

Notice of Proposed Zoning Amendment Bylaw - No Public Hearing

Zoning Amendment Bylaw, 2024, No. 9093

206 East 12th Street

Purpose: The purpose of the proposed Bylaw is to do a text amendment to the previously approved Comprehensive Development CD-733 zone in the Zoning Bylaw to provide additional height exceptions in the bylaw to allow for rooftop and elevator lobby, parapet, stairways, mechanical equipment, rooftop shared amenity spaces, pergolas and trellises within the existing height exceptions.

Subject Lands: The lands that are the subject of the proposed Bylaw are shown on the inset map, with a civic address of 206 East 12th Street.



Legal Description: Lot 14, Block 75, DL 549, Plan 9315, PID: 009-701-109

Bylaw Readings: Consideration of first, second and third readings of the proposed Bylaw will be at the **Regular Council Meeting on Monday, November 25, 2024.**




Access Documents: A copy of the proposed Bylaw is available for inspection online anytime at cnv.org/PublicNotices from Wednesday, November 13 to Monday, November 25, 2024.

Provide Input: Written submissions only, including your name and address, may be addressed to the Corporate Officer and sent by email to input@cnv.org, or by mail or delivered to City Hall, **no later than noon on Monday, November 25, 2024**, to ensure availability to Council at the meeting. No Public Hearing will be held, as it is prohibited by section 464(3) of the *Local Government Act*. **No Public Input Period submissions on this matter will be heard at the Council meeting.**

Watch the Meeting: Online at cnv.org/LiveStreaming or in person at City Hall, 141 West 14th Street. Enter City Hall from 13th Street after 5:30pm.

Questions? Sara Rasooli, Planner 1, planning@cnv.org / 604-982-9675



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Sara Rasooli, Planner 1

Subject: 206 EAST 12th STREET – ZONING TEXT AMENDMENT TO CD-733

Date: November 6, 2024 File No: 09-3800-20-0003/2021

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated November 6, 2024, entitled “206 East 12th Street – Zoning Text Amendment to CD-733”:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 9093" (RFK (St. George) Limited Partnership, 206 East 12th Street, CD-733 Text Amendment) be considered for readings with no Public Hearing held, in accordance with the *Local Government Act, Section 464(3) [public hearing prohibited]*.

ATTACHMENTS

1. Context Map (CityDocs [2585143](#))
2. Council Resolution and Report dated July 7, 2021 (CityDocs [2101233](#))
3. Architectural Drawings, dated October 8, 2024 (CityDocs [2582376](#))
4. Landscaping Drawings, dated June 4, 2024 (CityDocs [2531662](#))
5. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8835” (CityDocs [2051970](#))
6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 9093” (CityDocs [2585982](#))

SUMMARY

The property at 1220 St. Georges was rezoned to CD-733 on September 27, 2021 (Attachment #2). However, the address has been changed to 206 East 12th Street. This report is to make a text amendment to the previously approved Comprehensive Development CD-733 zone (Attachment #3) in the Zoning Bylaw to provide additional height exceptions in the bylaw to allow for rooftop shared amenity spaces, pergolas,

Trellises, parapet, and mechanical equipment within the existing height exceptions. These height exceptions are similar to other height exceptions in similar CD zones for similar residential type developments in the area.

BACKGROUND

Applicant:	RFK (St. George) Limited Partnership
Architect:	Jess Dhillon
Official Community Plan Designation:	Residential Level 5
Existing Zoning:	CD-733
Applicable Guidelines:	None

DISCUSSION

Site Context and Surrounding Use

The site is located at 206 East 12th Street, (previously known as 1220 St. Georges Avenue) between St. Georges Avenue to the west and East 12th Street to the south. It is within close proximity to Lonsdale Avenue to the east, City Fire hall to the north east, and Lions Gate Hospital to the north.

The properties to the north, south and east are three-storey residential. The buildings immediately surrounding the subject site are described in Table 1 below:

Table 1. Surrounding uses

Direction	Address	Description	Zoning
North	1240 St. Georges Ave	RM-1	3 Storey Apartment
South	1144 St. Georges Ave	RM-1	3 Storey Apartment
East	1215 St. Georges Ave	RM-1	3 Storey Apartment
West	216 E 12th St	RM-1	3 Storey Apartment

Policy Context

The subject site is designated Residential Level 5 in the Official Community Plan (OCP), which allows for a Mid Rise Apartment Building with the maximum 1.6 FSR. A maximum increase of 1.0 FSR may be considered when public benefits are provided.

Project Description

During the building permit zoning review, it was noted that certain roof structures were not addressed in the zoning documentation, despite being depicted in the approved drawings.

Currently, the CD-733 zoning regulations permit height exceptions primarily for specific roof structures, such as rooftop elevator lobbies and stairways, up to a maximum height of 21.25 meters from the average grade along the east property line. However, garden

structures -such as trellises, pergolas, planters, parapet, and mechanical equipment - are not explicitly included in these exceptions. Given that these structures were part of the approved plans during the rezoning application, and considering the growing popularity of urban gardening and sustainable landscaping practices, it is increasingly important to ensure that these structures are effectively regulated to enhance both functionality and aesthetic appeal.

PLANNING ANALYSIS

The primary objectives of this text amendment are:

- *Alignment with Architectural and Landscape Drawings:* Ensuring consistency with the architectural and landscape drawings approved by Council on September 27, 2021.
- *Consistency with Recent Development Zones:* Maintaining alignment with other recent comprehensive development zones concerning height exclusions for various elements.
- *Clear Guidelines for Height Allowances:* Establishing clear guidelines for property owners and developers regarding height allowances for rooftop structures and mechanical equipment to minimize confusion and ensure compliance.
- *Promoting Green Spaces:* Allowing garden structures to exceed standard height limitations encourages the development of green spaces, contributing to environmental sustainability and the well-being of the community.
- *Enhancing Neighbourhood Aesthetics and Improving Wellbeing:* Well-designed garden structures can improve the visual appeal of neighbourhoods, foster a sense of community, wellbeing and pride among residents.

CONCLUSION

This proposal is in alignment with goals and objectives of the Official Community Plan, and Zoning Bylaw, which are to encourage design excellence in developments through carefully considered, high quality architecture and landscaping, with varied designs which are interesting, sensitive and reflective of their surroundings.

The proposal represents good planning and design with the goal of creating attractive and quality rooftop amenities for residents.

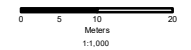
RESPECTFULLY SUBMITTED:



Sara Rasooli
Planner 1

City of North Vancouver
206 E. 12th St.

Legend



DISCLAIMER
 This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
 City of North Vancouver
PLOTTED: 10/18/2024
 SOURCE: Jurimap
 COORDINATE SYSTEM: NAD 83 UTM Zone 18



**MINUTES OF THE REGULAR MEETING OF COUNCIL, HELD ELECTRONICALLY
FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC,
ON MONDAY, SEPTEMBER 27, 2021**

PUBLIC HEARING – 1220 St. Georges Avenue

Moved by Councillor Back, seconded by Councillor Valente

THAT the meeting recess to the Public Hearing regarding “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8835” (St. Georges Projects Ltd., Inc. No. BC1066028 / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733) and “Housing Agreement Bylaw, 2021, No. 8864” (St. Georges Projects Ltd. / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733, Rental Housing Commitments)”.

CARRIED UNANIMOUSLY

The meeting recessed to the Public Hearing at 6:18 pm and reconvened at 8:09 pm.

BYLAWS – THIRD READING

5. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8835” (St. Georges Projects Ltd., Inc. No. BC1066028 / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733)

Moved by Councillor Valente, seconded by Councillor McIlroy

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8835” (St. Georges Projects Ltd., Inc. No. BC1066028 / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733) be given third reading.

CARRIED UNANIMOUSLY

6. “Housing Agreement Bylaw, 2021, No. 8864” (St. Georges Projects Ltd. / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733, Rental Housing Commitments)

Moved by Councillor Valente, seconded by Councillor McIlroy

THAT “Housing Agreement Bylaw, 2021, No. 8864” (St. Georges Projects Ltd. / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733, Rental Housing Commitments) be given third reading.

CARRIED UNANIMOUSLY



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 1220 ST GEORGES AVENUE (ST. GEORGES PROJECTS LTD., INC.NO. BC1066028 / INTEGRA ARCHITECTURE INC.)

Date: July 7, 2021 File No: 08-3400-20-0013/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Development Planner, dated July 7, 2021, entitled "Rezoning Application: 1220 St Georges Avenue (St. Georges Projects Ltd., Inc. / Integra Architecture Inc.)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8835" (St. Georges Projects Ltd. / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733) and "Housing Agreement Bylaw, 2021, No. 8864 (St. Georges Projects Ltd. / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733, Rental Housing Commitments) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

THAT the community benefits listed in the report section "Density Bonus and Community Benefits" be secured through agreements at the applicant's expense and to the satisfaction of staff;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to the motion.

ATTACHMENTS

1. Context Map (Doc# [2064193](#))
2. Project Summary Sheet (Doc# [2067208](#))
3. Architectural Plans, dated June 3, 2021 (Doc# [2061442](#))
4. Landscape Plans, dated June 2, 2021 (Doc# [2061444](#))
5. Public Consultation Summary (Doc# [2075962](#))
6. Residential Tenancy Relocation Plan (Doc# [1982961](#))
7. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8835"
(Doc# [2051970](#))
8. "Housing Agreement Bylaw No. 8864" (Doc# [2071216](#))

SUMMARY

The purpose of this report is to present, for Council's consideration, a rezoning application for 1220 St Georges Avenue to amend the Zoning Bylaw to permit a six-storey market rental apartment building with 58 units over one level of underground parking.

The proposal would replace the existing 23-unit rental apartment building that was built in the late 1950s.

BACKGROUND

Table 1 – Project Information

Applicant:	Adera Development
Architect:	Integra Architecture Inc.
Official Community Plan Designation:	Residential Level 5 (R5)
Existing Zoning:	Medium Density Apartment Residential 1 (RM-1)
Applicable Guidelines:	None

Site Context and Surrounding Use

The subject property is centrally located in the Central Lonsdale area, at the northeast corner of St. Georges Avenue and East 12th Street (Attachment #1). The site is one block south of the Lions Gate Hospital and east of the Fire Hall. The neighbouring buildings consist mainly of two to three-storey residential apartment buildings. The subject site is within a transition area from the higher density buildings along the Lonsdale Avenue corridor to the lower density buildings toward the east.

The buildings and uses immediately surrounding the subject site are described in Table 2 below.

Table 2. Surrounding Uses

Direction	Address	Description	Zoning
North	1240 E 13 th Street	3 storey apartment building	RM-1
South	1144 St. Georges Avenue	3 storey apartment building	RM-1
East	216 East 12 th Street	3 storey apartment building	RM-1
West	1215 St. Georges Avenue	3 storey apartment building	RM-1

The subject site is one block away from both Lonsdale Avenue and East 13th Street. This is an area that contains many services and employment opportunities, in addition to the frequent transit network along Lonsdale Avenue.

PROJECT DESCRIPTION

The application proposes a 58-unit, six-storey rental apartment building, including a common outdoor rooftop amenity space, all over one level of underground parking for 32 vehicles and 87 secured bicycle stalls (Attachment #3). There is an indoor amenity/bike repair room on the first floor. Of the proposed 58 units, six are proposed as Mid-Market Rental (MMR) units that would be secured through a Housing Agreement for the life of the building. The proposed breakdown of units by type is shown in Table 3 below.

Table 3. Proposed Unit Breakdown

Unit Type	Number of Units	Average Size
Studio	17	43.44 sq. m (467.6 sq. ft.)
1-Bedroom	23	50.77 sq. m (546.5 sq. ft.)
2-Bedroom	12	68.15 sq. m (733.6 sq. ft.)
3-Bedroom	6	86.13 sq. m (927.1 sq. ft.)

All units meet the City's minimum size requirement.

The proposed main access to the building is on East 12th Street. Through the main doors and lobby is an indoor amenity lounge for the residents that features 14 secured bike racks, a bike workstation and lounge seating. This room connects a landscaped outdoor area that provides seating as well as a bike and dog washing station. Secondary access is provided from St. Georges Avenue and an access door along the eastern property line.

The ground floor units facing both streets have direct street access from their decks to activate the street frontage.

A rooftop deck is proposed with a variety of uses including a children’s play area, lounge space, outdoor dining and BBQ area and community garden with storage room for tools. Access to the roof deck is via both stairways and an elevator.

Vehicle access to the underground parking is from the rear lane at the western half of the property. The proposed parking area is large enough to accommodate 26 resident stalls, six visitor stalls as well as secured bike parking rooms and rooms for mechanical, electrical and a dedicated room for LEC connection and distribution.

The applicant is proposing 17 units to meet Level 2 of the City’s Adaptable Design Guidelines, exceeding the minimum requirement. The remaining will be achieving Level 1.

The building is contemporary and features a variety of façade materials to help break up the massing. The use of brick at the lower levels helps create a heavy base with the middle floors presenting a lighter Hardie-panel material. Through a strong roof line design, the top floor gives the appearance of stepping back from the floors below, thereby reducing the visual massing.

The proposed landscaping helps soften the building base at the lower levels using various plantings to provide a natural looking buffer between the public and private realm (Attachment #4).

PLANNING ANALYSIS

2014 Official Community Plan

The subject site is designated Residential Level 5 (R5) in the Official Community Plan (OCP). This designation is to provide quality multi-family housing with a mix of unit sizes and a focus on creating attractive and active streets. It supports a maximum density of 2.60 FSR (including 1.0 bonus FSR for purpose built rental housing) in accordance with OCP Schedule A - Land Use map.

The applicant is proposing a density of 2.59 FSR or 3,599.7 sq. m. (38,747 sq. ft.), which is within OCP maximum density.

The project is in keeping with the goals and objectives of the following City policies:

Official Community Plan	
Policy 1.1.1 <i>Plan for growth in the City's population, dwelling units and employment in keeping with the projections in Metro Vancouver's Regional Growth Strategy.</i>	Intensification of the site supports the use of existing amenities, including transit and services along Lonsdale Avenue and East 13 th Street.
Policy 1.1.7 <i>Allow for accessory uses, such as home-based businesses and childcare, in residential areas.</i>	The proposal would be zoned to allow desk and computer style home-based businesses in this residential area.

<p>Policy 1.2.1 <i>Ensure the location, density, design and durability of developments and their infrastructure are informed by the best available science on climate impacts.</i></p>	<p>The proposed development is utilizing an existing site and infrastructure to densify while proposing to achieve an energy level of Step 3 in the BC Building Code.</p>
<p>Policy 1.3.1 <i>Ensure that new development is compatible with the established urban form of the City, reflecting primacy of the Lonsdale Regional City Centre and the transition through mid and low-rise buildings to lower-density residential neighbourhoods.</i></p>	<p>The proposal includes high-quality materials and design in a location that is one block east of Lonsdale Avenue. The scale of the proposed building provides a good transition from the higher density buildings found along the Lonsdale corridor towards lower density neighbourhoods further east.</p>
<p>Policy 1.3.6 <i>Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner.</i></p>	<p>Design and materials are consistent with those found in the local context. Landscaping utilizes native plant species.</p>
<p>Policy 1.3.10 <i>Encourage active, healthy lifestyles and the opportunity for more social connections through planning and active design principles that encourage physical activity and contribute to enhanced walkability and active streets, sidewalks and public spaces.</i></p>	<p>A common bike repair area and lounge is proposed on the ground floor with a secured bike storage room in the basement. The subject site has easy access to local bike routes in the Central Lonsdale area that will help make cycling a more appealing mode of transportation for residents. The pedestrian environment will see improvements to encourage walking.</p>
<p>Policy 1.4.1 <i>Consider the needs of households with children in the design of multi-family developments.</i></p>	<p>The proposal would provide six 3-bedroom units and a rooftop outdoor amenity space on the roof allowing for multiple uses and activities, including a children's play area.</p>
<p>Policy 1.4.3 <i>Consider recreational, cultural and other community spaces as aspects of informal community living rooms, and essential 'social infrastructure', particularly in high-density neighbourhoods like Central/Lower Lonsdale.</i></p>	<p>The proposed outdoor rooftop amenity space provides opportunities for social interaction.</p>
<p>Policy 1.5.1 <i>Provide opportunities for a range of housing densities, diversified in type, size and location.</i></p>	<p>The project will provide 58 new rental units with a range of unit types and average sizes, from 467 to 927 sq. ft. Six of these units will be 3-bedroom.</p>
<p>Policy 1.5.4 <i>Prioritize the development and revitalization of affordable rental housing and use density bonusing and density transfers to incentivize the retention, renewal and/or replacement of rental units as a public benefit.</i></p>	<p>The proposed 58 rental units, including six mid-market units, will be secured by a Housing Agreement for the life of the building which provides a public benefit.</p>
<p>Policy 1.5.6 <i>Ensure a sufficient number of new apartment buildings provide accessible units and that these accessible units are represented across various unit sizes.</i></p>	<p>The proposal meets the minimum number of Adaptable Level 2 units, in accordance with the Zoning Bylaw, and the distribution of which will reflect the overall unit mix and the remaining units will be Adaptable Level 1.</p>

<p>Policy 2.1.1 <i>Invest in cycling and pedestrian networks and facilities to make these more attractive, safer, and convenient transportation choices for all ages and abilities with and aim to increase these ways of travelling over single-occupant vehicle use.</i></p>	<p>The proposal includes a bike repair room on the main level and the subject site is close to many of the local bike networks such as along East 13th Street and St. Andrews Avenue.</p>
<p>Policy 2.2.2 <i>Strategically manage off-street transportation facilities to prioritize more sustainable forms of transportation through a variety of measures (e.g. providing bicycle end-of-trip facilities and pedestrian-level lighting, reducing parking requirements in developments in close proximity to transit, on-street pay parking, electric vehicle charging stations, and parking spaces for car-share, carpool and low-emission vehicles.</i></p>	<p>The subject site is located close to many of the City's main public transit routes, including Lonsdale Avenue routes and a few blocks from 15th Avenue.</p>
<p>Policy 2.2.3 <i>Encourage higher and medium density residential area uses near jobs and services.</i></p>	<p>The subject site is located one block east of Lonsdale Avenue, near many services and employment opportunities.</p>
<p>Strategic Plan</p>	
<p>City for People</p>	<p>The proposal supports the Strategic Plan vision and priority to be a City for People by using an existing site to increase the number of rental units in the Central Lonsdale area, providing employment opportunities and services within close walking distance.</p>
<p>Housing Action Plan</p>	
<p>Action #3: <i>Mid-Market Rental Units</i></p>	<p>The project will provide six mid-market units, to be secured by a Housing Agreement for the life of the building.</p>
<p>Action #4: <i>Family-Friendly Housing</i></p>	<p>The project includes six three-bedroom units to support families to be secured through a Development Covenant.</p>
<p>Sustainable Development Guidelines</p>	
<p>Natural Systems <i>The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.</i></p>	<p>The proposal includes green space not only on the street front, but also along St. Georges Avenue. The planting plan includes a number of native species.</p>
<p>Physical Structures/Infrastructure <i>The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being</i></p>	<p>The project will use high-performance and environmentally friendly building materials and will achieve Step 3 of the Step Code.</p>

<p><i>of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications, and energy efficiency and conversion including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.</i></p>	<p>Energy Star and water-efficient appliances will be installed in the dwelling units The proposal will be connecting to the LEC network.</p> <p>An on-site stormwater management system will be provided.</p>
<p>Local Economy <i>The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.</i></p>	<p>The proposal will provide a variety of jobs during the construction period and is close to employment opportunities along East 13th Street and Lonsdale Avenue.</p>
<p>Human Potential <i>The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.</i></p>	<p>The development provides Market Rental and Mid-Market Rental housing at a range of unit types and sizes.</p> <p>The subject site is close to several public transit routes and the services along East 13th Street and Lonsdale Avenue.</p>
<p>Social Connections <i>The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and matters specific to children, youth, seniors and people with disabilities.</i></p>	<p>The project includes an outdoor rooftop amenity area that are well-programed with multiple opportunities for activities.</p>
<p>Cultural Diversity <i>The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.</i></p>	<p>The proposed design includes various informal gathering spaces for residents both within the building and in the public realm.</p>
<p>Active Design Guidelines</p>	
<p>Indoor Amenity</p>	<p>A bike repair room and lounge on the main floor provides secured bike storage, a workstation and has the opportunity for social interaction.</p>

Outdoor Recreation and Gardens	The outdoor amenity area is designed to allow various activities, with outdoor seating and landscaping.
Enhanced Bicycle Facilities	The bike repair room is located close to the main lobby and has a direct access to the rear lane. It has secured racks for residents in addition to the secured areas located in the parkade.

Residential Tenant Displacement Policy

The applicant has obtained a private company to manage the relocation of existing tenants. A tenant meeting was held on November 24, 2020 to review the relocation plan and assistance has been made available for those who wish for help in finding a new residence.

The applicant has offered all tenants financial assistance as well as relocation services (Attachment #6) in accordance with the requirements of the Policy. In terms of financial assistance, in addition to all tenants being offered \$750 relocation expenses, compensation was also offered based on length of tenancy:

- three months' rent to tenants whose tenancy is up to 10 years;
- four months' rent to tenants whose tenancy is between 10 and 20 years; and
- five months' rent to tenants whose tenancy is 20 years and more.

These provisions exceed the expectations of the City's Residential Tenancy Displacement Policy.

As of the time of this report, the applicant informed staff that, of the existing 23 units, nine remain occupied. Of those who have already moved out, all but one have found accommodations in North Vancouver. The one other has left the country. Of the nine remaining, one has been a resident for more than 24 years, two have resided for more than eight years, two have resided for more than six years, two have resided for more than three years, one for more than one year and one for less than one year. The applicant's relocation coordinator is working with the remaining tenants on relocations. One remaining tenant has expressed interest in renting a Mid-Market (MMR) unit in the new building. An update on the status of tenant relocation can be provided should Council refer this to a Public Hearing.

Under the provincial *Residential Tenancy Act*, the earliest the applicant may issue notice to end tenancy is when all permits have been issued for the development. The notice shall be minimum of four months' notice.

Zoning Bylaw 1995, No. 6700

The subject site is zoned "Medium Density Apartment Residential 1 (RM-1)" that would allow a three-storey building on the property at a maximum density of 1.60 FSR. An amendment to the Zoning Bylaw is required to permit the proposal and is reflected in Zoning Amendment Bylaw 8835 (Attachment #7).

Using the RM-1 Zone as a base, the proposal requires the following special provisions be incorporated into the new Comprehensive Development Zone:

- Increase the allowable density from 1.60 to 2.60 FSR by entering into a Housing Agreement with the City to secure rental housing in perpetuity as well as the provision of six MMR units, also in perpetuity;
- Allow a maximum Building Height of six storeys and 17.94 metres (58.9 feet) to the top of the main roof line;
- Vary the required minimum number of resident and visitor parking stalls from 35 to 32;
- Vary the minimum room size for the common recycling and garbage room; and
- Allow the proposed building setback from the property lines.

A summary comparing the Zoning requirements to the proposal is shown in Attachment #2.

While the proposed density is in keeping with the OCP, the rationale for considering other key relaxations from zoning are discussed below.

Height

A variance is required to the current Zone which limits the building Height to three storeys and 13 meters (42.6 feet). The proposed height of six storeys and 17.94 meters (58.9 feet) is to the top of the main roof line and is consistent with recent development approvals. A further variance to permit an elevator lobby and stairways to the rooftop deck would extend the height to no more than 21.25 meters (69.75 feet). This additional height is located away from the building edge.

Transportation and Active Mode of Travel Analysis

The site is in close proximity to public transit and bike lanes - there are two stops nearby at the corner of Lonsdale Avenue and 13th Street that serve five routes; two of these serve the Lonsdale Quay bus loop with easy access to the SeaBus and downtown Vancouver. The area is also well served for people to bike and walk to many nearby services and employment areas of the City, including Lions Gate Hospital.

Bicycle use is a focal point with this application with a featured bike repair workroom/lounge on the main floor, secured bike storage in the basement, as well as additional workshop area and wash station off the lane. For this rental building, the applicant is also offering each unit one two-zone TransLink pass for three months to encourage transit use.

The underground parking is proposed to accommodate 32 vehicle parking spaces, including six visitor stalls and two stalls for those with disabilities. This is the maximum number of vehicle parking stalls the parkade can accommodate, given the site size, need for landscape and rainwater management, space need for critical infrastructure to service the building such as mechanical, electrical, dedicated LEC room, elevator as well as secured bicycle storage rooms.

Given the transit oriented location of the site, high-quality active transportation amenity provided on site, as well as consideration for onsite storm water management, staff support the minor vehicle parking variance from 35 stalls (minimum required under Bylaw) to 32.

Recycling and Garbage Room Size

A variance to the minimum room size for the recycling and garbage room is supported as the applicant is proposing a private, twice-a-week pickup to allow fewer bins in the room. This arrangement will be secured through the Development Covenant.

Building Setbacks

The proposed setbacks from the property lines are in keeping with recent setbacks from recent development approvals. The proposed 3.05 metre (10 feet) setback from the front yard, as opposed to 6.1 metres (20 feet), enhances the street presence along East 12th Street.

Density Bonus and Community Benefits

The City's *Density Bonus and Community Benefits Policy*, in conjunction with the Official Community Plan, allows for density bonuses beyond 1.60 FSR in the Residential Level 5 land use designation, up to a maximum of 2.60 FSR.

The policy provides a number of community benefit options for projects seeking additional density and seeks to ensure the City receives value for additional density granted. The value could be in the form of a cash contribution or some form of amenity, such as an all-rental apartment building to be secured in perpetuity plus a form of housing affordability in accordance with the City's Housing Action Plan. In this case, to achieve the desired 1.0 FSR bonus density, the applicant has agreed to secure through the registration of a Housing Agreement, that all proposed 58 units will be secured as rental units in perpetuity, as well as to provide six of these units at Mid-Market rates (rates below market levels) in perpetuity.

As the Density Bonus and Community Benefits Policy recognizes rental and affordable rental dwelling units as an acceptable public amenity, any cash contribution for the density bonus that is generally required for a non-rental project is waived.

For example, if the applicant was proposing these units for sale as a strata development project, the Density Bonus and Community Benefits Policy would value this density bonus at approximately \$2.84 million dollars, as outlined in Table 4 below.

Table 4. Estimated Value of Community Benefits through Density Bonusing

Density Value Calculation	Value
Density Bonus to 1.60 FSR / OCP Density (@ \$25 / sq. ft.)	N/A
Density Bonus of 1.0 FSR Max Bonus to 2.6 FSR (@ \$190 / sq. ft.)	\$2,837,080
Total Value of Community Benefits	\$2,837,080

Instead of this amount and consistent with the Density Bonusing and Community Benefits Policy, the City's total rental housing stock would be receiving 58 rental apartment units, with six of these being MMR units. These will be secured in the Housing Agreement. This building will be privately owned and the tenant selection for the six mid-market units will be at the discretion of the building owner.

In addition to the Market and MMR units proposed, the following items are to be secured through the Servicing Agreement:

- Curb bulges and lane crossing at the intersection of the lane and St. Georges;
- Residential speed bumps in the lane adjacent to the site;
- Reconstruct and pave the lane north of East 12th adjacent to the site;
- Rain gardens within bulges at the intersection of St. Georges and East 12th;
- New street trees in continuous 900mm soil trench and 650 mm deep structural soil under the sidewalk;
- Remove and replace sanitary sewer from east property line to existing sewer fronting 155 East 12th Street; and
- All other servicing requirements as required by City Bylaws.

In accordance with City Bylaw, stormwater is required to be generally managed on the private property. A review of the applicant's proposed preliminary strategy shows that it relies heavily on City property (i.e. the roadway). If this project moves forward, in order to meet the stormwater management requirements for the site, the applicant will be required to perform further design and significantly increase the amount of on-site stormwater management (this condition will be included in the Site Servicing Agreement). Should the City's roadway space is required to accommodate private stormwater management capacity, significant additional public benefit must be demonstrated, such as soil bio cells to benefit boulevard tree canopy, and additional legal agreements may be required.

ADVISORY BODY INPUT

Advisory Design Panel

The application was received by the Advisory Design Panel on December 9, 2020, where the Panel reviewed and unanimously supported the project without any recommendations.

COMMUNITY CONSULTATION

The applicant held their Developer Information Session on January 13, 2021 and this was attended by three people (Attachment #5). One comment form was received in support of the application as they liked the design of the building.

Members of the public will have an additional opportunity to provide input at the Public Hearing, should Council allow it to proceed to that stage.

CONCLUSION

This proposal is consistent with the Official Community Plan. The subject site's proximity to existing amenities, commercial areas and public transit and active transportation facilities makes it an appropriate site for the proposed new 58-unit rental apartment building. The application meets the Strategic Plan as a City for People in using an existing site to increase the number of rental and mid-market units to the City.

RESPECTFULLY SUBMITTED:



David Johnson
Development Planner



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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

COVER PAGE

19495 [PROJECT]

[SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-0.000

DRAWING LIST:

Cover		
A-0.000	COVER PAGE	
A-0.001	PROJECT STATISTICS	
Site		
A-1.000	SURVEY (REFERENCE)	
A-1.001	SITE PLAN	1/16" = 1'-0"
Plans		
A-2.001	PARKING P1	1/8" = 1'-0"
A-2.010	1ST FLOOR	1/8" = 1'-0"
A-2.011	1ST FLOOR SUSPENDED SLAB PLAN	1/8" = 1'-0"
A-2.020	2ND FLOOR	1/8" = 1'-0"
A-2.030	3RD FLOOR	1/8" = 1'-0"
A-2.040	4TH FLOOR	1/8" = 1'-0"
A-2.050	5TH FLOOR	1/8" = 1'-0"
A-2.060	6TH FLOOR	1/8" = 1'-0"
A-2.070	ROOF PLAN	1/8" = 1'-0"
A-2.080	UPPER ROOF PLAN	1/8" = 1'-0"
Enlarged Plans		
A-3.000	COVER PAGE - UNIT PLANS	
A-3.001	KEY PLAN & DOOR SCHEDULE - UNIT PLANS	
A-3.002	UNIT PLANS	
A-3.003	UNIT PLANS	
A-3.004	UNIT PLANS	
Elevations		
A-4.000	WEST ELEVATION	1/8" = 1'-0"
A-4.001	SOUTH ELEVATION	1/8" = 1'-0"
A-4.002	EAST ELEVATION	1/8" = 1'-0"
A-4.003	NORTH ELEVATION	1/8" = 1'-0"
Building Sections		
A-5.000	BUILDING SECTION 1	1/8" = 1'-0"
A-5.001	BUILDING SECTION 2	1/8" = 1'-0"
A-5.002	BUILDING SECTION 3	1/8" = 1'-0"
A-5.003	BUILDING SECTION 4	1/8" = 1'-0"
A-5.004	BUILDING SECTION 5	1/8" = 1'-0"
A-5.005	PARKADE SECTIONS	1/8" = 1'-0"
Wall Sections		
A-5.100	WALL SECTIONS	1/4" = 1'-0"
A-5.101	WALL SECTIONS	1/4" = 1'-0"
A-5.102	WALL SECTIONS	1/4" = 1'-0"
Stair Details		
A-6.000	STAIR NO. 1	1/4" = 1'-0"
A-6.001	STAIR NO. 2	1/4" = 1'-0"
A-6.002	STAIR NO. 03 & STAIR NO. 04	1/4" = 1'-0"
A-6.003	STAIR NO. 05 & 06	1/4" = 1'-0"
Assemblies		
A-6.100	COVER & GENERAL NOTES	
A-6.101	GENERAL NOTES	
A-6.102	ASSEMBLIES	
A-6.103	ASSEMBLIES	
A-6.104	ASSEMBLIES	
A-6.105	ASSEMBLIES	
A-6.106	ASSEMBLIES	
A-6.107	ASSEMBLIES	
Details		
A-6.200	DETAILS	
A-6.201	DETAILS	
A-6.202	DETAILS	
A-6.203	DETAILS	
A-6.204	DETAILS	
A-6.205	DETAILS	
A-6.206	DETAILS	
A-6.207	DETAILS	
A-6.208	DETAILS	
A-6.209	DETAILS	
A-6.210	DETAILS	
A-6.211	DETAILS	
A-6.212	DETAILS	
Schedules		
A-7.000	WINDOW & DOOR SCHEDULES	
Supplemental		
A-8.000	MATERIALS FINISHES	
A-8.001	AREA OVERLAYS PARKING P1	1/8" = 1'-0"
A-8.010	AREA OVERLAYS 1ST FLOOR	1/8" = 1'-0"
A-8.020	AREA OVERLAYS 2ND FLOOR	1/8" = 1'-0"
A-8.030	AREA OVERLAYS 3RD FLOOR	1/8" = 1'-0"
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A-8.060	AREA OVERLAYS 6TH FLOOR	1/8" = 1'-0"
A-8.070	AREA OVERLAYS ROOF DECK	1/8" = 1'-0"



CONTACT LIST:

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ELECTRICAL	NEMETZ (S/A) & ASSOCIATES LTD. 2009 West 4th Avenue Vancouver, BC V6J 1N3 Steve Nemetz Carlos Molina Aleki Lessan 604.736.6562 steven@nemetz.com carlos@nemetz.com aleki@nemetz.com	TRANSPORTATION	R.F. BINNIE & ASSOCIATES 300-4940 Canada Way Burnaby, BC V5G 4K6 Brendan Stevenson 778.945.6045 bstevenson@rbinnie.com
GEOTECHNICAL	GEOPACIFIC CONSULTANTS LTD. 1779 West 75th Avenue Vancouver, BC V6P 6P2 Jillian Trach 604.439.0922 trach@geopacific.ca	ARBORIST	DIAMOND HEAD CONSULTING LTD. 3559 Commercial St. Vancouver, BC V5N 4E8 Cody Leschowski Max Reibum 604.733.4886 cody@diamondheadconsulting.com mar@diamondheadconsulting.com

ARCHITECTURAL DRAWING ISSUES:

2020-06-04	Issue 01 - Pre-Application
2020-10-13	Issue 02 - Rezoning / DP Application
2021-06-02	Issue 03 - DP Resubmission
2021-08-10	Issue 04 - 25% BP
2021-09-07	Issue 05 - 50% BP
2021-10-13	Issue 06 - 90% BP
2021-11-10	Issue 07 - BP Submission
2023-11-08	Issue 08 - BP Resubmission
2024-01-04	Issue 09 - BP Resubmission
2024-01-12	Issue 09 - BP Resubmission Re-Issue
2024-02-19	Issue 10 - Issue for Tender
2024-05-29	Issue 11 - BP Resubmission
2024-09-10	Issue 12 - BP Resubmission
2024-10-04	Issue 13 - BP Resubmission

206 EAST 12TH STREET | RENTAL HOUSING
NORTH VANCOUVER, BC | DEVELOPMENT

13 - BP RESUBMISSION

Drawings Not to Scale Unless Printed on 24" x 36" Paper

PROJECT SUMMARY:					
ZONING EXISTING	REQUIRED / PERMITTED		PROPOSED		VARIANCE
OCIP LAND USE DESIGNATION - Medium Density Apartment R5	Residential Level 5		CD		NO
SITE AREA	14,932 sq.ft.	1,387 m2	14,932 sq.ft.	1,387 m2	NO
UNIT NUMBER	not specified	not specified	58	58	NO
OCIP DENSITY (w/ exclusions) Purpose Built Rental Housing	1.6 + 1.0 FSR	3,607 m2	2.60 FSR	3,601 m2	NO
SITE COVERAGE	50%	694 m2	47%	651 m2	NO
BUILDING HEIGHT - Storeys (OCP Schedule 1)	6 Storeys (59.0 - 62.3 ft)		6 Storeys		NO
BUILDING HEIGHT - Measured from Average Grade	59.0 - 62.3 ft	18.19 m	62.2 ft	18.95 m	NO
Average Finished Grade -	323.0 ft	98.45 m geodetic			
Geodetic Max. Allowed Height - 19 m	385.3 ft	117.45 m geodetic	385.2 ft	117.40 m	
Proposed Elevation - TOR Access to Outdoor Amenity			395.6 ft	120.6 m	YES
Building Height from Average Grade - TOR Access to Outdoor Amenity			72.6 ft	22.1 m	
FRONT YARD (East 12th Street)	20.00 ft	6.10 m	10.00 ft	3.05 m	NO
REAR YARD - EAST (Lane)	20.00 ft	6.10 m	12.00 ft	3.66 m	NO
INTERIOR SIDE YARD (East PL)	15.00 ft	4.57 m	12.00 ft	3.66 m	NO
EXTERIOR SIDE YARD (St. Georges Avenue)	15.00 ft	4.57 m	12.00 ft	3.66 m	NO
PARKING SPACES Rental Housing	0.60 space/unit	32 spaces	32 spaces	32 spaces	NO
EV CHARGING STATIONS 100% installed stations	100 %	32 spaces	32 spaces	32 spaces	NO
BICYCLE SPACES	1.50 space/unit	87 Class A 6 Class B	87 Class A 6 Class B	87 Class A 6 Class B	YES NO
OPEN BALCONY AREA Excl. Open Appendages 8% GFA	3,409.7 sq.ft.	316.77 m2	6,440.9 sq.ft.	598.4 m2	15.1% NO
Increased Percent Area Exclusion - Balconies as Sunshading up to 12%	5,114.6 sq.ft.				
OUTDOOR AMENITY AREA			2658.62 sq.ft.	247.0 m2	

PARKING DIMENSIONS (no column encroachments)	Width		Length		Height	
	m	ft.	m	ft.	m	ft.
Standard Cars	2.500	8.20	5.486	18.00	2.134	7.00
Small Cars	2.500	8.20	4.650	15.26	2.134	7.00
Disabled Parking	4.000	13.12	5.486	18.00	2.134	7.00
Additional width at walls	0.305	1.00				
MINIMUM AISLE	90 degrees		45 degrees			
	m	ft.	m	ft.	m	ft.
One-Way Traffic	6.700	21.98	5.280	17.32	3.860	12.66
Two-Way Traffic	6.700	21.98	6.096	20.00	6.096	20.00

GARBAGE (WEEKLY):

Multi-Family Residential	no. of units	Est. volume/unit	Total Volume	Container capacity	
Garbage	58 units	95 L	5510 L	2294 L (3 cu.yd.)	2 serviced twice/wk
NSRP Newprints	58 units	8.5 L	493 L	360 L (95 gal)	1
NSRP Mixed Papers	58 units	15 L	870 L	360 L (95 gal)	2
NSRP Mixed Containers	58 units	9 L	522 L	360 L (95 gal)	1
Cardboard	58 units	30 L	1740 L	1529 L (2 cu.yd.)	1
Food Scraps	58 units	14 L	812 L	240 L (64 gal)	3
Multi-Family Residential	no. of units	Space/unit	Total Space		
Minimum space required	58 units	0.486 m2	28.2 m2	303.41 sq.ft.	Min 11 m2
Space required (Bi-weekly)			14.1 m2	151.71 sq.ft.	Min 11 m2
Space proposed (Bi-weekly)	58 units	0.409 m2	24 m2	255.54 sq.ft.	

Project Name: RED St. Georges
Client: RF Properties

Project: 19495
Date: APR 29/2023
Issue: BP RESUB APP

PROJECT DATA - DP 6-STOREY PURPOSE BUILT RENTAL BUILDING

EXISTING ADDRESS 1220 St. Georges Street, North Vancouver, BC
PROPOSED ADDRESS 206 East 12th Street, North Vancouver, BC
LEGAL DESCRIPTION LOT 14 BLOCK 75 DISTRICT LOT 549 PLAN 9315

PROJECT ARCHITECT Shamus Sachs
PROJECT OWNER RF Properties
OCIP LAND USE DESIGNATION Residential Level 5: Medium Density Apartment R5
EXISTING ZONING RM-1
PROPOSED ZONING CD 149.32

SITE AREA :			
Gross Site Area		14,932 sq.ft.	1,387.20 m2
Road Dedications	TBC	- sq.ft.	- m2
Net Site Area		14,932 sq.ft.	1,387.19 m2
Max FSR (Gross Site Area)	1.60 OCP Density	23,891 sq.ft.	2,219.50 m2
Max Bonus FSR	1.00 With Public Benefits		
Max FSR (Gross Site Area)	2.60 Purpose Built Rental Housing	38,882 sq.ft.	3,612.2 m2
Total Proposed Gross Floor Area	2.85	42,621 sq.ft.	3,959.6 m2
Total Proposed Exclusions		3,861 sq.ft.	358.7 m2
Proposed FSR	2.60	38,760 sq.ft.	3,600.9 m2
Max. Site Coverage	50%	7,465.85 sq.ft.	693.59 m2
Lot Coverage	47%	7,012 sq.ft.	651.47 m2

UNIT SUMMARY:

Unit Type	AD Level	1st	2nd	3rd	4th	5th	6th	Total	Average sqft / unit	Total Unit Area (sqft)	AD	Total Unit Area (m2)	%	Unit Mix	
A01 - Studio	AD L-1	2	3	3	3	3	3	17	467.6	7,948.9		738.5	29.3%	29.3% Studio	
B01 - 1Bed	AD L-1	1	1	1	1	1	1	6	486.1	2,916.3		270.9	10.3%	39.7%	
B02 - 1Bed (CMHC Adaptable)	AD L-2	0	0	0	1	1	1	3	590.6	1,771.7		164.6	5.2%		
B02 - 1Bed (CMHC Universal)	AD L-2	0	1	1	0	0	0	2	590.6	1,181.1		109.7	3.4%		
B03 - 1Bed + Den	AD L-2	1	1	1	1	1	1	6	622.9	3,737.6		347.2	10.3%		
B04 - 1Bed	AD L-1	1	1	1	1	1	1	6	505.8	3,034.6		281.9	10.3%		1 Bed
C01 - 2Bed	AD L-1	1	1	1	1	1	1	6	752.4	4,514.46		419.4	10.3%		20.7%
C02 - 2Bed	AD L-2	1	1	1	1	1	1	6	791.9	4,751.64		441.4	10.3%	2 Bed	
D01 - 3Bed	AD L-1	1	1	1	1	1	1	6	904.8	5,428.6		504.3	10.3%	10.3% 3 Bed	
Total		8	10	10	10	10	10	58		35,285		3,278.0	100.0%	100%	

UNIT SUMMARY: CMHC REQUIREMENTS

	Required	Provided	Unit Type	
CMHC Min Accessibility Features:10%	6	6	B03 - 1 Bed	*Note: The CMHC Minimum Accessibility Features Unit is compliant as a CNV Adatpable L-2 Unit
CMHC Universal	2	2	B02 - 1 Bed	
CMHC Adaptable	2	3	B02 - 1 Bed	
Total	10	11		

FSR CALCULATION:

Exclusion Summary	Min.	No Units	Stair 01	Stair 02	Area HRV	per Unit	Total Exclusions	Comments
Access to Outdoor Amenity							192.2 sq.ft.	17.86 m2 Active Design Guidelines
Adapt. Units Level 2 (20 sf/unit)	15	17				20.0	340.0 sq.ft.	31.59 m2 25.0% Units AD Level 2
Indoor Amenity - 15 SF/unit or lesser min 2% GFA (SF)	870	58				14.3	829.4 sq.ft.	77.08 m2 Min 15 SF / Unit
	852							
Stairs (Active Design) - 8% max SF	3,410		1369.61	1129.86			2,499.5 sq.ft.	232.21 m2 5.9% (Floor 1-6/Roof)
Total Exclusions From FSR							3,861.1 sq.ft.	358.70 m2

Gross Floor Area	Amenity	Unit Area	Common Area	Total GFA	Efficiency L1 - L6
Gross Area - P1		0.0 sq.ft.	0.0 sq.ft.	0.00 sq.ft.	- m2
Gross Area - 1st Floor	829.36	4,999.0 sq.ft.	1,184.0 sq.ft.	7,012.41 sq.ft.	651 m2 (+amenity) 83.1%
Gross Area - 2nd Floor		6,057.2 sq.ft.	955.3 sq.ft.	7,012.41 sq.ft.	651 m2 86.4%
Gross Area - 3rd Floor		6,057.2 sq.ft.	955.3 sq.ft.	7,012.41 sq.ft.	651 m2 86.4%
Gross Area - 4th Floor		6,057.2 sq.ft.	955.3 sq.ft.	7,012.41 sq.ft.	651 m2 86.4%
Gross Area - 5th Floor		6,057.2 sq.ft.	955.3 sq.ft.	7,012.41 sq.ft.	651 m2 86.4%
Gross Area - 6th Floor		6,057.2 sq.ft.	955.3 sq.ft.	7,012.41 sq.ft.	651 m2 86.4%
Gross Area - Roof		0.0 sq.ft.	546.9 sq.ft.	546.86 sq.ft.	51 m2 0.0%
Total Gross Area	829.36	35,285 sq.ft.	6,507 sq.ft.	42,621.3 sq.ft.	3,960 m2 Overall: 85.8%

PARKING SPACES:

Minimum Parking Required	58 units @	0.50 space/unit	29 spaces
Visitor Parking Required	58 units @	0.10 space/unit	6 spaces inclusive of required parking
Parking Reduction - TDM measures	10% =	3.5 spaces	3 spaces
Total Parking Required			32 spaces
Total Parking Provided			32 spaces
Disabled Parking Required:			3 spaces inclusive of required parking
Level 1 - Adaptable Units	41	21	1 space
Level 2 / 3 - Adaptable Units	17	9	2 spaces
Disabled Parking Provided:			3 spaces inclusive of required parking
Max. Small Cars	35% of provided spaces		11 spaces max
Provided Small Cars	28% of provided spaces		9 spaces

BICYCLE SPACES:

Required Secure Bicycle Parking	58 units	1.5 spaces/unit	87 spaces long term
Provided Secure Bicycle Parking	58 units	1.5 spaces/unit	87 spaces long term
Max vertical parking Spaces	30 max	35% max allowed	30 spaces long term
Required Short Term Bicycle Parking			6 spaces short term
Provided Short Term Bicycle Parking			6 spaces short term
Parkade not to exceed 1m (3.3 ft.) above average finished grade along perimeter of structure			
			93 spaces total bicycle spaces provided

Note 1: Final areas, allowable parking ratios, and parking count to be confirmed
Note 2: All areas are approximate and are for zoning purposes only
Note 3: Net & gross unit areas are measured to the center of partywalls and to the exterior of sheathing of exterior walls
Note 4: Dedications and setbacks subject to City of North Vancouver approval



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[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

PROJECT STATISTICS

19495 [PROJECT]

[SCALE]

2024-10-04 [DATE]

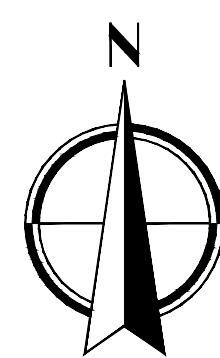
13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-0.001

BC LAND SURVEYORS TOPOGRAPHIC PLAN OF LOT 14 BLOCK 75 DISTRICT LOT 549 PLAN 9315

The intended plot size of this plan is 560mm in width
432mm in height (C Size)
when plotted at a scale of 1:200



OLSEN & ASSOCIATES
BRITISH COLUMBIA LAND SURVEYORS
204-15585 24th AVENUE, SURREY, B.C. V4A 2J4
PHONE : 604-531-4067 Fax : 604-531-5811
email: info@olsensurveying.ca
File No 18084T2



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[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

SURVEY (REFERENCE)

19495

[PROJECT]

NTS

[SCALE]

2024-10-04

[DATE]

13 - BP RESUBMISSION

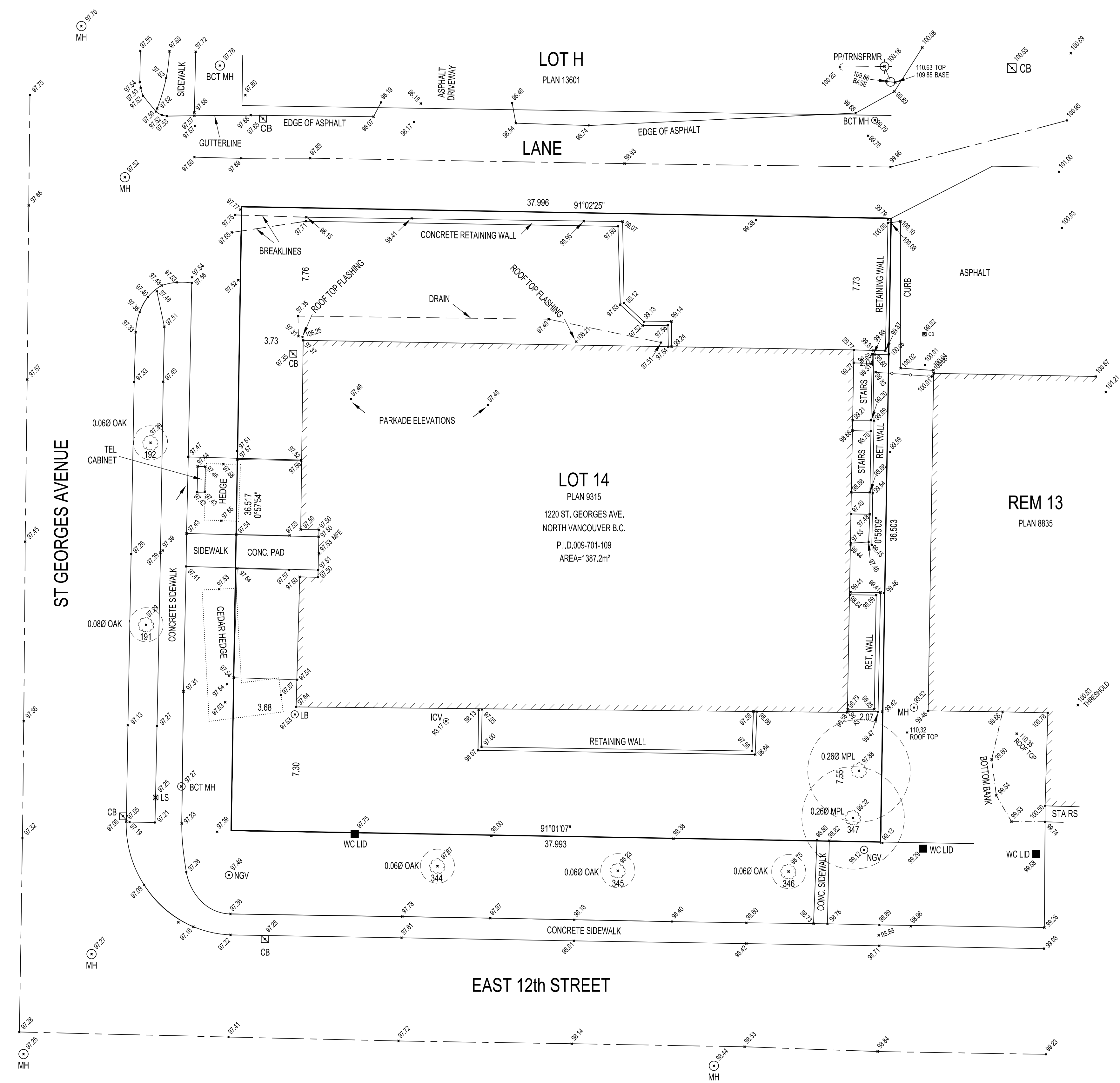
[ISSUE]

[DRAWING]

CERTIFIED CORRECT B.C.L.S.
Dated this 17th day of August, 2020

THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED.

A-1.000



LOT DIMENSIONS SHOWN ARE
BASED ON GROUND SURVEY

NOTE - GROUND ELEVATIONS ON
THIS PLAN ARE NOT TO BE USED FOR
CONSTRUCTION BENCHMARK PURPOSES.
A BENCHMARK MAY BE OBTAINED
FROM THIS OFFICE.

LEGEND

- ⊗ WV INDICATES WATER VALVE
- TREE
- ▣ CB CATCH BASIN
- WM WATER METER
- STM MH STORM MANHOLE
- SAN MH SANITARY MANHOLE
- UP UTILITY POLE
- HYD HYDRANT
- PP POWER POLE
- GV GAS VALVE
- LB LAWN BASIN
- PP/LS POWER POLE / LAMP STANDARD
- UMH UNKNOWN MANHOLE
- SUMP SUMP
- GMH GRATED MANHOLE
- SV SEWER VALVE
- MW MONITORING WELL
- LS LAMP STANDARD
- LD LAWN DRAIN
- SN SIGN
- GW GUYWIRE
- UB UTILITY BOX
- EB ELECTRICAL BOX
- CO CLEAN OUT
- SV SEWER VALVE
- CS CONCRETE SUMP
- INV INVERT
- DEC DECIDUOUS
- MPL MAPLE
- CDR CEDAR
- DGWD DOGWOOD

File No 18084T2

NOTE:
ELEVATIONS ON THIS PLAN ARE DERIVED FROM
CITY OF NORTH VANCOUVER BENCHMARK 73H1028
LOCATED AT EAST 8th AND ST. GEORGES AVE
ELEVATION = 87.122m

NOTE: TREE SYMBOLS SHOWN ON THIS PLAN ARE
NOT TO SCALE AND DO NOT REPRESENT CANOPY
DIAMETER. THEY INDICATE LOCATION ONLY.

13th St

EXISTING MULTI-FAMILY
3 1/2 STOREY

225 E
13th St

EXISTING MULTI-FAMILY
3 1/2 STOREY

SYMBOLS AND LEGENDS:

- SOFFIT VENT
- INDICATES WALL TYPE / WALL RATING (HR)
- INDICATES WINDOW TYPE
- INDICATES DOOR TYPE / WALL RATING (HR)
- REFERENCE NUMBER / PAGE
- DETAIL REFERENCE NUMBER
- CONCRETE BLOCK WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR WALL
- INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC
- INTERIOR UPSTAND WALL - NOT FULL HEIGHT
- LANDSCAPE WALL - NOT FULL HEIGHT
- SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- ROOF DECK UPSTAND WALL
- CONCRETE COLUMN
- FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING
- FIRE BLOCKING
- AREA CLEAR OF ANY OBSTRUCTIONS FOR ACCESSIBLE ACCESS
- MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION
- ROOF VENTS 50 SQUARE INCHES FREE AIR AREA (0.347 SF)
- VAULTED CEILING ABOVE
- DROPPED CEILING ABOVE
- ROOF ACCESS HATCH ABOVE
- WATER CURTAIN - REFER TO CODE CONSULTANT REPORT
- RAIN WATER LEADER
- PROPERTY LINE
- SETBACK LINE
- BUILDING / ELEMENTS ABOVE
- BUILDING / ELEMENTS BELOW
- BUILDING / ELEMENTS BEYOND
- STRUCTURAL BEAMS

GENERAL NOTES:

- REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
- REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
- SEE INTERIOR DESIGN CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES AND DETAILS.
- ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1m CEILING HEIGHT).
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
- VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
- PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2.0' IN HEIGHT WITH ONE MIN CLEAR FINISHED DIMENSION 550mm x 900mm (1'-10" x 2'-11 1/2") AS PER BCBC 2018 3.6.4.4.
- PROVIDE FIRE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING AT ALL PARTY WALL, CORRIDOR WALL, EXIT STAIR & SHAFT LOCATIONS. NO FRAMING OR TRUSS MEMBERS ARE TO PENETRATE FIRE SEPARATION.
- PROVIDE FIRE BLOCKS AS PER 3.1.11.1 BC BUILDING CODE 2018 AT ALL COMBUSTIBLE CONCEALED SPACES INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
- PROVIDE FIRE BLOCK MATERIALS AS PER 3.1.11.7, BC BUILDING CODE 2018 - 0.30mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/4" LUMBER WITH STAGGERED JOINTS, OR 1 1/2" THICK LUMBER. FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING.
- REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS, SIDEWALKS, PATIOS, PLANTERS AND FENCING.
- REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
- REFER TO THE CODE CONSULTANT REPORT FOR THE ALTERNATIVE BUILDING SOLUTIONS TO THE BC BUILDING CODE 2018.
- REFER TO THE ACOUSTICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW & WALL DESIGN.
- PROVIDE MIN. 2% SLOPE AT BALCONIES AND ROOFS.
- PROVIDE BULKHEADS FOR ALL SPRINKLER DROPS.
- ALL RAILINGS AT GRADE ARE SHOWN ON LANDSCAPE DRAWINGS.
- STAND PIPES ARE EXPOSED.
- ADD A SECOND LAYER OF 5/8" (16mm) TYPEX GYPSUM WALL BOARD ON THE INTERIOR SIDE OF SOUTH FACADE WALLS (SEE DETAIL 04.01.031)

ABBREVIATIONS:

- BG BUILDING GRADE
- IBG INTERPOLATED BUILDING GRADE
- EG EXISTING GRADE
- FG FINISH GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF SLAB
- CB CATCH BASIN
- FD FLOOR DRAIN
- RD ROOF DRAIN
- AD AREA DRAIN
- SD SLAB DRAIN
- RWL RAIN WATER LEADER

RCP LEGEND:

- DIRECTION OF SOFFIT INDICATED

EXISTING MULTI-FAMILY
3 STOREY

EXISTING MULTI-FAMILY
3 1/2 STOREY

U/G PARKING ENTRANCE

PATIO ENTRIES

PROPOSED EXTERIOR SETBACK
3.7M (TBC)

St. Georges Ave

EXISTING MULTI-FAMILY
3 1/2 STOREY

PROPOSED REAR SETBACK
3.7M (TBC)

PROPOSED 6-STOREY RESIDENTIAL BUILDING

EAST 12TH STREET

E 12TH STREET

EXISTING MULTI-FAMILY
3 1/2 STOREY

Ave

OUTDOOR AMENITY

TRELLIS OVER PARKING RAMP W/ CLIMBING VINES

SCREENING AND GREEN EDGE TO LANE

EXISTING MULTI-FAMILY
3 1/2 STOREY

PROPOSED SIDE SETBACK
3.7M (TBC)

ADJACENT SITE
ESTIMATED EXISTING
FRONT SETBACK 6.10M

EXISTING MULTI-FAMILY
3 1/2 STOREY

EXISTING MULTI-FAMILY
3 STOREY

E 12th St

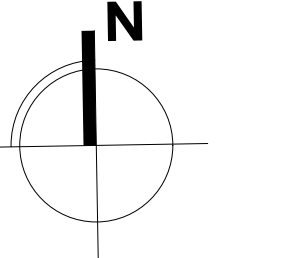
EXISTING MULTI-FAMILY
3 1/2 STOREY



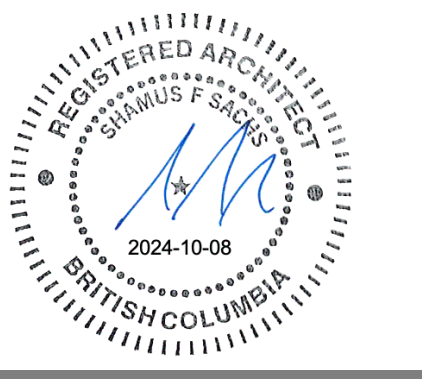
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[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

SITE PLAN

19495

[PROJECT]

1/16" = 1'-0"

[SCALE]

2024-10-04

[DATE]

13 - BP RESUBMISSION

[ISSUE]

[DRAWING]

A-1.001

SYMBOLS AND LEGENDS:

- SV SOFFIT VENT
- W2|0|Hf INDICATES WALL TYPE / WALL RATING (HR)
- A1 INDICATES WINDOW TYPE
- E3-A|34 INDICATES DOOR TYPE / WALL RATING (HR)
- A-5.000 REFERENCE NUMBER / PAGE
- 30-20.103 DETAIL REFERENCE NUMBER
- [W2A] CONCRETE BLOCK WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- [W1A, W1B] CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- [W3A, W3B] EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- [W4A, W4B] PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- [W5A] CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- [W6A] INTERIOR WALL
- [W6B] INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC
- INTERIOR UPSTAND WALL - NOT FULL HEIGHT
- LANDSCAPE WALL - NOT FULL HEIGHT
- [W7A] SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- ROOF DECK UPSTAND WALL
- CONCRETE COLUMN
- FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING
- WAVE FIRE BLOCKING
- AREA CLEAR OF ANY OBSTRUCTIONS FOR ACCESSIBLE ACCESS
- 6.18 MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION
- ROOF VENTS 50 SQUARE INCHES FREE AIR AREA (0.347 SF)
- VAULTED CEILING ABOVE
- DROPPED CEILING ABOVE
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- WATER CURTAIN - REFER TO CODE CONSULTANT REPORT
- RWL RAIN WATER LEADER
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- BUILDING / ELEMENTS BELOW
- BUILDING / ELEMENTS BEYOND
- STRUCTURAL BEAMS

PARKADE NOTES:

1. MAINTAIN CLEAR HEIGHT BELOW ALL STRUCTURE AND SERVICES: MIN. 2.134m (7') HEADROOM FOR ALL DRIVEWAY RAMP AND ENTRANCE GARAGES.
2. AT ALL ROOMS OPENING DIRECTLY OFF THE PARKING GARAGE, SLAB IS TO BE A MIN. 2" HIGHER THAN THE ADJACENT PARKING GARAGE SLAB WITHIN 6'-0" OF DOORS. TAPER SLAB @ ALL ENTRANCES TO PROVIDE HANDICAPPED ACCESSIBILITY - MAX 1:2 SLOPE (8.33%).
3. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS SIDEWALKS PATIOS PLANTERS AND FENCING.
4. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
5. PAINT ALL PARKING STALL NUMBERS, LINES AND DESIGNATIONS (SMALL CAR & DISABLED PARKING).
6. PAINT ALL EXIT PATH DESIGNATIONS.
7. PAINT ALL NON-INSULATED CEILINGS WHITE.
8. PAINT ALL COLUMNS AND WALLS WHITE WITH MIN. LRV OF 75% NO MORE THAN 300 mm ABOVE FLOOR CONTINUING TO CEILING TO NO LESS THAN 2.5 m ABOVE FLOOR.
9. PAINT ALL STORAGE AND LOCKER ROOMS WHITE.
10. CEILING INSULATION TO EXTEND 24" PAST LINE OF HEATED SPACE ABOVE.
11. ALL PARKADE STORAGE ROOM CEILINGS ARE TO BE INSULATED (INCLUDING ROOMS THAT ARE BEYOND BUILDING ABOVE).
12. VISITOR PARKING MUST BE LABELLED ACCORDING TO CITY OF NORTH VANCOUVER ZONING BYLAW - "VISITOR PARKING".
13. EACH REQUIRED ACCESSIBLE PARKING SPACE SHALL BE CLEARLY MARKED BY A PAINTED WHEELCHAIR SYMBOL ON THE PAVEMENT AND BY AN ERECTED VERTICAL RETRANGIBLE SIGN FACING TOWARD THE PARKING SPACE OF A SIZE AND DESIGN AS REGULATED BY THE MOTOR VEHICLE ACT, PER CITY OF NORTH VANCOUVER ZONING BYLAW.
14. SMALL CAR PARKING MUST BE LABELLED ACCORDING TO CITY OF NORTH VANCOUVER ZONING BYLAW - "SMALL CAR ONLY".
15. AS PER CITY OF NORTH VANCOUVER ZONING BYLAW, PARKING SPACES REQUIRED FOR ALL TYPES OF COMMERCIAL USE MUST BE CLEARLY MARKED FOR COMMERCIAL USE ONLY WITH ERECTED VERTICAL RECTANGULAR SIGNAGE FACING THE COMMERCIAL PARKING SPACES.
16. EACH LOADING SPACE TO BE CLEARLY DELINEATED BY PAINTED LINES AND SIGNING.
17. PROVIDE VERTICAL CONTROL JOINTS @ MAX 16'-0" o.c. AT ALL PARKADE WALLS.
18. PROVIDE 3/4" CHAMFER AT ALL VERTICAL CONCRETE CORNERS UNLESS OTHERWISE NOTED.
19. PROVIDE 3/4" THICK FIRE RETARDANT TREATED PLYWOOD BACKING AT ELECTRICAL ROOM WALLS. SEE ELECTRICAL DRAWINGS FOR DETAILS.
20. PROVIDE LOCKABLE RESIDENT BICYCLE LOCKERS WITH 2 PERMANENTLY MOUNTED RACKS PER LOCKER.

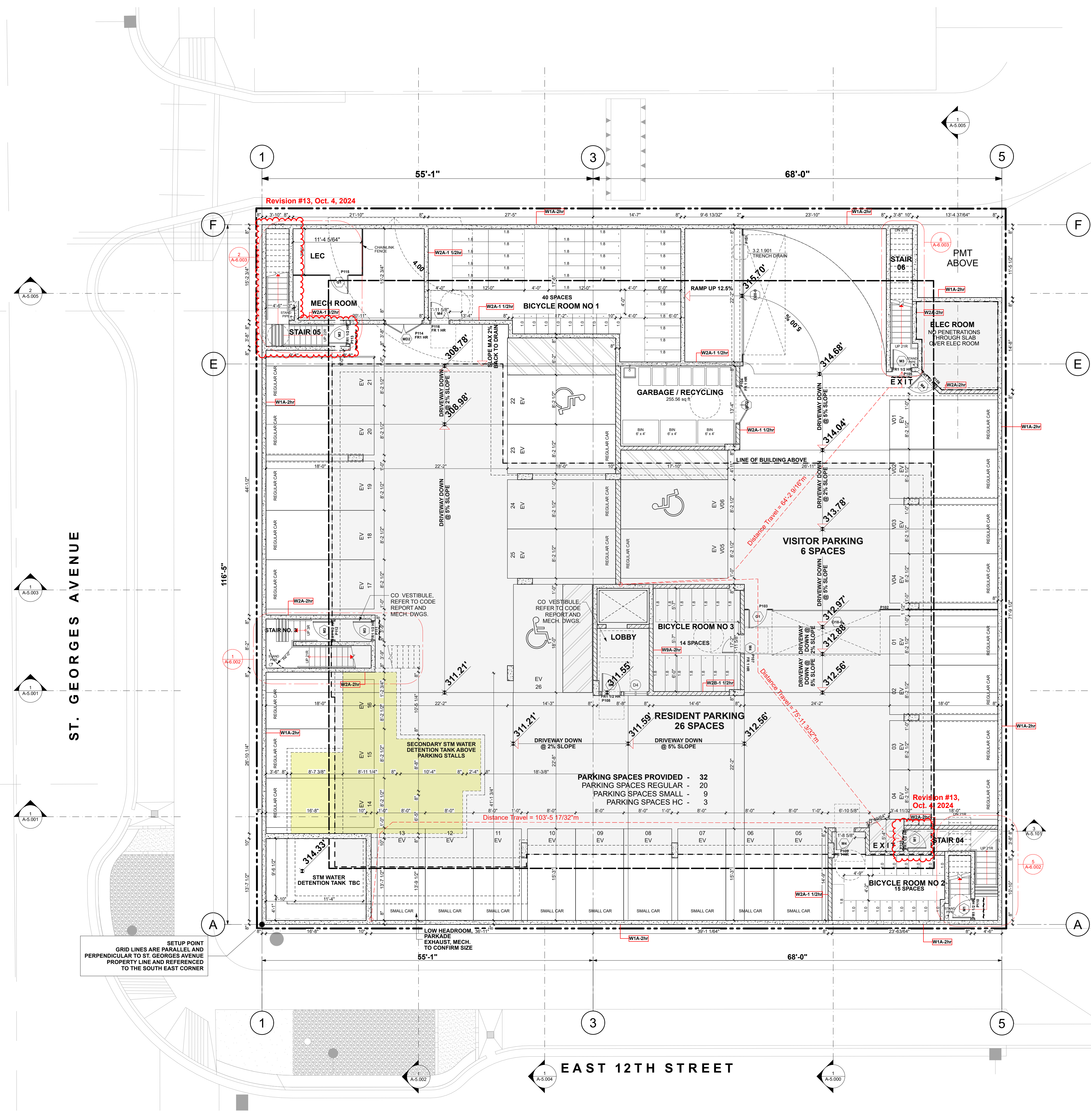
ELECTRICAL TRANSFORMER NOTES:

1. ALL INSTALLATIONS AND FIXTURES CONTAINING SUBSURFACE CONDUCTIVE MATERIALS SUCH AS METALLIC FENCES, STREETLIGHT BASES, REINFORCED CONCRETE WALLS, AND SPRINKLER PIPES MUST BE KEPT A MINIMUM OF 2.5m FROM THE NEAREST POINT OF THE COUNTERPOISE.
2. ONLY INSTALLATIONS AND FIXTURES WHICH CAN BE INSULATED (SUCH AS FENCE POSTS) IN ACCORDANCE WITH FIGURE 1 ON PAGE 2 MAY BE LOCATED WITHIN THE 2.5m ZONE.
3. CONCRETE WALLS UTILIZING EPOXY COATED REBAR ARE ALSO ALLOWED WITHIN THE 2.5m ZONE.

ABBREVIATIONS:

- BG BUILDING GRADE
- BIG INTERPOLATED BUILDING GRADE
- EG EXISTING GRADE
- FG FINISH GRADE
- FW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF SLAB
- CB CATCH BASIN
- FD FLOOR DRAIN
- RD ROOF DRAIN
- AD AREA DRAIN
- SD SLAB DRAIN
- RWL RAIN WATER LEADER

SETUP POINT
GRID LINES ARE PARALLEL AND PERPENDICULAR TO ST. GEORGES AVENUE PROPERTY LINE AND REFERENCED TO THE SOUTH EAST CORNER



CNV LEVEL 2 ADAPTABLE REQUIREMENTS - BUILDING & UNITS

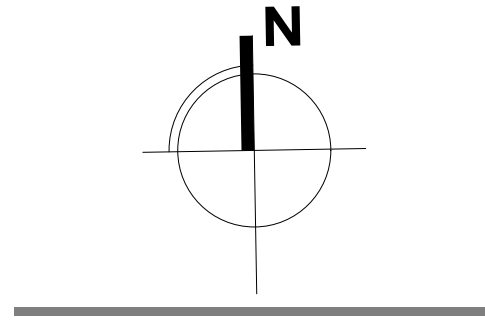
1. OUTDOOR STAIRS - MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAIR
2. CURB CUTS HAVE TACTILE AND VISUAL CUES UNOBSTRUCTED ACCESS TO MAIN BUILDING ENTRANCES FROM STREETS SIDEWALKS
3. UNOBSTRUCTED INTERNAL ACCESS - FROM PARKING LEVELS CONTAINING ACCESSIBLE PARKING (5' OR 1500mm CORRIDORS 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCH)
4. GARBAGE AND RECYCLING RECEPTACLES AND STORAGE LOCKERS
5. NO STAIRS WITHIN BUILDING CIRCULATION INCLUDING CORRIDORS ON RESIDENTIAL LEVELS
6. ACCESSIBLE STORAGE LOCKERS FOR EACH UNIT
7. CANOPY OVER MAIN BUILDING ENTRANCES (3' OR 915mm) AND ENTERPHONE
8. PROVIDE AUTOMATIC DOOR OPENER FOR AT LEAST ONE BUILDING ENTRY DOOR AT GRADE AND ONE BUILDING ENTRY DOOR LEADING INTO THE BUILDING ON EACH UNDERGROUND PARKABLE LEVEL (WHERE DISABILITY PARKING IS PROVIDED)
9. DISABILITY PARKING PROVIDED IN ACCORDANCE WITH ZONING BYLAW FIGURE 9-4 AS ATTACHED
10. 3' OR 915mm BUILDING AND SUITE ENTRY DOORS
11. FLUSH THRESHOLDS THROUGHOUT THE BUILDING (MAXIMUM 1/2" OR 13mm HEIGHT)
12. ACCESSIBLE BUILDING EXTERIOR, CALL BUTTONS AND, WHERE PROVIDED, SUITE DOOR BELLS
13. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR THE SUITE ENTRY DOOR
14. PROVIDE 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER (POCKET DOORS ACCEPTABLE FOR BATHROOMS AND BEDROOMS)
15. MINIMUM ONE BATHROOM, MINIMUM ONE BEDROOM AND STORAGE ROOM DOORS 2'-10" OR 610mm CLEAR DOOR OPENING
16. MINIMUM ONE DOOR 2'-10" OR 610mm CLEAR DOOR WITH MAXIMUM 1/2" OR 13mm THRESHOLD
17. MINIMUM 5' OR 1500mm TURNING RADIUS ON PATIO / BALCONY
18. OPERING MECHANISM MAXIMUM 40" OR 1016mm ABOVE FLOOR (PROVIDE NOTATION ON WINDOW SCHEDULE)
19. PROVIDE MINIMUM 6'0" OR 1800mm HORIZONTAL WINDOW IN LIVING ROOM, DINING ROOM AND MINIMUM ONE BEDROOM WHERE BILLS ARE NOT MORE THAN 2'-0" OR 750mm ABOVE THE FLOOR
20. OPENING MECHANISM MAXIMUM 40" OR 1016mm ABOVE FLOOR (PROVIDE NOTATION ON WINDOW SCHEDULE)
21. PROVIDE MINIMUM 6'0" OR 1800mm HORIZONTAL WINDOW IN LIVING ROOM, DINING ROOM AND MINIMUM ONE BEDROOM WHERE BILLS ARE NOT MORE THAN 2'-0" OR 750mm ABOVE THE FLOOR
22. CONTINUOUS COUNTER BETWEEN SINK AND STOVE
23. TOILET LOCATED ADJACENT TO WALL (MIN 3" OR 76mm LENGH)
24. PROVIDE TURNING RADIUS WITHIN BATHROOM (MAY RESULT FROM REMOVAL OF VANITY CABINET)
25. 3' OR 915mm CLEARANCE ALONG FULL LENGTH OF TUB
26. TUB CONTROL VALVE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT REMAINING IN CENTRAL POSITION
27. ACCESSIBLE STORAGE
28. EASY TO READ BUILDING ADDRESS NUMBERS (MIN. 4" OR 100mm HIGH IN CONTRASTING COLOURS)
29. LIGHTING LEVELS TO A MINIMUM OF 100 LUX OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND SUITE ENTRIES
30. NO POLISHED FINISH ON BUILDING ENTRIES AND SUITE ENTRIES
31. EXCEPT FOR POCKET DOORS, SLIDING DOORS, OR DOORS EQUIPPED WITH OPENERS, LEVER DOOR HANDLES ARE REQUIRED ON ALL DOORS (PROVIDE NOTATION ON DOOR SCHEDULE)
32. SIGNAGE THROUGHOUT COMMON AREAS HAS WELL CONTRASTING COLOURS
33. ELEVATORS HAVE WELL CONTRASTED CONTROL BUTTONS
34. SLIP RESISTANT FLOORING
35. COLOUR CONTRASTING EXIT DOORS
36. BUILDING MEETING AMENITY ROOMS
37. PROVIDE CARPET AND DRAPES TO ABSORB SOUND AND DECREASE ECHOS
38. PROVIDE CARPET AND DRAPES TO ABSORB SOUND AND DECREASE ECHOS
39. ADJUSTABLE DOOR CLOSERS TO REDUCE FORCE TO OPEN DOOR TO MAXIMUM 22N OR 5 LBS
40. DOOR HANDLE AT 40" OR 1000mm ABOVE THE FLOOR WITH DRAGBARS PLACED IMMEDIATELY ABOVE OR BELOW
41. UNIFLOORING
42. NON-SLIP FLOORING IN KITCHEN AND MINIMUM ONE BATHROOM (PROVIDE FLOORING SAMPLES)
43. HIGH DENSITY, LOW LEVEL CARPET AND UNDERLAY MAXIMUM 1/2" OR 13mm HEIGHT PATIOS AND BALCONIES
44. OUTDOOR LIGHT FIXTURE PROVIDED
45. ELECTRICAL OUTLET PROVIDED
46. SWITCHES, CONTROLS, THERMOSTATS AND THE HIGHEST BREAKER IN THE SUITE PANEL TO BE INSTALLED NO HIGHER THAN 48" OR 1170mm ABOVE FINISHED FLOOR
47. ELECTRICAL OUTLETS, CABLE OUTLETS, TELEPHONE JACKS NOT LOWER THAN 18" OR 450mm ABOVE FLOOR
48. WITHIN SUITES A LIGHT SWITCH OUTLET IS REQUIRED WITHIN 8" OR 200mm OF A TELEPHONE JACK
49. WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM, CONNECTED TO FIRE ALARM SYSTEM ROCKER SWITCHES
50. EASY GRAPED AND OPERATED MECHANISM FOR OPENING AND LOCKING WINDOWS
51. TASK LIGHTING OF AT LEAST 100 LUX LEVEL AT SINK, STOVE AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
52. PULL-OUT WORK BOARDS AT 2'-8" OR 810mm
53. LEVER HANDLE FAUCETS AND CABINET HANDLES WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. "D" OR "J" CABINET HANDLES
54. ADJUSTABLE SHELVES IN ALL CABINETS
55. MIN. ONE BATHROOM
56. SLIP BLOCKING PROVIDED IN WALLS OF TUB / SHOWER AND TOILET AREAS, AND BEHIND TOWEL BARS
57. PRESSURE BALANCED TUB / SHOWER VALVES
58. PROVISION IN WATER SUPPLY AND DRAIN TO ALLOW FOR A 4" (100mm) DROP IN VANITY HEIGHT (OFFSET PLUMBING)
59. PROVISION FOR VANITY SINK REMOVAL
60. ADJUSTABLE HEIGHT SHOWER HEAD OR HAND-HELD SHOWER HEAD ON ADJUSTABLE LIVING ROOM
61. ONE SWITCHED ELECTRICAL OUTLET BEDROOMS
62. THREE-WAY SWITCHED OUTLET AT BED AREA AND DOORWAY
63. PROVIDE LIGHT FIXTURE IN OR ADJACENT TO CLOSET
64. TELEPHONE JACK
65. IN-SUITE STORAGE
66. PROVIDE LIGHT AND ELECTRICAL OUTLET



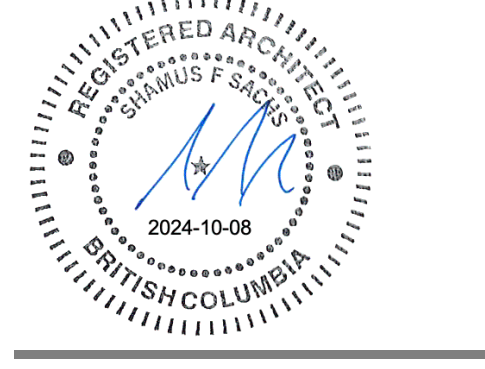
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[PROJECT TEAM]



[ARCHITECT SEAL]



RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

PARKING P1

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-2.001

SYMBOLS AND LEGENDS:

- SOFFIT VENT
- INDICATES WALL TYPE / WALL RATING (HR)
- INDICATES WINDOW TYPE
- INDICATES DOOR TYPE / WALL RATING (HR)
- REFERENCE NUMBER / PAGE
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GENERAL NOTES:

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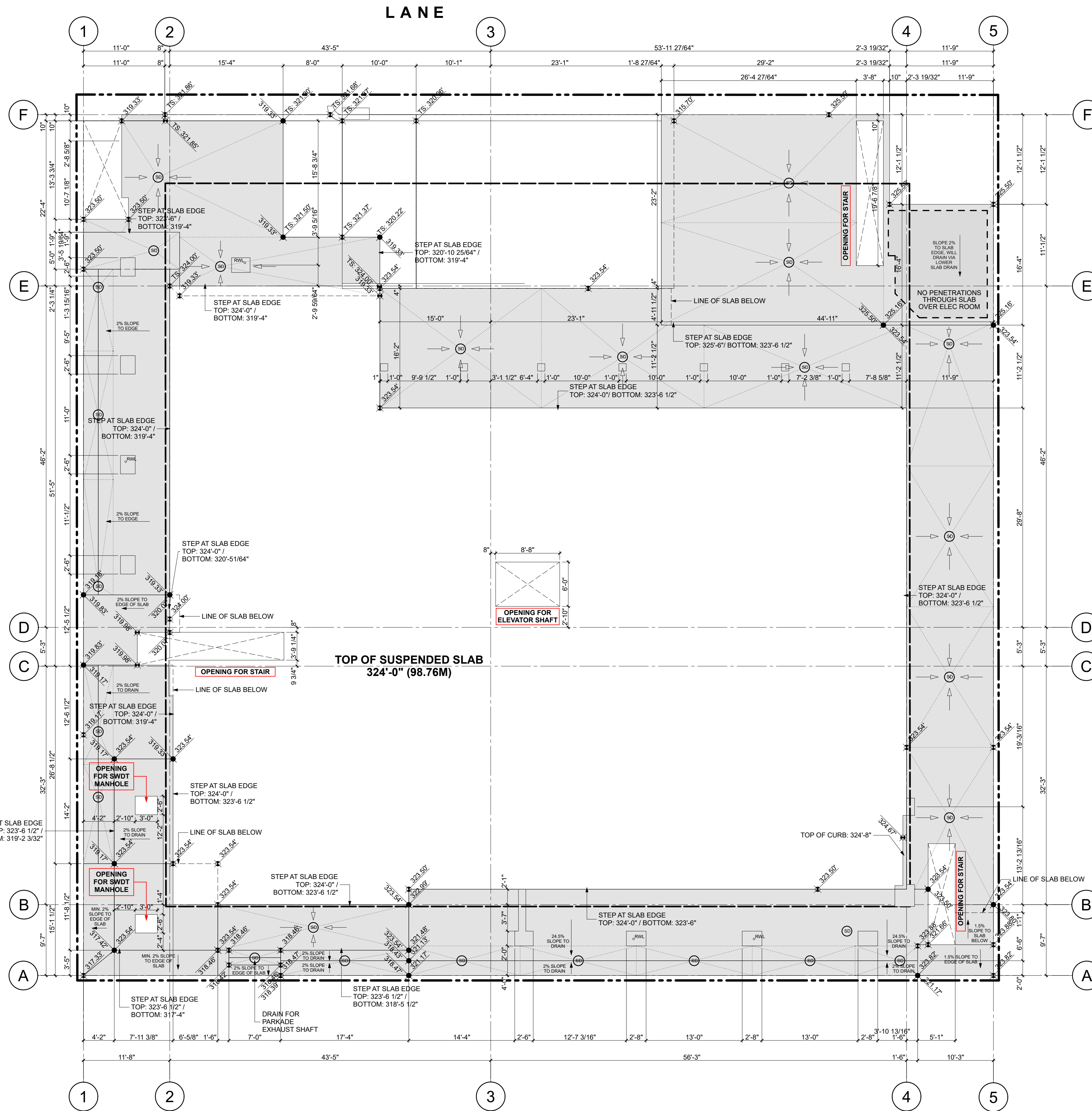
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ST. GEORGES AVENUE



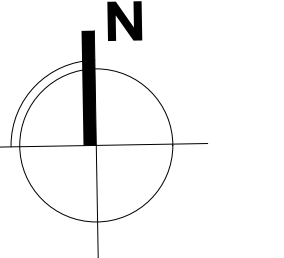
EAST 12TH STREET



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(PROJECT TEAM)



(ARCHITECT SEAL)



(CLIENT)

RF PROPERTIES

(PROJECT)

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

(TITLE)

**1ST FLOOR
SUSPENDED
SLAB PLAN**

19495

(PROJECT)

1/8" = 1'-0"

(SCALE)

2024-10-04

(DATE)

13 - BP RESUBMISSION

(ISSUE)

(DRAWING)

A-2.011

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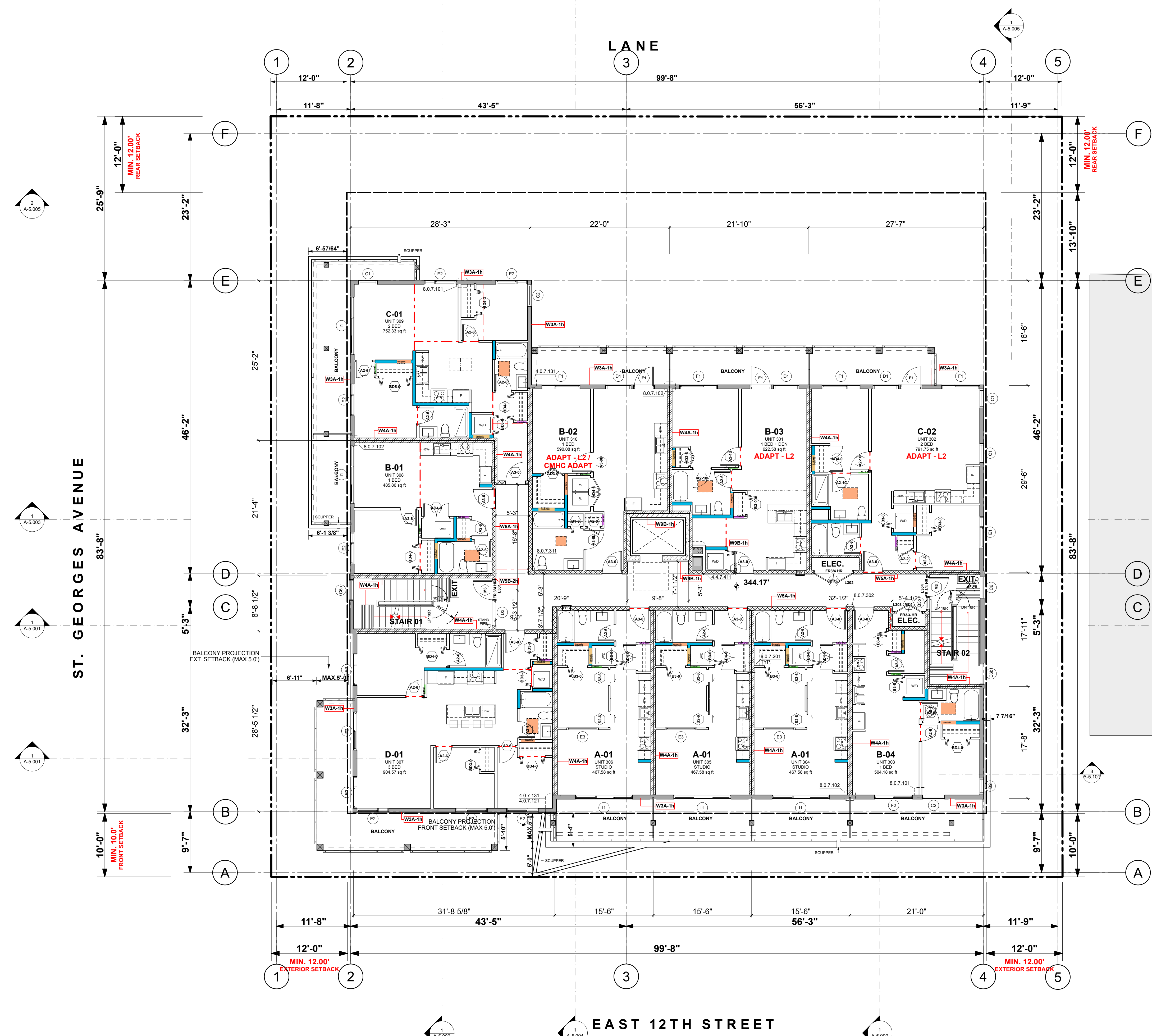
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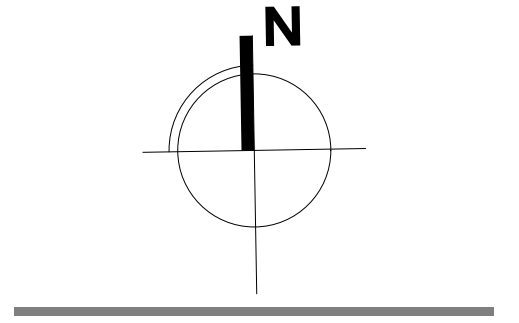
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 4. UNOBSTRUCTED INTERNAL ACCESS: FROM PARKING LEVELS CONTAINING ACCESSIBLE PARKING (5' OR 1500mm CORRIDORS 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCH) GARBAGE AND RECYCLING RECEPTACLES AND STORAGE LOCKERS
 5. NO STAIRS WITHIN BUILDING CIRCULATION INCLUDING CORRIDORS ON RESIDENTIAL LEVELS
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 7. CANOPY OVER MAIN BUILDING ENTRANCES (3' OR 915mm) AND ENTERPHONE
 8. PROVIDE AUTOMATIC DOOR OPENER FOR AT LEAST ONE BUILDING ENTRY DOOR AT GROUND LEVEL AS WELL AS DOORS LEADING INTO THE BUILDING ON EACH UNDERGROUND PARKABLE LEVEL (WHERE DISABILITY PARKING IS PROVIDED)
 9. DISABILITY PARKING PROVIDED IN ACCORDANCE WITH ZONING BYLAW FIGURE 9-4 AS ATTACHED.
 10. 3' OR 915mm BUILDING AND SUITE ENTRY DOORS
 11. FLUSH THRESHOLDS THROUGHOUT THE BUILDING (MAXIMUM 1/2" OR 13mm HEIGHT)
 12. ACCESSIBLE BUILDING ENTERPHONE, CALL BUTTONS AND, WHERE PROVIDED, SUITE DOOR BELLS
 13. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR THE SUITE ENTRY DOOR
 14. PROVIDE 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER (POCKET DOORS ACCEPTABLE FOR BATHROOMS AND BEDROOMS)
 15. MINIMUM ONE BATHROOM, MINIMUM ONE BEDROOM AND STORAGE ROOM DOORS 2'-10" OR 610mm CLEAR DOOR DOORS
 16. MINIMUM ONE DOOR 2'-10" OR 610mm CLEAR DOOR OPENING
 17. MINIMUM ONE PATIO OR BALCONY DOORSILL WITH MAXIMUM 1/2" OR 13mm THRESHOLD
 18. MINIMUM 5' OR 1520mm TURNING RADIUS ON PATIO / BALCONY
 19. OPERING MECHANISM MAXIMUM 48" OR 1168mm ABOVE FLOOR (PROVIDE NOTATION ON WINDOW SCHEDULE)
 20. PROVIDE MINIMUM 6" OR 152mm HORIZONTAL WINDOW IN LIVING ROOM, DINING ROOM AND MINIMUM ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 2'-0" OR 750mm ABOVE THE FLOOR
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 22. CONTINUOUS COUNTER BETWEEN SINK AND STOVE
 23. TOILET LOCATED ADJACENT TO WALL (MIN 3" OR 76mm LENGTH)
 24. PROVIDE TURNING RADIUS WITHIN BATHROOM (MAY RESULT FROM REMOVAL OF VANITY CABINET)
 25. 3" OR 76mm CLEARANCE ALONG FULL LENGTH OF TUB
 26. TUB CONTROL VALVE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT REMAINING IN CENTRAL POSITION
 27. ACCESSIBLE STORAGE
 28. EASY TO READ BUILDING ADDRESS NUMBERS (MIN. 4" OR 100mm HIGH IN CONTRASTING COLOURS)
 29. LIGHTING LEVELS TO A MINIMUM OF 100 LUX OUTSIDE AND INSIDE MAIN BUILDING ENTRANCES AND SUITE ENTRANCES
 30. NO POLISHED FINISH ON BUILDING ENTRY FLOORING (PROVIDE FLOORING SAMPLES)
 31. EXCEPT FOR POCKET DOORS, SLIDING DOORS, OR DOORS EQUIPPED WITH OPENERS, LEVER DOOR HANDLES ARE REQUIRED ON ALL DOORS (PROVIDE NOTATION ON DOOR SCHEDULE)
 32. SIGNAGE THROUGHOUT COMMON AREAS HAS WELL CONTRASTING COLOURS
 33. ELEVATORS HAVE WELL CONTRASTED CONTROL BUTTONS
 34. SLIP RESISTANT FLOORING
 35. COLOUR CONTRASTING EXIT DOORS
 36. BUILDING MEETING AMENITY ROOMS
 37. PROVIDE CARPET AND DRAPES TO ABSORB SOUND AND DECREASE ECHOS
 38. ADJUSTABLE DOOR CLOSERS TO REDUCE FORCE TO OPEN DOOR TO MAXIMUM 22N OR 5 LBS
 39. DOOR HANDLE AT 48" OR 1200mm ABOVE THE FLOOR, WITH DEADBOLT PLACED IMMEDIATELY ABOVE OR BELOW
 40. UNIT ENTRANCES
 41. NON-SLIP FLOORING IN KITCHEN AND MINIMUM ONE BATHROOM (PROVIDE FLOORING SAMPLES)
 42. HIGH PILE, LOW LEVEL LOOP CARPET AND UNDERLAY MAXIMUM 1/2" OR 13mm HEIGHT PATIOS AND BALCONIES
 43. OUTDOOR LIGHT FIXTURE PROVIDED
 44. ELECTRICAL OUTLET PROVIDED
 45. SWITCHES, CONTROLS, THERMOSTATS AND THE HIGHEST BREAKER IN THE SUITE PANEL TO BE INSTALLED NO HIGHER THAN 48" OR 1170mm ABOVE FINISHED FLOOR
 46. ELECTRICAL OUTLETS, CABLE OUTLETS, TELEPHONE JACKS NOT LOWER THAN 18" OR 450mm ABOVE FLOOR
 47. WITHIN SUITES A DUMP EX OUTLET IS REQUIRED WITHIN 8' OR 200mm OF A TELEPHONE JACK
 48. WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM, CONNECTED TO FIRE ALARM SYSTEM ROCKER SWITCHES
 49. EASY GRABBED AND OPERATED MECHANISM FOR OPENING AND LOOKING WINDOWS
 50. TASK LIGHTING OF AT LEAST 100 LUX LEVEL AT SINK, STOVE AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 51. LEVER HANDLE FAUCETS AND CABINET HANDLES WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. "D" OR "J" CABINET
 52. ADJUSTABLE SHELVES IN ALL CABINETS
 53. SOLID BLOCKING PROVIDED IN WALLS OF TUB / SHOWER AND TOILET AREAS, AND BEHIND TONEL BARS
 54. PRESSURE BALANCED TUB / SHOWER VALVES
 55. PROVISION IN WATER SUPPLY AND DRAIN TO ALLOW FOR A 4" (100mm) DROP IN VANITY (OPPOSITE PLUMBING)
 56. PROVISION FOR VANITY SINK REMOVAL
 57. ADJUSTABLE HEIGHT SHOWER HEAD OR HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 58. ONE SWITCHED ELECTRICAL OUTLET BEDROOMS
 59. THREE-WAY SWITCHED OUTLET AT BED AREA AND DOORWAY
 60. PROVIDE LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 61. TELEPHONE JACK
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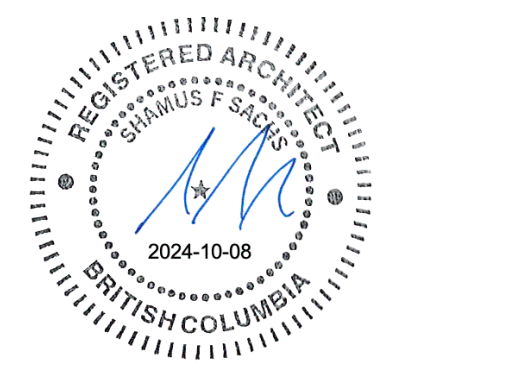
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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

3RD FLOOR

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

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[DRAWING]

A-2.030

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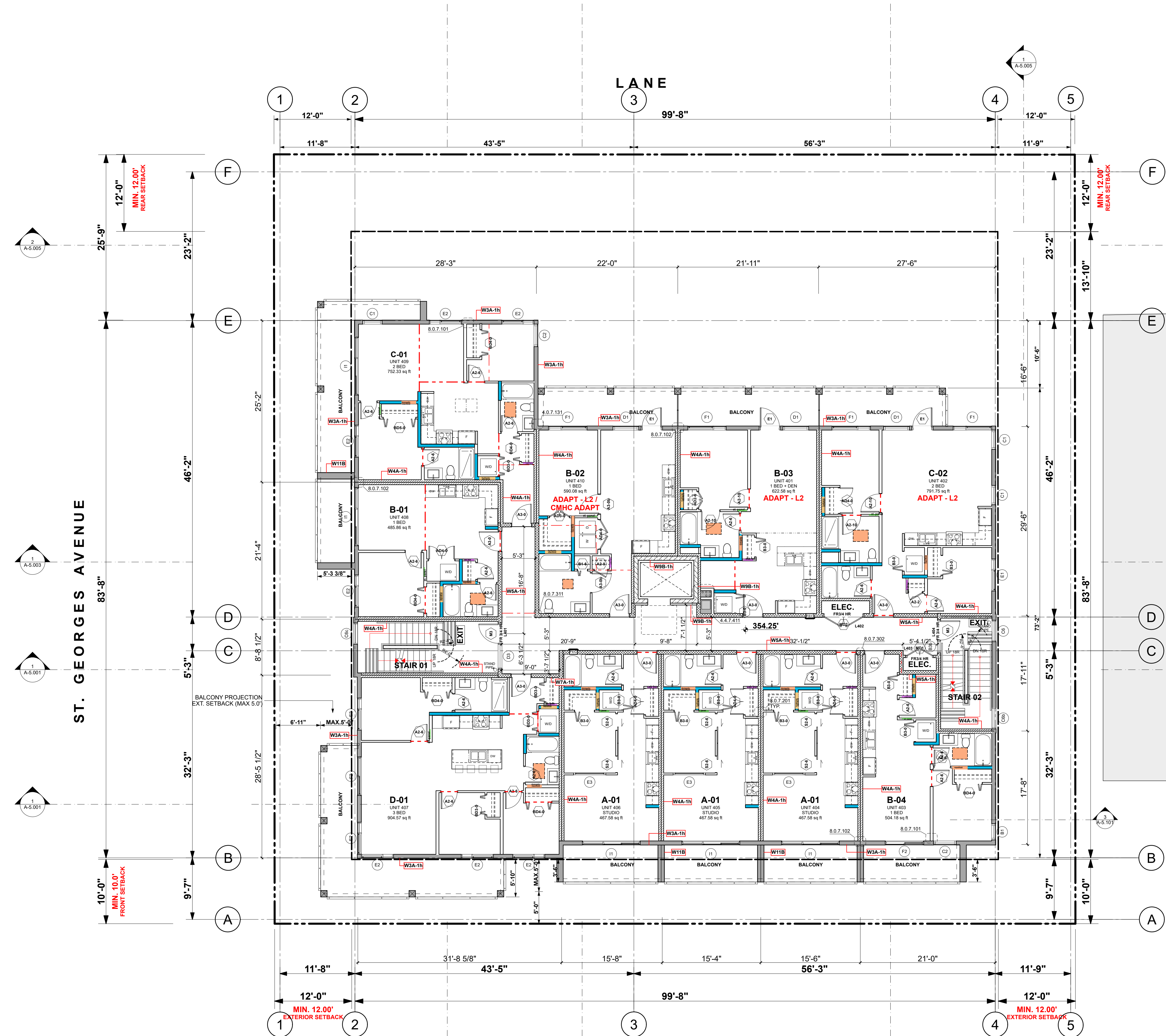
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ENV LEVEL 2 ADAPTABLE REQUIREMENTS - BUILDING & UNITS

