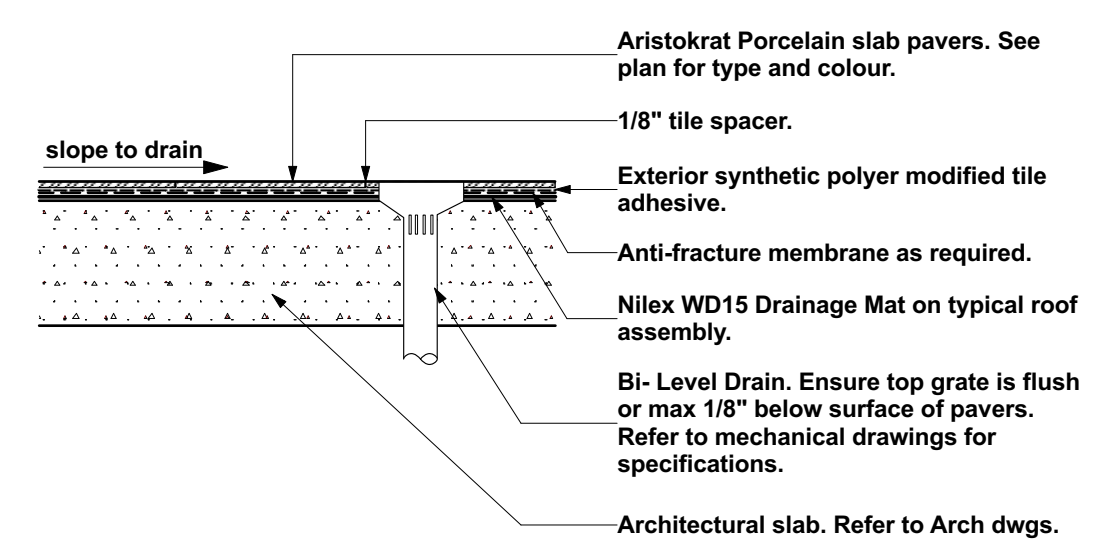


**2 6'-0" Ht Cedar Privacy Fence**  
Scale: 1/2" = 1'-0"



**3 Perimeter Gravel Strip**  
Scale: 1/2" = 1'-0"

- NOTES:
1. Confirm installation method with project Architect prior to ordering
  2. Adjust layout as needed to maximize whole pavers and minimize cutting.
  3. Spacers not needed if on pedestals, confirm with project team.
  4. Adjust crushed rock bed based on slab depth in project.



**4 Porcelain Pavers on Slab**  
Scale: 1/2" = 1'-0"

Date	Issue Notes
2024-05-13	Reissue for Rezoning
2024-03-13	Reissued for Rezoning
2024-02-24	Issued for Arch Coordination
2023-09-27	Issued for DP
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Seal	
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Project Title and Address  
**2416-2400 Western Ave North Van**  
2416-2400 Western Ave North Van

Sheet Title <b>Landscape Details</b>	
Project No. 2022-31	Scale As Noted
Project Manager NR	Sheet No. <b>L6b</b>
Reviewed By AS	





**ADVISORY DESIGN PANEL**  
 CITY OF NORTH VANCOUVER  
 141 WEST 14TH STREET  
 NORTH VANCOUVER  
 BC / CANADA / V7M 1H9

T 604 985 7761  
 F 604 985 9417  
 INFO@CNV.ORG  
 CNV.ORG

January 17, 2024

File: 01-0360-20-0001/2024

VIA EMAIL: [carman@architecturalcollective.com](mailto:carman@architecturalcollective.com)

Carman Kwan  
 Architectural Collective Inc.  
 677 East 27<sup>th</sup> Avenue,  
 Vancouver, BC V5V SK7

Dear Carman:

**Re: 2416 Western Avenue Rezoning Application**

At the meeting on Tuesday, July 16, 2024, the Advisory Design Panel reviewed the above application and unanimously endorsed the following resolution:

THAT the Advisory Design Panel has reviewed the Rezoning application for 2416 Western Avenue, North Vancouver and does not recommend approval of the submission pending resolution of the issues listed below. The Panel looks forward to reviewing the applicant's response at a future meeting.