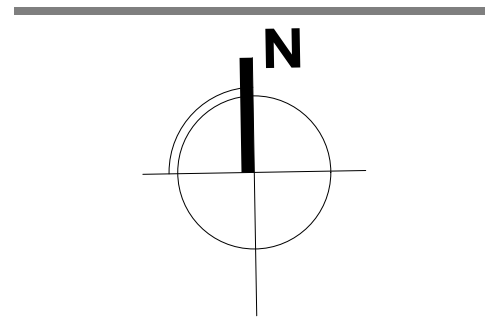
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 8. PROVIDE AUTOMATIC DOOR OPENER FOR AT LEAST ONE BUILDING ENTRY DOOR AT GROUND LEVEL AS WELL AS DOORS LEADING INTO THE BUILDING ON EACH UNDERGROUND PARKABLE LEVEL (WHERE DISABILITY PARKING IS PROVIDED)
 9. DISABILITY PARKING PROVIDED IN ACCORDANCE WITH ZONING BYLAW FIGURE 9-4 AS ATTACHED.
 10. 3' OR 915mm BUILDING AND SUITE ENTRY DOORS
 11. FLUSH THRESHOLDS THROUGHOUT THE BUILDING (MAXIMUM 1/2" OR 13mm HEIGHT)
 12. ACCESSIBLE BUILDING ENTERPHONE, CALL BUTTONS AND, WHERE PROVIDED, SUITE DOOR BELLS
 13. COMMON AREAS
 14. ACCESSIBLE MALIBONES FOR ALL AD LEVEL 2 UNITS, AND 5' OR 1500mm TURNING RADIUS IN FRONT
 15. MINIMUM ONE BATHROOM, MINIMUM ONE BEDROOM AND STORAGE ROOM DOORS 2'-10" OR 600mm CLEAR DOOR OPENING
 16. MINIMUM ONE DOOR 2'-10" OR 600mm CLEAR DOOR OPENING
 17. MINIMUM ONE PATIO OR BALCONY DOORSILL WITH MAXIMUM 1/2" OR 13mm THRESHOLD
 18. MINIMUM 5' OR 1500mm TURNING RADIUS ON PATIO / BALCONY
 19. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR THE SUITE ENTRY DOOR
 20. PROVIDE 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER (POCKET DOORS ACCEPTABLE FOR BATHROOMS AND BEDROOMS)
 21. MINIMUM ONE BATHROOM, MINIMUM ONE BEDROOM AND STORAGE ROOM DOORS 2'-10" OR 600mm CLEAR DOOR OPENING
 22. MINIMUM ONE DOOR 2'-10" OR 600mm CLEAR DOOR OPENING
 23. MINIMUM ONE PATIO OR BALCONY DOORSILL WITH MAXIMUM 1/2" OR 13mm THRESHOLD
 24. MINIMUM 5' OR 1500mm TURNING RADIUS ON PATIO / BALCONY
 25. OPERING MECHANISM MAXIMUM 40" OR 1016mm ABOVE FLOOR (PROVIDE NOTATION ON WINDOW SCHEDULE)
 26. PROVIDE MINIMUM 6" OR 150mm HORIZONTAL WINDOW IN LIVING ROOM, DINING ROOM AND MINIMUM ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 2'-0" OR 750mm ABOVE THE FLOOR
 27. CONTINUOUS COUNTER BETWEEN SINK AND STOVE
 28. TOILET LOCATED ADJACENT TO WALL (MIN 3' OR 915mm LENGTH)
 29. PROVIDE TURNING RADIUS WITHIN BATHROOM (MAY RESULT FROM REMOVAL OF VANITY CABINET)
 30. 3" OR 76mm CLEARANCE ALONG FULL LENGTH OF TUB
 31. TUB CONTROL VALVE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT REMAINING IN CENTRAL POSITION
 32. ACCESSIBLE STORAGE
 33. EASY TO READ BUILDING ADDRESS NUMBERS (MIN. 4" OR 100mm HIGH IN CONTRASTING COLOURS)
 34. LIGHTING LEVELS TO A MINIMUM OF 100 LUX OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND SUITE ENTRIES
 35. NO POLISHED FLOOR ON BUILDING ENTRIES, FLOORING (PROVIDE FLOORING SAMPLES)
 36. EXCEPT FOR POCKET DOORS, SLIDING DOORS, OR DOORS EQUIPPED WITH OPENERS, LEVER DOOR HANDLES ARE REQUIRED ON ALL DOORS (PROVIDE NOTATION ON DOOR SCHEDULE)
 37. SIGNAGE THROUGHOUT COMMON AREAS HAS WELL CONTRASTING COLOURS
 38. ELEVATORS HAVE WELL CONTRASTED CONTROL BUTTONS
 39. SLIP RESISTANT FLOORING
 40. COLOUR CONTRASTING EXIT DOORS
 41. BUILDING MEETING AMENITY ROOMS
 42. PROVIDE CARPET AND DRAPES TO ABSORB SOUND AND DECREASE ECHOS
 43. UNIT ENTRIES
 44. ADJUSTABLE DOOR CLOSERS TO REDUCE FORCE TO OPEN DOOR TO MAXIMUM 22N OR 5 LBS
 45. DOOR HANDLE AT 40" OR 1000mm ABOVE THE FLOOR, WITH DEADBOLT PLACED IMMEDIATELY ABOVE OR BELOW
 46. UNIT FLOORING
 47. NON-SLIP FLOORING IN KITCHEN AND MINIMUM ONE BATHROOM (PROVIDE FLOORING SAMPLES)
 48. HIGH PILE CARPET, LOW LEVEL LOOP CARPET AND UNDERLAY MAXIMUM 1/2" OR 13mm HEIGHT PATIOS AND BALCONIES
 49. OUTDOOR LIGHT FIXTURE PROVIDED
 50. ELECTRICAL OUTLET PROVIDED
 51. ELECTRICAL CONTROLS, THERMOSTATS AND THE HIGHEST BREAKER IN THE SUITE PANEL TO BE INSTALLED NO HIGHER THAN 48" OR 1170mm ABOVE FINISHED FLOOR
 52. ELECTRICAL OUTLETS, CABLE OUTLETS, TELEPHONE JACKS NOT LOWER THAN 18" OR 450mm ABOVE FLOOR
 53. WITHIN SUITES A DUMP EX OUTLET IS REQUIRED WITHIN 8' OR 200mm OF A TELEPHONE JACK
 54. WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM, CONNECTED TO FIRE ALARM SYSTEM ROCKER SWITCHES
 55. WINDOW OPENING AND OPERATED MECHANISM FOR OPENING AND LOOKING WINDOWS
 56. TASK LIGHTING OF AT LEAST 100 LUX LEVEL AT SINK, STOVE AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 57. PULL-OUT WORK BOARDS AT 2'-8" OR 810mm HEIGHTS WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. 10" OR 254mm CABINET HANDLES
 58. LEVER HANDLE FAUCETS AND CABINET HANDLES WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. 10" OR 254mm CABINET HANDLES
 59. ADJUSTABLE SHELVES IN ALL CABINETS
 60. MIN. ONE BATHROOM
 61. SOLID BLOCKING PROVIDED IN WALLS OF TUB / SHOWER AND TOILET AREAS, AND BEHIND TOWEL BARS
 62. PRESSURE BALANCED TUB / SHOWER VALVES PROVIDED IN WATER SUPPLY AND DRAIN TO ALLOW FOR A 4" (100mm) DROP IN VANITY (OPPOSITE PLUMBING)
 63. PROVISION FOR VANITY SINK REMOVAL
 64. ADJUSTABLE HEIGHT SHOWER HEAD OR HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 65. IN-SUITE STORAGE
 66. PROVIDE LIGHT AND ELECTRICAL OUTLET
 67. TELEPHONE JACK
 68. IN-SUITE STORAGE
 69. PROVIDE LIGHT AND ELECTRICAL OUTLET



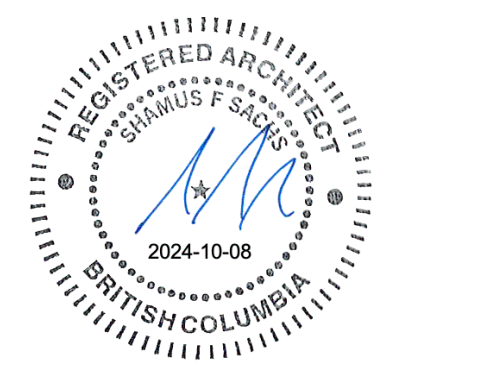
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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

4TH FLOOR

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-2.040

SYMBOLS AND LEGENDS:

- SOFFIT VENT
- INDICATES WALL TYPE / WALL RATING (HR)
- INDICATES WINDOW TYPE
- INDICATES DOOR TYPE / WALL RATING (HR)
- REFERENCE NUMBER / PAGE
- DETAIL REFERENCE NUMBER
- [W2] CONCRETE BLOCK WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- [W1A, W1B] CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- [W3A, W3B] EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- [W4A, W4B] PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- [W5A] CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- [W6A] INTERIOR WALL
- [W6B] INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC
- INTERIOR UPSTAND WALL - NOT FULL HEIGHT
- LANDSCAPE WALL - NOT FULL HEIGHT
- [W7A] SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- ROOF DECK UPSTAND WALL
- CONCRETE COLUMN
- FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING
- FIRE BLOCKING
- AREA CLEAR OF ANY OBSTRUCTIONS FOR ACCESSIBLE ACCESS
- 6.18 MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION
- ROOF VENTS 50 SQUARE INCHES FREE AIR AREA (0.347 SF)
- VAULTED CEILING ABOVE
- DROPPED CEILING ABOVE
- ROOF ACCESS HATCH ABOVE
- WATER CURTAIN - REFER TO CODE CONSULTANT REPORT
- RAIN WATER LEADER
- PROPERTY LINE
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GENERAL NOTES:

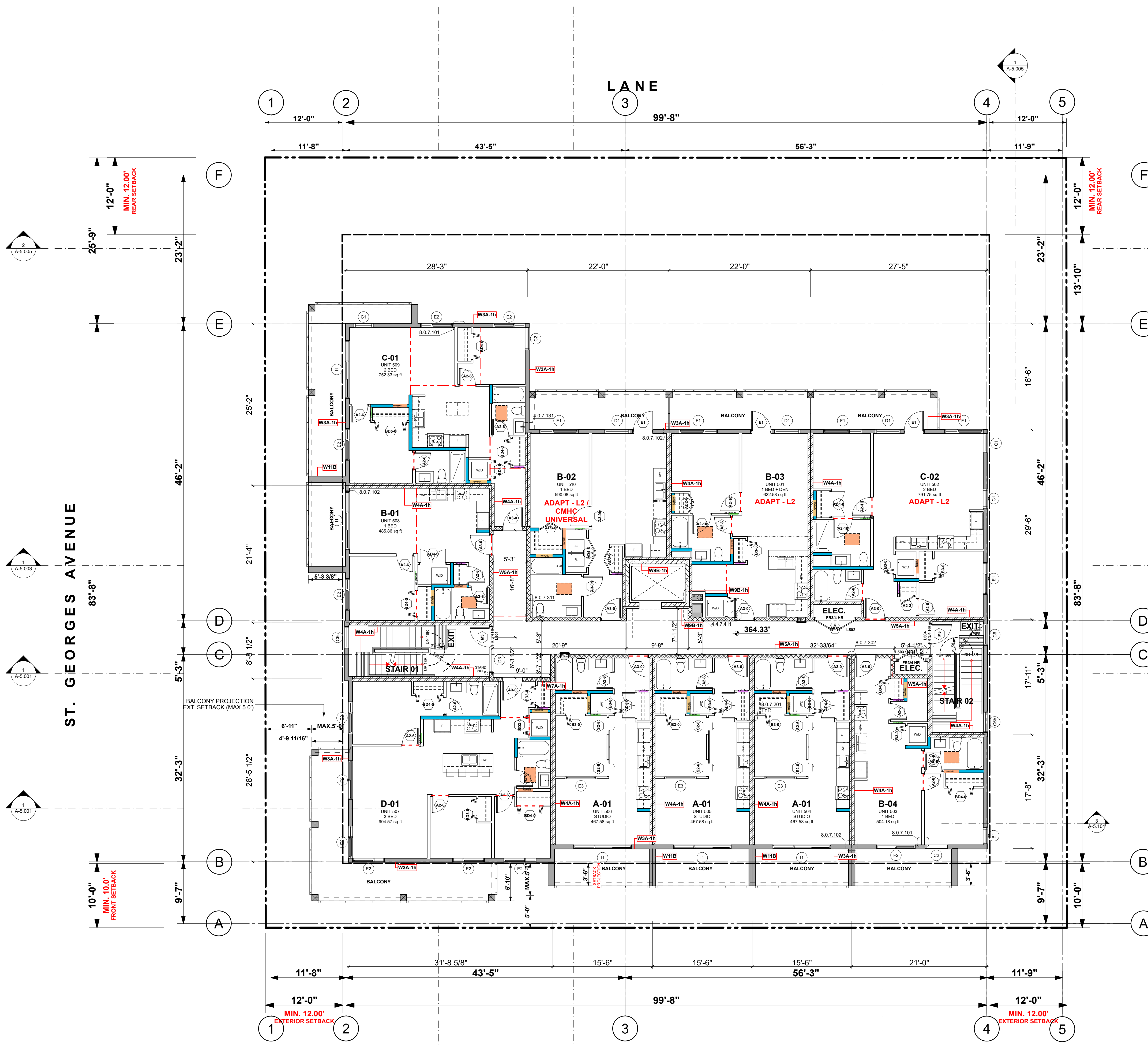
1. REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
2. REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
4. SEE INTERIOR DESIGN CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES AND DETAILS.
5. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1m CEILING HEIGHT).
6. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
7. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
8. VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
9. PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2.0' IN HEIGHT WITH ONE MIN CLEAR FINISHED DIMENSION 550mm x 900mm (1'-10" x 2'-11 1/2") AS PER BCBC 2018 3.6.4.4.
10. PROVIDE FIRE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING AT ALL PARTY WALL, CORRIDOR WALL, EXIT STAIR & SHAFT LOCATIONS. NO FRAMING OR TRUSS MEMBERS ARE TO PENETRATE FIRE SEPARATION.
11. PROVIDE FIRE BLOCKS AS PER 3.1.11, BC BUILDING CODE 2018 AT ALL COMBUSTIBLE CONCEALED SPACES INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
12. PROVIDE FIRE BLOCK MATERIALS AS PER 3.1.11.7, BC BUILDING CODE 2018 - 0.30mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/4" LUMBER WITH STAGGERED JOINTS, OR 1 1/2" THICK LUMBER. FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING.
13. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING, AND LAYOUT RETAINING WALLS, SIDEWALKS, PATIOS, PLANTERS AND FENCING.
14. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
15. REFER TO THE CODE CONSULTANT REPORT FOR THE ALTERNATIVE BUILDING SOLUTIONS TO THE BC BUILDING CODE 2018.
16. REFER TO THE ACOUSTICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW & WALL DESIGN.
17. PROVIDE MIN. 2% SLOPE AT BALCONIES AND ROOFS.
18. PROVIDE BULKHEADS FOR ALL SPRINKLER DROPS.
19. ALL RAILINGS AT GRADE ARE SHOWN ON LANDSCAPE DRAWINGS.
20. STAND PIPES ARE EXPOSED.
21. ADD A SECOND LAYER OF 5/8" (16mm) TYPEX GYPSUM WALL BOARD ON THE INTERIOR SIDE OF SOUTH FACADE WALLS (SEE DETAIL 04.01.031)

ABBREVIATIONS:

- BG BUILDING GRADE
- IBG INTERPOLATED BUILDING GRADE
- EG EXISTING GRADE
- FG FINISH GRADE
- TV TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF SLAB
- CB CATCH BASIN
- FD FLOOR DRAIN
- RD ROOF DRAIN
- AD AREA DRAIN
- SD SLAB DRAIN
- RWL RAIN WATER LEADER

RCP LEGEND:

- DIRECTION OF SOFFIT INDICATED



CNV LEVEL 2 ADAPTABLE REQUIREMENTS - BUILDING & UNITS

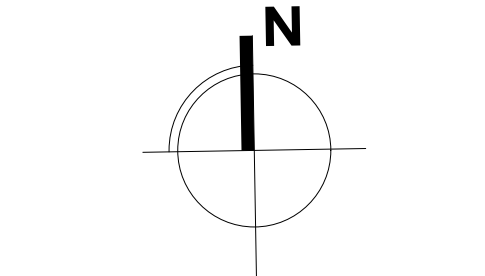
- DESIGN ELEMENTS**
1. OUTDOOR STAIRS - MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAIR
 2. CURB CUTS HAVE TACTILE AND VISUAL CUES UNOBSTRUCTED ACCESS TO MAIN BUILDING ENTRANCES FROM STREETSIDE WALKS
 3. UNOBSTRUCTED INTERNAL ACCESS: FROM PARKING LEVELS CONTAINING ACCESSIBLE PARKING (5' OR 1500mm CORRIDORS 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCH)
 4. GARBAGE AND RECYCLING RECEPTACLES AND STORAGE LOCKERS
 5. NO STAIRS WITHIN BUILDING CIRCULATION INCLUDING CORRIDORS ON RESIDENTIAL LEVELS
 6. ACCESSIBLE STORAGE LOCKERS FOR EACH UNIT
 7. CANOPY OVER MAIN BUILDING ENTRANCES (3' OR 915mm) AND ENTERPHONE
 8. PROVIDE AUTOMATIC DOOR OPENER FOR AT LEAST ONE BUILDING ENTRY DOOR AT GROUND LEVEL AS WELL AS DOORS LEADING INTO THE BUILDING ON EACH UNDERGROUND PARKABLE LEVEL (WHERE DISABILITY PARKING IS PROVIDED)
 9. DISABILITY PARKING PROVIDED IN ACCORDANCE WITH ZONING BYLAW FIGURE 9-4 AS ATTACHED
 10. 3' OR 915mm BUILDING AND SUITE ENTRY DOORS
 11. FLUSH THRESHOLDS THROUGHOUT THE BUILDING (MAXIMUM 1/2" OR 13mm HEIGHT)
 12. ACCESSIBLE BUILDING ENTERPHONE, CALL BUTTONS AND, WHERE PROVIDED, SUITE DOOR BELLS
 13. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR THE SUITE ENTRY DOOR
 14. PROVIDE 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER (POCKET DOORS ACCEPTABLE FOR BATHROOMS AND BEDROOMS)
 15. MINIMUM ONE BATHROOM, MINIMUM ONE BEDROOM AND STORAGE ROOM DOORS 2'-10" OR 600mm CLEAR DOOR OPENING
 16. MINIMUM ONE DOOR 2'-10" OR 600mm CLEAR DOOR OPENING
 17. MINIMUM ONE PATIO OR BALCONY DOORSILL WITH MAXIMUM 1/2" OR 13mm THRESHOLD
 18. MINIMUM 5' OR 1500mm TURNING RADIUS ON PATIO / BALCONY
 19. PROVIDE MECHANISM MAXIMUM 40" OR 1016mm ABOVE FLOOR (PROVIDE NOTATION ON WINDOW SCHEDULE)
 20. PROVIDE MINIMUM 6" OR 150mm HORIZONTAL WINDOW IN LIVING ROOM, DINING ROOM AND MINIMUM ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 2'-0" OR 750mm ABOVE THE FLOOR
 21. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR THE SUITE ENTRY DOOR
 22. CONTINUOUS COUNTER BETWEEN SINK AND STOVE
 23. TOILET LOCATED ADJACENT TO WALL (MIN 3' OR 915mm LENGTH)
 24. PROVIDE TURNING RADIUS WITHIN BATHROOM (MAY RESULT FROM REMOVAL OF VANITY CABINET)
 25. 3" OR 76mm CLEARANCE ALONG FULL LENGTH OF TUB
 26. TUB CONTROL VALVE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT REMAINING IN CENTRAL POSITION
 27. ACCESSIBLE STORAGE
 28. EASY TO READ BUILDING ADDRESS NUMBERS (MIN. 4" OR 100mm HIGH IN CONTRASTING COLOURS)
 29. LIGHTING LEVELS TO A MINIMUM OF 100 LUX OUTSIDE AND INSIDE MAIN BUILDING ENTRANCES AND SUITE ENTRANCES
 30. NO POLISHED FINISH ON BUILDING ENTRY FLOORING (PROVIDE FLOORING SAMPLES)
 31. EXCEPT FOR POCKET DOORS, SLIDING DOORS, OR DOORS EQUIPPED WITH OPENERS, LEVER DOOR HANDLES ARE REQUIRED ON ALL DOORS (PROVIDE NOTATION ON DOOR SCHEDULE)
 32. SIGNAGE THROUGHOUT COMMON AREAS HAS WELL CONTRASTING COLOURS
 33. ELEVATORS HAVE WELL CONTRASTED CONTROL BUTTONS
 34. SLIP RESISTANT FLOORING
 35. COLOUR CONTRASTING EXIT DOORS
 36. BUILDING MEETING AMENITY ROOMS
 37. PROVIDE CARPET AND DRAPES TO ABSORB SOUND AND DECREASE ECHOS
 38. UNIT ENTRANCES
 39. ADJUSTABLE DOOR CLOSERS TO REDUCE FORCE TO OPEN DOOR TO MAXIMUM 22N OR 5 LBS
 40. DOOR HANDLE AT 40" OR 1000mm ABOVE THE FLOOR, WITH DEADBOLT PLACED IMMEDIATELY ABOVE OR BELOW
 41. UNIT FLOORING
 42. NON-SLIP FLOORING IN KITCHEN AND MINIMUM ONE BATHROOM (PROVIDE FLOORING SAMPLES)
 43. HIGH DENSITY, LOW LEVEL LOOP CARPET AND UNDERLAY MAXIMUM 1/2" OR 13mm HEIGHT PATIOS AND BALCONIES
 44. OUTDOOR LIGHT FIXTURE PROVIDED
 45. ELECTRICAL OUTLET PROVIDED
 46. SWITCHES, CONTROLS, THERMOSTATS AND THE HIGHEST BREAKER IN THE SUITE PANEL TO BE INSTALLED NO HIGHER THAN 48" OR 1170mm ABOVE FINISHED FLOOR
 47. ELECTRICAL OUTLETS, CABLE OUTLETS, TELEPHONE JACKS NOT LOWER THAN 18" OR 450mm ABOVE FLOOR
 48. WITHIN SUITES A DUMP EX OUTLET IS REQUIRED WITHIN 8' OR 200mm OF A TELEPHONE JACK
 49. WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM, CONNECTED TO FIRE ALARM SYSTEM ROCKER SWITCHES
 50. EASY GRABBED AND OPERATED MECHANISM FOR OPENING AND LOOKING WINDOWS
 51. KITCHENS
 52. TASK LIGHTING OF AT LEAST 100 LUX LEVEL AT SINK, STOVE AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 53. PULL-OUT WORK BOARDS AT 2'-8" OR 810mm HEIGHTS WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. 10" OR 254mm CABINET
 54. ADJUSTABLE SHELVES IN ALL CABINETS
 55. MIN. ONE BATHROOM
 56. SOLID BLOCKING PROVIDED IN WALLS OF TUB / SHOWER AND TOILET AREAS, AND BEHIND TONEL BARS
 57. PRESSURE BALANCED TUB / SHOWER VALVES
 58. PROVISION IN WATER SUPPLY AND DRAIN TO ALLOW FOR A 4" (100mm) DROP IN VANITY (OFFSET PLUMBING)
 59. PROVISION FOR VANITY SINK REMOVAL
 60. ADJUSTABLE HEIGHT SHOWER HEAD OR HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 61. LIVING ROOM
 62. ONE SWITCHED ELECTRICAL OUTLET BEDROOMS
 63. THREE-WAY SWITCHED OUTLET AT BED AREA AND DOORWAY
 64. PROVIDE LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 65. TELEPHONE JACK
 66. IN-SUITE STORAGE
 67. PROVIDE LIGHT AND ELECTRICAL OUTLET



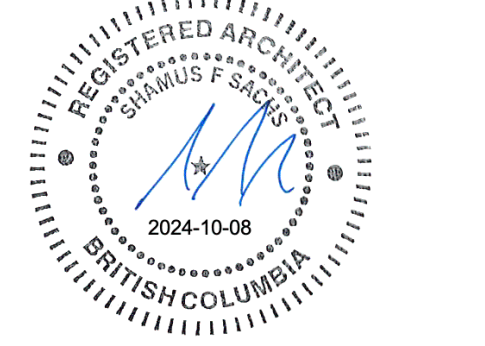
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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

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[PROJECT]

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NORTH VANCOUVER, BC

[TITLE]

5TH FLOOR

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-2.050

SYMBOLS AND LEGENDS:

- SOFFIT VENT
- INDICATES WALL TYPE / WALL RATING (HR)
- INDICATES WINDOW TYPE
- INDICATES DOOR TYPE / WALL RATING (HR)
- REFERENCE NUMBER / PAGE
- DETAIL REFERENCE NUMBER
- CONCRETE BLOCK WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR WALL
- INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC
- INTERIOR UPSTAND WALL - NOT FULL HEIGHT
- LANDSCAPE WALL - NOT FULL HEIGHT
- SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- ROOF DECK UPSTAND WALL
- CONCRETE COLUMN
- FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING
- FIRE BLOCKING
- AREA CLEAR OF ANY OBSTRUCTIONS FOR ACCESSIBLE ACCESS
- MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION
- ROOF VENTS 50 SQUARE INCHES FREE AIR AREA (0.347 SF)
- VAULTED CEILING ABOVE
- DROPPED CEILING ABOVE
- ROOF ACCESS HATCH ABOVE
- WATER CURTAIN - REFER TO CODE CONSULTANT REPORT
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GENERAL NOTES:

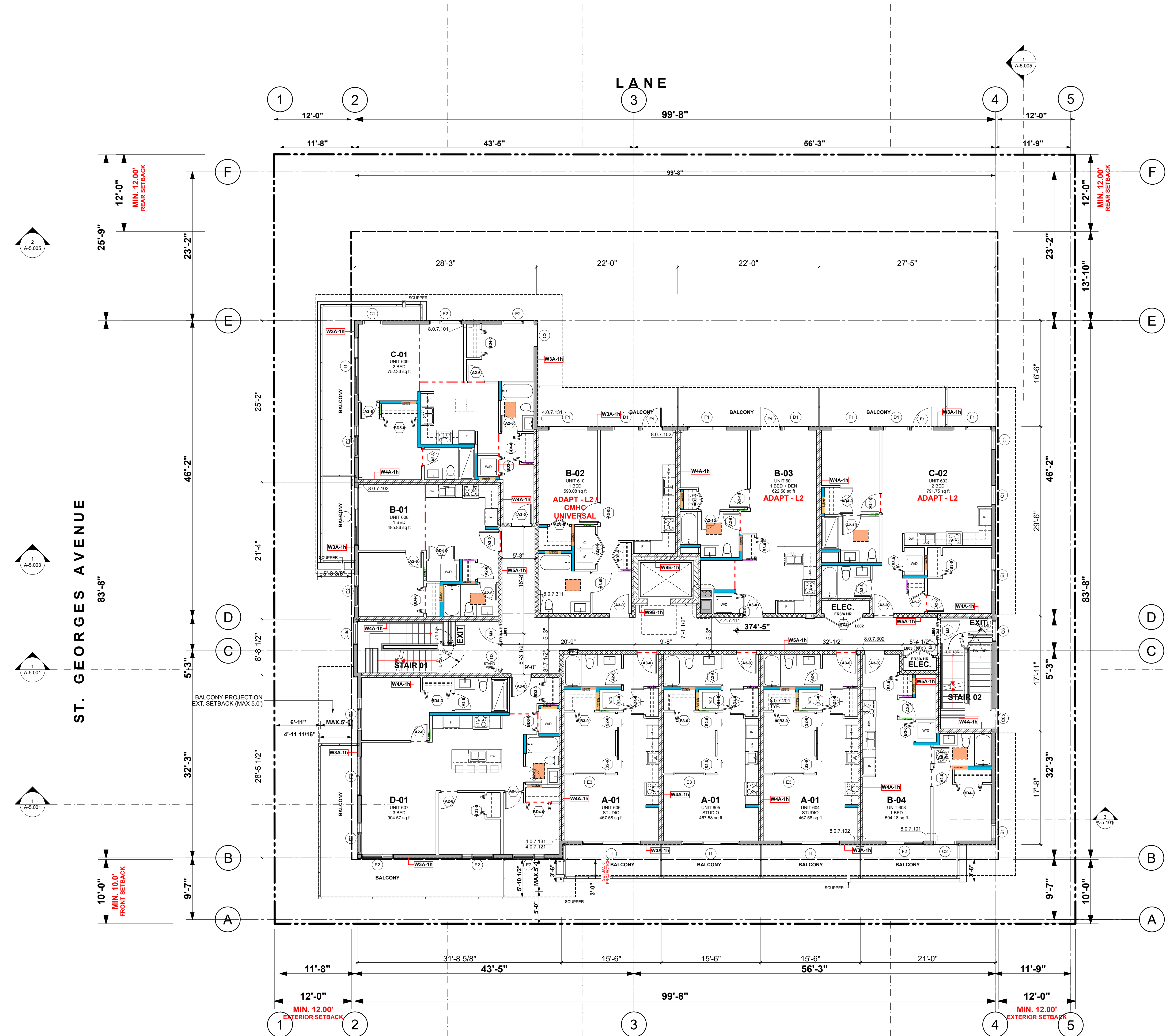
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2. REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
4. SEE INTERIOR DESIGN CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES AND DETAILS.
5. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2" TO CEILING HEIGHT).
6. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
7. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
8. VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
9. PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2'0" IN HEIGHT WITH ONE MIN. CLEAR FINISHED DIMENSION 550mm x 900mm (1'-10" x 2'-11 1/2") AS PER BCBC 2018 3.6.4.4.
10. PROVIDE FIRE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING AT ALL PARTY WALL, CORRIDOR WALL, EXIT STAIR & SHAFT LOCATIONS. NO FRAMING OR TRUSS MEMBERS ARE TO PENETRATE FIRE SEPARATION.
11. PROVIDE FIRE BLOCKS AS PER 3.1.11.11 BC BUILDING CODE 2018 AT ALL COMBUSTIBLE CONCEALED SPACES INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
12. PROVIDE FIRE BLOCK MATERIALS AS PER 3.1.11.17 BC BUILDING CODE 2018 - 0.30mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/4" LUMBER WITH STAGGERED JOINTS, OR 1 1/2" THICK LUMBER, FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING.
13. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING, AND LAYOUT RETAINING WALLS, SIDEWALKS, PATIOS, PLANTERS AND FENCING.
14. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
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17. PROVIDE MIN. 2% SLOPE AT BALCONIES AND ROOFS.
18. PROVIDE BULKHEADS FOR ALL SPRINKLER DROPS.
19. ALL RAILINGS AT GRADE ARE SHOWN ON LANDSCAPE DRAWINGS.
20. STAND PIPES ARE EXPOSED.
21. ADD A SECOND LAYER OF 5/8" (16mm) TYPEX GYPSUM WALL BOARD ON THE INTERIOR SIDE OF SOUTH FACADE WALLS (SEE DETAIL 04.01.031)

ABBREVIATIONS:

- BG BUILDING GRADE
- IBG INTERPOLATED BUILDING GRADE
- EG EXISTING GRADE
- FG FINISH GRADE
- FW FINISH GRADE
- TV TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF SLAB
- CB CATCH BASIN
- FD FLOOR DRAIN
- RD ROOF DRAIN
- AD AREA DRAIN
- SD SLAB DRAIN
- RWL RAIN WATER LEADER

RCP LEGEND:

- DIRECTION OF SOFFIT INDICATED



CNV LEVEL 2 ADAPTABLE REQUIREMENTS - BUILDING & UNITS

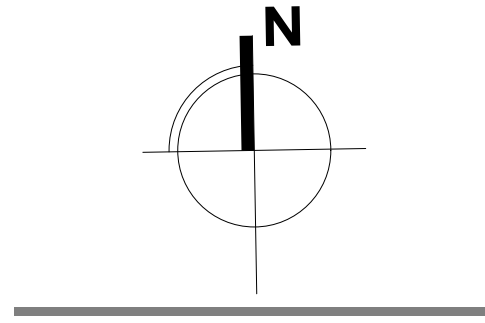
1. OUTDOOR STAIRS - MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAIR
2. CURB CUTS HAVE TACTILE AND VISUAL CUES UNOBSTRUCTED ACCESS TO MAIN BUILDING ENTRANCES FROM STREETSIDE WALKS
3. UNOBSTRUCTED INTERNAL ACCESS - FROM PARKING LEVELS CONTAINING ACCESSIBLE PARKING (5' OR 1500mm CORRIDORS 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCH)
4. GARBAGE AND RECYCLING RECEPTACLES AND STORAGE LOCKERS
5. NO STAIRS WITHIN BUILDING CIRCULATION INCLUDING CORRIDORS ON RESIDENTIAL LEVELS
6. ACCESSIBLE STORAGE LOCKERS FOR EACH UNIT
7. CANOPY OVER MAIN BUILDING ENTRANCES (3' OR 915mm) AND ENTERPHONE
8. PROVIDE AUTOMATIC DOOR OPENER FOR AT LEAST ONE BUILDING ENTRY DOOR AT GROUND LEVEL AS WELL AS DOORS LEADING INTO THE BUILDING ON EACH UNDERGROUND PARKABLE LEVEL (WHERE DISABILITY PARKING IS PROVIDED)
9. DISABILITY PARKING PROVIDED IN ACCORDANCE WITH ZONING BYLAW FIGURE 9-4 AS ATTACHED
10. 3' OR 915mm BUILDING AND SUITE ENTRY DOORS
11. FLUSH THRESHOLDS THROUGHOUT THE BUILDING (MAXIMUM 1/2" OR 13mm HEIGHT)
12. ACCESSIBLE BUILDING ENTERPHONE, CALL BUTTONS AND, WHERE PROVIDED, SUITE DOOR BELLS
13. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR THE SUITE ENTRY DOOR
14. PROVIDE 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER (POCKET DOORS ACCEPTABLE FOR BATHROOMS AND BEDROOMS)
15. MINIMUM ONE BATHROOM, MINIMUM ONE BEDROOM AND STORAGE ROOM DOORS 2'-10" OR 600mm CLEAR DOOR DOORS
16. MINIMUM ONE DOOR 2'-10" OR 600mm CLEAR DOOR OPENING
17. MINIMUM ONE PATIO OR BALCONY DOORSILL WITH MAXIMUM 1/2" OR 13mm THRESHOLD
18. MINIMUM 5' OR 1500mm TURNING RADIUS ON PATIO / BALCONY
19. OPENING MECHANISM MAXIMUM 48" OR 1168mm ABOVE FLOOR (PROVIDE NOTATION ON WINDOW SCHEDULE)
20. PROVIDE MINIMUM 6'0" OR 1800mm HORIZONTAL WINDOW IN LIVING ROOM, DINING ROOM AND MINIMUM ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 2'-0" OR 750mm ABOVE THE FLOOR
21. KITCHEN
22. CONTINUOUS COUNTER BETWEEN SINK AND STOVE
23. MIN. ONE BATHROOM
24. TOILET LOCATED ADJACENT TO WALL (MIN 3' OR 915mm LENGTH)
25. PROVIDE TURNING RADIUS WITHIN BATHROOM (MAY RESULT FROM REMOVAL OF VANITY CABINET)
26. 3" OR 76mm CLEARANCE ALONG FULL LENGTH OF TUB
27. TUB CONTROL VALVE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT REMAINING IN CENTRAL POSITION
28. ACCESSIBLE STORAGE
29. FIXTURES AND FINISHES
30. BASIC
31. EASY TO READ BUILDING ADDRESS NUMBERS (MIN. 4" OR 100mm HIGH IN CONTRASTING COLOURS)
32. LIGHTING LEVELS TO A MINIMUM OF 100 LUX OUTSIDE AND INSIDE MAIN BUILDING ENTRANCES AND SUITE ENTRANCES
33. NO POLISHED FINISH ON BUILDING ENTRY FLOORING (PROVIDE FLOORING SAMPLES)
34. EXCEPT FOR POCKET DOORS, SLIDING DOORS, OR DOORS EQUIPPED WITH OPENERS, LEVER DOOR HANDLES ARE REQUIRED ON ALL DOORS (PROVIDE NOTATION ON DOOR SCHEDULE)
35. SIGNAGE THROUGHOUT COMMON AREAS HAS WELL CONTRASTING COLOURS
36. ELEVATORS HAVE WELL CONTRASTED CONTROL BUTTONS
37. CIRCULATION
38. SLIP RESISTANT FLOORING
39. COLOUR CONTRASTING EXIT DOORS
40. BUILDING MEETING AMENITY ROOMS
41. PROVIDE CARPET AND DRAPES TO ABSORB SOUND AND DECREASE ECHOS
42. UNIT ENTRANCES
43. ADJUSTABLE DOOR CLOSERS TO REDUCE FORCE TO OPEN DOOR TO MAXIMUM 22N OR 5 LBS
44. DOOR HANDLE AT 48" OR 1000mm ABOVE THE FLOOR, WITH DEADBOLT PLACED IMMEDIATELY ABOVE OR BELOW
45. UNIT FLOORING
46. NON-SLIP FLOORING IN KITCHEN AND MINIMUM ONE BATHROOM (PROVIDE FLOORING SAMPLES)
47. HIGH DENSITY, LOW LEVEL LOOP CARPET AND UNDERLAY MAXIMUM 1/2" OR 13mm HEIGHT PATIOS AND BALCONIES
48. OUTDOOR LIGHT FIXTURE PROVIDED
49. ELECTRICAL OUTLET PROVIDED
50. ELECTRICAL
51. SWITCHES, CONTROLS, THERMOSTATS AND THE HIGHEST BREAKER IN THE SUITE PANEL TO BE INSTALLED NO HIGHER THAN 48" OR 1170mm ABOVE FINISHED FLOOR
52. ELECTRICAL OUTLETS, CABLE OUTLETS, TELEPHONE JACKS LOWER THAN 18" OR 450mm ABOVE FLOOR
53. WITHIN SUITES A LIGHT EX. OUTLET IS REQUIRED WITHIN 8" OR 200mm OF A TELEPHONE JACK
54. WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM, CONNECTED TO FIRE ALARM SYSTEM ROCKER SWITCHES
55. WINDOWS
56. EASILY GRABBED AND OPERATED MECHANISM FOR OPENING AND LOOKING WINDOWS
57. KITCHEN
58. TASK LIGHTING OF AT LEAST 100 LUX LEVEL AT SINK, STOVE AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
59. PULL-OUT WORK BOARDS AT 2'-8" OR 810mm HEIGHTS
60. LEVER HANDLE FAUCETS AND CABINET HANDLES WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. "D" OR "J" CABINET
61. ADJUSTABLE SHELVES IN ALL CABINETS
62. MIN. ONE BATHROOM
63. SOLID BLOCKING PROVIDED IN WALLS OF TUB / SHOWER AND TOILET AREAS, AND BEHIND TONEL BARS
64. PRESSURE BALANCED TUB / SHOWER VALVES
65. PROVISION IN WATER SUPPLY AND DRAIN TO ALLOW FOR A 4" (100mm) DROP IN VANITY (OFFSET PLUMBING)
66. PROVISION FOR VANITY SINK REMOVAL
67. ADJUSTABLE HEIGHT SHOWER HEAD OR HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
68. LIVING ROOM
69. ONE SWITCHED ELECTRICAL OUTLET PER BEDROOM
70. THREE-WAY SWITCHED OUTLET AT BED AREA AND DOORWAY
71. PROVIDE LIGHT FIXTURE IN OR ADJACENT TO CLOSET
72. TELEPHONE JACK
73. IN-SUITE STORAGE
74. PROVIDE LIGHT AND ELECTRICAL OUTLET



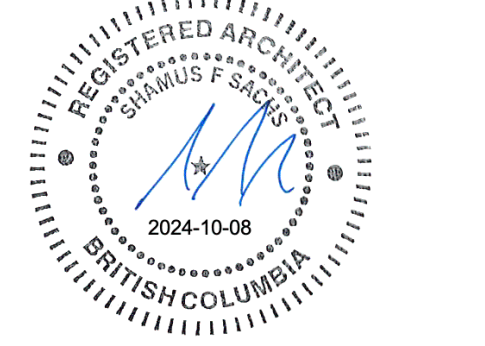
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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

6TH FLOOR

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-2.060

SYMBOLS AND LEGENDS:

- SOFFIT VENT
- INDICATES WALL TYPE / WALL RATING (HR)
- INDICATES WINDOW TYPE
- INDICATES DOOR TYPE / WALL RATING (HR)
- REFERENCE NUMBER / PAGE
- DETAIL REFERENCE NUMBER
- CONCRETE BLOCK WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR WALL
- INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC
- INTERIOR UPSTAND WALL - NOT FULL HEIGHT
- LANDSCAPE WALL - NOT FULL HEIGHT
- SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- ROOF DECK UPSTAND WALL
- CONCRETE COLUMN
- FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING
- FIRE BLOCKING
- AREA CLEAR OF ANY OBSTRUCTIONS FOR ACCESSIBLE ACCESS
- MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION
- ROOF VENTS 50 SQUARE INCHES FREE AIR AREA (0.347 SF)
- VAULTED CEILING ABOVE
- DROPPED CEILING ABOVE
- ROOF ACCESS HATCH ABOVE
- WATER CURTAIN - REFER TO CODE CONSULTANT REPORT
- RAIN WATER LEADER
- PROPERTY LINE
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- BUILDING / ELEMENTS ABOVE
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GENERAL NOTES:

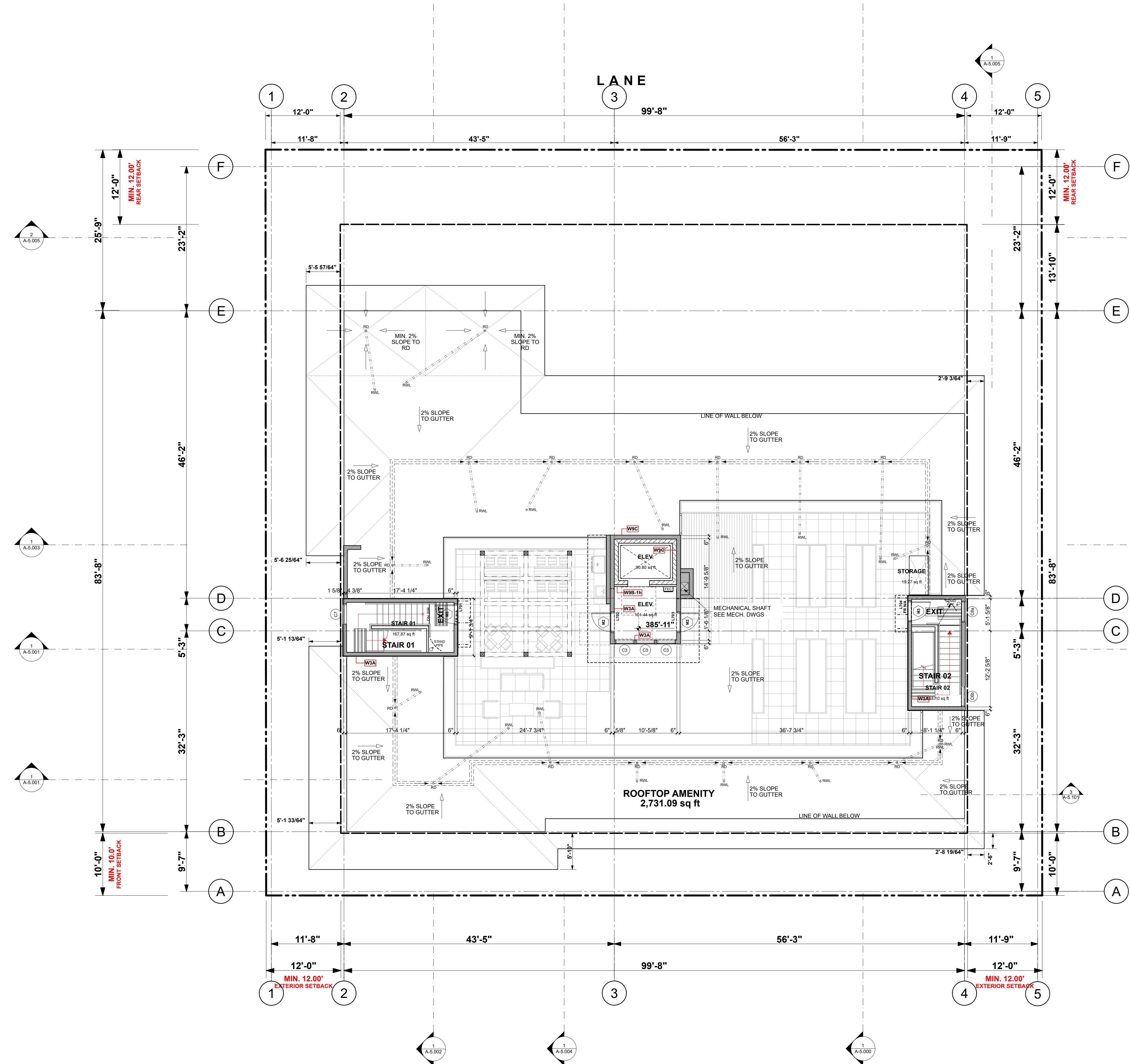
1. REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
2. REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
4. SEE INTERIOR DESIGN CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES AND DETAILS.
5. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1m CEILING HEIGHT).
6. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
7. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
8. VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
9. PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2'0" IN HEIGHT WITH ONE MIN. CLEAR FINISHED DIMENSION 550mm x 900mm (1'-10" x 2'-11 1/2") AS PER BCBC 2018 8.6.4.4.
10. PROVIDE FIRE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING AT ALL PARTY WALL, CORRIDOR WALL, EXIT STAIR & SHAFT LOCATIONS. NO FRAMING OR TRUSS MEMBERS ARE TO PENETRATE FIRE SEPARATION.
11. PROVIDE FIRE BLOCKS AS PER 3.1.11 BC BUILDING CODE 2018 AT ALL COMBUSTIBLE CONCEALED SPACES INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
12. PROVIDE FIRE BLOCK MATERIALS AS PER 3.1.11.7 BC BUILDING CODE 2018 - 0.30mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/4" LUMBER WITH STAGGERED JOINTS, OR 1 1/2" THICK LUMBER. FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING.
13. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS, SIDEWALKS, PATIOS, PLANTERS AND FENCING.
14. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
15. REFER TO THE CODE CONSULTANT REPORT FOR THE ALTERNATIVE BUILDING SOLUTIONS TO THE BC BUILDING CODE 2018.
16. REFER TO THE ACOUSTICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW & WALL DESIGN.
17. PROVIDE MIN. 2% SLOPE AT BALCONIES AND ROOFS.
18. PROVIDE BULKHEADS FOR ALL SPRINKLER DROPS.
19. ALL RAILINGS AT GRADE ARE SHOWN ON LANDSCAPE DRAWINGS.
20. STAND PIPES ARE EXPOSED.
21. ADD A SECOND LAYER OF 5/8" (16mm) TYPEX GYPSUM WALL BOARD ON THE INTERIOR SIDE OF SOUTH FACADE WALLS (SEE DETAIL 04.01.031)

ABBREVIATIONS:

- BG BUILDING GRADE
- IBG INTERPOLATED BUILDING GRADE
- EG EXISTING GRADE
- FG FINISH GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF SLAB
- CB CATCH BASIN
- FD FLOOR DRAIN
- RD ROOF DRAIN
- AD AREA DRAIN
- SD SLAB DRAIN
- LD RAIN WATER LEADER
- RWL

RCP LEGEND:

- DIRECTION OF SOFFIT INDICATED

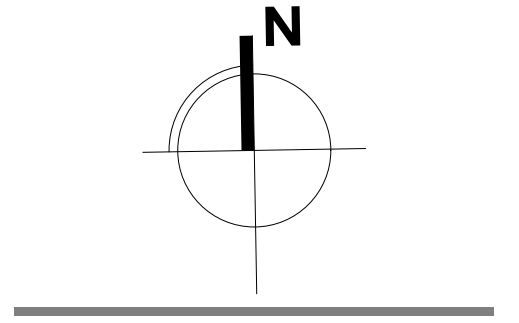


- CNV LEVEL 2 ADAPTABLE REQUIREMENTS - BUILDING & UNITS**
- DESIGN ELEMENTS**
- BUILDING ACCESS**
1. OUTDOOR STAIRS - MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAIR
 2. CURB CUTS HAVE TACTILE AND VISUAL CUES UNOBSTRUCTED ACCESS TO MAIN BUILDING ENTRANCES FROM STREETS/PAVEMENT
 3. UNOBSTRUCTED INTERNAL ACCESS - FROM PARKING LEVELS CONTAINING ACCESSIBLE PARKING (5' OR 1500mm CORRIDORS 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCH)
 4. GARBAGE AND RECYCLING RECEPTACLES AND STORAGE LOCKERS
 5. NO STAIRS WITH BUILDING CIRCULATION INCLUDING CORRIDORS ON RESIDENTIAL LEVELS
 6. ACCESSIBLE STORAGE LOCKERS FOR EACH UNIT
 7. CANOPY OVER MAIN BUILDING ENTRANCES (3' OR 915mm) AND ENTERRPHONE
 8. PROVIDE AUTOMATIC DOOR OPENER FOR AT LEAST ONE BUILDING ENTRY DOOR AT GROUND LEVEL AS WELL AS DOORS LEADING INTO THE BUILDING ON EACH UNDERGROUND PARKABLE LEVEL WHERE DISABILITY PARKING IS PROVIDED.
 9. DISABILITY PARKING PROVIDED IN ACCORDANCE WITH ZONING BYLAW FIGURE 9-4 AS ATTACHED.
 10. 3' OR 915mm BUILDING AND SUITE ENTRY DOORS
 11. FLUSH THRESHOLDS THROUGHOUT THE BUILDING (MAXIMUM 1/2" OR 13mm HEIGHT)
 12. ACCESSIBLE BUILDING ENTERPHONE, CALL BUTTONS AND, WHERE PROVIDED, SUITE DOOR BELLS
- COMMON AREAS**
1. ACCESSIBLE MAILBOXES FOR ALL AD LEVEL 2 UNITS, AND 5' OR 1500mm TURNING RADIUS IN FRONT
 2. CORRIDORS MINIMUM 4' OR 1200mm WIDE (EXCEPT FOR SERVICE ACCESS AREAS)
 3. PROVIDE 5' OR 1500mm TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY CORRIDOR OF EACH DWELLING UNIT
 4. SUITE CIRCULATION
 5. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR THE SUITE ENTRY DOOR
 6. PROVIDE 2' OR 610mm CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER (POCKET DOORS ACCEPTABLE FOR BATHROOMS AND BEDROOMS)
 7. MINIMUM ONE BATHROOM, MINIMUM ONE BEDROOM AND STORAGE ROOM DOORS 2'-10" OR 600mm CLEAR DOOR OPENING
 8. MINIMUM ONE DOOR 2'-10" OR 600mm CLEAR DOOR OPENING
 9. MINIMUM ONE PATIO OR BALCONY DOORSILL WITH MAXIMUM 1/2" OR 13mm THRESHOLD
 10. MINIMUM 5' OR 1500mm TURNING RADIUS ON PATIO / BALCONY
 11. OPENING MECHANISM MAXIMUM 40" OR 1016mm ABOVE FLOOR (PROVIDE NOTATION ON WINDOW SCHEDULE)
 12. PROVIDE MINIMUM 6'0" OR 1800mm HORIZONTAL WINDOW IN LIVING ROOM, DINING ROOM AND MINIMUM ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 2'-0" OR 750mm ABOVE THE FLOOR.
 13. CONTINUOUS COUNTER BETWEEN SINK AND STOVE
 14. TOILET LOCATED ADJACENT TO WALL (MIN 3' OR 915mm LENGTH)
 15. PROVIDE TURNING RADIUS WITHIN BATHROOM (MAY RESULT FROM REMOVAL OF VANITY CABINET)
 16. 3' OR 915mm CLEARANCE ALONG FULL LENGTH OF TUB
 17. TUB CONTROL VALVE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT REMAINING IN CENTRAL POSITION.
 18. ACCESSIBLE STORAGE
- FIXTURES AND FINISHES**
- BASIC**
1. EASY TO READ BUILDING ADDRESS NUMBERS (MIN. 4" OR 100mm HIGH IN CONTRASTING COLOURS)
 2. LIGHTING LEVELS TO A MINIMUM OF 100 LUX OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND SUITE ENTRIES
 3. NO POLISHED FINISH ON BUILDING ENTRY FLOORING (PROVIDE FLOORING SAMPLES)
 4. EXCEPT FOR POCKET DOORS, SLIDING DOORS, OR DOORS EQUIPPED WITH OPENERS, LEVER DOOR HANDLES ARE REQUIRED ON ALL DOORS (PROVIDE NOTATION ON DOOR SCHEDULE)
 5. SIGNAGE THROUGHOUT COMMON AREAS HAS WELL CONTRASTING COLOURS
 6. ELEVATORS HAVE WELL CONTRASTED CONTROL BUTTONS
 7. CIRCULATION
 8. SLIP RESISTANT FLOORING
 9. COLOUR CONTRASTING EXIT DOORS
 10. BUILDING MEETING AMENITY ROOMS
 11. PROVIDE CARPET AND DRAPES TO ABSORB SOUND AND DECREASE ECHOS
 12. UNIT ENTRIES
 13. ADJUSTABLE DOOR CLOSERS TO REDUCE FORCE TO OPEN DOOR TO MAXIMUM 22N OR 5 LBS
 14. DOOR HANDLE AT 40" OR 1000mm ABOVE THE FLOOR WITH DEADBOLT PLACED IMMEDIATELY ABOVE OR BELOW
 15. UNIT FLOORING
 16. NO SLIP FLOORING IN KITCHEN AND MINIMUM ONE BATHROOM (PROVIDE FLOORING SAMPLES)
 17. HIGH DENSITY, LOW LEVEL LOOP CARPET AND UNDERLAY MAXIMUM 1/2" OR 13mm HEIGHT
 18. PATIOS AND BALCONIES
 19. OUTDOOR LIGHT FIXTURE PROVIDED
 20. ELECTRICAL OUTLET PROVIDED
 21. ELECTRICAL
 22. SWITCHES, CONTROLS, THERMOSTATS AND THE HIGHEST BREAKER IN THE SUITE PANEL TO BE INSTALLED NO HIGHER THAN 40" OR 1015mm ABOVE FINISHED FLOOR
 23. ELECTRICAL OUTLETS, CABLE OUTLETS, TELEPHONE JACKS NOT LOWER THAN 18" OR 450mm ABOVE FLOOR
 24. WITHIN SUITES A FLOOR EX. OUTLET IS REQUIRED WITHIN 8' OR 2000mm OF A TELEPHONE JACK
 25. WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM, CONNECTED TO FIRE ALARM SYSTEM ROCKER SWITCHES
 26. WINDOWS
 27. EASILY GRABBED AND OPERATED MECHANISM FOR OPENING AND LOCKING WINDOWS
 28. KITCHEN
 29. TASK LIGHTING @ AT LEAST 100 LUX LEVEL AT SINK, STOVE AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 30. PULL-OUT WORK BOARDS AT 2'-8" OR 810mm HEIGHTS WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. "D" OR "J" CABINET HANDLES
 31. LEVER HANDLE FAUCETS AND CABINET HANDLES WHICH CAN BE EASILY USED WITH AN OPEN HAND EG. "D" OR "J" CABINET HANDLES
 32. ADJUSTABLE SHELVES IN ALL CABINETS
 33. MIN. ONE BATHROOM
 34. SLIP BLOCKING PROVIDED IN WALLS OF TUB / SHOWER AND TOILET AREAS, AND BEHIND TOWEL BARS
 35. PRESSURE BALANCED TUB / SHOWER VALVES
 36. PROVISION IN WATER SUPPLY AND DRAIN TO ALLOW FOR A 4" (100mm) DROP IN VANITY (OPPOSITE PLUMBING)
 37. PROVISION FOR VANITY SINK REMOVAL
 38. ADJUSTABLE HEIGHT SHOWER HEAD OR HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

ROOF PLAN

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-2.070

SYMBOLS AND LEGENDS:

- SOFFIT VENT
- INDICATES WALL TYPE / WALL RATING (HR)
- INDICATES WINDOW TYPE
- INDICATES DOOR TYPE / WALL RATING (HR)
- REFERENCE NUMBER / PAGE
- DETAIL REFERENCE NUMBER
- [W2A] CONCRETE BLOCK WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- [W1A, W1B] CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- [W3A, W3B] EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- [W4A, W4B] PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- [W5A] CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- [W6A] INTERIOR WALL
- [W6B] INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC
- INTERIOR UPSTAND WALL - NOT FULL HEIGHT
- LANDSCAPE WALL - NOT FULL HEIGHT
- [W7A] SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- ROOF DECK UPSTAND WALL
- CONCRETE COLUMN
- FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING
- FIRE BLOCKING
- AREA CLEAR OF ANY OBSTRUCTIONS FOR ACCESSIBLE ACCESS
- 6.18 MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION
- ROOF VENTS 50 SQUARE INCHES FREE AIR AREA (0.347 SF)
- VAULTED CEILING ABOVE
- DROPPED CEILING ABOVE
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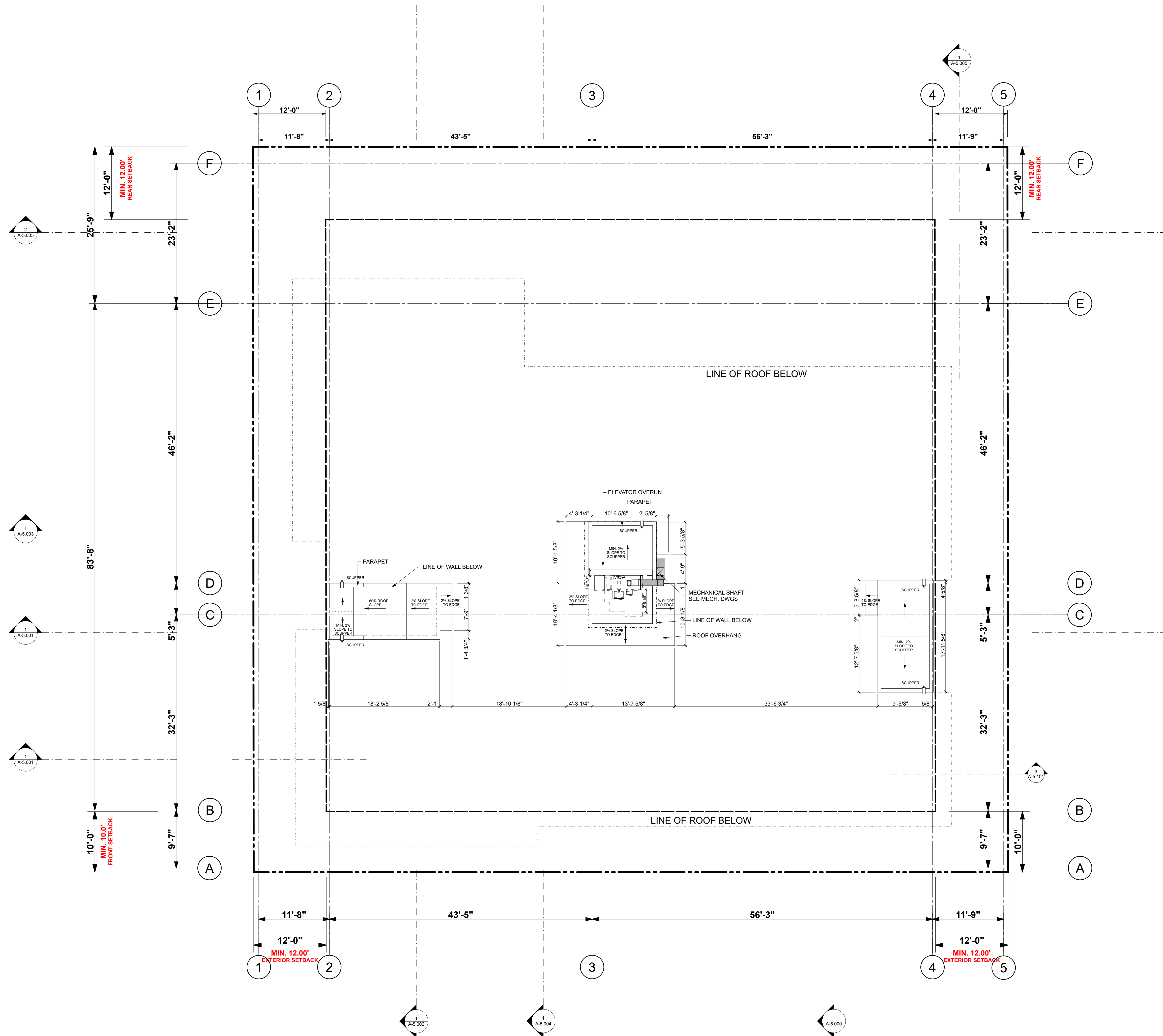
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3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHINGS AND TO CENTRE OF PARTY WALLS.
4. SEE INTERIOR DESIGN CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES AND DETAILS.
5. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1m CEILING HEIGHT).
6. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS - MIN 1/150 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
7. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS - MIN 1/200 OF INSULATED CEILING AREA (NOT APPLICABLE WHERE INSULATION IS LOCATED ABOVE ROOF STRUCTURE).
8. VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
9. PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2'0" IN HEIGHT WITH ONE MIN. CLEAR FINISHED DIMENSION 550mm x 900mm (1'-10" x 2'-11 1/2") AS PER BCBC 2018 3.6.4.4.
10. PROVIDE FIRE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING AT ALL PARTY WALL, CORRIDOR WALL, EXIT STAIR & SHAFT LOCATIONS. NO FRAMING OR TRUSS MEMBERS ARE TO PENETRATE FIRE SEPARATION.
11. PROVIDE FIRE BLOCKS AS PER 3.1.11.11 BC BUILDING CODE 2018 AT ALL COMBUSTIBLE CONCEALED SPACES INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
12. PROVIDE FIRE BLOCK MATERIALS AS PER 3.1.11.17.7 BC BUILDING CODE 2018 - 0.30mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/4" LUMBER WITH STAGGERED JOINTS, OR 1 1/2" THICK LUMBER. FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING.
13. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS, SIDEWALKS, PATIOS, PLANTERS AND FENCING.
14. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
15. REFER TO THE CODE CONSULTANT REPORT FOR THE ALTERNATIVE BUILDING SOLUTIONS TO THE BC BUILDING CODE 2018.
16. REFER TO THE ACOUSTICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW & WALL DESIGN.
17. PROVIDE MIN. 2% SLOPE AT BALCONIES AND ROOFS.
18. PROVIDE BULKHEADS FOR ALL SPRINKLER DROPS.
19. ALL RAILINGS AT GRADE ARE SHOWN ON LANDSCAPE DRAWINGS.
20. STAND PIPES ARE EXPOSED.
21. ADD A SECOND LAYER OF 5/8" (16mm) TYPEX GYPSUM WALL BOARD ON THE INTERIOR SIDE OF SOUTH FACADE WALLS (SEE DETAIL 04.01.031)

ABBREVIATIONS:

- BG BUILDING GRADE
- IBG INTERPOLATED BUILDING GRADE
- EG EXISTING GRADE
- FG FINISH GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF SLAB
- CB CATCH BASIN
- FD FLOOR DRAIN
- RD ROOF DRAIN
- AD AREA DRAIN
- SD SLAB DRAIN
- RWL RAIN WATER LEADER

RCP LEGEND:

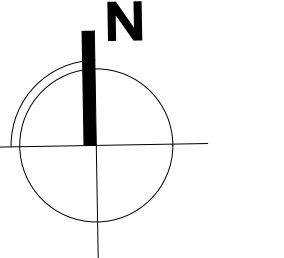
- DIRECTION OF SOFFIT INDICATED



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[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

UPPER ROOF PLAN

19495

[PROJECT]

1/8" = 1'-0"

[SCALE]

2024-10-04

[DATE]

13 - BP RESUBMISSION

[ISSUE]

[DRAWING]

A-2.080



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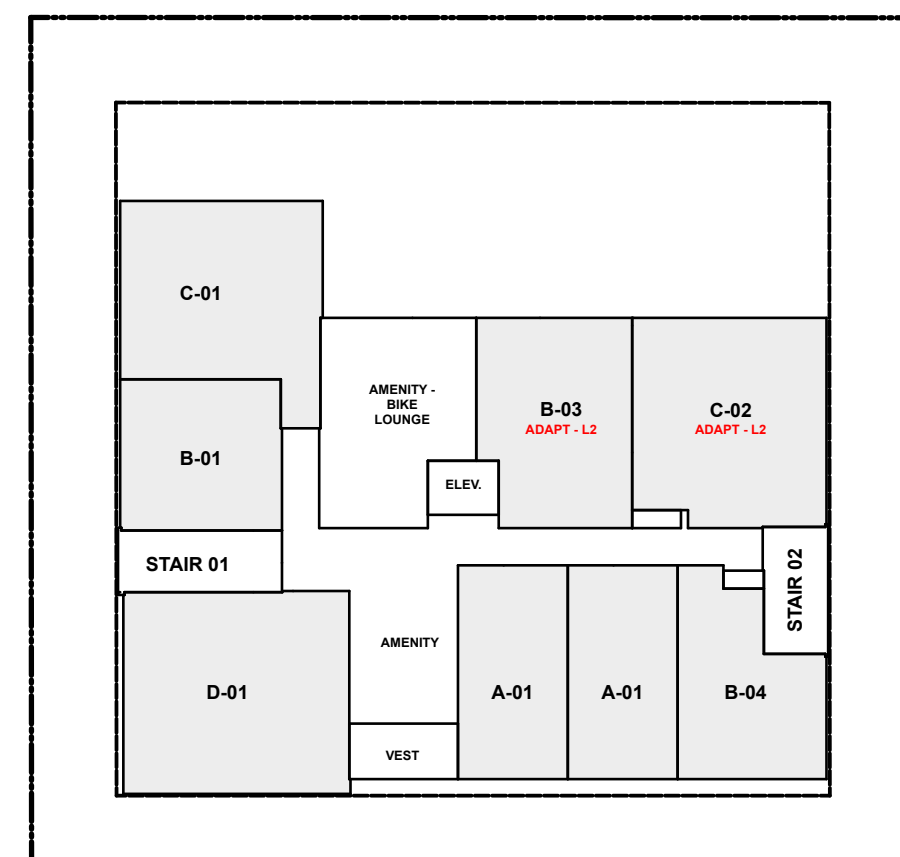
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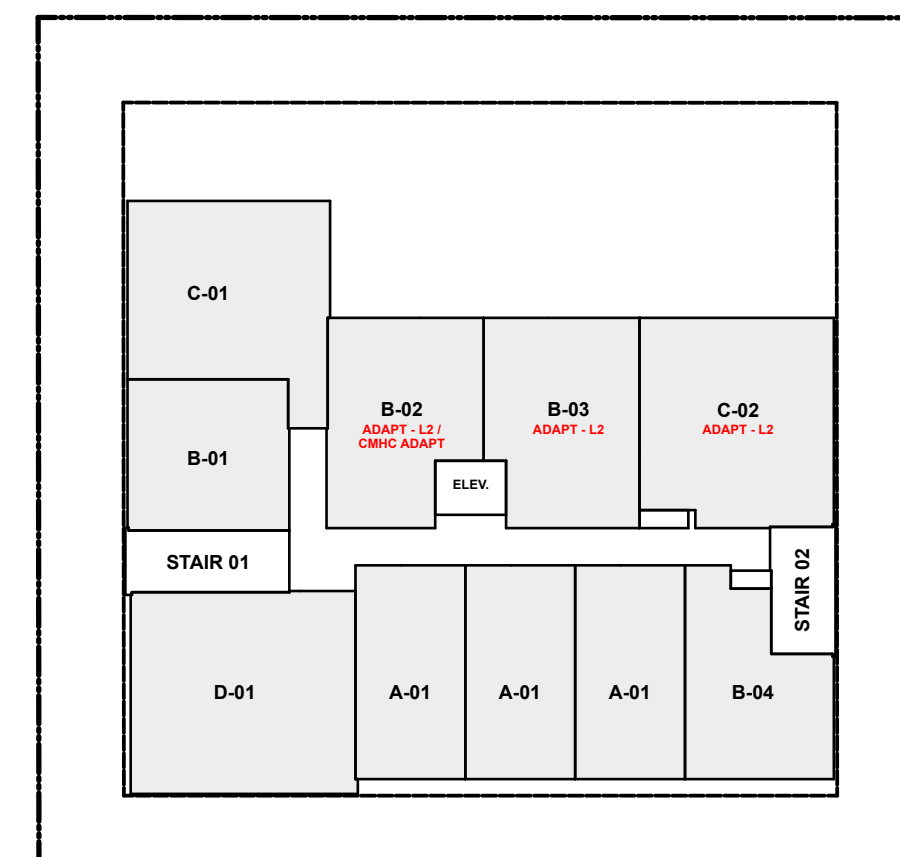
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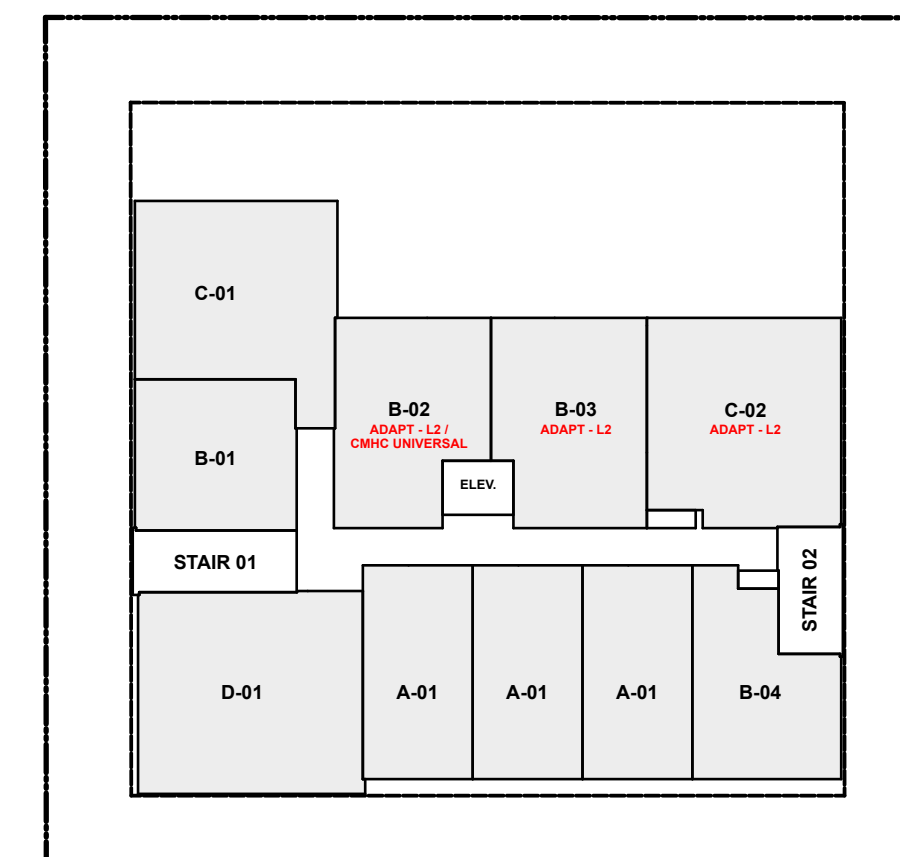
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1ST FLOOR



2ND - 4TH FLOORS



5TH - 6TH FLOORS

[PROJECT NAME]

[ARCHITECT SCALE]

[DATE]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

KEY PLAN

[PROJECT]

19495

Not To Scale

Wednesday, November 8, 2023

BP RESUBMISSION

[DRAWING]

A-7.004

SUITE DOOR TYPES AND SCHEDULE												
DOOR TYPE	A2-0	A2-1	A2-6	A2-10	A3-0	A3-0B	A3-6	A3-10	A3-6	A3-10	B1-6	B3-0
DOOR SIZE	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-10" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"	2'-0" x 8'-0"
ELEVATION												
FIRE RATING	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
DOOR AND FRAME MATERIAL	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
DOOR AND FRAME FINISH	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED
GLAZING	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
INSULATED	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
LOCKABLE												
THRESHOLD	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
TAMPER PROOF HINGES												
WEATHERSTRIPPED												
DOOR VIEWER												
NOTES	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR	ENTRY DOOR	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR

NOTE: SEE BUILDING ELEVATIONS FOR FINISH AND COLOUR OF ALL EXTERIOR DOORS

SUITE DOOR TYPES AND SCHEDULE				
DOOR TYPE	BD3-0	BD4-0	BD5-0	SD-0
DOOR SIZE	2'-0" x 8'-0"	4'-0" x 8'-0"	5'-0" x 8'-0"	2'-0" x 8'-0"
ELEVATION				
FIRE RATING	N/A	N/A	N/A	N/A
DOOR AND FRAME MATERIAL	WOOD	WOOD	WOOD	WOOD
DOOR AND FRAME FINISH	PAINTED	PAINTED	PAINTED	PAINTED
GLAZING	NO	NO	NO	NO
INSULATED	N/A	N/A	N/A	N/A
LOCKABLE				
THRESHOLD	NO	NO	NO	NO
TAMPER PROOF HINGES				
WEATHERSTRIPPED				
DOOR VIEWER				
NOTES	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR	INTERIOR DOOR

SUITES DOORS NOTES:

- ALL DOORS WITHIN DWELLING UNIT REQUIRE DOOR OPENING HARDWARE THAT DOES NOT REQUIRE A TIGHT GRASP OR TWISTING ACTION OF THE WRIST AND CAN BE OPENED WITH A FORCE OF NOT MORE THAN 22 N FOR SLIDING DOOR AND 58N FOR ENTRY DOOR
- ALL DOORS WITHIN DWELLING UNIT REQUIRE A BEVELED THRESHOLD NO MORE THAN 13 mm ABOVE THE FLOOR LEVEL
- WHERE VISION GLASS IS PROVIDED IN DOORS OR TRANSPARENT SIDELIGHTS, THE LOWEST EDGE OF THE GLASS SHALL BE NO HIGHER THAN 900 mm ABOVE FLOOR LEVEL
- GLASS IN ALL SIDELIGHTS TO DOORS SHALL BE TEMPERED, LAMINATED OR BEVELED GLASS
- ALL SUITE ENTRY DOORS REQUIRE 2 PEEPHOLES, ONE LOCATED AT 1067 mm ABOVE THE FLOOR AND THE OTHER LOCATED 1524 mm ABOVE THE FLOOR OR A GLASS SIDELIGHT
- ALL SUITE ENTRY DOORWAYS WHERE THE THRESHOLD IS NOT FLUSH WITH THE FLOOR THE THRESHOLD SHALL BE NOT MORE THAN 13 mm HIGHER THAN THE FINISHED FLOOR SURFACE AND WHERE IT IS HIGHER THAN 6 mm SHALL BE BEVELED TO A SLOPE NO STEEPER THAN 1 IN 2.
- ALL ENTRY DOORS REQUIRE TO BE PROVIDED WITH:
 - A DEADBOLT LOCK WITH THE CYLINDER HAVING NO FEWER THAN 5 PINS AND
 - A BOLT THROW NOT LESS THAN 25 mm LONG, PROTECTED WITH THE SOLID OR HARDENED FREE-TURNING RING OR BEVELED CYLINDER HOUSING
- STRIKE PLATES FOR DEADBOLTS SHALL BE FASTENED TO WOOD FRAMES WITH WOOD SCREWS THAT PENETRATE NOT LESS THAN 30 mm INTO SOLID WOOD
- A DOOR FRAME REINFORCEMENT PLATE IS REQUIRED TO BE INSTALLED BETWEEN THE JACK STUD AND DOOR FRAME
 - REINFORCEMENT PLATE SHOULD BE 16 GAUGE STEEL
 - PROVIDED WITH A METAL TONGUE THAT INSETS INTO THE DOOR FRAME BY 15.9 mm AND IS AT RIGHT ANGLES TO THE PLATE TO RESIST MOVEMENT INWARDS WHEN DEADBOLT IS ENGAGED
 - SCREWED INTO DOOR FRAME OR ADJACENT JACK STUD WITH:
 - A MINIMUM NO 10 SCREWS THAT PENETRATE AT LEAST 50 mm INTO THE WOOD STUDS
 - HAVE TO POINTS OF CONTACT ON EACH SIDE OF DEADBOLT AND
 - LOCATED 38mm AWAY FROM THE DEADBOLT THROW
- SOLID BLOCKING (DOUBLE OR TRIPLE STUDS FOR FULL LENGTH OF FRAME) SHALL BE PROVIDED ON BOTH SIDES AT THE LOCK HEIGHT BETWEEN THE JAMBS FOR DOORS AND STRUCTURAL FRAMING SO THAT THE JAMBS WILL RESIST SPREADING BY FORCE
- HINGES FOR WOODEN DOORS REQUIRE TO BE FASTENED WITH THE WOOD SCREWS NOT LESS THAN 25 mm LONG AND TO WOOD FRAMES WITH WOOD SCREWS SO THAT AT LEAST 2 SCREWS PER HINGE PENETRATE NOT LESS THAN 30 mm INTO SOLID WOOD.
- DOORS THAT SWING OUTWARD SHALL BE PROVIDED WITH HINGES OR PINS SO THAT THE DOORS CANNOT BE REMOVED WHEN THEY ARE IN CLOSED POSITION
- CLEARANCES FOR SUITE ENTRY DOORS (20 min RATED) TO BE NOT MORE THAN 6mm AT BOTTOM OF DOOR AND NOT MORE THAN 3mm AT SIDES. CONTRACTOR TO PROVIDE A RATED DOOR SWEEP TO MEET THESE REQUIRED SILL CLEARANCES
- SENTENCE 3.3.1.19 (5) REQUIRES THAT GLASS IN DOORS (INCLUDING GLASS IN SLIDING DOORS) AND IN SIDELIGHTS THAT COULD BE MISTAKEN FOR DOORS WITHIN DWELLING UNIT AND PUBLIC AREAS BE A TEMPERED OR LAMINATED SAFETY GLASS CONFORMING TO CAN/CSG-12.1-M "TEMPERED OR LAMINATED GLASS" OR WIRED GLASS CONFORMING TO CAN/CSG-12.11-M "WIRED SAFETY GLASS"

[PROJECT NAME]

[ARCHITECT SCALE]

[DATE]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

SUITES DOOR SCHEDULE

[PROJECT]

19495

As Noted

2024-10-04

13 - BP RESUBMISSION

[DRAWING]

A-7.005



[ARCHITECT SEAL]



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[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

KEY PLAN & DOOR SCHEDULE - UNIT PLANS

[PROJECT]

19495

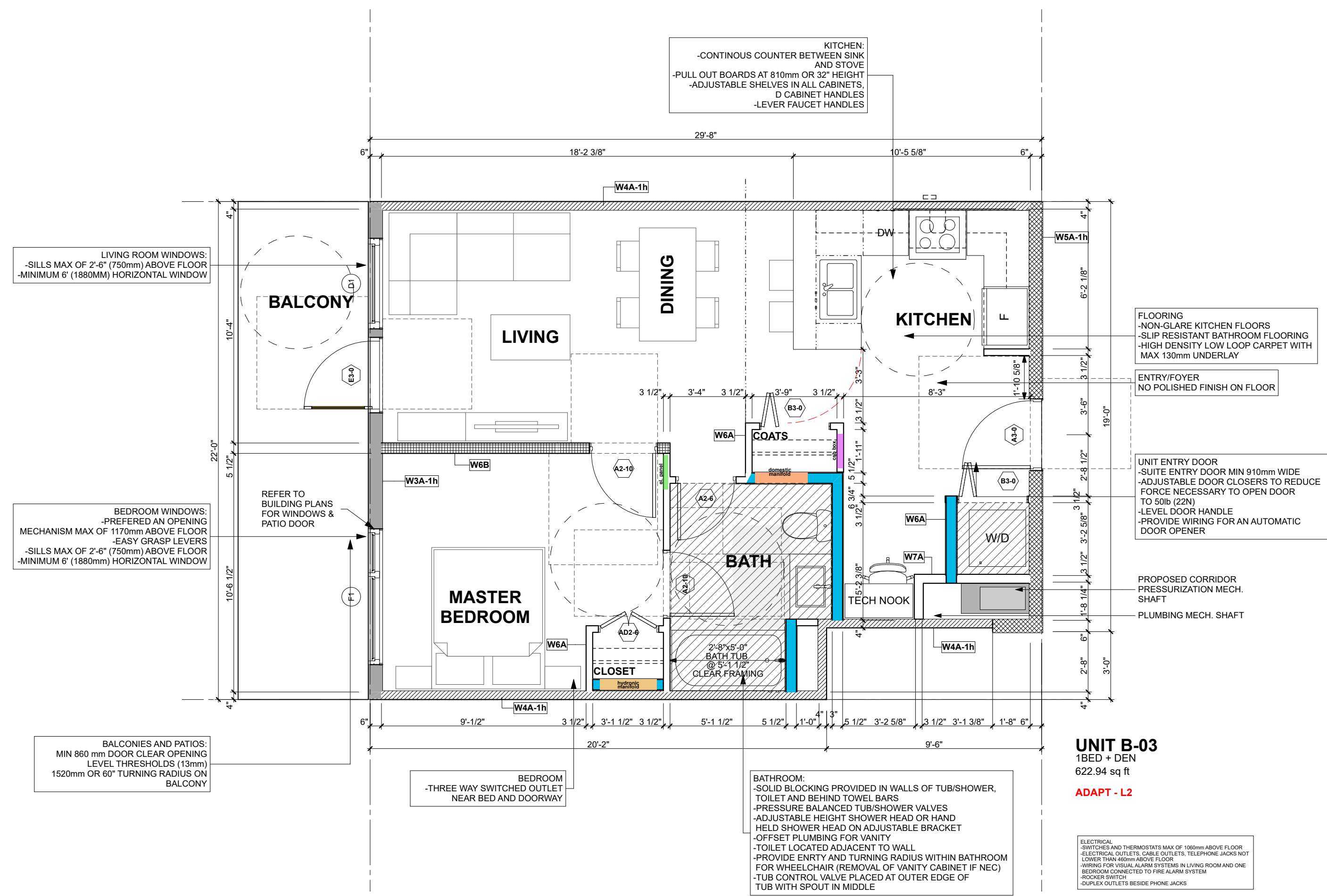
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2024-10-04

13 - BP RESUBMISSION

[DRAWING]

A-3.001



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19495 [PROJECT]
 1/4" = 1'-0" [SCALE]
 2023-11-08 [DATE]
 BP RESUBMISSION [ISSUE]
 A-7.204 [DRAWING]

RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
 206 EAST 12TH STREET NORTH VANCOUVER, BC [TITLE]
 UNIT B03 - 1BED ADAPTABLE L2 [TITLE]

19495 [PROJECT]
 1/4" = 1'-0" [SCALE]
 2023-11-08 [DATE]
 BP RESUBMISSION [ISSUE]
 A-7.204 [DRAWING]

RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
 206 EAST 12TH STREET NORTH VANCOUVER, BC [TITLE]
 UNIT B03 - 1BED ADAPTABLE L2 [TITLE]

19495 [PROJECT]
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 2023-11-08 [DATE]
 BP RESUBMISSION [ISSUE]
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 2023-11-08 [DATE]
 BP RESUBMISSION [ISSUE]
 A-7.204 [DRAWING]

RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
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 UNIT B04 - 1BED [TITLE]

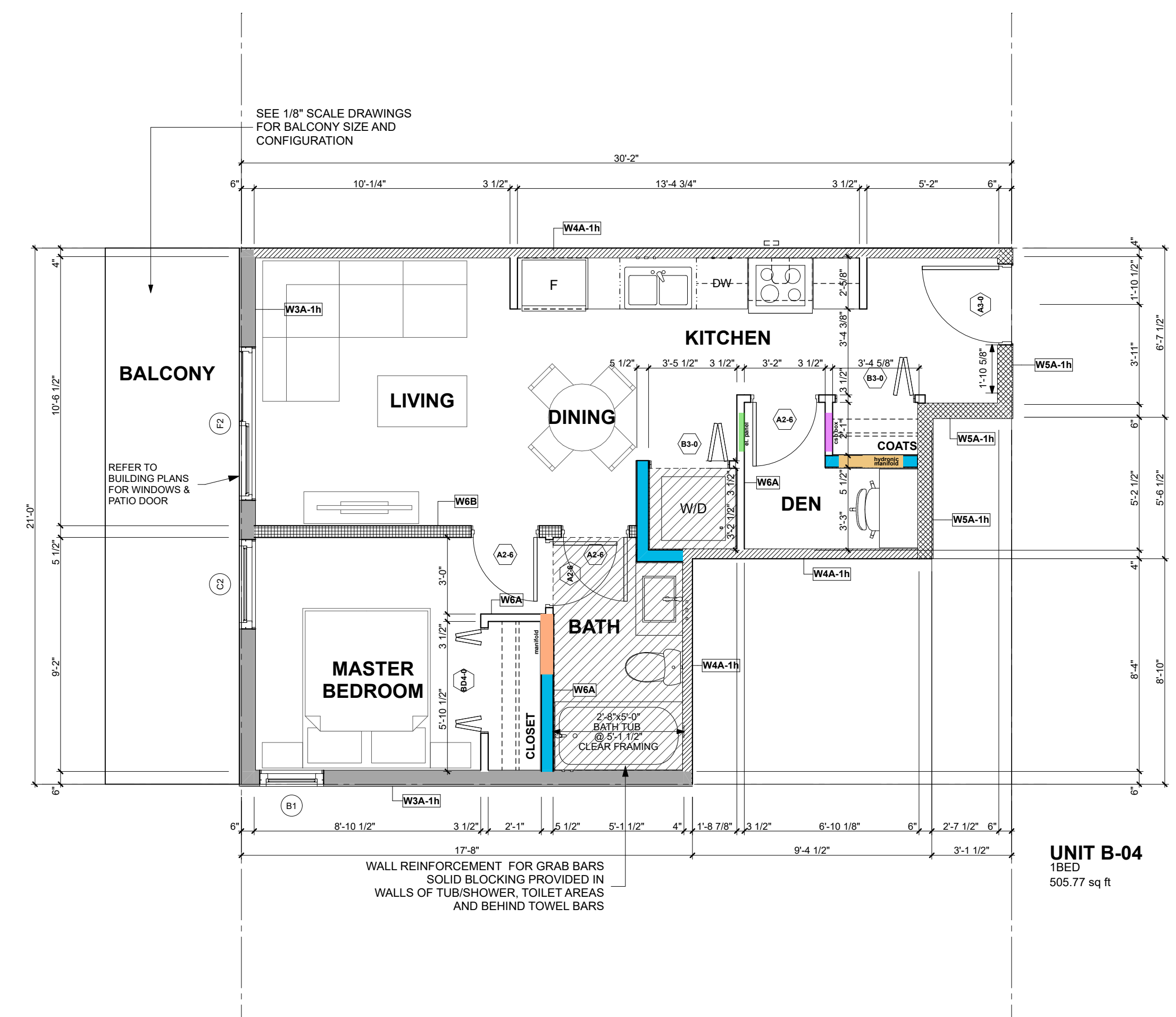
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 2023-11-08 [DATE]
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 A-7.204 [DRAWING]

RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
 206 EAST 12TH STREET NORTH VANCOUVER, BC [TITLE]
 UNIT B04 - 1BED [TITLE]

19495 [PROJECT]
 1/4" = 1'-0" [SCALE]
 2023-11-08 [DATE]
 BP RESUBMISSION [ISSUE]
 A-7.204 [DRAWING]

RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
 206 EAST 12TH STREET NORTH VANCOUVER, BC [TITLE]
 UNIT B04 - 1BED [TITLE]

19495 [PROJECT]
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 2023-11-08 [DATE]
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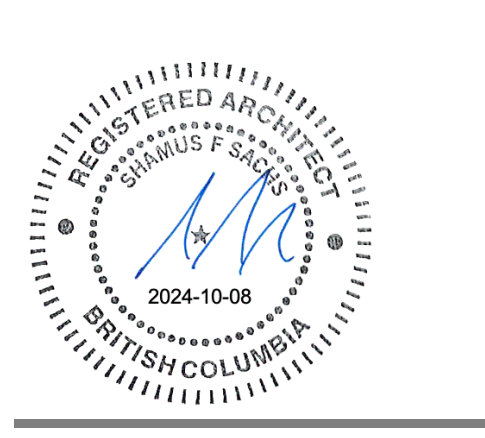
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RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
 206 EAST 12TH STREET NORTH VANCOUVER, BC [TITLE]
 UNIT B03 - 1BED ADAPTABLE L2 [TITLE]

19495 [PROJECT]
 1/4" = 1'-0" [SCALE]
 2023-11-08 [DATE]
 BP RESUBMISSION [ISSUE]
 A-7.204 [DRAWING]

RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
 206 EAST 12TH STREET NORTH VANCOUVER, BC [TITLE]
 UNIT B03 - 1BED ADAPTABLE L2 [TITLE]

19495 [PROJECT]
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 2023-11-08 [DATE]
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 A-7.204 [DRAWING]



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 2023-11-08 [DATE]
 BP RESUBMISSION [ISSUE]
 A-7.204 [DRAWING]

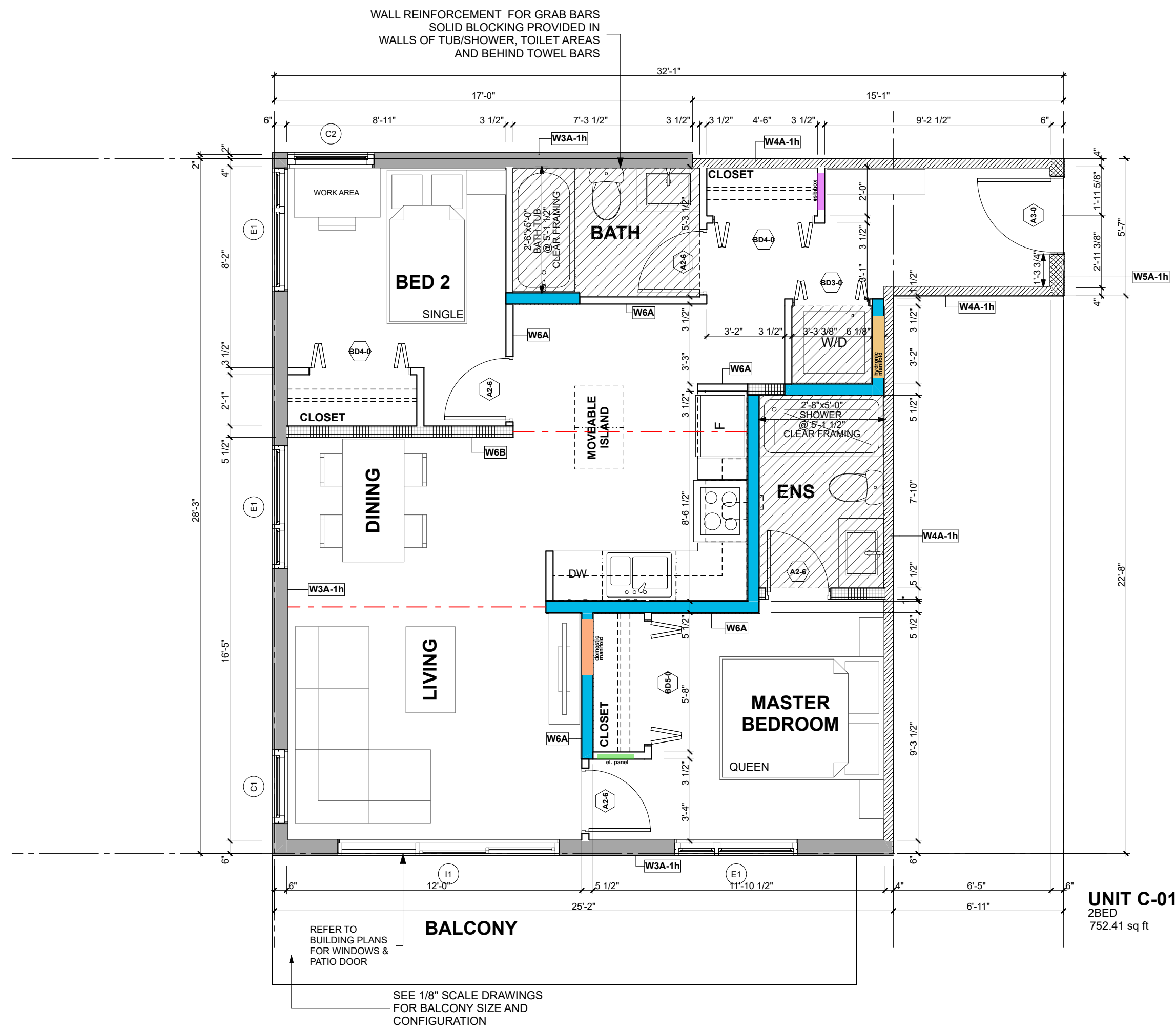
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 RENTAL DEVELOPMENT [PROJECT]
 206 EAST 12TH STREET NORTH VANCOUVER, BC [TITLE]
 UNIT B04 - 1BED [TITLE]

19495 [PROJECT]
 1/4" = 1'-0" [SCALE]
 2023-11-08 [DATE]
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RF PROPERTIES [PROJECT]
 RENTAL DEVELOPMENT [PROJECT]
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 UNIT B04 - 1BED [TITLE]

19495 [PROJECT]
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A-3.003



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PROJECT TEAM

CLIENT NAME

DATE

RF PROPERTIES

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

UNIT C01 - 2BED

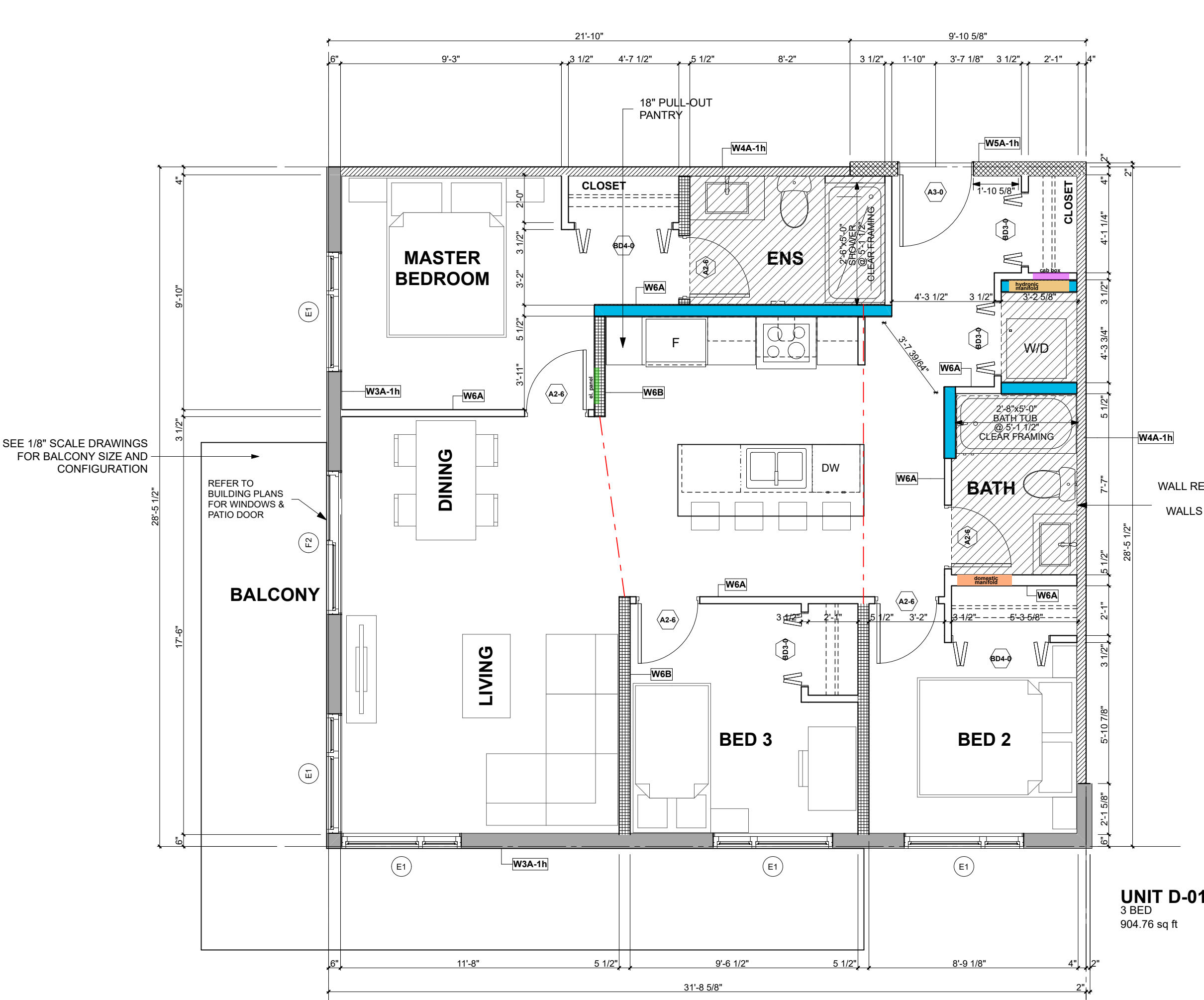
19495

14" = 1'-0"

2023-11-08

BP RESUBMISSION

A-7.301



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PROJECT TEAM

CLIENT NAME

DATE

RF PROPERTIES

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

UNIT D01 - 3BED

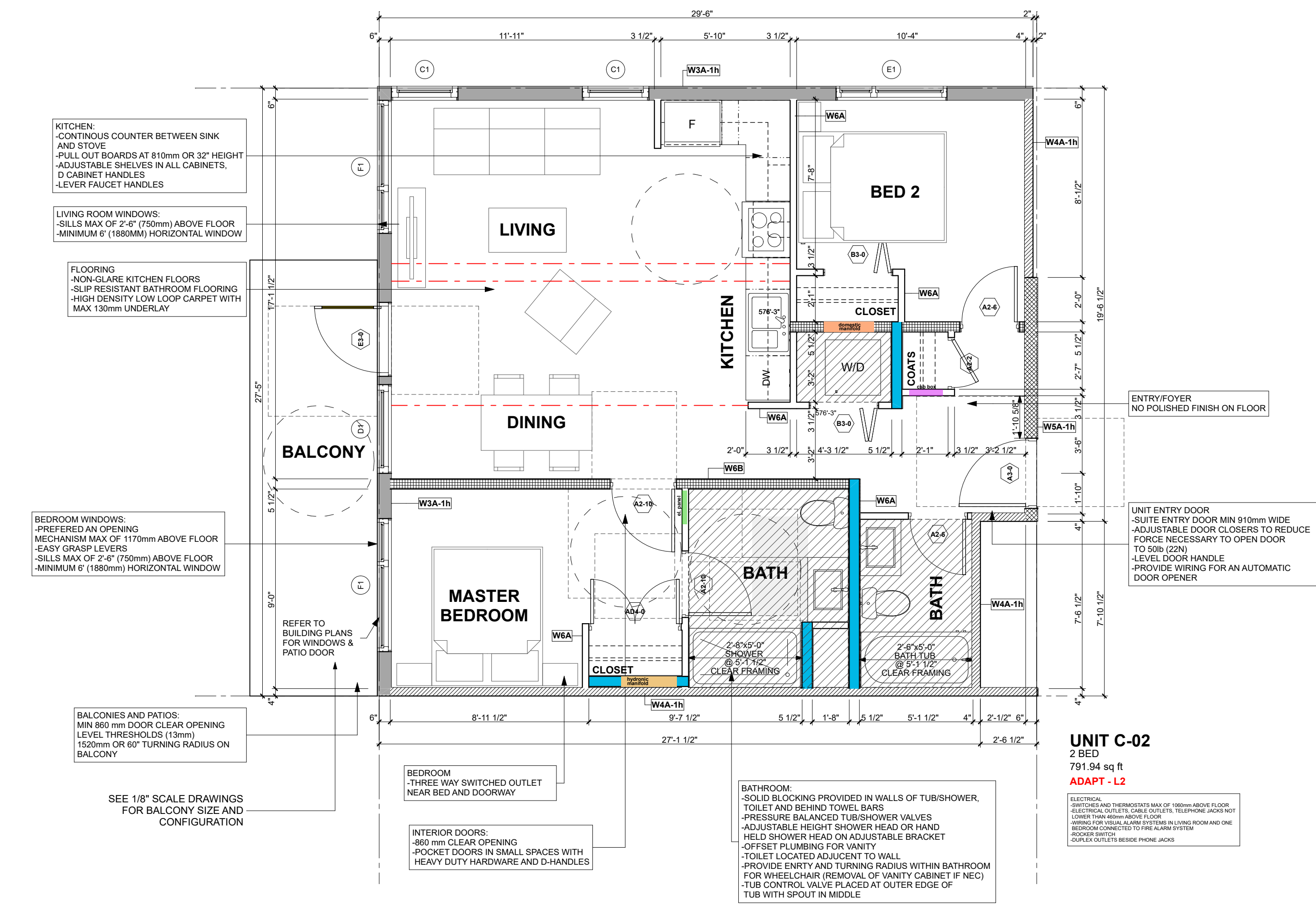
19495

14" = 1'-0"

2023-11-08

BP RESUBMISSION

A-7.401



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PROJECT TEAM

CLIENT NAME

DATE

RF PROPERTIES

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

UNIT C02 - 2BED
ADAPTABLE L2

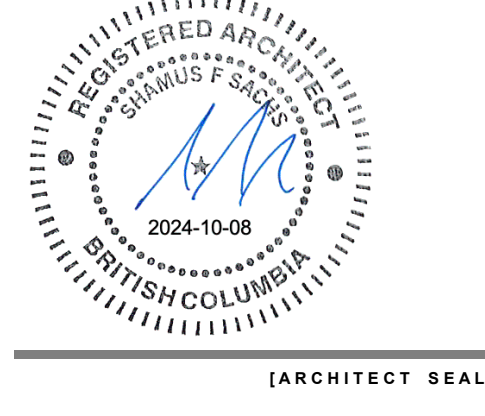
19495

14" = 1'-0"

2023-11-08

BP RESUBMISSION

A-7.302



RF PROPERTIES
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[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

UNIT PLANS

19495 [PROJECT]

As Noted [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-3.004



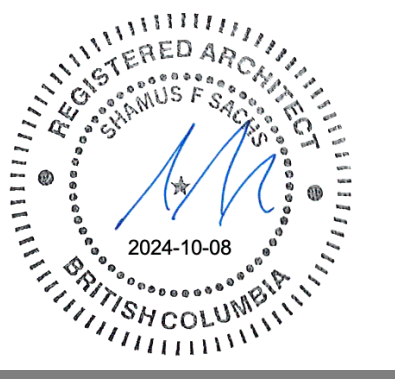
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[PROJECT TEAM]



[ARCHITECT SEAL]

MATERIALS LEGEND

● A	Black	IKO Roofing SBS	Modiflex	2 Ply SBS Roofing membrane at flat roofs	● J	Charcoal	Brick	Manganese Ironspot	Endicott Clay Smooth Brick at selected locations
● B	Light Gray	James Hardie Statement Collection	Pearl Gray	HardiePlank Lap Siding - cedarmill texture, 7" exposure - exterior walls	● K	Woodgrain	Prefinished Fibre Cement	Woodtone Rustic Series - Sand Castle	Pre-finished soffits @ roof soffit and u/s of balconies
● C	Dark Gray	James Hardie Statement Collection	Night Gray	HardiePlank Lap Siding - cedarmill texture, 7" exposure - exterior walls	● L	Black	Tiger Drylac Powder Coatings	Black or to match BM 2118-10	Pre-finished aluminum c/w safety glass railing @ balconies
● D	White	James Hardie Statement Collection	Arctic White	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102	● M	Black	Makin Metals Ltd.	Matte Black	Flashing at roofs, flashing at dark windows, downspouts, gutters
● E	Black	James Hardie Statement Collection	Iron Gray	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102	● N	White	Makin Metals Ltd.	Regal White	Flashing at all other locations with finish (D)
● F	Woodgrain	Prefinished Fibre Cement Siding	Woodtone Rustic Series - Sandcastle	Fibre Cement Lap Siding - cedarmill texture, pre-finished 5 1/4" exposure at selected locations	● O	Light Beige	Architectural concrete	Clear, water repellent coating	Architectural concrete finish at exposed concrete walls, landscape walls
● G	Black	James Hardie Trim - Statement Collection	Iron Gray	HardieTrim - 4/4 Rustic	● P	Black	Tiger Drylac Powder Coatings	Black	Pre-finished aluminum c/w safety glass railing @ balconies
● H	Woodgrain	James Hardie Trim - Dream Collection	Golden Luster	HardieTrim - 4/4 Rustic					
● I	Black	Windows	Black	Typical Vinyl windows and sliding doors w/ matching flashing					



RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

WEST ELEVATION

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-4.000



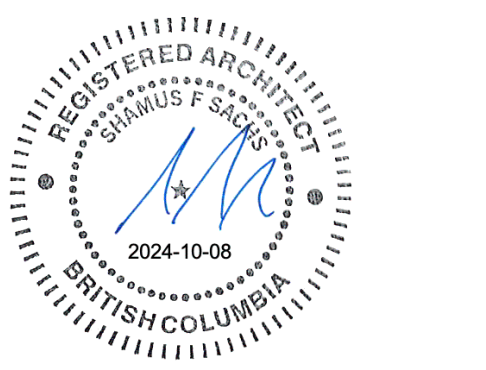
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[PROJECT TEAM]



[ARCHITECT SEAL]

MATERIALS LEGEND

● A	Black	IKO Roofing SBS	Modiflex	2 Ply SBS Roofing membrane at flat roofs
● B	Light Gray	James Hardie Statement Collection	Pearl Gray	HardiePlank Lap Siding - cedarmill texture, 7" exposure - exterior walls
● C	Dark Gray	James Hardie Statement Collection	Night Gray	HardiePlank Lap Siding - cedarmill texture, 7" exposure - exterior walls
● D	White	James Hardie Statement Collection	Arctic White	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102
● E	Black	James Hardie Statement Collection	Iron Gray	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102
● F	Woodgrain	Prefinished Fibre Cement Siding	Woodtone Rustic Series - Sandcastle	Fibre Cement Lap Siding - cedarmill texture, pre-finished 5 1/4" exposure at selected locations
● G	Black	James Hardie Trim - Statement Collection	Iron Gray	HardieTrim - 4/4 Rustic
● H	Woodgrain	James Hardie Trim - Dream Collection	Golden Luster	HardieTrim - 4/4 Rustic
● I	Black	Windows	Black	Typical Vinyl windows and sliding doors w/ matching flashing

● J	Charcoal	Brick	Manganese Ironspot	Endicott Clay Smooth Brick at selected locations
● K	Woodgrain	Prefinished Fibre Cement	Woodtone Rustic Series - Sand Castle	Pre-finished soffits @ roof soffit and u/s of balconies
● L	Black	Tiger Drylac Powder Coatings	Black or to match BM 2118-10	Pre-finished aluminum c/w safety glass railing @ balconies
● M	Black	Makin Metals Ltd.	Matte Black	Flashing at roofs, flashing at dark windows, downspouts, gutters
● N	White	Makin Metals Ltd.	Regal White	Flashing at all other locations with finish (D)
● O	Light Beige	Architectural concrete	Clear, water repellent coating	Architectural concrete finish at exposed concrete walls, landscape walls
● P	Black	Tiger Drylac Powder Coatings	Black	Pre-finished aluminum c/w safety glass railing @ balconies



[CLIENT]

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

SOUTH ELEVATION

[PROJECT]

19495 [SCALE]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-4.001



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[PROJECT TEAM]



[ARCHITECT SEAL]



RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

EAST ELEVATION

19495

[PROJECT]

1/8" = 1'-0"

[SCALE]

2024-10-04

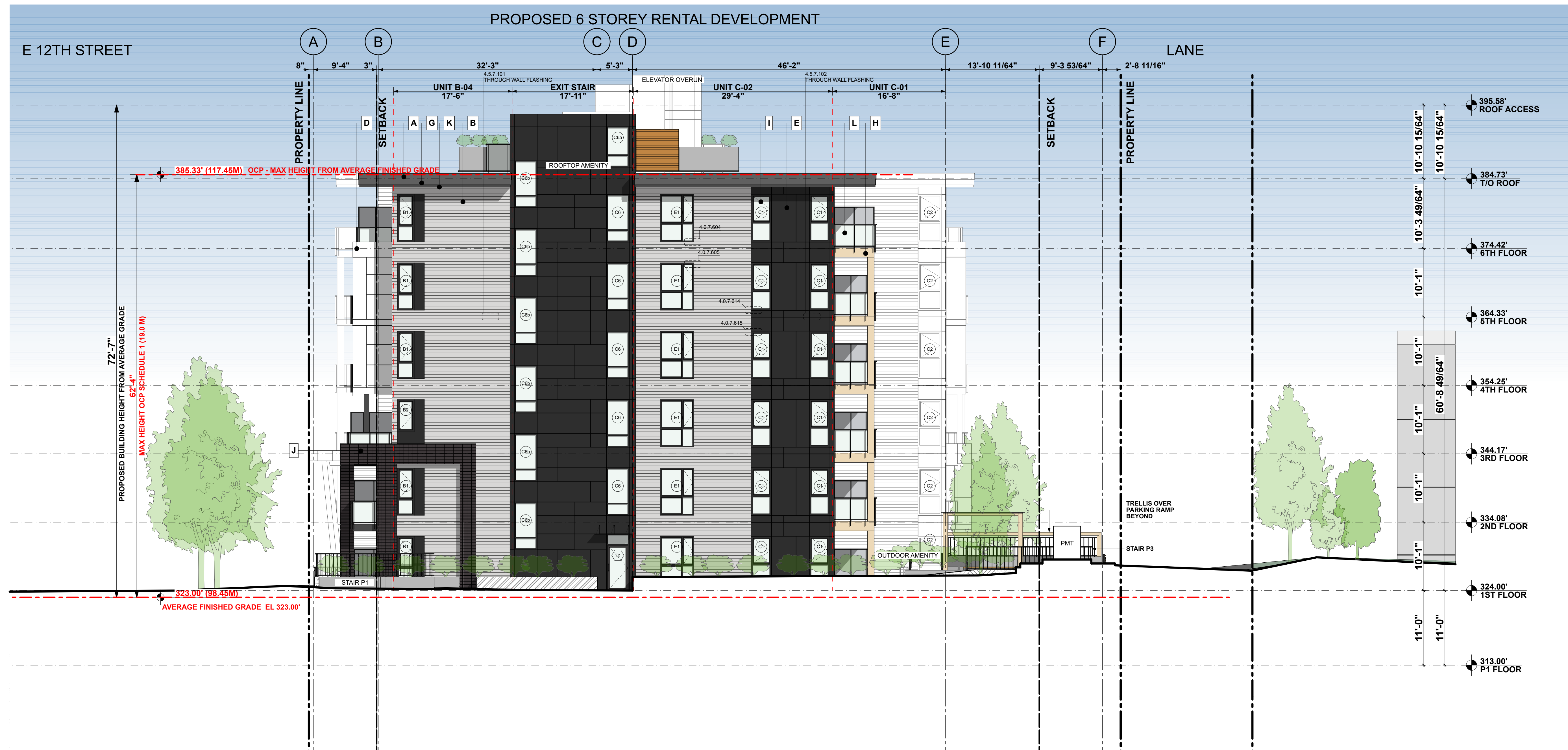
[DATE]

13 - BP RESUBMISSION

[ISSUE]

[DRAWING]

A-4.002



MATERIALS LEGEND

● A	Black	IKO Roofing SBS	Modiflex	2 Ply SBS Roofing membrane at flat roofs
● B	Light Gray	James Hardie Statement Collection	Pearl Gray	HardiePlank Lap Siding - cedarmill texture, 7" exposure - exterior walls
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● D	White	James Hardie Statement Collection	Arctic White	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102
● E	Black	James Hardie Statement Collection	Iron Gray	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102
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● H	Woodgrain	James Hardie Trim - Dream Collection	Golden Luster	HardieTrim - 4/4 Rustic
● I	Black	Windows	Black	Typical Vinyl windows and sliding doors w/ matching flashing

● J	Charcoal	Brick	Manganese Ironspot	Endicott Clay Smooth Brick at selected locations
● K	Woodgrain	Prefinished Fibre Cement	Woodtone Rustic Series - Sand Castle	Pre-finished soffits @ roof soffit and u/s of balconies
● L	Black	Tiger Drylac Powder Coatings	Black or to match BM 2118-10	Pre-finished aluminum c/w safety glass railing @ balconies
● M	Black	Makin Metals Ltd.	Matte Black	Flashing at roofs, flashing at dark windows, downspouts, gutters
● N	White	Makin Metals Ltd.	Regal White	Flashing at all other locations with finish (D)
● O	Light Beige	Architectural concrete	Clear, water repellent coating	Architectural concrete finish at exposed concrete walls, landscape walls
● P	Black	Tiger Drylac Powder Coatings	Black	Pre-finished aluminum c/w safety glass railing @ balconies



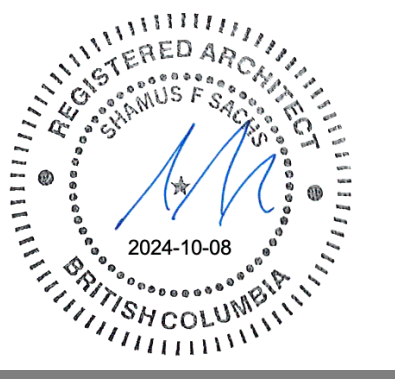
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[PROJECT TEAM]



[ARCHITECT SEAL]

MATERIALS LEGEND

● A	Black	IKO Roofing SBS	Modiflex	2 Ply SBS Roofing membrane at flat roofs
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RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

NORTH ELEVATION

19495

[PROJECT]

1/8" = 1'-0"

[SCALE]

2024-10-04

[DATE]

13 - BP RESUBMISSION

[ISSUE]

[DRAWING]

A-4.003

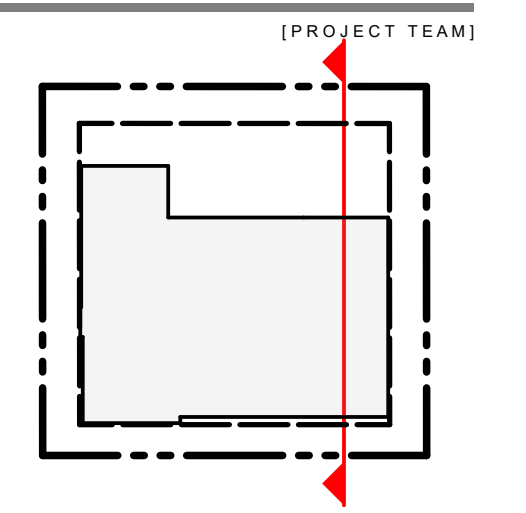


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RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL
DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

BUILDING
SECTION 1

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

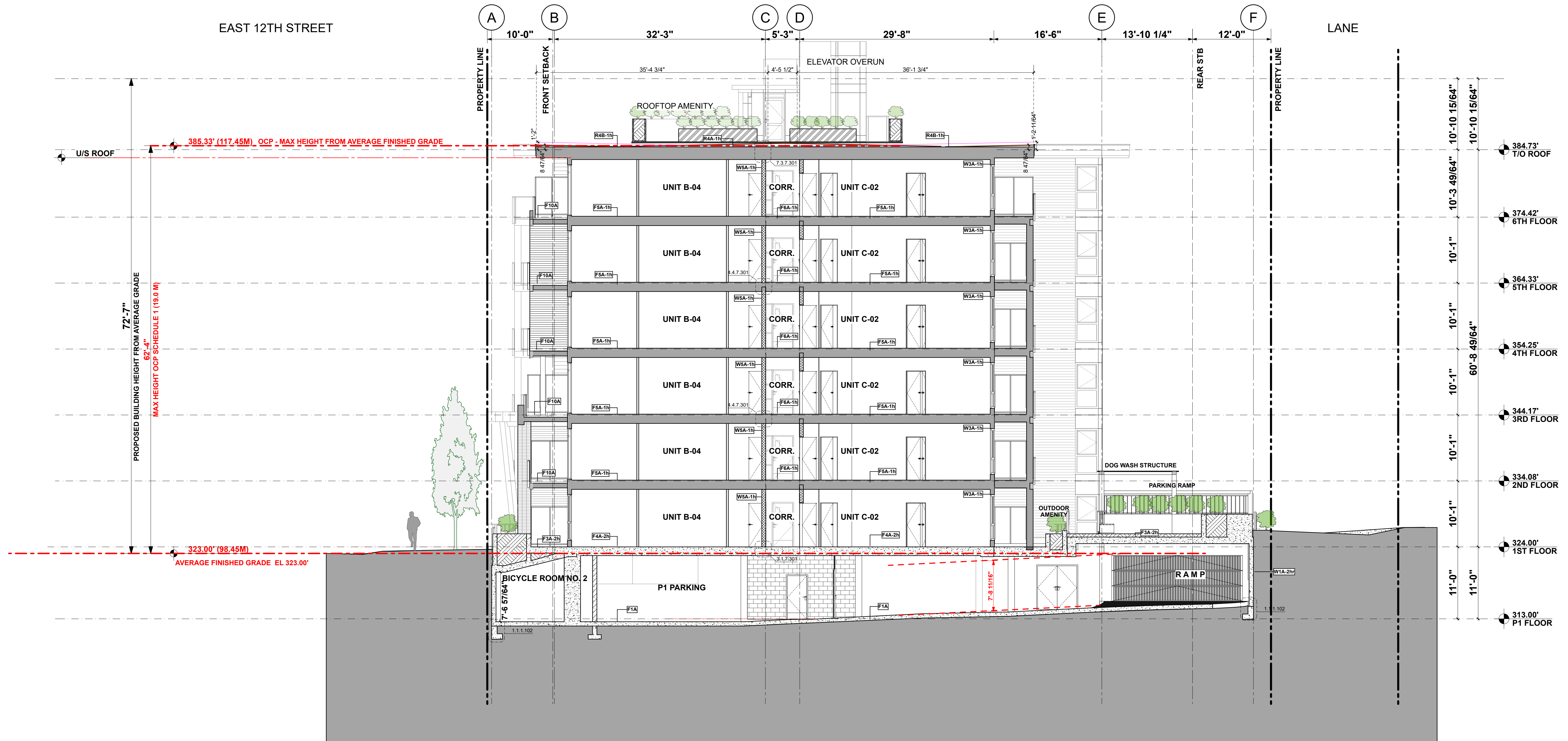
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13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-5.000

PROPOSED 6 STOREY BUILDING



1 BUILDING SECTION 1



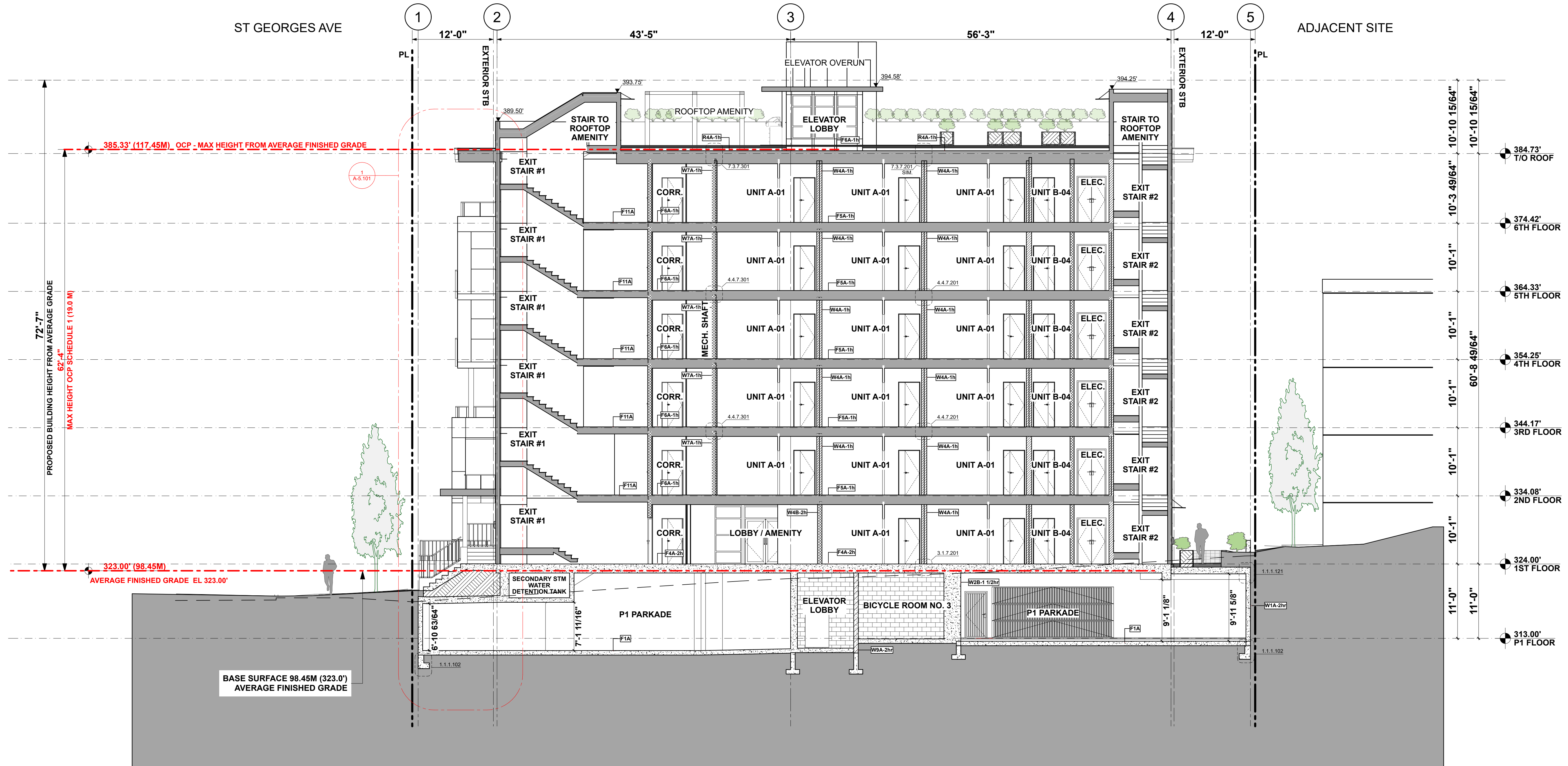
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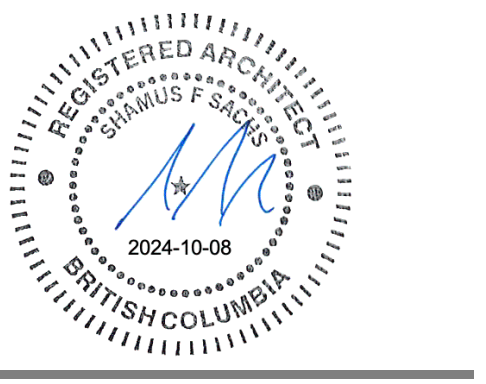
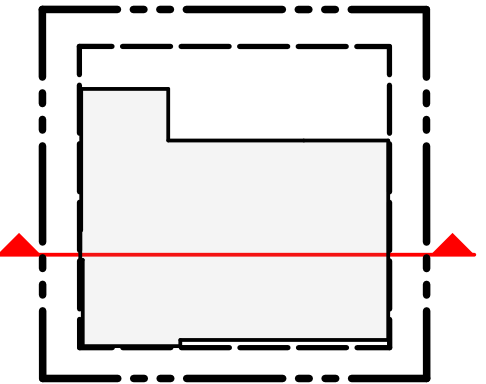
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PROPOSED 6 STOREY BUILDING



1 BUILDING SECTION 2

[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

BUILDING SECTION 2

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-5.001



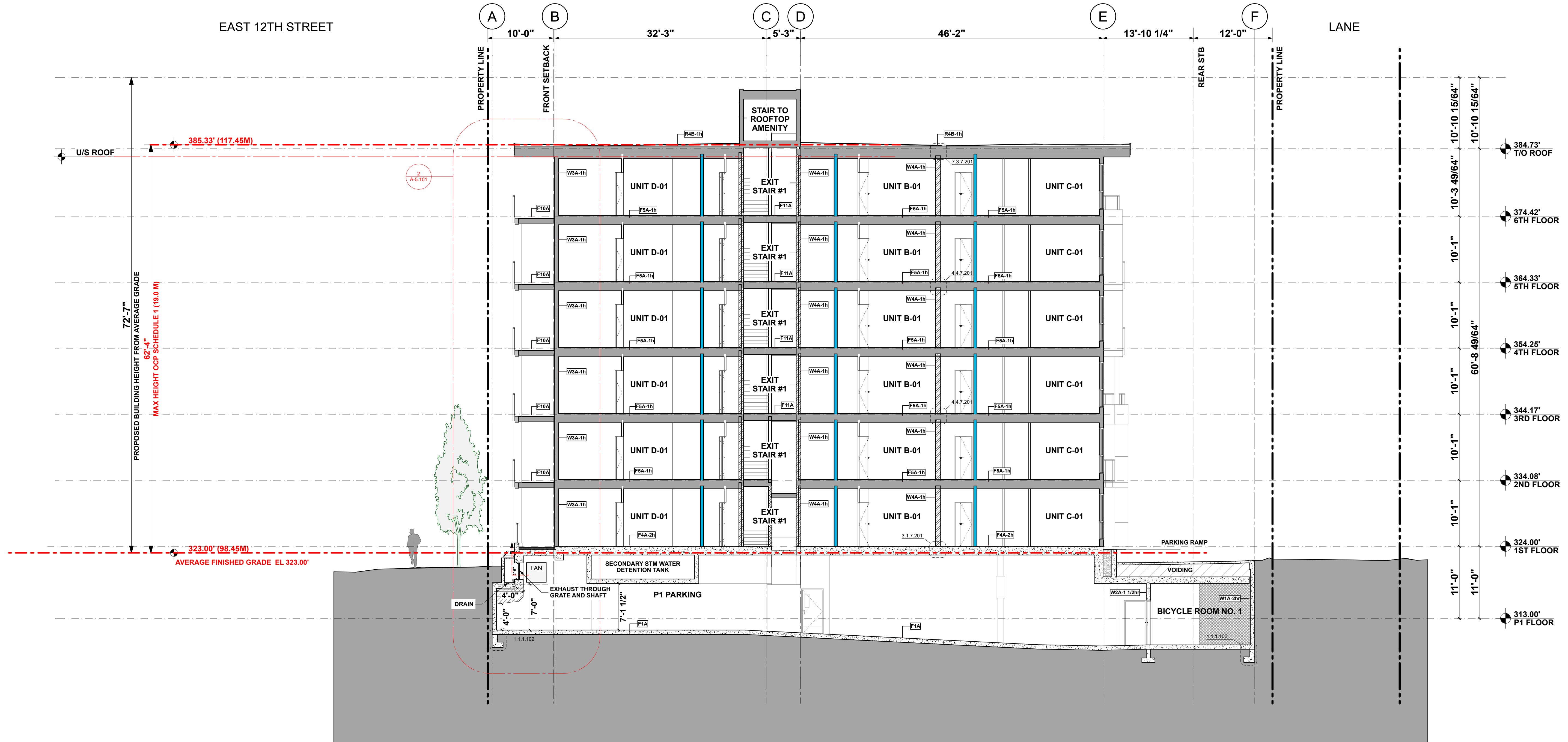
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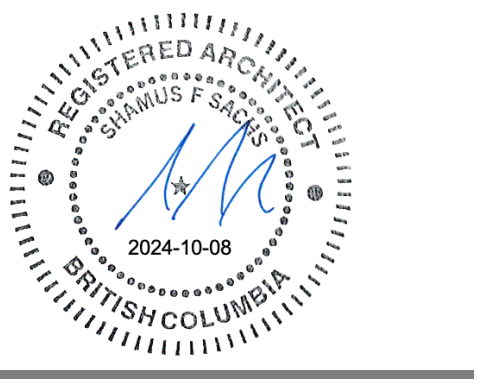
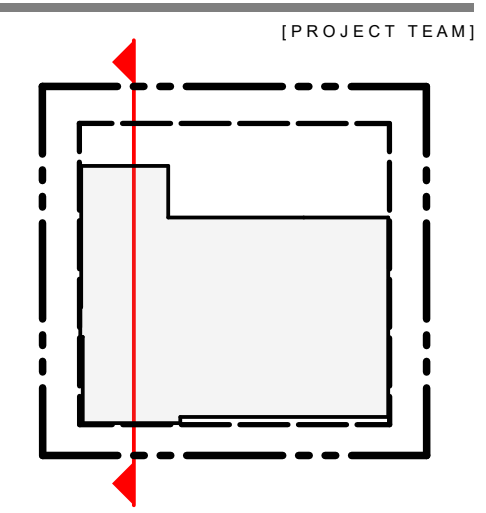
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PROPOSED 6 STOREY BUILDING



1 BUILDING SECTION 3



RF PROPERTIES
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RF PROPERTIES

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

BUILDING SECTION 3

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-5.002



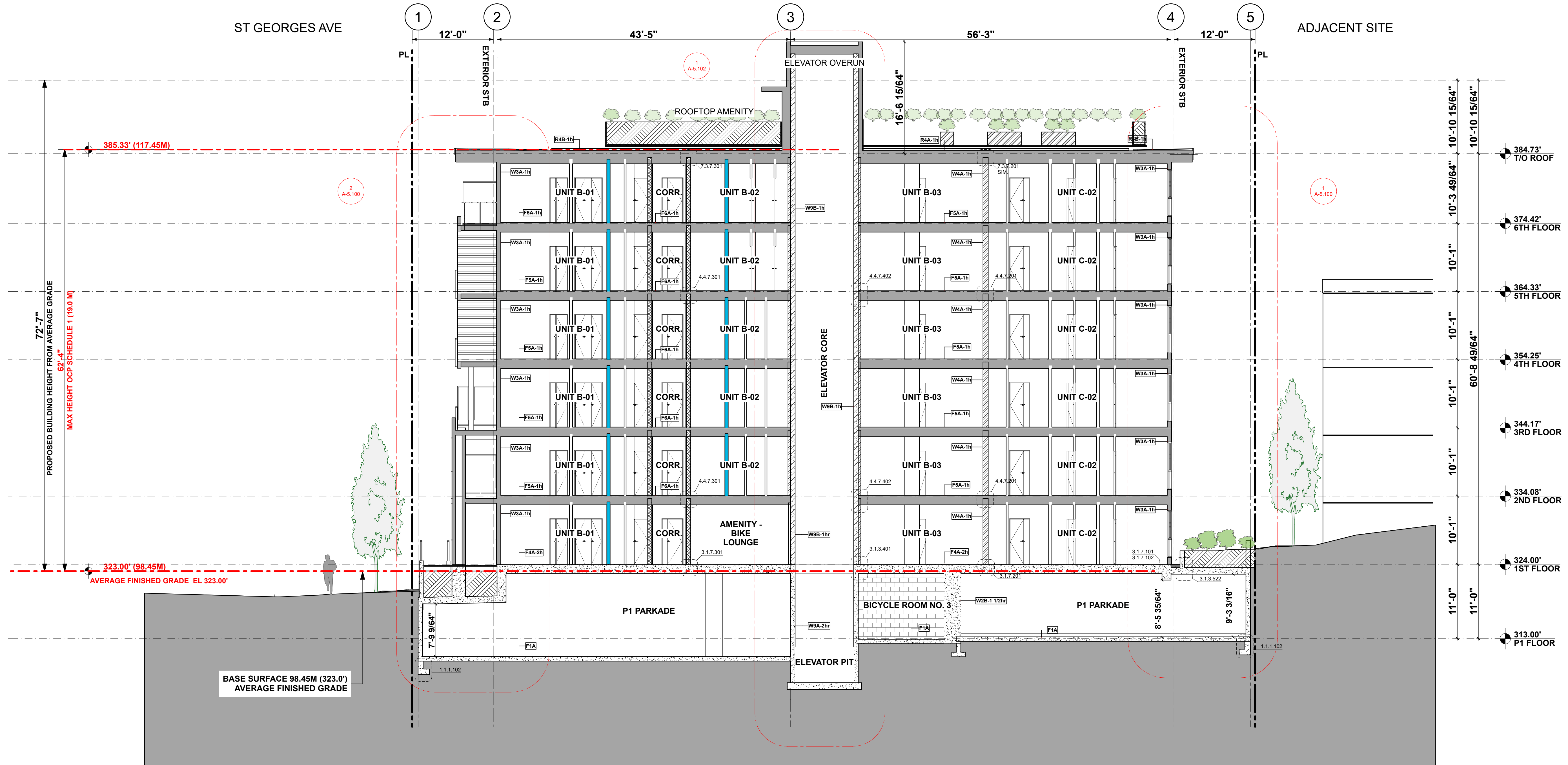
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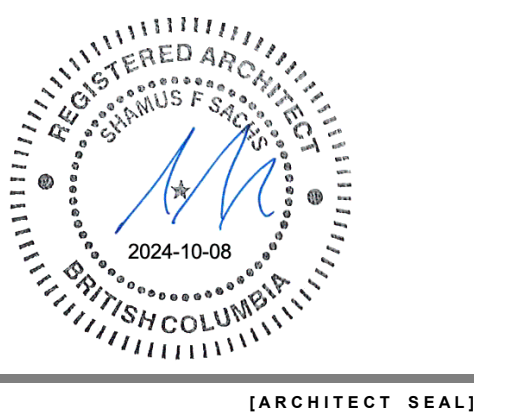
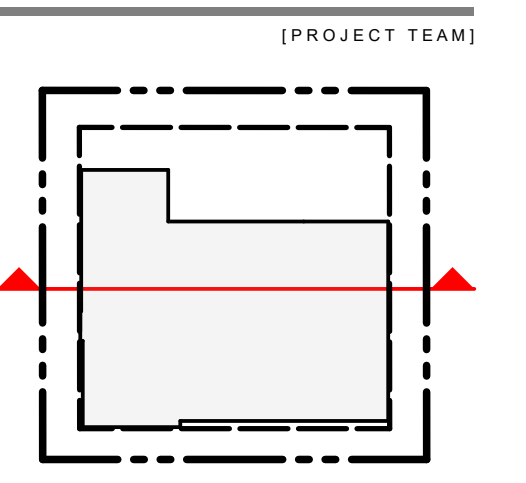
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PROPOSED 6 STOREY BUILDING



1 BUILDING SECTION 4



RF PROPERTIES
REDEKOP | FERRARIO

RF PROPERTIES
[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

BUILDING SECTION 4

19495 [PROJECT]
1/8" = 1'-0" [SCALE]
2024-10-04 [DATE]
13 - BP RESUBMISSION [ISSUE]

[DRAWING]
A-5.003



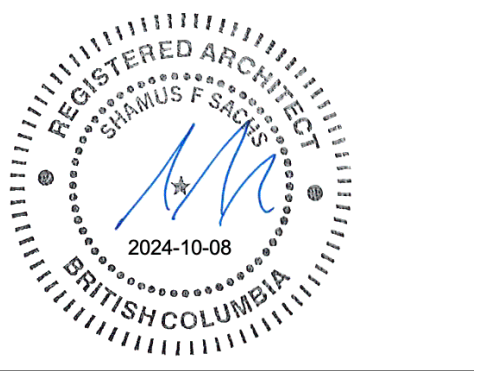
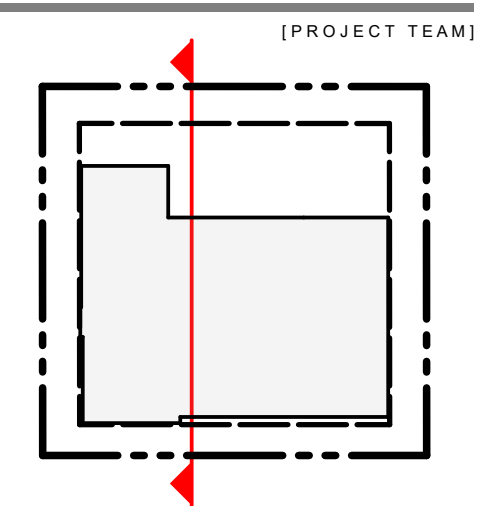
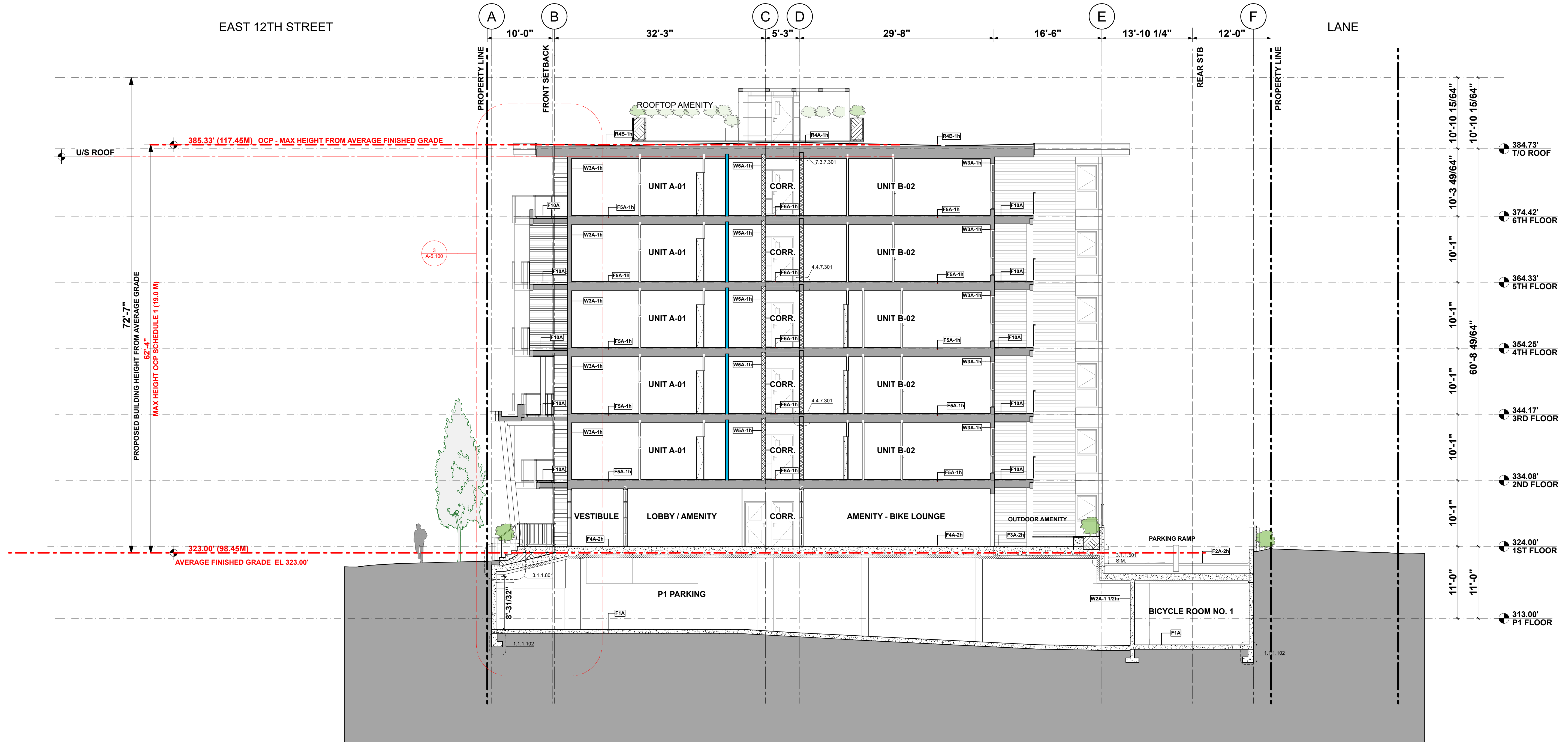
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PROPOSED 6 STOREY BUILDING



1 BUILDING SECTION 5

RF PROPERTIES

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

BUILDING SECTION 5

19495

1/8" = 1'-0"

2024-10-04

13 - BP RESUBMISSION

A-5.004

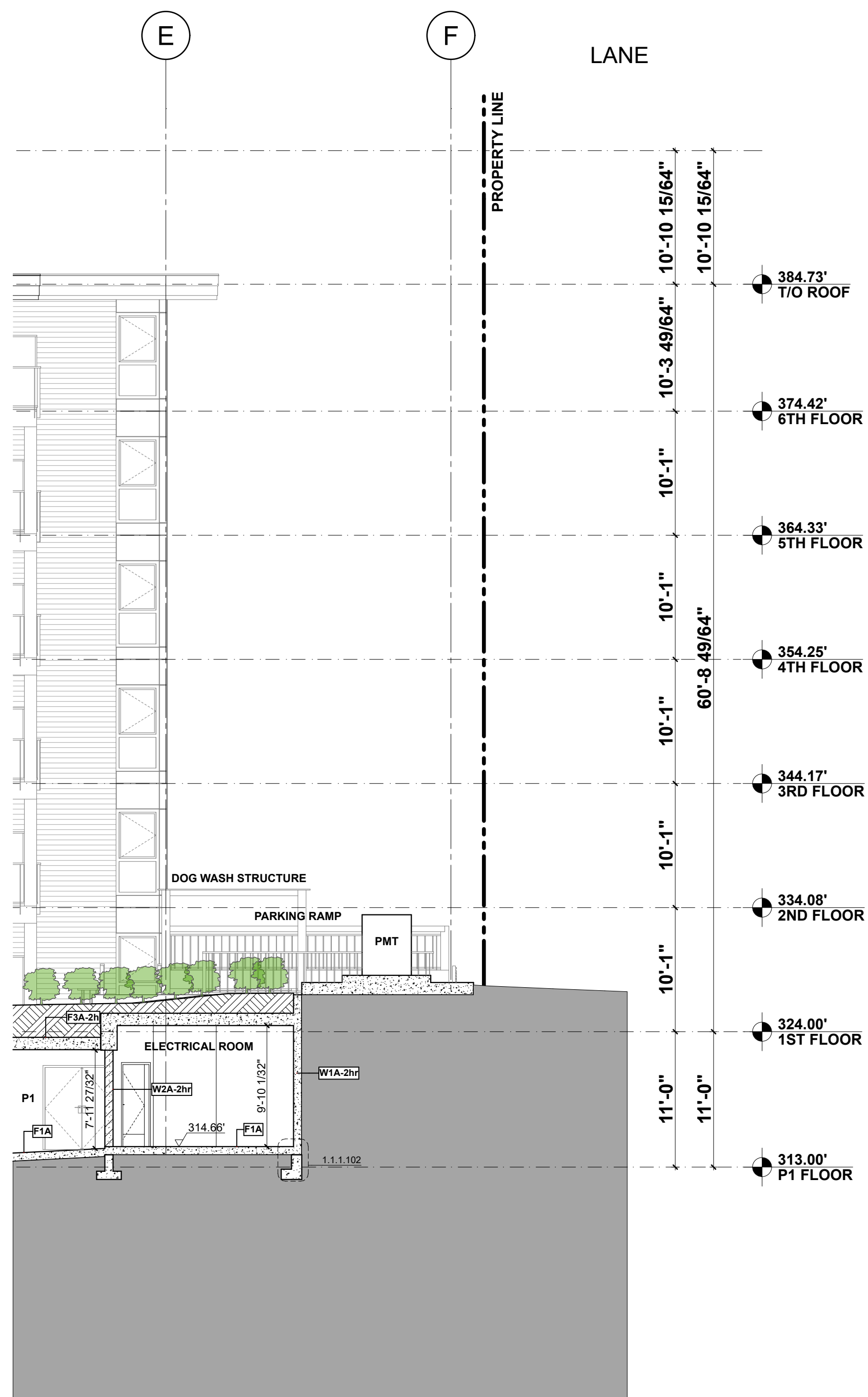


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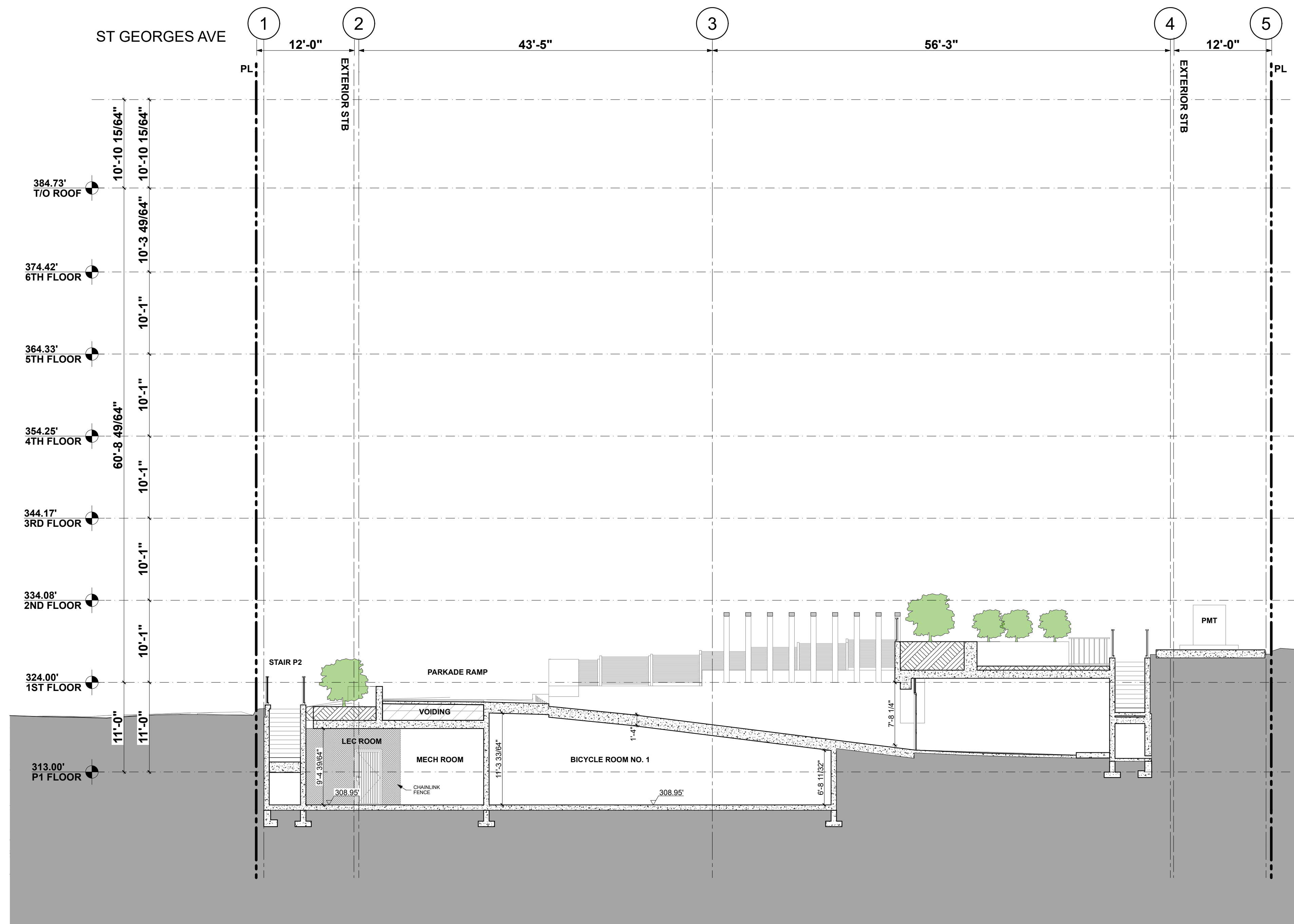
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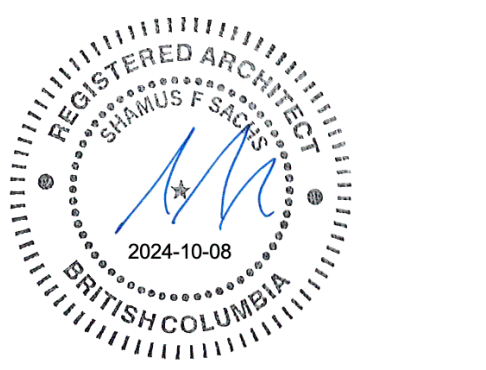
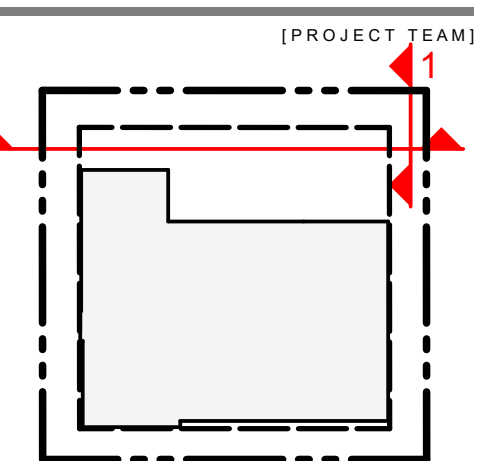
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1 ELECTRICAL ROOM SECTION



2 MECHANICAL ROOM SECTION



RF PROPERTIES
REDEKOP | FERRARIO

RF PROPERTIES
[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PARKADE SECTIONS

19495 [PROJECT]
1/8" = 1'-0" [SCALE]
2024-10-04 [DATE]
13 - BP RESUBMISSION [ISSUE]

[DRAWING]
A-5.005



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[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

WALL SECTIONS

19495 [PROJECT]

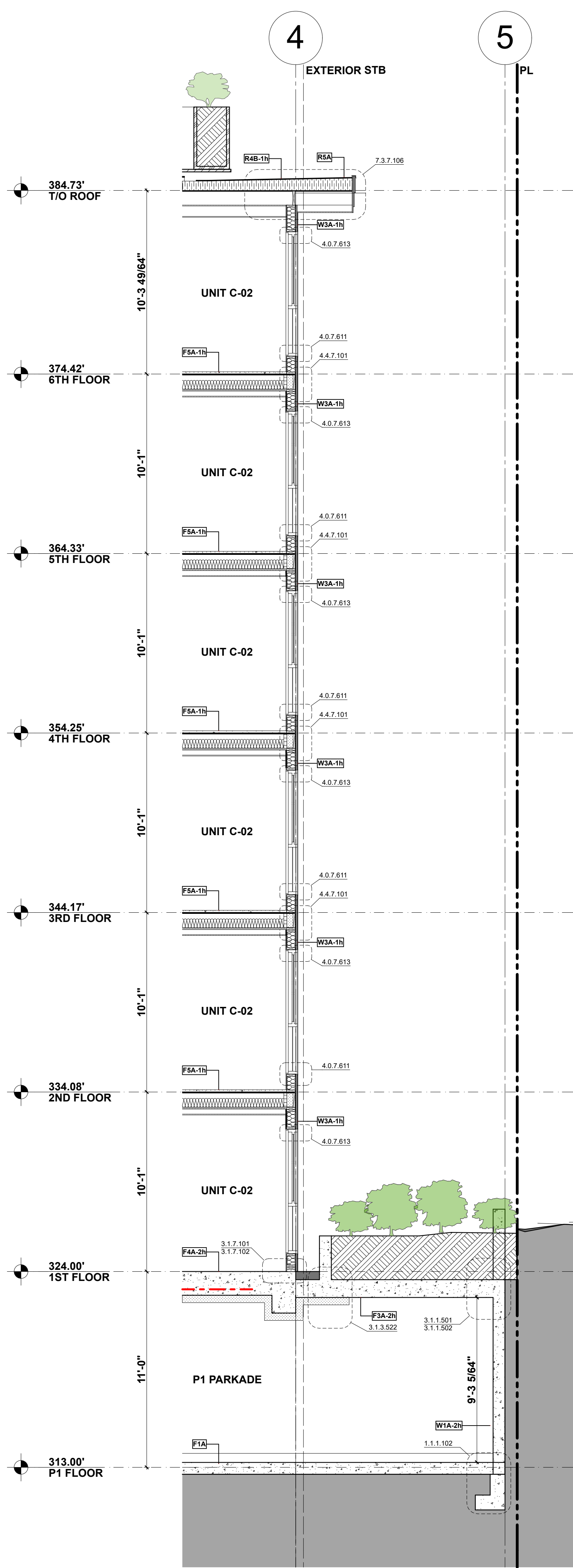
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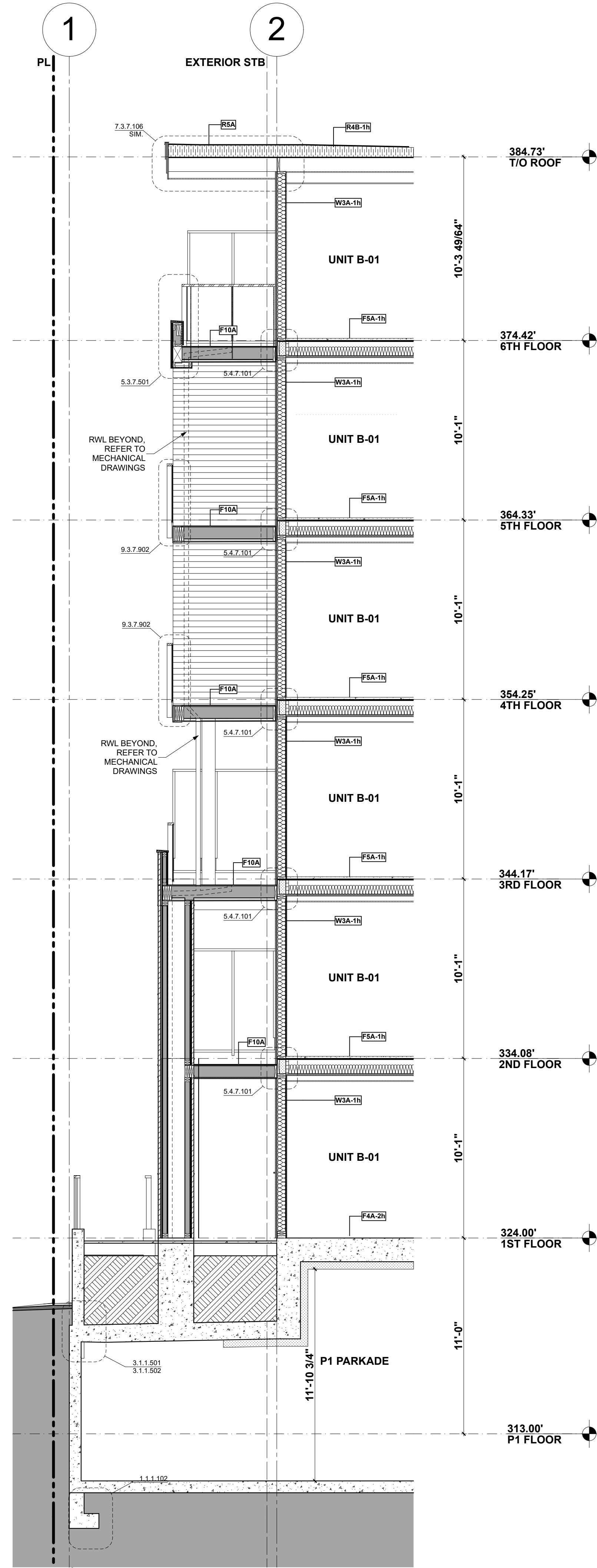
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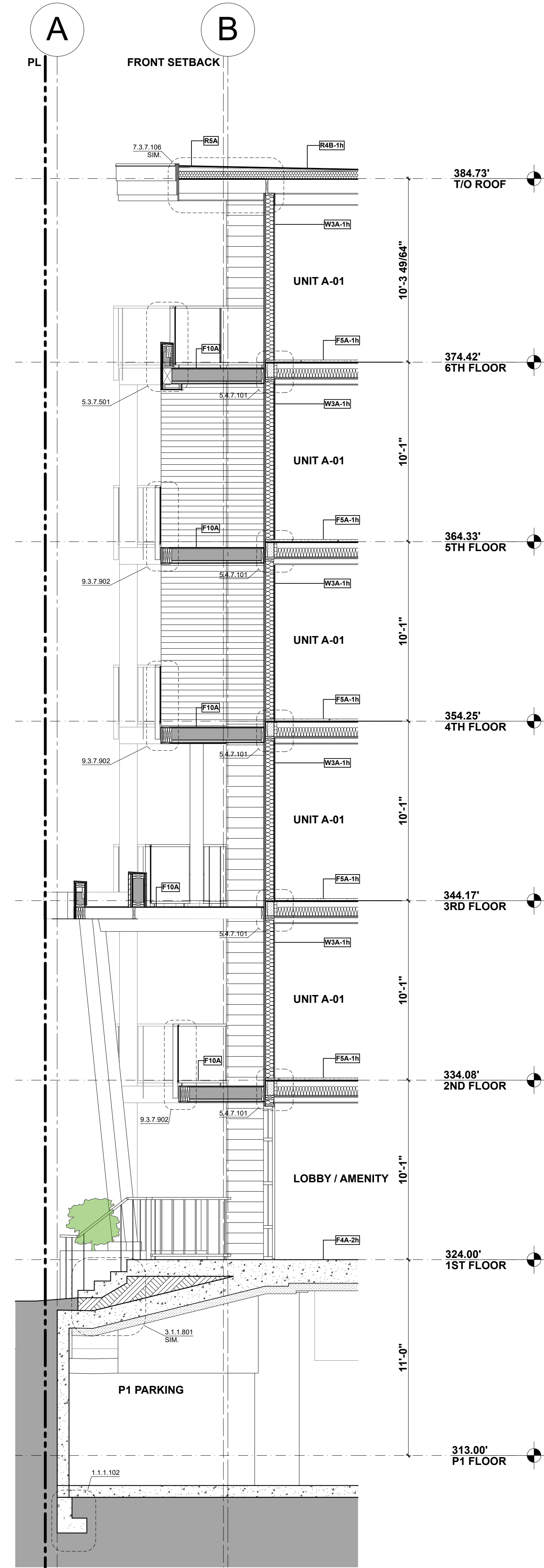
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1 WALL SECTION 1



2 WALL SECTION 2



3 WALL SECTION 3



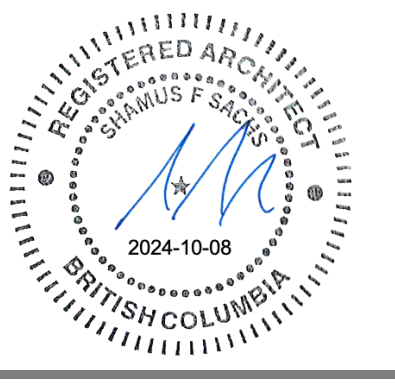
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[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

WALL SECTIONS

19495 [PROJECT]

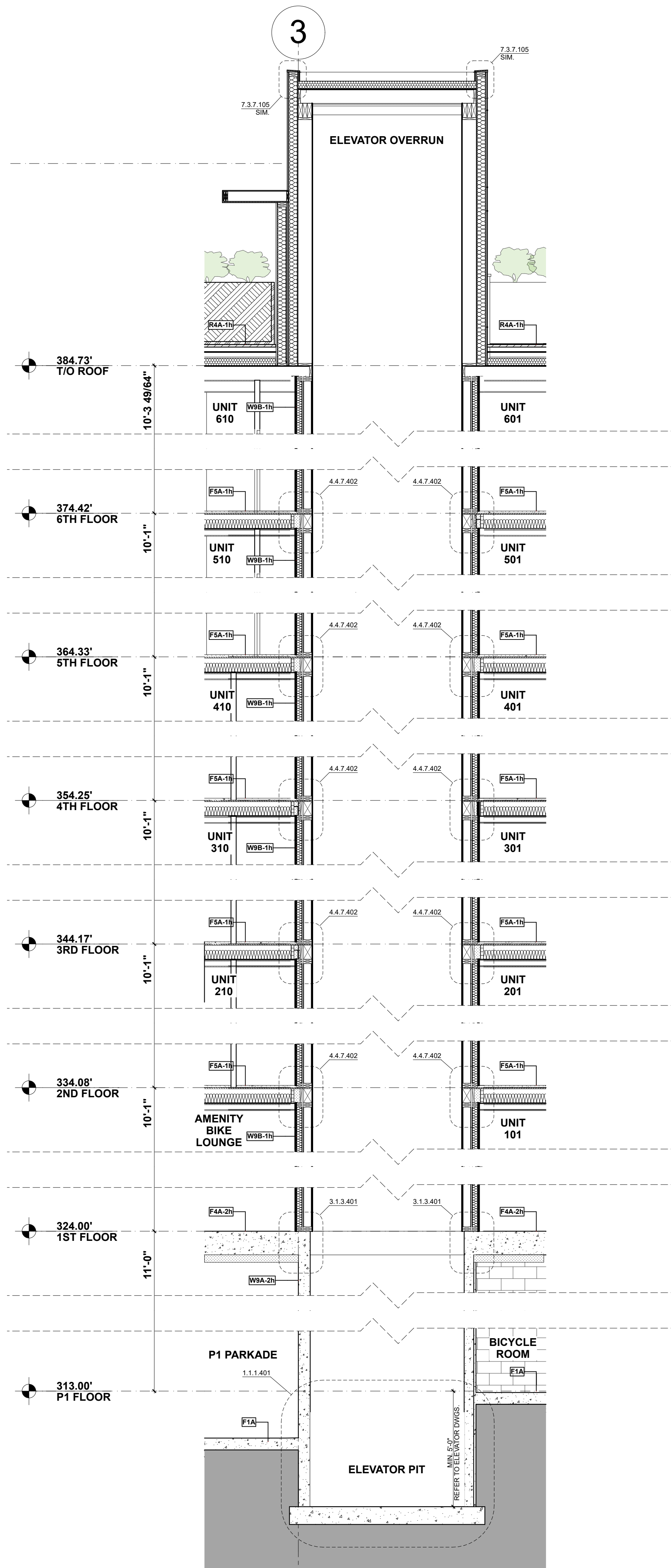
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2024-10-04 [DATE]

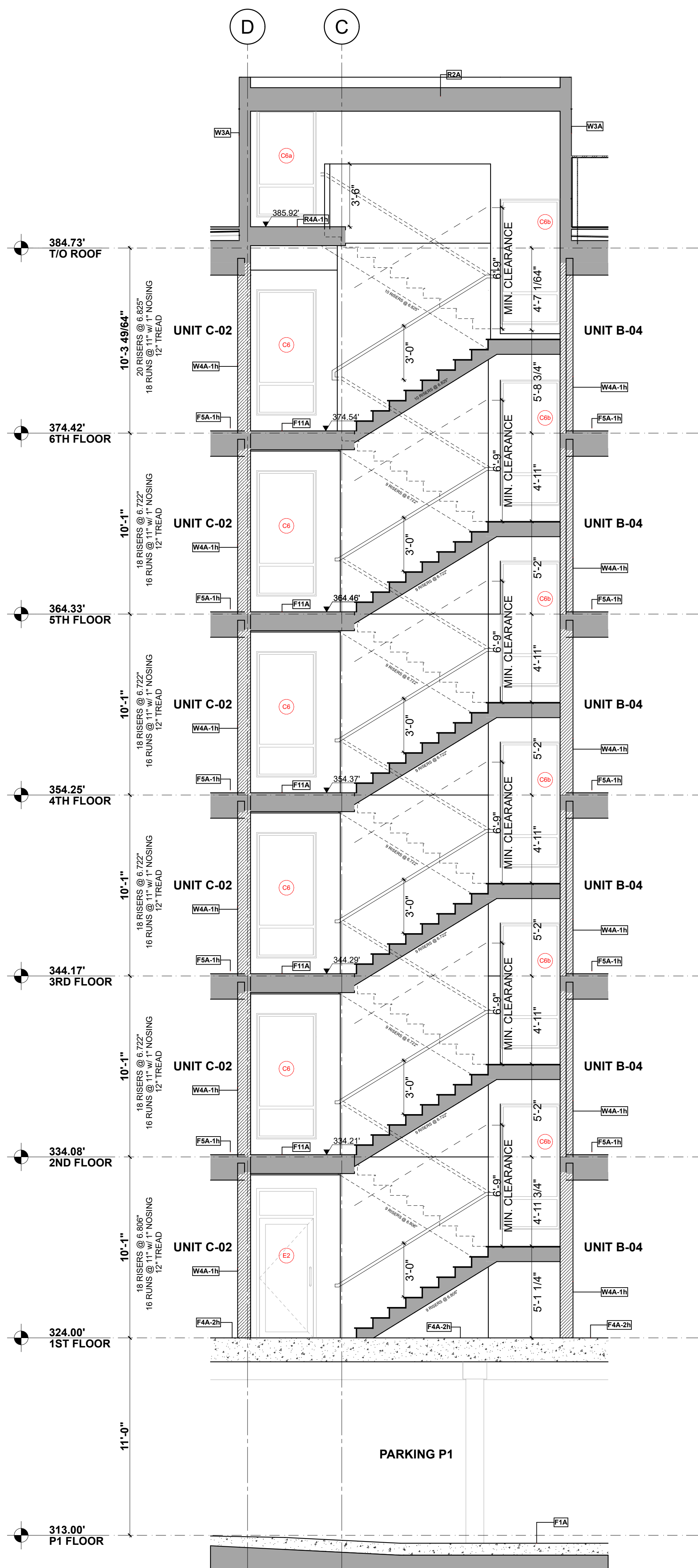
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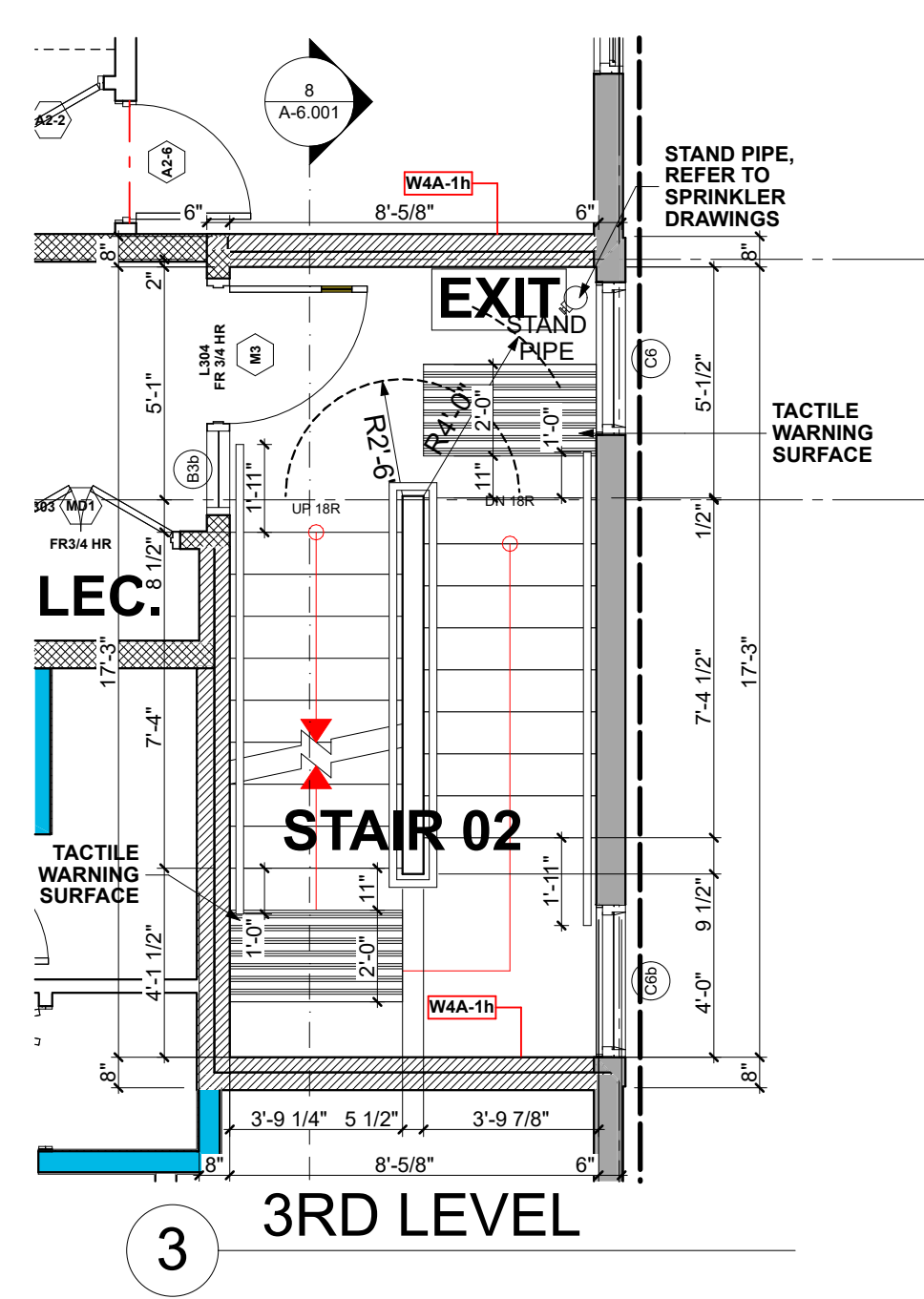
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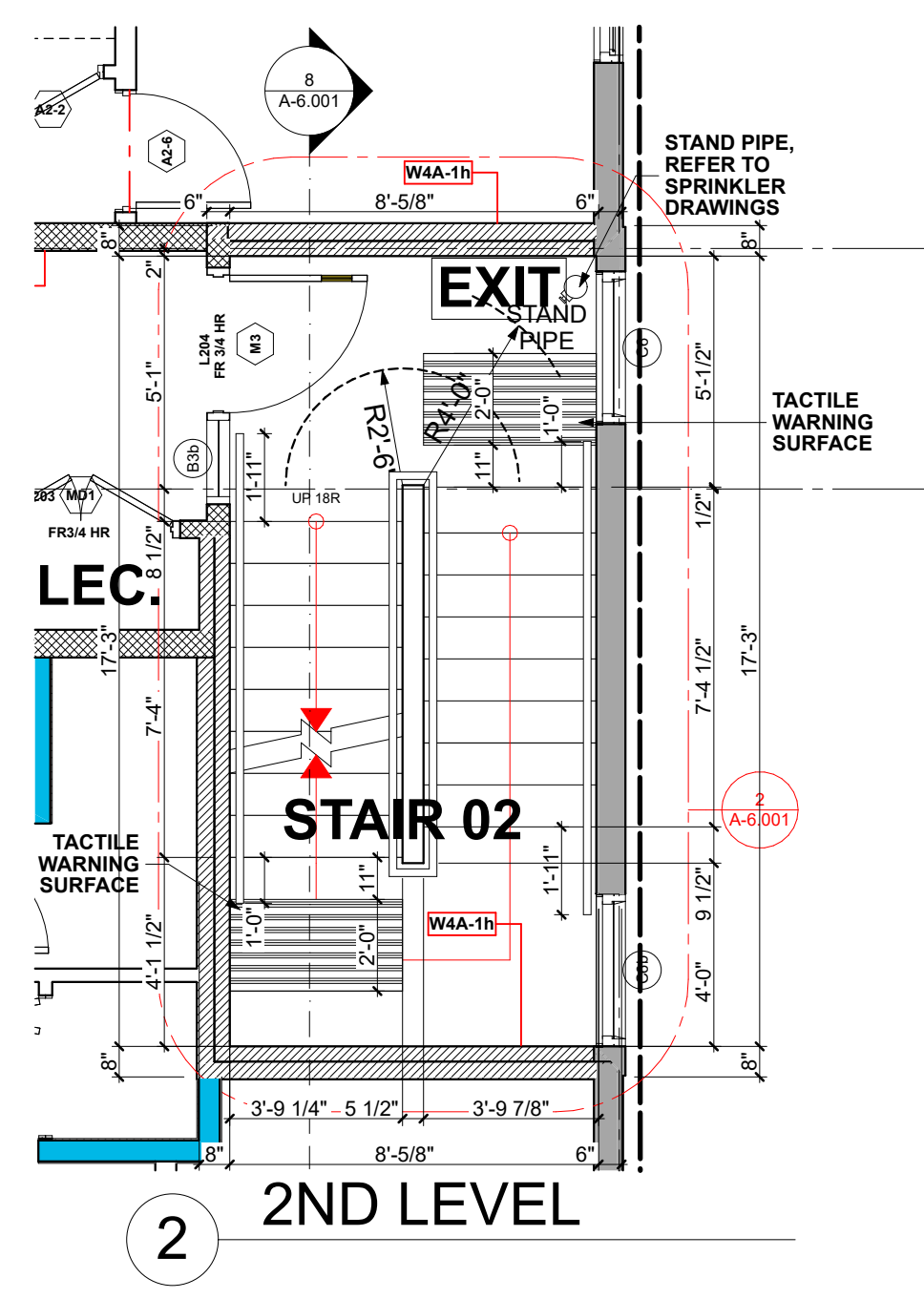
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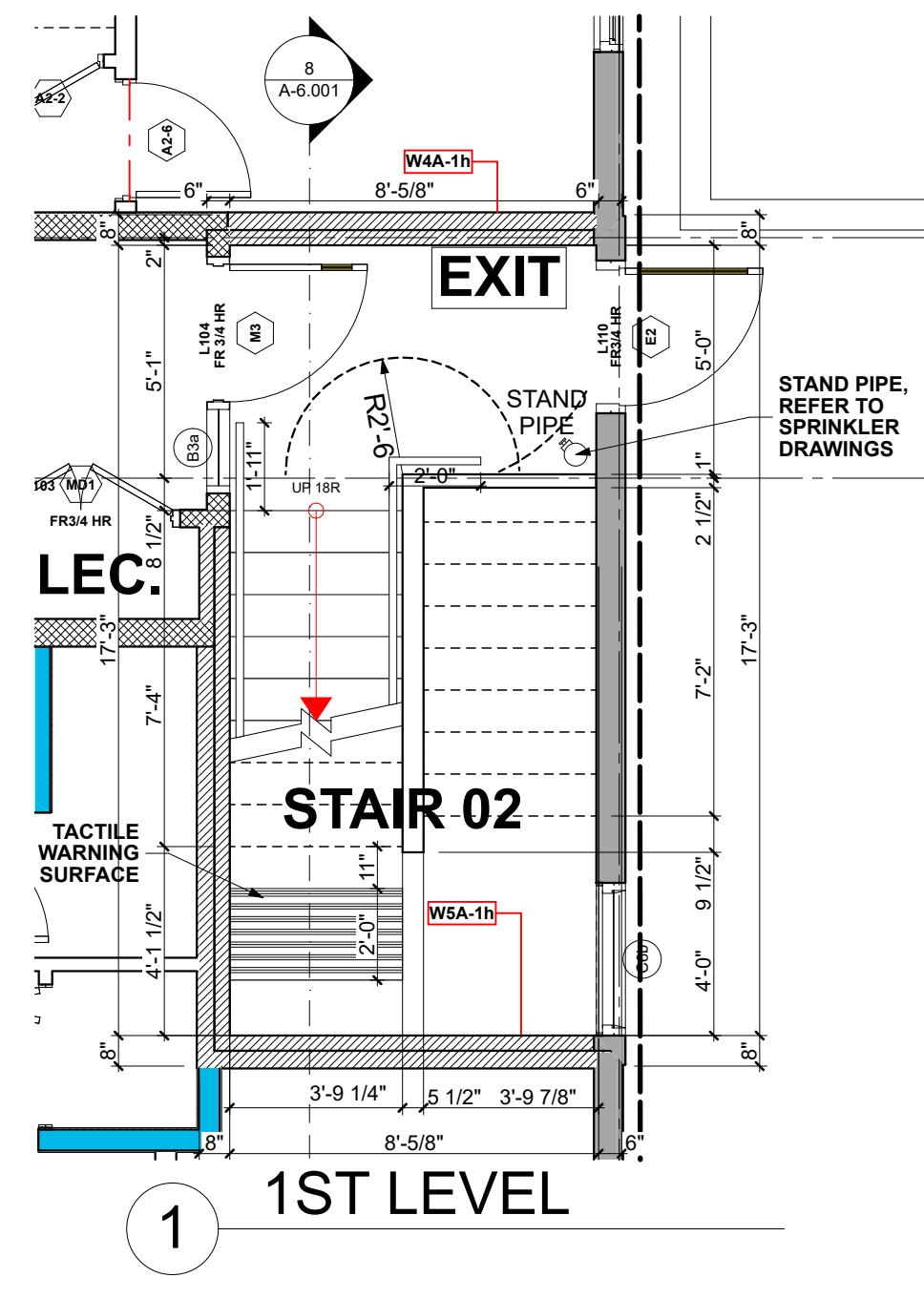
8 SECTION - STAIR NO. 2



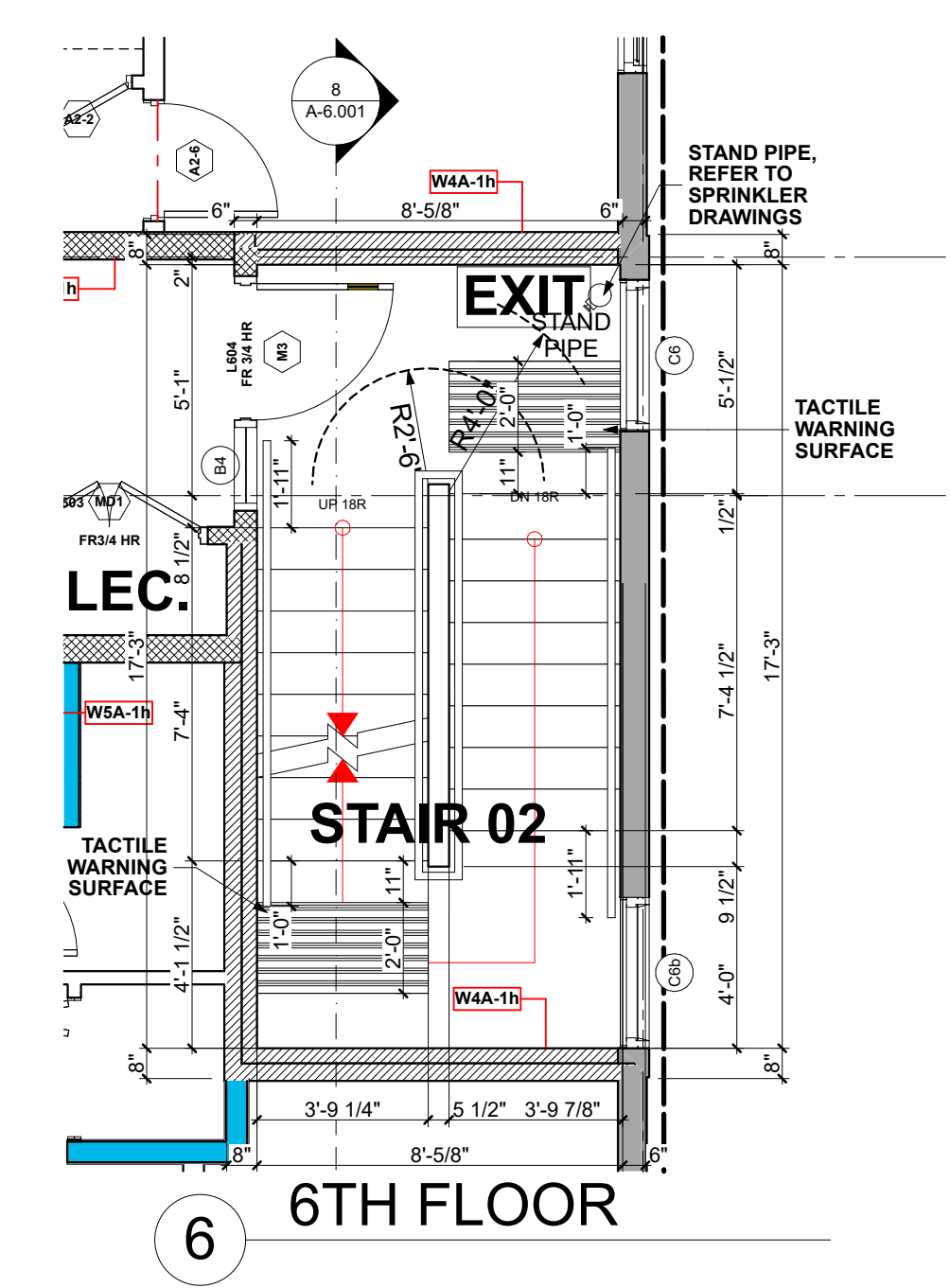
3 3RD LEVEL



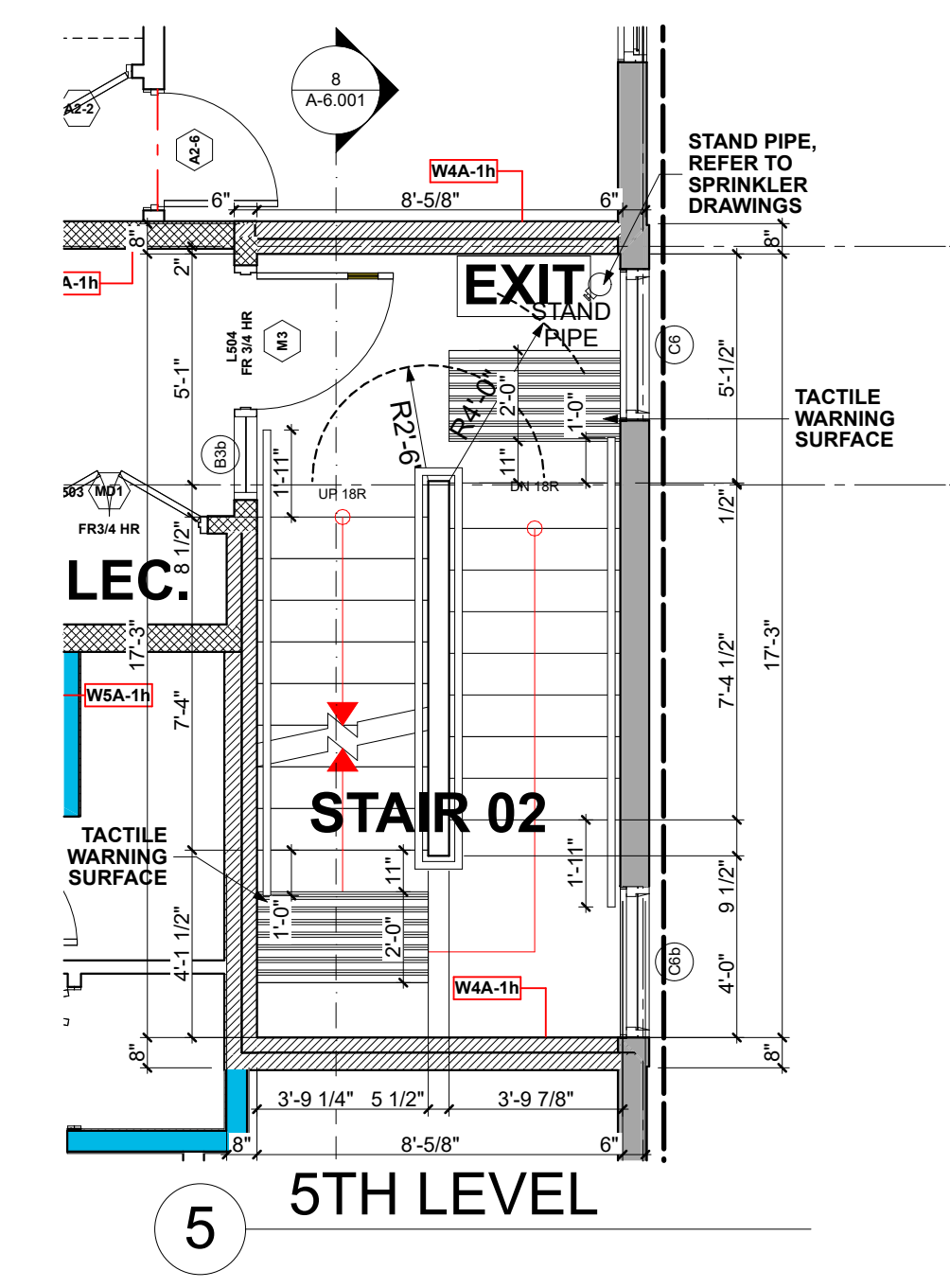
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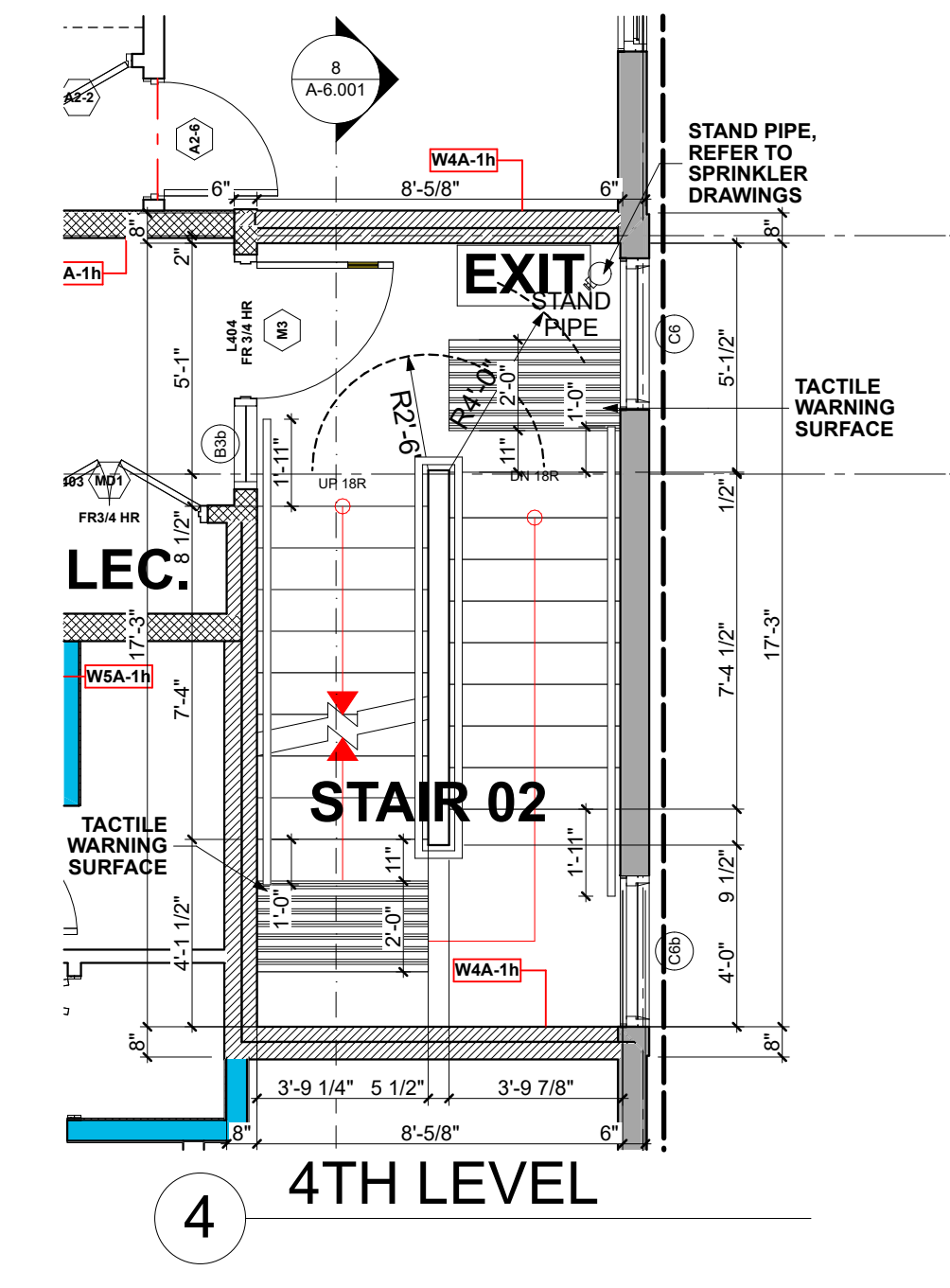
1 1ST LEVEL



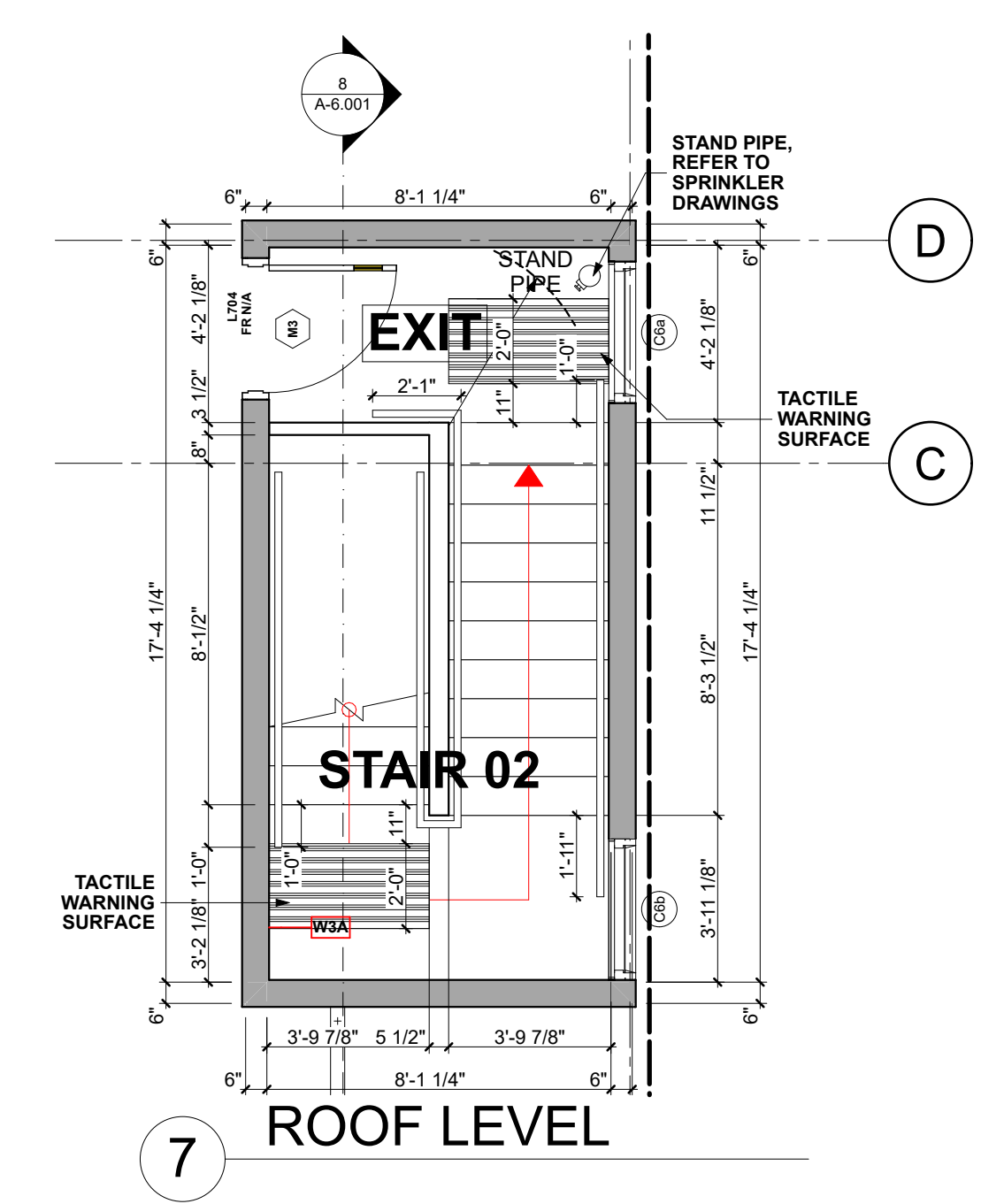
6 6TH FLOOR



5 5TH LEVEL



4 4TH LEVEL



7 ROOF LEVEL

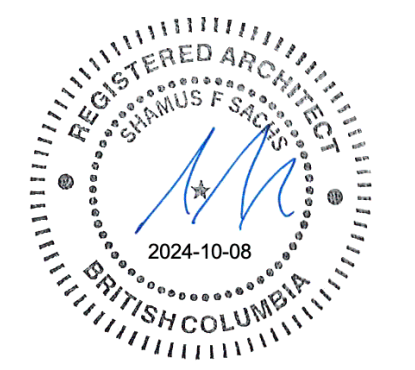


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[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

STAIR NO. 2

19495 [PROJECT]

1/4" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-6.001

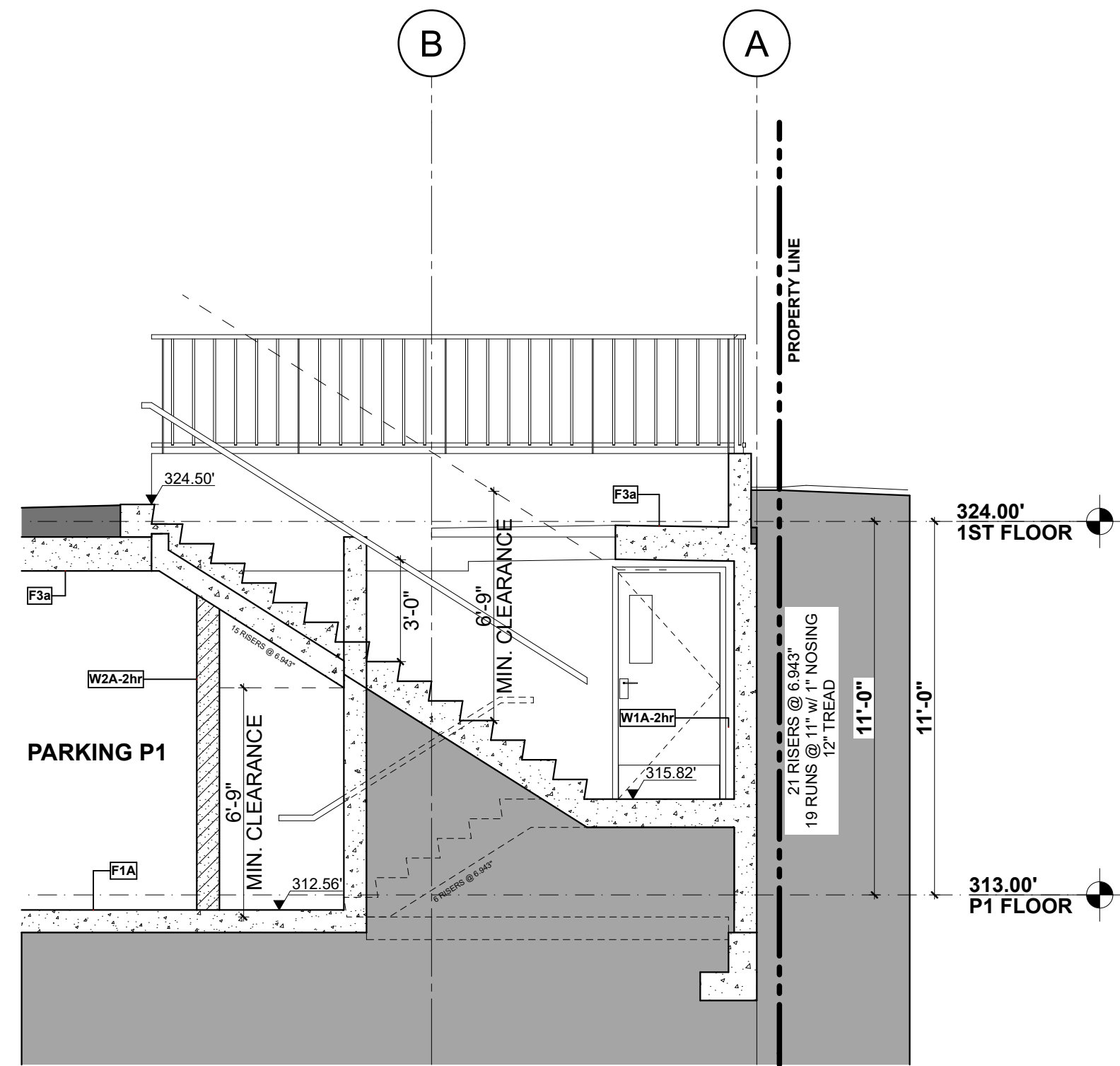


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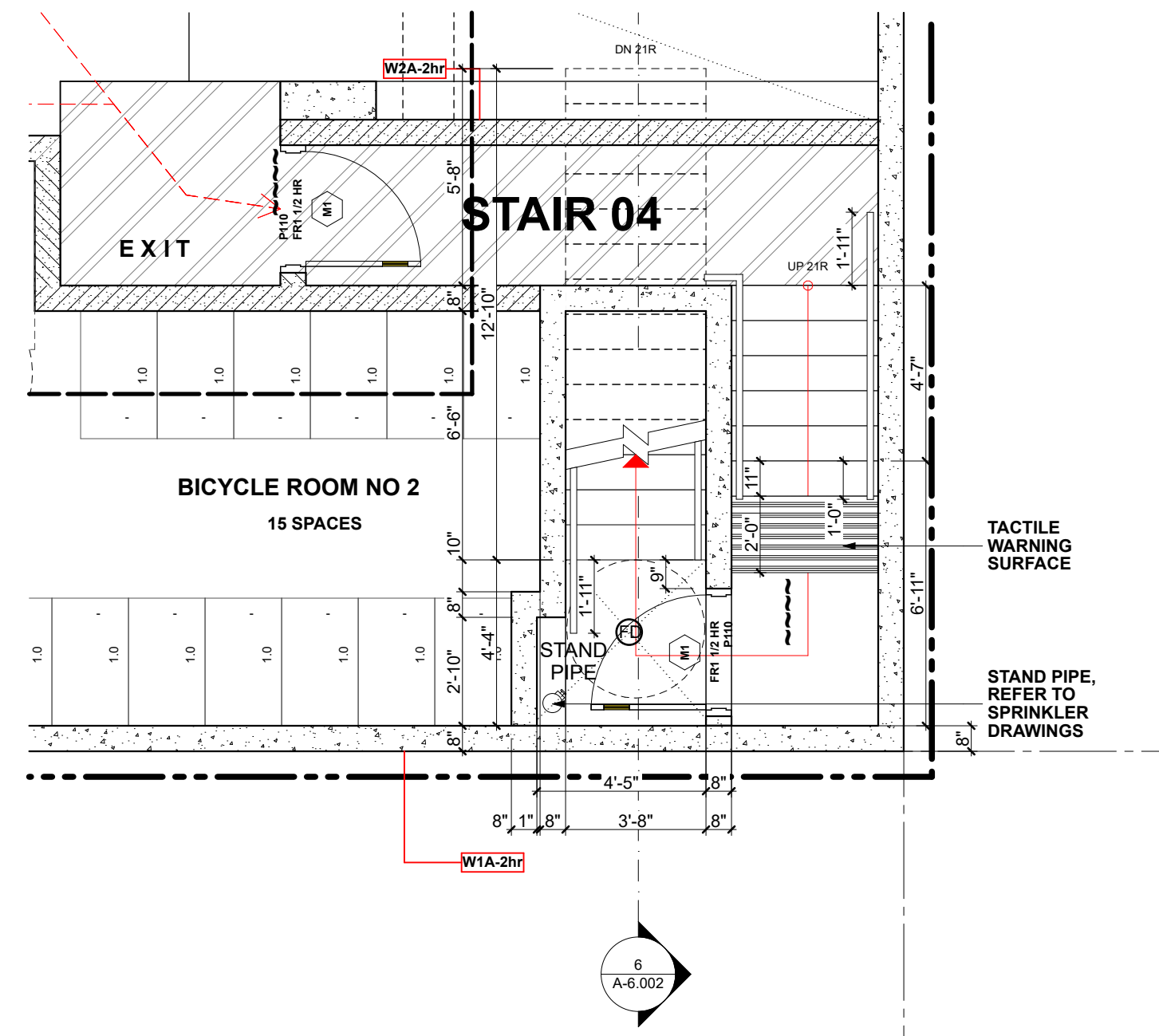
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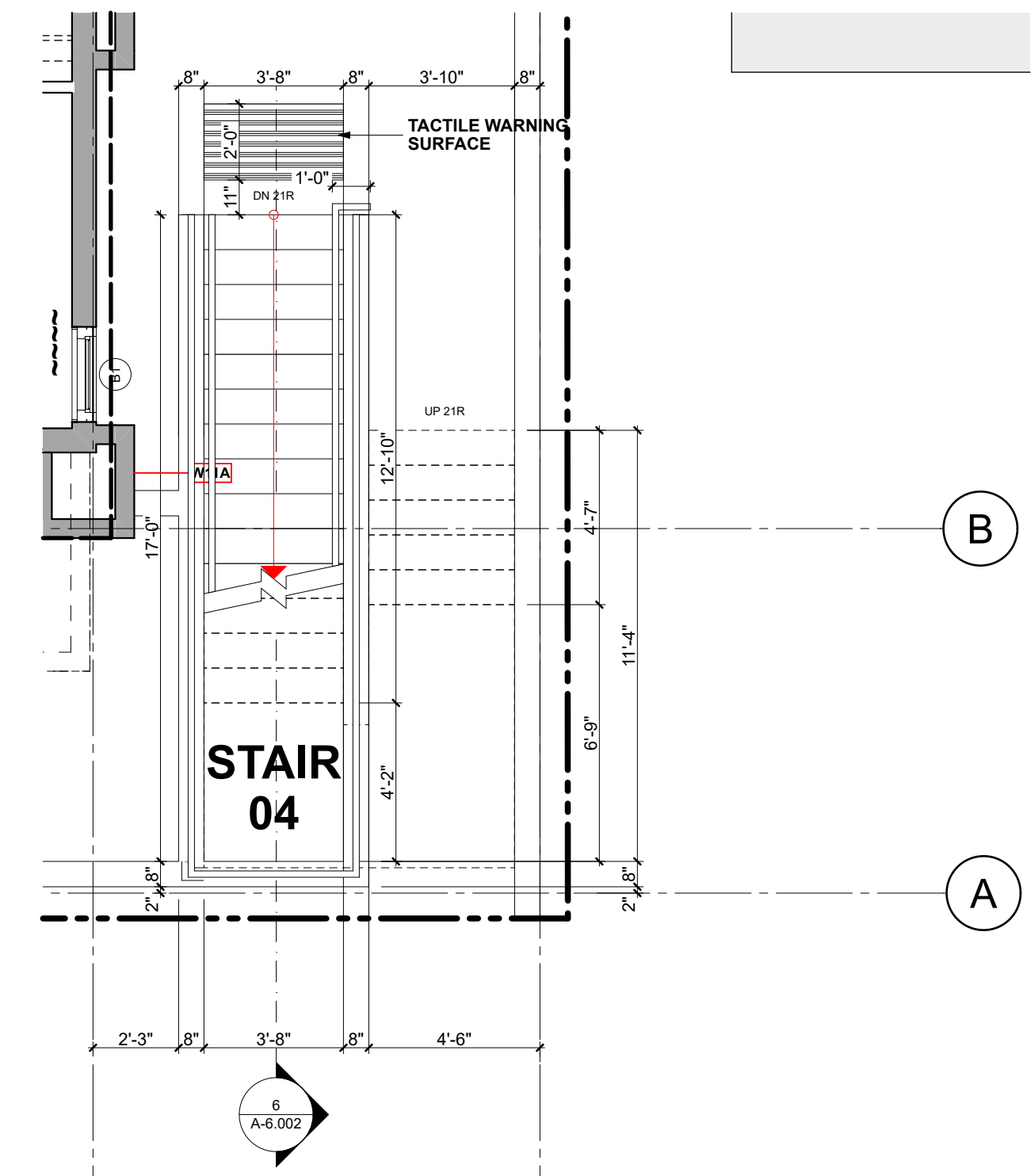
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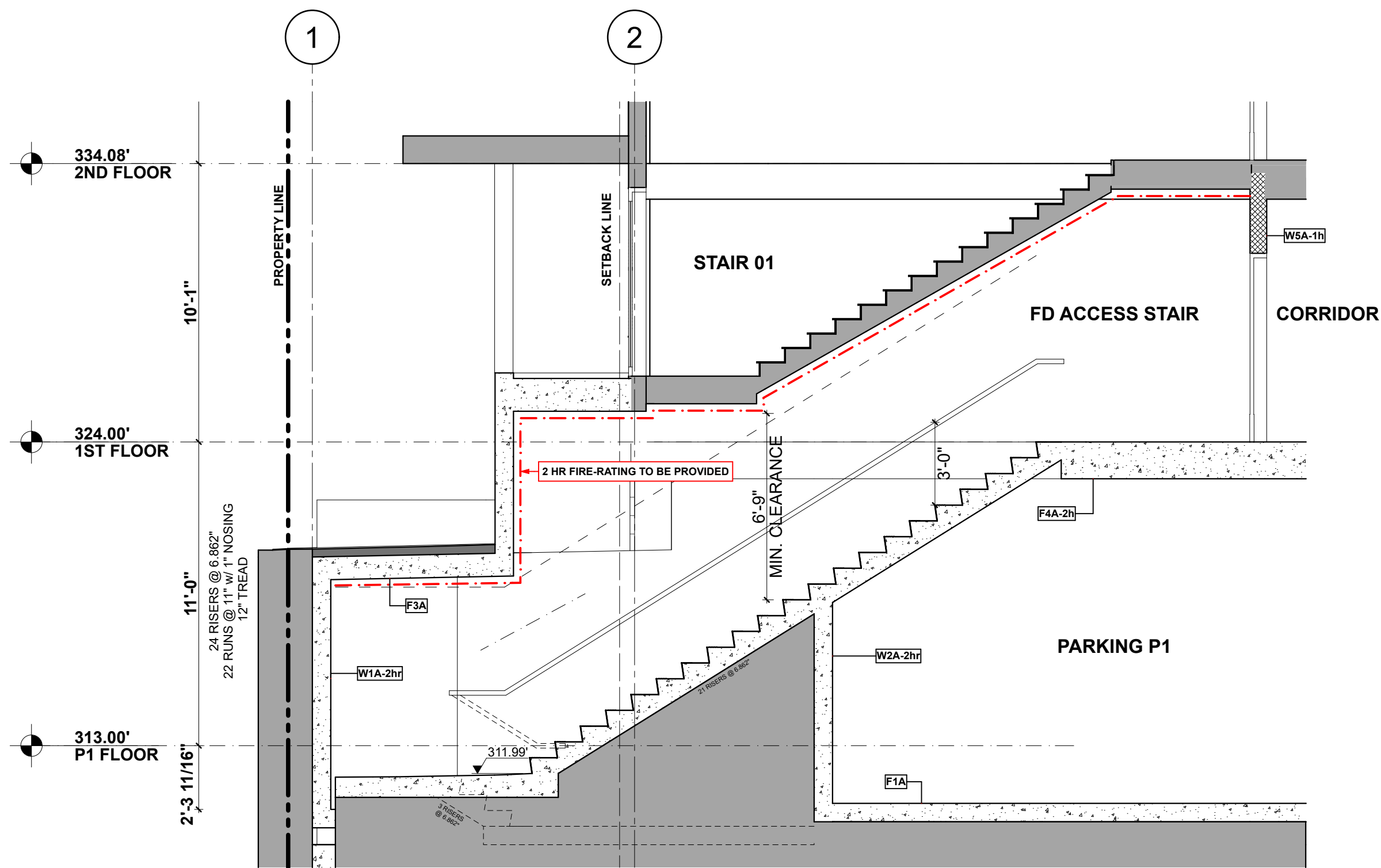
6 SECTION - STAIR NO. 04



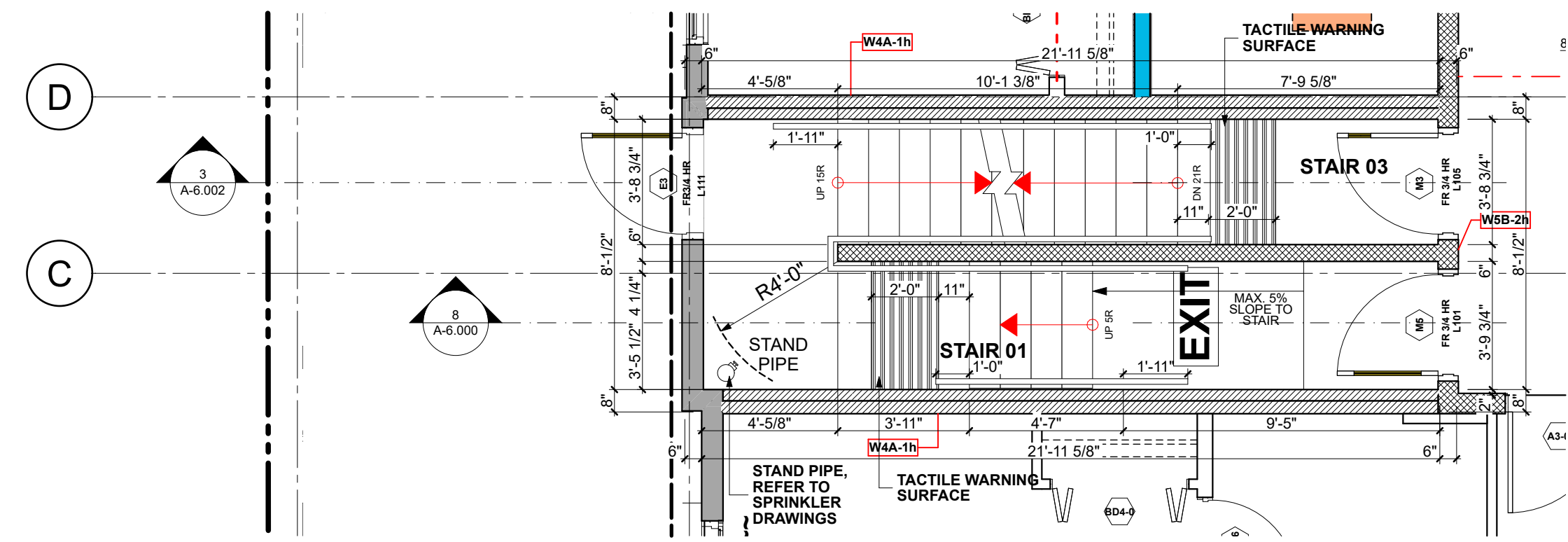
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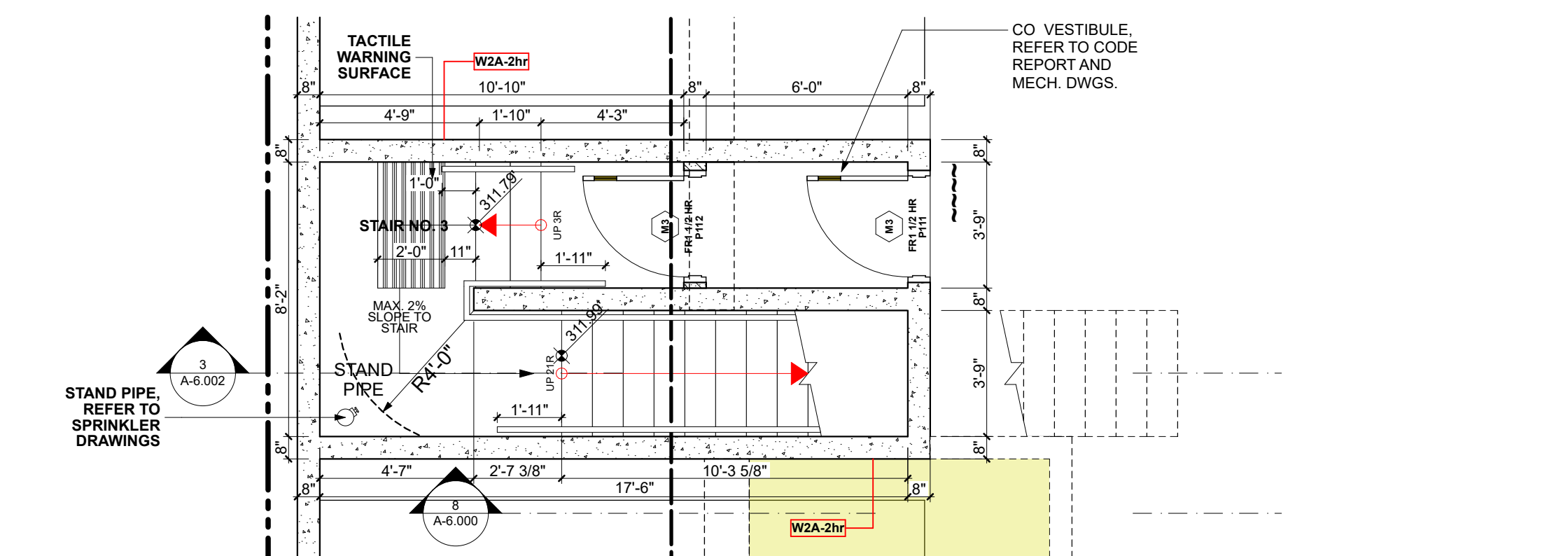
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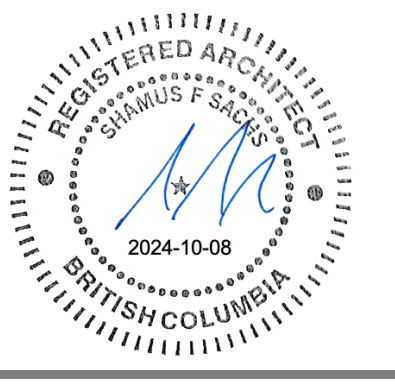
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2 STAIR NO. 3 AT LEVEL 1



1 STAIR NO. 3 AT LEVEL P1



[ARCHITECT SEAL]



RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

STAIR NO. 03 & STAIR NO. 04

19495

[PROJECT]

1/4" = 1'-0"

[SCALE]

2024-10-04

[DATE]

13 - BP RESUBMISSION

[ISSUE]

[DRAWING]

A-6.002



RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[ARCHITECT SEAL]

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206 EAST 12TH STREET
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PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
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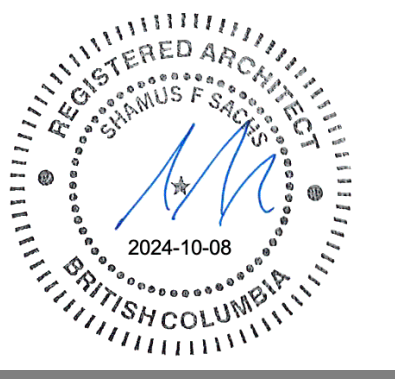


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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

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[TITLE]

COVER & GENERAL NOTES

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NOTES

GENERAL NOTES:

- The Contractor shall exercise proper precaution to verify dimensions and property line bearings before laying out work and be responsible for any error resulting from his failure to exercise such precaution.
 - Do not scale drawings. Larger scale drawings take precedence over smaller scale drawings.
 - Maintain all sites on site, for reference, approved Building Permit drawings, posting cards, copies of all reports from the Municipality, inspections, addenda, clarification drawings or letters, notes. Do not damage or mark approved Building Permit drawings. Maintain additional set of drawings for reference, on site, indicating all changes from the approved permit set, use by consultants in preparation of "record drawings" as required by the authorities having jurisdiction.
 - Deviations from these drawings are not permitted without the prior approval of the Architect. Contractor is to keep a written record of all changes. Notify the Architect immediately of any proposed changes in the work, and not proceed with changes until approved. On completion of work, return approved Permit drawings together with marked-up site set to the Architect. Clearly noting any information to fully describe the as-built condition of the building.
 - All materials shall be new and of the quality and grade specified. No seconds, off grades or materials, which do not meet the tolerance specifications will be accepted in the finished work.
 - All work performed on this project is to be in strict accordance with the current Building Code. The conditions of the Building Permit can not be changed without written approval from the Authority Having Jurisdiction. All work is to conform to or exceed the minimum standards of the Canadian Standards Association, local Municipal Building By-Laws, the Workers' Compensation Board and the manufacturers' specifications for material supplied for this project, as applicable. It is incumbent on the contractor to be familiar with the applicable building code.
 - Interior dimensions are taken to face of stud. Exterior dimensions are taken to the face of exterior sheathing. Dimensions of concrete or masonry components are taken to the face of concrete or masonry. Dimensions of steel components are taken to the face of steel stud.
 - Party walls are to be constructed for their full height as a continuous fire separation as per wall schedule. No service penetrations, including but not limited to outlet boxes, greater than greater than 4 inches square, are permitted in party walls. Back to back service penetrations must be offset by a minimum of 12". All penetrations in a party wall or corner wall to be fire stopped. The air space must be open and unobstructed. It is incumbent on the general contractor to coordinate the work to ensure items such as the plumbing and gas lines do not into the air space.
 - Shop drawings and specifications, complete with Assurance of Design and Commitment for Field Review, Letters of Assurance (Schedules S-B and S-C), are to be provided for all handrails, guardrails, canopies, windows, trusses and other prefabricated elements noted in the drawings. These submittals are to be prepared by an engineer registered in the province of BC and submitted to the appropriate Engineer and the Architect prior to fabrication and installation. Field review reports by the signing Engineer are to be submitted to the contractor and architect. Final design drawings to be provided at the end of the job in accordance with the record set submission.
 - Specifications issued for architectural, structural, mechanical, and electrical drawings are to be taken in conjunction, with, and form an integral part of, the Contract documents.
 - The owner and contractor shall be responsible for preparing and submitting a fire safety plan in accordance with the current BC Fire Code, for approval by the Building and Fire Departments.
- 2.0 SITE WORK:**
- For site and landscape information and details, the contractor shall refer to the drawings and specifications prepared by the Geotechnical Engineer, Electrical Engineer, Mechanical Engineer, Landscape Architect, Civil Engineer and the Architect.
 - Sidewalks, street lighting, trees and roadways to be repaired by the Contractor to the standards and satisfaction of the Municipal Engineer.
 - Slope all patios and walkways away from buildings at a minimum of 2% and a maximum of 5% for drainage. See

landscape drawings for the thickness of finishes and drainage layer.