1. Consider massing to address building height concerns, dominance on the streetscape and adjoining building to the south, building lot coverage, and to enhance landscaping opportunities throughout the site.
2. Review the livability of units adjacent to the central pathway, including access to the units, access to sunlight, and potential privacy issues.
3. Review the north elevation to improve visual interest, and consider potential public art opportunities.
4. Maximize landscaping opportunities throughout site.
5. Consider eliminating grass in the boulevard, and replace with shrubs to sidewalk.
6. Review potential to save additional existing trees within the boulevard.
7. CPTED concerns are to be considered, including security, wayfinding, lighting, legibility of the unit identification, and security of bike and storage rooms.
8. Rear lane to accommodate on-site garbage and recycling bin staging.
9. Courtyard to undergo design development to ensure functionality and usability.
10. Consider expansion of rooftop patios.
11. Ensure accessible parking is provided, if required for a development of this nature.

**Carried Unanimously**

The recommendations of the Advisory Design Panel pertain only to site-specific design and site planning considerations and do not, in any way, represent Council and staff approval or rejection of this project.

Yours truly,

Shreeya Tandon  
 Committee Clerk Secretary





**ADVISORY DESIGN PANEL**  
CITY OF NORTH VANCOUVER  
141 WEST 14TH STREET  
NORTH VANCOUVER  
BC / CANADA / V7M 1H9

T 604 985 7761  
F 604 985 9417  
INFO@CNV.ORG  
CNV.ORG

April 2, 2024

VIA EMAIL: [carman@architecturalcollective.com](mailto:carman@architecturalcollective.com)

Carman Kwan  
Architectural Collective Inc.  
677 East 27<sup>th</sup> Avenue,  
Vancouver, BC V5V SK7

Dear Carman:

**Re: 2416 Western Avenue Revised Drawing**

At the meeting on March 19, 2024, the Advisory Design Panel reviewed the above application and endorsed the following resolution:

THAT the Advisory Design Panel has reviewed the rezoning application for 2416 Western Avenue, and recommends approval of the project. The Panel commends the applicant for the quality of the proposal and their presentation.

The recommendations of the Advisory Design Panel pertain only to site-specific design and site planning considerations and do not, in any way, represent Council and staff approval or rejection of this project.

Regards,

Sarah Friesen  
Administrative Coordinator

Cc: A. Semczysyn, Prospect Refuge  
B. Purba, By Design Construction  
M. Menzel, Planner 3  
B. Heijden, Planner 1





ARCHITECTURAL  
COLLECTIVE INC.

677 East 27<sup>th</sup> Avenue  
Vancouver, BC V5V2K7  
604.266.4679

[www.architecturalcollective.com](http://www.architecturalcollective.com)

# DEVELOPER INFORMATION SESSION MEETING SUMMARY

2416 Western Avenue, North  
Vancouver

Prepared on behalf of 1345529 BC Ltd. for the  
City of North Vancouver

January 2, 2023





## OVERVIEW

On behalf of 1345529 BC Ltd., Architectural Collective Inc. facilitated a Virtual Developer Information Session to introduce a development application for rezoning 2416 Western Avenue to permit a new residential development for 18 residential units with underground parking.

The Developer Information Session is required by the City of North Vancouver to ensure that the local residents, adjacent businesses, and property owners have an opportunity to learn about a proposed development, and provide comments or ask questions to the applicant and the City prior to Council consideration.

Overall, response to the proposal was positive. The comments and questions raised at the meeting and on feedback forms are summarized in this report.

DEVELOPER PRELIMINARY MEETING QUICK FACTS	
<b>DATE</b>	December 6, 2023 (Wednesday)
<b>TIME</b>	6:00 – 8:00 p.m.
<b>LOCATION</b>	Virtual Zoom Meeting online
<b>ATTENDANCE</b>	1 person signed up for event from the public 1 Owner in attendance, City Planner and Facilitator/Applicant <b>Total of 4 people</b>
<b>FEEDBACK</b>	6 comments online City feedback 1 comment online Virtual DIS 1 comment by phone call to Applicant
<b>REPRESENTATION</b>	Carman Kwan – Architectural Collective Inc. Bram van der Heijden – City of North Vancouver Bobby Purba – 1345529 BC Ltd.
<b>ATTACHMENTS</b>	Feedback forms