3.0 CONCRETE:

- Refer to the Building Envelope Engineer's details or additional requirements.
- All vertical concrete corners to be chamfered 3/4" unless otherwise noted.
- Provide vertical control joints at max. 16'-0" o.c. at all parkade walls. Refer to structural drawings.
- All exposed concrete to be architectural finish. See Structural drawings for notes on stippling.
- Any changes in concrete grades without prior approval of the Structural Engineer, Landscape Architect and Architect will be the contractor's responsibility to correct.
- Contractor shall review drawings for extent of exposed architectural finish concrete and shall ensure that the appropriate subcontractors are aware of the required level of finish.

5.0 METALS:

- For all concrete reinforcing refer to structural drawings and specifications.
- Provide handrails to minimum 34" and maximum 42" show nosing for all stairs forming part of an exit route and having 3 or more risers. Provide continuous handrail one side of stairs less than 3'-7" wide, and handrails on both sides of stairs wider than 3'-7". Refer to details for specific dimensional requirements. Submit to the Architect and Engineer shop drawings, complete with Letters of Assurance, together with calculations sealed by the specialty engineer indicating details of connections made to the building structure.
- Handrails to be continuous along full length of stair and beyond top and bottom riser as per the current Building Code. Provide sloped transition for continuous handrail at stair landings - no vertical drops.
- Guards to be 3'-0" (I.N.O.) high and have no clear opening greater than 4". Handrails and guards to meet the loading requirements of the current Building Code. Shop drawings must be submitted for Architect's and Engineer's review prior to manufacture. Engineer to provide Field Review of installed guards, including field review report. Guards/rails are subject to code requirements for non-combustibility.
- Handrails shall have a circular cross section with an outside diameter not less than 1 1/4" and not more than 1 5/8". Refer to Architectural details.
- Contractor shall provide shop drawings for all decorative metal fences, gates and related accessories for review by the Landscape Architect and the Architect.

6.0 WOODS AND PLASTICS:

- Wood framing shall be protected from rain and snow during construction. Wood framing shall be below the maximum allowable moisture content of 19% at the time of insulating and installing the vapour barrier. Moisture content must be verified for review by the Building Inspector and other wood is permitted to be in direct contact with and approval of moisture content by the Building Inspector, Building Envelope Engineer and Architect.
- No wood framing, wood sleepers and/or other wood is allowed to be in direct contact with concrete. Protect wood members adjacent to concrete with closed cell foam gasket or 45b damp proofing course.
- Provide solid blocking over all suite demising walls, corridor walls, and exit partitions. Provide solid blocking behind all attachments and in walls of tubs and showers for future grab bars.
- Align all window and door heads as per window schedule and elevations.
- Contractor to confirm that all clearances to appliances (including kitchen appliances and gas fireplaces) conform to manufacturer's specifications. All stacked washer and dryer locations to sufficient vertical blocking behind dry to fit appliances as per manufacturer's specifications.
- Provide min. clearance between combustible material and kitchen cooktops and ovens as per the current Building Code.

- All woodwork to meet AWWAC standards.
- All interior 1W rated load partitions -- provide min. 5/8" type 'X' gypsum board around the inside of all service openings greater than 1600mm (5'-0") to maintain the required fire resistance rating -- electrical panels, media boxes, manifold, washer/dryer shut-off boxes, etc. -- frame rough-openings accordingly.

7.0 THERMAL AND MOISTURE PROTECTION:

- Refer to the Building Envelope Engineer's details for additional requirements.
- All exposed flashings are to be pre-finished steel in standard colour. Flashing over parapet or roof perimeter or gravel stop flashing are to have standing seam joints or mechanically fastened through sides only and caulked at all laps. Fasteners and flashing are to be compatible with respect to corrosion. Review and approval by the Building Envelope and Roofing Inspector is required.
- All roofing and waterproof membranes are to be installed to meet 5-year RCABC standards. Supplier and installer are to provide a minimum written product and installation guarantee.
- All concrete walls below grade to be min. 60 ml spray on waterproofing on exterior face as per manufacturer's specifications. Concrete surface to be prepared sufficiently so that waterproofing is continuous over all voids, air bubbles, and pin-holes. Concrete walls with habitable space below grade to be protected with waterproof membrane to standards acceptable by building envelope engineer.
- Vapour and air barriers shall be continuous and installed so that all joints and edges are sealed with caulking at framing members, furring or blocking and laps. All holes through vapour and air barriers, such as those cut out for installation of electrical boxes or duct work, shall be sealed to maintain the continuity of the vapour and air barriers over the entire surface as per the current Building Code.
- Provide flashing, including but not limited to, over all exterior doors and windows, exposed curbs, parapets, tops of walls and at floor level (thru-wall) unless detailed otherwise.
- Provide a waterproof membrane, with primer compatible with substrate material, at all building openings and the top of pony walls and roof parapets. Application to be the full of openings in the framing and 8" up the side walls, fully integrated and lapped with the air barrier membrane. Refer to Architectural and Building Envelope Engineer's details.
- Provide waterproof membrane in a saddle flashing at all wall/wall and parapet/wall conditions. Contractor shall review sequence of material installation with the Architect and the Building Envelope Engineer.
- Waterproof membranes for decks over habitable areas to be approved for use in residential applications, to minimum standard of sheet waterproof membrane or prior approved equivalent. Supplier and installer are to provide a minimum written product and installation guarantee to coordinate with the Scope of Work. Provide certification that material conforms to the requirements of CSA-5413-14 to the architect prior to use.
- Contractor to provide Architect with a copy of roofing and flashing test report from a Building Envelope Engineer, to be named prior to start of roofing.
- Contractor shall provide a field mock-up and product samples for connection of gutters to rain water leaders and drains where drainage is taken to the building. Required drawings are to include, but are not limited to metal flashing, membranes and caulking details. Shop drawings to be submitted prior to the start of work.
- Insulate all stud cavities where mechanical and plumbing lines run through. All drainage offsets within dropped ceiling spaces to be packed with mineral wool insulation to surround pipes.
- Insulate ventilation ducts that pass-through balcony, soffit, or attic spaces. Locate soffit vents to the outside edge of the soffit. Provide sealed poly batten at all soffit vent terminations for 3' beyond all sides of vent.
- All exterior drains that extend through heated space are to be insulated and wrapped with continuous vapour retarder.
- Roof ventilation shall be made continuous (unless noted otherwise) so that maximum eave to eave ventilation is achieved. Dead spaces blocked by roof projections or other structures (such as fire stop compartmentalization) shall be vented by pre-manufactured roof vents as located on roof plan and counter-flashed as per RCABC recommendations and integrated as per building envelope detail. Slope of roof vents to be determined based on specific type used. Clear vent area to be strictly in accordance with ventilation area requirements per current Building Code and CAN3-A93-M "Natural Airflow Ventilators for Buildings". Submit product samples and written specifications for all ventilation products to the

Architect/Building Envelope Engineer/Roofing Inspector for approval prior to manufacturing or ordering. Written specifications are to include the equivalent "effective clear area" for all vents.

- Air barrier membranes shall be continuous and installed so that all joints and edges are sealed at framing members, furring or blocking. All holes through air barriers shall be sealed to maintain the integrity of the air barrier over the entire surface to comply with CAN2-S1-32 and inspected and approved by Building Envelope Engineer. Refer to Architect's details for installation and lapping requirements.
- All wall plates to be set on all gaskets and be anchored as per structural drawings.
- All exterior sealants shall be 1-part urethane based or approved alternate. Silicone based sealants are not acceptable for exterior use. Contractor to provide product specifications for all proposed caulking and sealants for review by the architect and building envelope consultant prior to the start of installation.
- All piping, including traps and toilet flanges, tubing, ducts, wiring, conduit, electrical outlet boxes and other similar service equipment that penetrate a fire separation or a membrane forming part of an assembly required to have fire-resistance rating, shall be tightly fitted and sealed at the penetration with fire stop materials conforming to CAN2-S1-15 and the current Building Code. All pipes that penetrate a fire separation shall be noncombustible or be part of a proprietary approved fire-stopping assembly. The contractor is to submit written fire-stopping system documentation to the Architect for pre-approval. A mockup of all typical installations is to be provided for the Architect and Approving Authority prior to completion of all site locations.
- No service penetrations into a party wall may be larger, than 4" square. Service penetrations on either side of a fire separation (i.e. seal stair, corridor and/or party-wall) are not permitted to back on to one another, and are to be avoided by placing each opposing service penetration in separate wall-stud cavities. All wiring, plumbing or other services in a party wall shall not be located in the 1" air space between studs of each side. All penetrations in the party wall must be sealed with approved fire stopping materials to the gypsum wall board manufacturer's tested/ approved specifications.
- Provide access to every attic or concealed roof space more than 800mm high as per the current Building Code and maintain the required fire separation where applicable. Roof access hatches to roofs to be min. 3' x 4' clear opening.
- Gypsum wall board to run continuously behind bulkheads, ceiling drops, and fireplaces to complete rated wall assembly between units, prior to being furred out to receive fireplace. Gypsum wall board to run continuously behind bathtubs and showers, with water resistant wall board placed over rated walls that surround tub.

8.0 DOORS AND WINDOWS:

- All windows and doors shall conform to the most current edition of the current Building Code and NAFB-08 standards.
- All dimensions are to be confirmed with site conditions.
- Window supplier(s) shall provide letters of assurance for design and review of windows with respect to structural aspects. Shop drawings shall be required prior to manufacture. Shop drawings to bear seal of structural engineer registered in the province of BC. Engineer to provide letters of assurance (Schedules S-B and S-C) and field review for components covered. Shop drawings to confirm certification of window assembly for air and water infiltration ratings.
- Windows and doors shall be designed and installed to resist wind pressure and seismic effects, and conform to the current Building Code, NSF-08, and CSA 444-S1.
- Site testing to be reviewed by the Building Envelope Engineer and Architect. Testing is required on a minimum of 1% of the windows. Should any of the Windows fail, the window(s) must be repaired and re-tested, plus two additional windows. Please note that all testing must be done to the windows as supplied with no temporary modifications to the assembly, i.e. blocking the drainage holes.
- Entry doors and windows within 2 m of adjacent grade to be protected for resistance to forced entry to conform with the current Building Code.
- All windows above the ground floor with opening panels not above balconies, to have fixed lights within 1070mm(42") above finished floor. All window components at or below the height of 1070mm(42") above finished floor, to meet the requirements for a guardrail and be protected in accordance with the current Building Code.
- All windows and doors to conform to the safety glass requirements of the current Building Code.
- All doors, windows, and skylights to conform to the performance and security requirements of the current Building Code.

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SCALE: Not To Scale DATE: 2024-05-29
CLIENT: RF PROPERTIES DRAWING: BP RESUBMISSION
PROJECT: RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC DRAWING: 0.2.1.001

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PROJECT: RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC DRAWING: 0.2.1.003

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- All suite entry doors to have viewers as per the current Building Code.
 - Hinges to exterior outward doors to have non-removable pins.
 - All unit entries and swinging patio doors are to have dead bolts with a min. 1" throw conforming to the current Building Code.
 - Door strike plates are to be fastened to frames conforming to the current Building Code.
 - Blocking is required at lock height of exterior doors and frames to conforming to the current Building Code.
 - All interior unratred doors to be undercut by 1/2" above the floor covering.
 - All exterior doors shall conform to CAN/CSA 0132.2 and shall be clearly labeled as per the current Building Code.
 - Mirrored closet doors require safety backing and shall conform to CANCGSB-82.6-M and to the current Building Code.
 - All glass required to be tempered or laminated safety glass shall be labeled permanently as such. Wood doors are to be permanently labeled to provide the manufacturer's name, year of manufacturing, exterior grade CSA 012.2, as per Bulletin 12.211 and to NFPA 80 where applicable.
 - All fire doors, window assemblies or glass block used as a closure in a required fire separation shall be installed in conformance with NFPA 80, and be tested and Warnock Hersey or ULC labeled. All door hardware used as part of a rated assembly shall be rated, tested and installed in conformance with NFPA 80.
 - Window manufacturer to provide letter to Architect and Mechanical Engineer, confirming glass shading coefficient, U-values and frame material used by the mechanical engineer in doing energy utilization calculations. Window manufacturer to provide letter confirming that the supplied glass conforms to shading coefficient and U-values specified by the Mechanical Engineer.
 - All bath and shower enclosures shall have safety glass.
 - For additional information, refer to Door, Window, and Security Specifications and Schedules.
 - All rated doors shall have a self-closing device in conformance with the current Building Code and NFPA 80.
 - Locking, latching and other fastening devices on principal entrance and exit doors shall be readily opened with no more than one releasing operation and without requiring keys, special devices or specialized knowledge as per the current Building Code.
 - Door operation hardware shall be mounted not more than 1200mm(47.2") above the finished floor as per the current Building Code.
 - Provide a rated door sweep at 20 min. rated suite entry doors where the gap is more than 6mm (1/4"). Provide a rated door sweep at other rated doors where the gap is more than 19mm (3/4").
- 9.0 FINISHES:**
- Refer to Interior Design drawings and specifications for the room finish schedule and all interior details, tile patterns, cabinets, pass throughs, stairs, & fireplaces. Advise architect of any discrepancies between scopes of work, drawings, and/or interior design specifications. Provide cabinet shop drawings for review by the Owner, Architect, and Interior Designer. Provide final colour samples of all interior and exterior finishes for review by the Owner, Architect, and Interior Designer prior to installation of material.
 - General interior wall finish to be painted gypsum board unless otherwise noted.
 - Provide adequate backing for all wall and ceiling mounted fixtures, handrails, grab bars, and railings.
 - Provide tile backer board mounting surfaces for all ceramic tiled surfaces at all tubs and showers -- product submittal required.
 - Install continuous drywall behind all plumbing fixtures in bathrooms including behind tubs and showers. Tape and fill all joints and fastener locations prior to installing tubs and showers.

- All concrete floors and toppings to be level, trowelled and prepared to receive finish flooring.
- Provide slip resistant treads on all stairs accessible to the public per the current Building Code. Provide tactile warning systems as per current Building Code.
- Flame spread ratings for walls and ceilings shall conform to the current Building Code.
- Milwork is to include standard shelf and rod in all closets, double rod on one side of master bedroom closets, and 4 fixed shelves equally spaced at 12" o.c. starting above floor level at all linen and party locations.
- Provide sloped tile sill c/w waterproof membrane -- "RedGuard" or approved alternate - at all windows adjacent to tubs and showers.
- All woodwork to meet AWWAC standards.
- All painting to meet MPI standards.
- Provide continuous bead of caulking between all floor and wall finishes prior to installing baseboards.
- Provide continuous bead of caulking at top edge and underside of baseboards.
- Provide low-emitting materials to minimize emissions from interior materials containing volatile organic compounds (VOC) or added urea-formaldehyde, as described below:
 1. Emissons from interior materials containing volatile organic compounds (VOC) or added urea-formaldehyde are to be minimized by meeting the content requirements of Green Seal, Green Label, Green Label Plus, FloorScore, South Coast Air Quality Management District (SCAQMD) Rules, or alternate low VOC criteria as applicable to each material or product, and shall contain no added urea-formaldehyde resins.
 2. Interior Paints and Coatings
100% of newly installed products meet California Air Resources Board (CARB) 2007. Suggested Control Measure (SCM) for Architectural Coatings, or South Coast Air Quality Management District (SCAQMD) Rule 1113, effective June 3, 2011 for VOC content.
 3. Interior Adhesives and Sealants
100% of newly installed products meet South Coast Air Quality Management District (SCAQMD) Rule 1166, July 1 2005 for VOC content.
 4. Flooring
At least 95% of newly installed flooring products, by area, meet the requirements of Green Label, Green Label Plus, or FloorScore certifications, as applicable.
 5. Interior Composite Wood
100% of newly installed composite wood products contain no added urea-formaldehyde resins.

10.0 SPECIALTIES:

- Signage Requirements:
 1. All suite entry doors to bear unit number.
 2. Street address at each tenant space and at main entry of residential.
 3. At exit doors and at each floor level at stairways.
 4. Mechanical, electrical, storage and service rooms.
 5. Ensure all signage is consistent with the labeling of the annunciator panel(s).
 6. All signage is to meet the current Building Code and additional client & interior design specification requirements. Provide submittal.
- Provide labeling of all mechanical, sprinkler, and life safety systems consistent with the labeling of the annunciator panel(s).
- All gas and electric fireplaces are to be tested and labeled by approved testing agency, such as Warnock Hersey or ULC. Install as per manufacturer's specification.
- Contractor to confirm minimum clearances to opening windows for all direct vent fireplaces.
- Overhead garage doors to have "Safety Edge" for automatic retraction if unable to fully close unaided. Installation is to be with full noise reduction package, with motor on rubber mounts and rubber door wheel guides.

14.0 CONVEYING SYSTEMS

- Elevators shall conform to the BC Elevator Devices Regulations, CAN/CSA B44 and the current Building Code. Elevator car enclosure materials to meet the requirements of ASHRA 17.1, Safety Code for Elevators and Escalators.
- Elevator supplier(s) shall provide letters of assurance for design and review of elevator. Shop drawings shall be required prior to manufacture. Shop drawings to bear seal of structural engineer registered in the province of BC. Engineer to provide letters of assurance (Schedules S-B and S-C) and field review for components covered.
- Contractor to confirm elevator shaft and machine room dimensions with manufacturer before construction.
- Geotechnical Engineer and Envelope Engineer are to review site water conditions prior to construction of the elevator pit to determine drainage and additional waterproofing required for the elevator pit.
- Provide separate price for one of the elevator cabs with min. 12" of additional interior clear height from standard elevator cab.

16.0 MECHANICAL:

- The mechanical systems are to be designed and installed as indicated in mechanical drawings and specifications. Product samples and written specifications are required for all vent terminals. To be reviewed by the Architect and Building Envelope Engineer prior to manufacturing.
- The mechanical systems are to be designed to provide the number of air changes per hour as indicated in mechanical drawings and specifications. Relief air to be provided in rooms requiring combustion air and be capable of continuous operation. Interior unratred doors are to be undercut 1/2" for air circulation. See mechanical drawings for fan size, location and sound rating. Mechanical engineer to review fan shop drawings. Principal exhaust fan sound rating required to be 1.0 Sone or less.
- Provide tamperproof access panels to all services and fire dampers. All access panels in shaft walls to be rated metal closures. All branch ducts from ducts in shaft walls to have fire dampers at shaft wall. Rated closures to have rating equal or greater than the separation containing them, except doors.
- All bathroom sinks are to be positioned such that the centre-line of the sink is not less than 18" from any side wall. Accessible bathroom sinks are to be positioned such that the centre-line of the sink is not less than 18" away from any side wall.
- Mechanical equipment (ventilators, generators, compactors, air conditioning and exhaust systems) are to be designed and located to minimize noise impact on the neighbourhood and comply with the local noise bylaw.
- Energy utilization requirements are to meet standards specified by the Mechanical Engineer.
- Where mechanical vents occur below a soffit or eave, the vents must be sealed a minimum of 4" in each direction, to prevent moisture from migrating up into conditioned space above.
- Ensure all exposed mechanical services including sprinklers meet the required fire resistance and flame spread ratings.

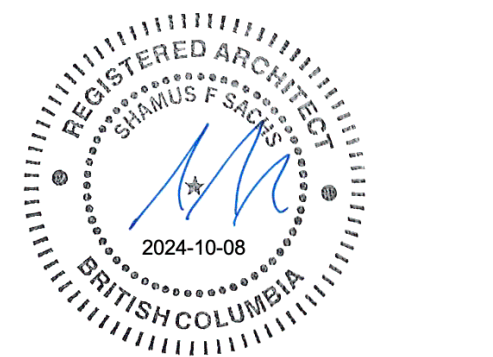
16.0 ELECTRICAL:

- The electrical systems are to be designed and installed as indicated in electrical drawings and specifications.
- All units to have smoke alarms installed at each level according to the current Building Code and be wired to permanent power. Refer to Code consultant's report for additional information.
- Ensure all electrical services meet the fire requirements and flame spread ratings.

17.0 AIR BARRIER DESIGN AND COMMISSIONING:

- (subject to confirmation by Envelope Engineer)
- The Contractor shall ensure that the intent of constructing the building enclosure with a continuous air barrier system to control air leakage into, or out of the conditioned space is achieved. Additional quality control inspection and testing services are required by the Contractor to verify compliance with requirements specified or indicated.

- The Contractor shall ensure that a continuous air pressure boundary be provided throughout the building enclosure and conditioned to comply with the following:
 - a. The air barrier is to be structurally supported to withstand positive and negative air pressures applied to the building envelope.
 - b. The air barrier must be continuous across joints, between assemblies and around penetrations.
 - c. All joints, penetrations and other openings in the air barrier that are potential sources of air leakage are to be sealed in a manner compatible with the construction materials and location.
 - d. All seals are to be securely installed so as not to dislodge, loosen or otherwise impair the ability to resist positive and negative air pressure applied to the building enclosure.
 - e. Where the air barrier changes materials special care to ensure continuity is required.
- All manufactured penetrations through the air pressure boundary are required to meet certain air leakage requirements including but not limited to:
 - a. Penetration (windows and doors) refer to other Division 8.
 - b. Access opening to shafts, chutes, stairways, and elevator lobbies shall either meet the requirements of Divisions 8, or shall be gasketed, weather-stripped, or sealed.
 - c. Exhaust vents require backdraft dampers.
- Mid-Construction Testing: Qualitative scale level mid-construction airtightness testing may be undertaken by the Envelope Engineer to verify the airtightness concepts are being implemented.
- Final Testing: The completed building will be tested by the Envelope Engineer. The Contractor is responsible for pre-test preparation.
- Test Criteria: The air leakage rate of the building envelope shall not exceed 0.4cm³/m² at a pressure differential of 1.57psf (2.0L/m² at 75pa) in accordance with ASTM F779.
- Test Results: Buildings that fail to achieve the airtightness target will be required to be re-tested. In the event of a failure, the Contractor is responsible to find and seal the sources of air leakage using techniques such as visual inspection, smoke testing, and/or thermal imaging, and re-test the building.
- Test Results: If the building is not able to meet the minimum target after testing, the Contractor is responsible to provide a "Lessons Learned Report" to the Owner for public use that includes the findings of a visual air barrier inspection, any air leaks found and sealed, likely remaining sources of air leakage and why they could not be readily sealed, and recommendations for future buildings to achieve the target.



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

GENERAL NOTES

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TITLE: ... GENERAL NOTES 5 ... PROJECT: 19495
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19495 [PROJECT]

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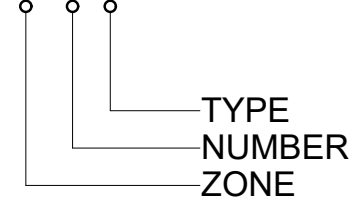
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13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-6.101

ASSEMBLY NO. W4A



WALL ASSEMBLIES

- W1 - CONCRETE EXTERIOR WALL
- W2 - CONCRETE / CMU INTERIOR WALL
- W3 - EXTERIOR WALL
- W4 - PARTY WALL
- W5 - CORRIDOR WALL
- W6 - INTERIOR WALL
- W7 - SHAFT WALL
- W8 - FIRE WALL
- W9 - ELEVATOR WALL
- W10 - FLEX WALLS (VARIES)

FLOOR ASSEMBLIES

- F1 - SLAB ON GRADE
- F2 - SUSPENDED SLAB (BELOW GRADE)
- F3 - SUSPENDED SLAB (UNDER LANDSCAPE)
- F4 - SUSPENDED SLAB (BETWEEN BUILDING AND PARKADE)
- F5 - PARTY FLOOR
- F6 - CORRIDOR FLOOR
- F7 - FLOOR WITHIN SAME OCCUPANCY
- F8 - RATED FLOORS SEPARATING OCCUPANCIES OTHER THAN C AND F3
- F9 - SOFFIT
- F10 - BALCONY
- F11 - FLEX (VARIES)

ROOF ASSEMBLIES

- R1 - SLOPED ROOF
- R2 - FLAT ROOF
- R3 - INTERMEDIATE ROOF
- R4 - ROOF DECK
- R5 - CANOPY
- R6 - FLEX (VARIES)
- R7 - FLEX (VARIES)
- R8 - FLEX (VARIES)
- R9 - FLEX (VARIES)
- R10 - FLEX (VARIES)

WALL NOTES:

GENERAL

1. Construct the walls as per the listed assemblies or the requirements of the current Building Code and provide the corresponding listed fire stop system for all penetrations.
2. Provide FT rated fire stopping at all penetrations of FT rated walls.
3. At wood frame construction drill all penetrations as per listed the fire stopping systems – chainsaw holes are not permitted.
4. Allow for min. 3/8" shrinkage at all wood frame floors.

PARKADE WALLS

5. Geotechnical Engineer to provide written confirmation of the presence of hydrostatic pressure in order to determine damp proofing or waterproofing requirements.
6. Provide waterproof elevator pit – continuous pour at elevator pit slab & walls or provide water stop at joints.
7. As per Mechanical & Geotechnical specifications provide rigid, perforated drainage pipe around perimeter of the building. The max. invert elevation of the drain should be at 4" below the elevation of the underside of the slab-on-grade. The pipes should be bedded on and surrounded by a min. of 5" min. of 3/4" inch clear crushed gravel. The crushed gravel should be covered via layer of non-woven geotextile filter fabric (Propex 4545, or approved equivalent) prior to placing as previously described.
8. Provide vertical control joints at max. 16' o.c. at all parkade walls. Refer to structural drawings.
9. Provide Kryton Kyrstol Waterstop at the cold joints between all concrete pours.
10. Call for field review by envelope consultant before installing Delta MS drainage medium and before commencing backfilling.
11. Do not paint inside of mechanical, electrical, or service rooms.
12. Provide fire retardant treated plywood attached to fire separation for mounting of electrical equipment in electrical service room.

EXTERIOR WALLS

13. Provide self-adhesive vapour permeable air barrier membrane or 'Tyvek' commercial wrap air/weather barrier in widest rolls practical, c/w min. 8' laps at all seams, 10' lap both sides of inside and outside corners. Seal all vertical and horizontal laps with air seal caulking. Seal 'Tyvek Commercial Wrap' air/moisture barrier to poly vapour barrier, base of wall membrane, all mechanical and electrical penetrations, windows and doors, etc. with air seal caulking to create a continuous exterior air barrier.
14. Refer to envelope consultant for the list of acceptable products. Use approved primer with all peel & stick products. Primer should be brush or roller applied and coloured for ease of application.
15. Install self-adhesive vapour permeable air barrier membrane or one layer of 'Tyvek Commercial Wrap' air/moisture barrier on exterior wall prior to installing framing for intersecting roof and deck elements.
16. Provide self-adhesive vapour permeable air membrane or 'Tyvek' commercial wrap air/weather barrier at deck rim joists prior to application of final deck trim boards. The 'Tyvek Commercial Wrap' air/moisture barrier shall carry on to the vertical exterior wall interface 12" min. Seal all vertical and horizontal laps with air seal caulking. Seal 'Tyvek Commercial Wrap' air/moisture barrier to poly vapour barrier, base of wall membrane, all mechanical and electrical penetrations, windows and doors, etc. with air seal caulking to create a continuous exterior air barrier.
17. Provide non-combustible electrical boxes c/w poly boot and approved spray foam insulation or provide gasketed combustible electrical boxes with an approved Hill Putty Pack on all sides of boxes. Boxes are to have a max. allowable area of 0.016 m² (24.8 sq.in.), with a max. annular space of 3mm (1/8") from the gypsum board to the outlet box, and a max. allowable aggregate of 0.065 m² (100 sq.in.) in any 9.3m² (100 sq.ft.) of surface area.
18. Provide through wall flashing at floor levels noted on elevations c/w standing seams or S-stops.
19. Submit samples of all vents, caps, or ducts that penetrate the envelope or roof for approval by architect and envelope consultant prior to installation.
20. Fasten CCA pressure-treated plywood strapping for rainscreen w/double hot dipped galvanized nails (paper or plastic collated not wire collated). Locate strapping to be at stud locations and field treat all cut edges of strapping.
21. Provide fireblocking where air gap between combustible sheathing and cladding exceeds 1" at intervals of max. 3m vertically.
22. Provide hot dipped galvanized or epoxy coated fasteners for connections to CCA pressure treated wood.
23. Provide stainless steel fasteners for connections to ACQ pressure treated wood.

24. For vertical joints between masonry and cladding or openings use a very low modulus sealant – Somerborn Sonolastic 150. At vertical masonry expansion joints match caulking to match masonry colour. At horizontal masonry expansion joints match colour to mortar.
25. All other exterior caulking shall be one part urethane (NP1 or approved alternate) compatible with adjacent materials. Provide submittal to the architect and building envelope consultant.
26. Seal all edges of hardie-siding, except factory primed edges, before installation.
27. Prime and seal all sides of trim, including rabbets and drip edges, before installation.
28. Provide elastomeric membrane at exposed concrete walls as per recommendations of envelope consultant.
29. See detail 8.0.7.111 for plumbing @ exterior wall.
30. See details 9.3.7.911, 912, and 913 for railing and privacy screen attachment details.
31. See detail 9.0.0.901 for electrical penetrations @ exterior wall.
32. See detail 9.0.0.902 for plumbing penetrations @ exterior wall.
33. See details 9.0.7.601 to .608 for installation of breathable self-adhesive air/moisture barrier and sequencing of window installation.
34. Provide shop drawing submittal and Schedule S-B & S-C for all handrails, guardrails, ladders & roof anchors required for maintenance purposes at the roof level. Installation & design to meet all WCB requirements. Coordinate installation w/ structural engineers and envelope consultants.
35. Provide 2:1 sloped flashing over exterior electrical outlet box covers or other climbable elements within 1070mm (42") radius of top of guardrails – mock-up required for approval.

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Telephone: 604 688 4220

ASSEMBLIES NUMBERING

RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

19495
Not To Scale
2024-05-29
BP RESUBMISSION
0.4.0.000

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WALL NOTES 1 ...

RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

19495
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2024-05-29
BP RESUBMISSION
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... WALL NOTES 2 ...

RF PROPERTIES
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... WALL NOTES 3 ...

RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

19495
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BP RESUBMISSION
0.4.1.003

INTERIOR WALLS

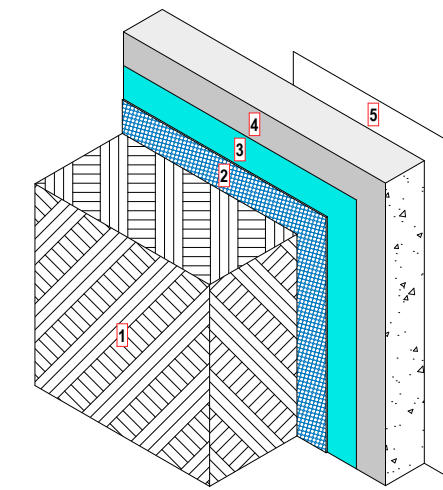
36. Every dwelling unit shall be separated from every other space in a building by a separating assembly and adjoining constructions, which together provide an ASTC rating of not less than 47 or a STC rating of not less than 50, including flanking sound requirements for adjoining construction that conform to the current building code.
37. Provide 2x6 or 2x8 studs where required for plumbing and service walls.
38. Provide solid 2x backing in walls for installation of handrails, fixtures, and at tubs and showers for future grab bars. Provide minimum stud spacing of 16" o.c. at all kitchen & bathroom cabinet walls and bath tub walls.
39. OSB/plywood, piping, or wiring is not to be located within 1" air space in party walls. Do not bridge air space with any materials and do not compress insulation within party walls.
40. Provide non-combustible electrical boxes c/w poly boot and approved spray foam insulation or provide gasketed combustible electrical boxes with an approved Hill Putty Pack on all sides of boxes. Boxes are to have a max. allowable area of 0.016 m² (24.8 sq.in.), with a max. annular space of 3mm (1/8") from the gypsum board to the outlet box, and a max. allowable aggregate of 0.065 m² (100 sq.in.) in any 9.3m² (100 sq.ft.) of surface area.
41. At back-to-back outlets in the same adjacent stud space (less than 600mm apart) at double stud party walls, provide 5/8" type 'x' gypsum board extending 18" above and below the outlet and one full stud space beyond the box on each side, fastened to studs on only one side of 1" airspace. At back-to-back outlets at other fire separation locations and where electrical boxes are larger than the allowable area, provide an approved Hill Putty Pack on all sides of boxes or a 6 sided drywall box constructed of 5/8" type 'x' gypsum board, fully supported, c/w fire stop caulk at wire penetrations.
42. Resilient channels – max thickness of 25 gauge, RC-1, 1/2" offset galvanized steel resilient channels with slits or holes to be installed perpendicular to studs at 24" o.c. max. Channels shall overlapped 1/2" at ends and fastened with a 1 1/4" long No. 7 Type S bugle head screw. Additional channels are required to support gypsum wallboard end joints so that each board end rests on its own channel. These additional channels shall extend to 3" past the board end studs. Channels shall be fastened at each joist intersections using one 1 1/4" long No. 7 Type S bugle head screw. Ensure drywall screws do not penetrate resilient channels into joists.
43. Extend fire separation within attic space to the underside of roof sheathing. No framing members or trusses are to penetrate fire separation.
44. Provide continuous 5/8" type 'x' gypsum board to the top plate of walls above drop ceilings behind tubs & showers.
45. Extend drywall behind all plumbing fixtures in bathrooms at fire separations and at rated loadbearing walls.

46. Extend drywall behind all plumbing fixtures in bathrooms at unrated walls at unsprinklered bathrooms.
47. Provide an additional layer of tile backer board for all ceramic tiled surfaces at tubs and showers - Aquaboard or approved alternate for interior walls and cementitious board only at exterior walls - product submittal required.
48. Provide resilient skinning type caulking at the base of party walls, corridor walls, and exterior walls – between drywall and subfloor.
49. See interior design drawings for all interior details, tile patterns, cabinets, pass throughs, bulkheads, stairs & fireplaces. Advise owner/contractor of any discrepancies between scopes of work, drawings, and/or interior design specifications.

STEEL STUDS

50. Provide deflection head track.
51. Provide channel shaped lateral bracing fabricated from 1.09 min. base metal thickness, galvanized steel 13mm deep and 19mm wide. Welded to studs at cutouts at horizontal third-point.
52. Drywall must be continuous behind intersecting studs at interior partitions adjacent to fire separations.
53. Provide fire stop caulking at top and bottom of drywall at fire separation.

EXTERIOR



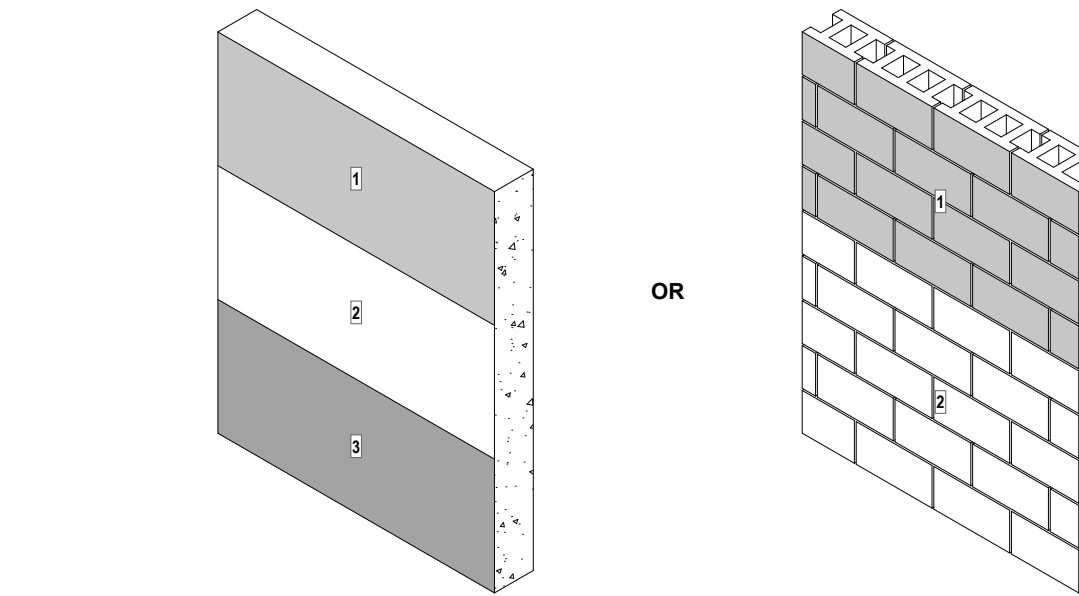
PARKADE

Type	W1A - Exterior Wall
Location	(P1 - below grade basement parking structure)
Fire Resistance Rating	2 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.1.1.
S.T.C. Rating	N/A

- [1] free draining backfill material installed as per geotechnical report
- [2] Cosella Darkon Delta MS drainage mat c/w filter fabric to outside - including vertical and horizontal termination strips, laps & seals as per manufacturer's standard recommendations (min. 12" vertical lap and sealed w/self-adhered membrane)
- [3] self-adhesive waterproofing membrane 'Colphene BCW-V' (or approved equivalent)
- [4] KIW mix concrete additive only acceptable at elevator pit wall
- [5] 8" reinforced concrete wall (see struc. dwgs.)
- (Type N concrete min. equiv. thickness for 2 hr rating - 124mm(4.88")) (no finish on unheated side of concrete wall)
- [6] at exposed parkade walls - provide breathable elastomeric coating (provide submittals)

AT INTERIOR OF PARKADE VENT SHAFT WALLS EXPOSED TO THE ELEMENTS

- [6] 90 mil Tremco ExoAir 230 fluid applied membrane
- AT ELEVATOR PITS
- [7] pour elevator pits (walls and slab) monolithically without cold or construction joints with cementitious waterproofing admixture (provide submittals)
 - [8] provide dampproofing and drainage layer over the outside face of the elevator pit walls



Type	W2A - Interior Wall
Location	(P1)
Fire Resistance Rating	2 hr / 1 1/2 hr / 1 hr Fire Separation
S.T.C. Rating	2 hr / 1 1/2 hr / 1 hr Fire Resistance Rating - BCBC 2018 Appendix D-2.1.1. Table D-2.1.1.
S.T.C. Rating	N/A

- [1] 8" concrete/concrete block - reinforced & concrete filled (see struc. dwgs.)
(Type N concrete - minimum equivalent thickness for 2 hr rating — 124mm(4.88"))
(Type N hollow concrete block — min. equiv. thickness for 2 hr rating — 113mm(4.45")) or
(Type L120S hollow concrete block — min. equiv. thickness for 2 hr rating — 102mm(4.02"))

- AT PARKADE WALLS & EXIT STAIRS LEADING TO BUILDING ABOVE
- [2] at exposed parkade walls - provide breathable elastomeric coating (provide submittals)
 - [3] coat parkade vent shaft walls which are exposed to the elements and which form an exterior wall with 90 mils of Tremco ExoAir 230 fluid applied membrane

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... WALL NOTES 4 ...

RF PROPERTIES
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... WALL NOTES 5

RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
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W1A EXTERIOR FOUNDATION WALL

RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

19495
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BP RESUBMISSION
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W2A INTERIOR WALL

RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

19495
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2024-05-29
BP RESUBMISSION
0.4.1.021



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[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

ASSEMBLIES

19495 [PROJECT]

[SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-6.102



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W3A - Exterior Wall
(1st Floor - 6th Floor)
1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E
S.T.C. Rating N/A

Type: W3A - Exterior Wall
Location: (1st Floor - 6th Floor)
Fire Resistance Rating: 1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E
S.T.C. Rating: N/A

[1] non-combustible exterior cladding as noted on elevations
- HardiePlank 7" exposure lap siding in Woodtone cedarmill texture finish on 3/4"x1 1/2" CCA pressure treated plywood sheathing @ 16" o.c. or
- 7/16" Hardie-Reveal Panel and Reveal Trims siding with on 3/4"x3 1/2" CCA pressure treated plywood sheathing @ 16" o.c.
(fibre cement cladding is required to be tested to S114 or S135)
[2] Tyvek Commercial Wrap air/moisture barrier - applied shingle style
- all vertical & horizontal laps to be sealed
[3] 1/2" plywood sheathing c/w air barrier tape @ all joints (see struc. dwgs.)
OR
3/4" plywood sheathing c/w air barrier tape @ all joints on entire east building face (see struc. dwgs. and code report alternative solution)
★ optional additional 5/8" DensGlass sheathing c/w air barrier tape @ all joints for the entire wall assembly (as per GHL's recommendation)
[4] 2x6 wood studs @ max. 16" o.c. (20 minutes)
[5] R24 mineral wool batt insulation (min. 1.22 kg/m² and conforming to CANULC-S702 D-2.3.5.(2))
[6] 6 mil poly air barrier - sealed at all penetrations
[7] OSB/plywood sheathing (see struc. dwgs.) and/or
[8] 5/8" type 'X' gypsum board (40 minutes)
- drywall sealed w/rubber gasket tape and/or caulking at all edges of wall
[9] paint finish (to be confirmed by client - see interior design dwgs.)

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W3A EXTERIOR WALL

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 0.4.1.031

W4A - Party Wall
(1st Floor - 6th Floor)
1 hr Fire Separation
1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E
61 STC - based on Wall Type W14a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

Type: W4A - Party Wall
Location: (1st Floor - 6th Floor)
Fire Resistance Rating: 1 hr Fire Separation
1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E
S.T.C. Rating: 61 STC - based on Wall Type W14a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

[1] paint finish (to be confirmed by client - see interior design dwgs.)
[2] 5/8" type 'X' gypsum board (40 minutes)
- air tight drywall sealed with foam tape and/or caulking at all edge of party wall
[3] OSB/plywood sheathing (see struc. dwgs.) or
[4] 5/8" type 'X' gypsum board (where there is no shear wall)
[5] double 2x4 wood staggered studs @ 16" o.c. (20 minutes) (see struc. dwgs.)
[6] 3 1/2" Johns Manville Sound-Shield batt insulation - to fill at least 90% of wall cavity thickness (provide submittals)
[7] 1" air space with metal fire stopping at ceiling levels where ceiling contributes to fire resistance rating
[8] double 2x4 wood staggered studs @ 16" o.c. (20 minutes) (see struc. dwgs.)
[9] 3 1/2" Johns Manville Sound-Shield batt insulation - to fill at least 90% of wall cavity thickness (provide submittals)
[10] OSB/plywood sheathing (see struc. dwgs.) or
[11] 5/8" type 'X' gypsum board (where there is no shear wall)
[12] 5/8" type 'X' gypsum board (40 minutes)
- air tight drywall sealed with foam tape and/or caulking at all edge of party wall
[13] paint finish (to be confirmed by client - see interior design dwgs.)

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W4A PARTY WALL

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 0.4.1.041

W4B - Party Wall @ Fire Department Access only
(1st Floor - Ground Floor between Entry Lobby and FD access stair)
2 hr Fire Separation
1 hr Fire Resistance Rating - Design No. U350 UL 263
67 STC - based on Wall Type W13a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

Type: W4B - Party Wall @ Fire Department Access only
Location: (1st Floor - Ground Floor between Entry Lobby and FD access stair)
Fire Resistance Rating: 2 hr Fire Separation
1 hr Fire Resistance Rating - Design No. U350 UL 263
S.T.C. Rating: 67 STC - based on Wall Type W13a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

[1] paint finish (to be confirmed by client - see interior design dwgs.)
[2] 5/8" type 'X' gypsum board (40 minutes)
- air tight drywall sealed with foam tape and/or caulking at all edge of party wall
[3] fire rated sheathing - Type Blazeguard 1-side of 'LP flameblock 1-side'
[4] 2x4 wood studs @ 16" o.c. (20 minutes) (see struc. dwgs.)
[5] 3 1/2" batt insulation - to fill at least 90% of wall cavity thickness (provide submittals)
[6] 1" air space with metal fire stopping at ceiling levels where ceiling contributes to fire resistance rating
[7] 2x4 wood studs @ 16" o.c. offset from studs in adjacent wall (20 minutes) (see struc. dwgs.)
[8] 3 1/2" batt insulation - to fill at least 90% of wall cavity thickness (provide submittals)
[9] fire rated sheathing - Type Blazeguard 1-side of 'LP flameblock 1-side'
[10] 5/8" type 'X' gypsum board (40 minutes)
- air tight drywall sealed with foam tape and/or caulking at all edge of party wall
[11] paint finish (to be confirmed by client - see interior design dwgs.)

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W4B PARTY WALL

PROJECT: 19495
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DATE: 2024-05-29
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DRAWING: 0.4.1.042

W5A - Corridor Wall
(1st Floor - 6th Floor)
1 hr Fire Fire Separation
1 hr Fire Resistance Rating - BCBC 2018 Appendix D-2.3, Table D-2.3.4.-A and Table D-2.3.4.-E
66 STC - based on Wall Type W5a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

Type: W5A - Corridor Wall
Location: (1st Floor - 6th Floor)
Fire Resistance Rating: 1 hr Fire Fire Separation
1 hr Fire Resistance Rating - BCBC 2018 Appendix D-2.3, Table D-2.3.4.-A and Table D-2.3.4.-E
S.T.C. Rating: 66 STC - based on Wall Type W5a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

[1] paint finish (to be confirmed by client - see interior design dwgs.)
[2] 2 layers 5/8" type 'X' gypsum board (40 minutes)
- air tight drywall sealed with foam tape and/or caulking at all edge of party wall
[3] OSB/plywood sheathing (see struc. dwgs.) or
[4] 5/8" type 'X' gypsum board (where there is no shear wall)
[5] double 2x4 wood studs @ max. 16" o.c. (20 minutes) (see struc. dwgs.) staggered on
[6] 2x6 wood bottom plate
[7] batt insulation to fill cavity (see struc. dwgs.) or
[8] OSB/plywood sheathing (see struc. dwgs.) or
[9] 5/8" type 'X' gypsum board (where there is no shear wall)
[10] 5/8" type 'X' gypsum board (40 minutes)
- air tight drywall sealed with foam tape and/or caulking at all edge of party wall
[11] paint finish (to be confirmed by client - see interior design dwgs.)

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W5A CORRIDOR WALL

PROJECT: 19495
SCALE: Not To Scale
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DRAWING: 0.4.1.051

W5B - Corridor Wall
(1st Floor to 6th Floor - between Corridor and Stair)
2hr Fire Resistance Rating - ANSIIUL 263 (BXUV) Design No. U301
S.T.C. Rating N/A

Type: W5B - Corridor Wall
Location: (1st Floor to 6th Floor - between Corridor and Stair)
Fire Resistance Rating: 2hr Fire Resistance Rating - ANSIIUL 263 (BXUV) Design No. U301
S.T.C. Rating: N/A

[1] paint finish (to be confirmed by Adera - see interior design dwgs.)
[2] 5/8" type 'X' gypsum board (40 minutes)
[3] OSB/plywood sheathing (see struc. dwgs.) or
[4] 5/8" type 'X' gypsum board (where there is no shear wall)
[5] 2x6 wood studs @ max. 16" (see struc. dwgs.)
[6] OSB/plywood sheathing (see struc. dwgs.) or
[7] 5/8" type 'X' gypsum board (where there is no shear wall)
[8] 5/8" type 'X' gypsum board (40 minutes)
[9] paint finish (to be confirmed by Adera - see interior design dwgs.)

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W5B CORRIDOR WALL

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 0.4.1.052

W6A - Unrated Interior Wall
(1st Floor - 6th Floor)
S.T.C. Rating N/A

Type: W6A - Unrated Interior Wall
Location: (1st Floor - 6th Floor)
Fire Resistance Rating: N/A
S.T.C. Rating: N/A

[1] paint finish (to be confirmed by client - see interior design dwgs.)
[2] 5/8" gypsum board
[3] 2x4 wood studs @ max. 16" o.c. or
2x6 wood studs @ max. 16" o.c. - at plumbing & electrical service walls (see struc. & mech. dwgs.)
[4] 5/8" gypsum board
[5] paint finish (to be confirmed by client - see interior design dwgs.)

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W6A UNRATED INTERIOR WALL

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
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DRAWING: 0.4.1.061

W6B - Rated Interior Wall
(1st Floor - 6th Floor)
(see struc. dwgs. for location of all load bearing partitions)
1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E

Type: W6B - Rated Interior Wall
Location: (1st Floor - 6th Floor)
Fire Resistance Rating: (see struc. dwgs. for location of all load bearing partitions)
1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E
S.T.C. Rating: N/A

[1] paint finish (to be confirmed by client - see interior design dwgs.)
[2] 5/8" type 'X' gypsum board (40 minutes)
[3] double 2x4 wood studs @ max. 16" o.c. or
double 2x6 wood studs @ max. 16" o.c. - at plumbing & electrical service walls (see struc. & mech. dwgs.)
[4] 5/8" type 'X' gypsum board (40 minutes)
[5] paint finish (to be confirmed by client - see interior design dwgs.)

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W6B RATED INTERIOR WALL

PROJECT: 19495
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DRAWING: 0.4.1.062

W7A - Shaftwall
(1st to 6th Level - Hall Pressurization Shaft)
3/4 & 1 hr Fire Separation
1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E
38 STC - based on Wall Type W1a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

Type: W7A - Shaftwall
Location: (1st to 6th Level - Hall Pressurization Shaft)
Fire Resistance Rating: 3/4 & 1 hr Fire Separation
1 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.3.4.-A. and Table D-2.3.4.-E
S.T.C. Rating: 38 STC - based on Wall Type W1a (BCBC 2018 - Table 9.10.3.1.-A) and floor assembly with 38mm concrete topping plus finish flooring > 8kg/m² as per Table 9.11.1.4

[1] 5/8" type 'X' gypsum board (40 minutes)
[2] 2x4 wood studs @ max. 16" o.c. (20 minutes) (see struc. dwgs.)
[3] batt insulation - to fill wall cavity
[4] 6 mil poly air barrier - sealed at all penetrations
[5] 5/8" type 'X' gypsum board (40 minutes)
- air tight drywall sealed with foam tape and/or caulking at all edge of shaft wall
[6] paint finish (to be confirmed by client - see interior design dwgs.)

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W7A SHAFTWALL - RATED

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 0.4.1.074

[PROJECT TEAM]



[ARCHITECT SEAL]



[CLIENT]

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

ASSEMBLIES

[PROJECT]

19495

[SCALE]

2024-10-04

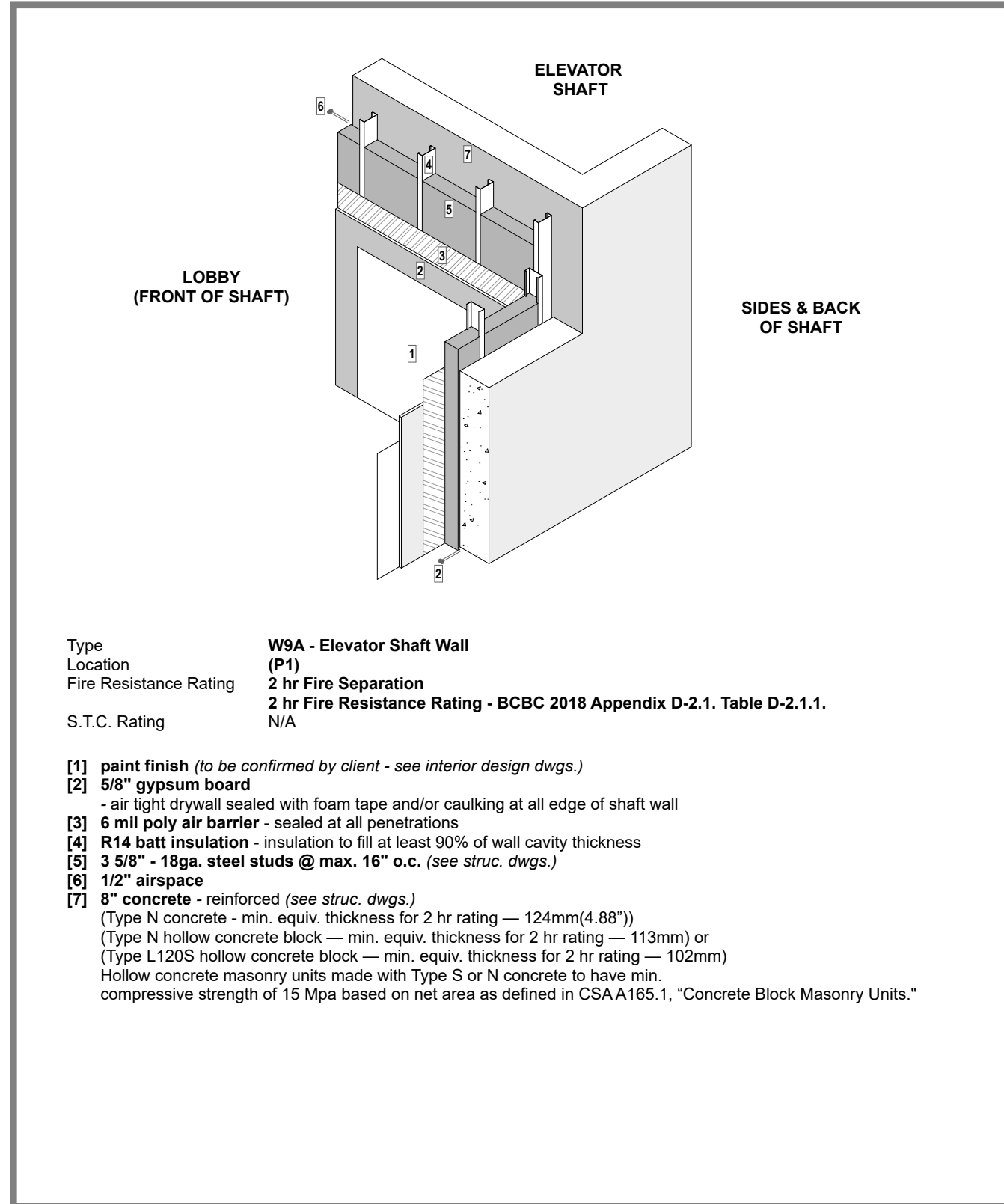
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13 - BP RESUBMISSION

[ISSUE]

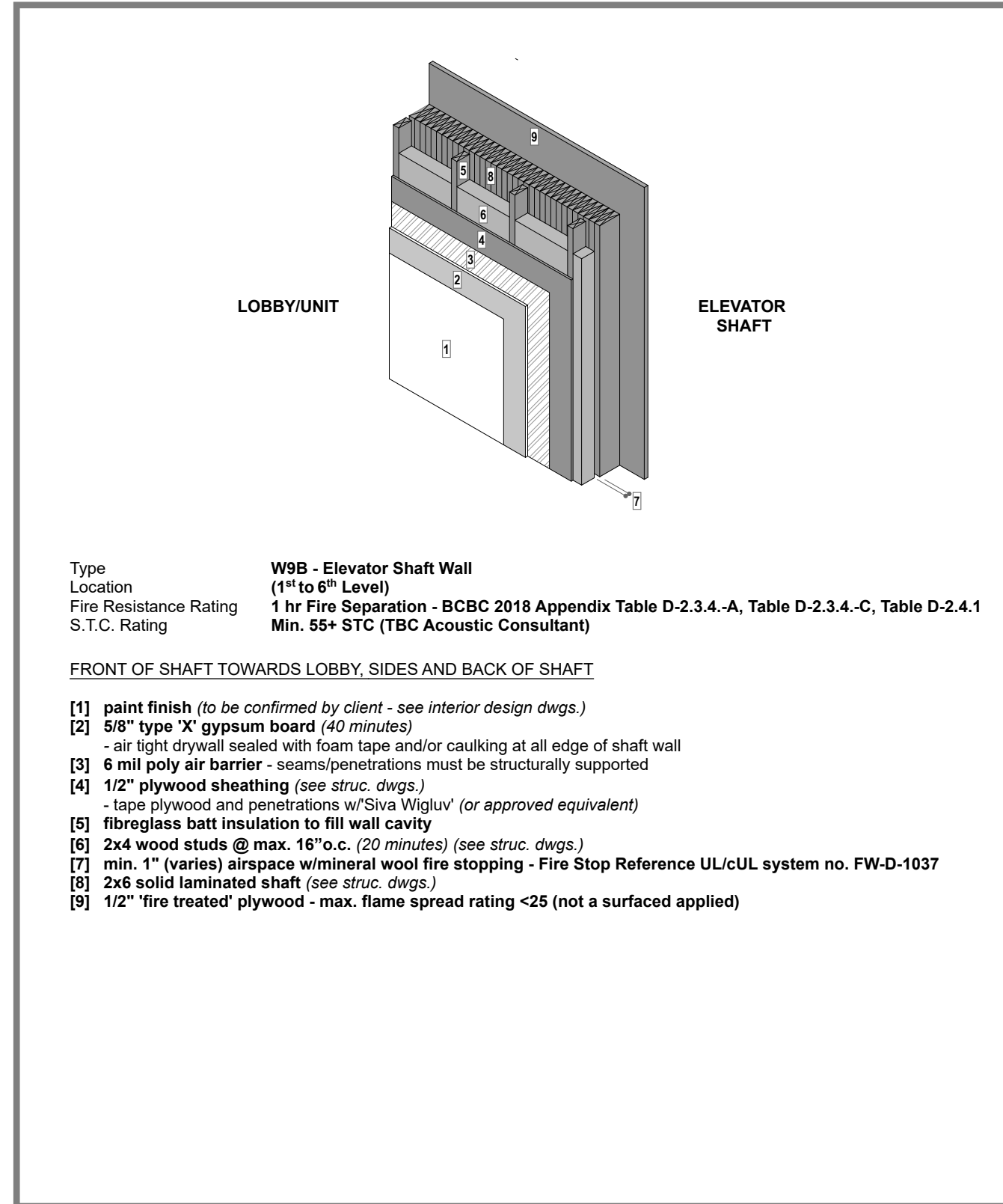
[DRAWING]

A-6.103



Type **W9A - Elevator Shaft Wall**
 Location **(P1)**
 Fire Resistance Rating **2 hr Fire Separation**
 S.T.C. Rating **N/A**

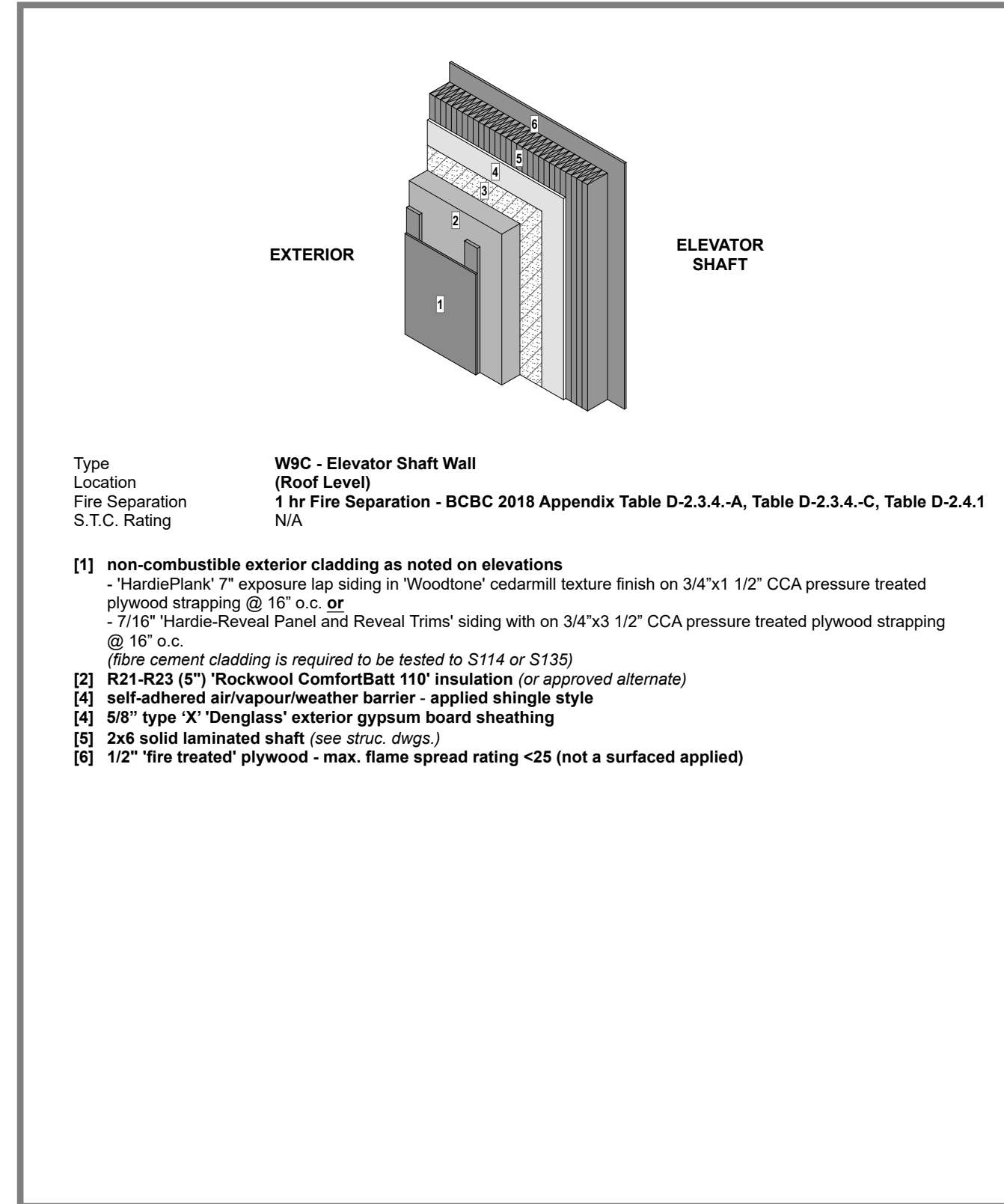
- [1] paint finish (to be confirmed by client - see interior design dwgs.)
- [2] 5/8" gypsum board
- [3] 6 mil poly air barrier - sealed at all penetrations
- [4] R14 batt insulation - insulation to fill at least 90% of wall cavity thickness
- [5] 3/8" - 1/2" steel studs @ max. 16" o.c. (see struc. dwgs.)
- [6] 1/2" airspace
- [7] 8" concrete - reinforced (see struc. dwgs.)
 (Type N concrete - min. equiv. thickness for 2 hr rating — 124mm(4.88"))
 (Type N hollow concrete block — min. equiv. thickness for 2 hr rating — 113mm) or
 (Type L 120S hollow concrete block — min. equiv. thickness for 2 hr rating — 102mm)
 Hollow concrete masonry units made with Type S or N concrete to have min. compressive strength of 15 Mpa based on net area as defined in CSA A165.1, "Concrete Block Masonry Units."



Type **W9B - Elevator Shaft Wall**
 Location **(1st to 6th Level)**
 Fire Resistance Rating **1 hr Fire Separation - BCBC 2018 Appendix Table D-2.3.4-A, Table D-2.3.4-C, Table D-2.4.1**
 S.T.C. Rating **Min. 55+ STC (TEC Acoustic Consultant)**

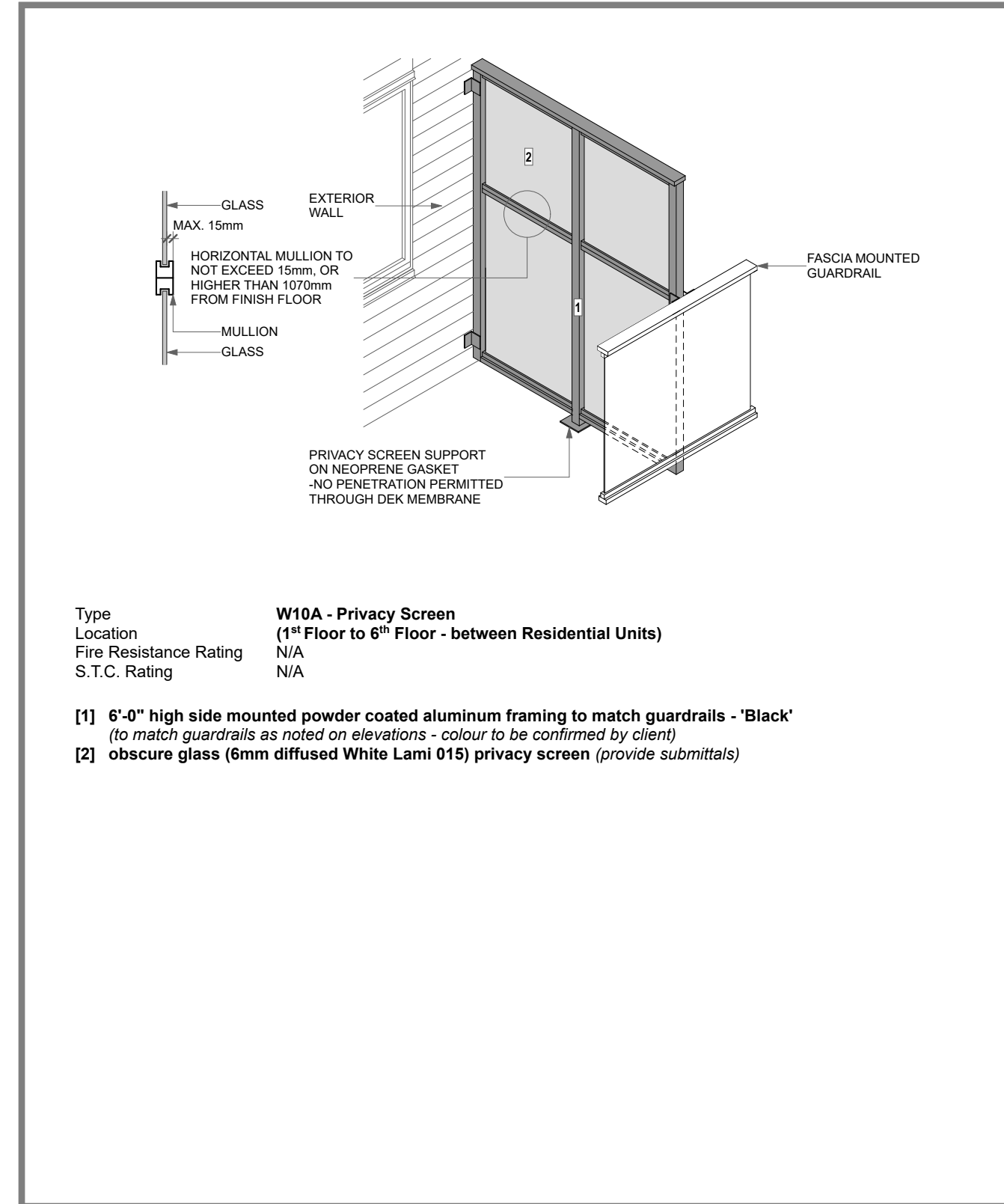
FRONT OF SHAFT TOWARDS LOBBY, SIDES AND BACK OF SHAFT

- [1] paint finish (to be confirmed by client - see interior design dwgs.)
- [2] 5/8" type 'X' gypsum board (40 minutes)
- [3] 6 mil poly air barrier - sealed at all penetrations
- [4] R12" plywood sheathing (see struc. dwgs.)
- [5] fiberglass batt insulation to fill wall cavity
- [6] 2x4 wood studs @ max. 16" o.c. (20 minutes) (see struc. dwgs.)
- [7] min. 1" (varies) airspace w/mineral wool fire stopping - Fire Stop Reference UL/cUL system no. FW-D-1037
- [8] 2x6 solid laminated shaft (see struc. dwgs.)
- [9] 1/2" "fire treated" plywood - max. flame spread rating <25 (not a surfaced applied)



Type **W9C - Elevator Shaft Wall**
 Location **(Roof Level)**
 Fire Separation **1 hr Fire Separation - BCBC 2018 Appendix Table D-2.3.4-A, Table D-2.3.4-C, Table D-2.4.1**
 S.T.C. Rating **N/A**

- [1] non-combustible exterior cladding as noted on elevations
 - "HardiePlank" 7" exposure lap siding in "Woodtone" cedar mill texture finish on 3/4"x1 1/2" CCA pressure treated plywood strapping @ 16" o.c. or
 - 7/16" Hardie-Reveal Panel and Reveal Trims' siding with on 3/4"x3 1/2" CCA pressure treated plywood strapping @ 16" o.c.
 (fibre cement cladding is required to be tested to S114 or S135)
- [2] R21-R23 (5") Rockwool ComfortBatt 110' insulation (or approved alternate)
- [3] self-adhered air/vapor/weather barrier - applied shingle style
- [4] 5/8" type 'X' Densglass' exterior gypsum board sheathing
- [5] 2x6 solid laminated shaft (see struc. dwgs.)
- [6] 1/2" "fire treated" plywood - max. flame spread rating <25 (not a surfaced applied)



Type **W10A - Privacy Screen**
 Location **(1st Floor to 6th Floor - between Residential Units)**
 Fire Resistance Rating **N/A**
 S.T.C. Rating **N/A**

- [1] 6'-0" high side mounted powder coated aluminum framing to match guardrails - 'Black' (to match guardrails as noted on elevations - colour to be confirmed by client)
- [2] obscure glass (6mm diffused White Lam 015) privacy screen (provide submittals)

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 DATE: 2024-05-29
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 DRAWING: 0.4.1.1091

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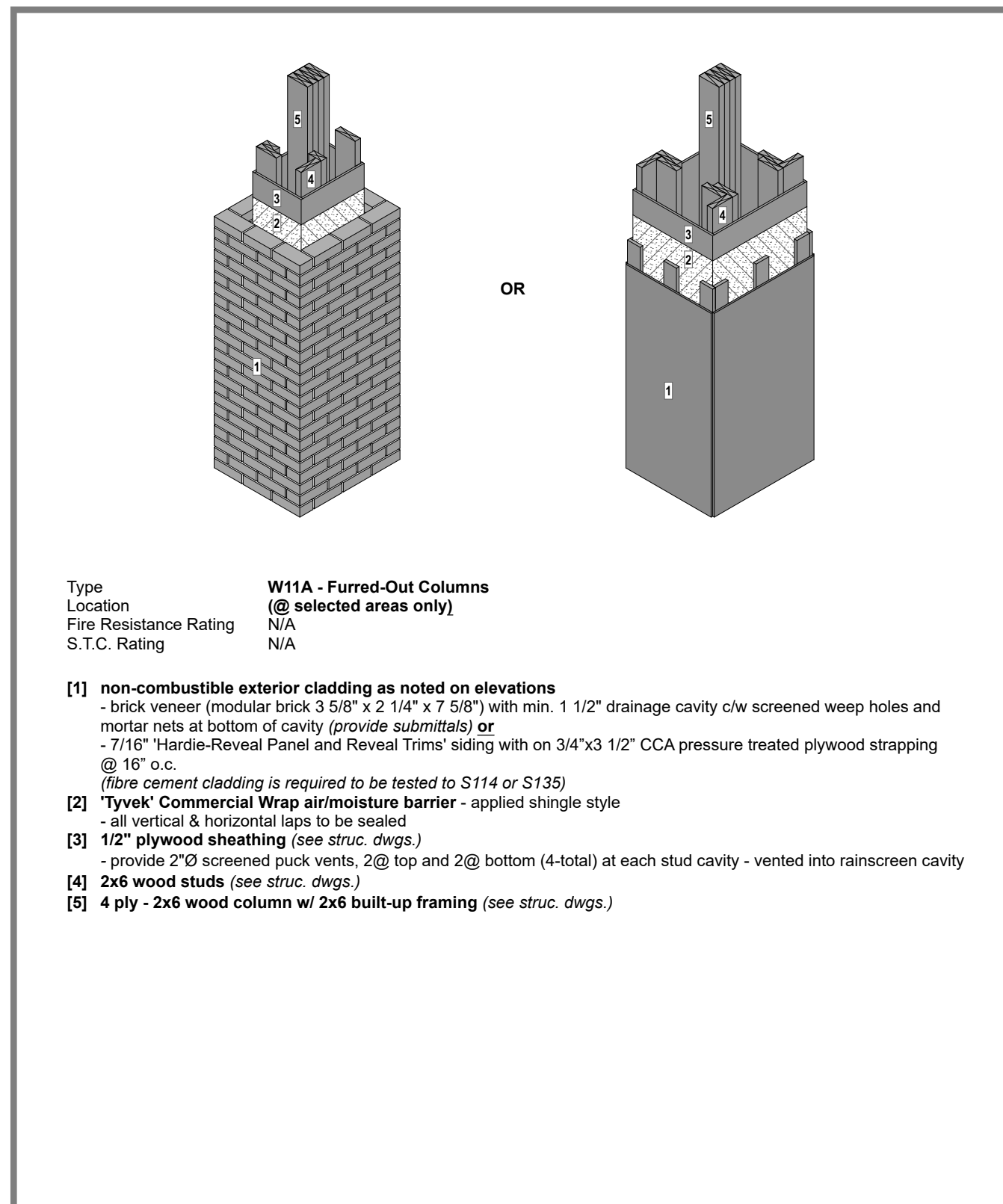
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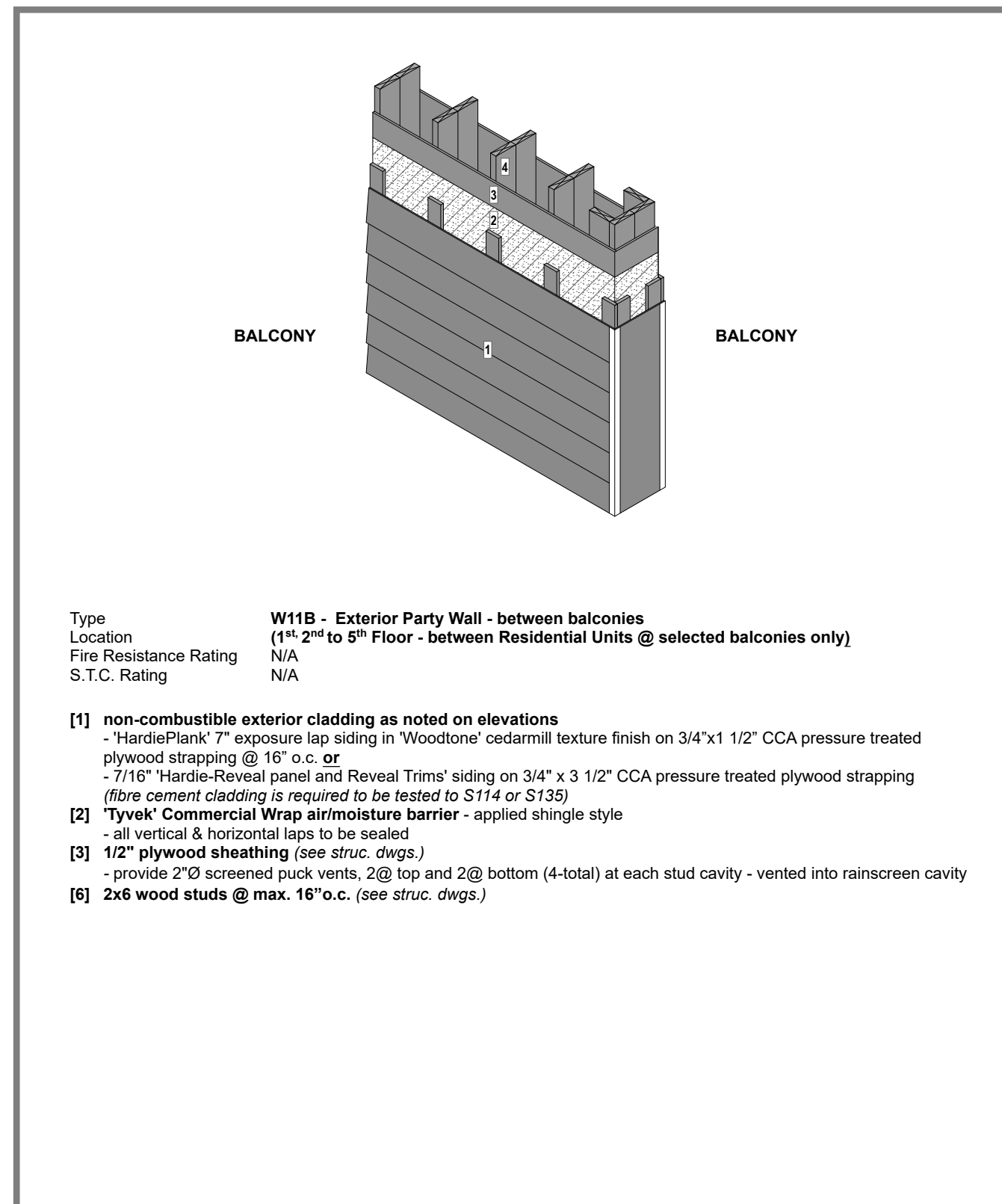
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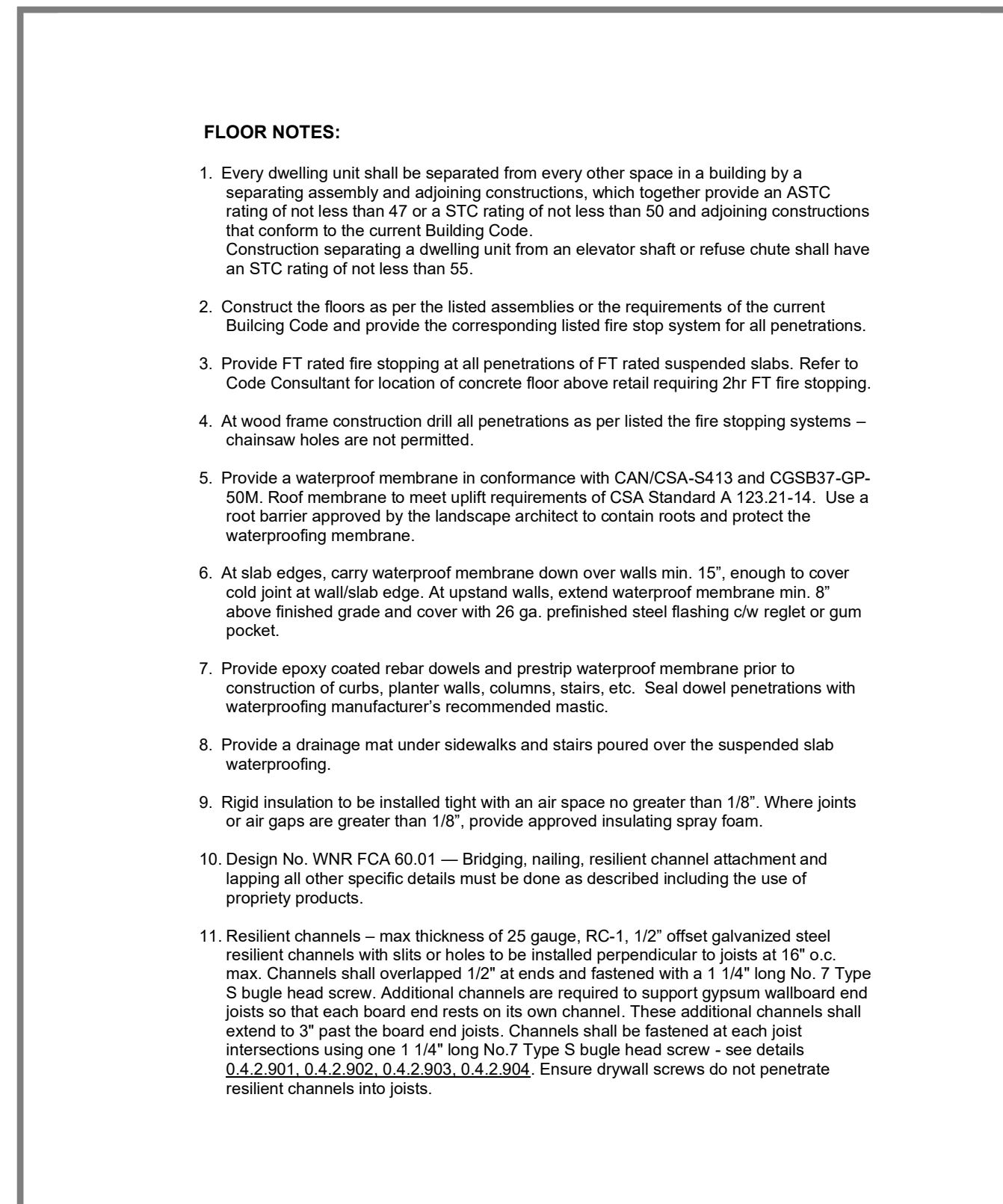
Type **W11A - Furred-Out Columns**
 Location **@ selected areas only**
 Fire Resistance Rating **N/A**
 S.T.C. Rating **N/A**

- [1] non-combustible exterior cladding as noted on elevations
 - brick veneer (modular brick 3 5/8" x 2 1/4" x 7 5/8") with min. 1/2" drainage cavity c/w screened weep holes and mortar nets at bottom of cavity (provide submittals) or
 - 7/16" Hardie-Reveal Panel and Reveal Trims' siding with on 3/4"x3 1/2" CCA pressure treated plywood strapping @ 16" o.c.
 (fibre cement cladding is required to be tested to S114 or S135)
- [2] Tyvek Commercial Wrap air/moisture barrier - applied shingle style
 - all vertical & horizontal laps to be sealed
- [3] 1/2" plywood sheathing (see struc. dwgs.)
 - provide 2"Ø screened puck vents, 2 @ top and 2 @ bottom (4-total) at each stud cavity - vented into rainscreen cavity
- [4] 2x6 wood studs (see struc. dwgs.)
- [5] 4 ply - 2x6 wood column w/ 2x6 built-up framing (see struc. dwgs.)



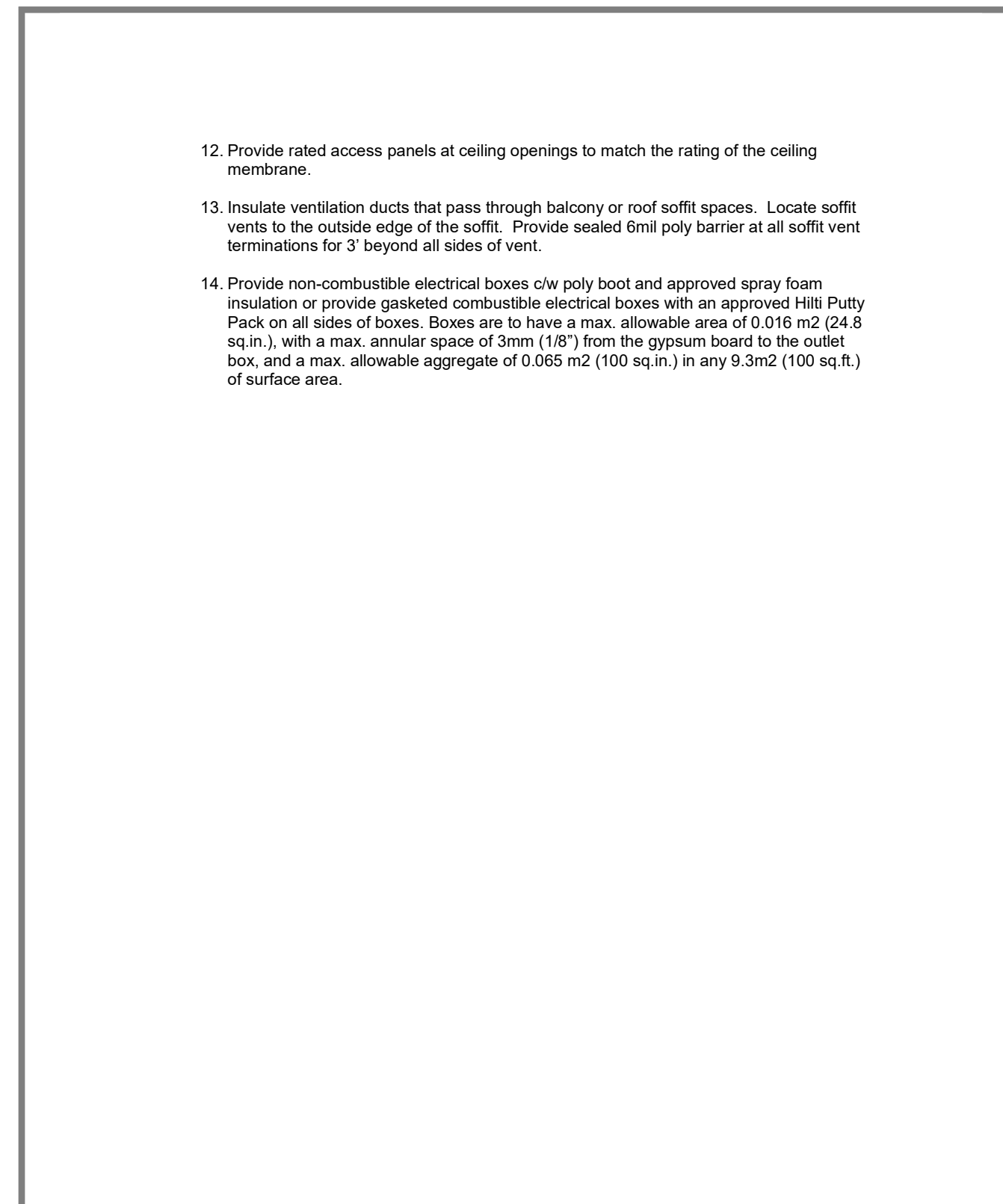
Type **W11B - Exterior Party Wall - between balconies**
 Location **(1st 2nd to 6th Floor - between Residential Units @ selected balconies only)**
 Fire Resistance Rating **N/A**
 S.T.C. Rating **N/A**

- [1] non-combustible exterior cladding as noted on elevations
 - "HardiePlank" 7" exposure lap siding in "Woodtone" cedar mill texture finish on 3/4"x1 1/2" CCA pressure treated plywood strapping @ 16" o.c. or
 - 7/16" Hardie-Reveal Panel and Reveal Trims' siding on 3/4" x 3 1/2" CCA pressure treated plywood strapping
 (fibre cement cladding is required to be tested to S114 or S135)
- [2] Tyvek Commercial Wrap air/moisture barrier - applied shingle style
 - all vertical & horizontal laps to be sealed
- [3] 1/2" plywood sheathing (see struc. dwgs.)
 - provide 2"Ø screened puck vents, 2 @ top and 2 @ bottom (4-total) at each stud cavity - vented into rainscreen cavity
- [6] 2x6 wood studs @ max. 16" o.c. (see struc. dwgs.)



FLOOR NOTES:

1. Every dwelling unit shall be separated from every other space in a building by a separating assembly and adjoining constructions, which together provide an ASTC rating of not less than 47 or a STC rating of not less than 50 and adjoining constructions that conform to the current Building Code. Construction separating a dwelling unit from an elevator shaft or refuse chute shall have an STC rating of not less than 55.
2. Construct the floors as per the listed assemblies or the requirements of the current Building Code and provide the corresponding listed fire stop system for all penetrations.
3. Provide FT rated fire stopping at all penetrations of FT rated suspended slabs. Refer to Code Consultant for location of concrete floor above retail requiring 2hr FT fire stopping.
4. At wood frame construction drill all penetrations as per listed fire stopping systems - chainsaw holes are not permitted.
5. Provide a waterproof membrane in conformance with CAN/CSA-S413 and CGSB37-GP-50M. Roof membrane to meet uplift requirements of CSA Standard A 123.21-14. Use a root barrier approved by the landscape architect to contain roots and protect the waterproofing membrane.
6. At slab edges, carry waterproof membrane down over walls min. 15", enough to cover cold joint at wall/slab edge. At upstand walls, extend waterproof membrane min. 8" above finished grade and cover with 26 ga. prefinished steel flashing c/w reglet or gum pocket.
7. Provide epoxy coated rebar dowels and prestrip waterproof membrane prior to construction of curbs, planter walls, columns, stairs, etc. Seal dowel penetrations with waterproofing manufacturer's recommended mastic.
8. Provide a drainage mat under sidewalks and stairs poured over the suspended slab waterproofing.
9. Rigid insulation to be installed tight with an air space no greater than 1/8". Where joints or air gaps are greater than 1/8", provide approved insulating spray foam.
10. Design No. WNR FCA 60.01 — Bridging, nailing, resilient channel attachment and lapping all other specific details must be done as described including the use of properly products.
11. Resilient channels — max thickness of 25 gauge, RC-1, 1/2" offset galvanized steel resilient channels with slots or holes to be installed perpendicular to joists at 16" o.c. max. Channels shall overlapped 1/2" at ends and fastened with a 1 1/4" long No. 7 Type S bugle head screw. Additional channels are required to support gypsum wallboard end joints so that each board end rests on its own channel. These additional channels shall extend to 3" past the board end joists. Channels shall be fastened at each joint intersections using one 1 1/4" long No. 7 Type S bugle head screw - see details 0.4.2.901, 0.4.2.902, 0.4.2.903, 0.4.2.904. Ensure drywall screws do not penetrate resilient channels into joists.



12. Provide rated access panels at ceiling openings to match the rating of the ceiling membrane.
13. Insulate ventilation ducts that pass through balcony or roof soffit spaces. Locate soffit vents to the outside edge of the soffit. Provide sealed 6mil poly barrier at all soffit vent terminations for 3' beyond all sides of vent.
14. Provide non-combustible electrical boxes c/w poly boot and approved spray foam insulation or provide gasketed combustible electrical boxes with an approved Hilli Putty Pack on all sides of boxes. Boxes are to have a max. allowable area of 0.016 m² (24.8 sq. ft.), with a max. annular space of 3mm (1/8") from the gypsum board to the outlet box, and a max. allowable aggregate of 0.065 m² (100 sq.in.) in any 9.3m² (100 sq. ft.) of surface area.

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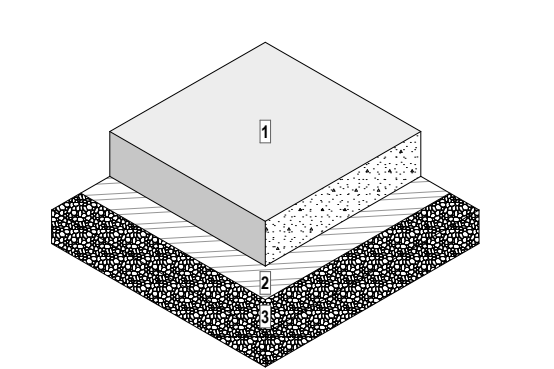
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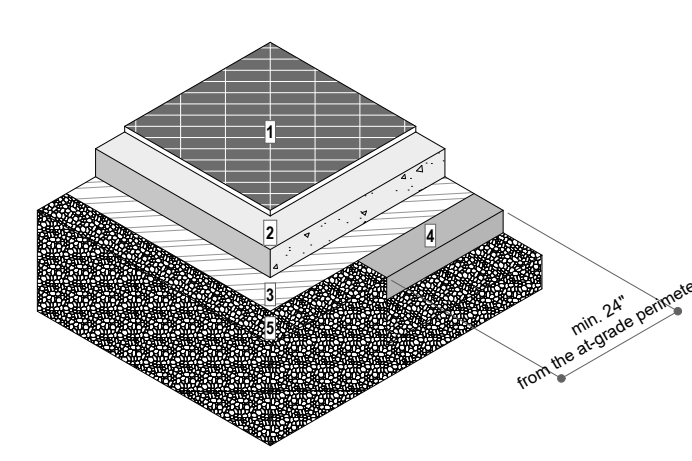
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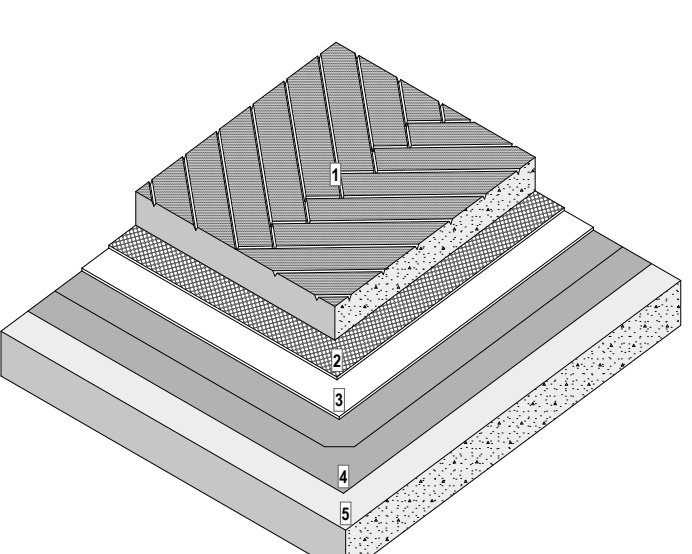
Type: **F1A - Slab on Grade (Unheated)**
Location: **(P1)**
Fire Resistance Rating: **N/A**
S.T.C. Rating: **N/A**

- concrete floor slab (see struc. dwgs.)
- 6 mil poly moisture/vapour barrier (at storage and service rooms only) - sealed and taped at all laps & penetrations
- compacted granular fill (see geotechnical report)



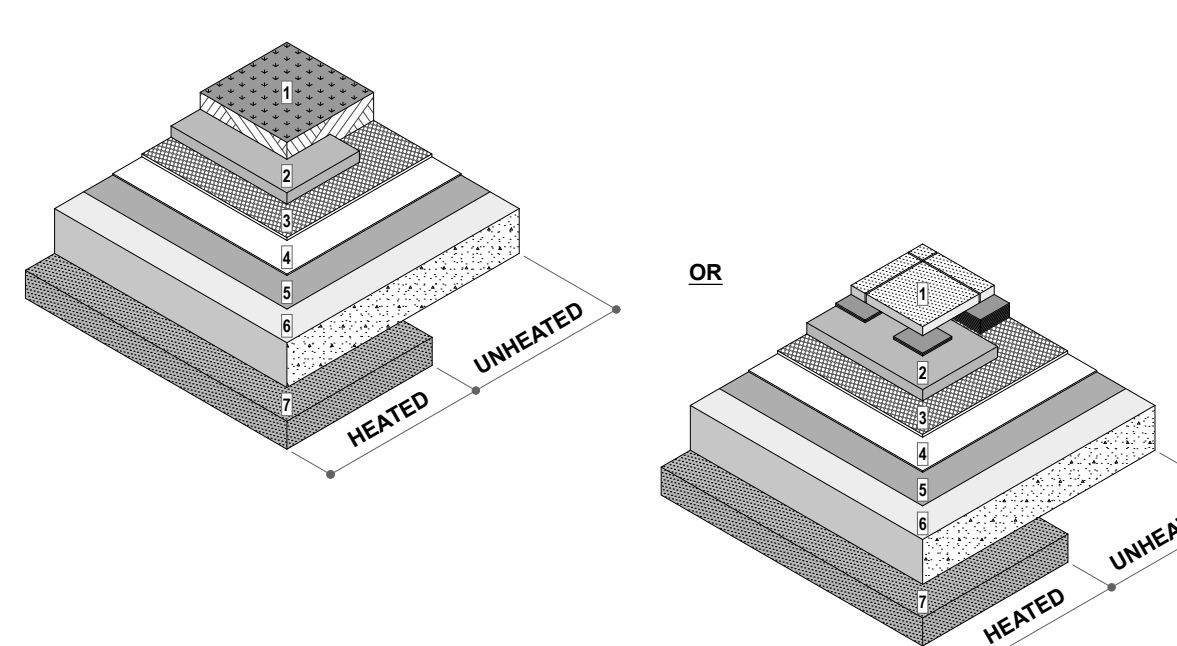
Type: **F1B - Basement Floor Slab - Heated**
Location: **(P1 Elevator Lobby)**
Fire Resistance Rating: **N/A**
S.T.C. Rating: **N/A**

- floor finish (see interior design dwgs.)
- min. 5" concrete floor slab (see struc. dwgs.)
- 10 mil poly moisture/vapour barrier - sealed and taped at all laps & penetrations
- R10 insulation (2" XPS) 24" (from the ai-grade perimeter of perimeter)
- compacted granular fill (see geotechnical report)



Type: **F2A - Parkade Ramp**
Location: **(1st floor to & P1 Level)**
Fire Resistance Rating: **2 hr Fire Separation - BCBC 2018 Appendix D-2.2. Table D-2.2.1.-A and Table D-2.2.1.-B**
S.T.C. Rating: **N/A**

- min. 4" concrete slab w/rough surface in herringbone pattern wheavy broom finish (see struc. dwgs.)
- Delta Drain 9000 Hi-X heavy duty traffic coating atop (or approved alternate)
- high density drainage mat (provide submittals)
- protection board
- 2-ply SBS waterproofing membrane (or approved alternate)
- reinforced concrete floor slab (see struc. dwgs.)
(Type N concrete - min. thickness for 2 hr rating - 124mm(4.88") min. 25mm concrete cover over reinforcement)



Type: **F3A - Suspended Floor Slab**
Location: **(1st Floor - between Landscape Deck and P1 Below)**
Fire Resistance Rating: **2 hr Fire Separation**
S.T.C. Rating: **2 hr Fire Resistance Rating - BCBC 2018 Appendix D-2.2. Table D-2.2.1.A. and Table D-2.2.1.-B**
S.T.C. Rating: **N/A**

- see Landscaped Architect's drawings for all finishes
- R10 XPS Type 3 or 4 rigid insulation - to extend 3'-0" past line of heated space (R5.0/inch)
- engineered drainage and protection layer - drainage mat as approved by envelope consultant - including vertical and horizontal termination strips, laps & seals as per manufacturer's standard recommendation
- protection board
- hot-applied rubberized membrane min. thickness 215 dry mils, fully reinforced 'Hydrotech 6125' (or approved equivalent)
- reinforced concrete floor slab - min. 2% slope to drain (see struc. dwgs.)
(Type N concrete - min. thickness for 2 hr rating - 124mm (4.88") min. 25mm concrete cover over reinforcement)
- R20 (5") monoglass spray insulation (provide submittals) - to extend min. 4'-0" past line of heated space above

Note:
- Provide 2 hr listing fire stop systems at all penetrations within 3m horizontally of exterior wall above.



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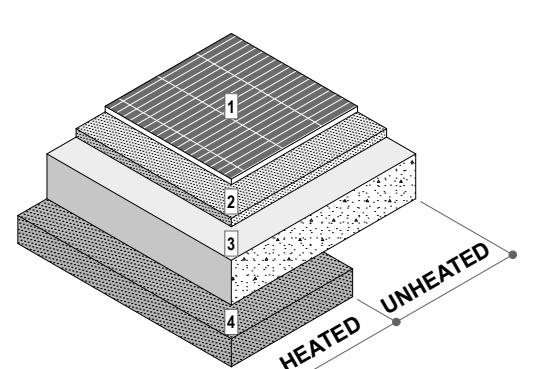
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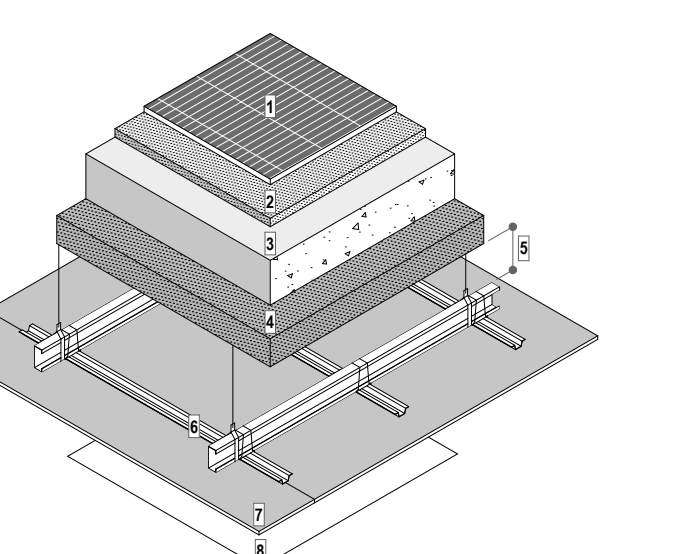
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Type: **F4A - Suspended Floor Slab**
Location: **(1st Floor - between Heated Space and Unheated Space below)**
Fire Resistance Rating: **2 hr Fire Separation**
S.T.C. Rating: **2 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.2.1.-A and Table D-2.2.1.-B 52-54 STC (TBC Acoustic Consultant)**

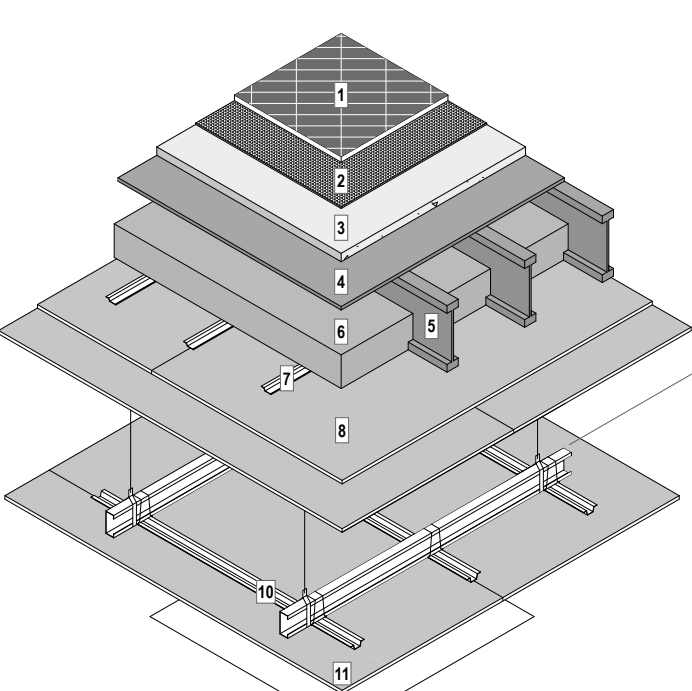
- floor finish (to be confirmed by client - see interior design dwgs.)
- min. 1 1/2" concrete topping
- reinforced concrete floor slab (see struc. dwgs.)
(Type N concrete - min. thickness for 2 hr rating - 124mm(4.88") min. 25mm concrete cover over reinforcement)
- R20 (5") monoglass spray-on insulation (or approved alternate) (provide submittals)
(Type N concrete - min. thickness for 3 hr rating - 150mm(5.91") min. 32mm concrete cover over reinforcement - to extend min. 4'-0" past line of heated space above)

Note:
- Provide 2 hr listing fire stop systems at all penetrations within 3m horizontally of exterior wall above.



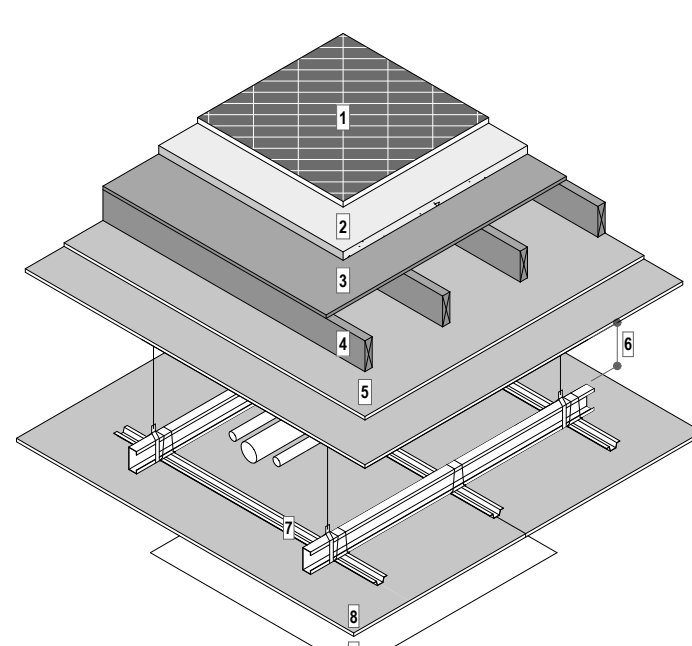
Type: **F4B - Suspended Floor Slab**
Location: **(1st Floor - between Residential Unit and P1 Elevator Lobby below)**
Fire Resistance Rating: **2 hr Fire Separation**
S.T.C. Rating: **2 hr Fire Resistance Rating - BCBC 2018 - Appendix D Table D-2.2.1.-A and Table D-2.2.1.-B 52-54 STC (TBC Acoustic Consultant)**

- floor finish (to be confirmed by client - see interior design dwgs.)
- min. 1 1/2" concrete topping
- reinforced concrete floor slab (see struc. dwgs.)
(Type N concrete - min. thickness for 2 hr rating - 124mm(4.88") min. 25mm concrete cover over reinforcement)
- R20 (5") monoglass spray-on insulation (or approved alternate) (provide submittals)
- to extend 3'-0" past line of heated space
- dropped ceiling space - to suit depth of recessed pot lights and services (see interior designer's dwgs.)
- suspended ceiling system - metal furring/channel (as per manufacturer's recommendations)
- 5/8" type 'X' gypsum board
- sprayed textured finish (to be confirmed by client - see interior design dwgs.)



Type: **F5A - Party Floor**
Location: **(2nd Floor to 6th Floor - between dwelling units)**
Fire Resistance Rating: **1 hr Fire Separation - cUL Design L516**
S.T.C. Rating: **Intertek Design No. WNR/ICA 60-01**
Floor Type F21d - BCBC 2018 for acoustic rating - min. 69 STC
55 STC - WNR/ICA 60-01

- floor finish (to be confirmed by client - see interior design dwgs.)
- GenieMat RST10' acoustimat (or approved alternate)
- min. 1 1/2" concrete topping
- 3/4" Douglas Fir square edge plywood sheathing - glued and nailed (see struc. dwgs.)
- 3/4" TJ's - See Struc. Dwgs. for spacing - provide cross bridging as per code requirements (see struc. dwgs.)
- 3/4" batt insulation
- resilient channels
- 2 layers - 5/8" type 'X' gypsum board (60 minutes) -
1st layer 5/8" type 'X' gypsum board
2nd layer 5/8" type 'X' gypsum board installed perpendicular to channels - end joints shall be staggered 48" - all joints shall be taped and filled with two layers of gypsum joint compound and screw heads filled
- dropped ceiling space - to suit depth of recessed pot lights and services (see interior designer's dwgs.)
- suspended metal furring/joist (as per manufacturer's recommendation)
- 5/8" type 'X' gypsum board - at bathrooms and kitchens only
- sprayed textured finish (to be confirmed by client - see interior design dwgs.)



Type: **F6A - Corridor Floor**
Location: **(2nd Floor to 6th Floor)**
Fire Resistance Rating: **1 hr Fire Separation - BCBC 2018 Appendix D-2.3 Table D-2.3.12**
S.T.C. Rating: **N/A**

- floor finish (to be confirmed by client - see interior design dwgs.)
- min. 1 1/2" concrete topping
- 3/4" Douglas Fir square edge plywood sheathing - glued and nailed (see struc. dwgs.)
- 2x6 joists - See Struc. Dwgs. for spacing - provide cross bridging as per code requirements (see struc. dwgs.)
- 2 layers - 5/8" type 'X' gypsum board (60 minutes) -
1st layer 5/8" type 'X' gypsum board
2nd layer 5/8" type 'X' gypsum board installed perpendicular to channels - end joints shall be staggered 48" - all joints shall be taped and filled with two layers of gypsum joint compound and screw heads filled
- compartmentalized drop ceiling space (max. 20m length & 160 cu.ft.) - suit depth of recessed pot lights and services (see interior design's dwgs.)
- suspended metal furring/joist (as per manufacturer's recommendation)
- 5/8" type 'X' gypsum board
- sprayed textured finish (to be confirmed by client - see interior design dwgs.)



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CLIENT: **RF PROPERTIES**
PROJECT: **RENTAL DEVELOPMENT**
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: **19495**
SCALE: **Not To Scale**
DATE: **2024-05-29**
REVISION: **BP RESUBMISSION**
DRAWING: **0.4.2.041**



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DRAWING: **0.4.2.061**



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A-6.105

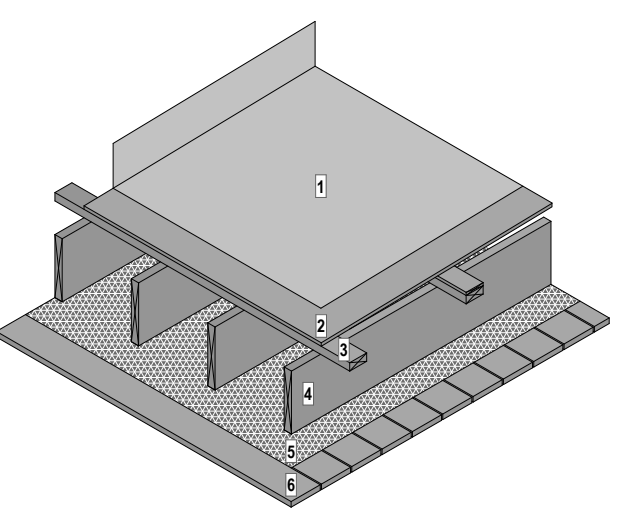


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[PROJECT TEAM]



F10A - Balcony Deck System - Joists
(2nd Floor - 6th Floor)

Type: F10A - Balcony Deck System - Joists
Location: (2nd Floor - 6th Floor)
Fire Resistance Rating: N/A
S.T.C. Rating: N/A

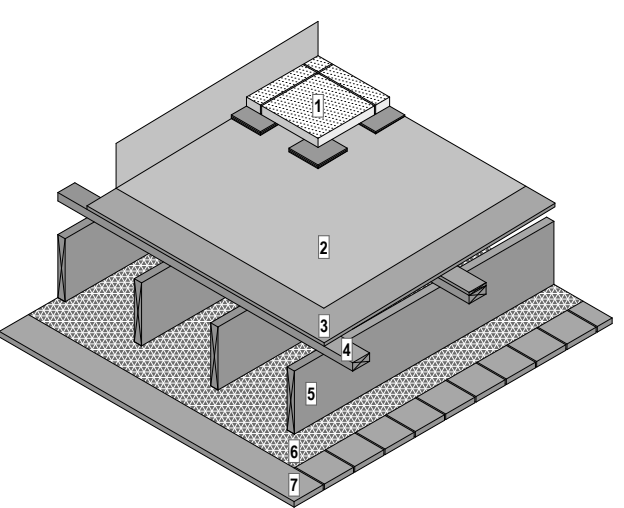
[1] waterproof deck membrane conforming to 9.26.2 BCBC 2018 (subject to approval by envelope consultant)
- 60 mil vinyl deck membrane or
- 60 mil polyurethane liquid coating 'BASF MasterSeal' fully reinforced at all transitions
- diverters are required at all deck to wall interfaces
- extend membrane min. 8" above balcony surface
[2] 5/8" T&G exterior grade plywood (see struc. dwgs.)
[3] from 2x10 joists @ max. 16" o.c. (see struc. dwgs.)
[4] continuous insect screen
[5] 5/16"x6 1/4" fibre cement soffit in 'Woodtone' finish w/1/4" spacing between boards

Note:
- Beams penetrating the exterior walls require to be taped and sealed.
- Exhaust vents under the balconies will require to extend to the face of balcony and solid soffit will be required around them for min. 3'-0".

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PROJECT: F10A BALCONY
CLIENT: RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 0.4.2.101



F10B - Balcony Deck System - Joists
(2nd Floor - 6th Floor)

Type: F10B - Balcony Deck System - Joists
Location: (2nd Floor - 6th Floor)
Fire Resistance Rating: N/A
S.T.C. Rating: N/A

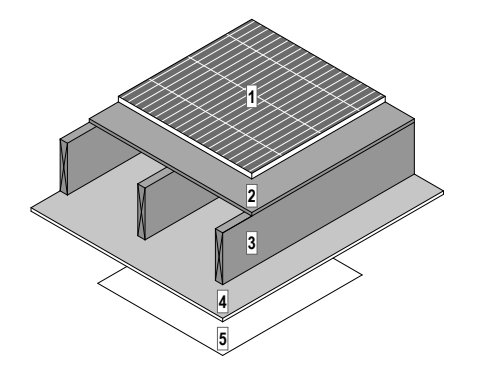
[1] concrete pavers (submital required)
- on rubber isolator pads
- Mason Super VV-PB patio stone control pad, 30 durometer, bridge bearing quality (available from Vibra-Sonic Control 294-9495)
[1] waterproof deck membrane conforming to 9.26.2 BCBC 2018 (subject to approval by envelope consultant)
- 60 mil vinyl deck membrane or
- 60 mil polyurethane liquid coating 'BASF MasterSeal' fully reinforced at all transitions
- diverters are required at all deck to wall interfaces
- extend membrane min. 8" above balcony surface
[3] 2-ply SBS waterproof membrane - light grey (subject to approval by envelope consultant)
[4] 5/8" T&G exterior grade plywood (see struc. dwgs.)
[5] 2x10 joists @ max. 16" o.c. (see struc. dwgs.)
[6] continuous insect screen
[7] 5/16"x6 1/4" fibre cement soffit in 'Woodtone' finish w/1/4" spacing between boards

Note:
- Beams penetrating the exterior walls require to be taped and sealed.
- Exhaust vents under the balconies will require to extend to the face of balcony and solid soffit will be required around them for min. 3'-0".

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PROJECT: F10B BALCONY
CLIENT: RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 0.4.2.102



F11A - Stair Landing
(2nd Floor - 6th Floor)

Type: F11A - Stair Landing
Location: (2nd Floor - 6th Floor)
Fire Resistance Rating: N/A
S.T.C. Rating: N/A

[1] floor finish (see interior designer's dwgs.)
[2] 19/32 T&G OSB sheathing - glued and nailed (see struc. dwgs.)
[3] 2x10 joists @ 16" o.c. (see struc. dwgs.)
[4] 1/2" gypsum board
[5] sprayed textured finish (to be confirmed by client - see interior design dwgs.)

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PROJECT: F11A STAIR LANDING
CLIENT: RF PROPERTIES
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206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: 19495
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DATE: 2024-05-29
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DRAWING: 0.4.2.111

BRITISH COLUMBIA BUILDING CODE 2018

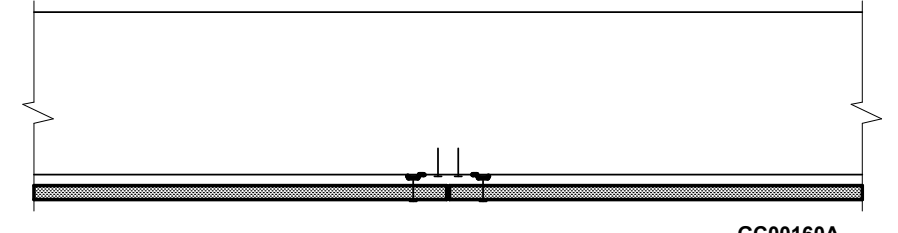


Figure A-9.10.3.1.-A
Single layer butt joint details

Notes to Figure A-9.10.3.1.-A
(1) Figure is for illustration purposes only and is not to scale.
(2) The structural member can be any one of the types described in the Table.
(3) Adjacent gypsum board butt ends are to be attached to separate resilient channels using regular Type S screws, located a minimum 38mm from the butt end.

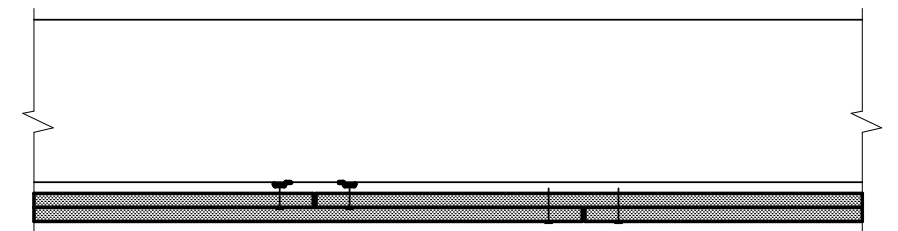


Figure A-9.10.3.1.-B
Double layer butt joint details

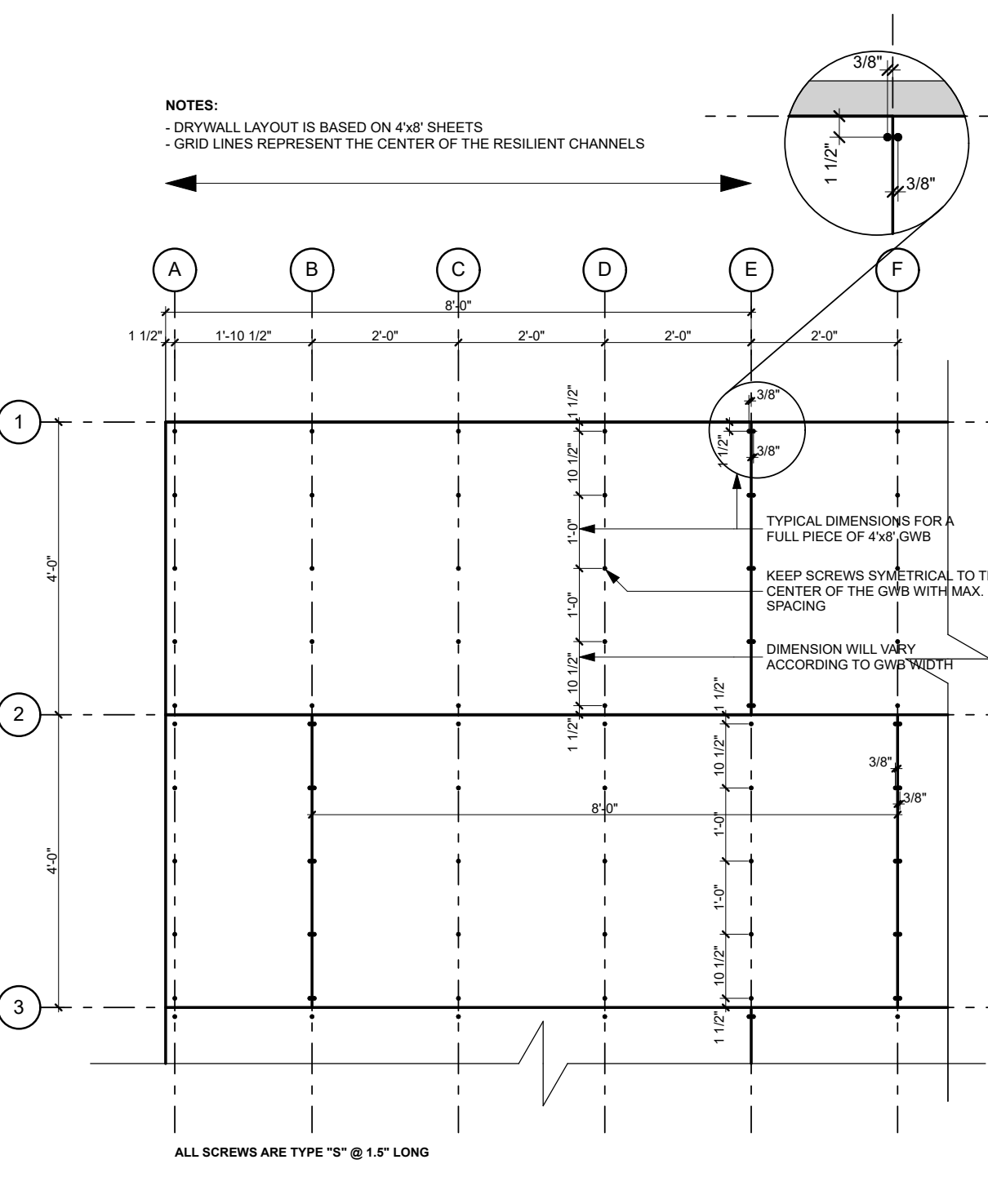
Notes to Figure A-9.10.3.1.-B
(1) Figure is for illustration purposes only and is not to scale.
(2) The structural member can be any one of the types described in the Table.
(3) Base layer butt ends can be attached to a single resilient channel using regular Type S screws.
(4) Type G screws measuring a minimum 32mm in length and located a minimum of 38mm from the butt end are used to fasten the butt ends of the face layer to the base layer.

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PROJECT: BCBC 2018 - REFERENCE DRYWALL ATTACHMENT AT CEILING
CLIENT: RF PROPERTIES
RENTAL DEVELOPMENT
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NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: Not To Scale
DATE: 2024-05-29
REVISION: BP RESUBMISSION
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NOTES:
- DRYWALL LAYOUT IS BASED ON 4'x8' SHEETS
- GRID LINES REPRESENT THE CENTER OF THE RESILIENT CHANNELS



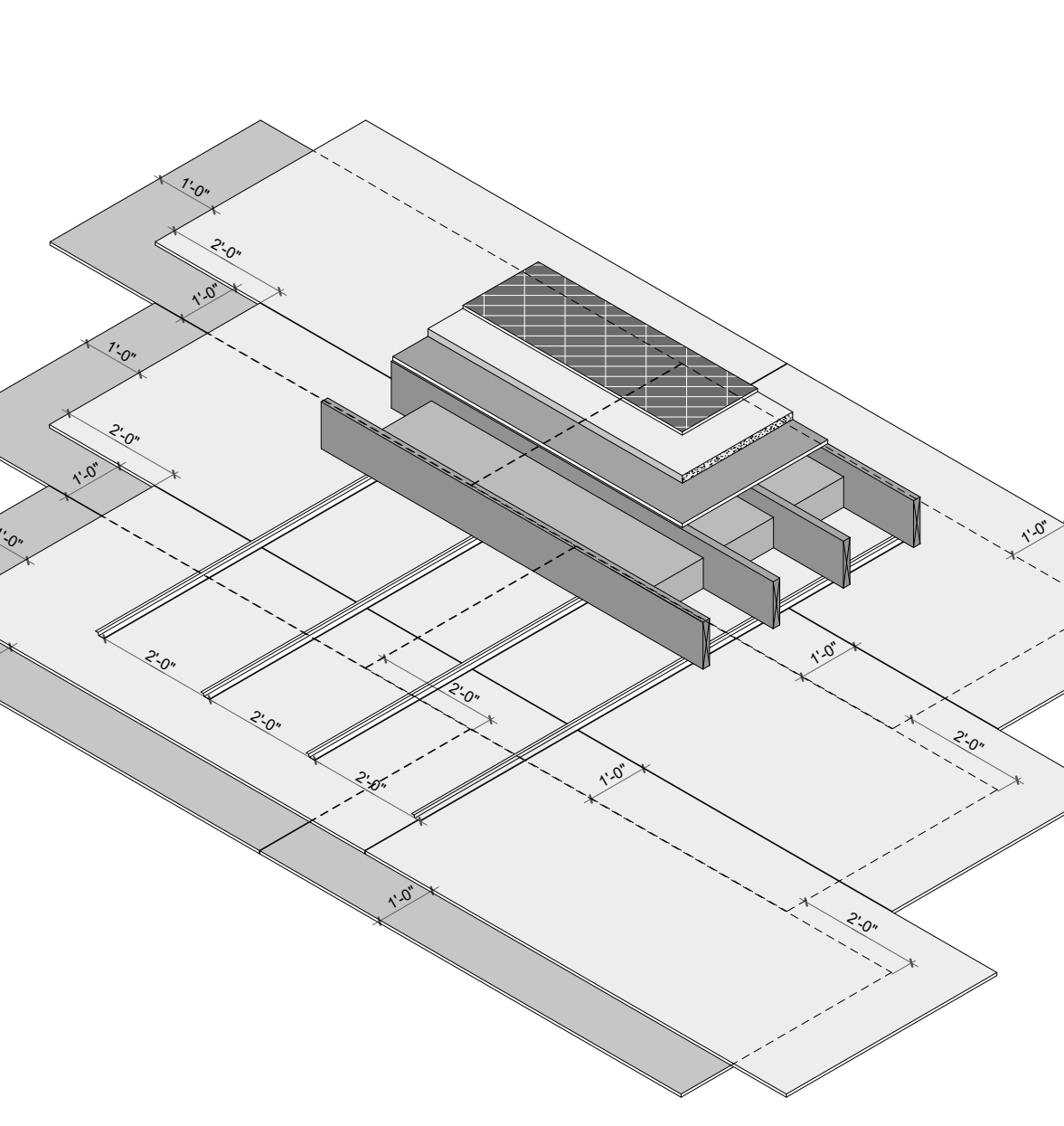
TYPICAL DIMENSIONS FOR A FULL PIECE OF 4'x8' DRYWALL
KEEP SCREWS SYMMETRICAL TO THE CENTER OF THE GWS WITH MAX. 1" SPACING
DIMENSION WILL VARY ACCORDING TO GWS WIDTH

ALL SCREWS ARE TYPE "S" @ 1.5" LONG

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PROJECT: DRYWALL ATTACHMENT AT CEILING 1ST - BASE LAYER
CLIENT: RF PROPERTIES
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NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: 1/2" = 1'-0"
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 0.4.2.902



NOTES:
- MIN. 1'-0" OVERLAPS @ ALL JOINTS
- REFER TO FASTENER LAYOUT FOR SCREW TYPES AND SPACING
- BASE LAYER BUTT ENDS SHALL BE FASTENED DIRECTLY TO RESILIENT CHANNEL
- THIS GYPSUM BOARD LAYOUT IS ONLY FOR RESILIENT CHANNELS SPACED @ 2'-0" o.c.

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CLIENT: RF PROPERTIES
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PROJECT: 19495
SCALE: Not To Scale
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ROOF NOTES:

- Construct the roofs as per the listed assemblies or the requirements of the current Building Code and provide the corresponding listed fire stop system for all penetrations.
- At wood frame construction drill all penetrations as per listed the fire stopping systems - chainsaw holes are not permitted.
- Provide a waterproof membrane in conformance with CAN/CSA-S413 and CGSB37-GP-50M. Roof membrane to meet uplift requirements of CSA Standard A 123.21-14. Use a roof barrier approved by the landscape architect to contain roots and protect the waterproofing membrane.
- At slab edges, carry waterproof membrane down over walls min. 15", enough to cover cold joint at wall/slab edge. At upstand walls, extend waterproof membrane min. 8" above finished grade and cover with 26 ga. prefinished steel flashing c/w reglet or gum pocket.
- Provide rebar dowels complete with prestrip waterproof membrane prior to construction of curbs, planter walls, columns, stairs, etc. Seal dowel penetrations with waterproofing manufacturer's recommended mastic.
- Provide a drainage mat under sidewalks and stairs poured over the suspended slab waterproofing.
- Provide crickets/diverters at all interfaces between decks/roofs and walls or columns.
- Waterproof deck membrane contractor to supply and install all deck flashings.
- Roofing contractor to supply and install all roof flashings c/w standing seams or S-locks. Provide a min. 6" vertical back leg for all roof-to-wall flashings and step flashings.
- Ensure all deck membranes are wrapped up and over the door sill framing c/w 6" lap the jamps prior to the installation of all doors.
- Run base sheets min 8" up vertical wall faces. Base sheet to be mechanically fastened. Run granulated cap sheet min. 10" up vertical wall faces. Provide a loose membrane flap, to lap breathable self-adhesive air/weather barrier/paper under, at all deck edge-to-vertical wall interfaces.
- Provide shop drawing submittal and Schedule S-B & S-C for all handrails, guardrails, ladders & roof anchors required for maintenance purposes at the roof level. Installation & design to meet all WCB requirements. Coordinate installation w/ structural engineers and envelope consultants.

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PROJECT: ROOF NOTES 1 ...
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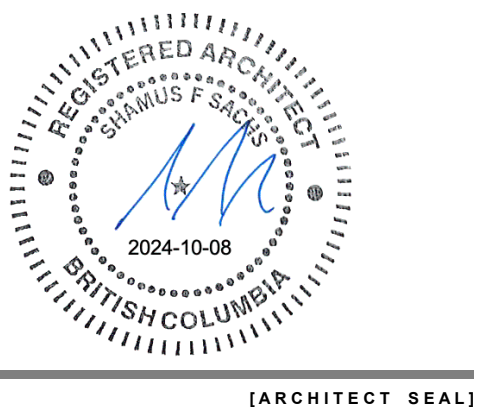
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- Resilient channels - max thickness of 25 gauge, RC-1, 1/2" offset galvanized steel resilient channels with slots or holes to be installed perpendicular to joists at 16" o.c. max. Channels shall overlapped 1/2" at ends and fastened with a 1 1/4" long No. 7 Type S bugle head screw. Additional channels are required to support gypsum wallboard end joints so that each board end rests on its own channel. These additional channels shall extend to 3" past the board end joints. Channels shall be fastened at each joint intersections using one 1 1/4" long No.7 Type S bugle head screw - see details 0.4.2.901, 0.4.2.902, 0.4.2.903, 0.4.2.904. Ensure drywall screws do not penetrate resilient channels into joists.
- Provide 5/8" gypsum board at underside of roof structure when framing is greater than 16" o.c.
- Provide rated access panels at ceiling openings to match the rating of the ceiling membrane.
- Roof assemblies require a 1hr rating per the current Building Code.
- Horizontal concealed spaces such as attics are required to be fire blocked into compartments regardless of sprinklers unless filled with non-combustible insulation.
- Provide non-combustible electrical boxes c/w poly boot and approved spray foam insulation or provide gasketed combustible electrical boxes with an approved Hilti Putty Pack on all sides of boxes. Boxes are to have a max. allowable area of 0.016 m² (24.8 sq.in.), with a max. annular space of 3mm (1/8") from the gypsum board to the outlet box, and a max. allowable aggregate of 0.065 m² (100 sq.in.) in any 9.3m² (100 sq.ft.) of surface area.

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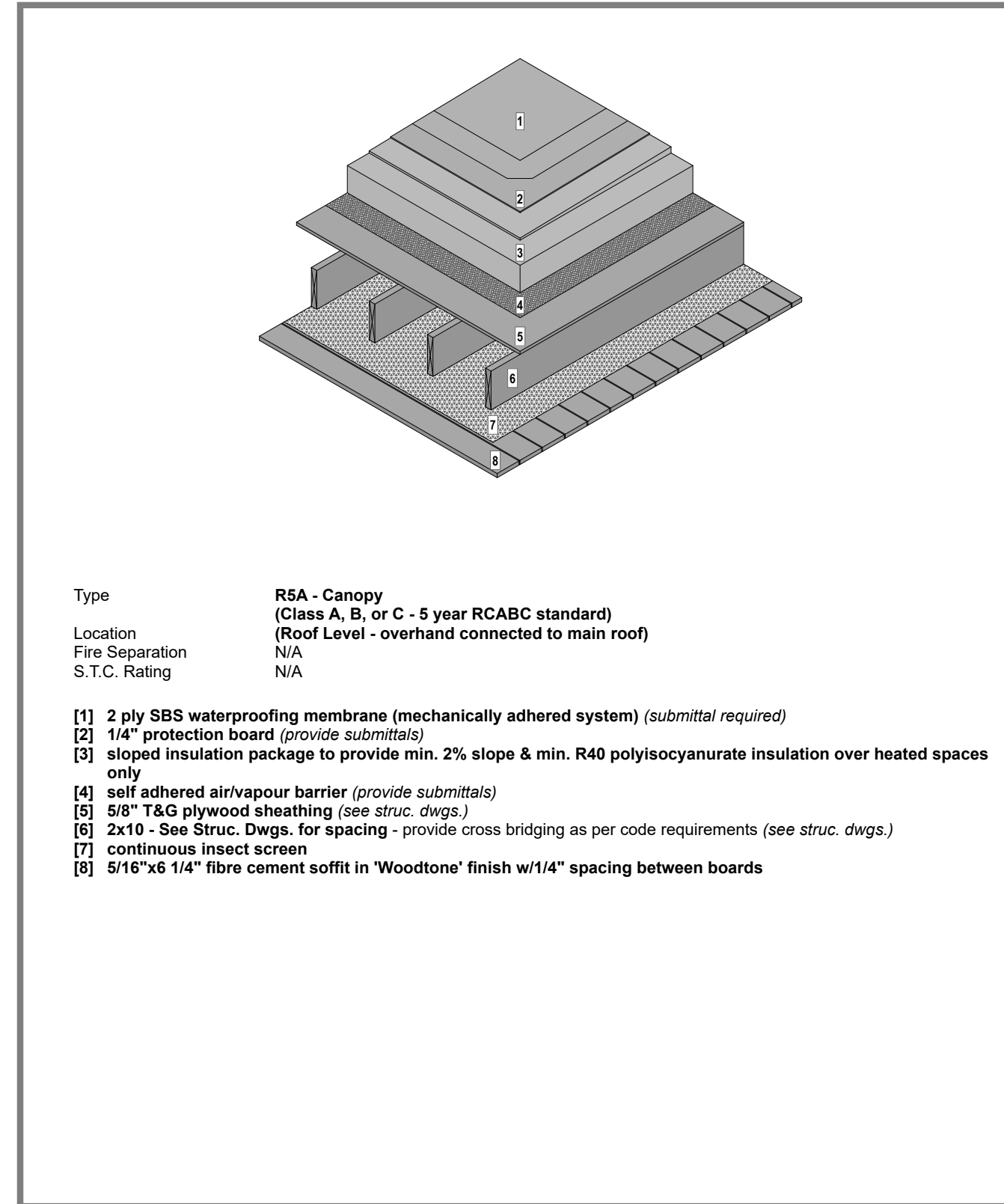
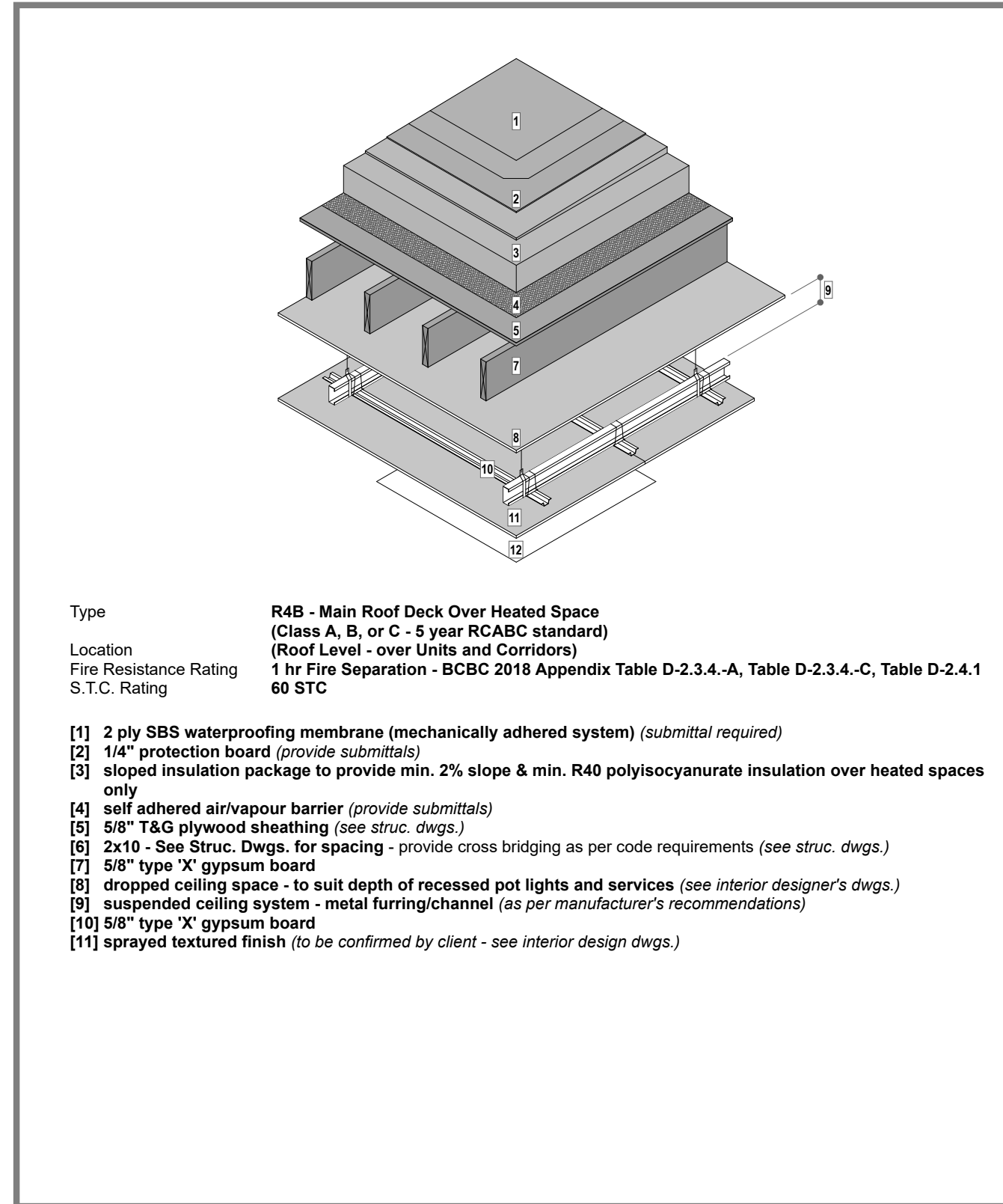
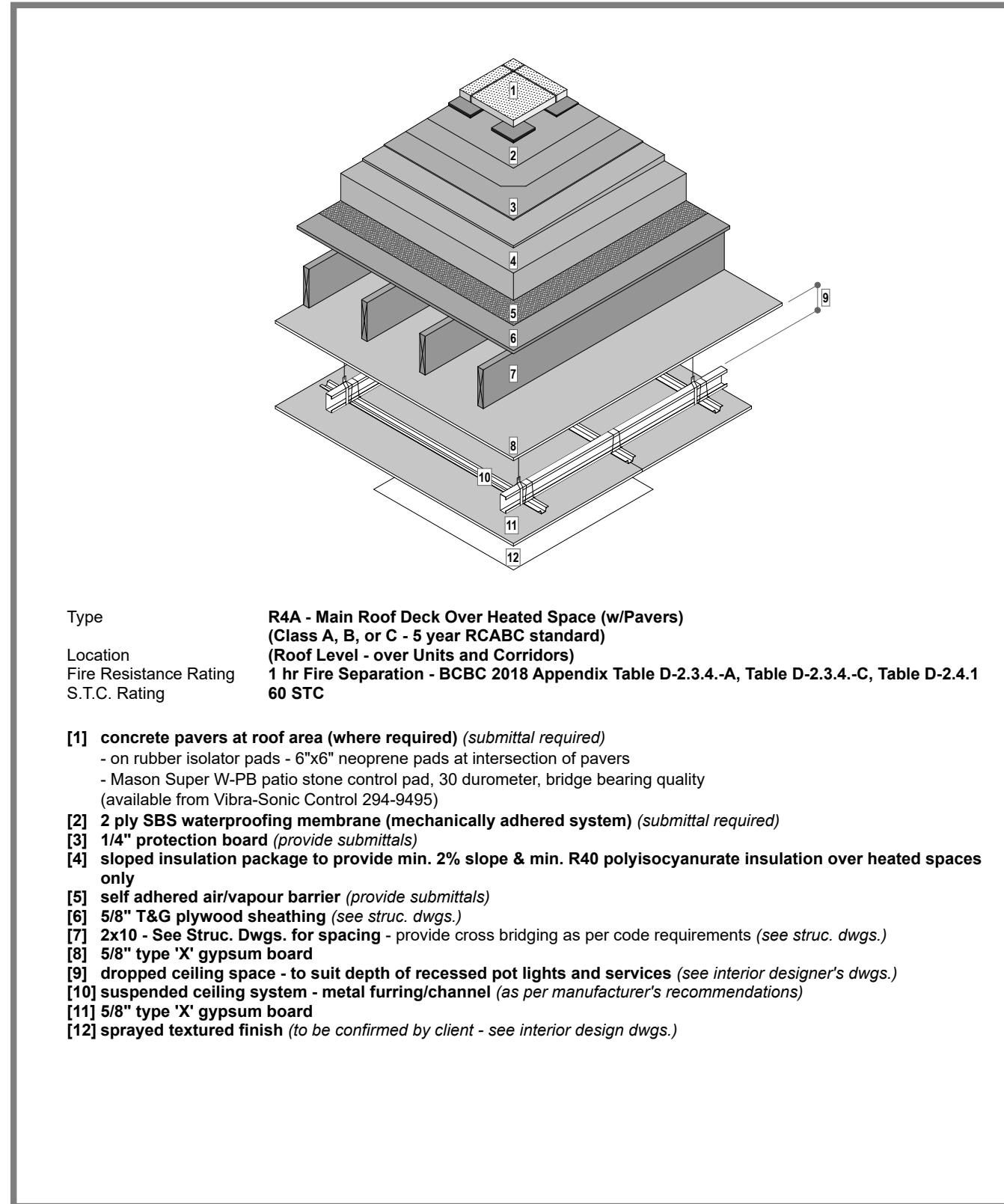
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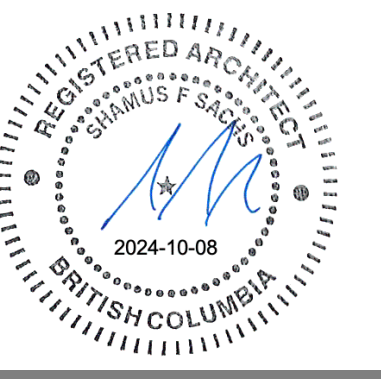
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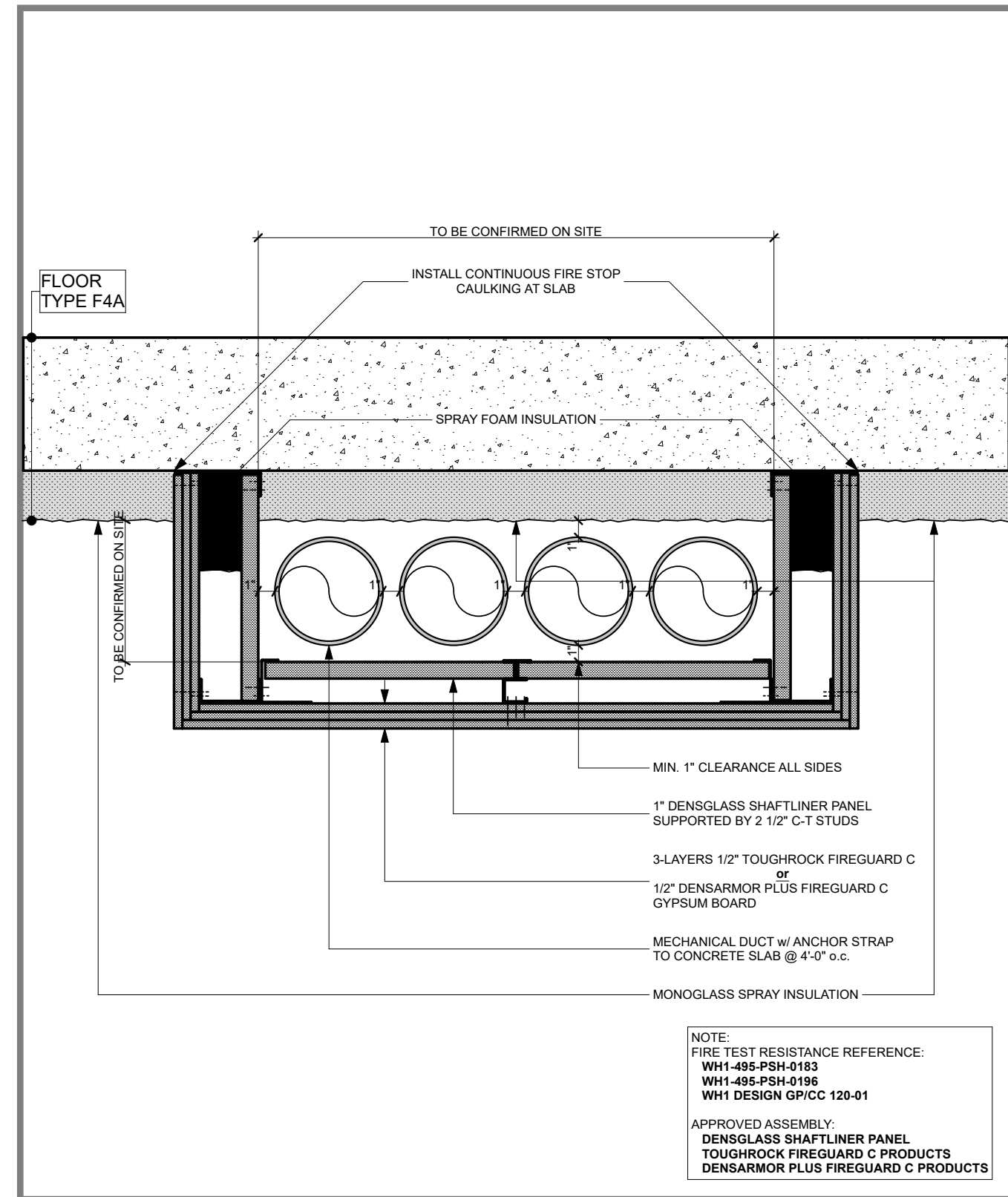


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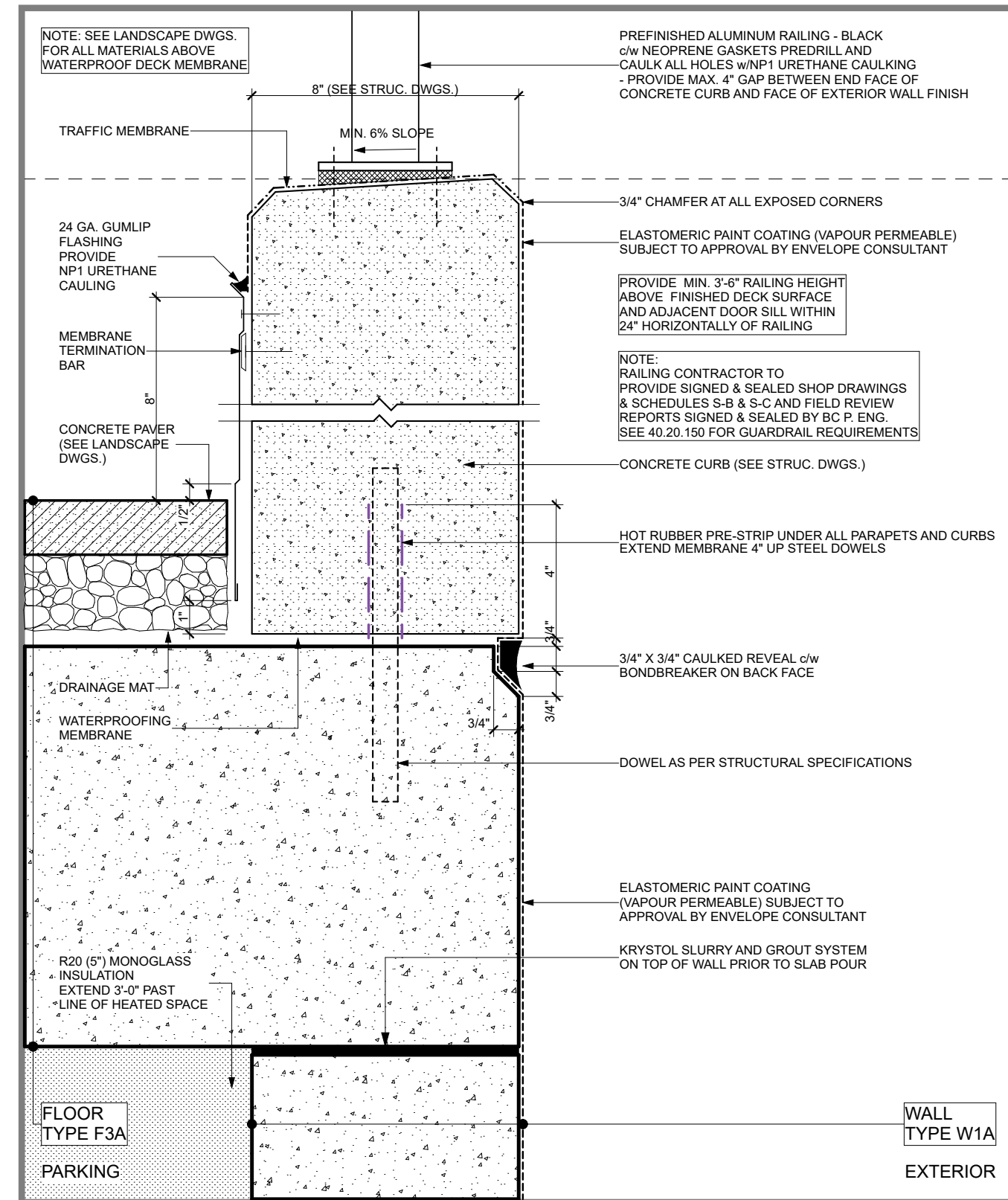


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2HR RATED HORIZONTAL DUCT

PROJECT: 19495
SCALE: 1 1/2" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.0.401

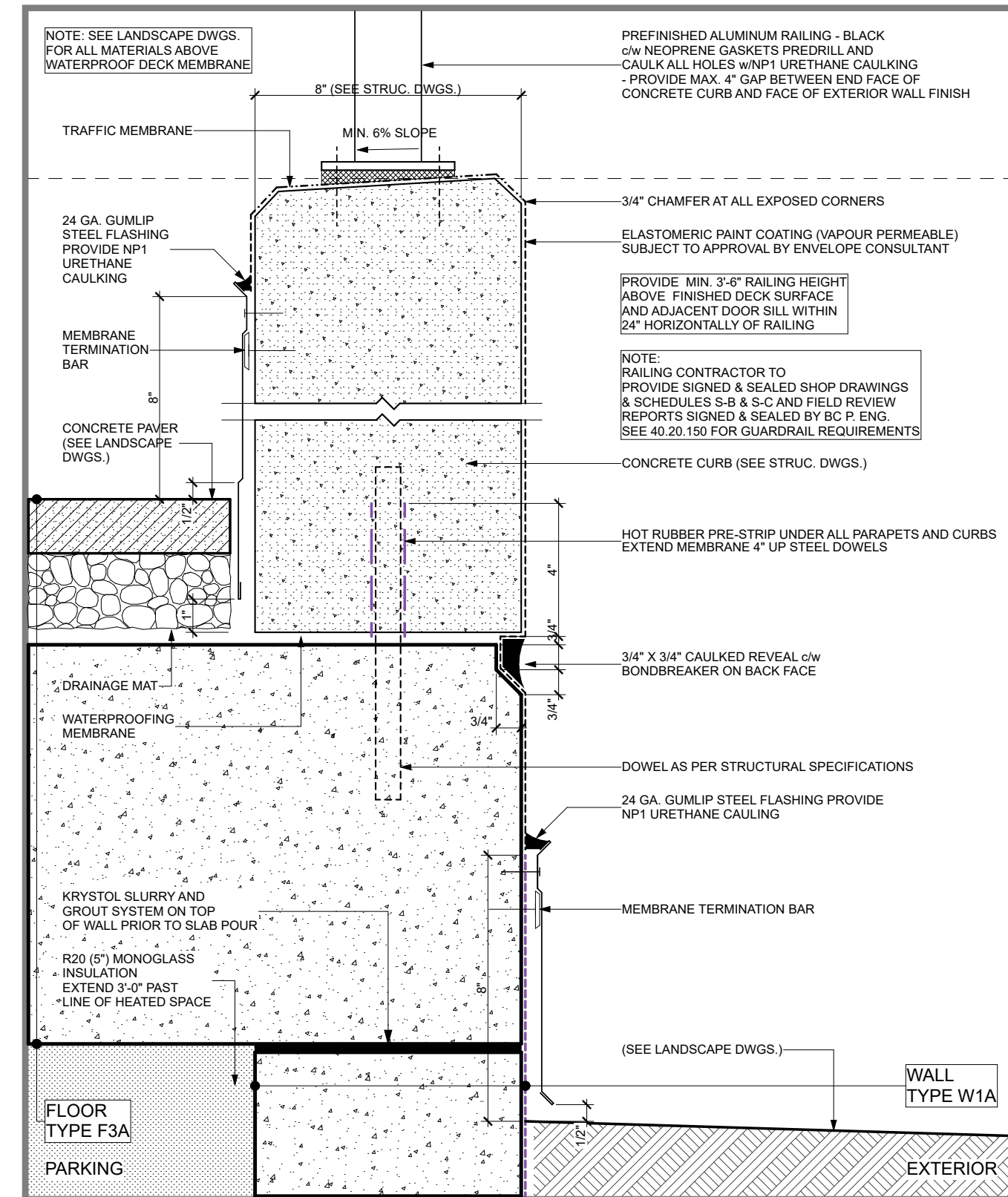


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CURB WALL w/RAILING (BETWEEN PATIO & PARKING) - TYPE 1

PROJECT: 19495
SCALE: 3" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.1.501

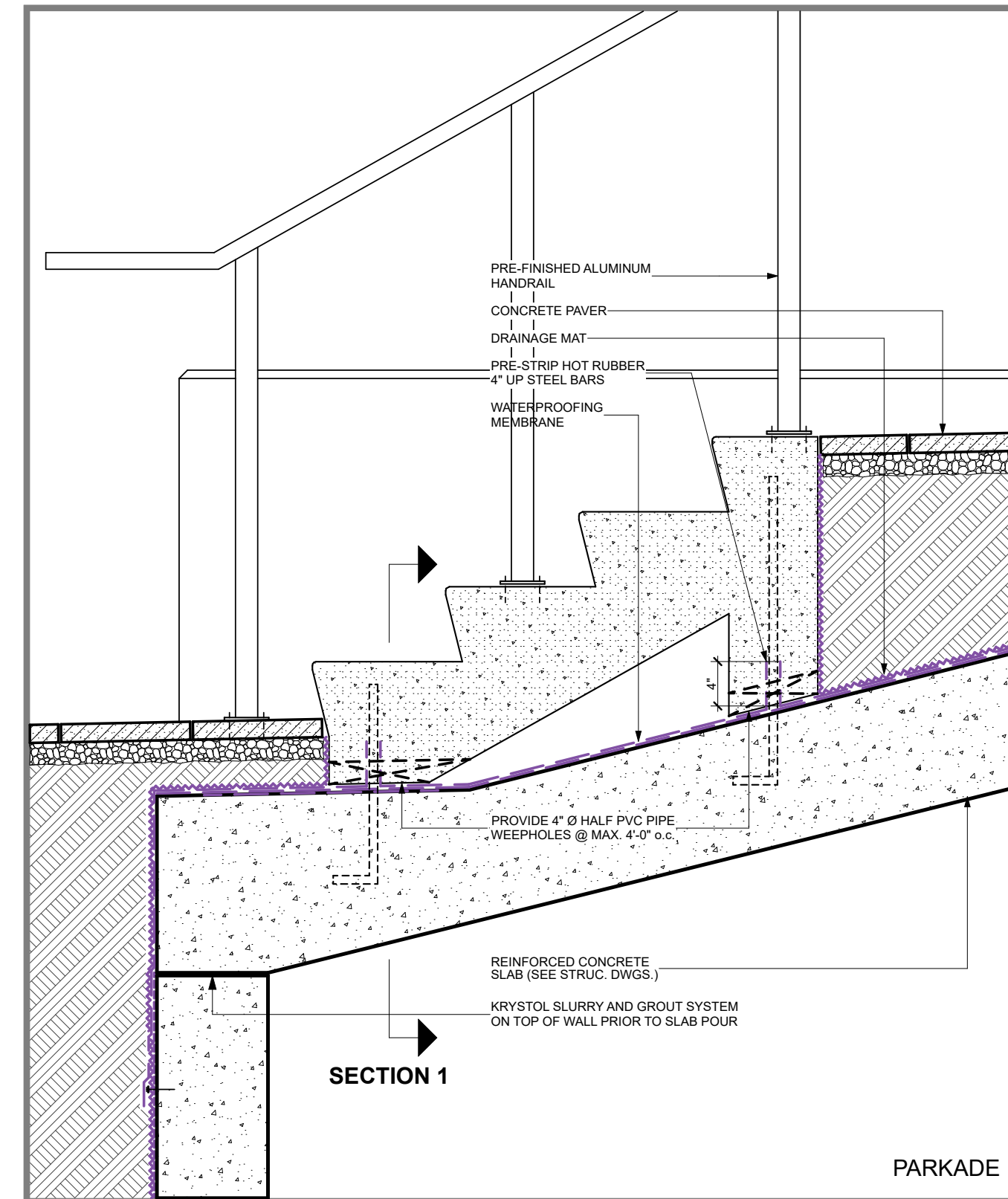


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CURB WALL w/RAILING (BETWEEN PATIO & PARKING) - TYPE 2

PROJECT: 19495
SCALE: 3" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.1.502

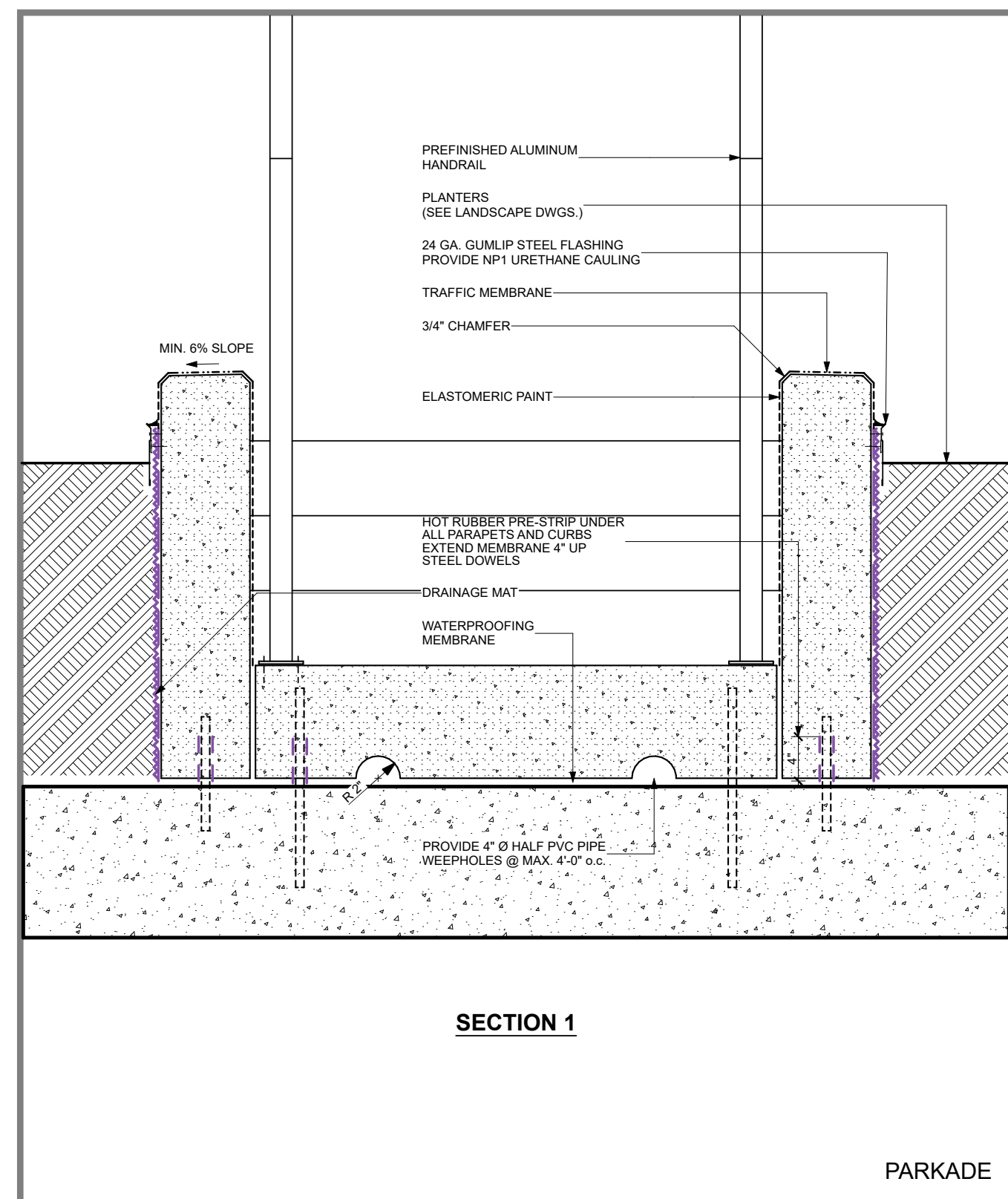


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RF PROPERTIES
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STAIR OVER SUSPENDED SLAB (10f2) - TYPICAL

PROJECT: 19495
SCALE: 1" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.1.801

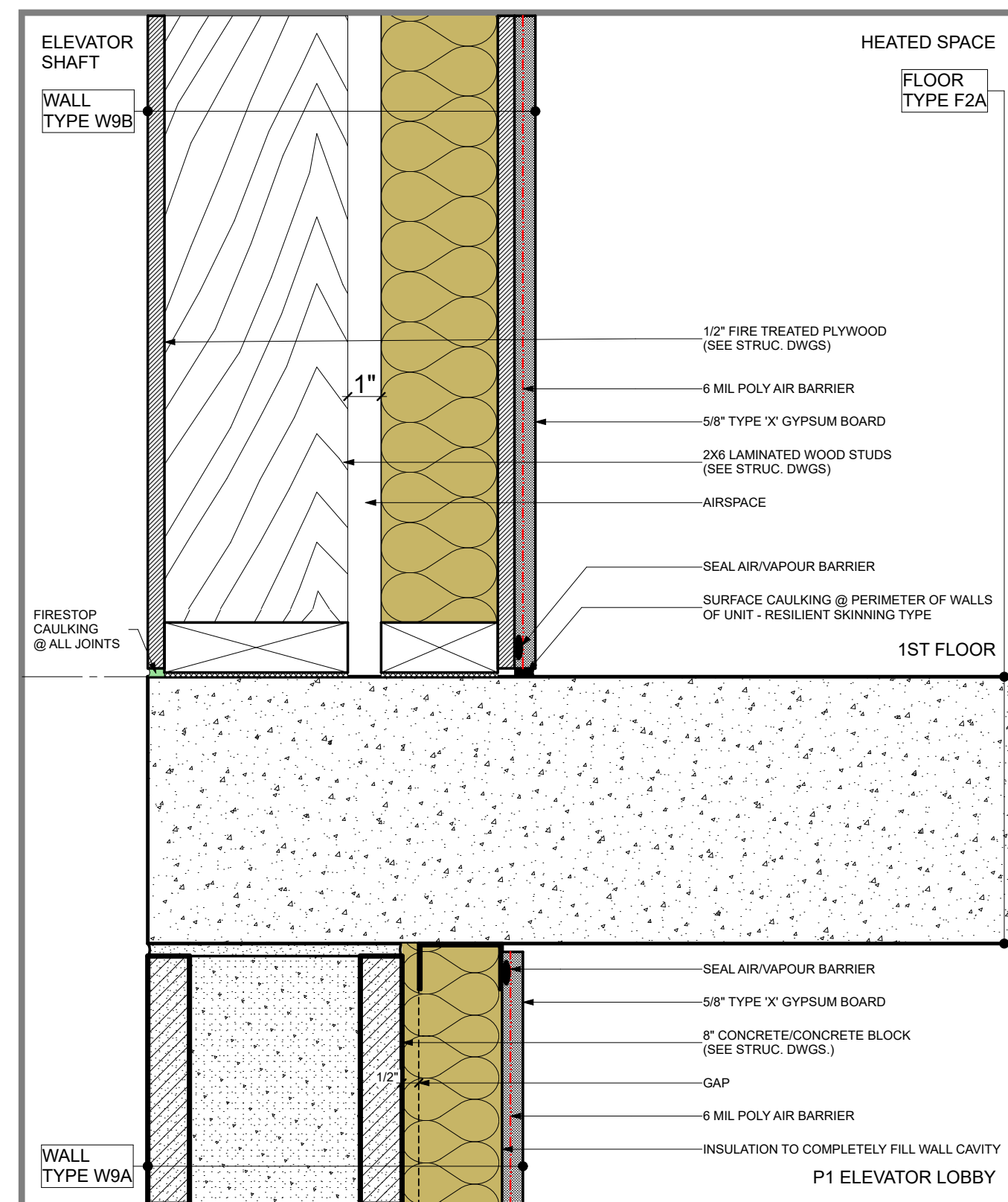


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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

STAIR OVER SUSPENDED SLAB (20f2) - TYPICAL

PROJECT: 19495
SCALE: 1" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.1.802

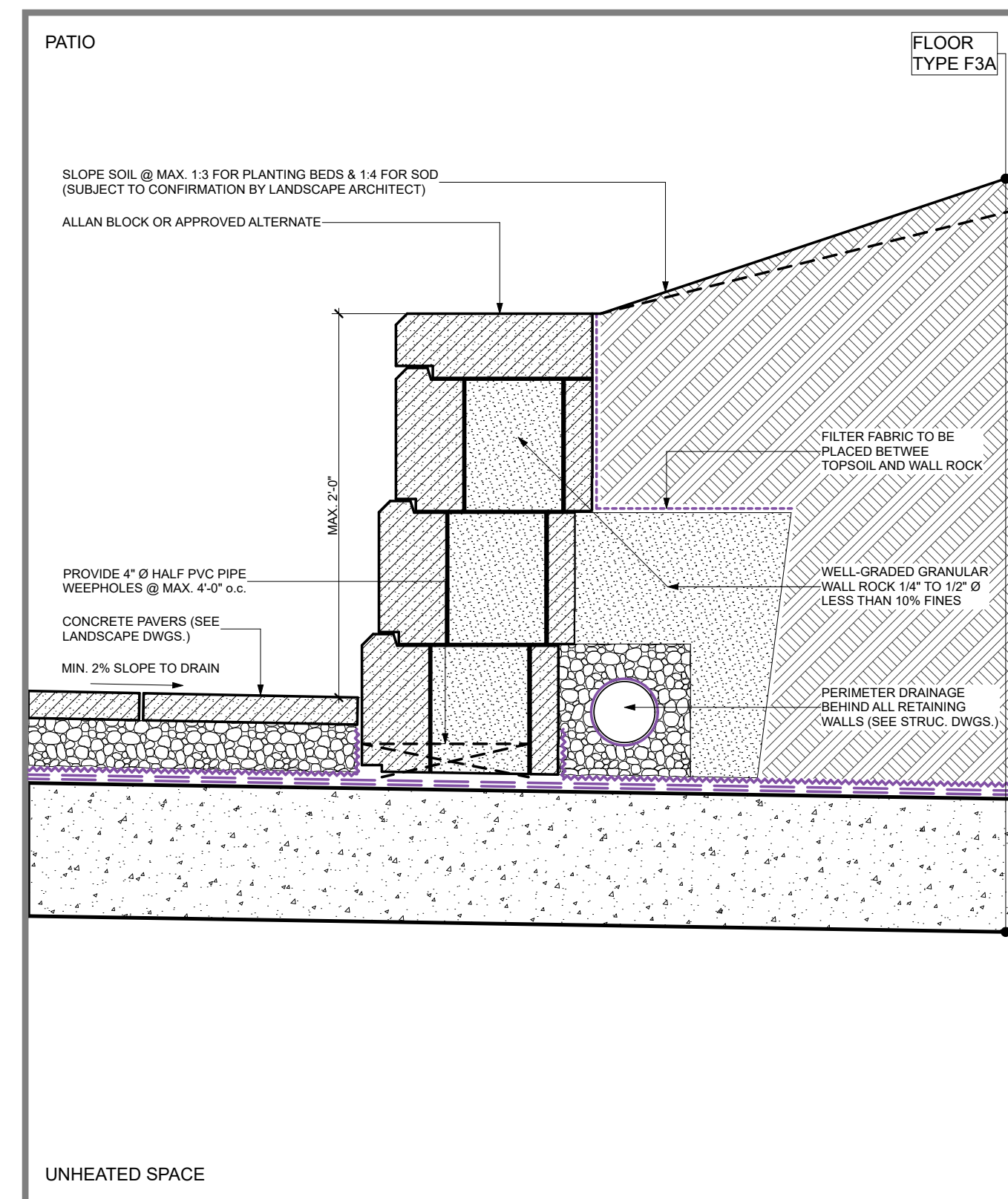


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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
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ELEVATOR SHAFT WALL @ SUSPENDED SLAB

PROJECT: 19495
SCALE: 3" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.3.401

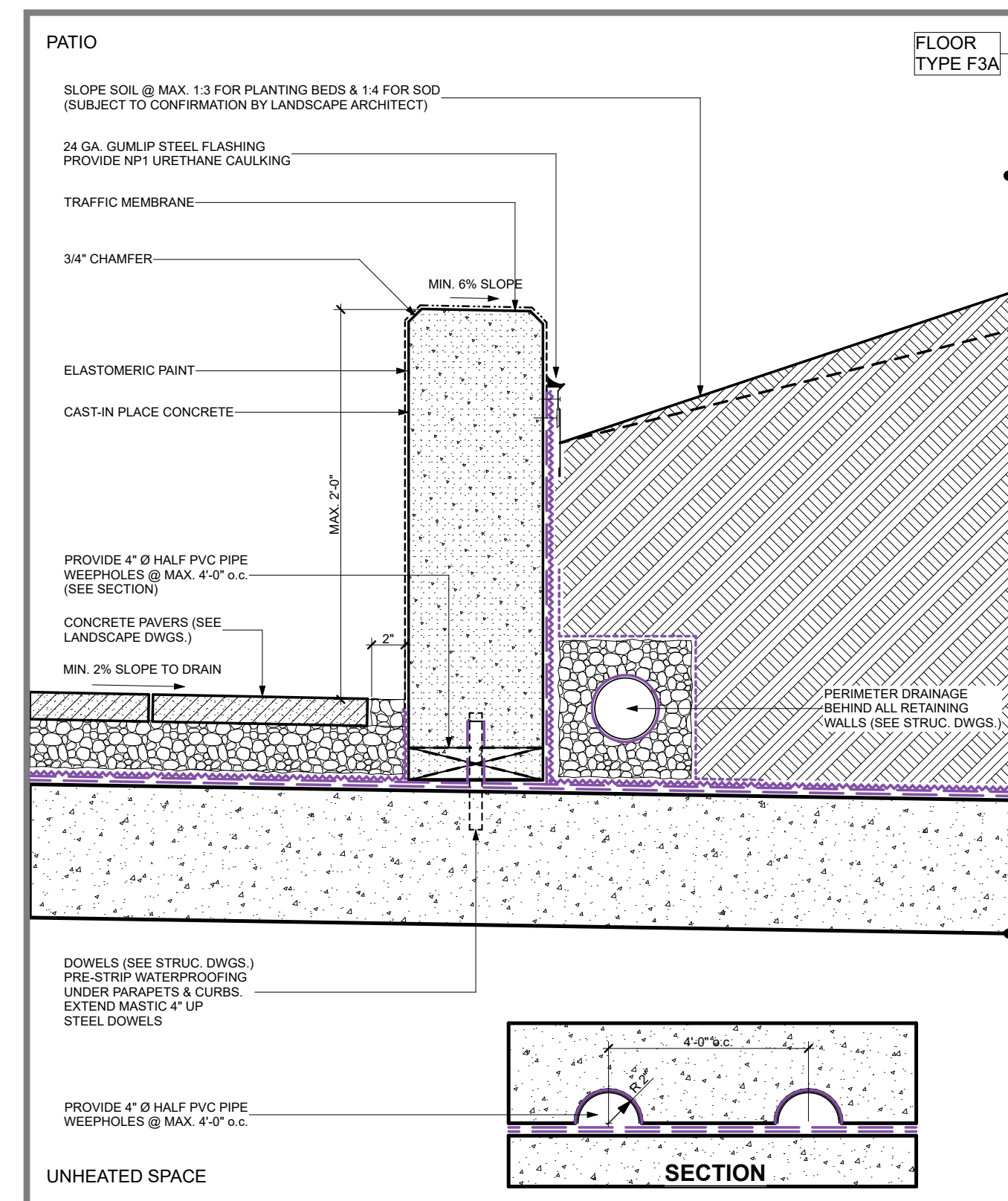


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Telephone: 604 688 4220

RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

CONCRETE PAVER / PLANTER @ PATIO ON SUSPENDED SLAB - OPTION 1

PROJECT: 19495
SCALE: 1 1/2" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.3.521



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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

CONCRETE PAVER / PLANTER @ PATIO ON SUSPENDED SLAB - OPTION 2

PROJECT: 19495
SCALE: 1 1/2" = 1'-0"
DATE: 2024-05-29
DRAWING: 3.1.3.522



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES
REDEKOP | FERRARIO

[PROJECT]

DETAILS

19495 [PROJECT]
1 1/2" = 1'-0" [SCALE]
2024-10-04 [DATE]
13 - BP RESUBMISSION [ISSUE]

[DRAWING]



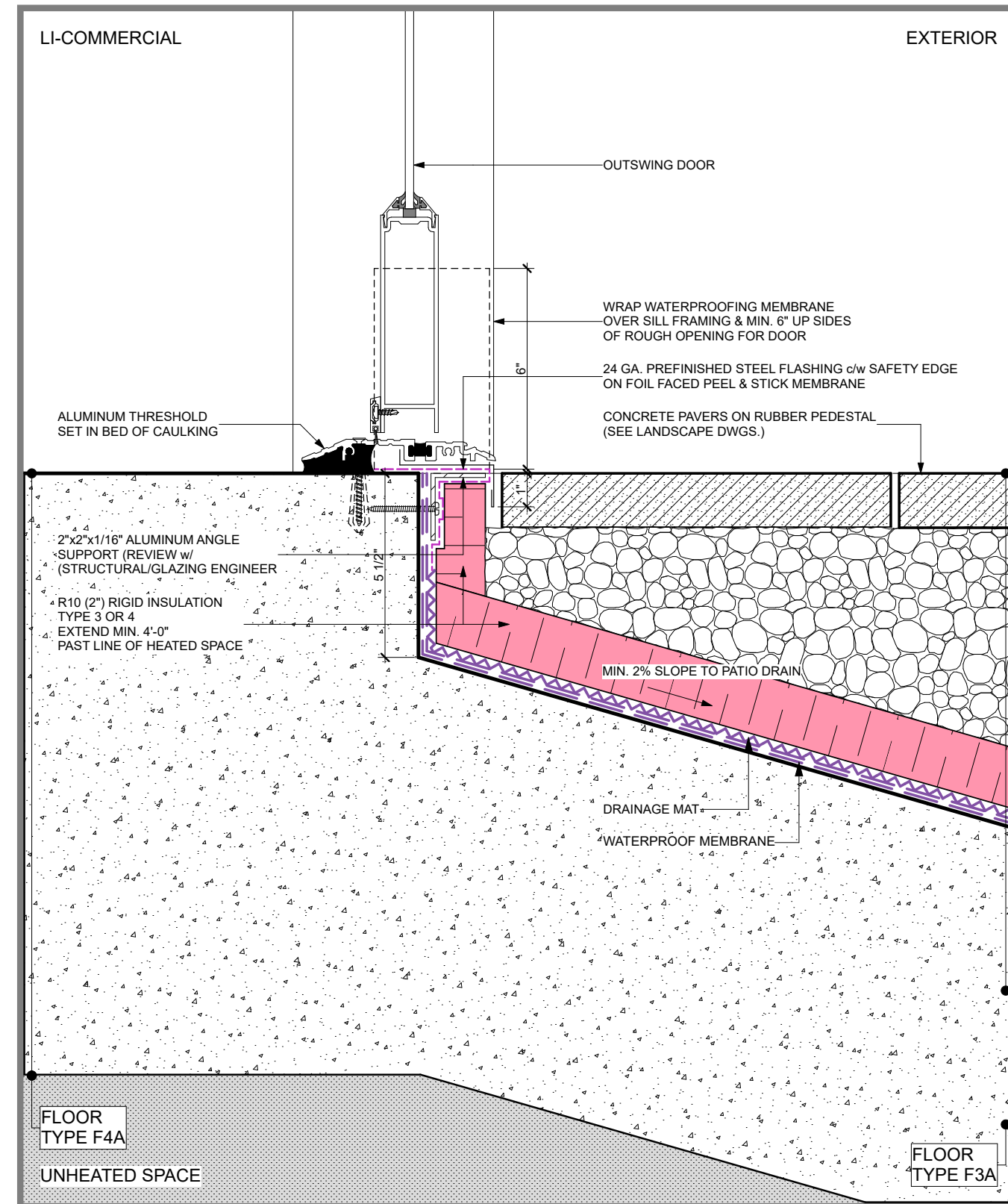
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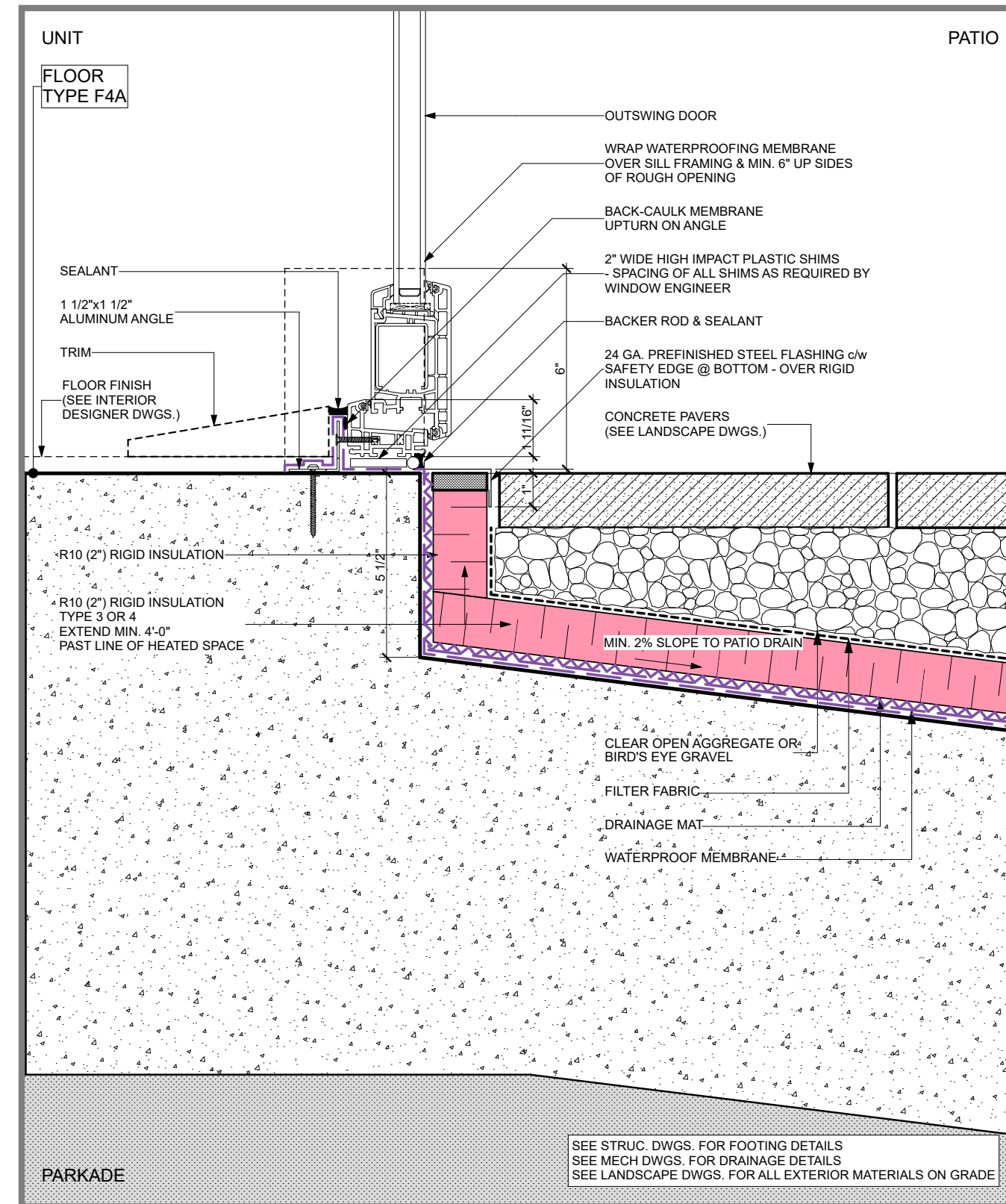
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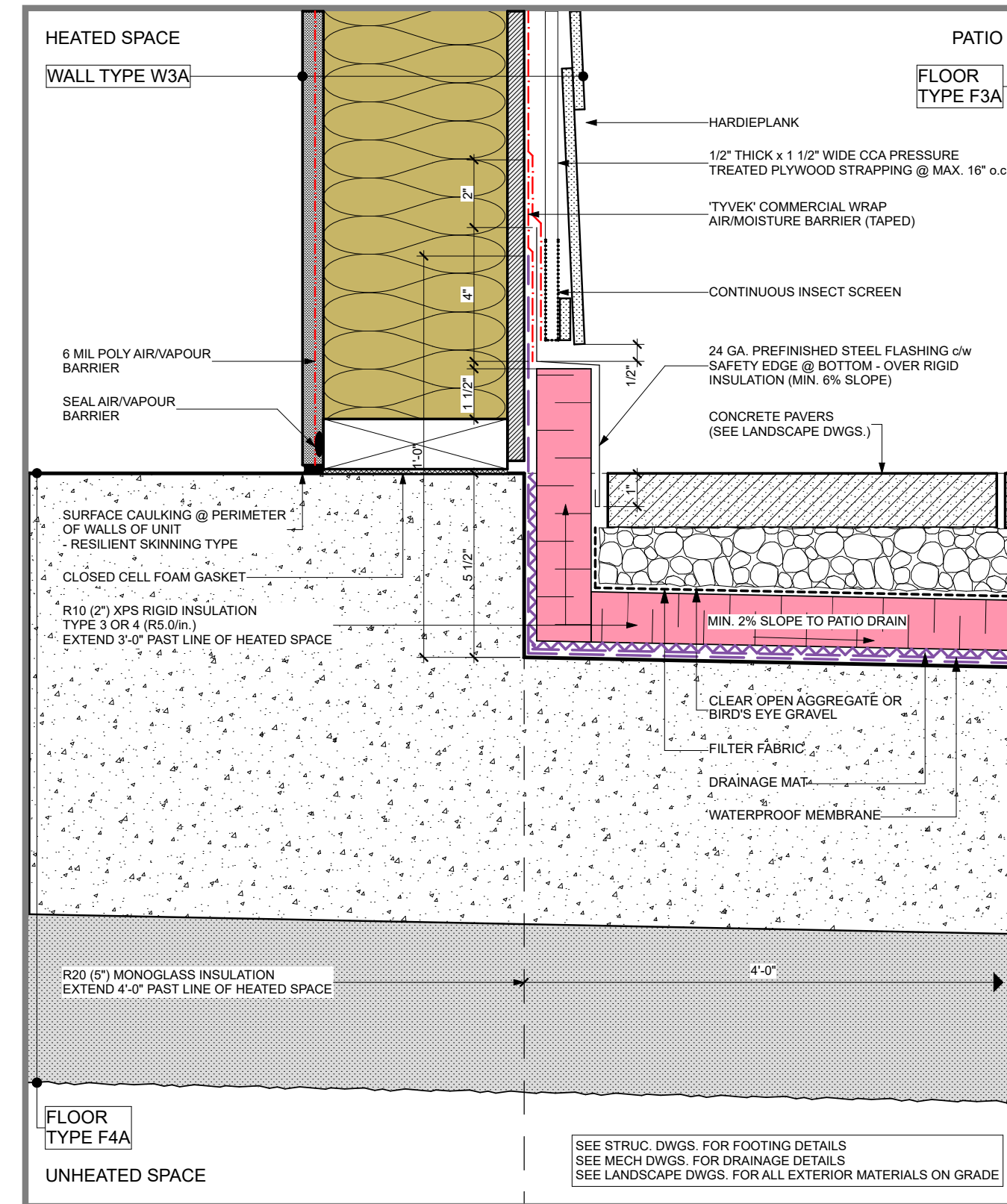
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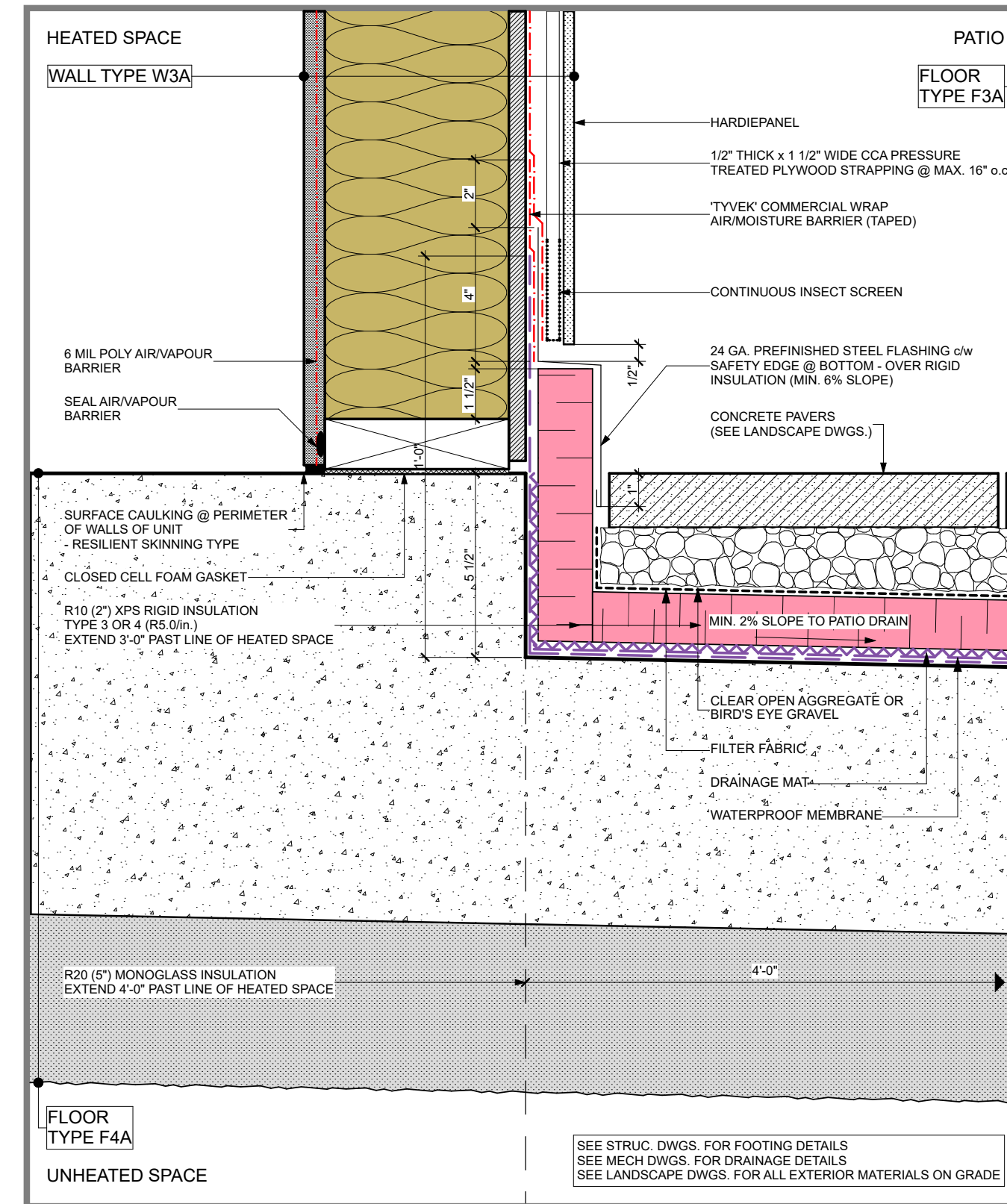
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[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[PROJECT] 19495
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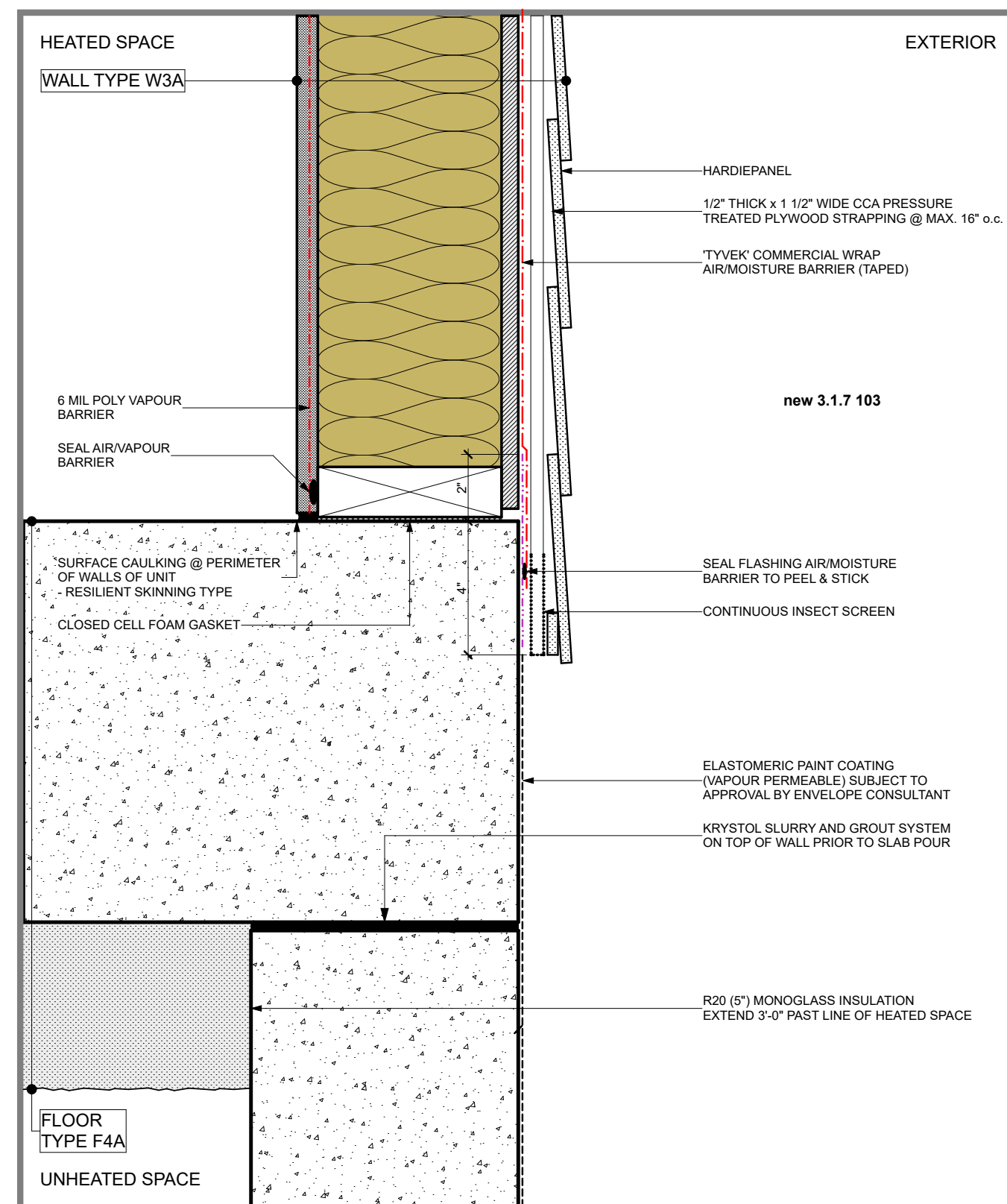
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[DATE] 2024-05-29
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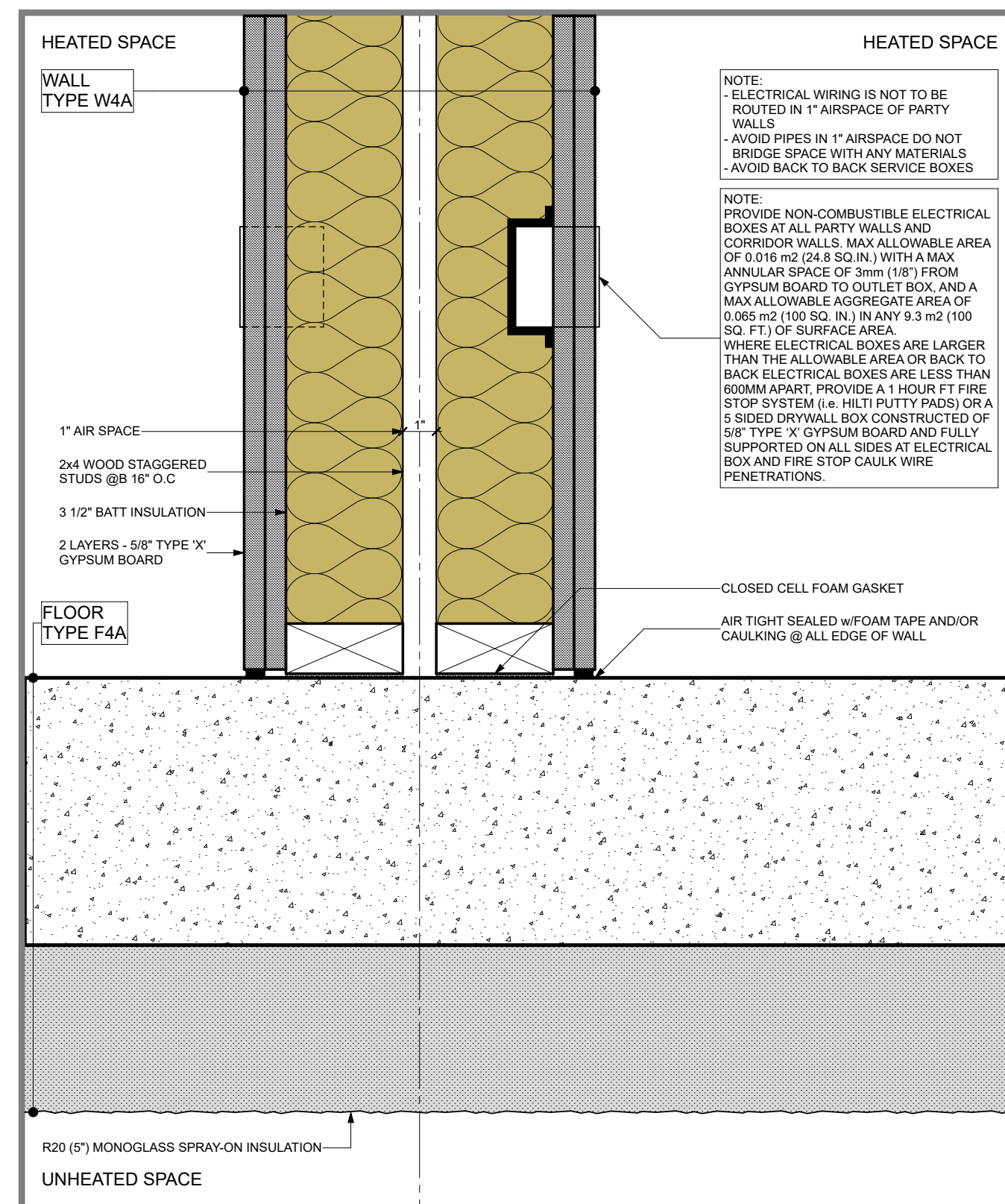
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[CLIENT] RF PROPERTIES
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[PROJECT] 19495
[SCALE] 3" = 1'-0"
[DATE] 2024-05-29
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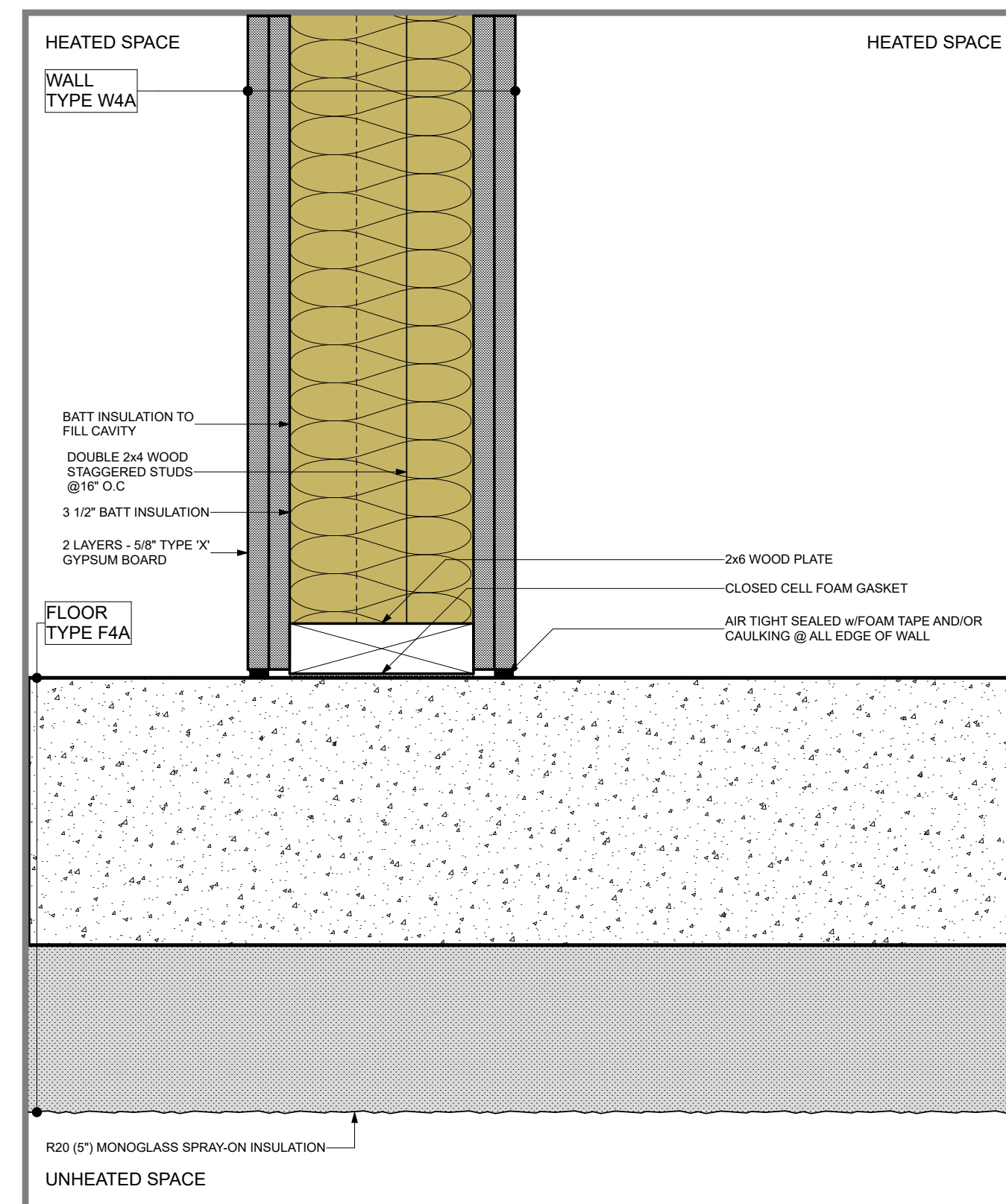
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[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[PROJECT] 19495
[SCALE] 3" = 1'-0"
[DATE] 2024-05-29
[REVISION] BP RESUBMISSION
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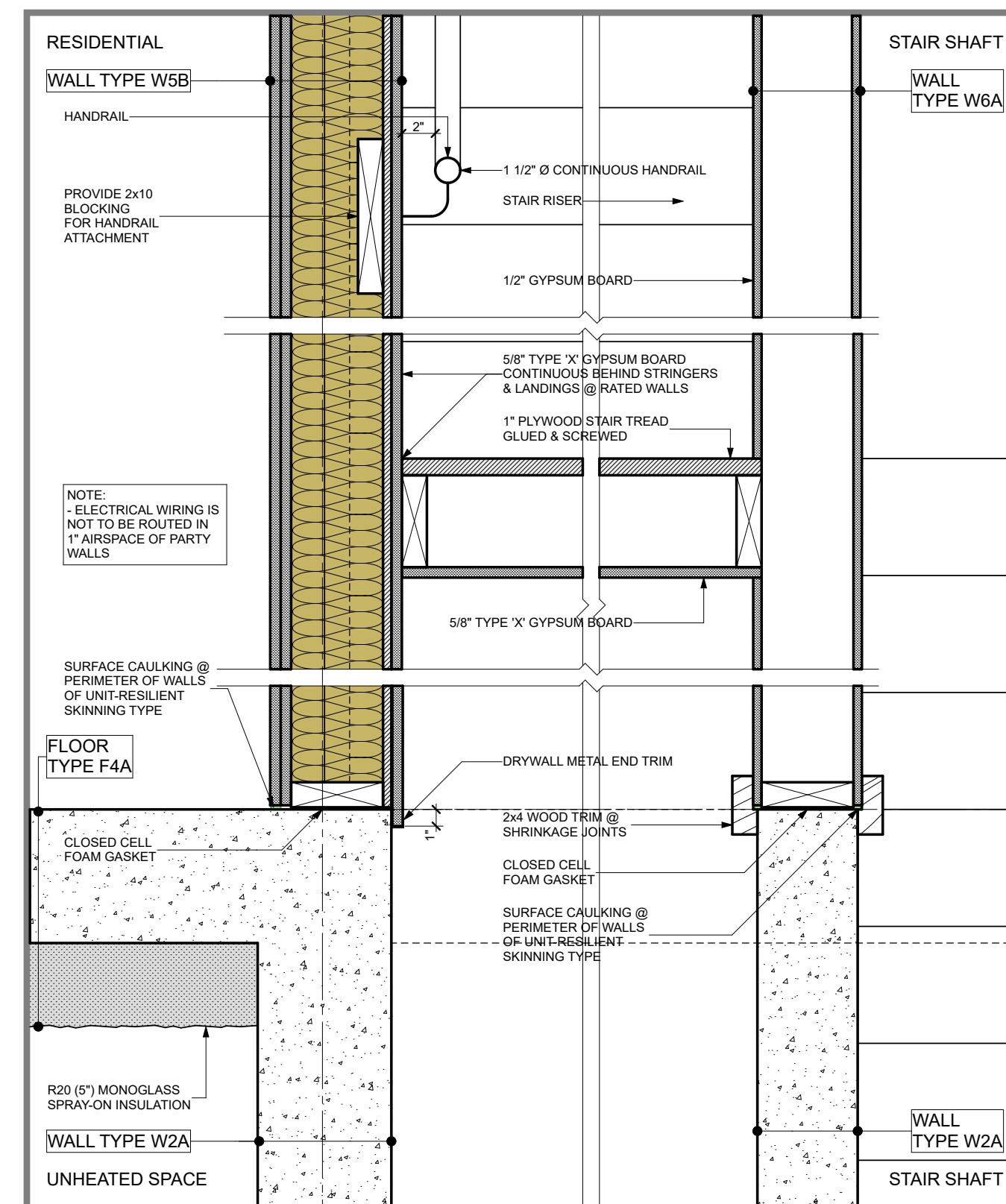
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[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
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[REVISION] BP RESUBMISSION
[DRAWING] 3.1.7.103