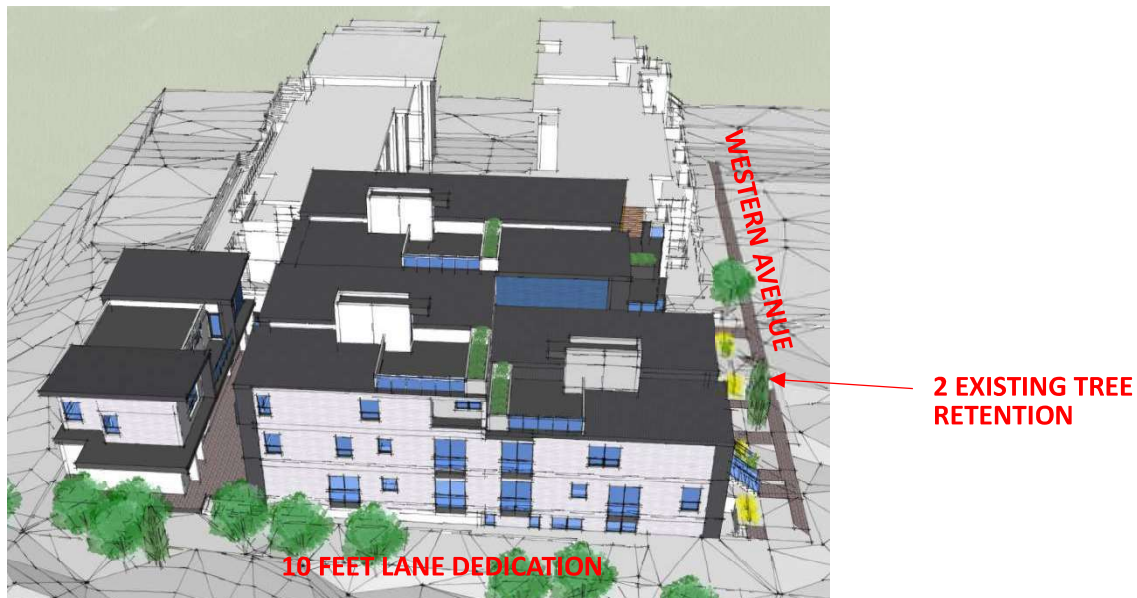


## PROJECT DESCRIPTION

The development application proposes to rezone 2416 Western Avenue to permit a new multi-family development compliant to the Official Community Plan R4a zoning to include 18 residential units at a floor space ratio of 1.0. The development includes a mix of residential unit sizes including 8 affordable units under 800 square feet, an underground parking level and a 10 feet lane dedication on the north side of the lot.

### Key features of the project include:

- 18 residential units with 8 affordable units under 800 square feet
- Underground parking level with 14 parking stalls proposed and a 9 parking stall variance
- Floor space ratio of 1.0 compliant to the OCP R4a zoning
- Lane dedication of 10 feet at the north side of the site
- Retention of two existing trees on the west property line





DEVELOPER INFORMATION SESSION MEETING SUMMARY  
2416 WESTERN AVENUE, NORTH VANCOUVER

NOTIFICATION

Notification for the Developer Information Session meeting included:

- Information postcards mailed to adjacent properties
- Newspaper advertisement published in the NorthShore News (web online and print) on week of November 22 and November 29, 2023.
- Posted on City of North Vancouver's Website <https://www.cnv.org/Business-Development/Building/Land-Use-Approvals/Active-Applications/2416-Western-Avenue> launched during notification period and currently active and included in advertising project webpage and contact information

NORTHSHORE NEWS ADVERTISING

The image shows two side-by-side newspaper advertisements from NorthShore News. Both advertisements are for a 'Development Information Session' regarding a rezoning application for a proposed market strata residential housing project at 2416 Western Avenue. The left advertisement is dated November 22, 2023, and the right advertisement is dated November 29, 2023. Both ads feature the logo for Architectural Collective Inc. and provide contact information for the company. The right advertisement includes a QR code and a section titled 'TO LEARN MORE & TO PROVIDE INPUT' with a QR code and a 'PROPOSED BUILDING' section with a floor plan. The bottom of the advertisements features a 'Hot Spot For Sale' advertisement and a 'RECYCLE THIS PAPER' notice.