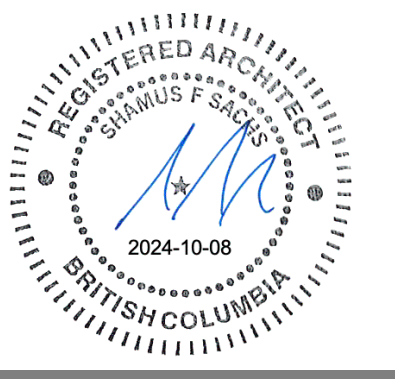
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[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[PROJECT] 19495
[SCALE] 3" = 1'-0"
[DATE] 2024-05-29
[REVISION] BP RESUBMISSION
[DRAWING] 3.1.7.201



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[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[PROJECT] 19495
[SCALE] 3" = 1'-0"
[DATE] 2024-05-29
[REVISION] BP RESUBMISSION
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[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[PROJECT] 19495
[SCALE] 1 1/2" = 1'-0"
[DATE] 2024-05-29
[REVISION] BP RESUBMISSION
[DRAWING] 3.1.7.801



[ARCHITECT SEAL]



RF PROPERTIES
[CLIENT]
[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC
[TITLE]

DETAILS

19495 [PROJECT]
[SCALE]
2024-10-04 [DATE]
13 - BP RESUBMISSION [ISSUE]

[DRAWING]



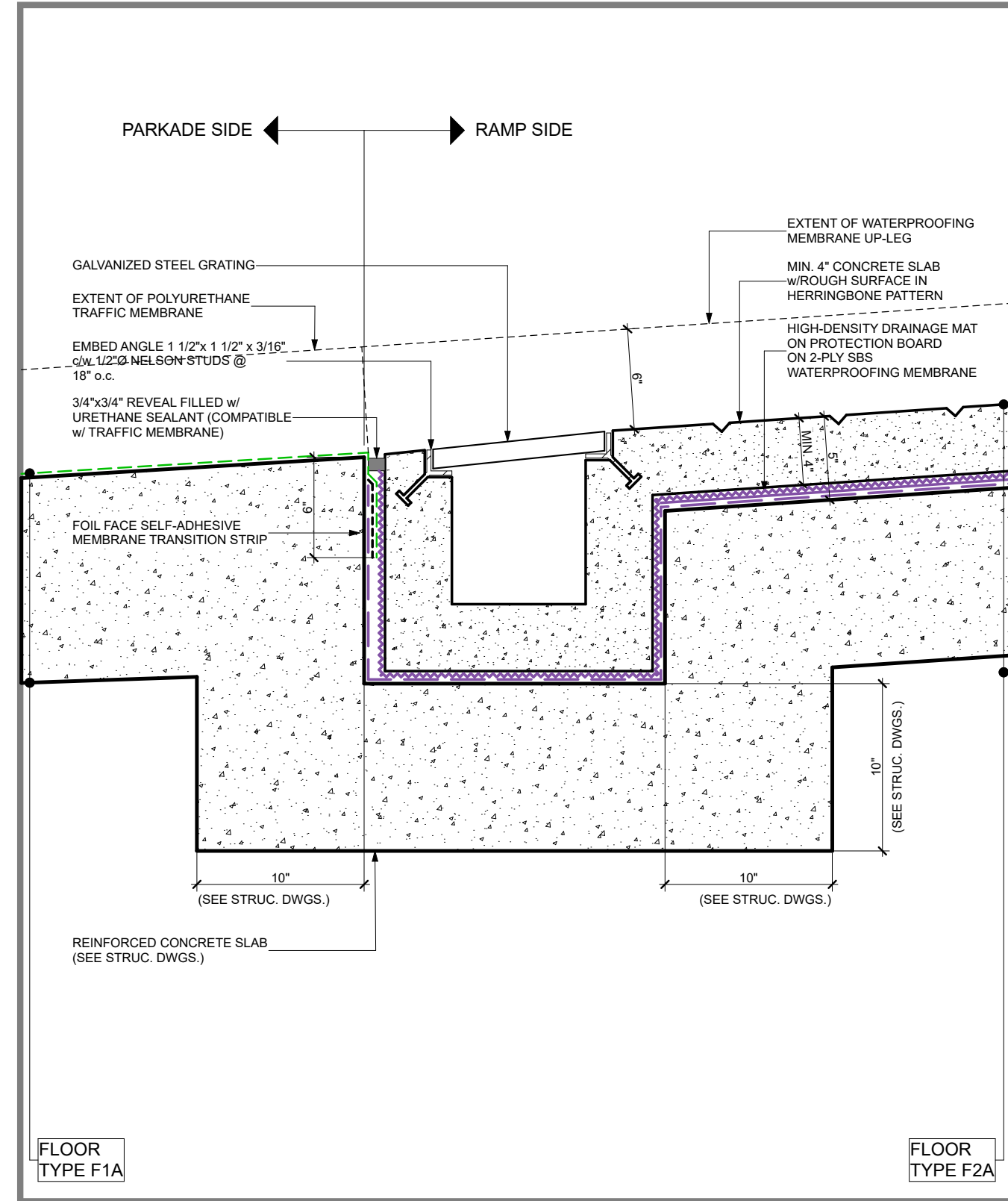
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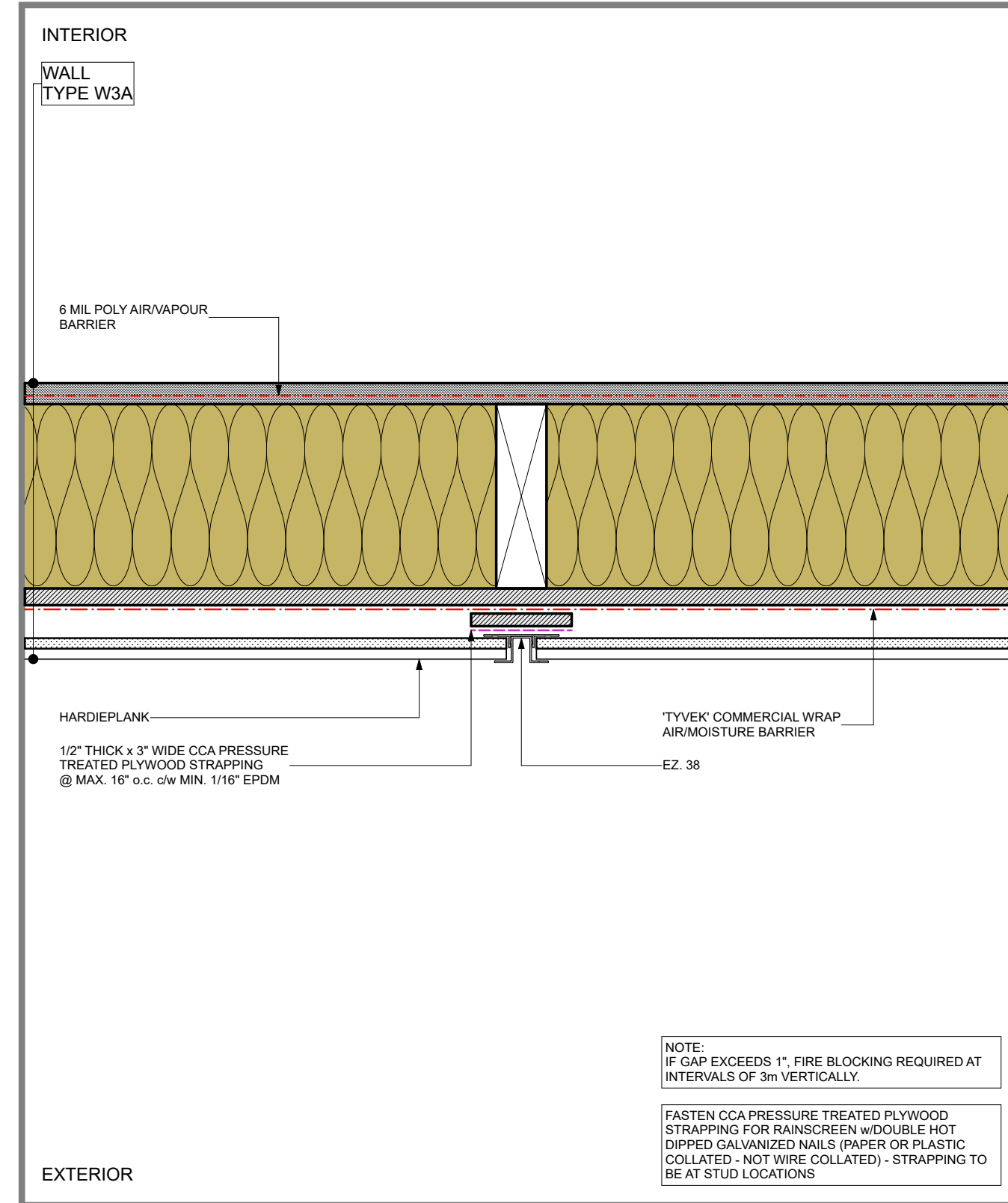
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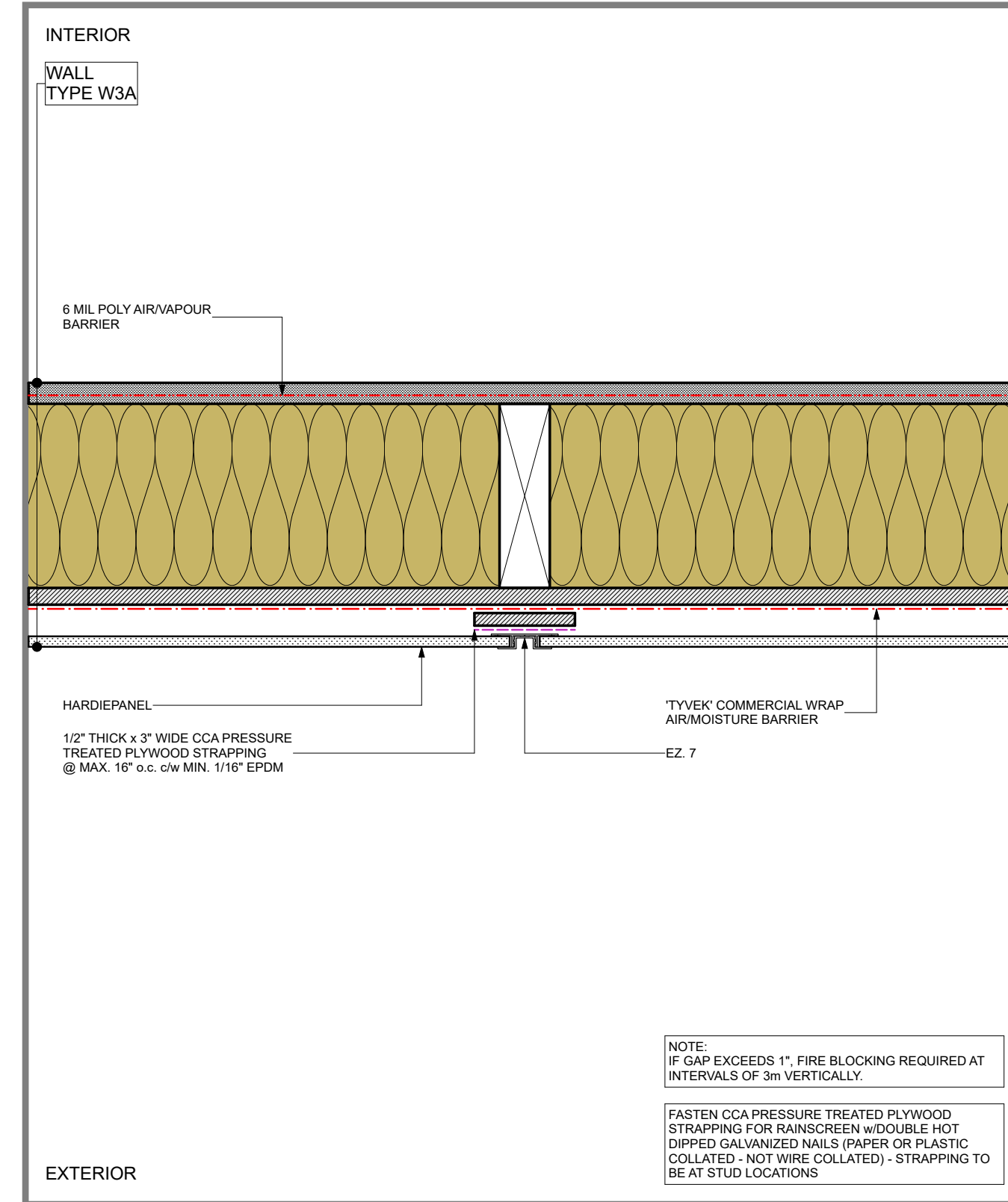
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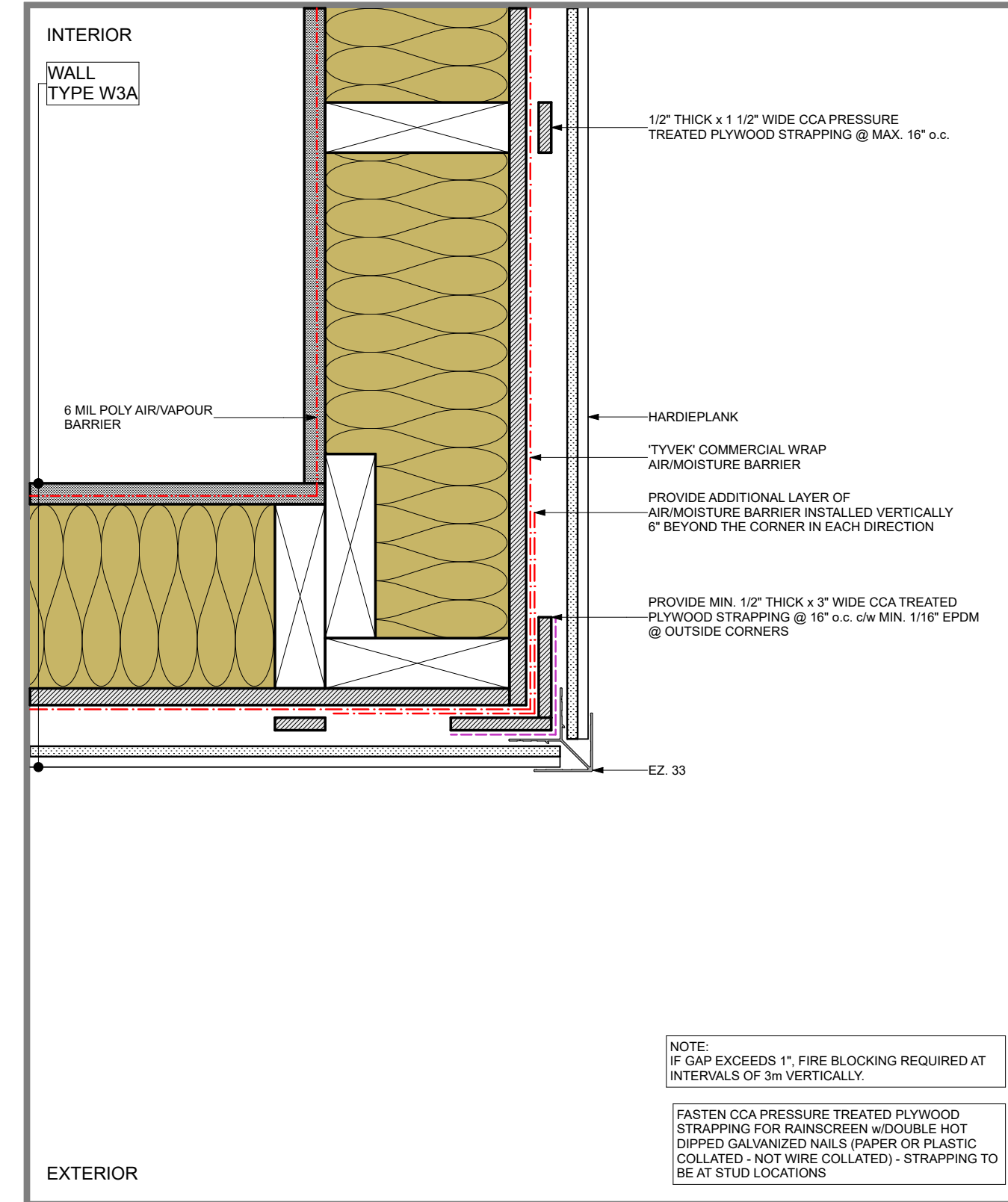
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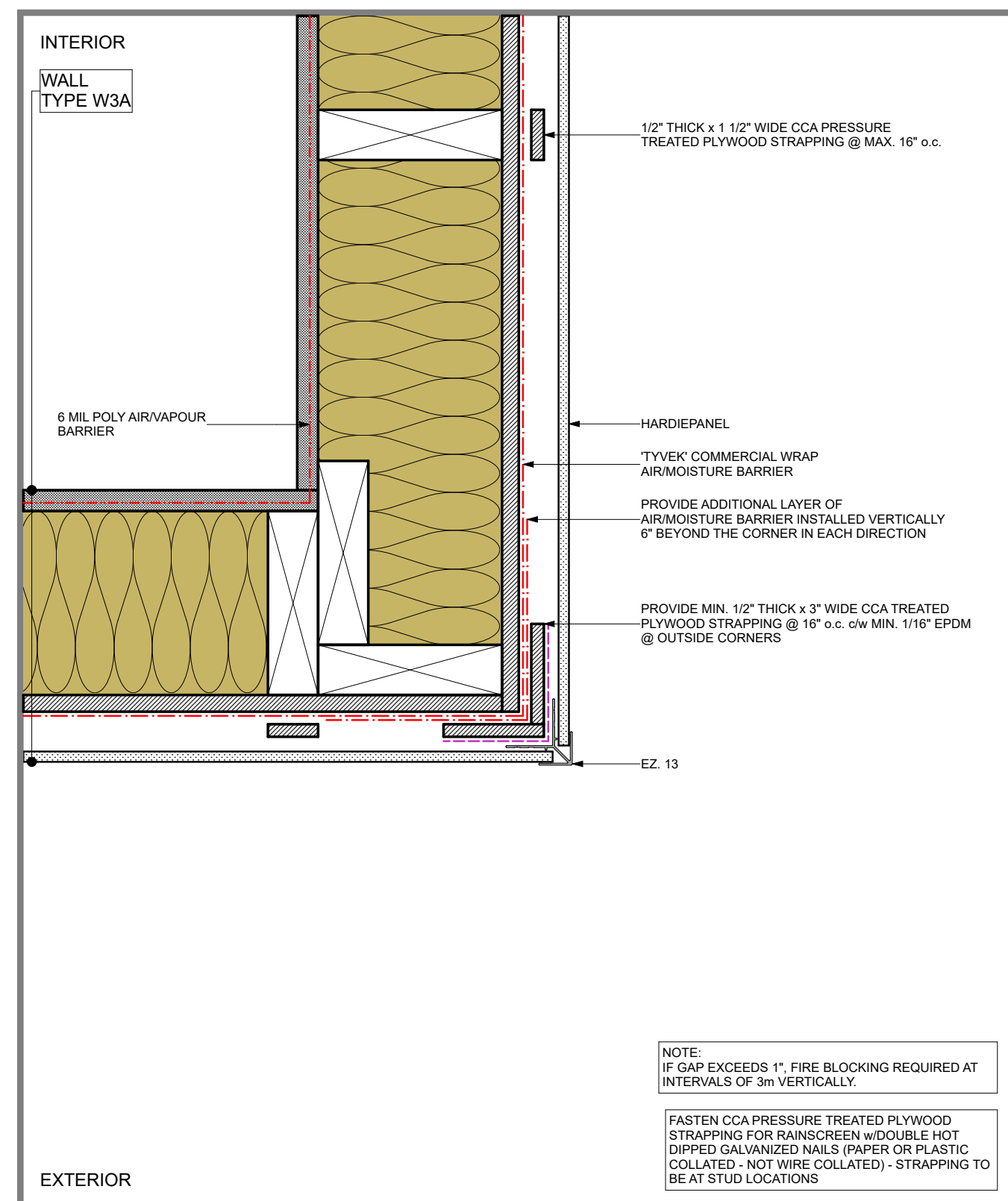
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[CLIENT] RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
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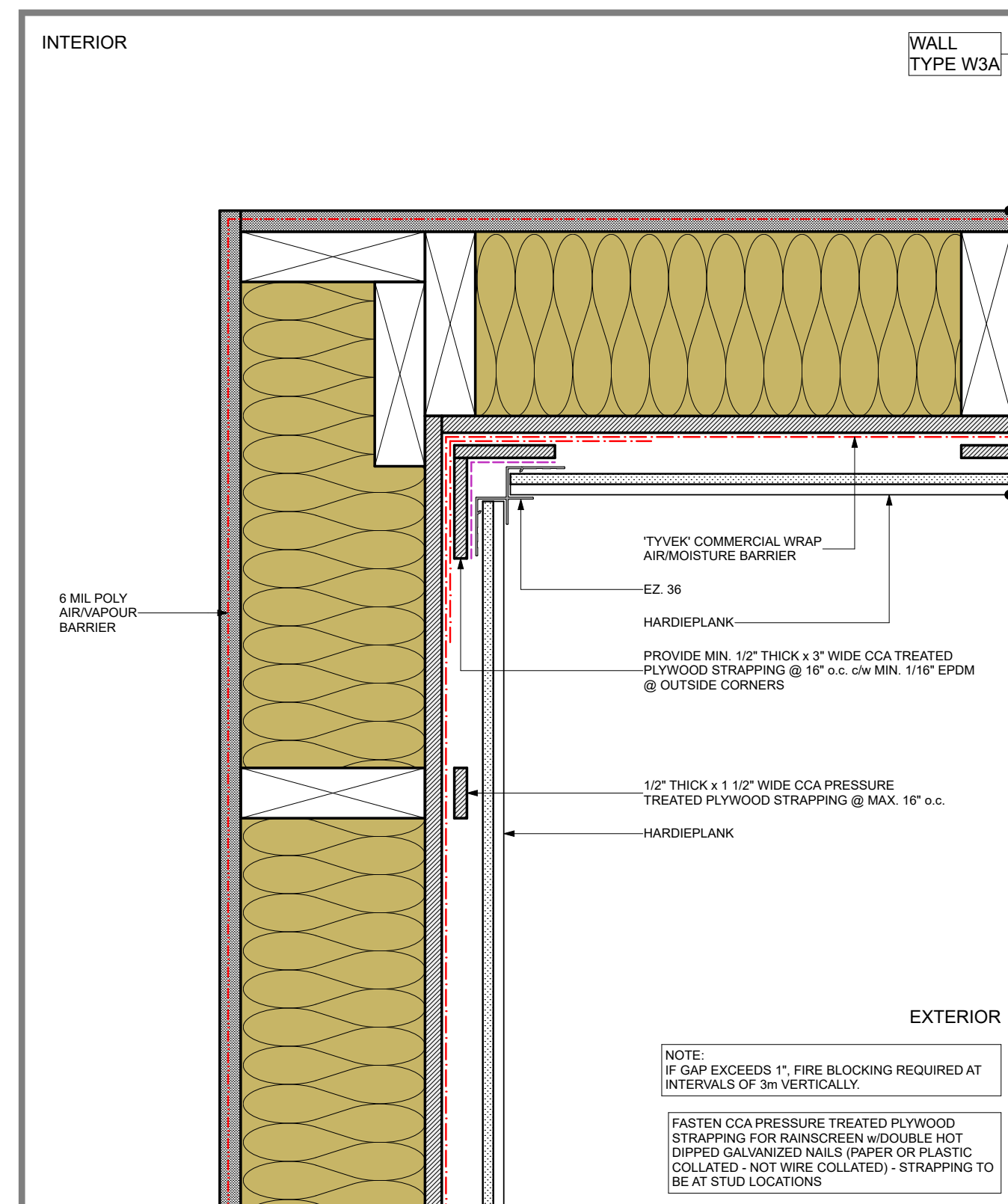
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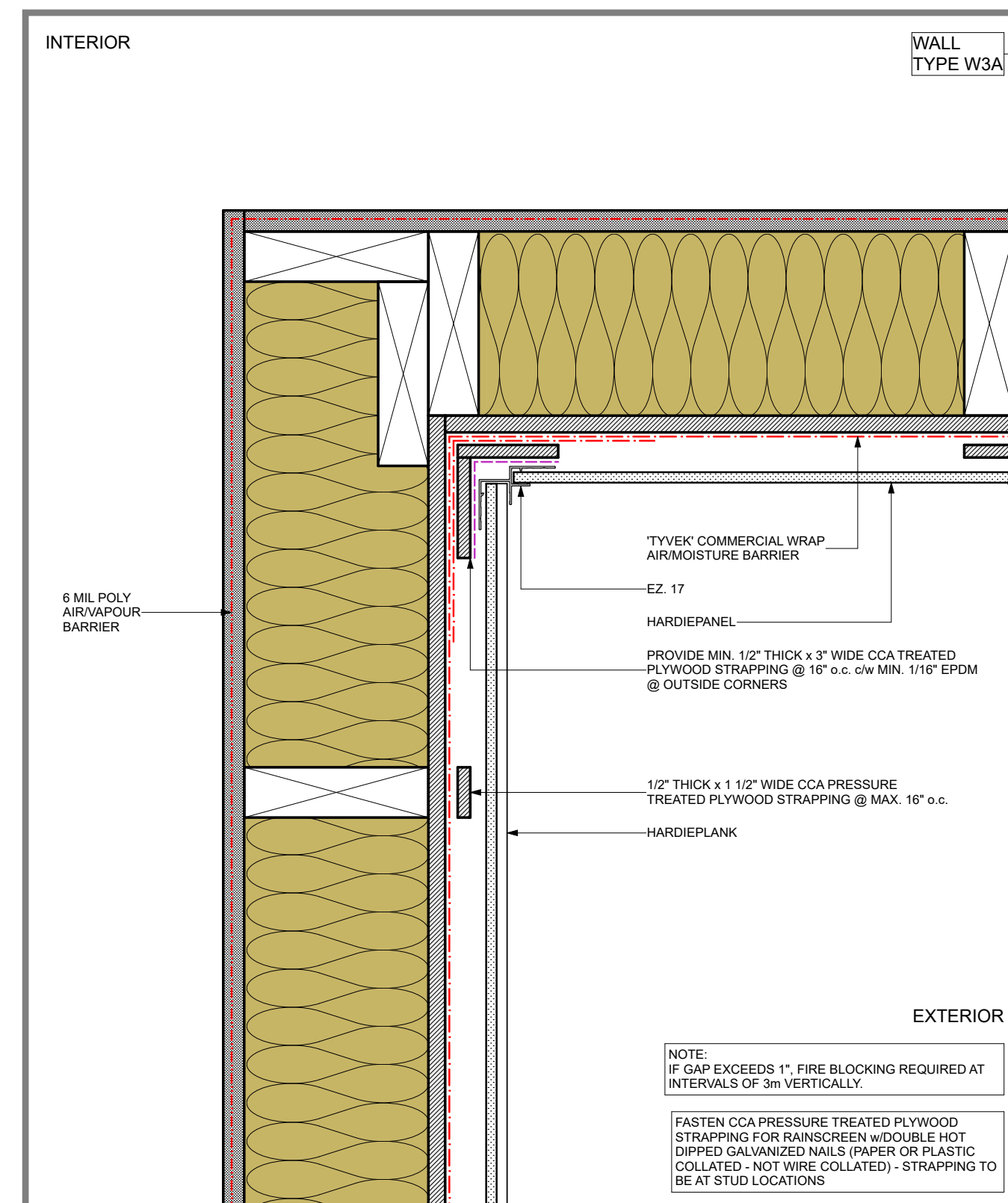
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[CLIENT] RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [REVISION] BP RESUBMISSION [DRAWING] 4.0.7.121



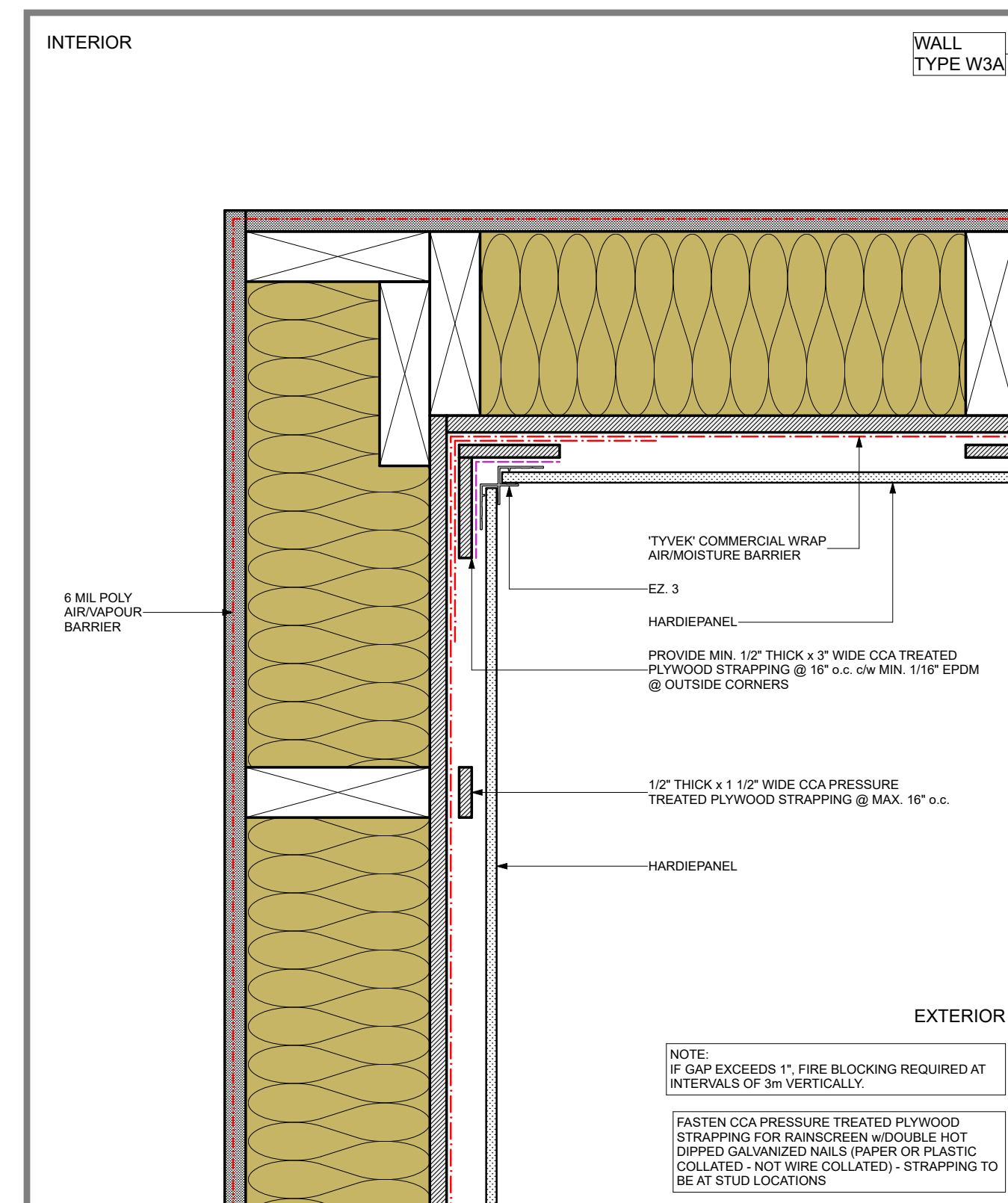
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[CLIENT] RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [REVISION] BP RESUBMISSION [DRAWING] 4.0.7.122



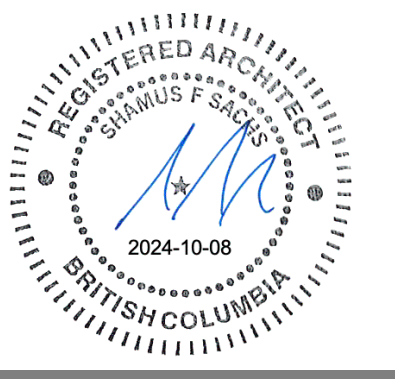
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[PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [REVISION] BP RESUBMISSION [DRAWING] 4.0.7.131



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[PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [REVISION] BP RESUBMISSION [DRAWING] 4.0.7.132



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[PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [REVISION] BP RESUBMISSION [DRAWING] 4.0.7.133



[ARCHITECT SEAL]



[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

DETAILS

19495

[PROJECT]

[SCALE]

2024-10-04

[DATE]

13 - BP RESUBMISSION

[ISSUE]

[DRAWING]

A-6.203

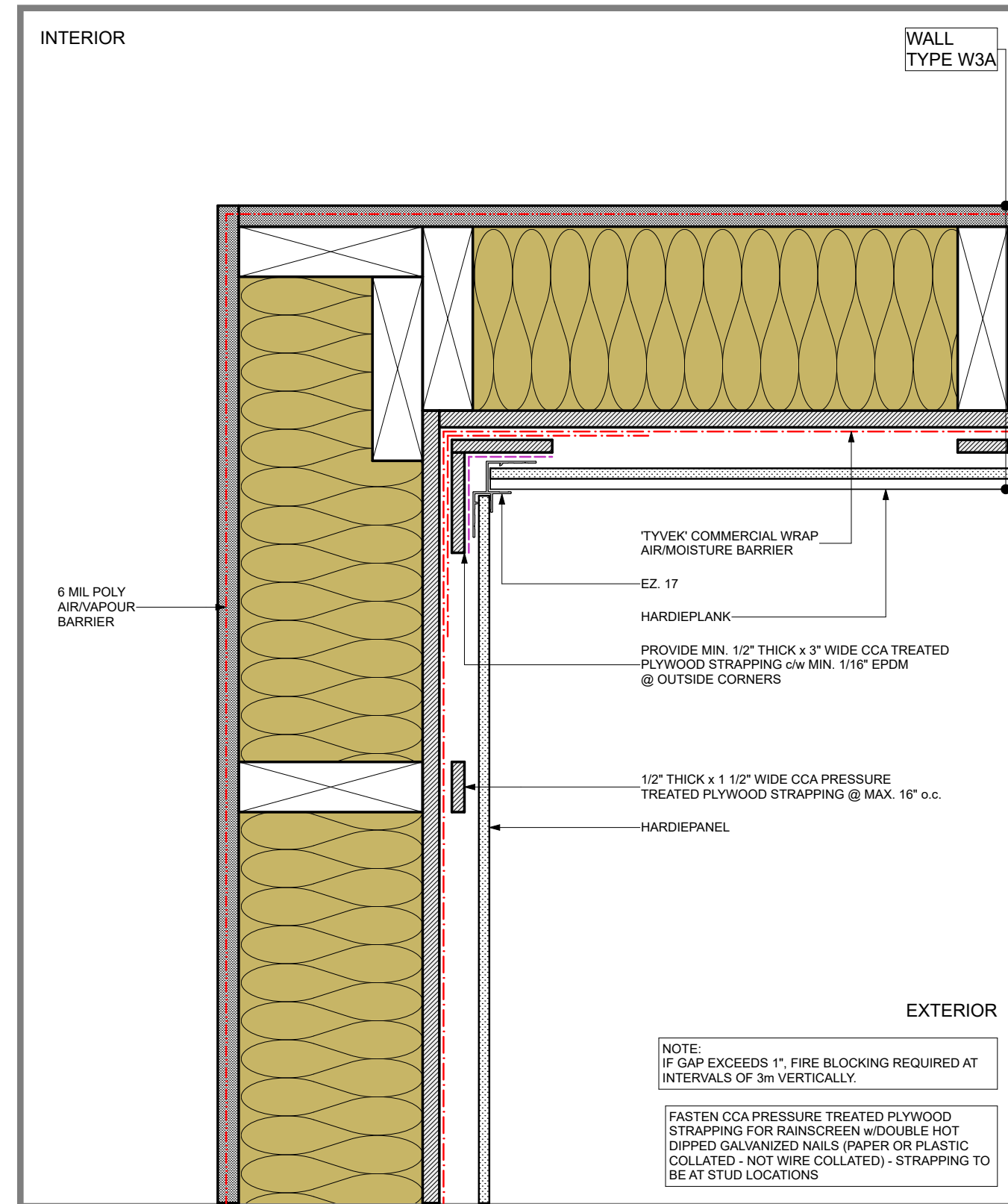


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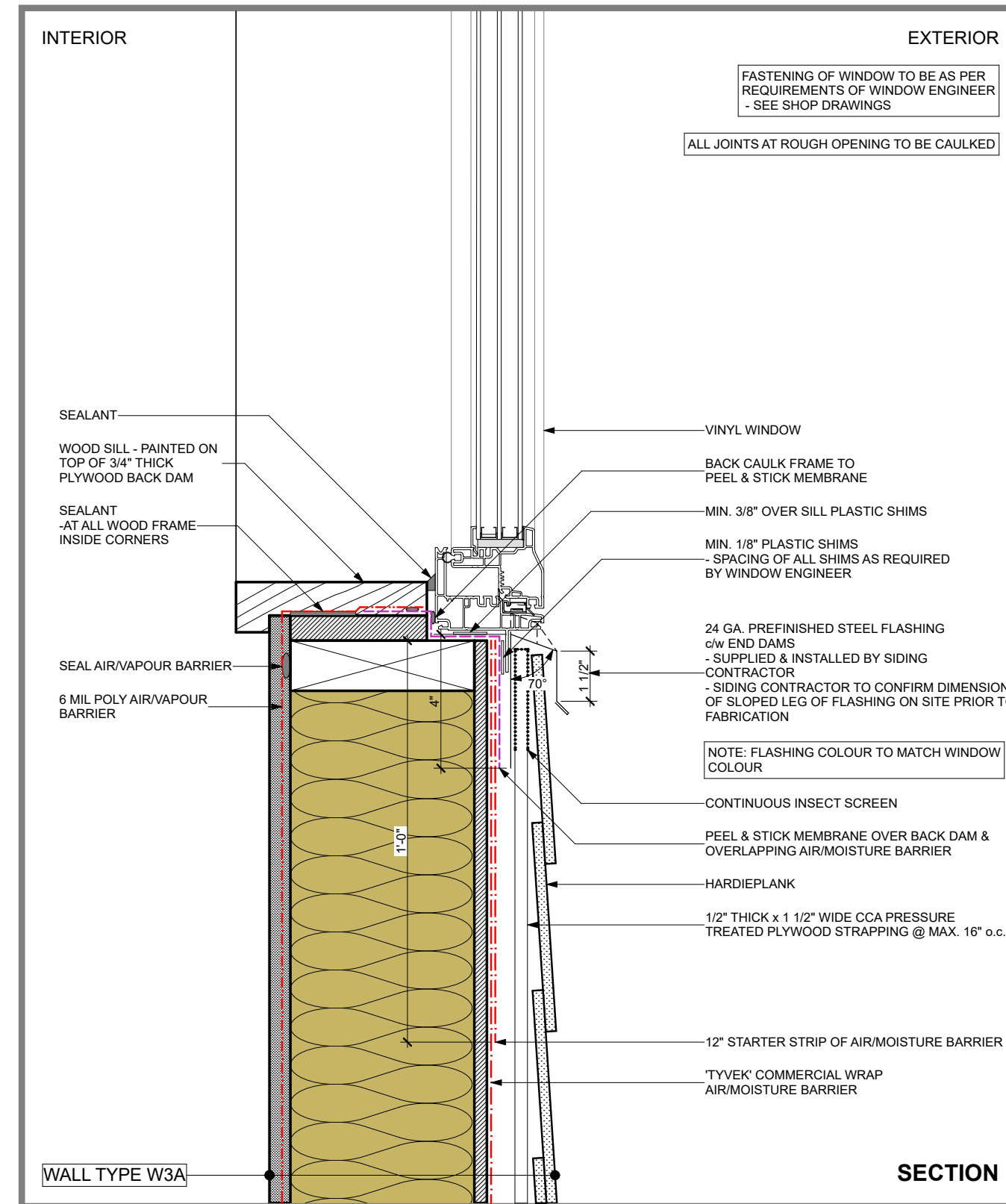
[PROJECT TEAM]



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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

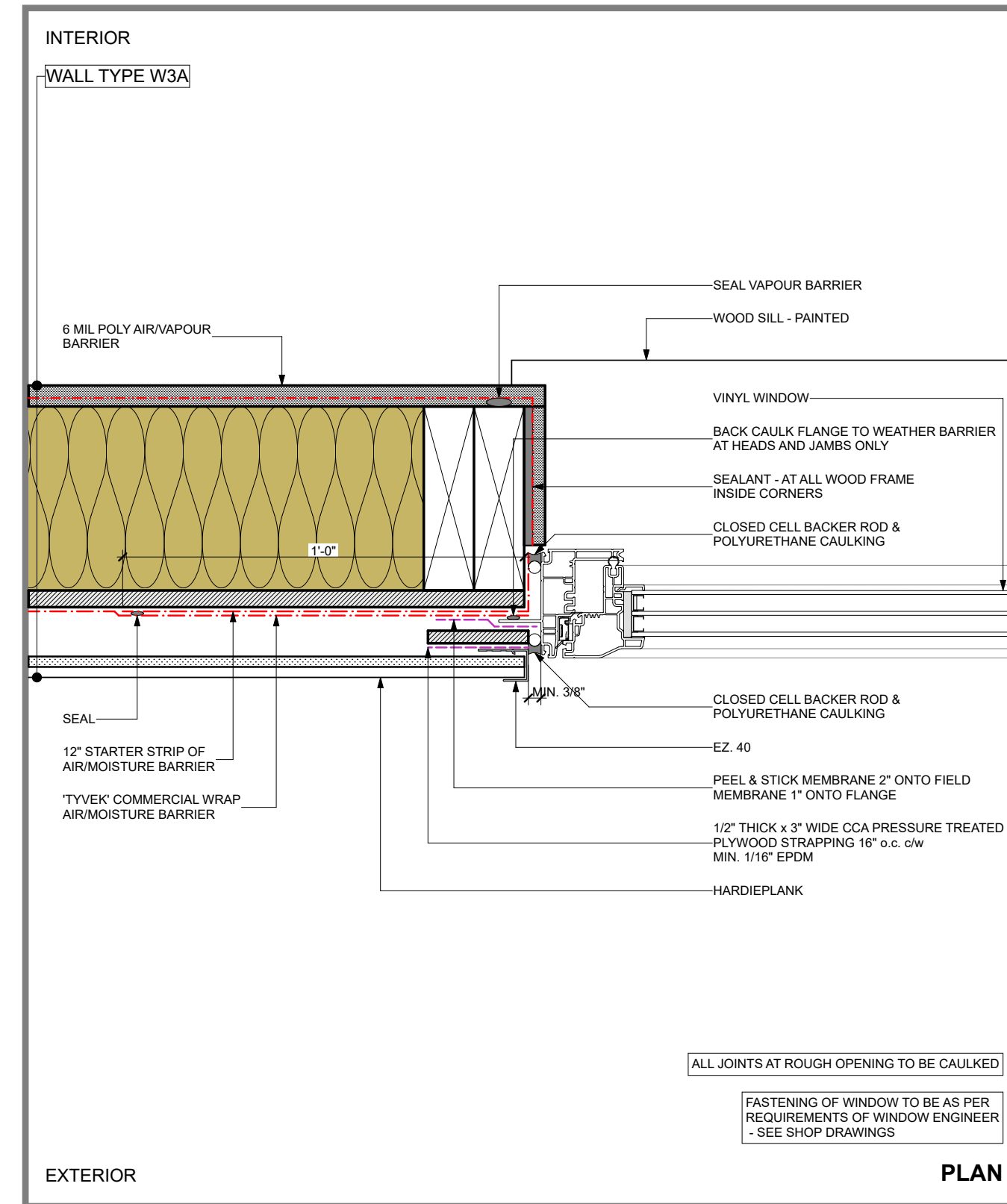
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DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 4.0.7.134



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RF PROPERTIES
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206 EAST 12TH STREET
NORTH VANCOUVER, BC

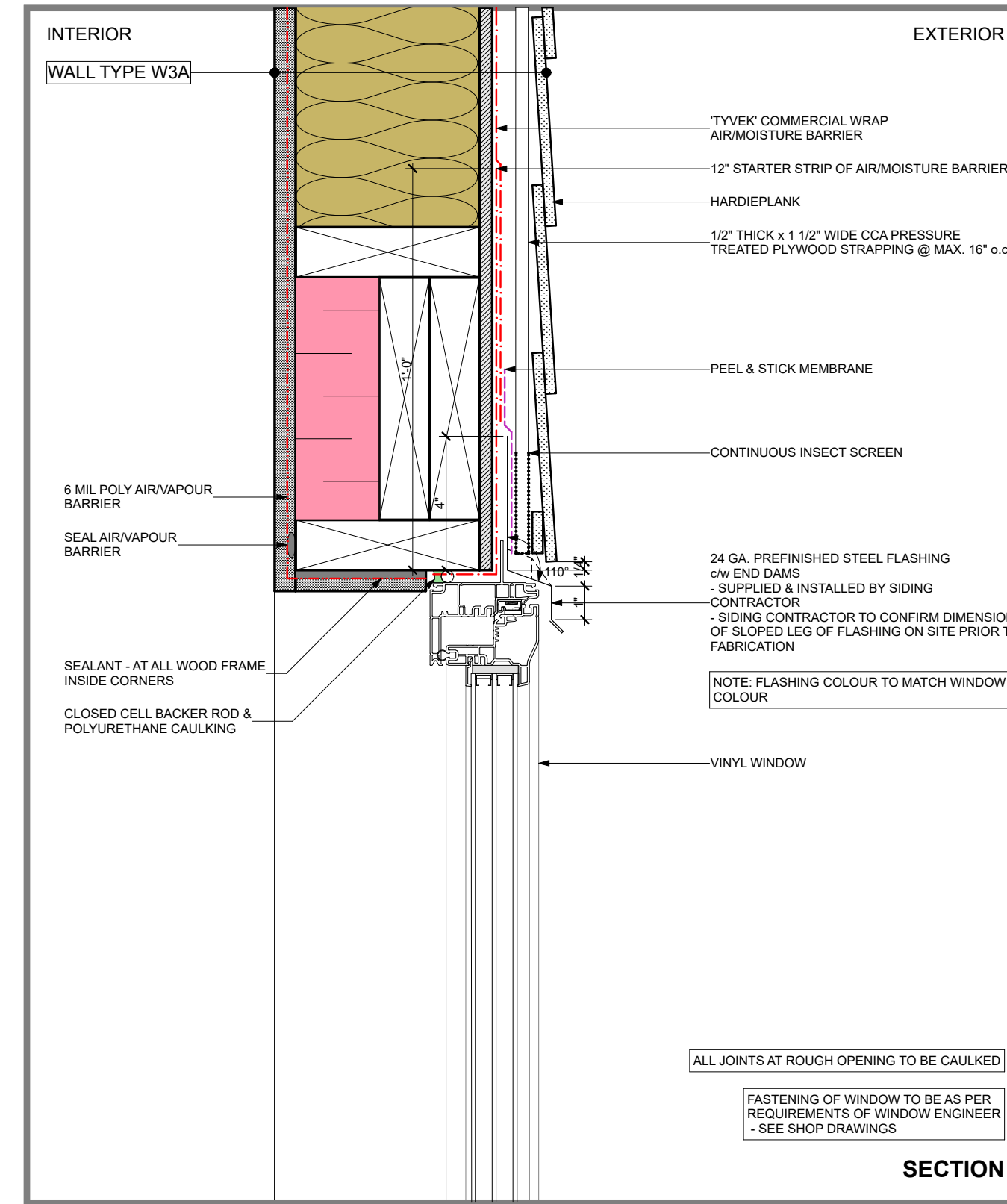
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DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 4.0.7.601



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RF PROPERTIES
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206 EAST 12TH STREET
NORTH VANCOUVER, BC

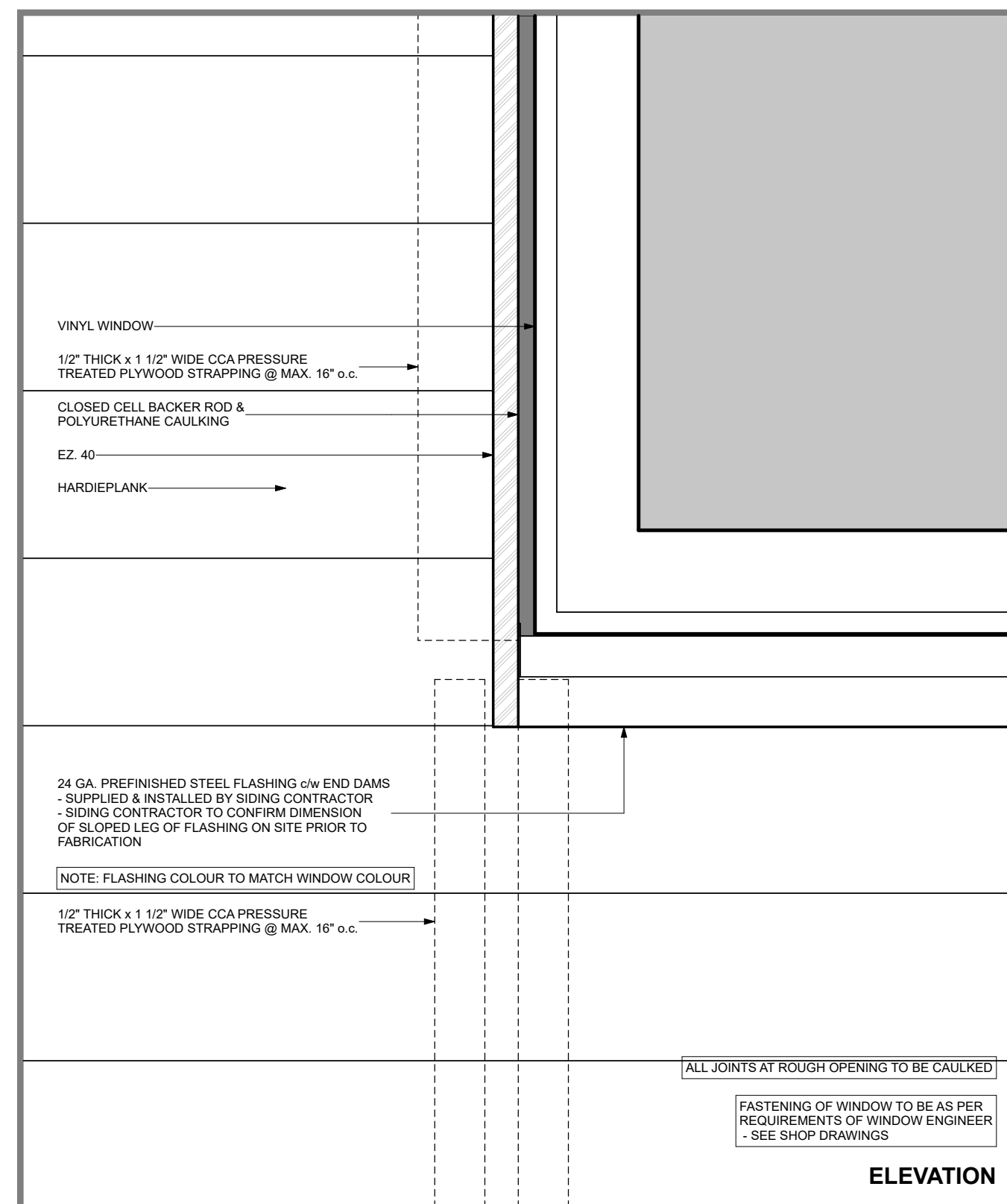
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DATE: 2024-05-29
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RF PROPERTIES
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206 EAST 12TH STREET
NORTH VANCOUVER, BC

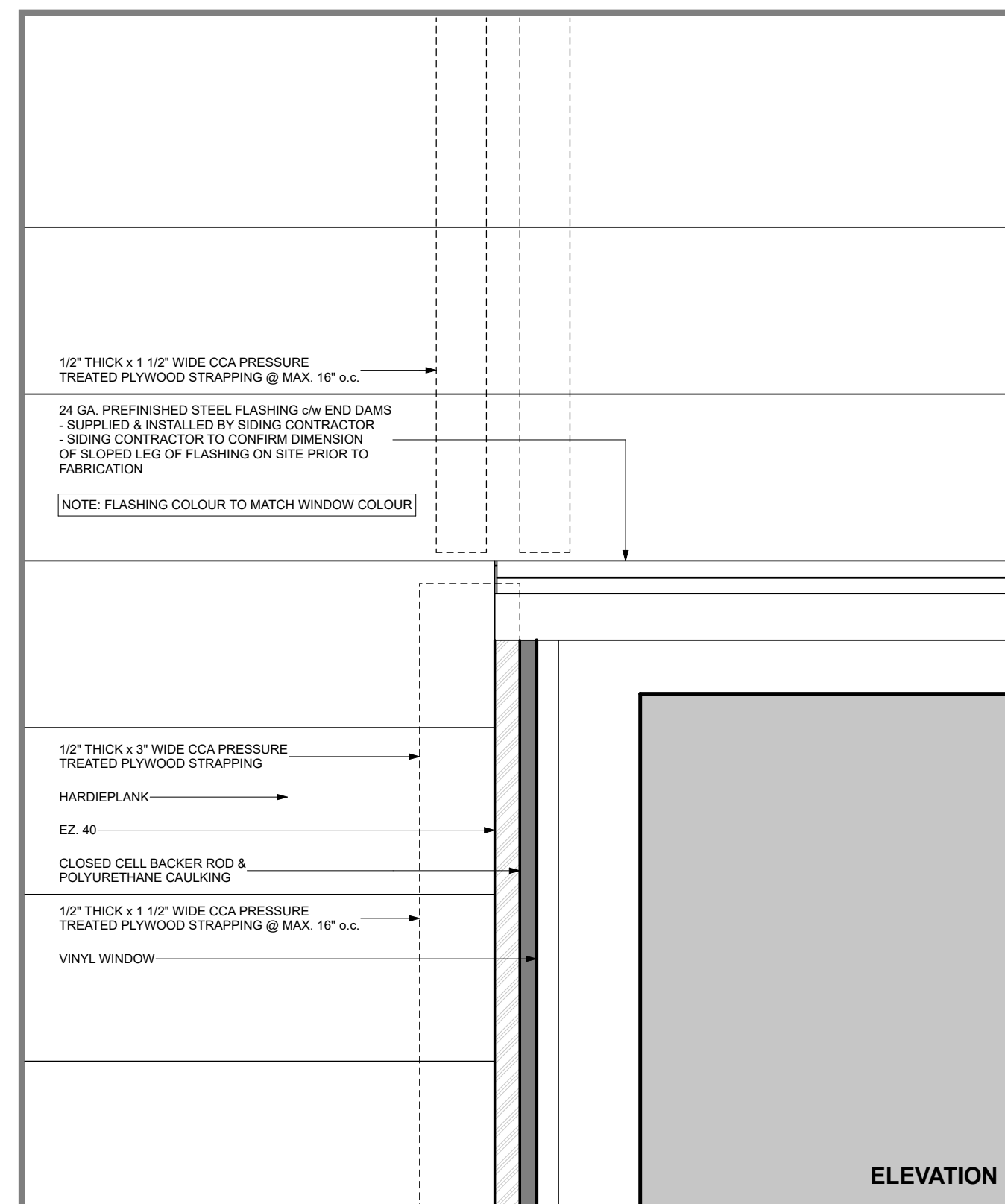
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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

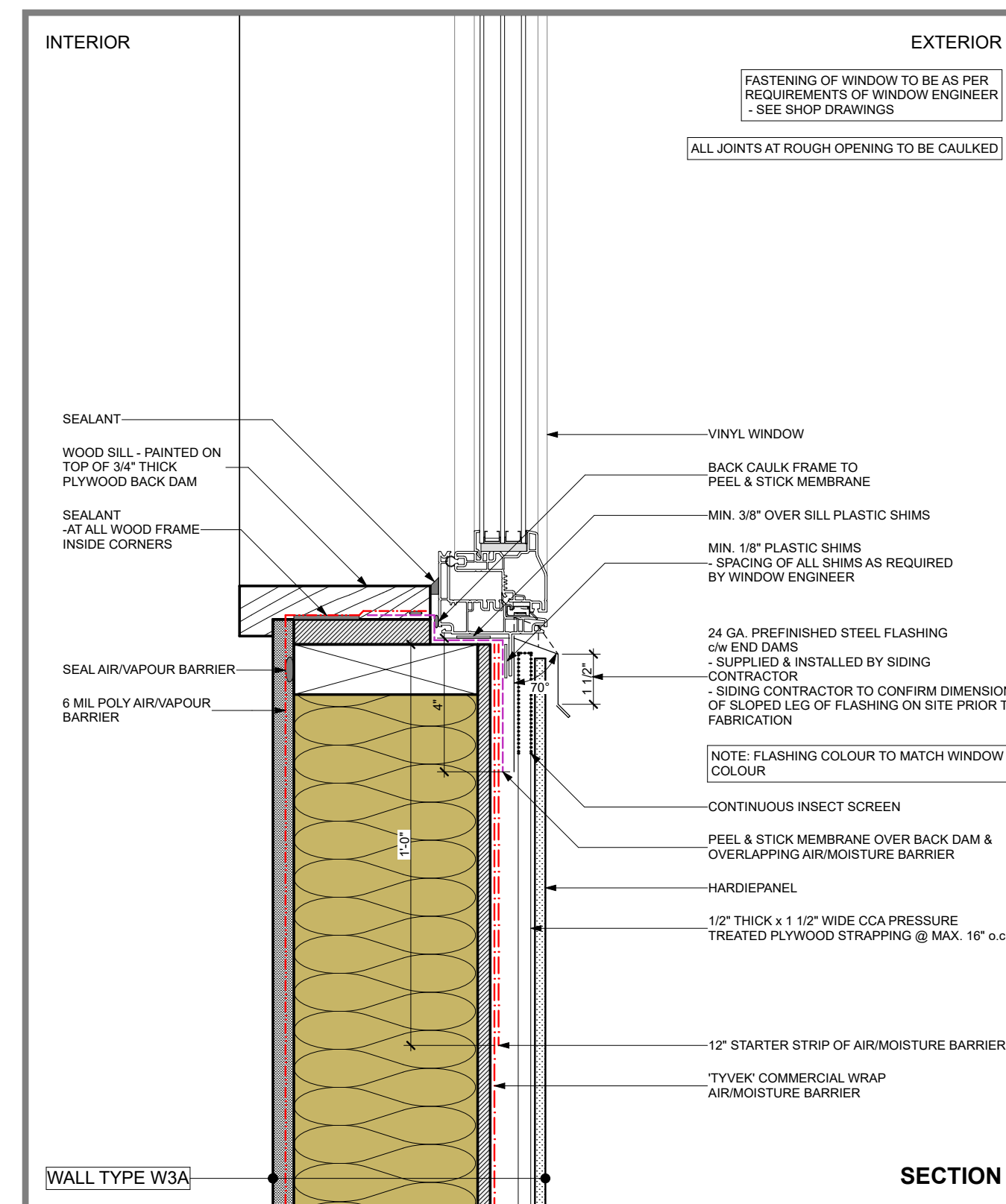
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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

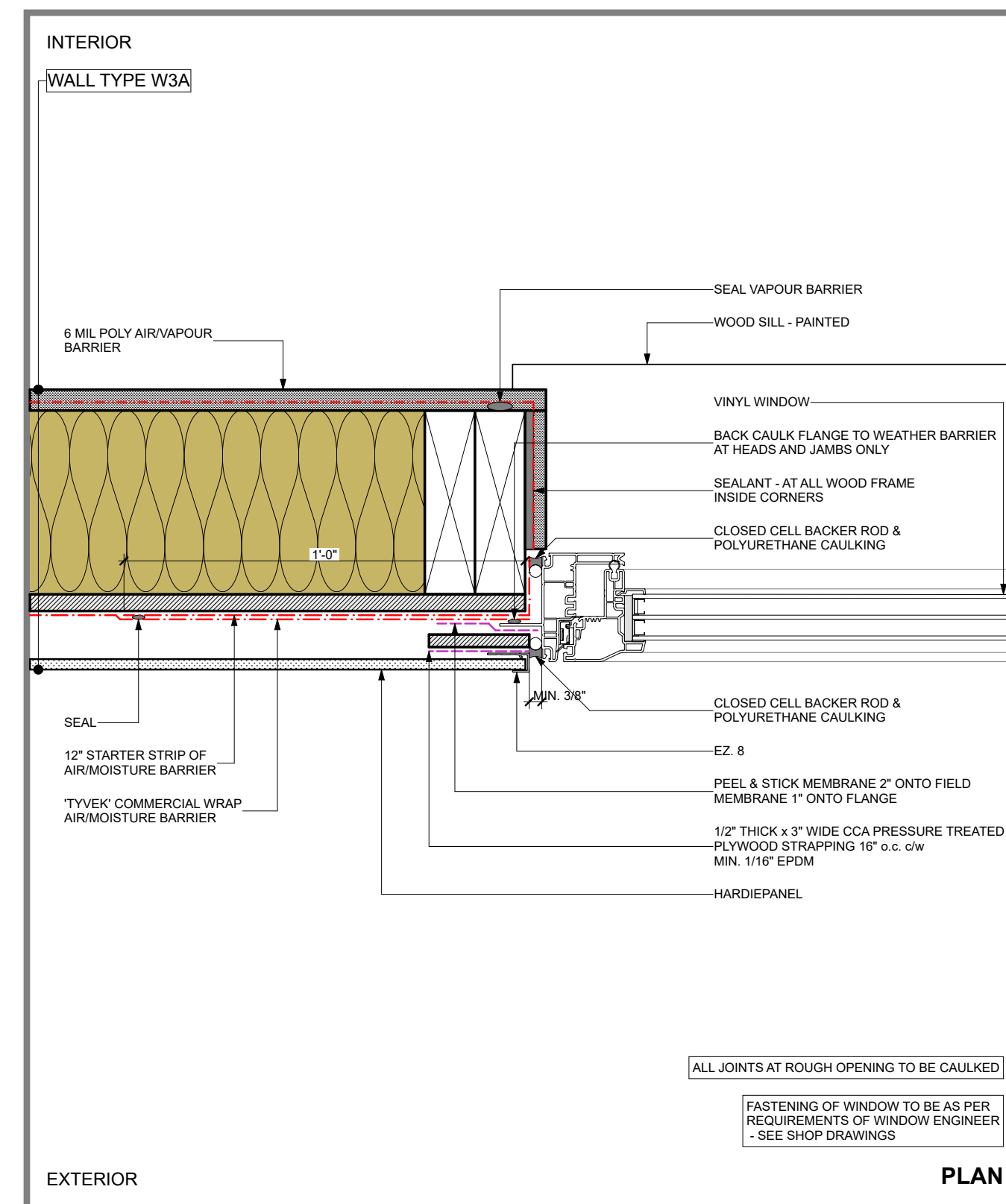
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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: 3" = 1'-0"
DATE: 2024-05-29
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DRAWING: 4.0.7.611



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RF PROPERTIES
RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: 3" = 1'-0"
DATE: 2024-05-29
REVISION: BP RESUBMISSION
DRAWING: 4.0.7.612



[ARCHITECT SEAL]



[CLIENT]

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

DETAILS

19495 [PROJECT]

[SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

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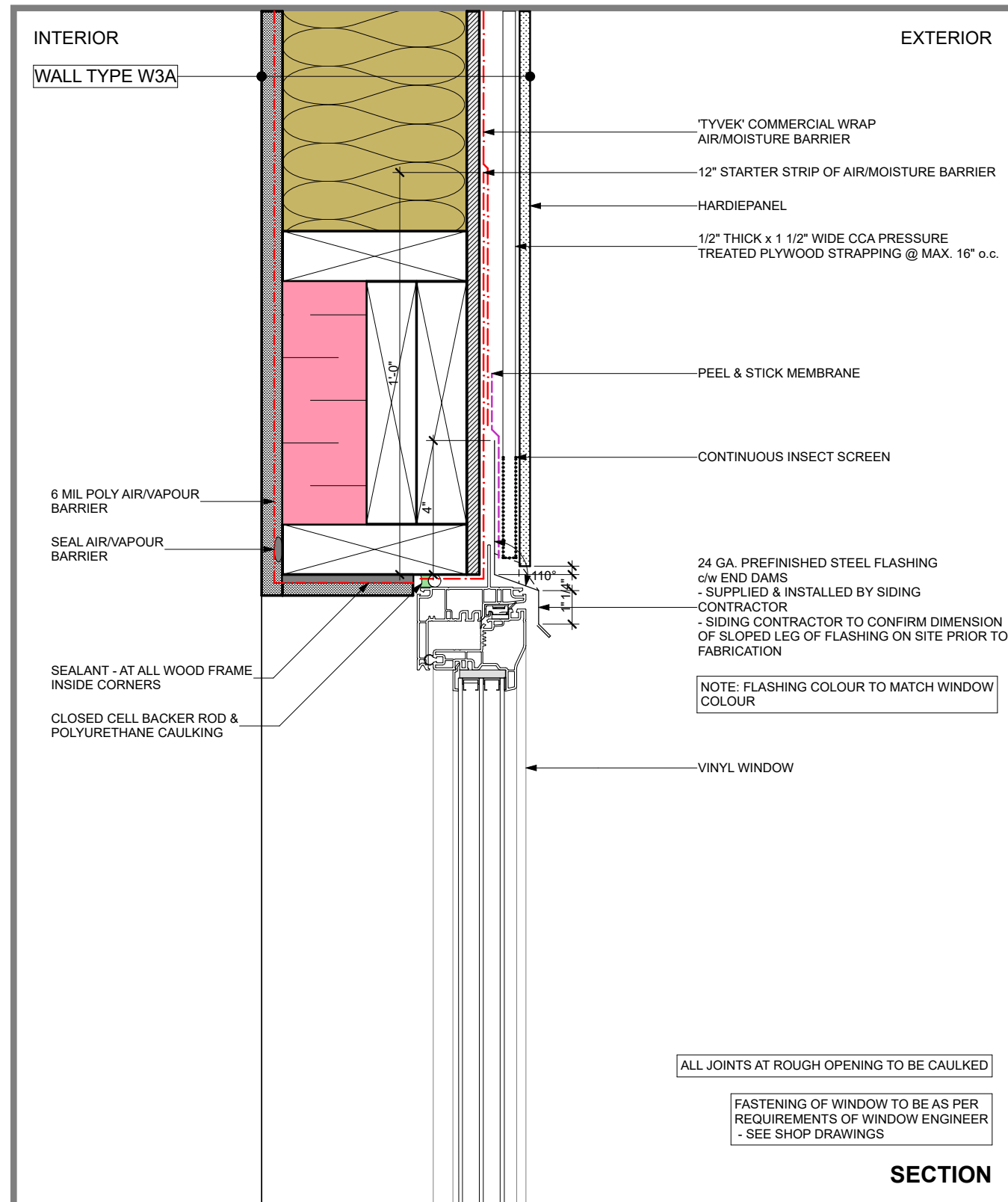
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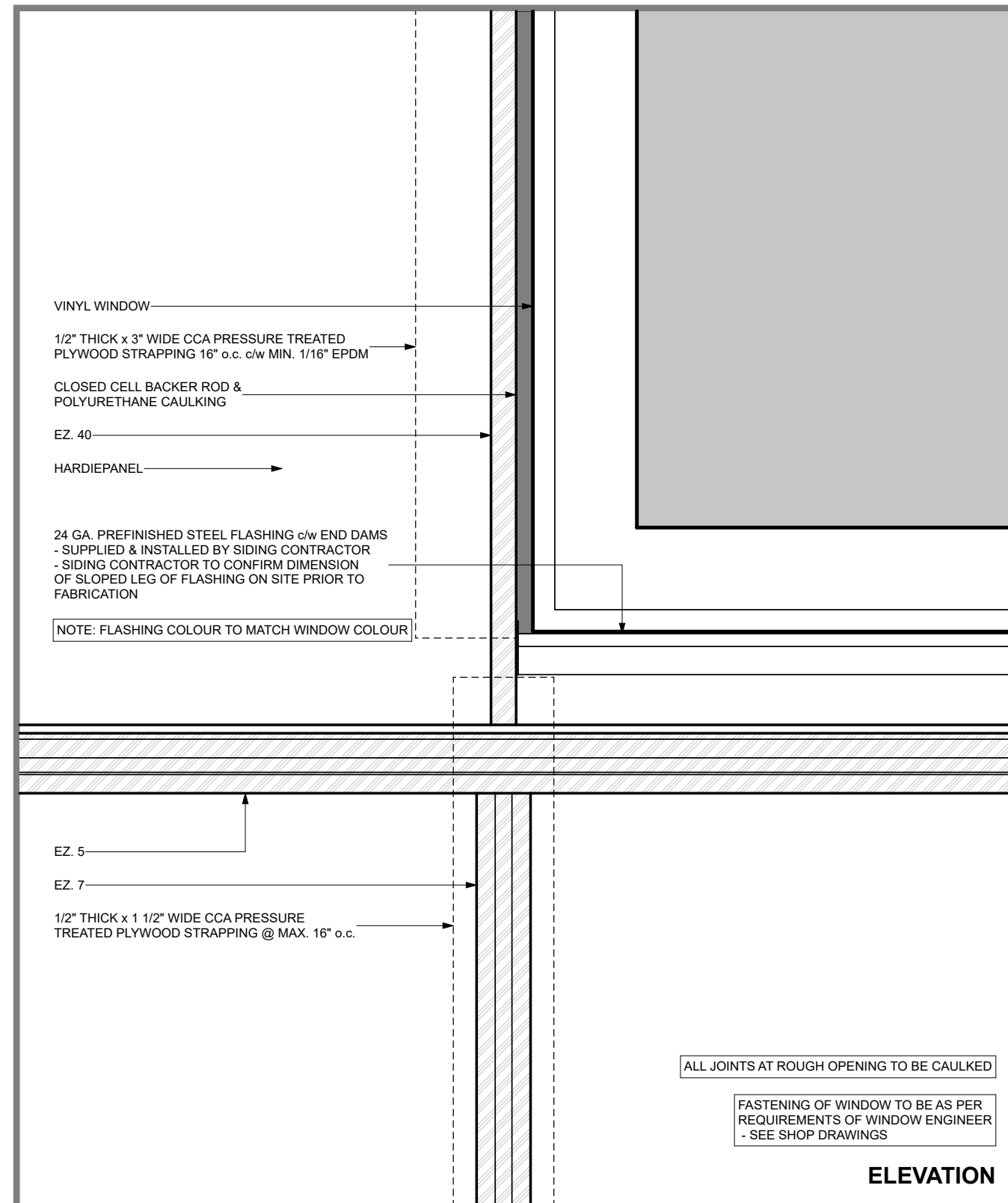
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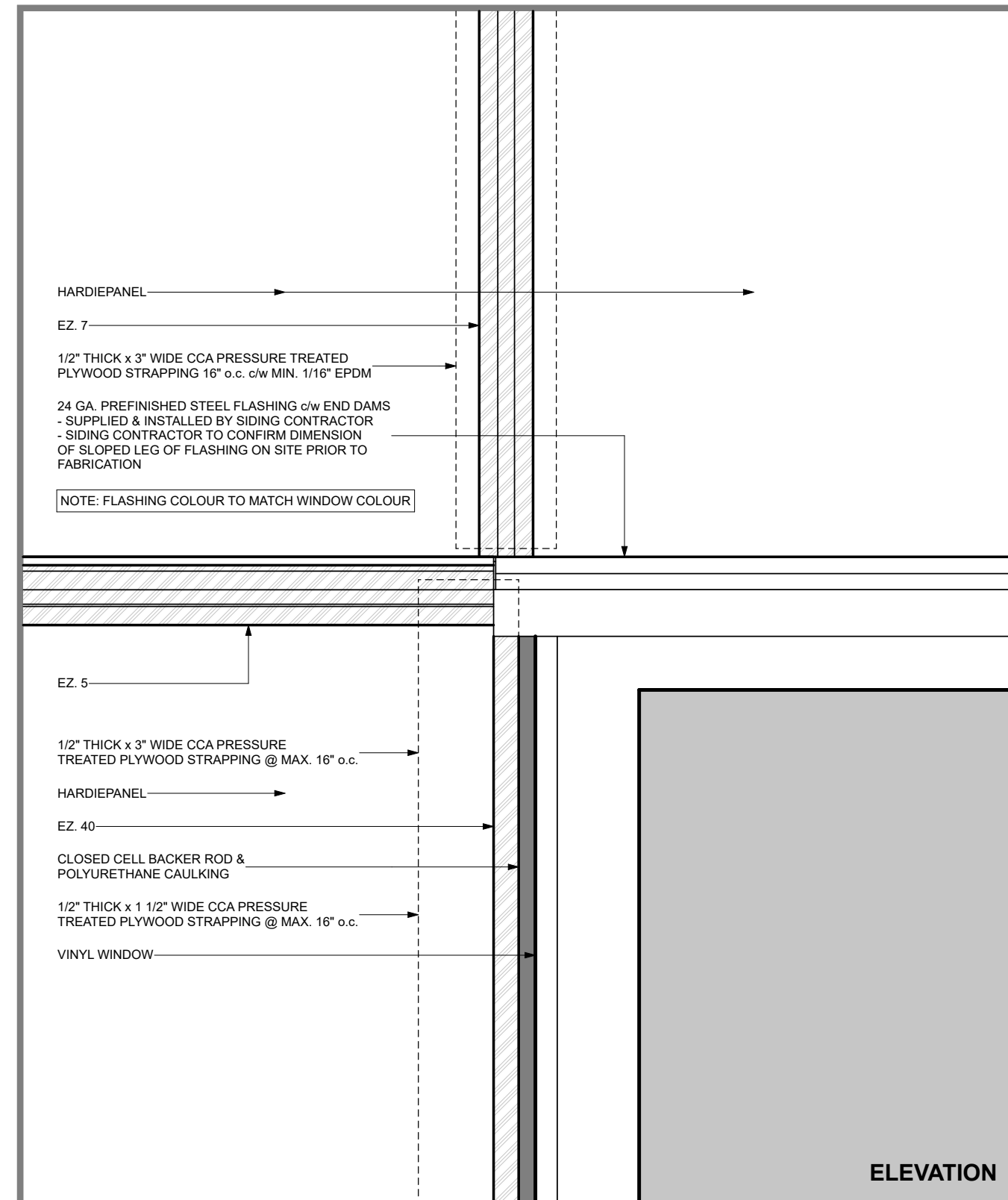
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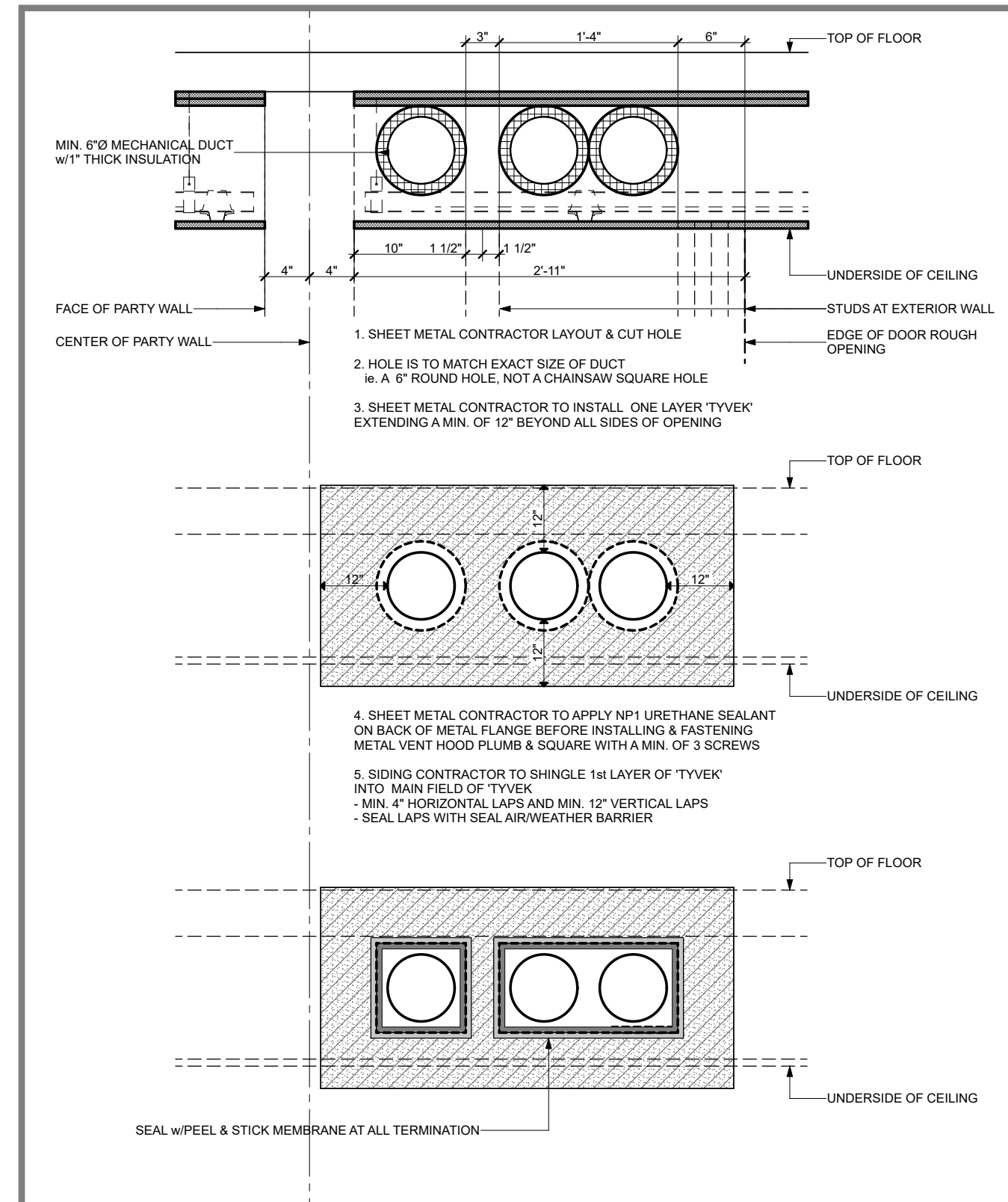
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PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
19495
SCALE: 3" = 1'-0"
DATE: 2024-05-29
ISSUE: BP RESUBMISSION
DRAWING: 4.0.7.613



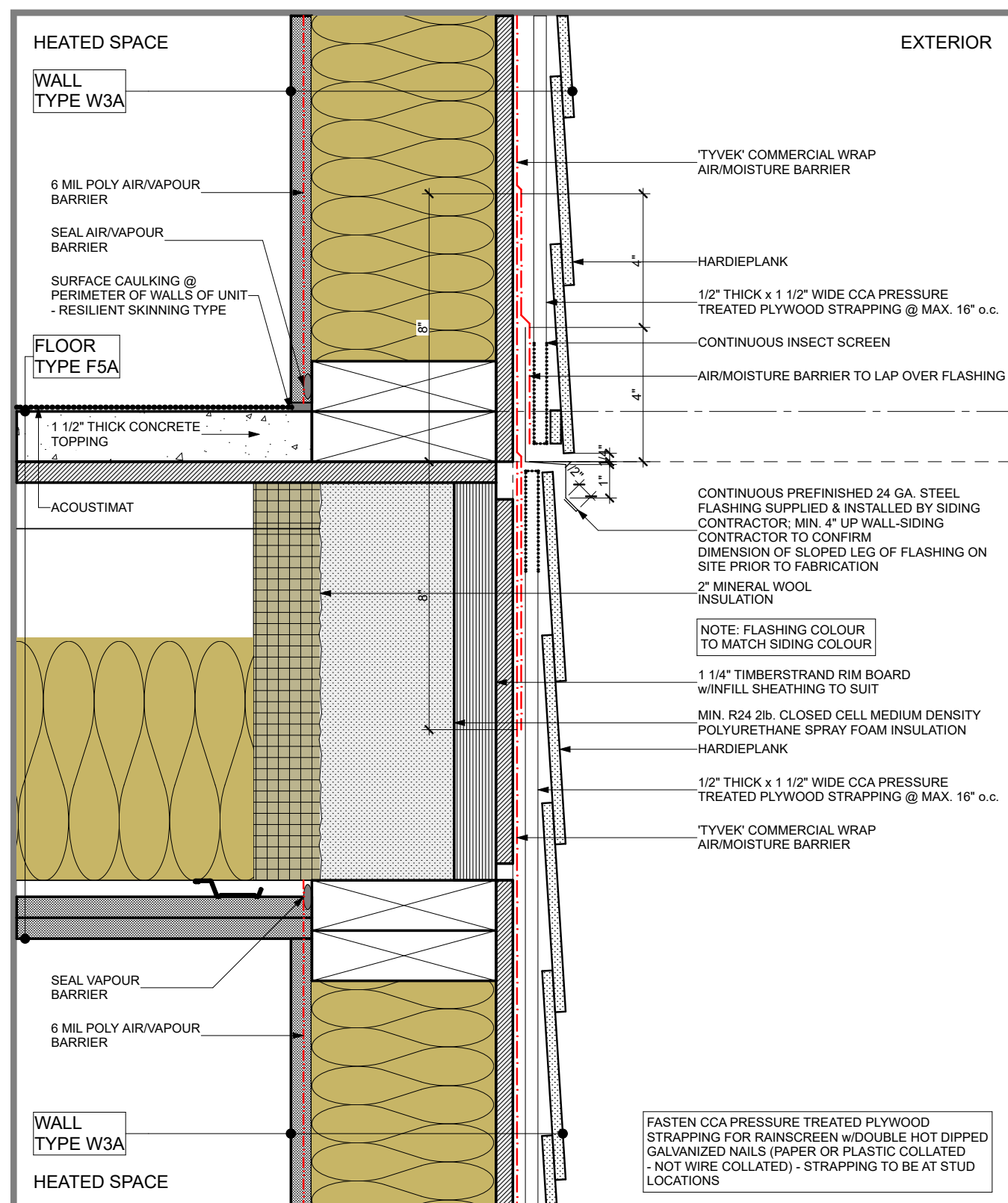
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DATE: 2024-05-29
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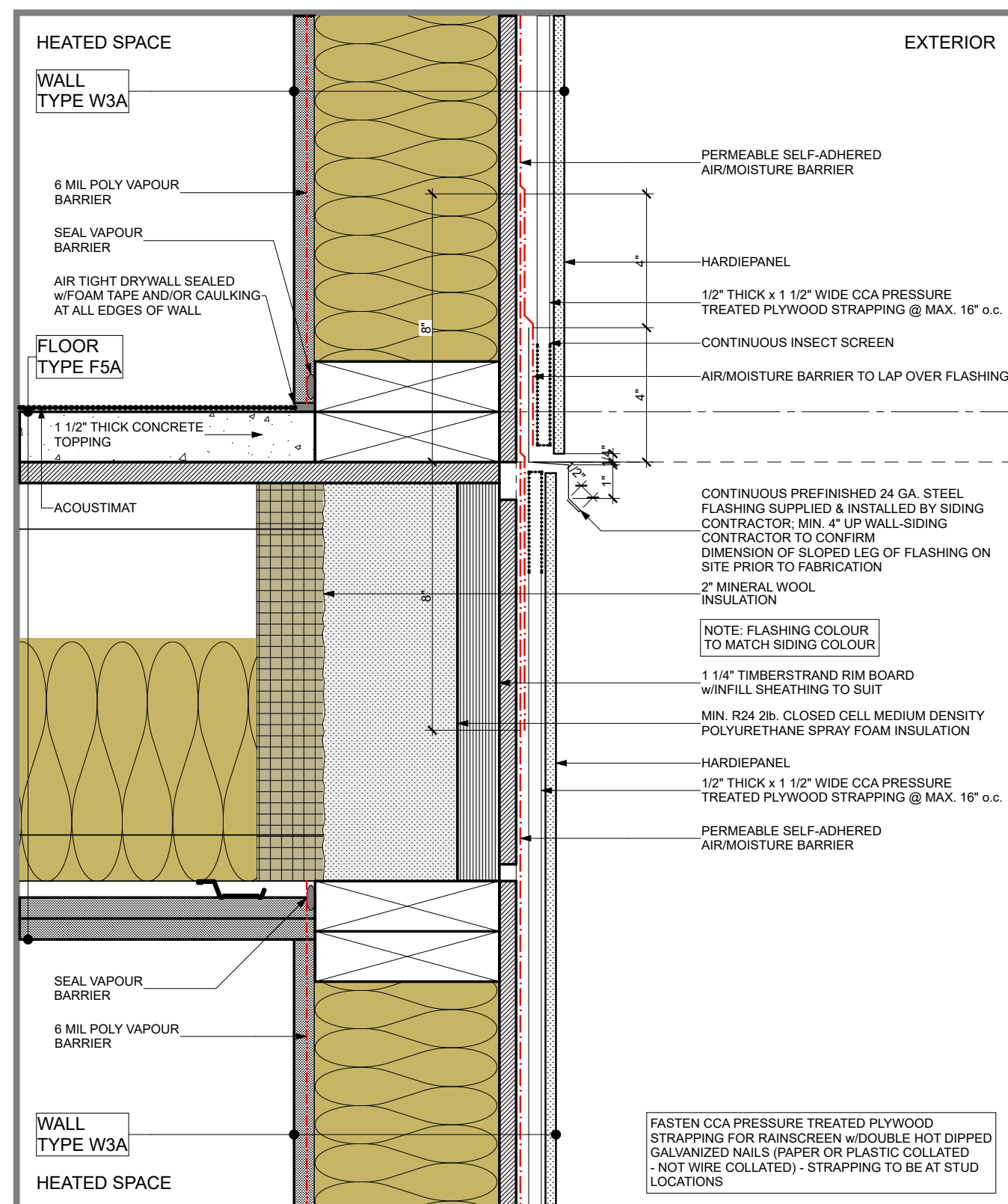
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PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
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SCALE: 3" = 1'-0"
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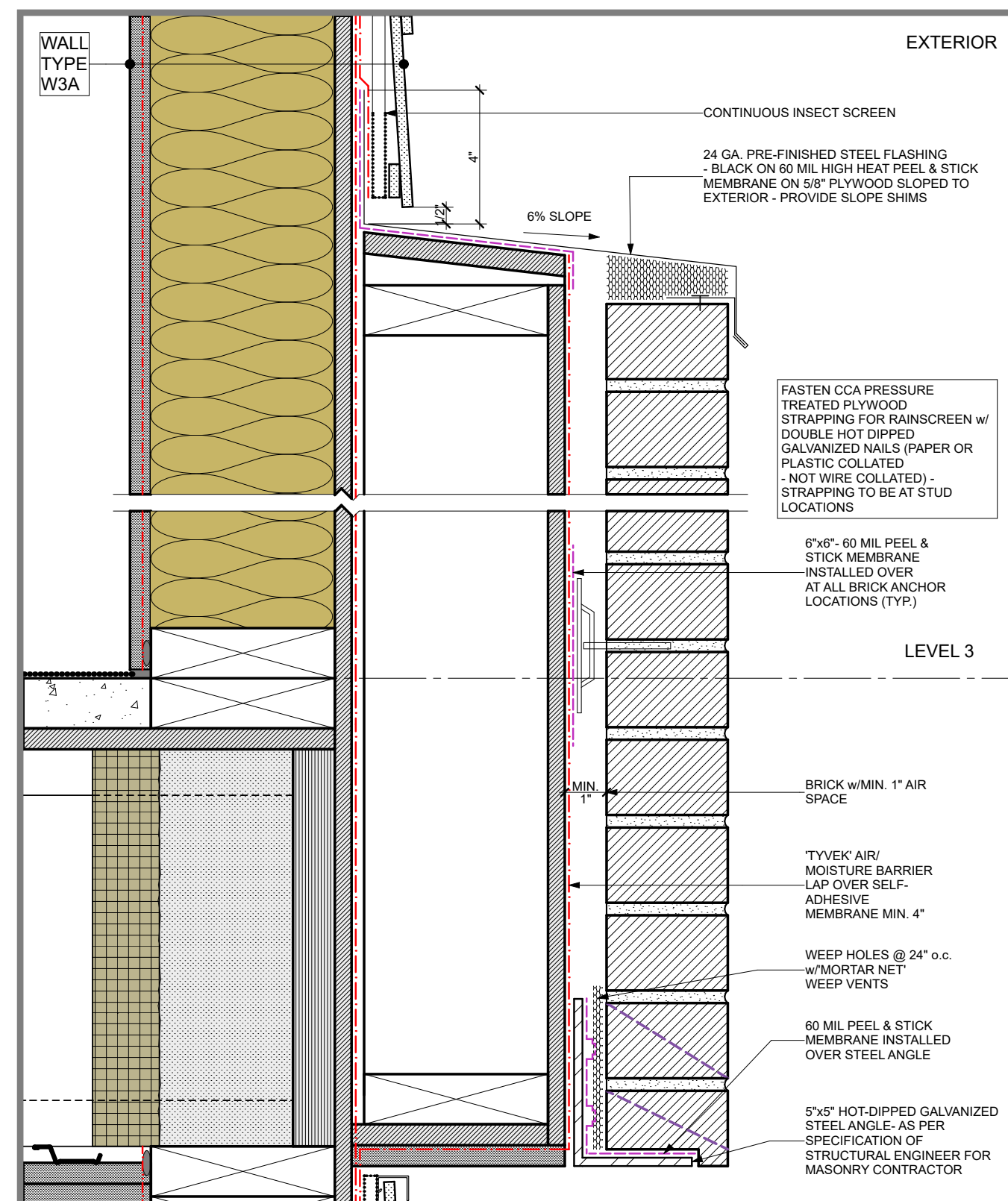
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PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
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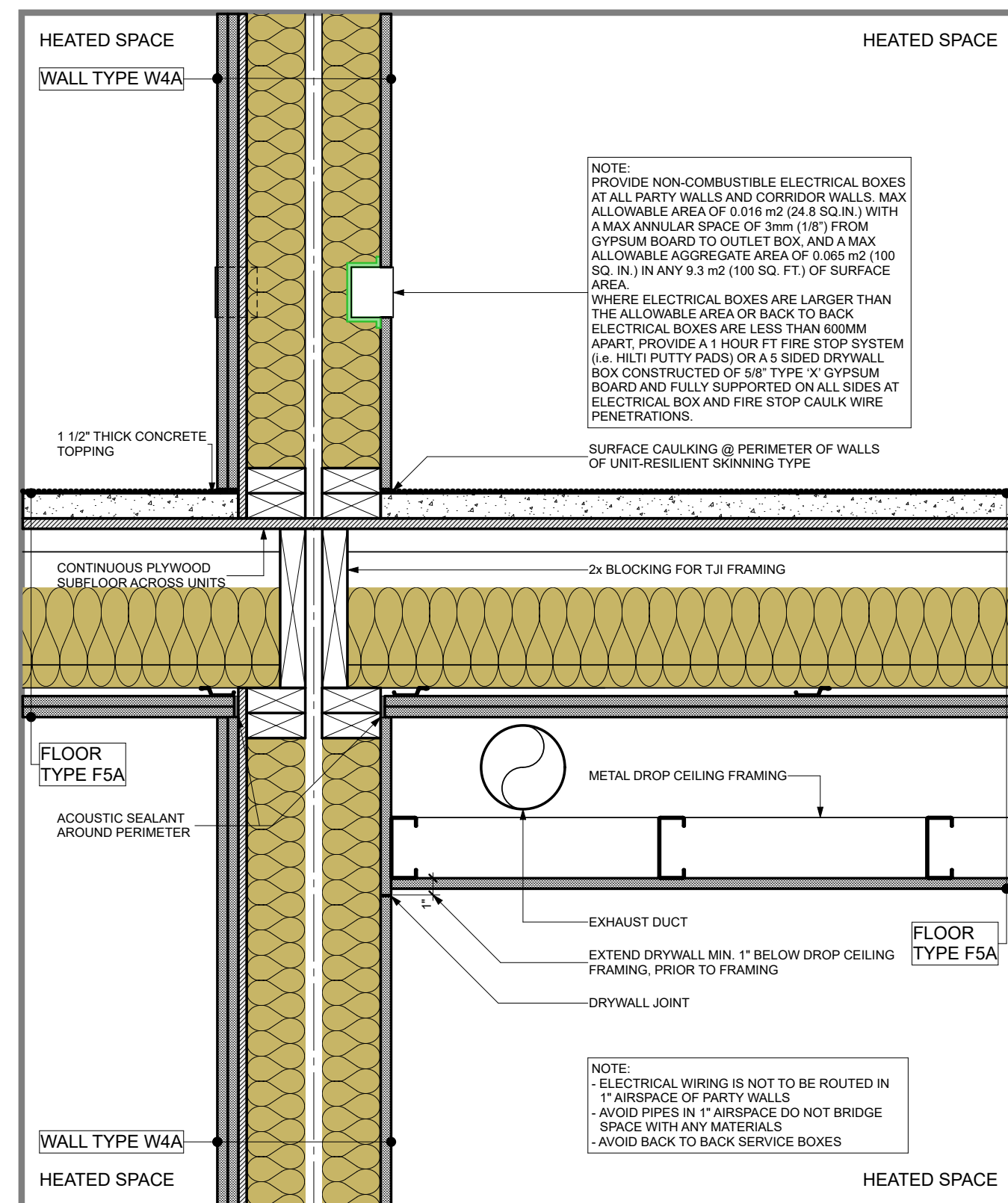
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19495
SCALE: 3" = 1'-0"
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19495
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ISSUE: BP RESUBMISSION
DRAWING: 4.4.7.102



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
19495
SCALE: 3" = 1'-0"
DATE: 2024-05-29
ISSUE: BP RESUBMISSION
DRAWING: 4.4.7.105



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
19495
SCALE: 1 1/2" = 1'-0"
DATE: 2024-05-29
ISSUE: BP RESUBMISSION
DRAWING: 4.4.7.101



(ARCHITECT SEAL)

RF PROPERTIES
REDEKOP | FERRARIO
(CLIENT)

RF PROPERTIES
(PROJECT)

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC
(TITLE)

DETAILS

19495 (PROJECT)
1 1/2" = 1'-0" (SCALE)
2024-10-04 (DATE)
13 - BP RESUBMISSION (ISSUE)

(DRAWING)



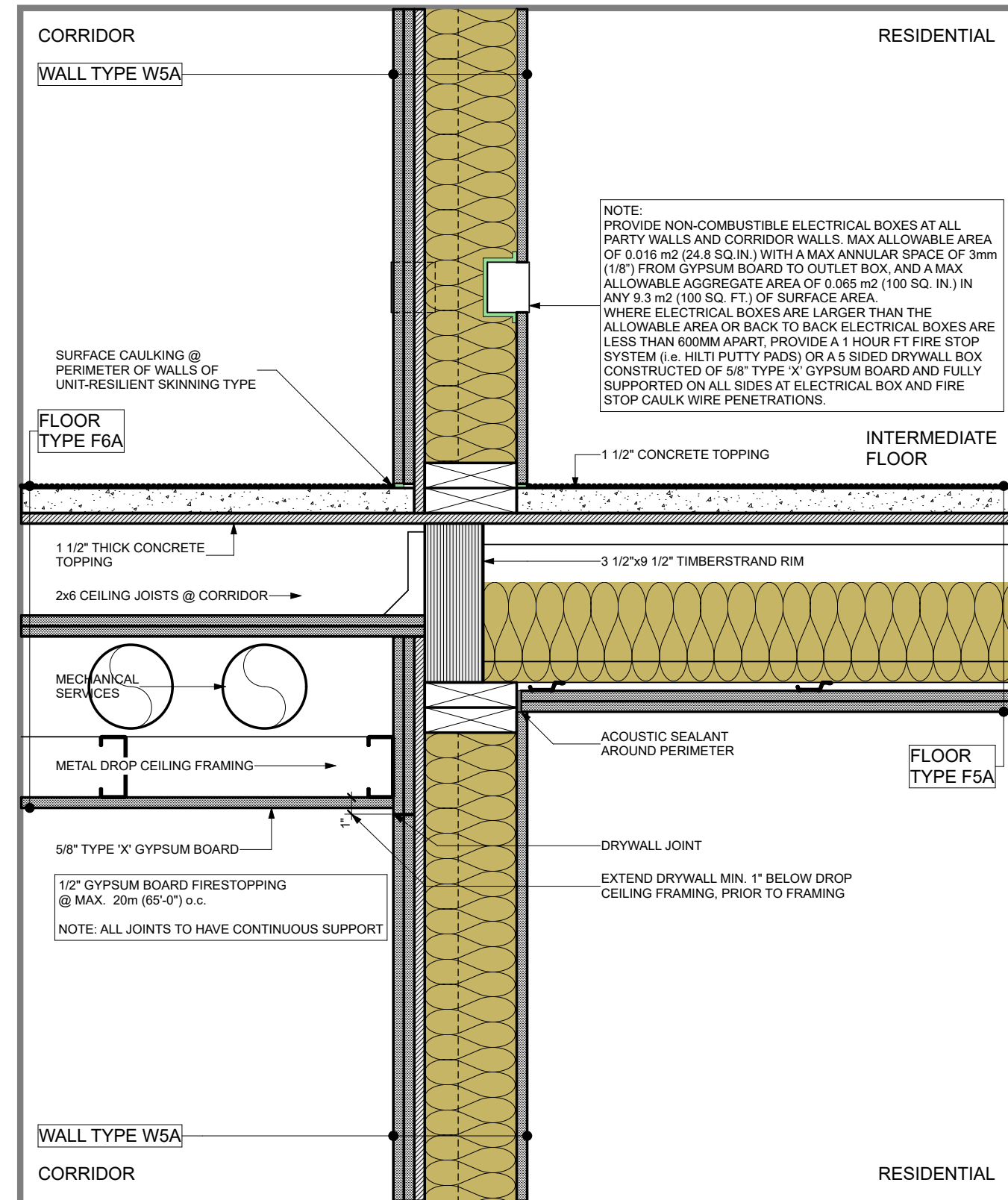
Integra

ARCHITECTURE INC.