NOVEMBER 22, 2023

NOVEMBER 29, 2023



## MEETING SUMMARY

The meeting was held virtually on Zoom Meeting and the meeting link was sent out to interested public who contacted us to attend the session. We received two requests from the public for attendance. Starting at 6:00 pm, the Virtual Developer Information Session was held and one member of the public signed in to the meeting. A presentation was provided by the facilitator/applicant and a question and comment period was held.

The public attendee was welcomed and invited to ask questions of the presentation material and the proposed development.

Comments from the public were positive and in support of the proposed development at the Developer Information Session meeting. Four comments were submitted during the Notification period on the City of North Vancouver's website and one comment by phone to the Applicant.

## DISCUSSION: QUESTIONS AND COMMENTS

- The proposed project was generally well received and supportive of development and density

## COMMENTS/ CLARIFICATION FROM THE APPLICANT & REPRESENTATIVES

- The applicant and City Planning staff provided clarifications that a 10 foot lane dedication was to be provided at the north of the site for continuity of existing east lane access to the north and on to Western Avenue.

## FEEDBACK FORM SUMMARY

Four feedback online city forms were submitted during the notification period and one phone call comment from the public. Generally, submissions were supportive of the proposed project and provided the following comments:

- The proposed project was generally well received and public supportive of development and density
- Affordability of the units proposed was welcomed and positive aspect of the development
- Support for multi-unit development and more choice and supply
- Support for new buildings to "improve outlook of Western Avenue" and revitalization of the street
- Proposed development "a great fit for the area based on the current and future developments"
- Suggestion for "different and unique design"
- Suggestion for "adding EV parking option"
- Suggestion for house or duplex density and development proposal too dense
- Suggestion for reduced density to 10-14 units
- Concerns regarding traffic and access of lane for garbage and recycling trucks
- Concerns regarding reduced parking proposed on site
- One comment concerns that no further development should take place on this street



## CONCLUSION

The Developer Information Session meeting for rezoning of 2416 Western Avenue to R4a zoning was advertised according to the City of North Vancouver's requirements and provided an open forum for community members to learn about the proposal, ask questions, and provide comments to the applicant and representatives. Those who asked questions or provided comments were supportive of the project and did not raise any significant concerns. Feedback summary forms submitted online were generally supportive of the development proposal with three out of six submissions commenting on concerns regarding parking, existing traffic flow and density proposed.



### Overview for Zoning Variances – 2416 Western Avenue

The following provides a summary and overview of the proposed zoning variances and car parking provisioning associated with the project at 2416 Western Avenue:

**Table 1. Summary of Proposed Zoning Changes**

	<b>BASE RG-3 ZONE</b>	<b>PROPOSED CD-766 ZONE</b>
<b>Density Maximum</b>	1.0 FSR	1.0 FSR based on the original lot size of 1,311.5 sq. m (14,117 sq. ft.)
<b>Lot Coverage Maximum</b>	60 percent	54% percent Based on the original lot size of 1,311.5 sq. m (14,117 sq. ft.)
<b>Height Maximum</b>	3 storeys and 13.0 m (42.65 ft.)	<p>Principal Buildings on the Western portion of the lot shall not exceed a Building Height of 3 storeys and 12 metres (39.3 feet), as measured from the average Building Grade at the North property based on the original lot measuring 120.0 metres (393.55 feet) geodetic;</p> <p>Principal Building on the Eastern portion of the lot shall not exceed a Building Height of 2 storeys and 9 metres (29.5 feet), as measured from the average Building Grade at the North property based on the original lot measuring 120.0 metres (393.55 feet) geodetic;</p> <p>The Heights of Buildings and Structures permitted elsewhere in the Bylaw may be exceeded for:</p> <ul style="list-style-type: none"> <li>i. Parapet walls, guard rails, Garden Structures, staircase and elevator structures by not more than 3.3 metres (10.8 feet.)</li> <li>ii. Fully screened mechanical equipment located at least 2 metres (9.8 feet.) from the roof edge by not more than 2.0 metres (6.6 ft.);</li> </ul>
<b>Siting</b>	<b>Front Lot Line Setback</b> 3 m (9.8 ft.)	3 m (9.8 ft.)
	<b>Exterior Side Lot Line Setback</b> 2.4 m (7.9 ft)	1.2 m (3.94 ft.)
	<b>Interior Side Lot Line Setback</b> 2.4 m (7.9 feet)	1.2 m (3.94 ft.)
	<b>Rear Lot Line Setback</b> 1.6 m (5.2 feet)	0.6 m (2 ft.)
<b>Floor area exclusion</b>	General provisions	<p>General provision plus:</p> <p>For the purposes of calculating Gross Floor Area, all residential floor area on the Cellar and any residential floor area located directly above the portion of the Cellar used for Parking, Secure Bicycle Parking, Garbage and Recycling, and common electrical, mechanical and LEC rooms, of an shall be excluded from the calculation;</p>



	<b>BASE RG-3 ZONE</b>	<b>PROPOSED CD-766 ZONE</b>
<b>Parking</b>	<ul style="list-style-type: none"> <li>• 1.05 spaces per Dwelling Unit</li> <li>• 10% visitor parking</li> <li>• 0.038 Disability Parking Spaces for each Dwelling Unit;</li> </ul>	<ul style="list-style-type: none"> <li>• A variance for 2 parking spaces is requested: <ul style="list-style-type: none"> <li>○ To reduce the required visitor parking from 2 stalls to 1</li> <li>○ To reduce the required Disability stalls from 1 to 0, due to inaccessibility of the units.</li> </ul> </li> </ul>

## **Justification for Variances**

### Lot Coverage

The application seeks a variation to the lot coverage requirements set for the RG-4 zone to reduce the lot coverage to 54% and base the lot coverage on the original lot prior to the taking of lane dedication. By doing so a suitable lot coverage will be provided regardless of the exact size road dedication.

### Height

The height is slightly reduced from the 13m maximum in the RG-3 zone for the two buildings on the western side of the property, and reduced even further for the building on the eastern portion of the lot, in order to integrate with developments on adjoining lots.

### Siting

The proposed setback variances are considered appropriate by staff considering the limited amount of space remaining after the taking of lane dedication and due to the retention of the two large trees in the front yard. Additionally the reduced setback still allows for suitable landscaping along the public realm, providing a desirable interface.

### Floor Area Exclusion

Based on feedback from staff, and the Advisory Design Panel, vehicle parking was provided in an underground parkade, a 3m lane dedication was taken along the northern property line, the buildings were setback from the street to accommodate the retention of a tree, and then further set back from the interior of the site to enlarge the courtyard. Based on these design changes, it was no longer possible to provide living space in a Cellar level, and so staff support a variance to the usual exclusions to allow a portion of living area in the level above the Cellar to be excluded from GFA, in order to achieve the anticipated density allowed on the site under the Official Community Plan. This approach helps to achieve City goals, with livable units that achieve the anticipated development potential of the lot while retaining high quality design, as per the Official Community Plan.



**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**

**BYLAW NO. 9060**

**A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 9060” (By Design Construction, 2416 Western Avenue, CD-766)**.
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 2416 Western Avenue and legally described below as henceforth being transferred, added to and forming part of CD-766 (Comprehensive Development 766 Zone):

PID: 031-694-012	LOT A BLOCK 215 DISTRICT LOT 545 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP119522
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from zone RS-1.

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
  - A. Adding the following Comprehensive Development Zone to Section 1101 in numerical order:

“CD-766 Comprehensive Development 766 Zone” (2416 Western Avenue)

In the CD-766 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RG-3 Zone, except that:

    - (1) Three (3) Principal Buildings shall be permitted on one Lot;
    - (2) Section 563(4) Required Accessory Lock-Off Unit Use shall be waived;
    - (3) Density:
      - (a) The Gross Floor Area shall not exceed 1.0 times the Lot Area based on the original lot size of 1,311.5 square meters (14,117 square feet);
      - (b) For the purposes of calculating Gross Floor Area, all residential floor area on the Cellar and any residential floor area located directly above the portion of the Cellar used for Parking, Secure Bicycle Parking, Garbage and Recycling, and common electrical, mechanical and LEC rooms, of an shall be excluded from the calculation;