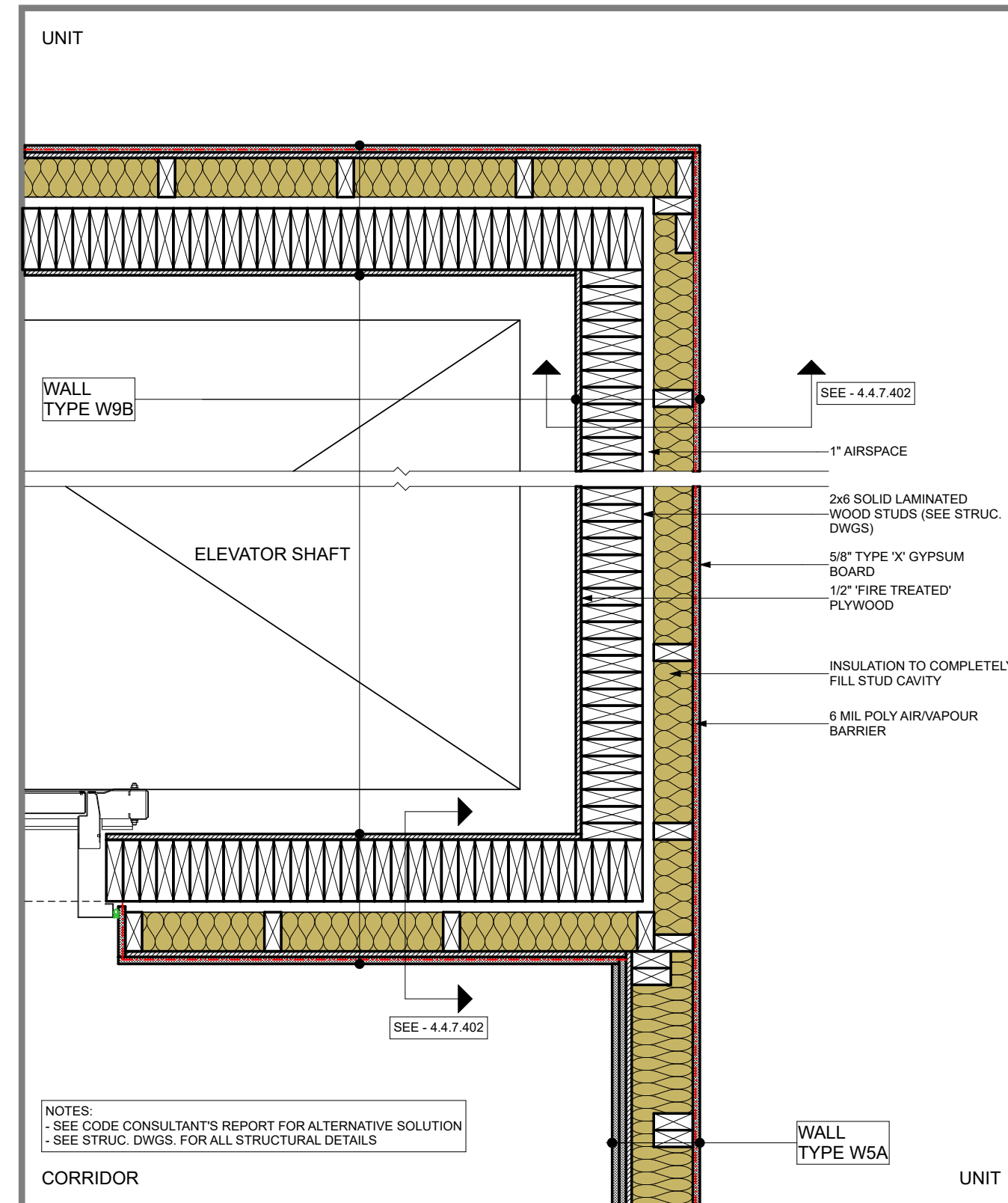
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Vancouver, BC, V6C 1S4
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Telephone: 604 688 4220

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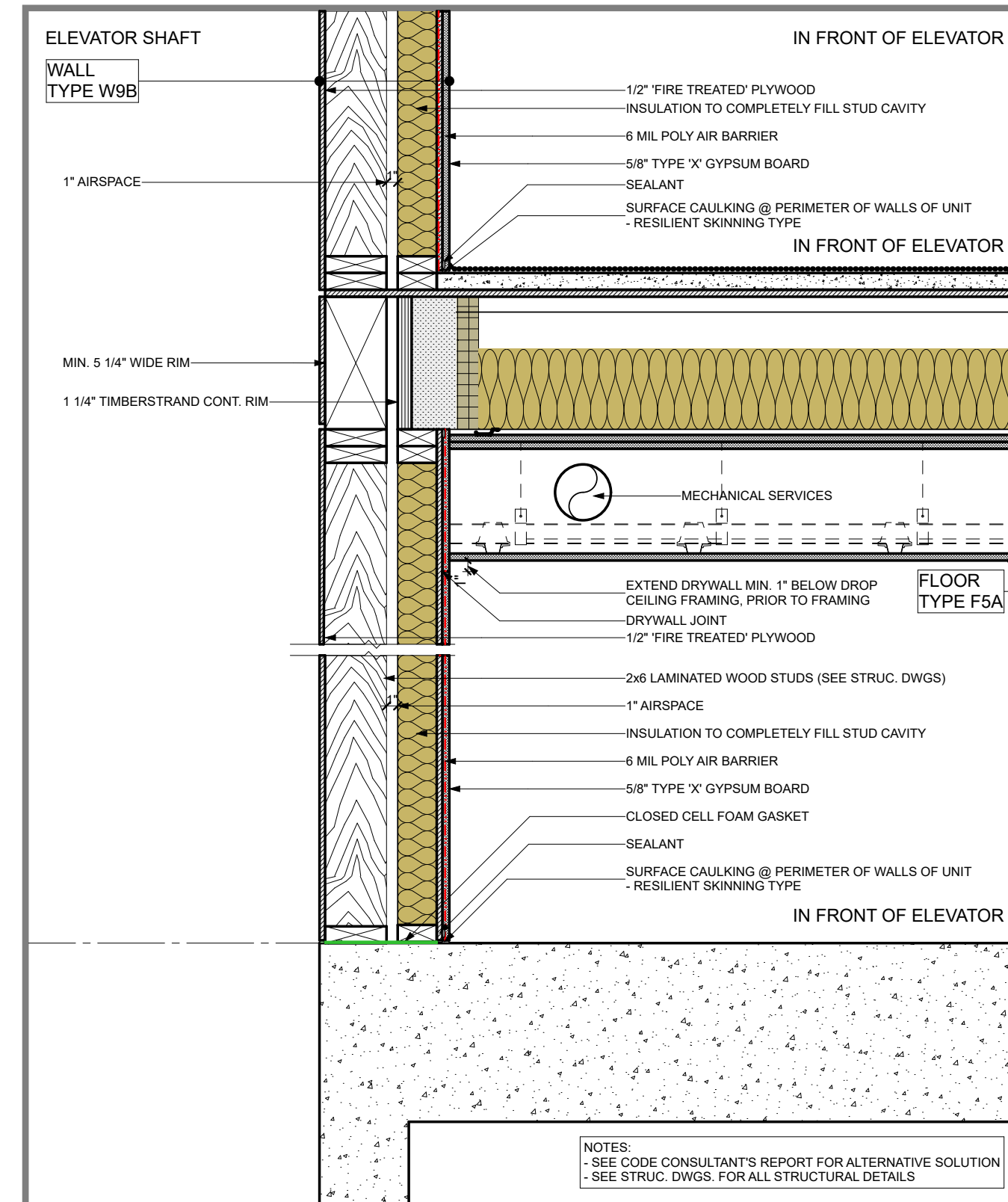
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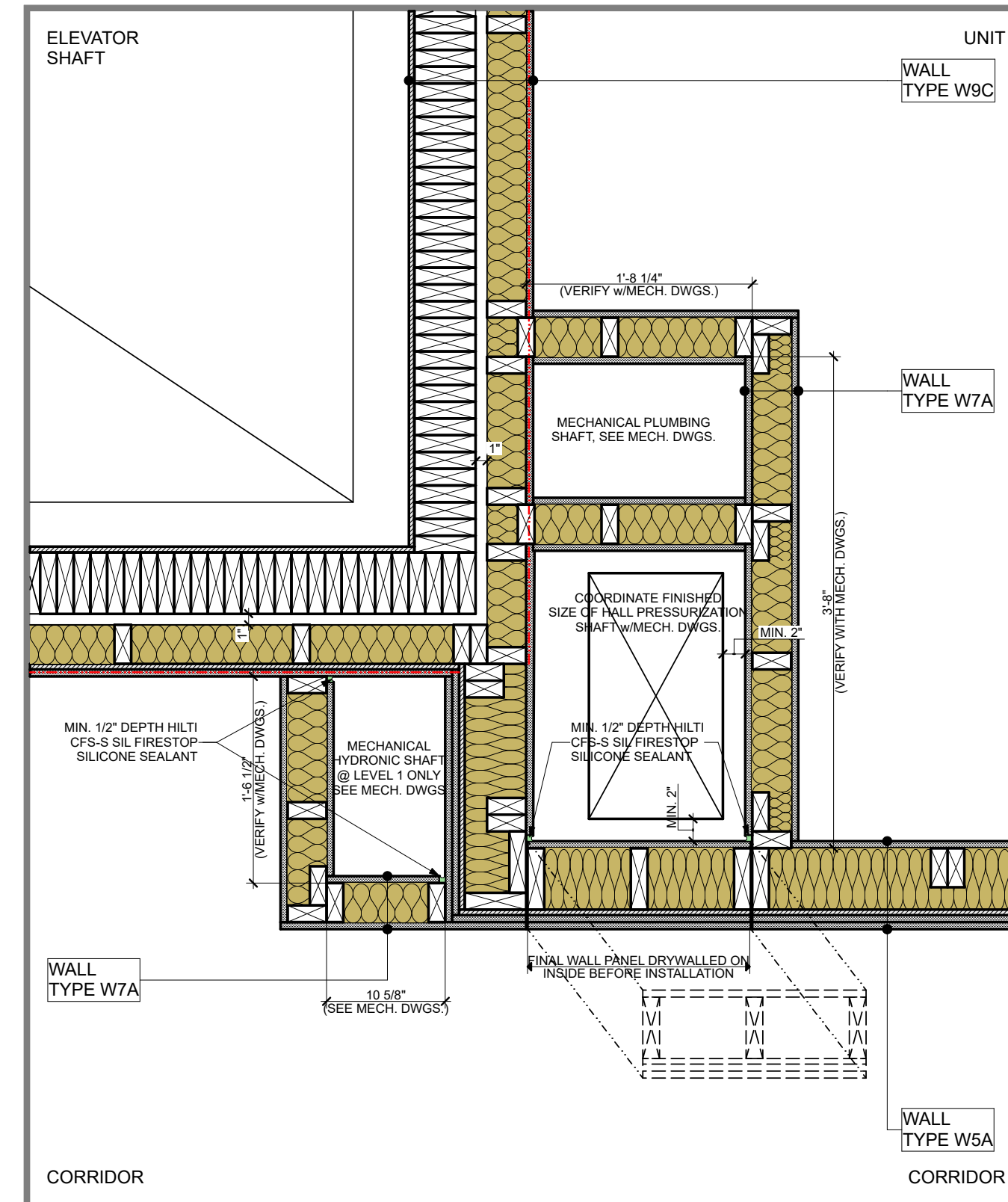
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 4.4.7.301



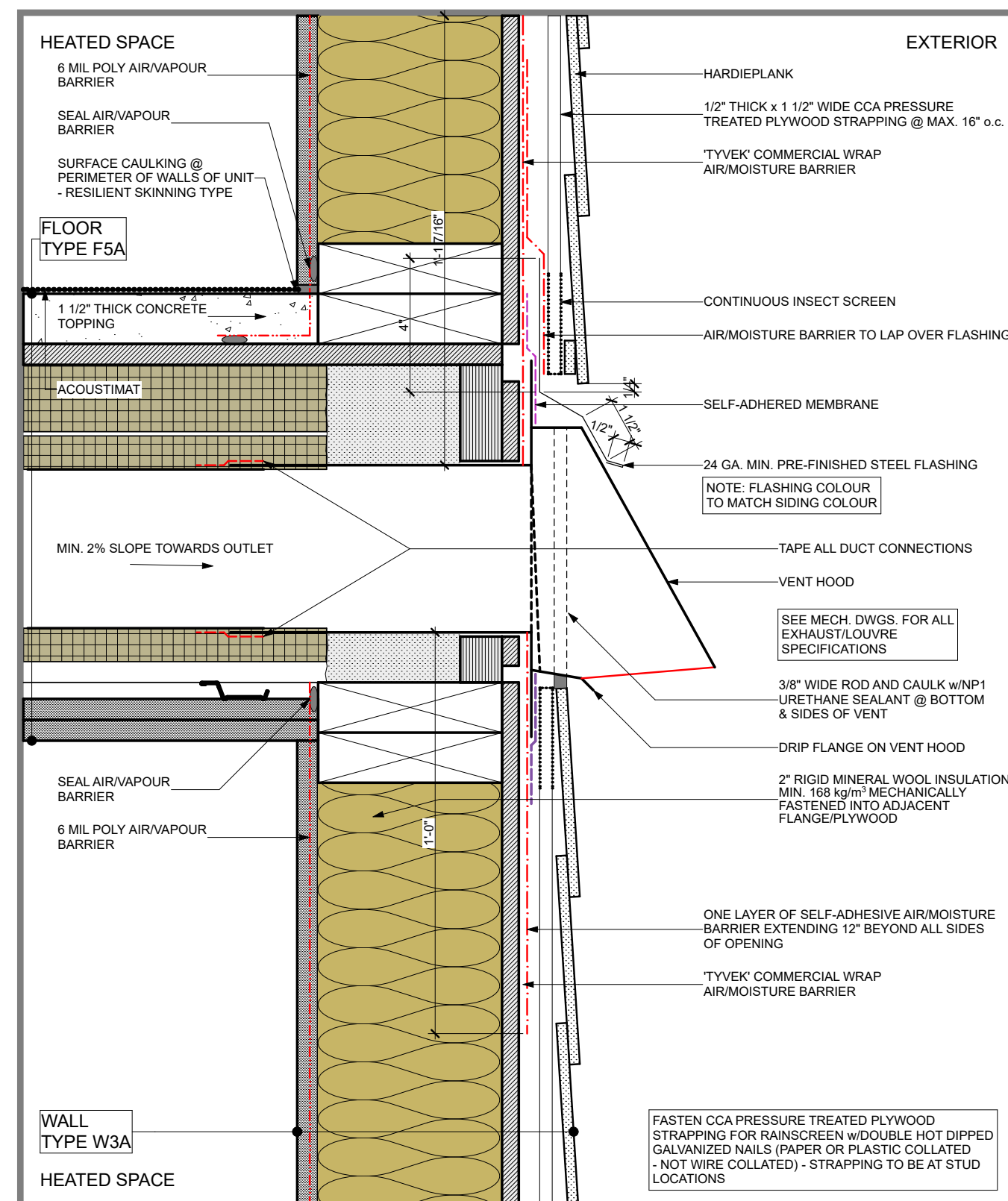
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 4.4.7.401



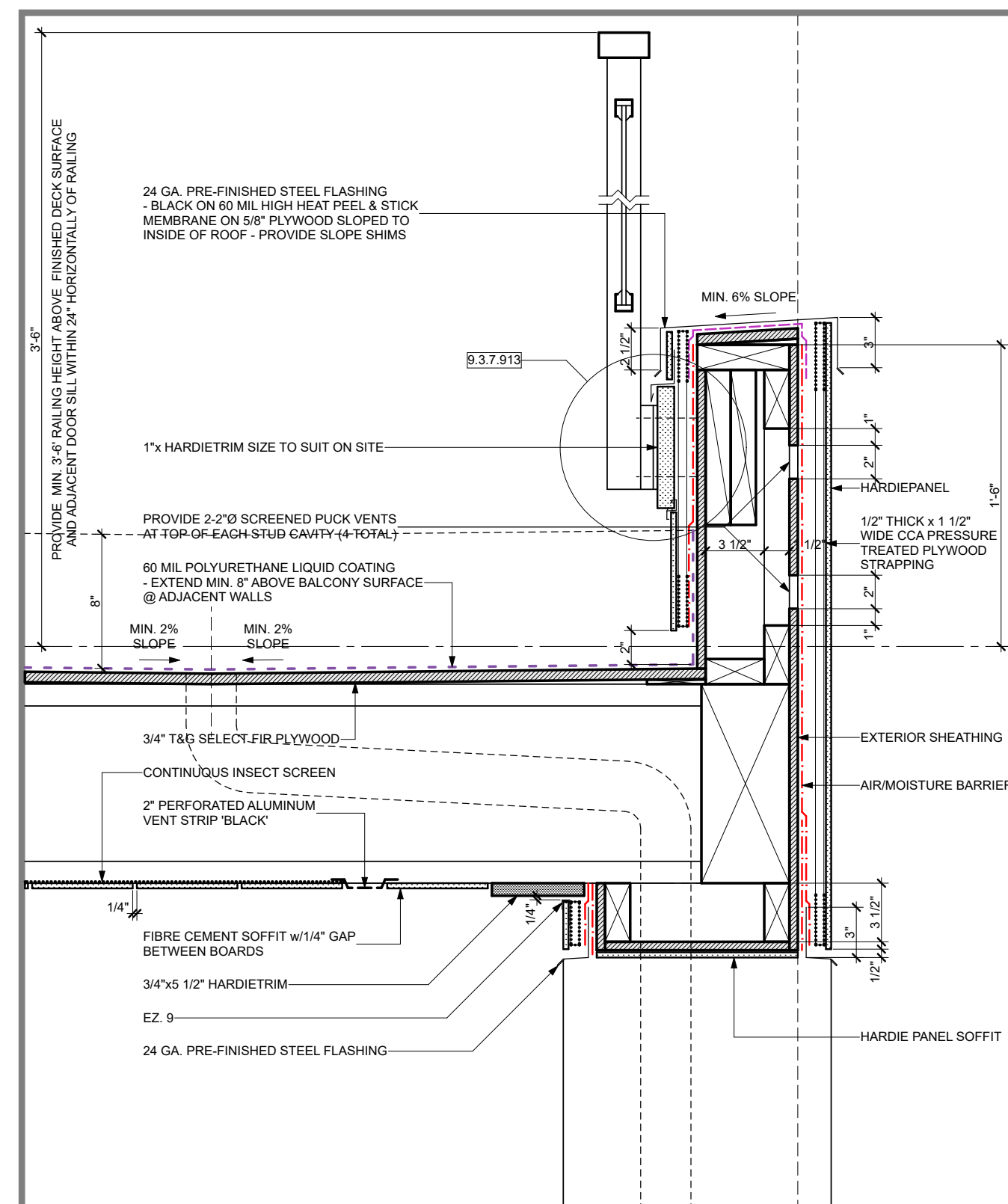
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 4.4.7.402



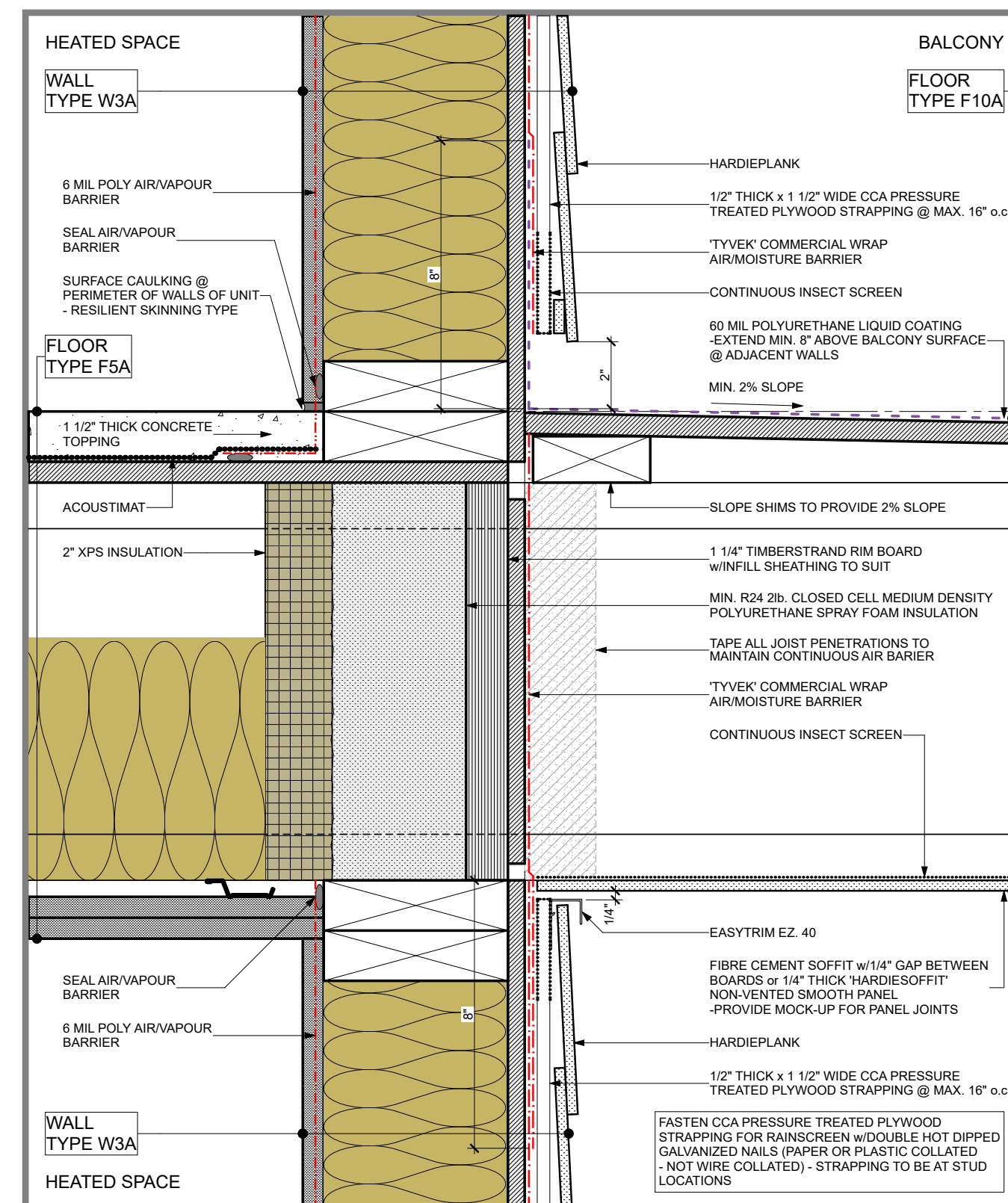
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 4.4.7.411



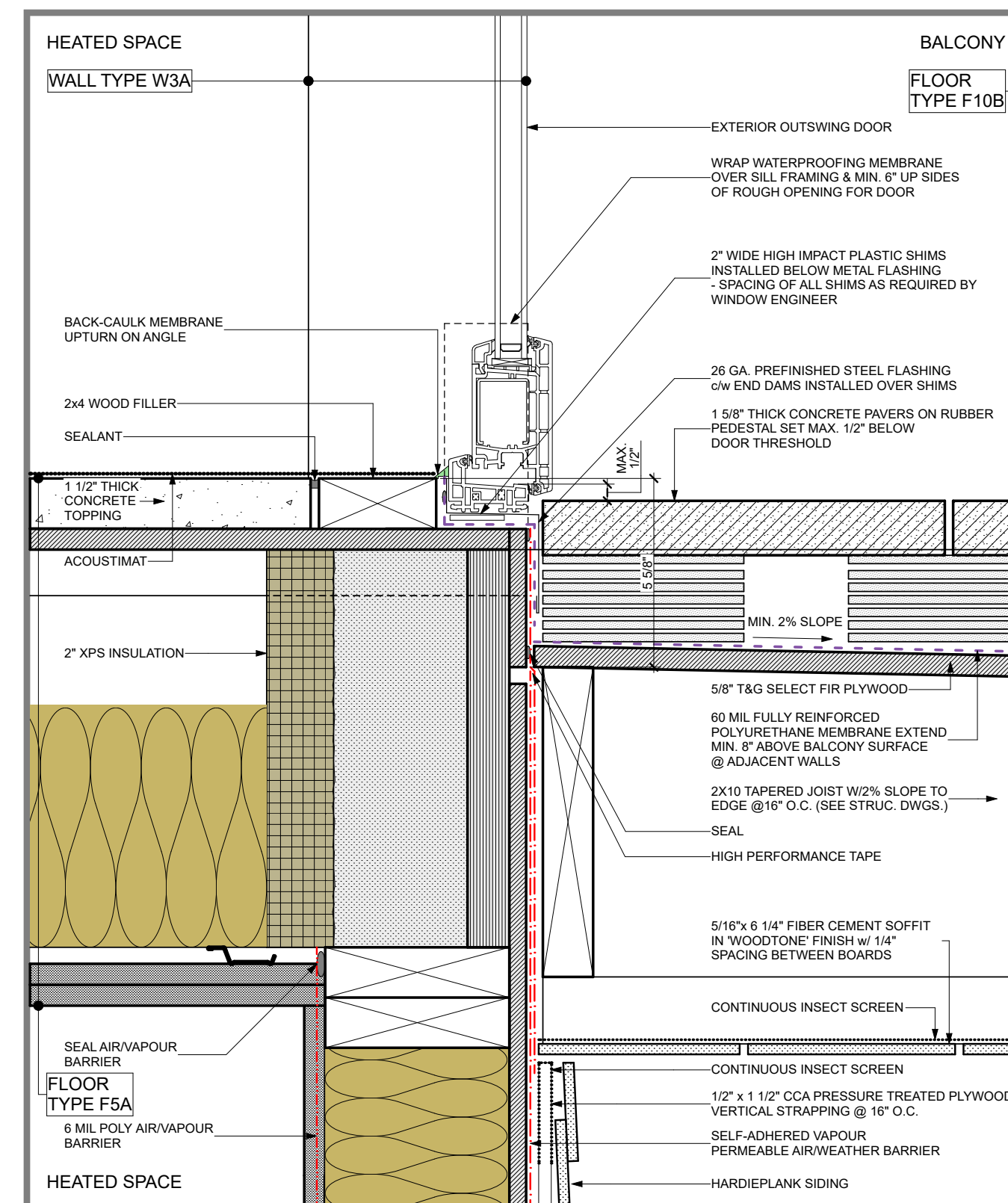
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 4.4.7.911



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 5.3.7.501



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 5.4.7.101



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
PROJECT: RF PROPERTIES RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
DRAWING: 5.4.7.601



(ARCHITECT SEAL)



(CLIENT)

RF PROPERTIES

(PROJECT)

RENTAL DEVELOPMENT

206 EAST 12TH STREET

NORTH VANCOUVER, BC

(TITLE)

DETAILS

19495 (PROJECT)

2024-05-29 (SCALE)

2024-10-04 (DATE)

13 - BP RESUBMISSION (ISSUE)

(DRAWING)

A-6.206



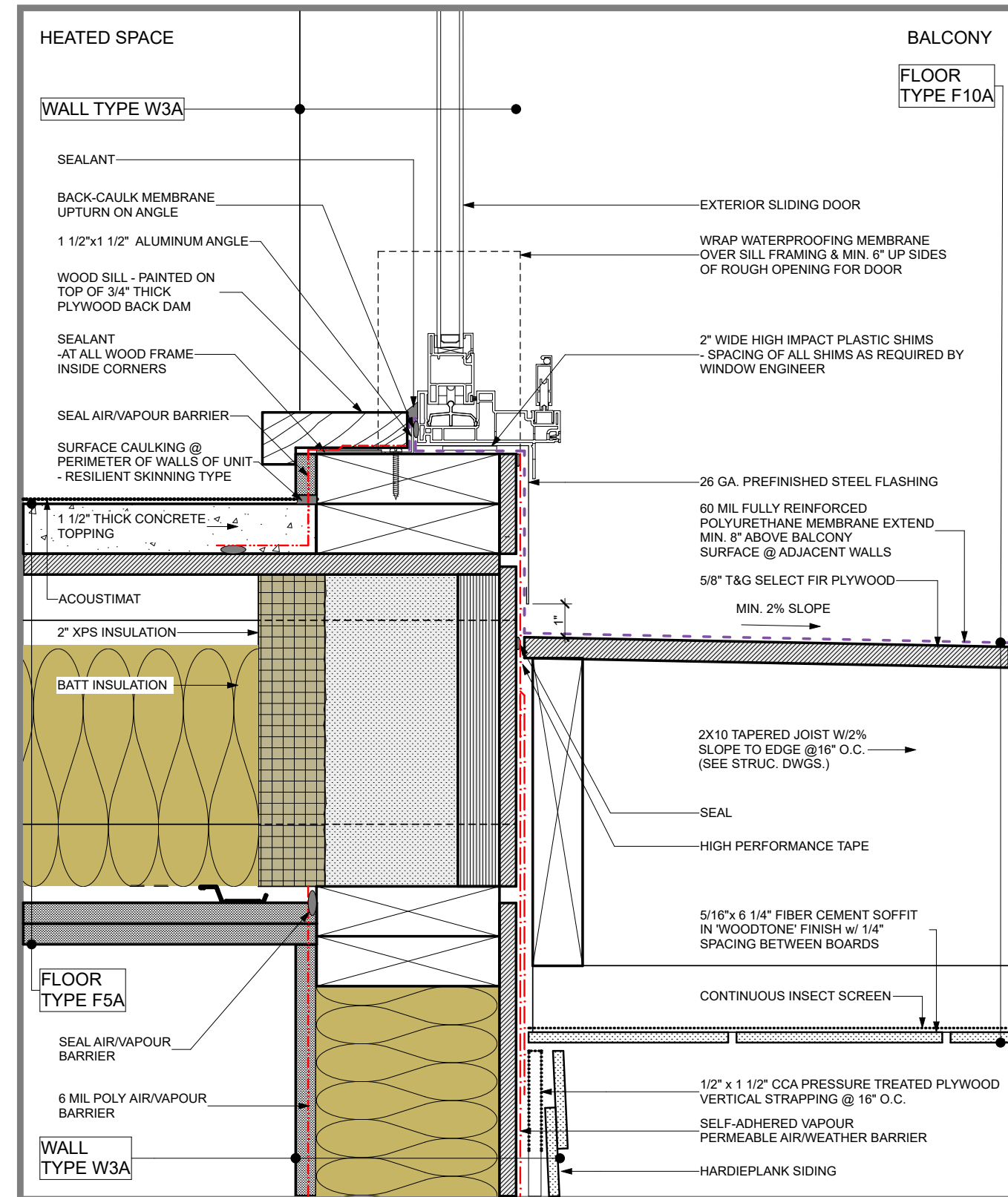
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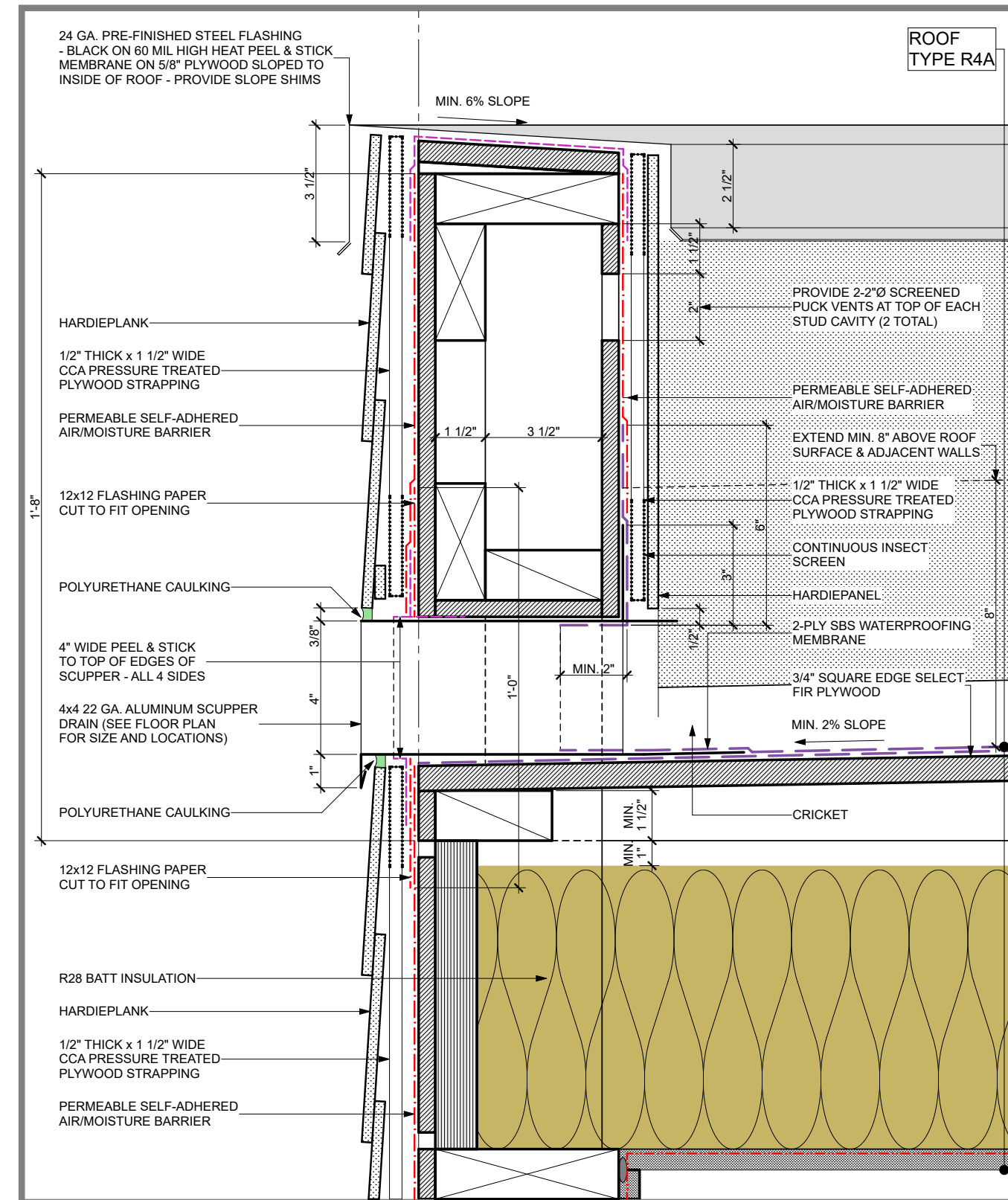
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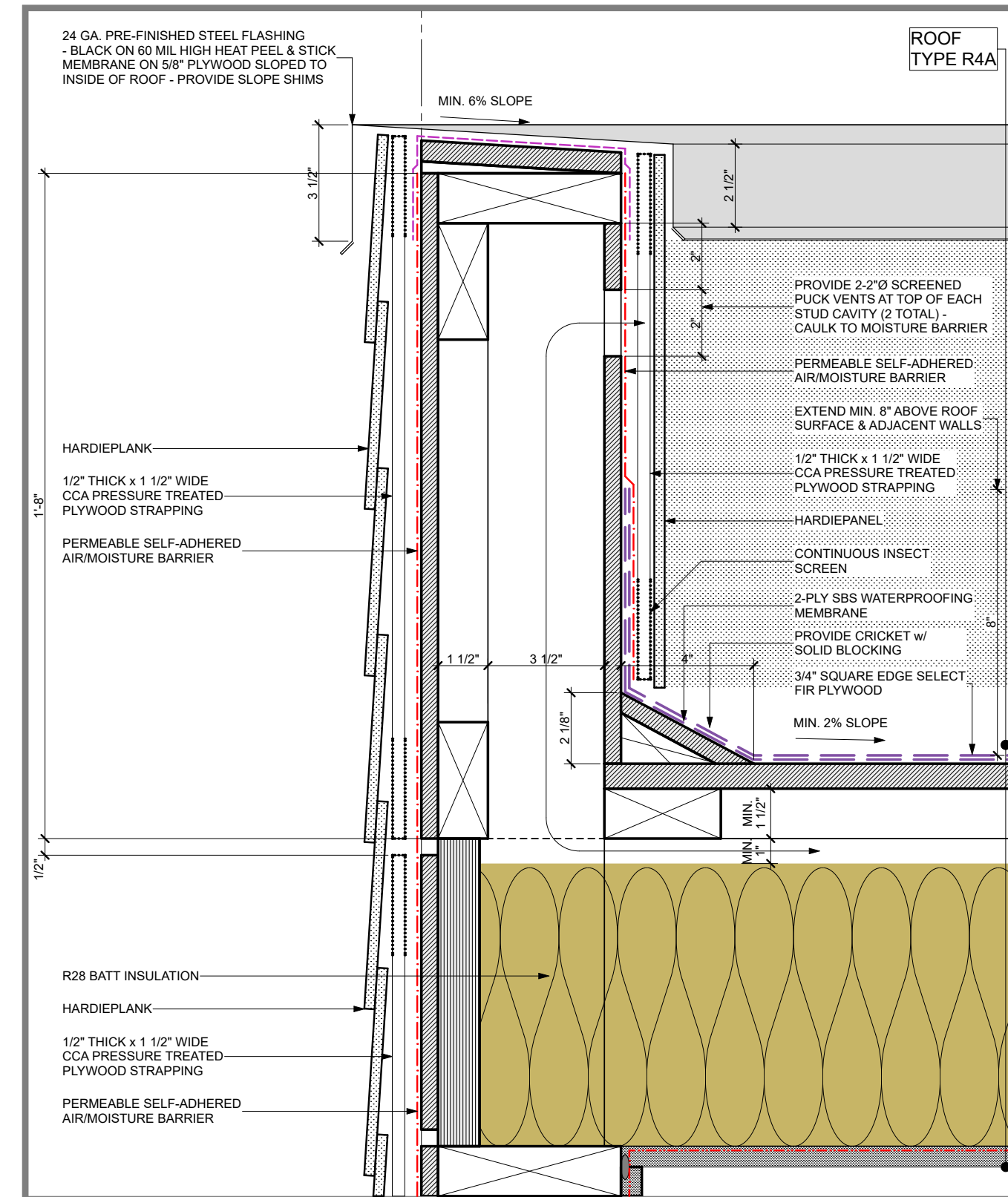
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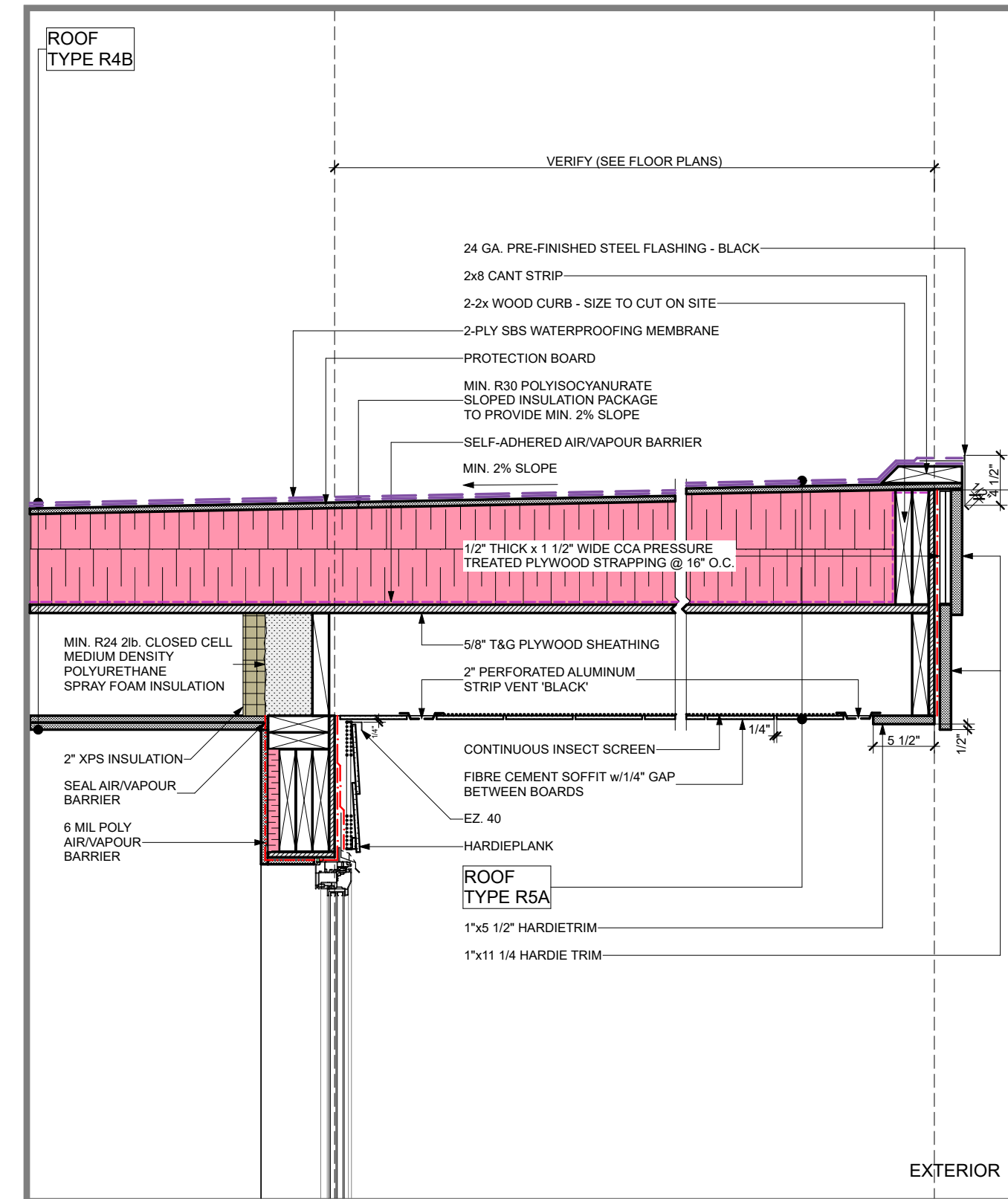
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] SLIDING DOOR SILL @ BALCONY [PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 5.4.7.611



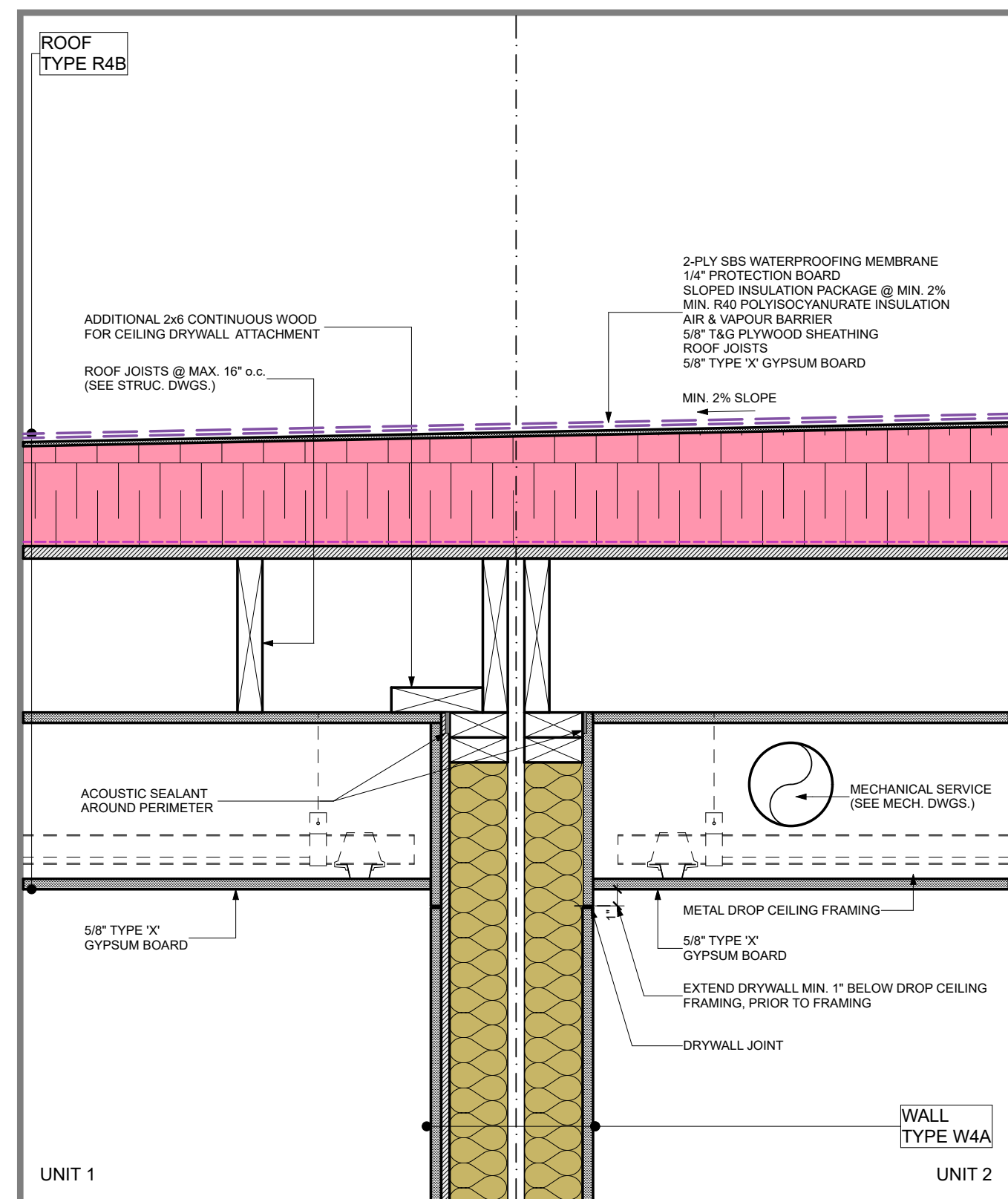
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] ROOF PARAPET W/ SCUPPER DRAIN [PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 7.3.7.104



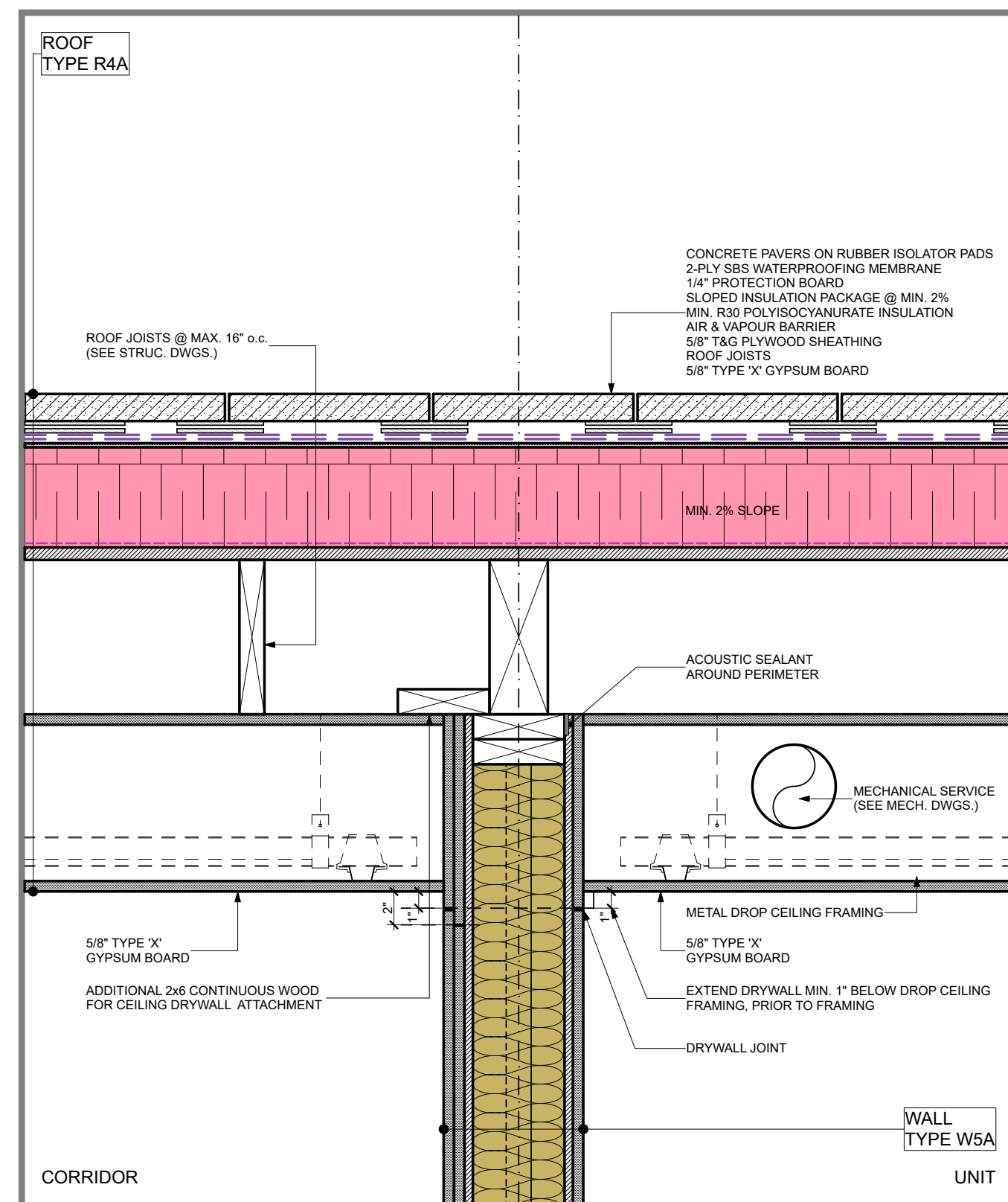
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] ROOF PARAPET [PROJECT] 19495 [SCALE] 3" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 7.3.7.105



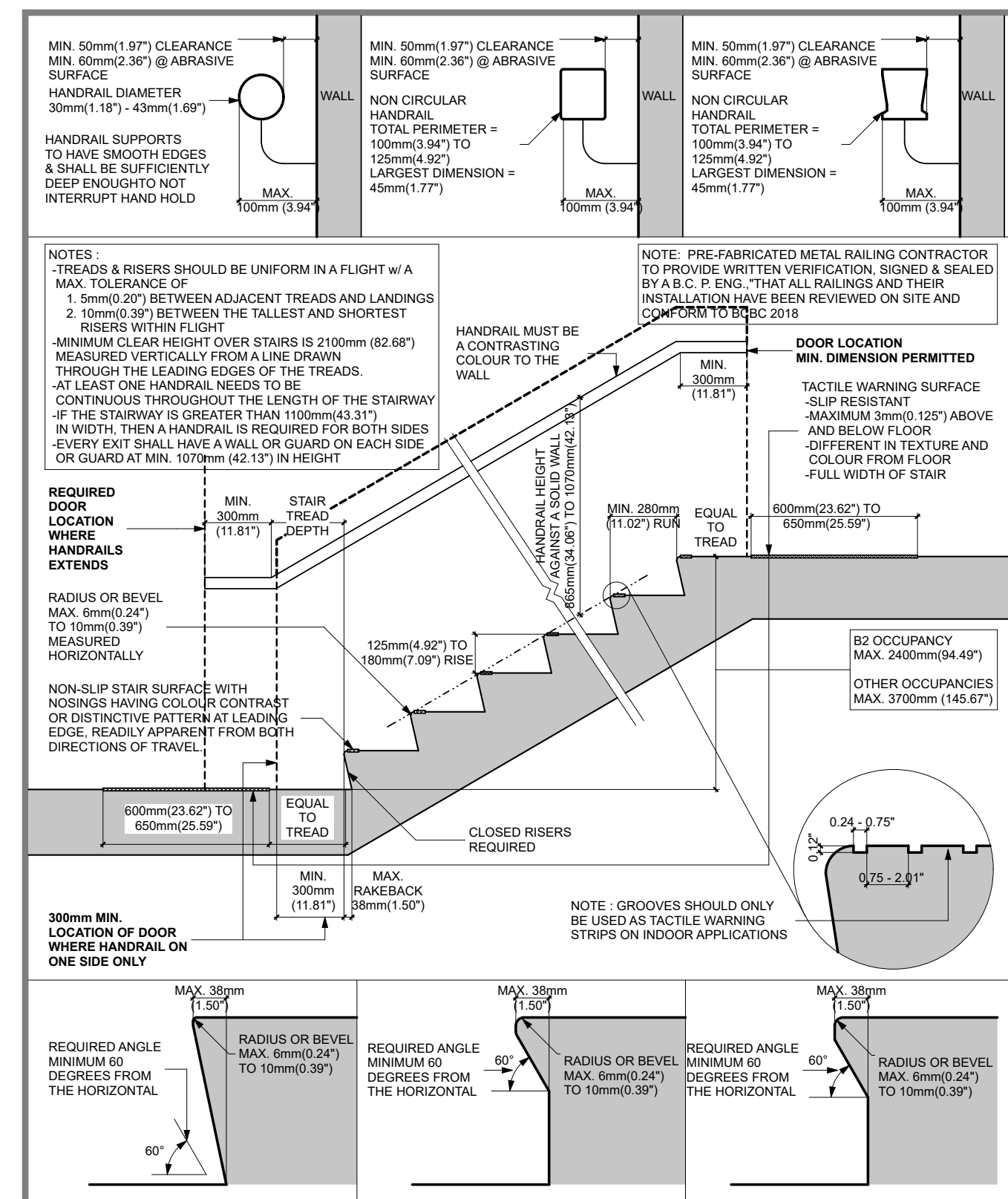
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] CANOPY AT MAIN ROOF [PROJECT] 19495 [SCALE] 1" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 7.3.7.106



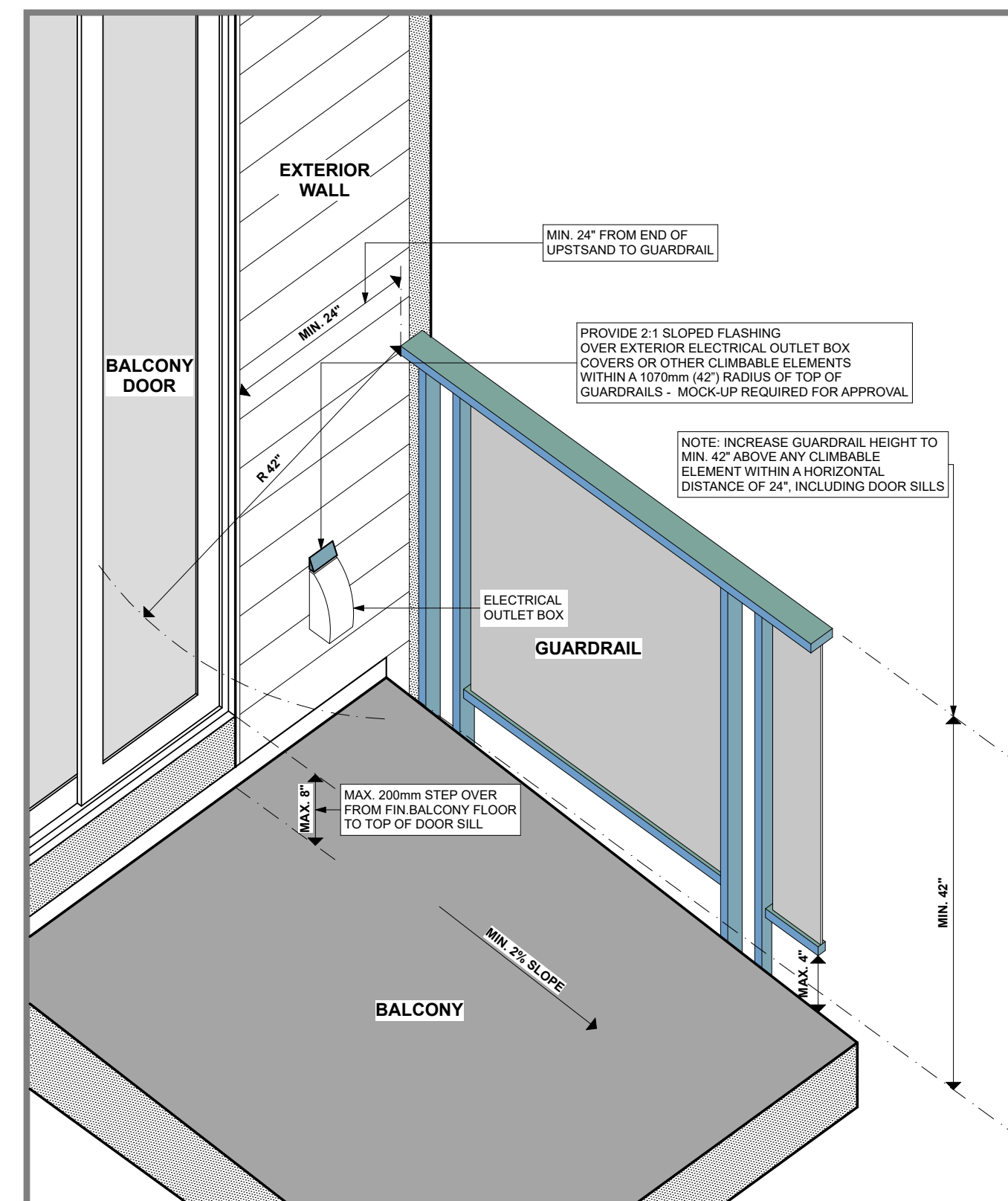
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] ROOF AT PARTY WALL [PROJECT] 19495 [SCALE] 1 1/2" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 7.3.7.201



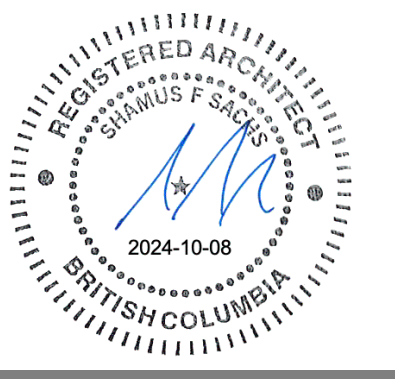
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] ROOF AT CORRIDOR WALL [PROJECT] 19495 [SCALE] 1 1/2" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 7.3.7.301



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] STAIR REQUIREMENT (ALL COMMON AREAS) [PROJECT] 19495 [SCALE] 1" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 8.0.0.802



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
[TITLE] GUARDRAIL REQUIREMENTS ADJACENT TO DOOR SILL [PROJECT] 19495 [SCALE] 1" = 1'-0" [DATE] 2024-05-29 [CLIENT] RF PROPERTIES [DRAWING] BP RESUBMISSION [PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC [DRAWING] 8.0.0.901



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO
[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

DETAILS

19495 [PROJECT]

[SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

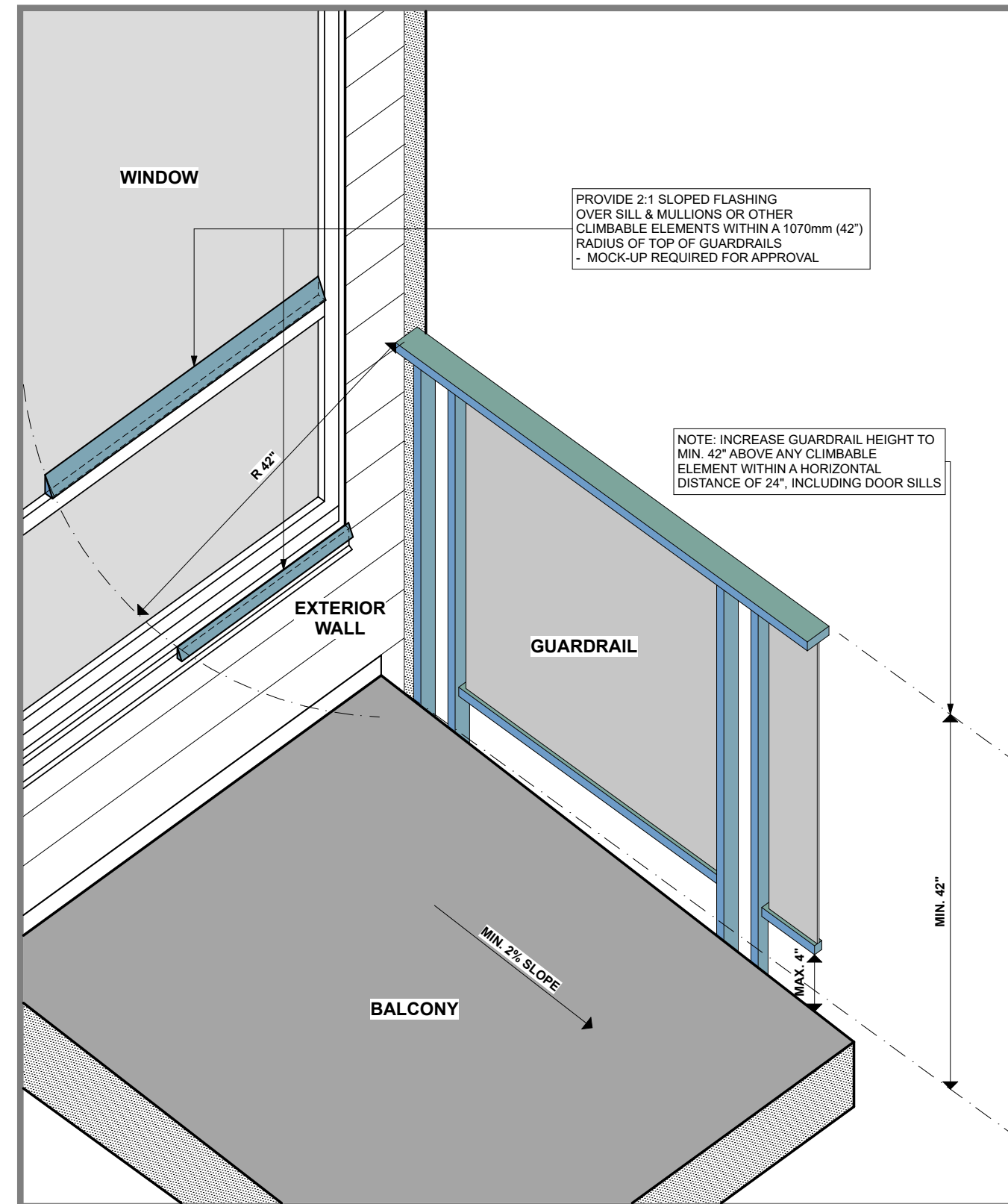
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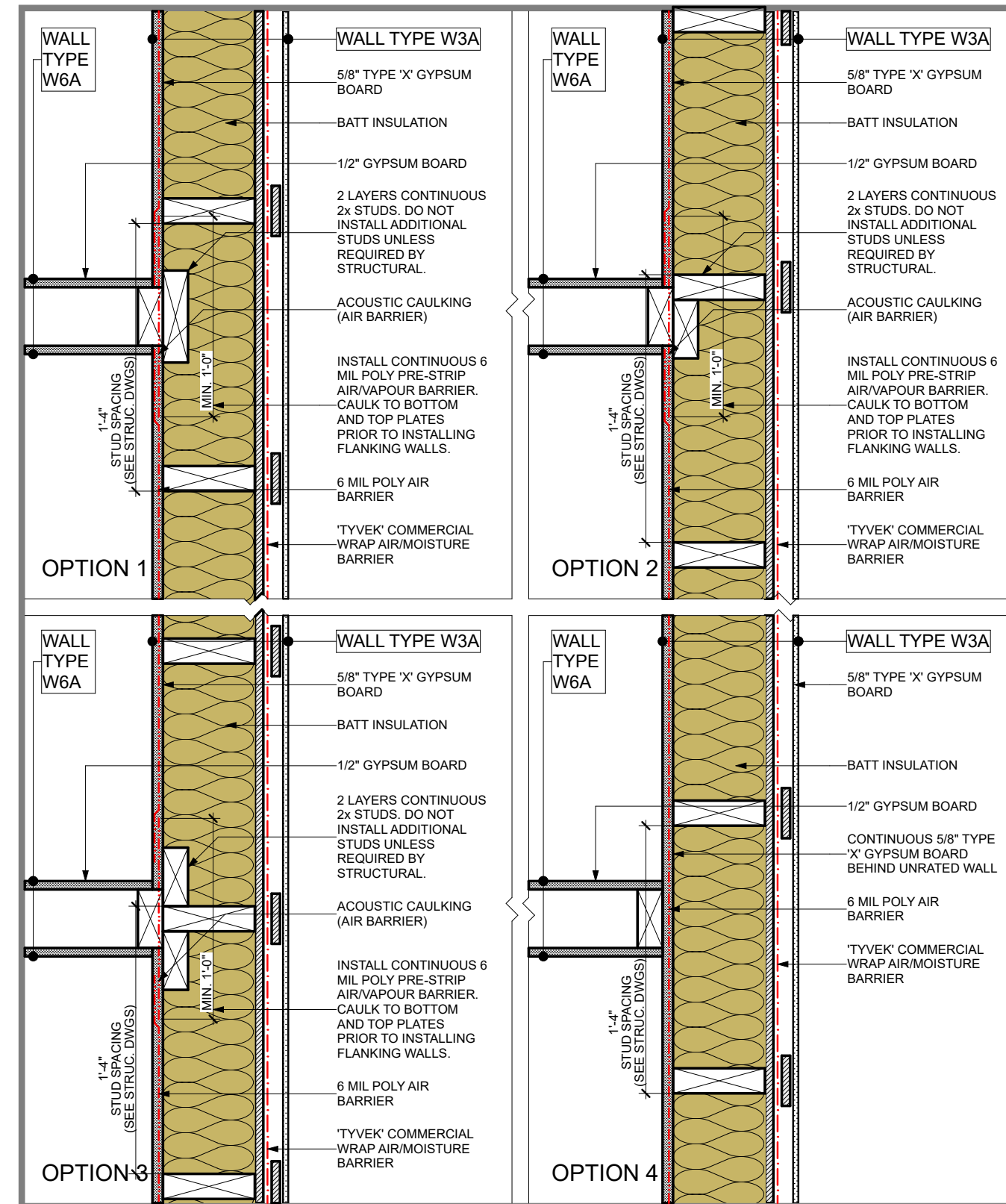
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ARCHITECTURE INC.

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Vancouver, BC, V6C 1S4
www.integra-arch.com
Telephone: 604 688 4220

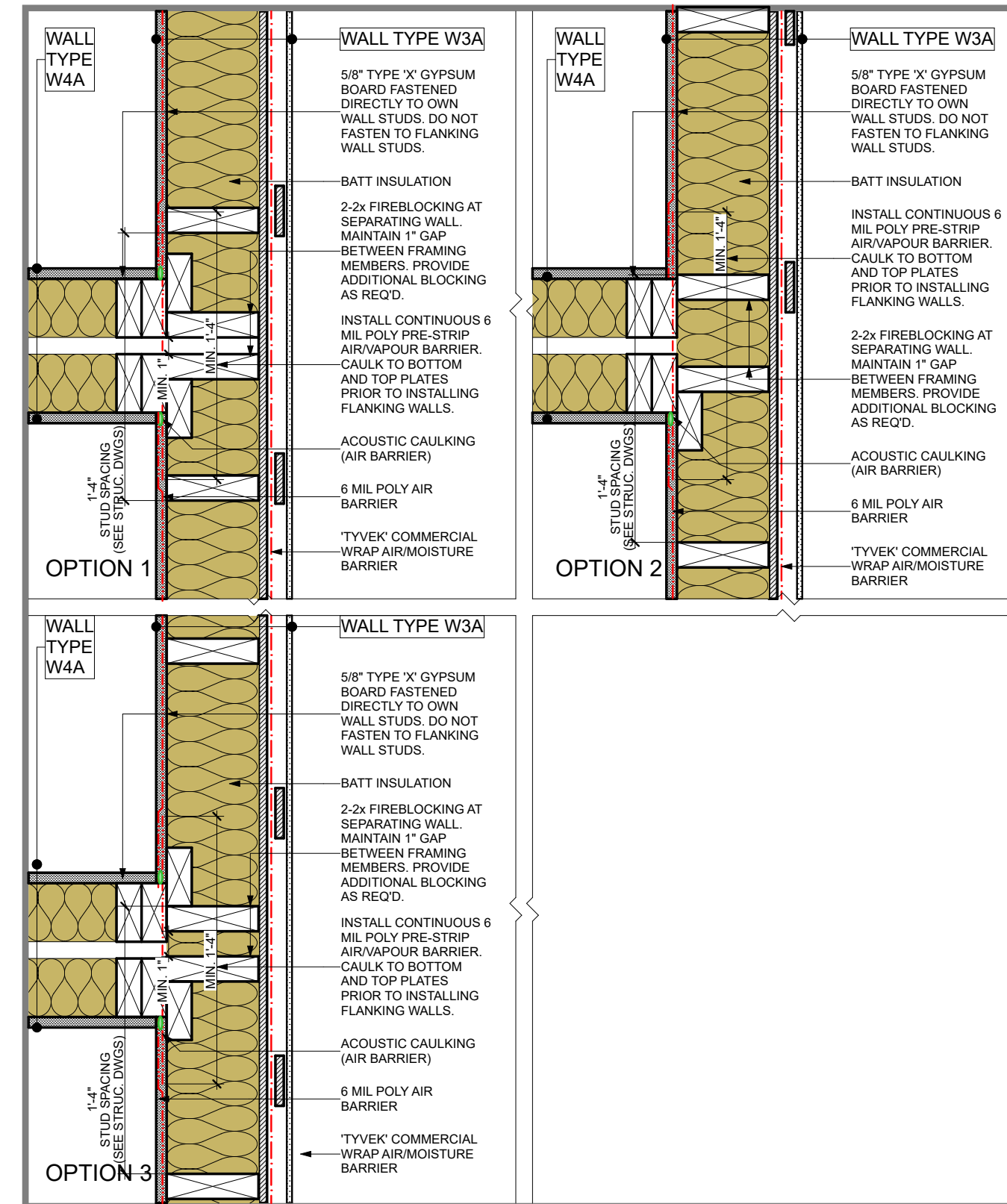
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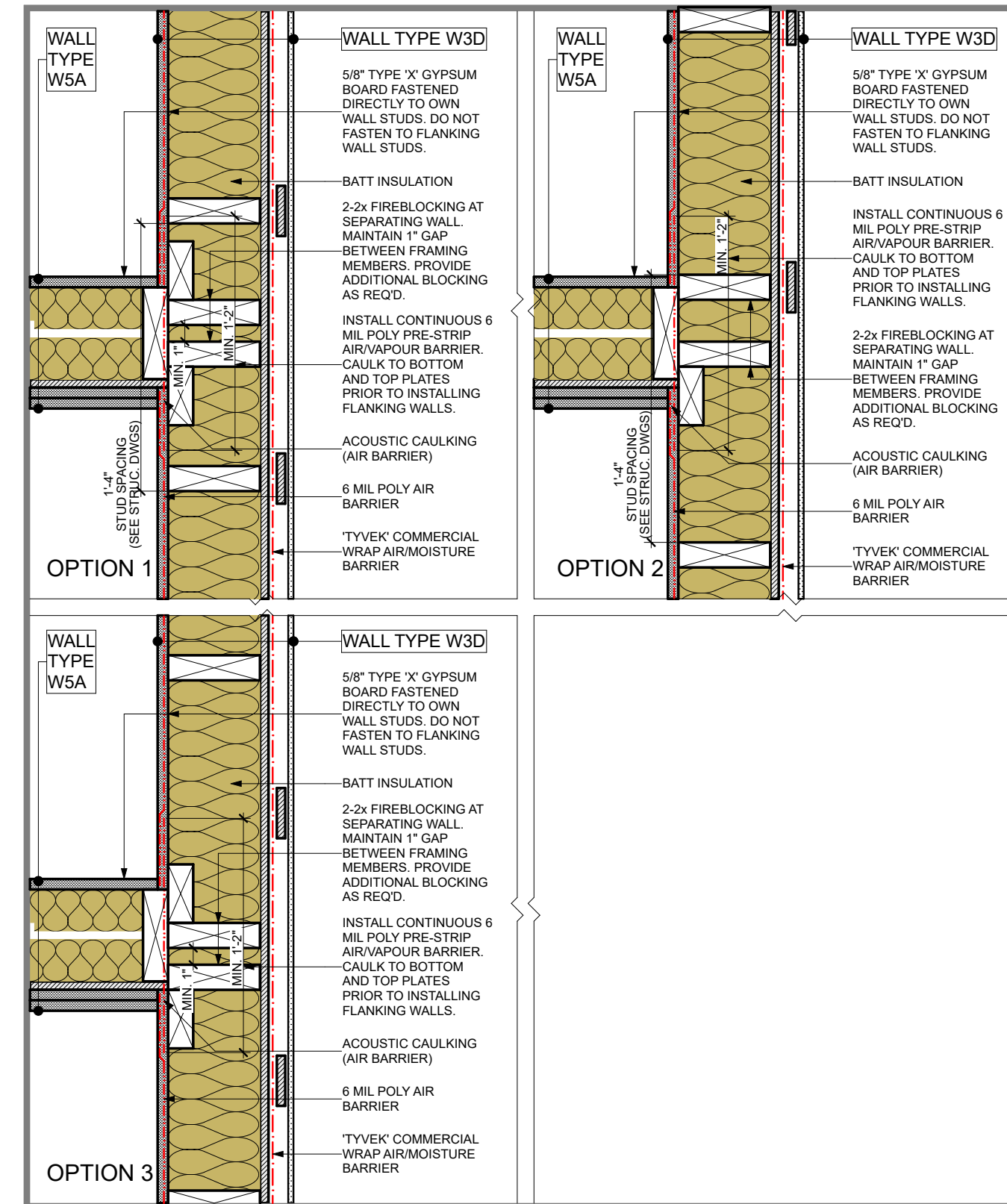
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
 (PROJECT) 19495 (SCALE) 1" = 1'-0" (DATE) 2024-05-29 (DRAWING) 8.0.0.902 (REVISION) BP RESUBMISSION



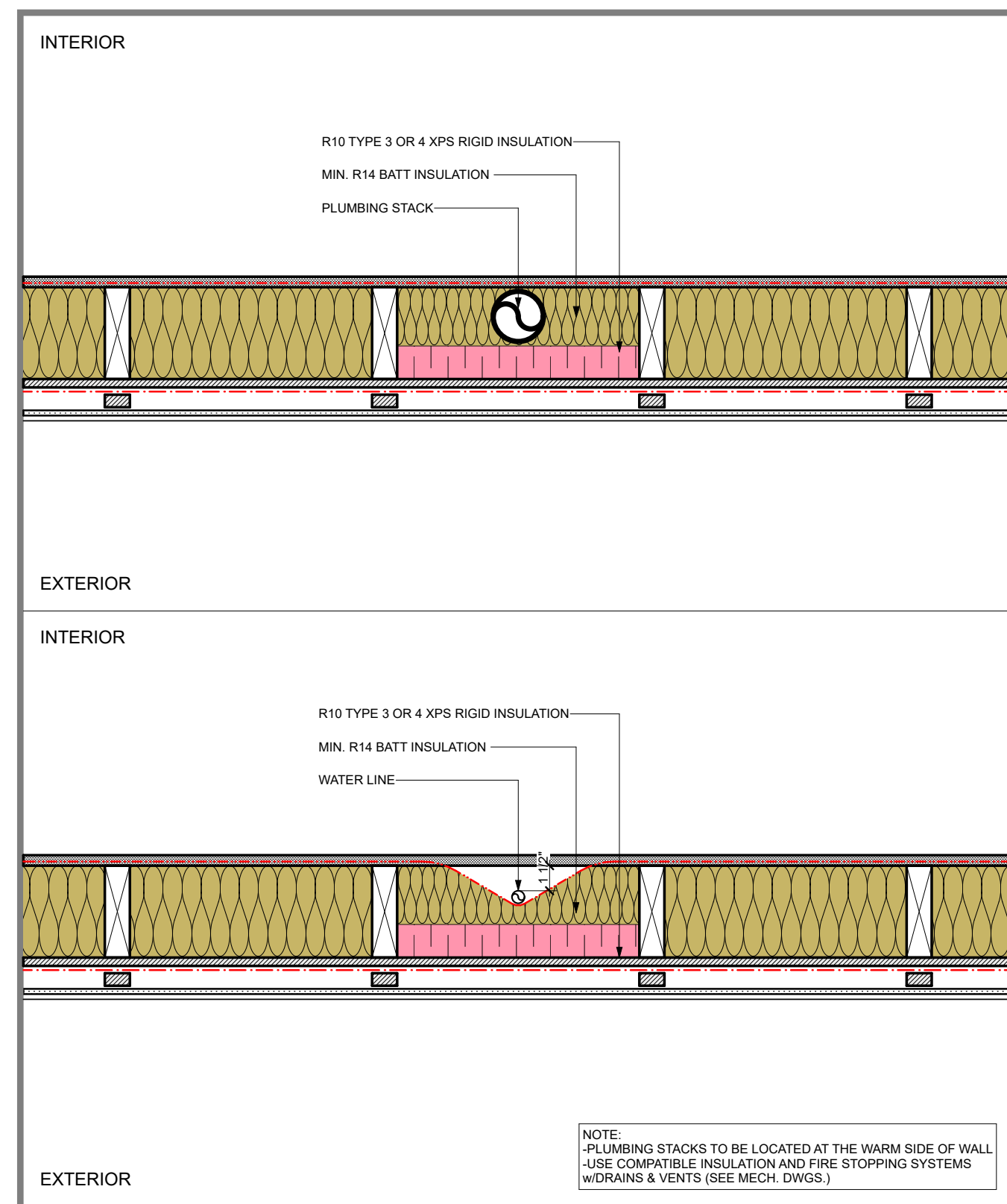
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
 (PROJECT) 19495 (SCALE) 1 1/2" = 1'-0" (DATE) 2024-05-29 (DRAWING) 8.0.7.101 (REVISION) BP RESUBMISSION



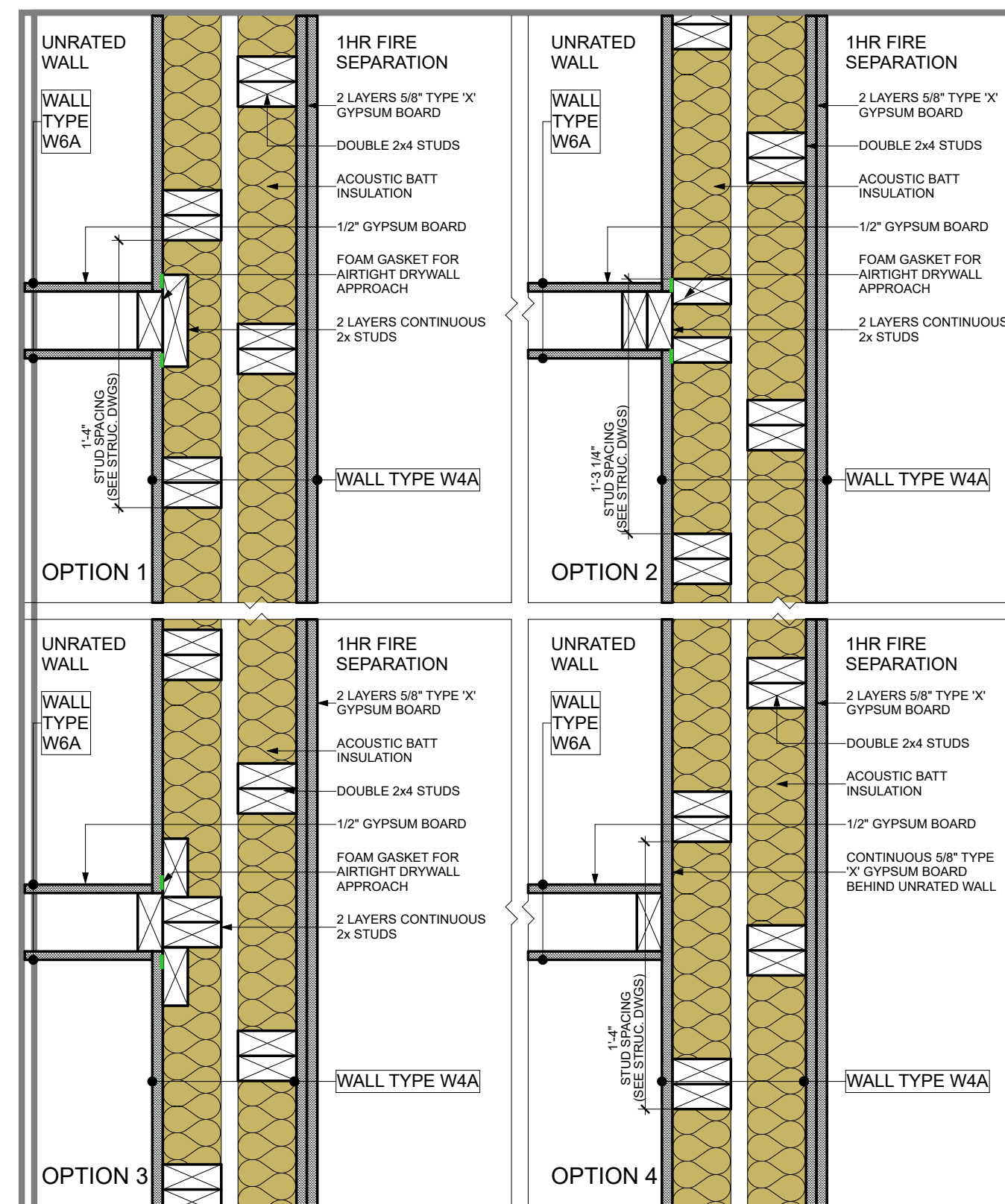
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
 (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (DRAWING) 8.0.7.102 (REVISION) BP RESUBMISSION



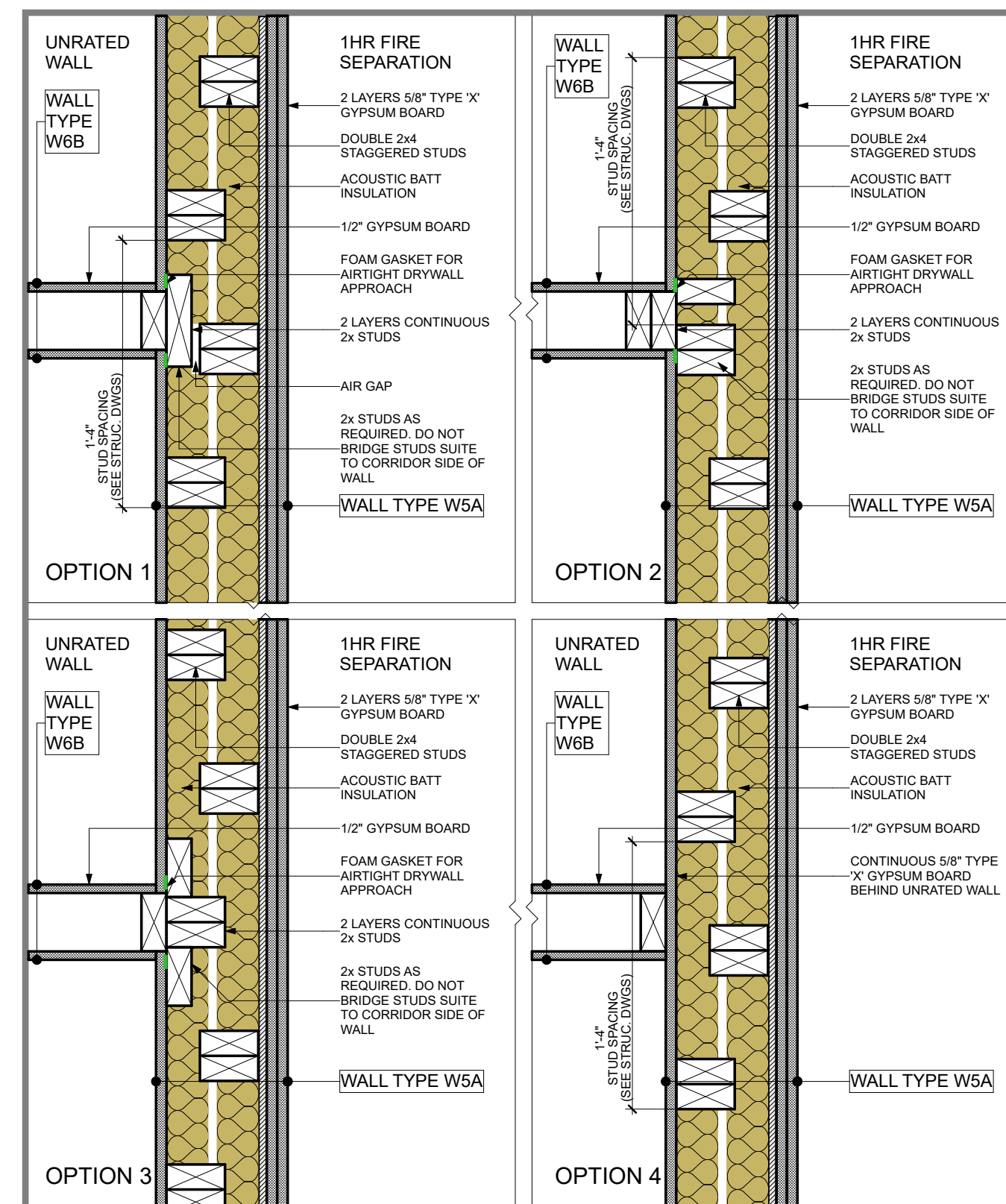
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
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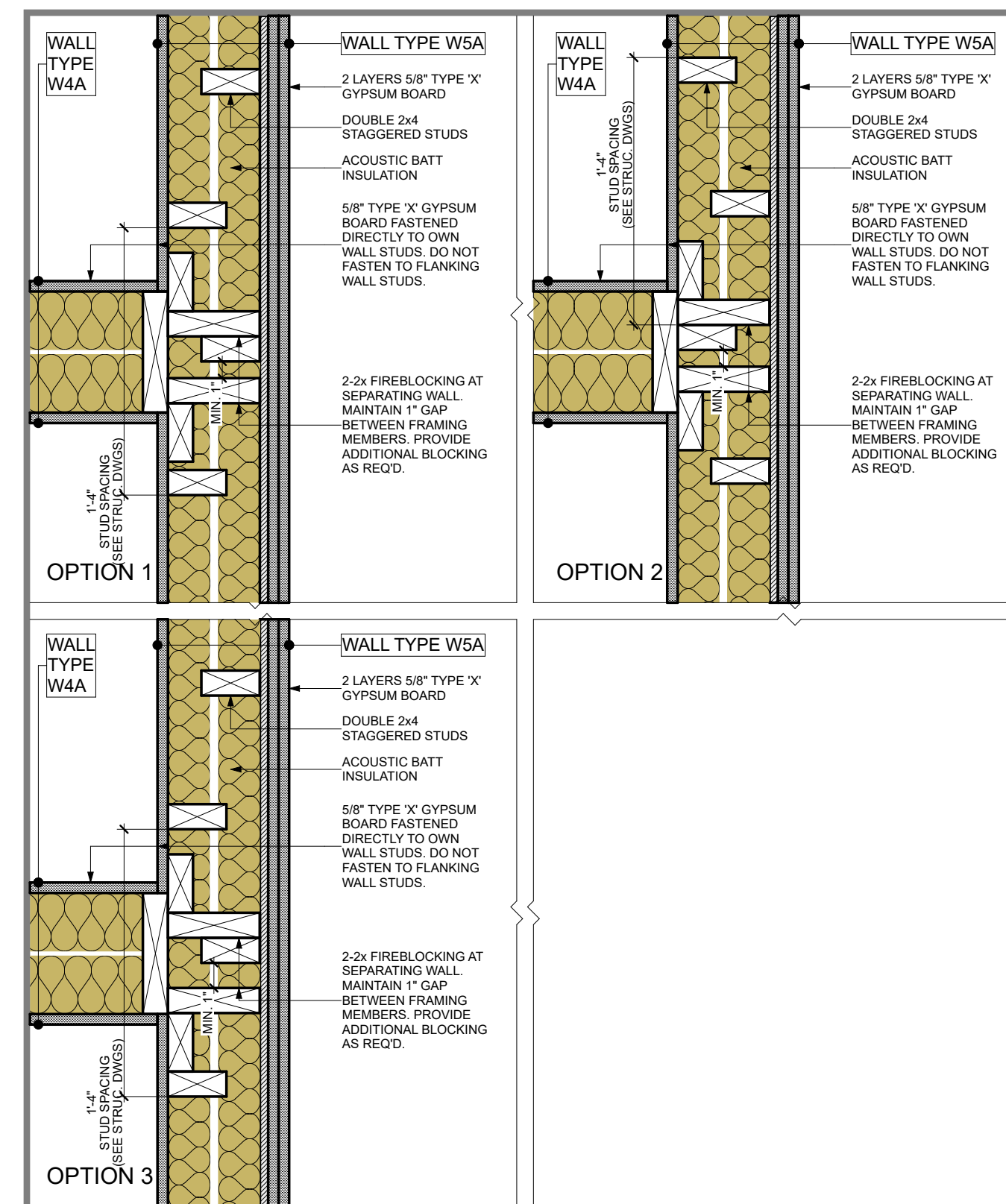
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
 (PROJECT) 19495 (SCALE) 1 1/2" = 1'-0" (DATE) 2024-05-29 (DRAWING) 8.0.7.111 (REVISION) BP RESUBMISSION



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
 (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (DRAWING) 8.0.7.201 (REVISION) BP RESUBMISSION



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 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
 (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (DRAWING) 8.0.7.301 (REVISION) BP RESUBMISSION



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220
 (CLIENT) RF PROPERTIES (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
 (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (DRAWING) 8.0.7.302 (REVISION) BP RESUBMISSION

[PROJECT TEAM]

[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

DETAILS

19495 [PROJECT]

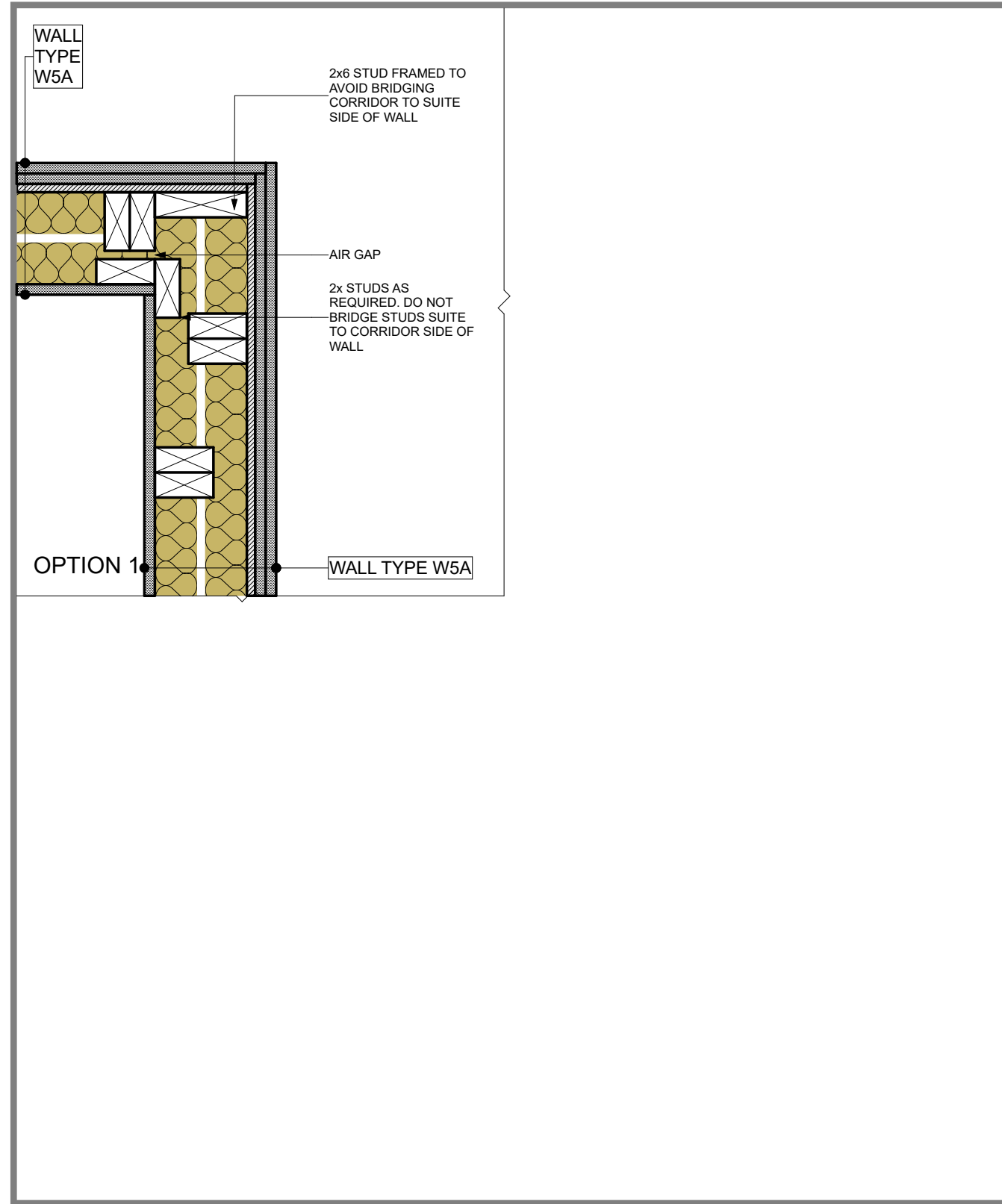
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2024-10-04 [DATE]

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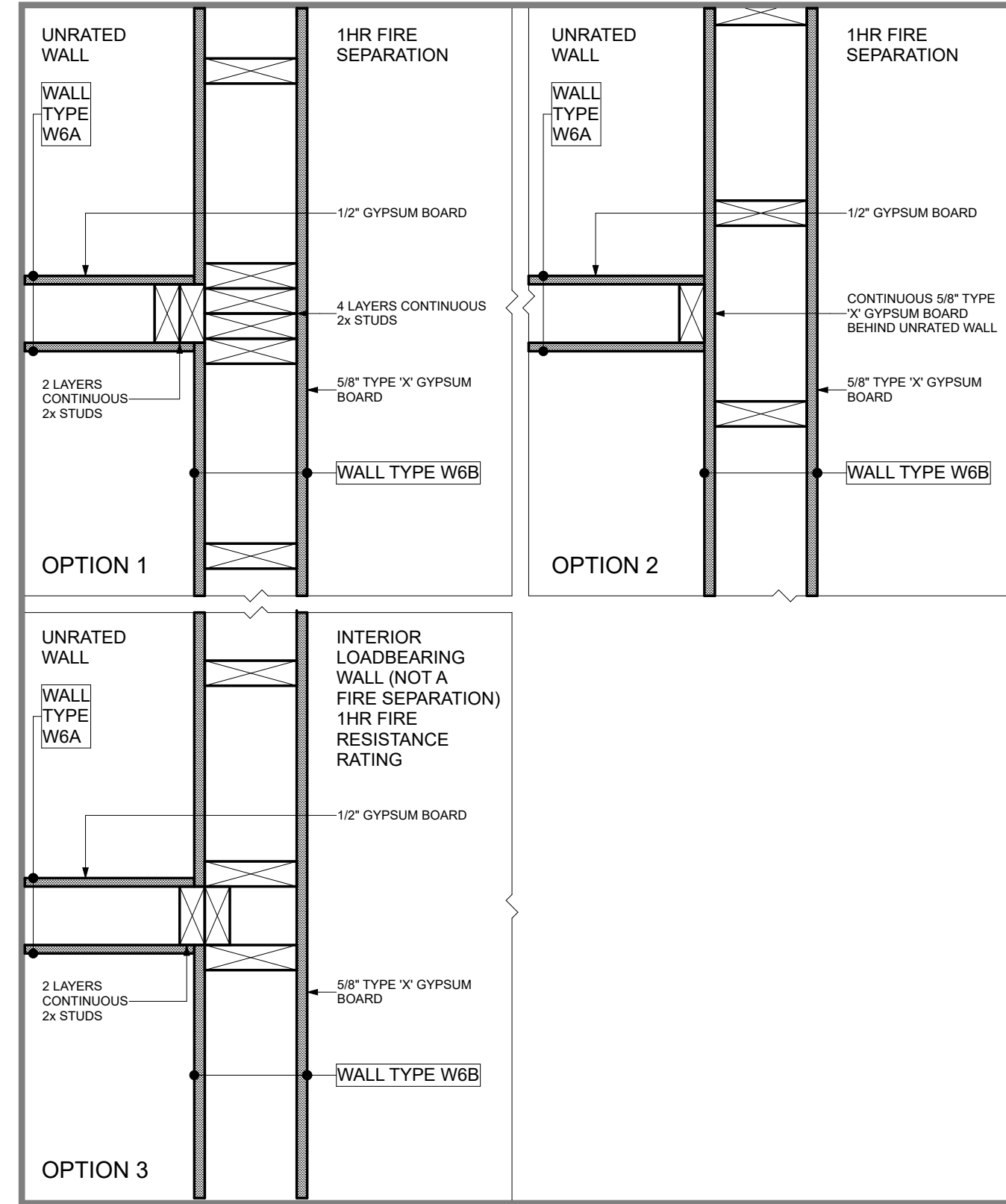
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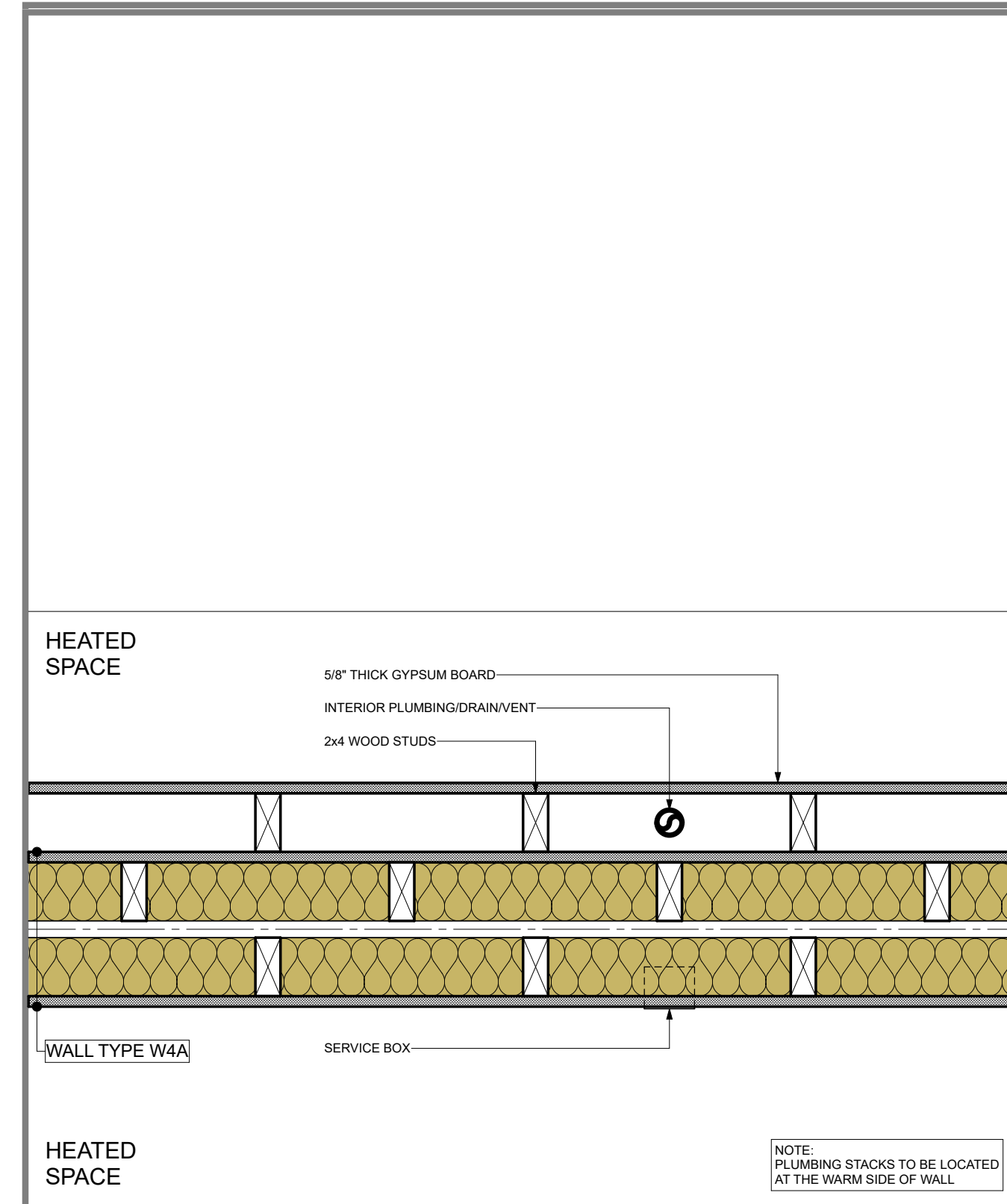
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220