- (4) Lot Coverage:
  - (a) The Lot Coverage shall not exceed 54% the Lot Area based on the original lot size of 1,311.5 square meters (14,117 square feet);
- (5) Building Height:
  - (a) Principal Buildings on the Western portion of the lot shall not exceed a Building Height of 3 storeys and 12 metres (39.3 feet), as measured from the average Building Grade at the North property based on the original lot measuring 120.0 metres (393.55 feet) geodetic;
  - (b) Principal Building on the Eastern portion of the lot shall not exceed a Building Height of 2 storeys and 9 metres (29.5 feet), as measured from the average Building Grade at the North property based on the original lot measuring 120.0 metres (393.55 feet) geodetic;
- (6) Height Exceptions:
  - (a) The Heights of Buildings and Structures permitted elsewhere in the Bylaw may be exceeded for:
    - i. parapet walls, guard rails, Garden Structures, staircase and elevator structures by not more than 3.3 metres (10.8 feet);
    - ii. Fully screened mechanical equipment located at least 2 metres (9.8 feet) from the roof edge by not more than 2.0 metres (6.6 feet);
- (7) The minimum required Principal Building setback, measured to each building face, shall be limited to:
  - (a) 3 metres (9.8 feet) from the Front Lot Line;
  - (b) 1.2 metres (3.94 feet) from an Interior Side Lot Line or Exterior Side Lot Line; and
  - (c) 0.6 metres (2 feet) from the Rear Lot Line;
- (8) Off-Street Parking, Short-Term and Secure Bicycle Parking, and Accessory Off-Street Loading Spaces shall be provided in conformity with the requirements of Division IV, Parts 9, 10, and 10A, except that:
  - (a) Minimum number of accessory off-street Parking Spaces required Residential Use is varied to 0.95 per unit;
  - (b) Visitor Parking shall be provided according to section 908 Visitor Parking except that 1 visitor parking space shall be provided;



(c) Section 908 (11) Required Disability Parking shall be waived.

READ a first time on the <> day of <>, 2024.

READ a second time on the <> day of <>,  
2024.

READ a third time on the <> day of <>, 2024.

ADOPTED on the <> day of <>, 2024.

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MAYOR

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CORPORATE OFFICER



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**From:** Yvonne Poon  
**Sent:** July-10-24 1:08 PM  
**To:** Submissions  
**Subject:** Input - Zoning Amendment Bylaw No. 9060

Subject Land: 2416 Western Avenue  
Plan EPP119522

We would like to voice out our concerns for 2416 Western Avenue:

**TRAFFIC** - Western has one exit on 23rd. The north end of Western does not have a turning hammerhead. The access in and out is already a safety issue with the residents. The additional traffic will make this problematic concern worse. There is No info on CNV link addressing this concern.

**PARKING CONCERN** - The proposed development provides 14 stalls to 18 units. We all agree to utilize public transportation but using public transportation doesn't stop people from owning a vehicle. Additional residents will also induce additional traffic from visitors to Amazon. The parking on Western is already a safety and problematic issue. No info on CNV link regarding this concern or addressing the concern

**CHILD ROAD SAFETY CONCERN** - There is no traffic signal along W 23rd St. / Western Avenue, this is a traffic safety issue for kids and pedestrian. This is already an existing traffic problematic concern when you turn East from Western Avenue to W 23rd St. This is also not addressed on CNV link

**ALLEYWAY/LANEWAY IMPACT CONCERN** - This is also an existing problematic issue, end of alleyway does not have a turning hammerhead. Disposal, recycling & loading trucks blocks this alleyway when entering and backing up to exit. More vehicles will affect traffic for all residents on Western Avenue and Lonsdale Avenue when entering and exiting alleyway . No info from CNV addressing this concern.

We would like to get some formal feedbacks on these issues.

Yvonne Poon  
Western Avenue  
North Vancouver, BC



**From:** Carol Espino  
**Sent:** July-10-24 7:25 PM  
**To:** Submissions  
**Subject:** 2416 Western Avenue

Hello,

I would like to input into the proposed zoning for 2416 western avenue. I don't believe this street can support and hold 18 more units. Our street is a no exit street, and already very busy. We have mainly families here with young children and mainly pets in the area. Parking is a big issue do you the amount of residents, evo, centennial theatre and soon the new Harry Jerome. Having multiple units built on this street would only make this problem worse as construction would make all current residents have no access to our front doors and parking. Please don't let this development be approved as it would really inconvenience many families. Construction would be very difficult for that lot and would also block the alley way which apartments on lonsdale north of 23rd also use.

Best,

Carol Espino  
Western Avenue  
North Vancouver, BC