CORNER CORRIDOR WALL (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 8.0.7.311 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 8.0.7.311



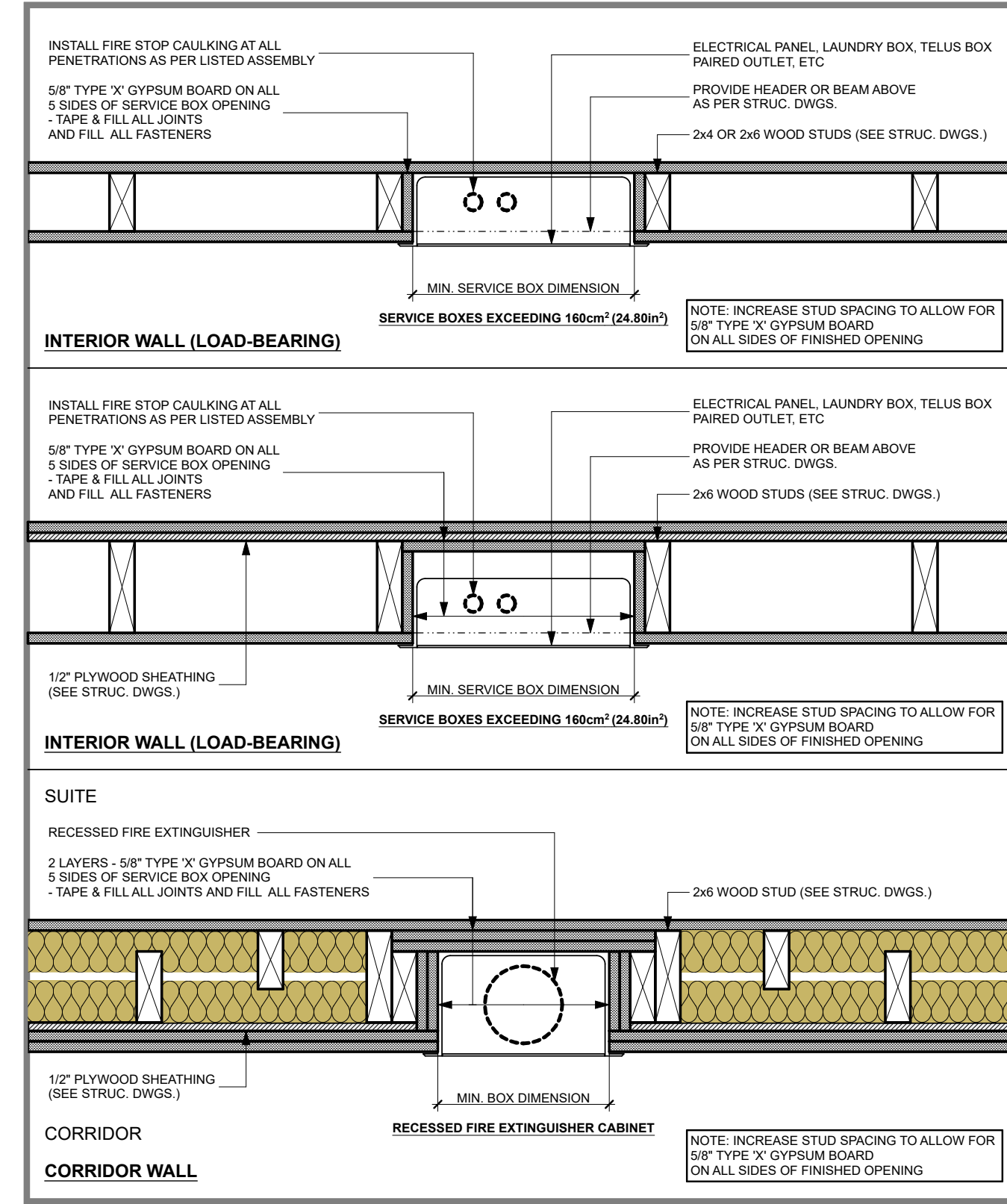
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220

UNRATED WALL AT RATED INTERIOR WALL (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 8.0.7.501 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 8.0.7.501



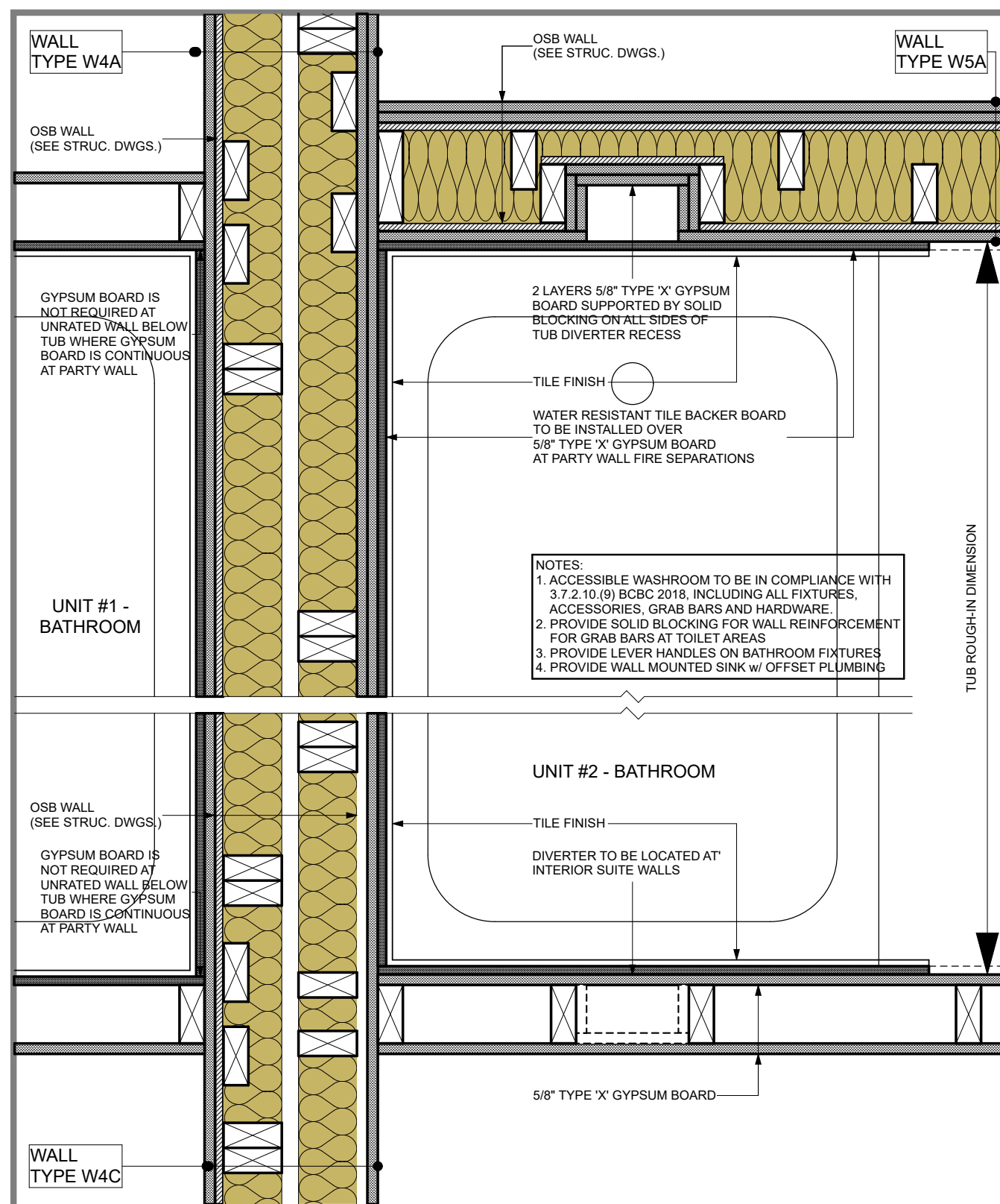
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220

SERVICES AT PARTY AND CORRIDOR WALLS (PROJECT) 19495 (SCALE) 1 1/2" = 1'-0" (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 8.0.7.901 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 8.0.7.901



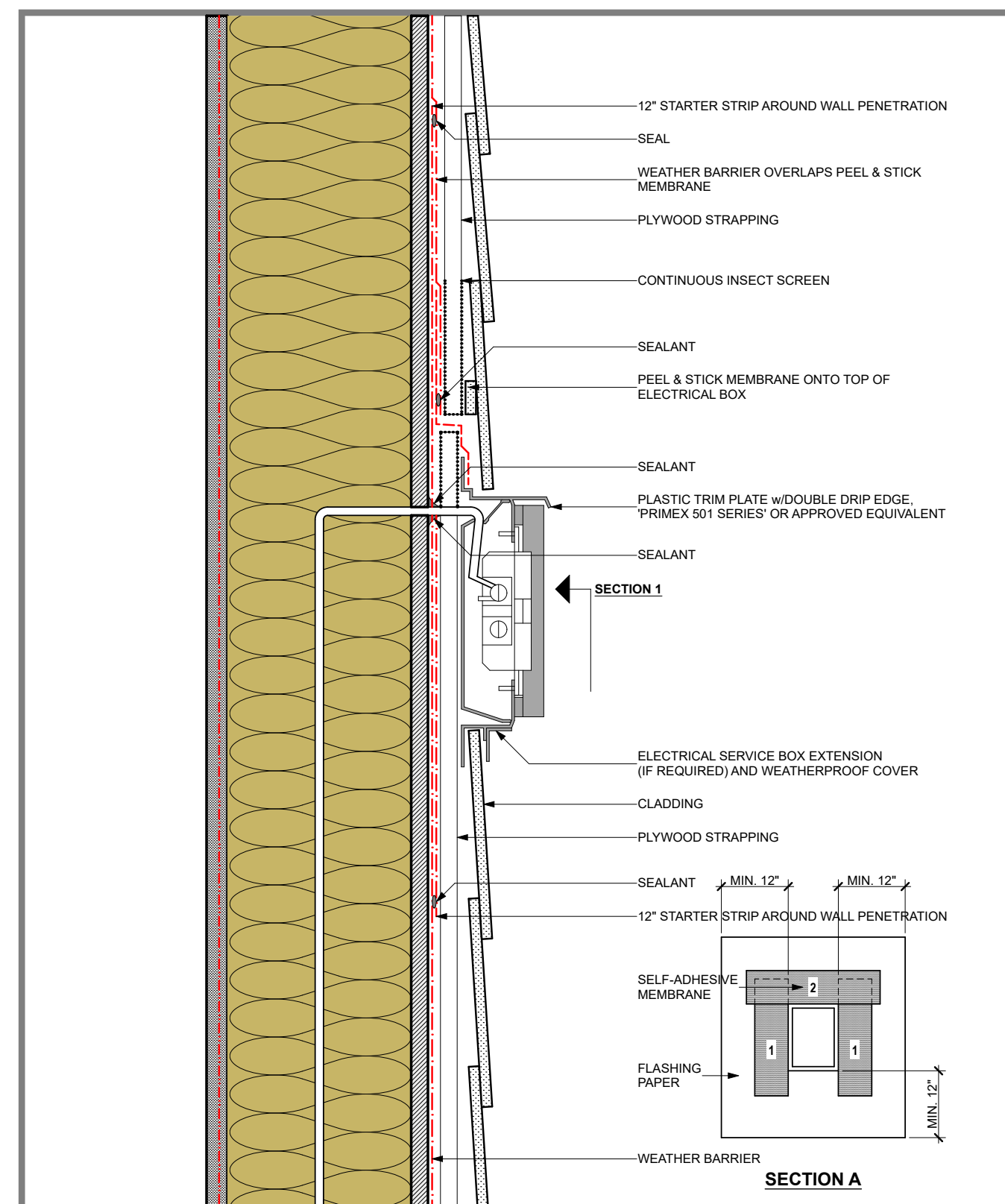
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220

SUITE SERVICE BOXES @ INTERIOR WALLS & CORRIDOR FIRE EXTINGUISHER CABINET DETAIL (PROJECT) 19495 (SCALE) 1 1/2" = 1'-0" (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 8.0.7.902 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 8.0.7.902



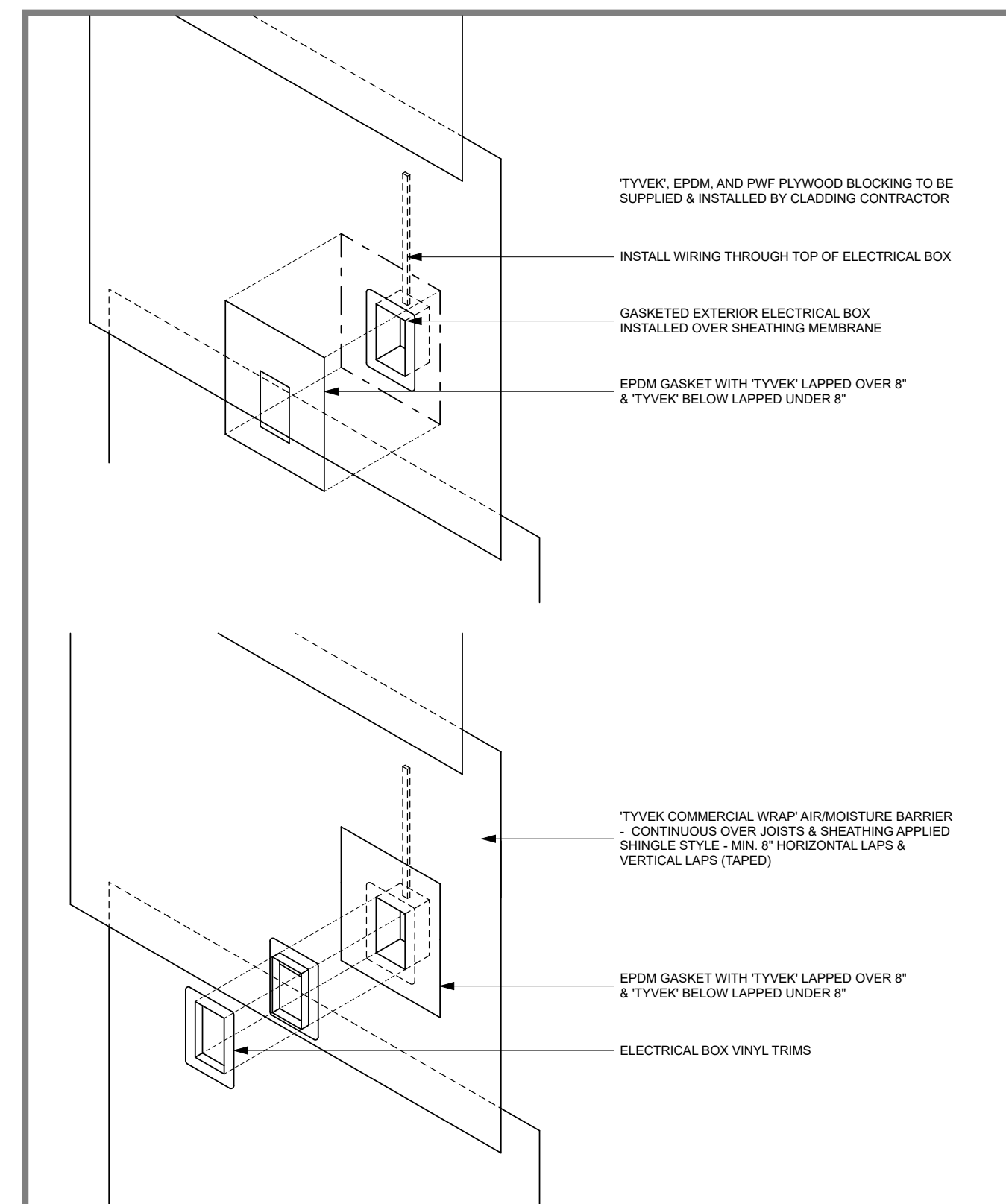
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220

BATHTUB OR SHOWER AND CONTROLS AT PARTWALL AND CORRIDOR WALL (PROJECT) 19495 (SCALE) 1 1/2" = 1'-0" (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 8.0.7.912 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 8.0.7.912



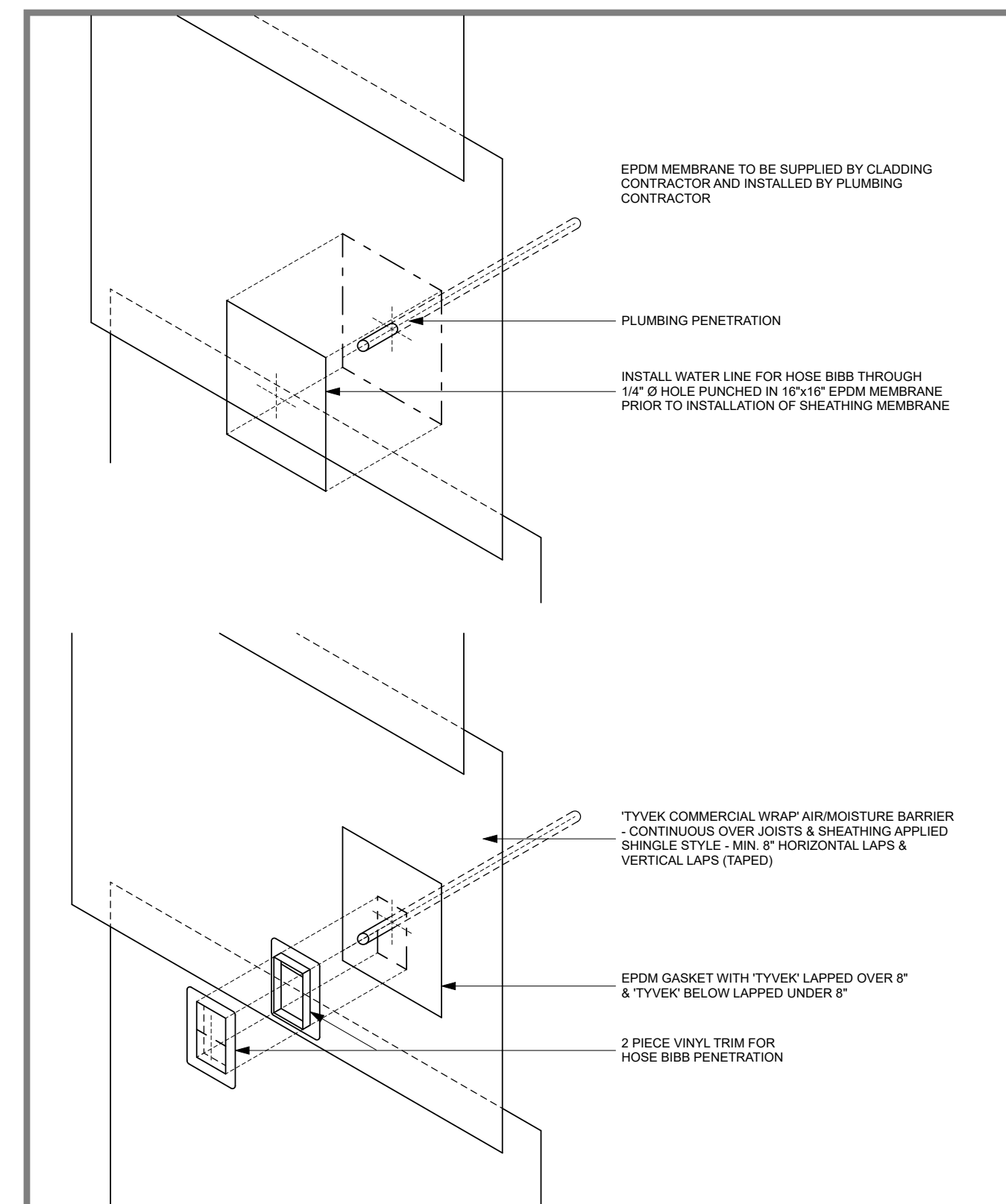
Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220

ELECTRICAL BOX INSTALLATION (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 9.0.0.111 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 9.0.0.111



Integra ARCHITECTURE INC. 2330-200 Granville Street Vancouver, BC, V6C 1S4 www.integra-arch.com Telephone: 604 688 4220

ELECTRICAL OUTLET PENETRATION (PROJECT) 19495 (SCALE) 1" = 1'-0" (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 9.0.0.901 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 9.0.0.901



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HOSE BIBB PENETRATION (PROJECT) 19495 (SCALE) Not To Scale (DATE) 2024-05-29 (CLIENT) RF PROPERTIES (DRAWING) 9.0.0.902 (PROJECT) RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC (DRAWING) 9.0.0.902

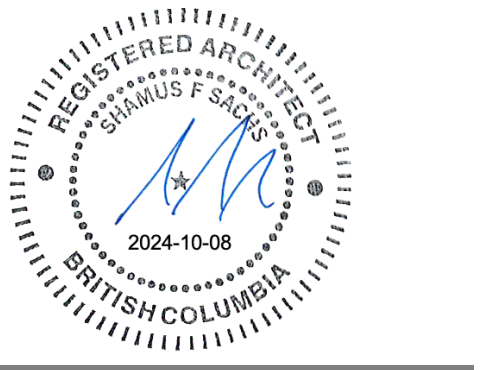


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[ARCHITECT SEAL]

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REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

DETAILS

[PROJECT]

19495 [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-6.209



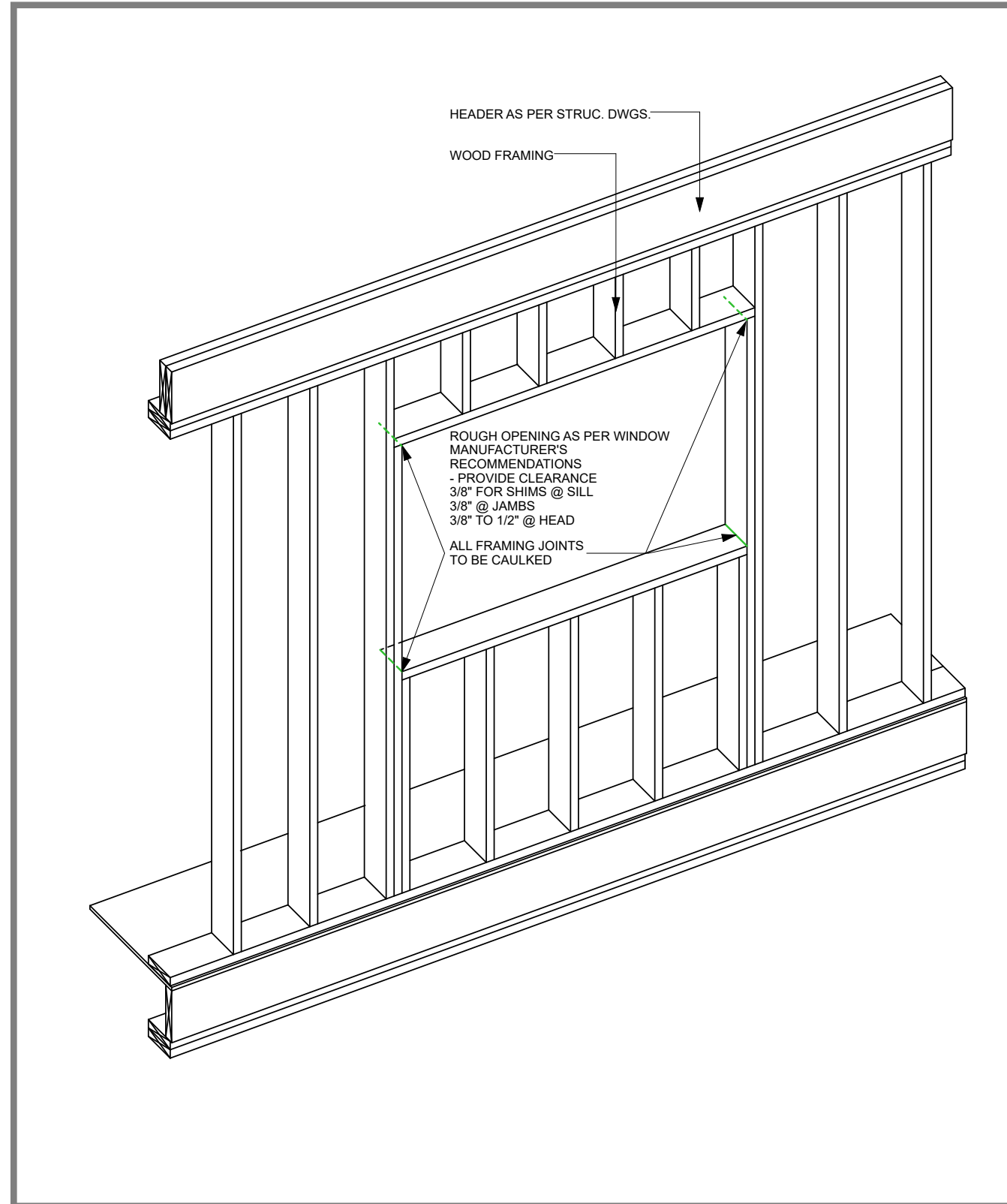
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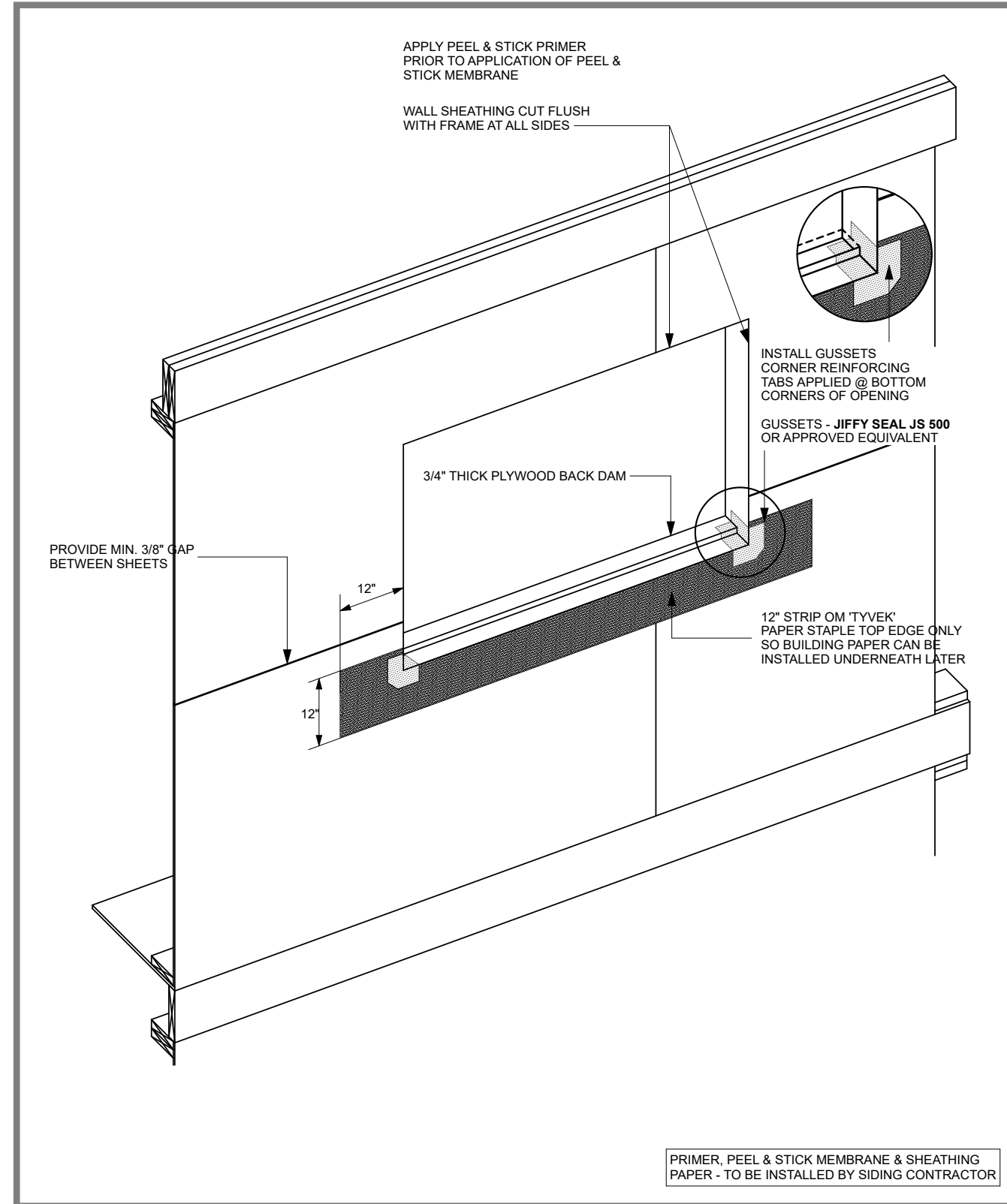
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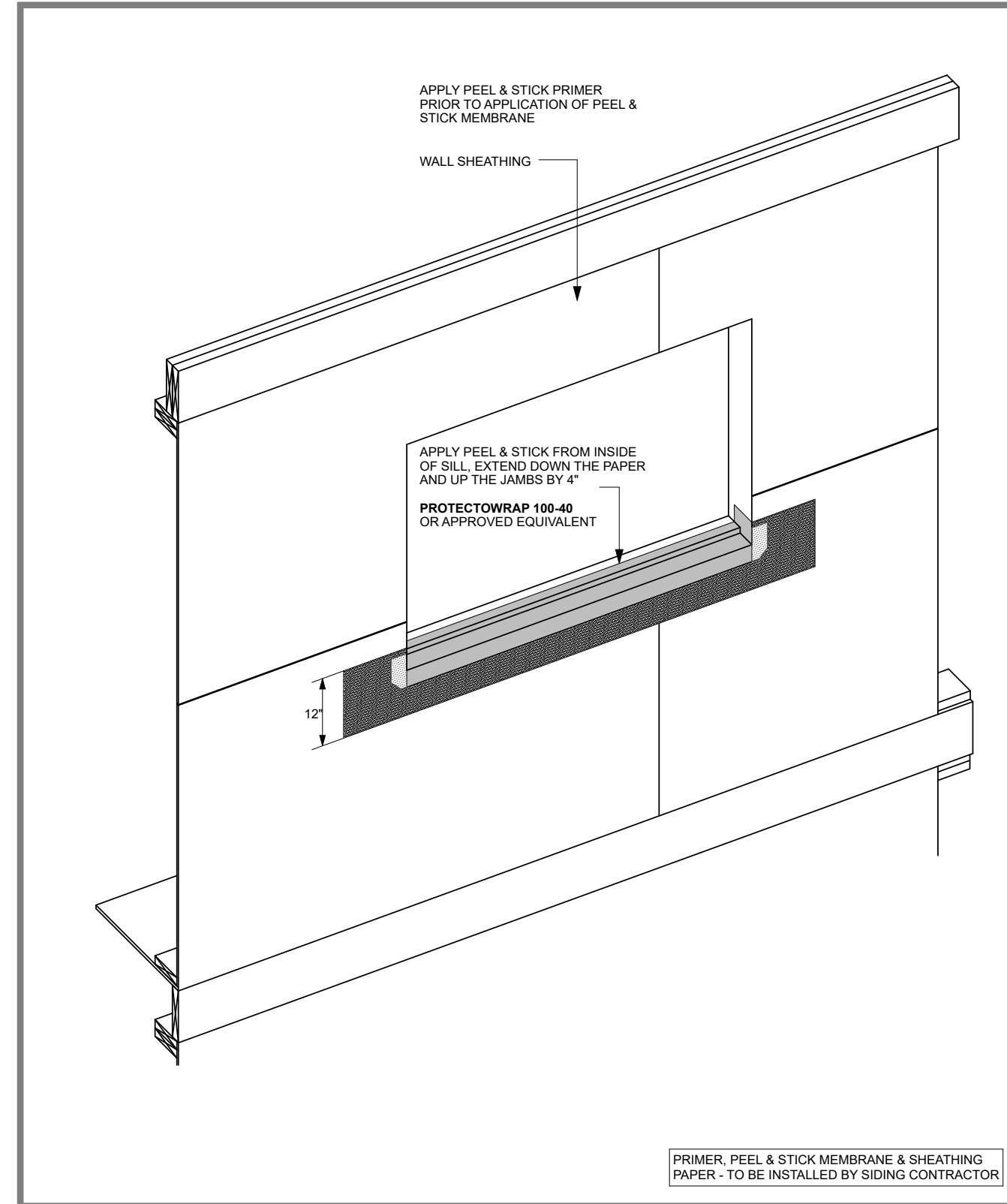
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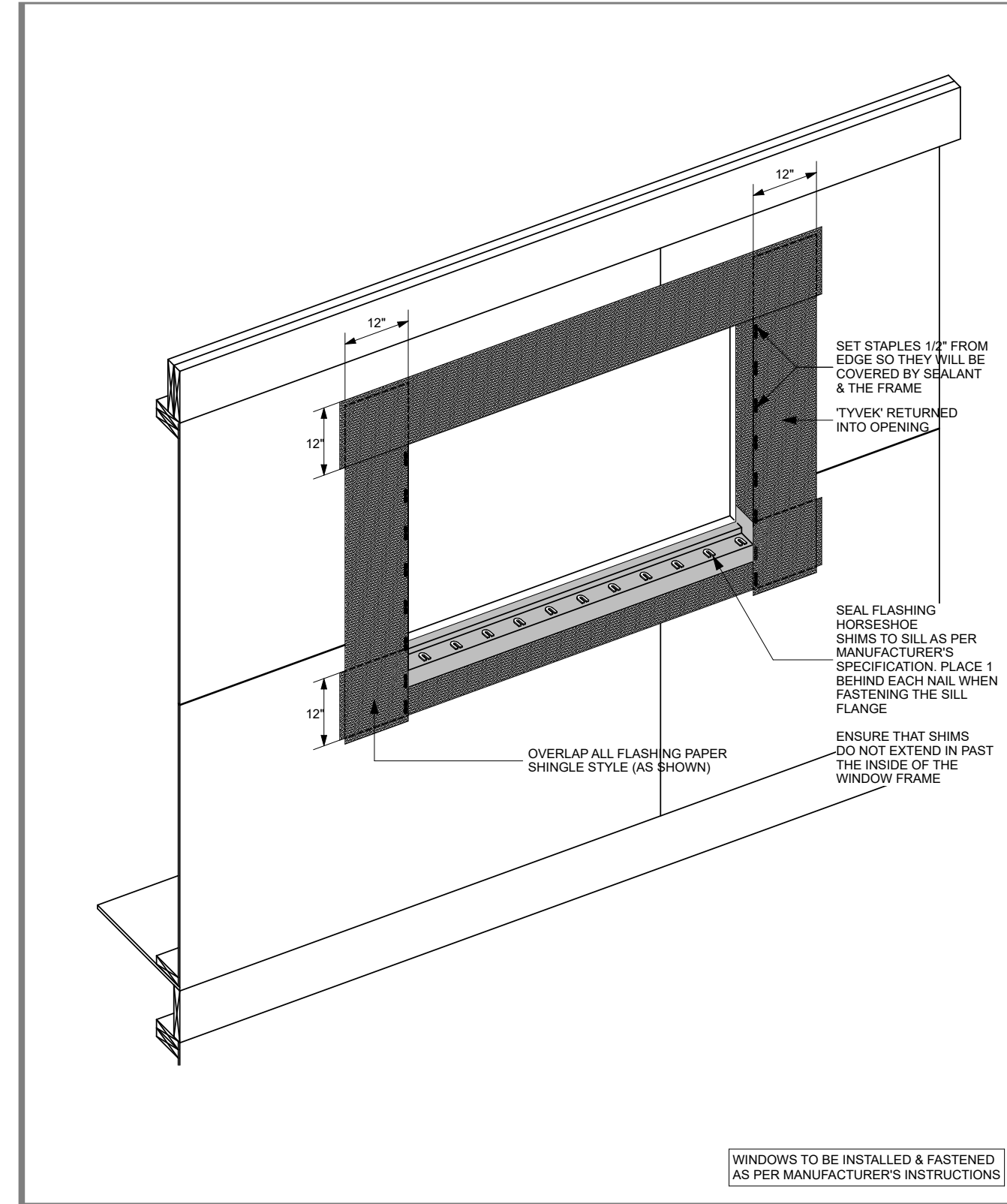
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[PROJECT] 19495
[SCALE] Not To Scale
[DATE] 2024-05-29
[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[DRAWING] 9.0.7.601



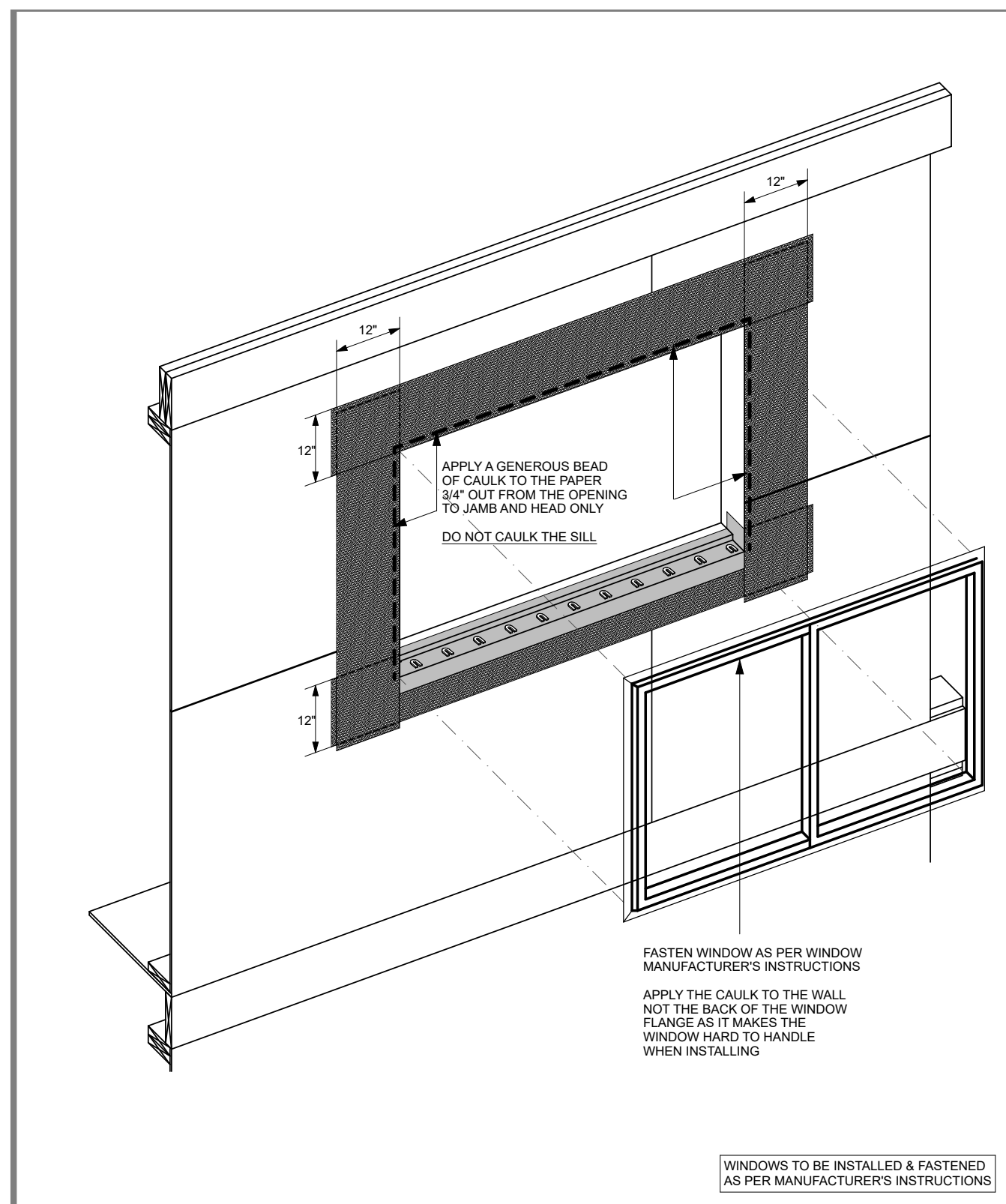
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[PROJECT] 19495
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[DATE] 2024-05-29
[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[DRAWING] 9.0.7.602



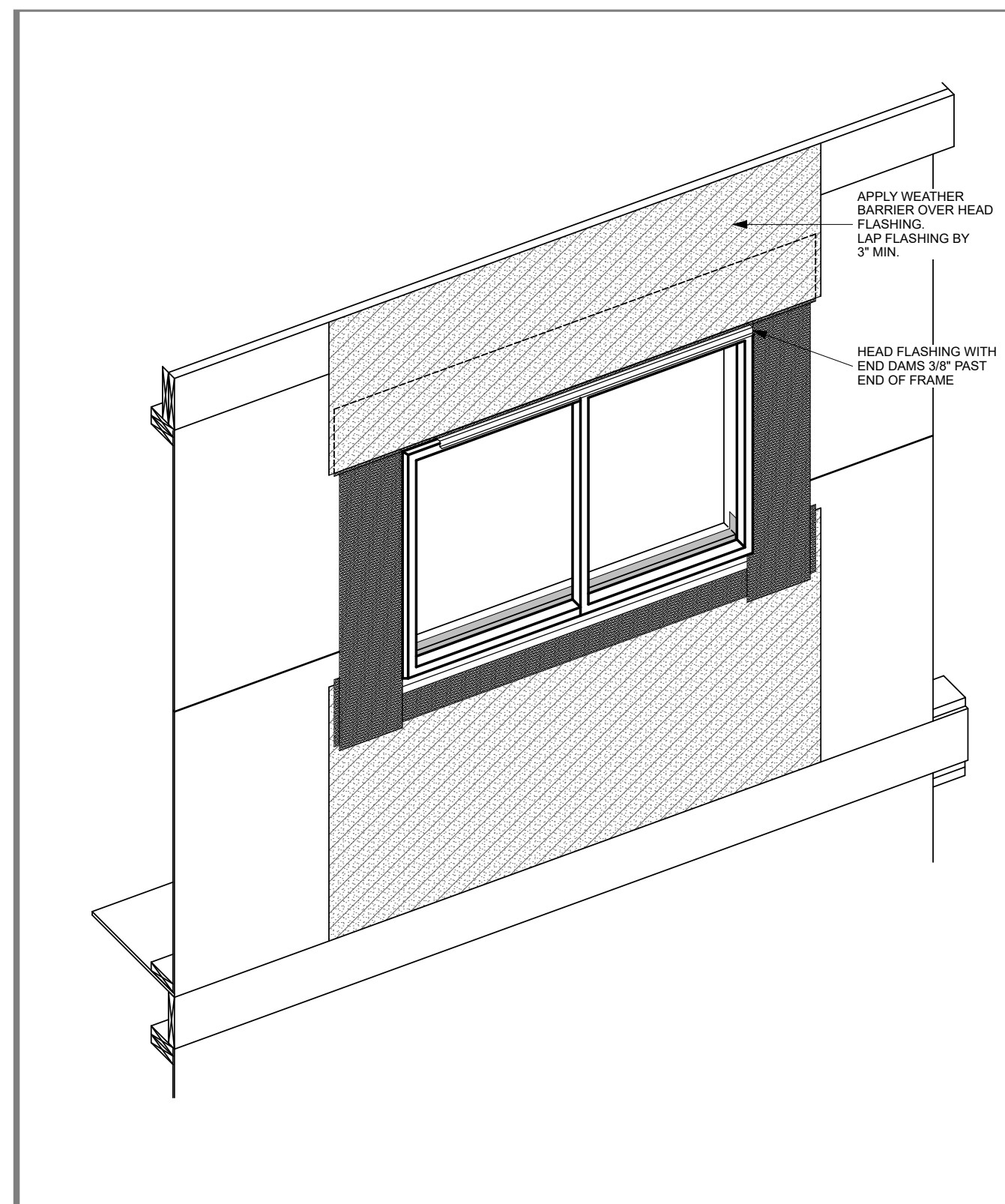
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[DATE] 2024-05-29
[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
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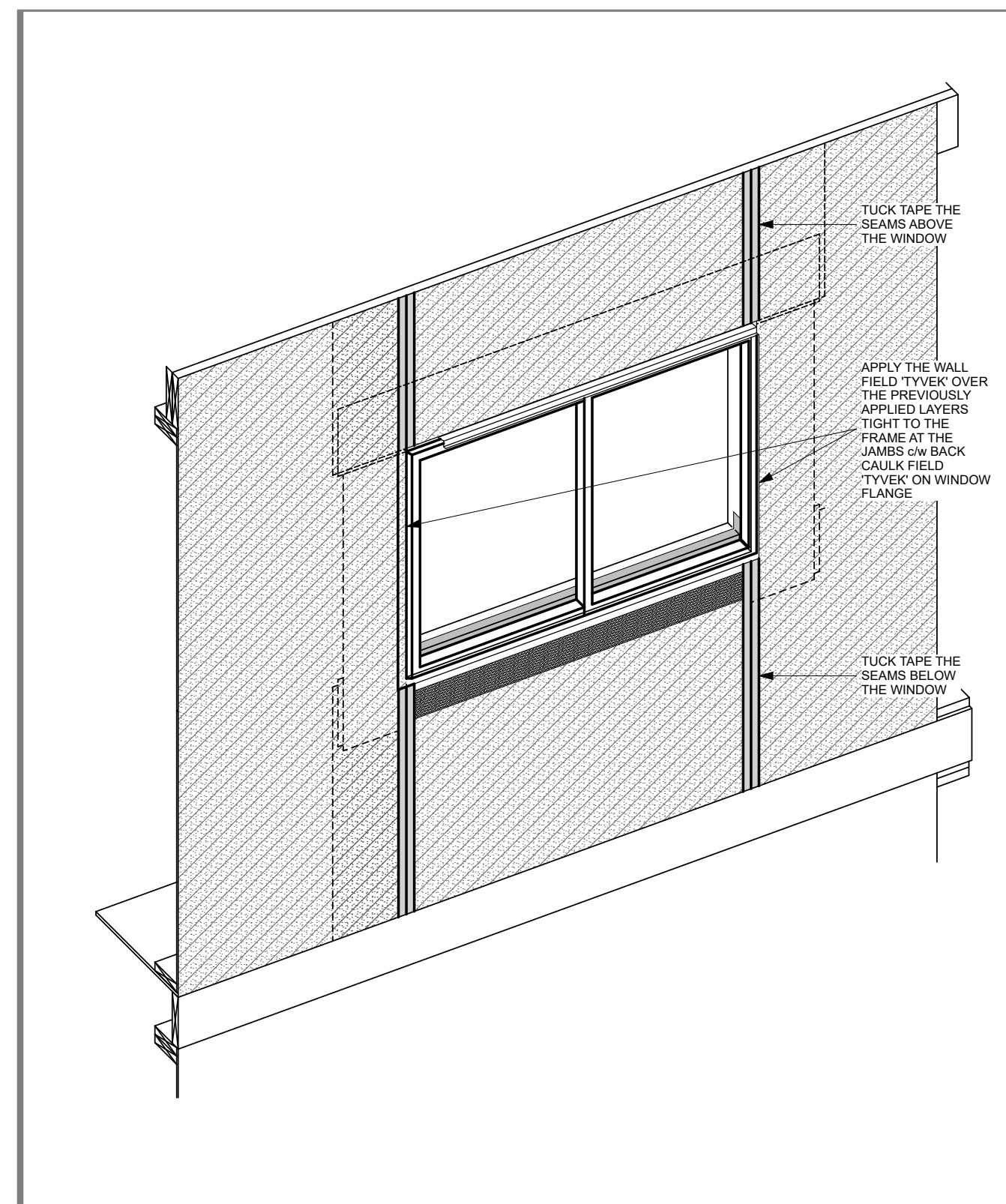
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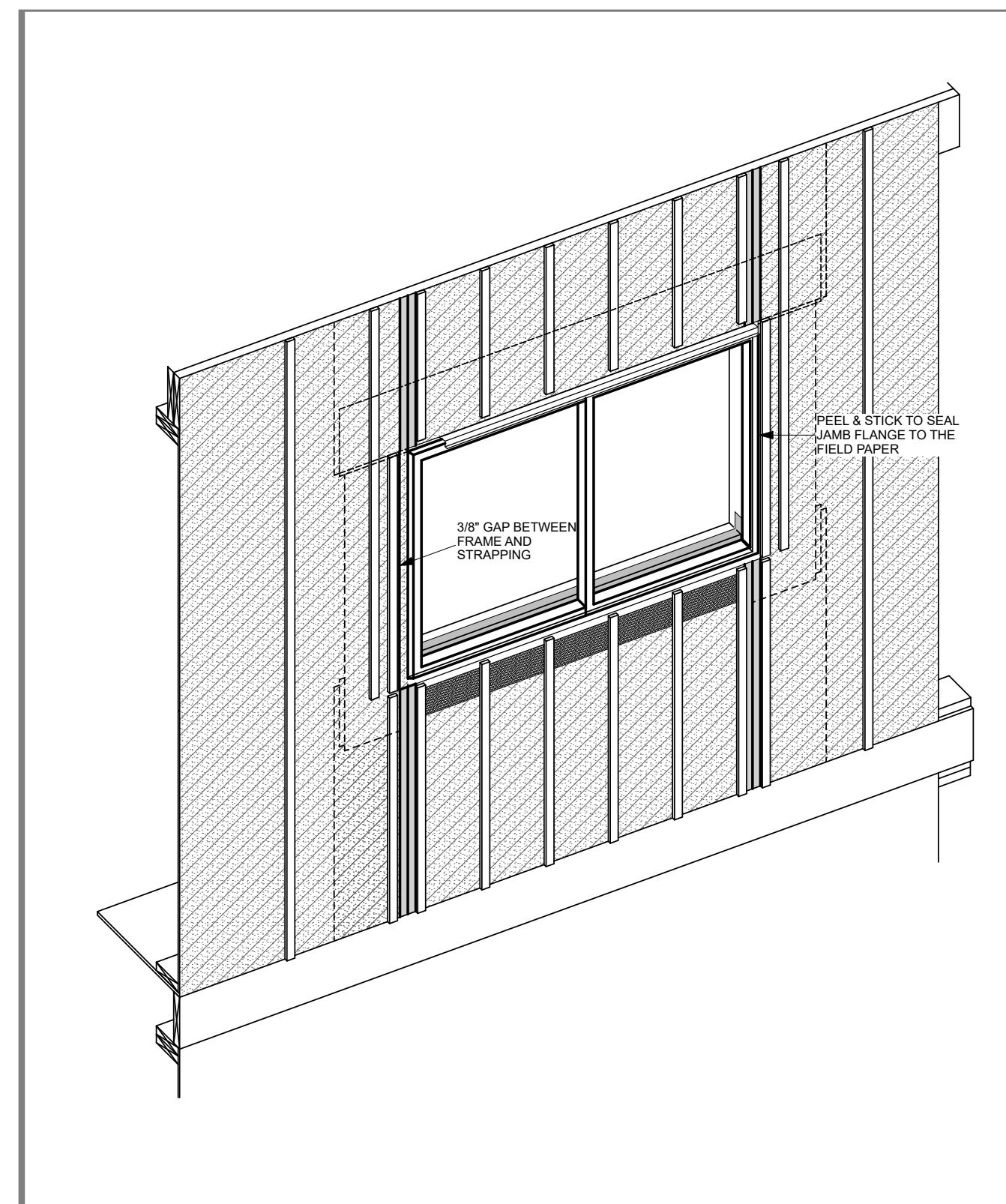
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[DATE] 2024-05-29
[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[DRAWING] 9.0.7.605



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[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[DRAWING] 9.0.7.606



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[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[DRAWING] 9.0.7.607



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[SCALE] Not To Scale
[DATE] 2024-05-29
[CLIENT] RF PROPERTIES
[PROJECT] RENTAL DEVELOPMENT 206 EAST 12TH STREET NORTH VANCOUVER, BC
[DRAWING] 9.0.7.608



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[CLIENT]

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[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET NORTH VANCOUVER, BC

[TITLE]

DETAILS

19495

[PROJECT]

2024-10-04

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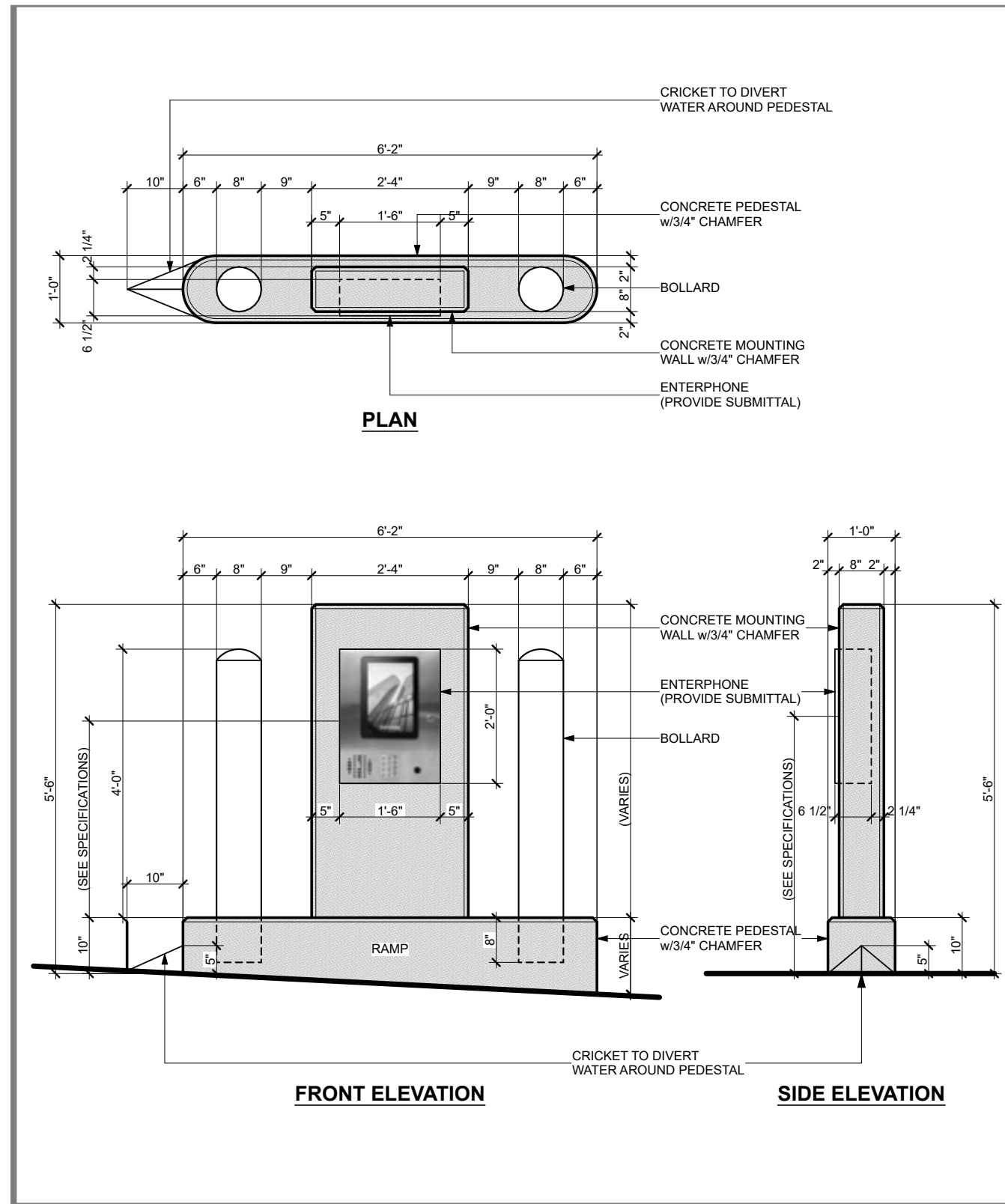
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[ISSUE]

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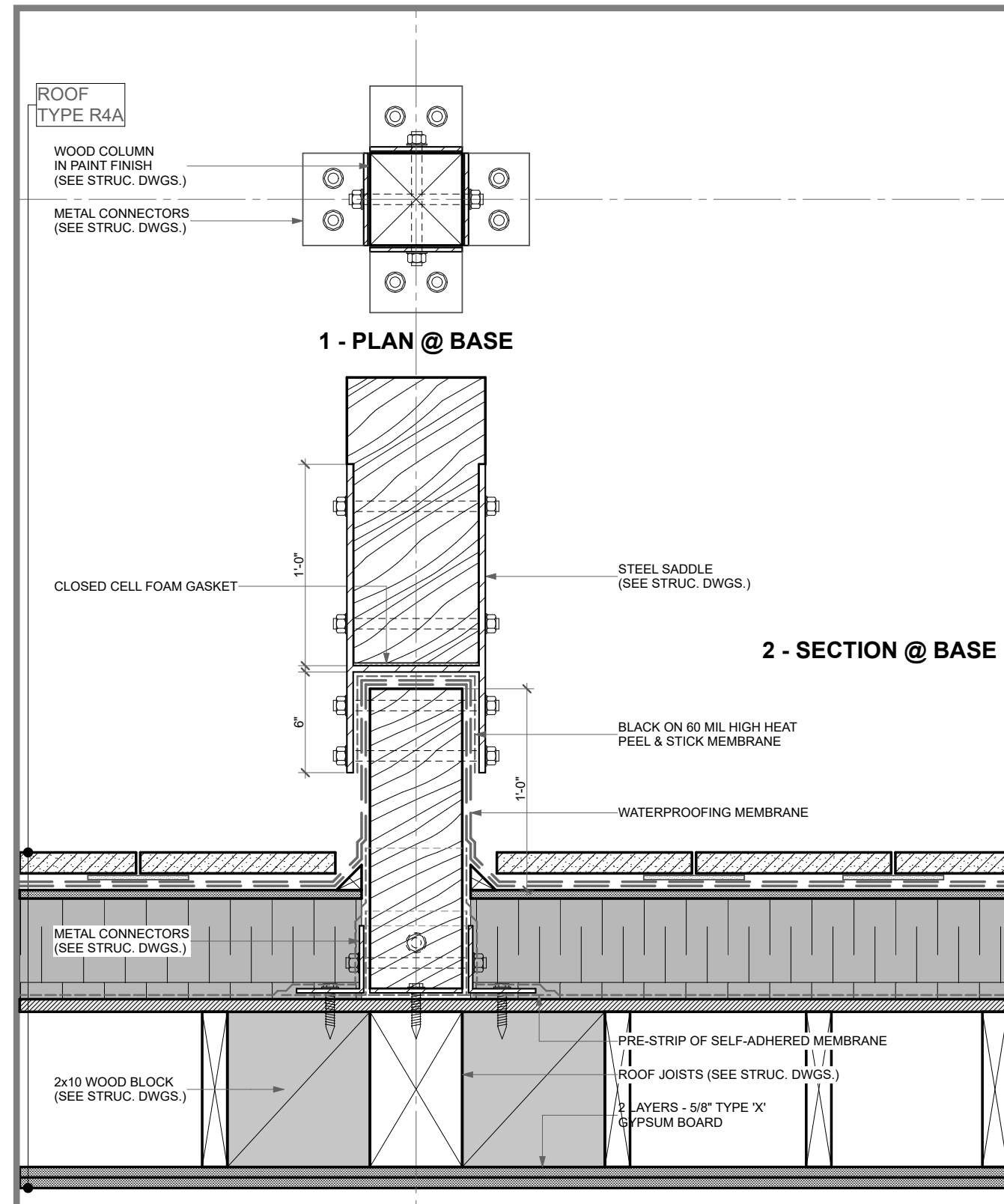
A-6.210



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PROJECT: PARKING ENTERPHONE DETAIL
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

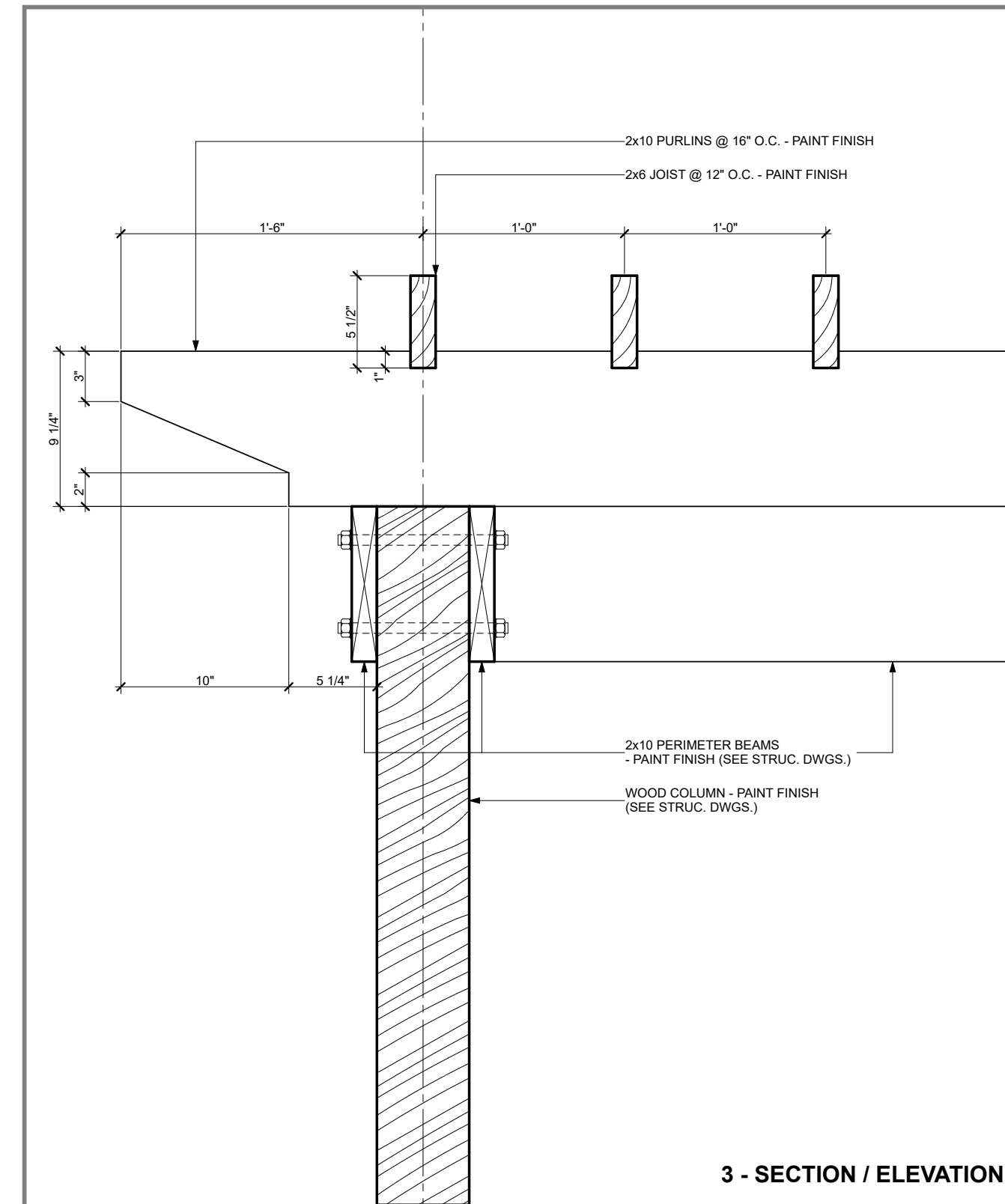
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SCALE: Not To Scale
DATE: 2024-02-19
USER: IFT
ISSUE: 9.1.1.901



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PROJECT: TRELLIS POST AT MAIN ROOF (BASE)
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

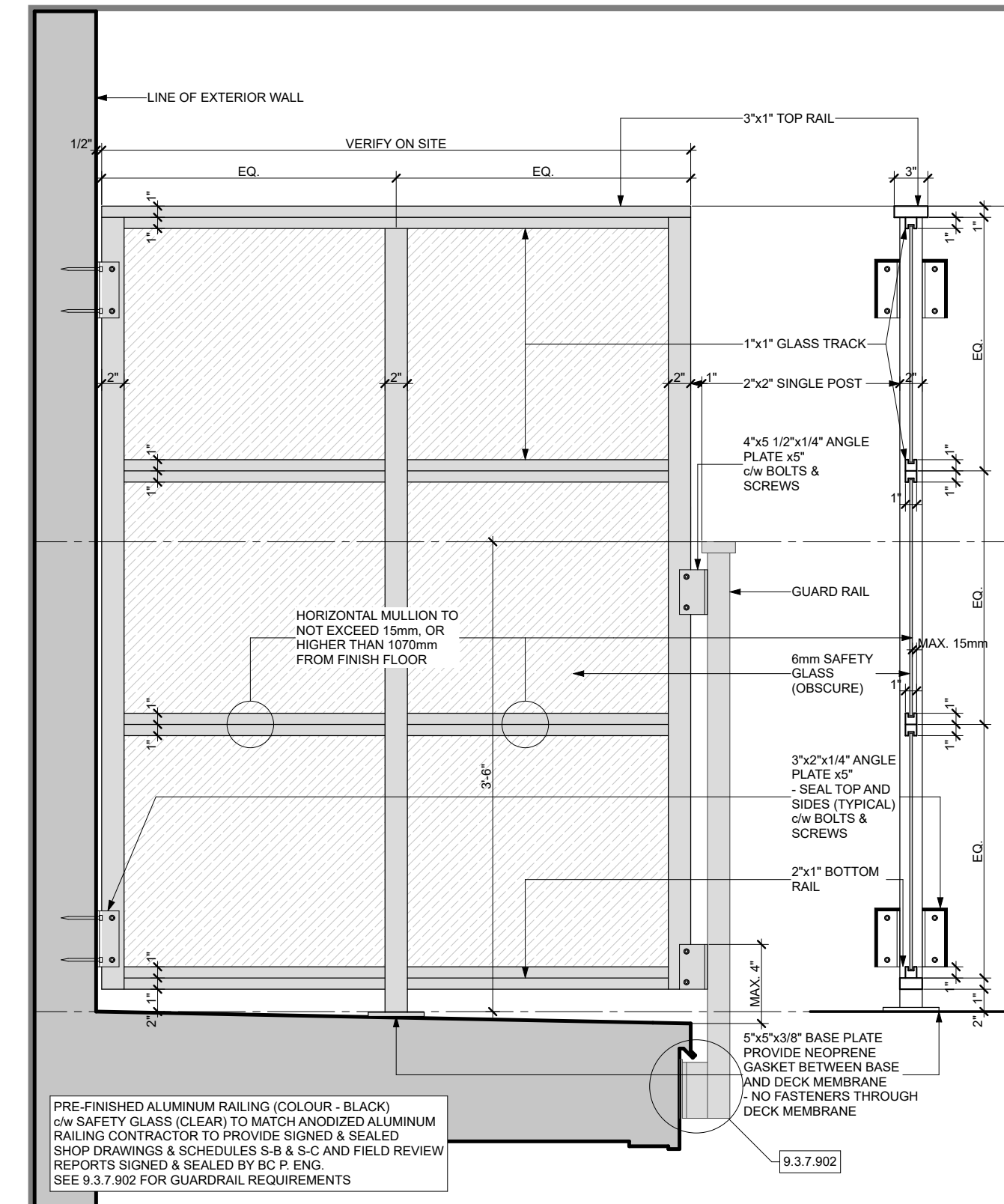
PROJECT: 19495
SCALE: 1 1/2" = 1'-0"
DATE: 2024-02-19
USER: IFT
ISSUE: 9.3.0.901



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PROJECT: TRELLIS POST AT MAIN ROOF
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

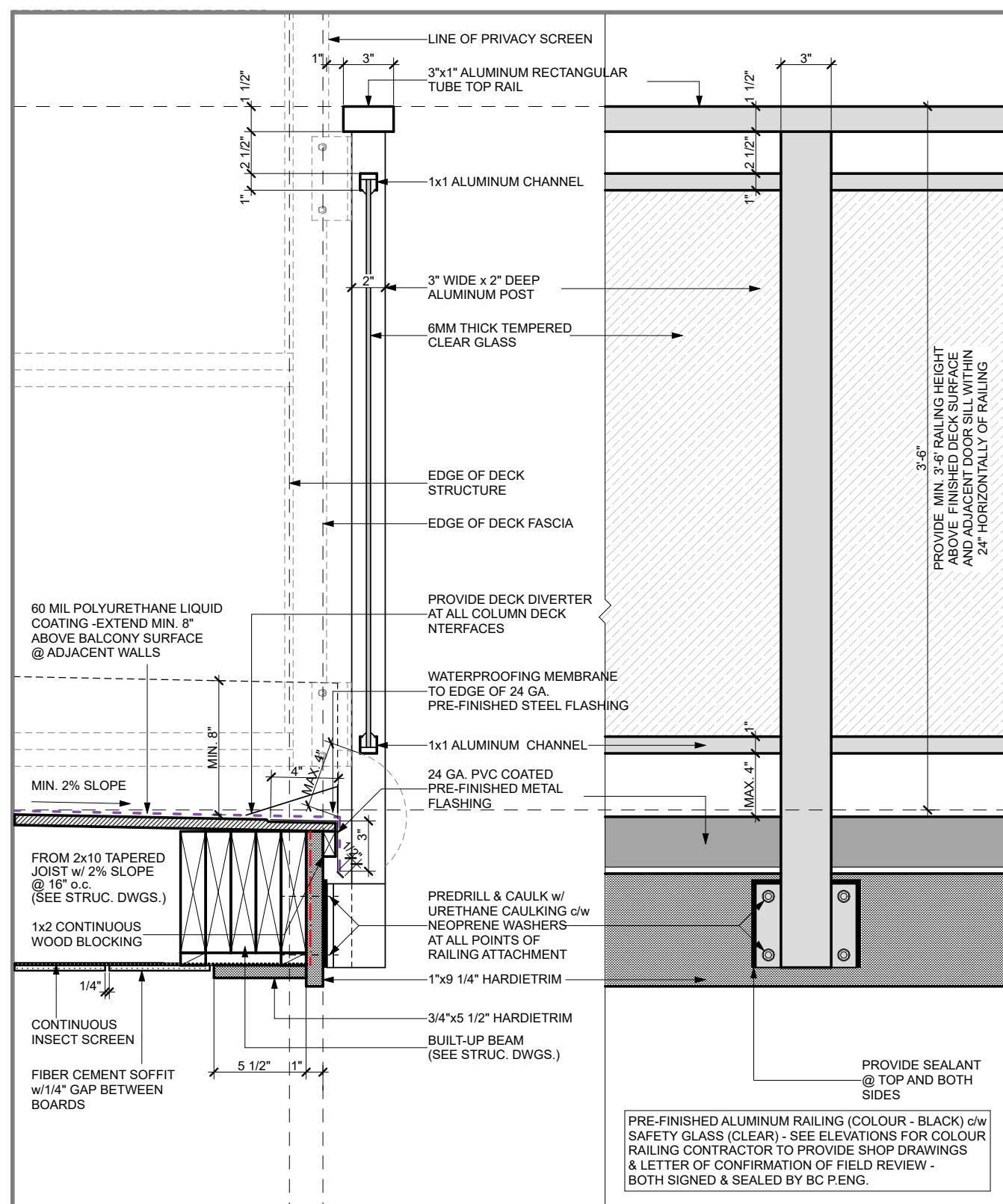
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SCALE: 1 1/2" = 1'-0"
DATE: 2024-02-19
USER: IFT
ISSUE: 9.3.0.902



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PROJECT: PRIVACY SCREEN DETAIL - TYPICAL
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

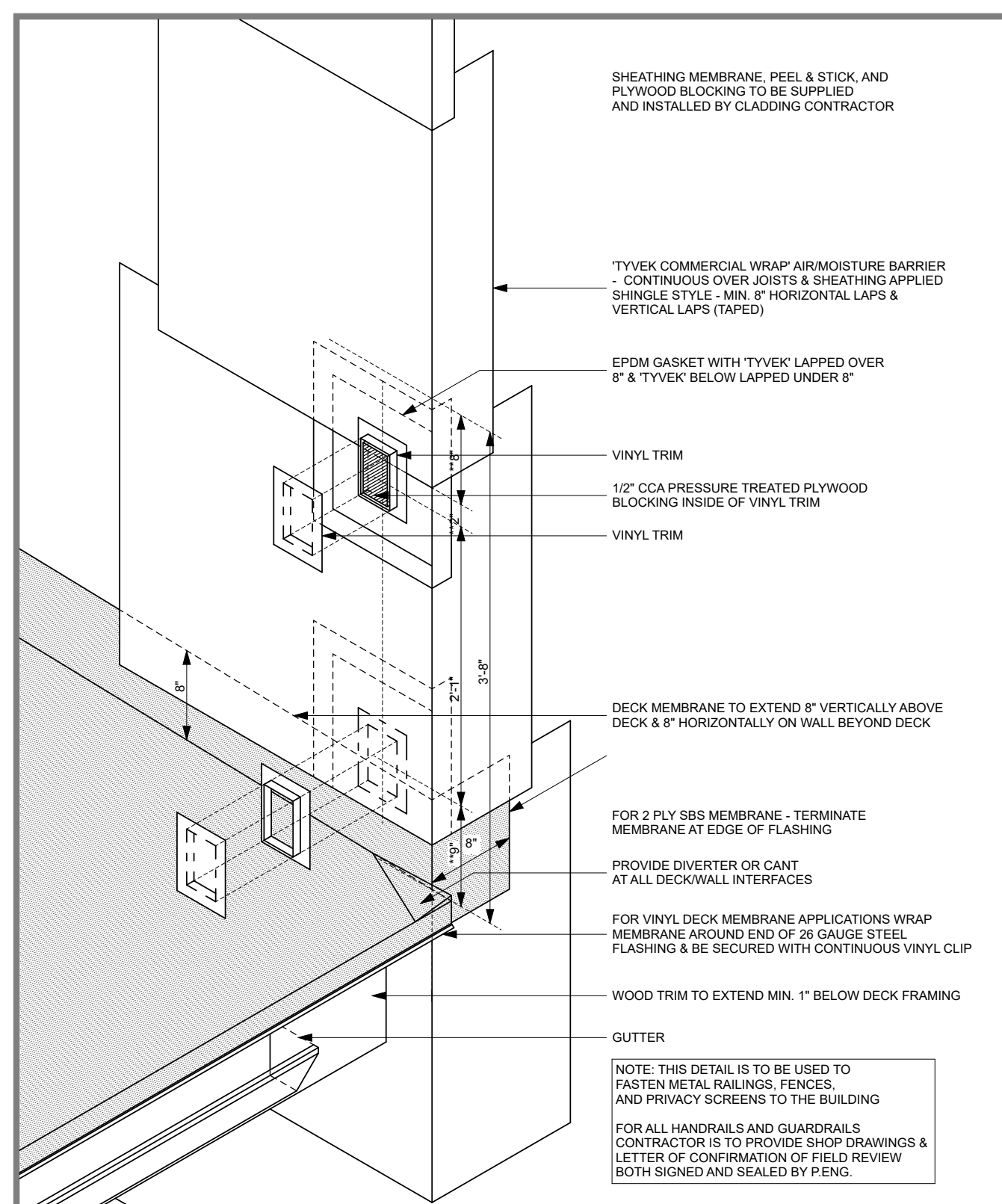
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SCALE: 1" = 1'-0"
DATE: 2024-02-19
USER: IFT
ISSUE: 9.3.7.901



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PROJECT: OUTSIDE FASCIA MOUNT GLASS GUARDRAIL
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

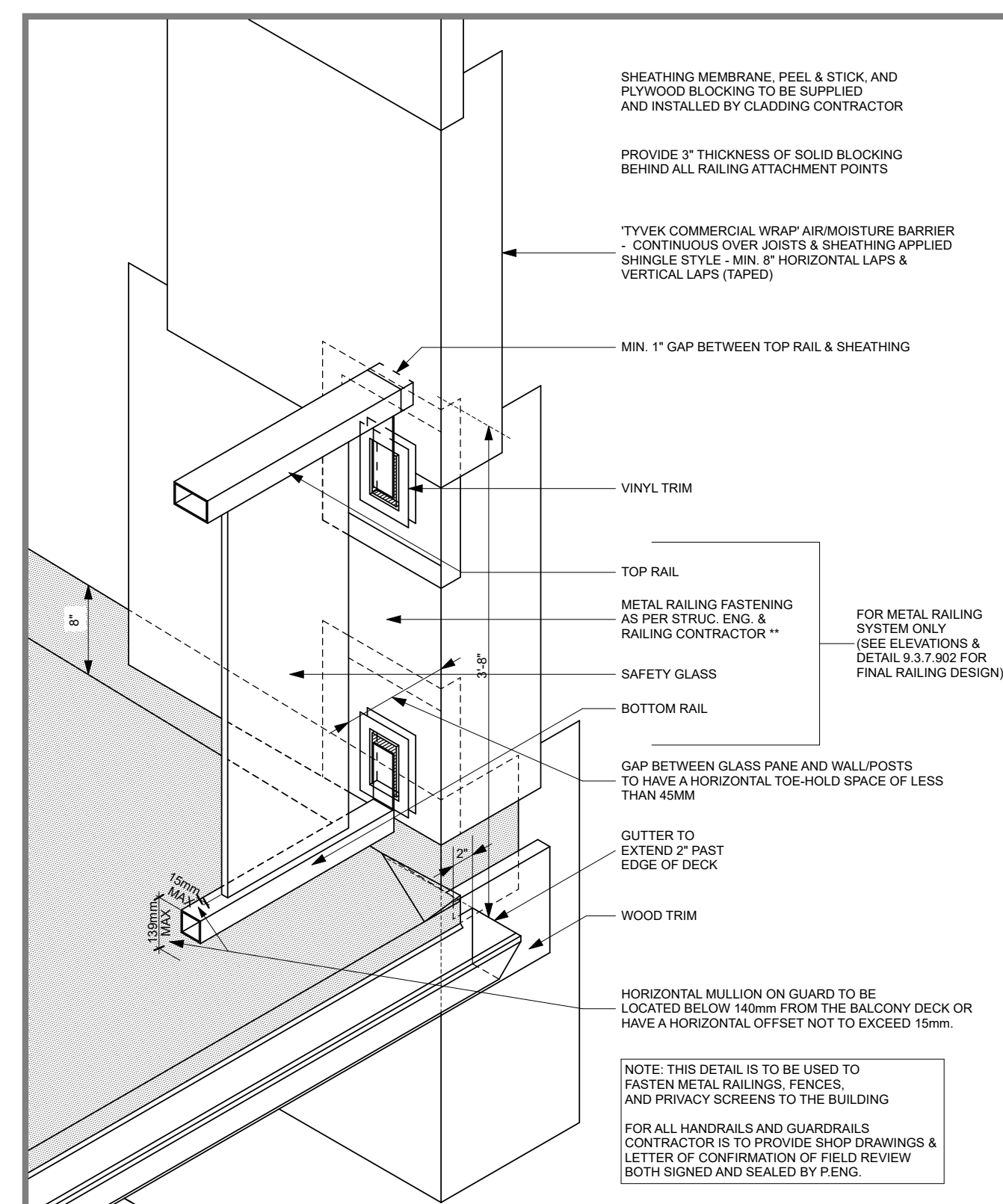
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SCALE: 1 1/2" = 1'-0"
DATE: 2024-02-19
USER: IFT
ISSUE: 9.3.7.902



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PROJECT: INTERSECTION OF WALL, METAL RAILINGS, & DECK -
DETAIL 1 OF 2 (SEE DETAIL 9.3.7.912)
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

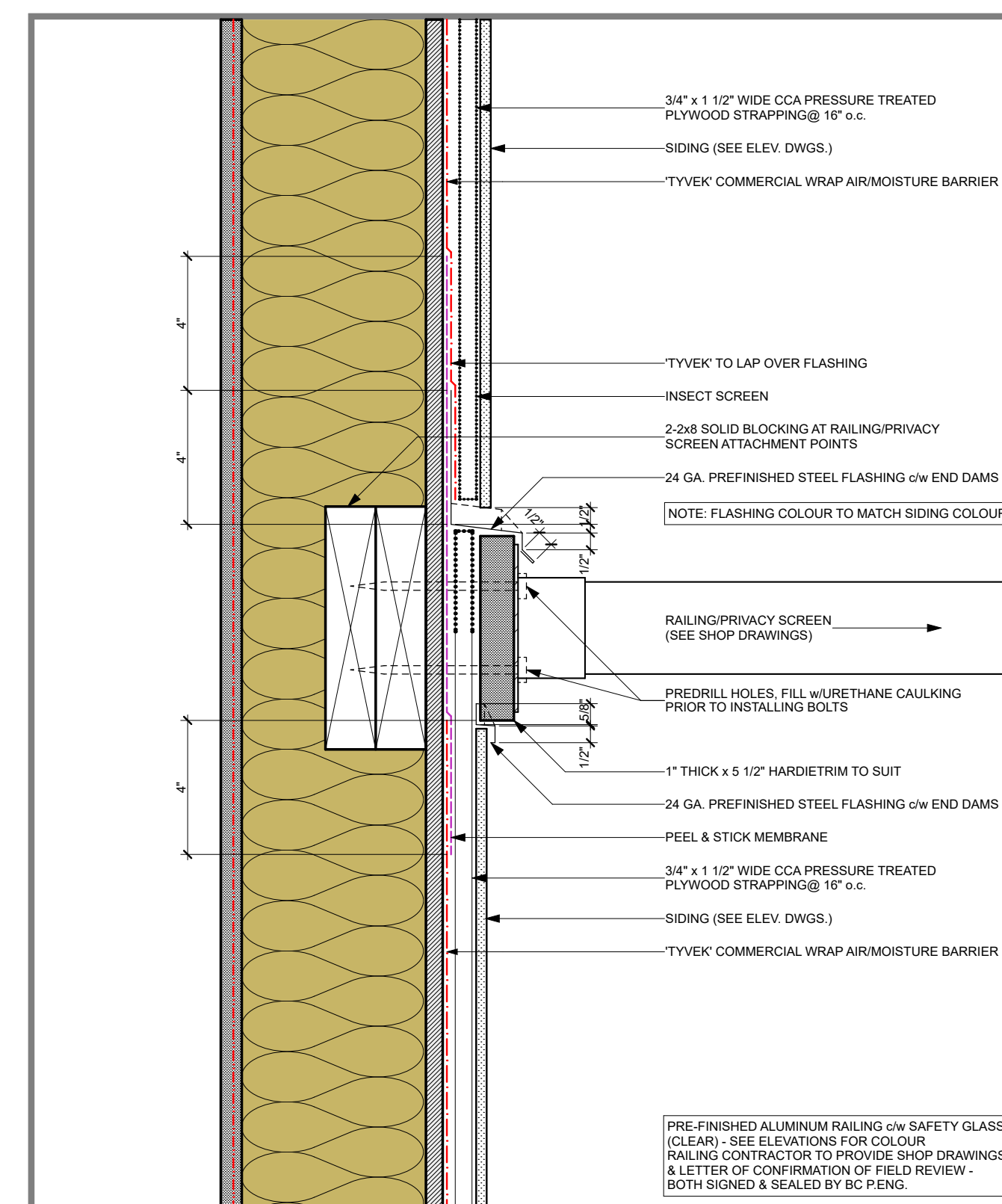
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SCALE: 1" = 1'-0"
DATE: 2024-02-19
USER: IFT
ISSUE: 9.3.7.911



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www.integra-arch.com
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PROJECT: INTERSECTION OF WALL, METAL RAILINGS, & DECK -
DETAIL 2 OF 2 (SEE DETAIL 9.3.7.911)
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: 1" = 1'-0"
DATE: 2024-02-19
USER: IFT
ISSUE: 9.3.7.912



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PROJECT: RAILING / PRIVACY SCREEN ATTACHMENT
CLIENT: RF PROPERTIES
PROJECT: RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

PROJECT: 19495
SCALE: 3" = 1'-0"
DATE: 2024-02-19
USER: IFT
ISSUE: 9.3.7.913



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[ARCHITECT SEAL]



[CLIENT]

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[PROJECT]

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

DETAILS

[PROJECT]

19495

[SCALE]

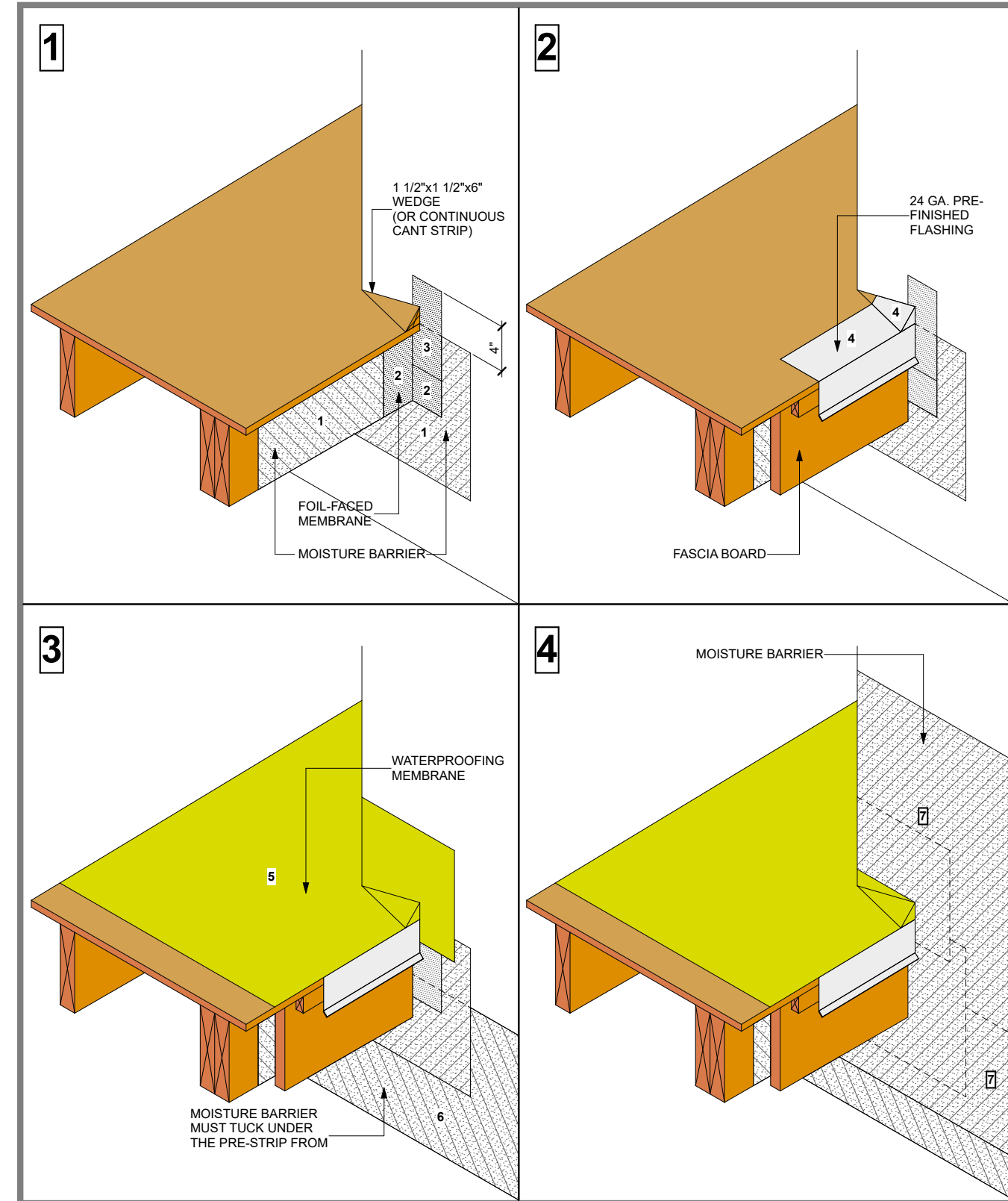
2024-10-04

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RF PROPERTIES
 RENTAL DEVELOPMENT
 206 EAST 12TH STREET
 NORTH VANCOUVER, BC

PROJECT: 19495
 SCALE: 1" = 1'-0"
 DATE: 2024-02-19
 DRAWN: IFT
 DRAWING: 9.3.7.920

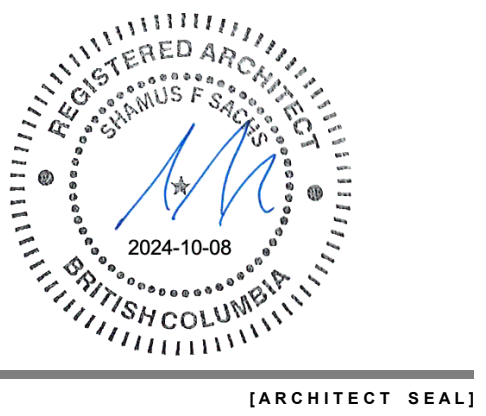
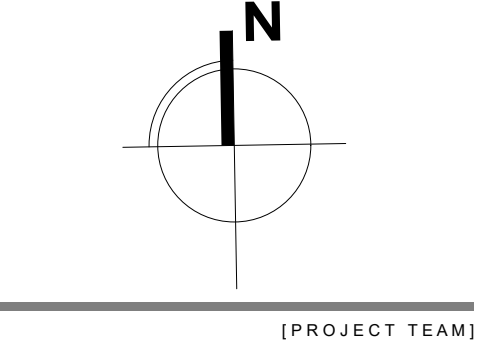


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RF PROPERTIES

RENTAL DEVELOPMENT
 206 EAST 12TH STREET
 NORTH VANCOUVER, BC

DETAILS

19495 [PROJECT]
 [SCALE]
 2024-10-04 [DATE]
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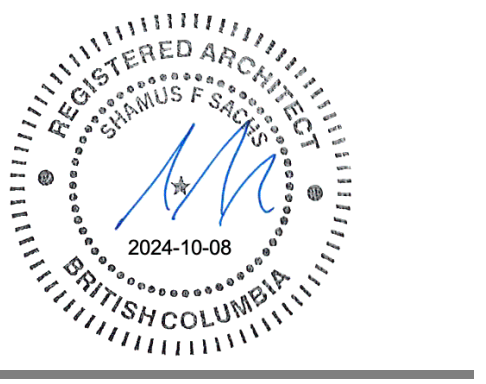


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PROJECT TEAM

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PROJECT

RENTAL DEVELOPMENT
206 EAST 12TH STREET
NORTH VANCOUVER, BC

TITLE

WINDOW & DOOR SCHEDULES

PROJECT

19495

NTS

2024-10-04

13 - BP RESUBMISSION

DRAWING

A-7.000

DOOR TYPE	E1	E2	E3	ED1	ED2	G1	M1	M2	M3	M4	M5	MD1	MD2	O18-0	O20-0
DOOR ELEVATION															
DOOR LEAF DIMENSIONS	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	6'-0"x6'-8"	6'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	4'-0"x6'-8"	6'-0"x6'-8"	18'-0"x7'-4"	20'-0"x7'-0"
DOOR AND FRAME MATERIAL	WOOD	METAL	METAL	Aluminum	Aluminum	METAL	METAL	Aluminum	METAL	METAL	METAL	METAL	METAL	METAL	METAL
DOOR AND FRAME FINISH	PAINTED	PAINTED	PAINTED	POWDER COATED	POWDER COATED	PAINTED - COLOUR CHARCOAL	PAINTED	POWDER COATED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED - COLOUR CHARCOAL	PAINTED - COLOUR CHARCOAL
NOTES						PEDESTRIAN ACCESS GATE / LEC GATE		ROOF ELEVATOR LOBBY			L1 EXIT STAIR			OVERHEAD PARKING DOOR	OVERHEAD PARKING DOOR

WINDOW SCHEDULE	B1	B2	B3a	B3b	B4	C1
WINDOW ELEVATION						
WINDOW SIZE	2'-6"x7'-0"	2'-6"x4'-8"	2'-0"x6'-10"	2'-0"x6'-10"	2'-0"x6'-3 1/2"	3'-0"x7'-0"
SILL HEIGHT	1'-0"	3'-3"	0"	1 1/2"	8"	1'-0"
NOTES			FRAME: STEEL; GLAZING: WIRED GLASS	FRAME: STEEL; GLAZING: WIRED GLASS	FRAME: STEEL; GLAZING: WIRED GLASS	

WINDOW SCHEDULE	C2	C3	C5	C6	C6a	C6b
WINDOW ELEVATION						
WINDOW SIZE	3'-6"x7'-0"	3'-0"x6'-8"	3'-3"x8'-7 1/2"	3'-4"x7'-0"	3'-4"x6'-8"	3'-4"x7'-0"
SILL HEIGHT	1'-0"	2'-2 1/4"	0"	1'-0"	1'-8 1/2"	6'-8 1/2"
NOTES				GLAZING: TEMPERED	GLAZING: TEMPERED	GLAZING: TEMPERED

WINDOW SCHEDULE	C6c	C7	D1	D2	D3	D4
WINDOW ELEVATION						
WINDOW SIZE	3'-4"x7'-0"	3'-4"x6'-8"	4'-0"x7'-0"	4'-0"x8'-7 1/2"	4'-0"x6'-10"	4'-0"x5'-0"
SILL HEIGHT	6'-3"	6'-3"	1'-0"	0"	1 1/2"	1'-10"
NOTES	GLAZING: TEMPERED			GLAZING: TEMPERED GLASS AT BOTTOM PANE	FRAME: STEEL; GLAZING: WIRED GLASS	FRAME: STEEL; GLAZING: WIRED GLASS

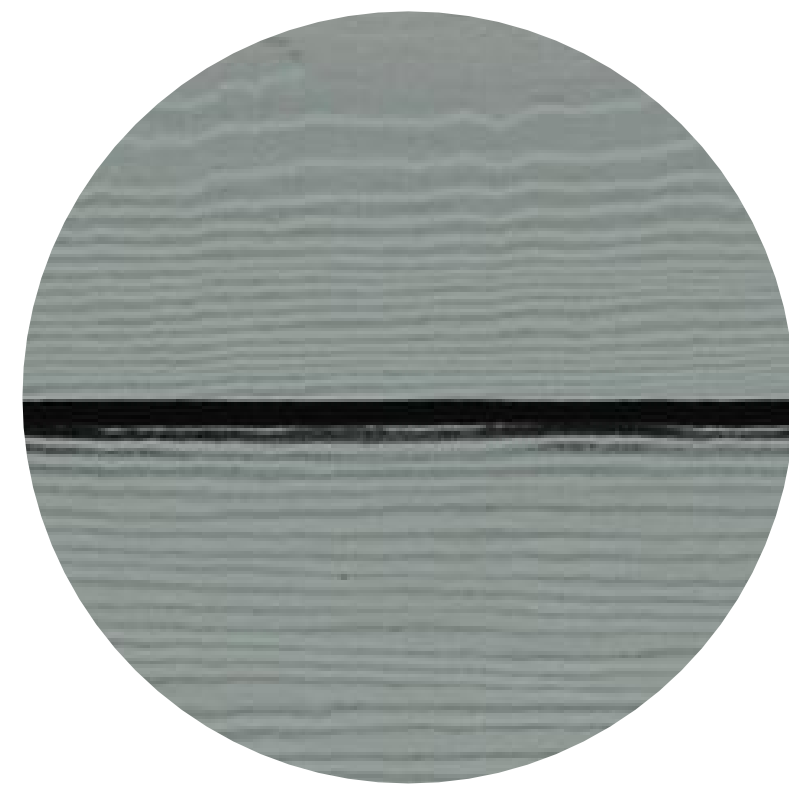
WINDOW SCHEDULE	E1	E2	E3	E4	F1	F2
WINDOW ELEVATION						
WINDOW SIZE	5'-9"x7'-9"	5'-9"x7'-9"	5'-0"x2'-0"	5'-6"x6'-0"	6'-0"x7'-0"	6'-0"x7'-9"
SILL HEIGHT	1'-0"	1'-0"	4'-8 3/4"	0"	1'-0"	3"
NOTES						

WINDOW SCHEDULE	H
WINDOW ELEVATION	
WINDOW SIZE	9'-0"x7'-9"
SILL HEIGHT	3"
NOTES	

WINDOW SCHEDULE NOTES:

- ALL EXTERIOR WINDOWS AND DOORS EXCEPT STOREFRONT TO MEET NAFS-08 REQUIREMENTS – LC – PG40 (SUBJECT TO REVIEW & APPROVAL BY ENVELOPE CONSULTANT)
- PROVIDE SHOP DRAWINGS AND SUPPORTING LETTERS OF ASSURANCE SIGNED & SEALED BY A PROFESSIONAL ENGINEER. THE PROFESSIONAL ENGINEER SEALING THE SHOP DRAWINGS IS TO REVIEW THE INSTALLATION DETAILS AND PROVIDE FIELD REVIEWS OF THE PREPARATION OF WINDOW OPENINGS AND WINDOW INSTALLATION.
- SEE ELEVATIONS FOR LOCATION AND TYPE OF OPENING PORTION OF WINDOW AND FOR ALIGNMENT OF TOP OF WINDOWS
- WINDOW SIZES ARE ROUGH OPENING DIMENSIONS. FINAL WINDOW DIMENSIONS MUST ALLOW FOR BUILDING SHRINKAGE, WINDOW SHIMS, PEEL & STICK MEMBRANE AT SILL. CONFIRM ROUGH OPENING SIZE FOR SLIDING GLASS DOORS WITH SUPPLIER. CONFIRM ALL ROUGH OPENING DIMENSION ON SITE.
- ALL WINDOWS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AS THERMAL GLAZED IN THERMALLY BROKEN FRAMES INCORPORATING THE CODE AND ACOUSTIC CONSULTANT REQUIREMENTS
- PROVIDE AIRTIGHT WEATHERPROOF SEALS AT ALL EXTERIOR DOORS AND WINDOWS. BRUSH SEALS AND OPEN CELL FOAM GASKETS ARE NOT PERMITTED.
- BOTTOM OF SLIDING GLASS DOORS TO BE A MIN. 4" ABOVE FINISHED PATIO/BALCONY SURFACE
- AT LOCATIONS WHERE GLAZING IS LESS THAN 1070mm (42") ABOVE LANDINGS, STAIR TREADS, OR RAMPS - PROVIDE NON-OPENABLE WINDOWS DESIGNED TO PERFORM AS BALCONY GUARDS AS PER BC BUILDING CODE 4.1.5.14
- ALL GLAZING SHALL CONFORM TO BC BUILDING CODE 9.6, 9.7, & 9.7.5 - RESISTANCE TO FORCED ENTRY REQUIREMENTS - WINDOWS WITHIN 2m OF GRADE. ALL GLAZING WITHIN 3' OF EXTERIOR DOOR LOCKS SHALL BE LAMINATED SAFETY GLASS - REFER TO THE PLAN DRAWINGS FOR LOCATIONS OF DOORS ADJACENT TO WINDOWS
- GLASS DOORS, GLASS AREAS IN DOORS, AND SIDELIGHTS AND WINDOWS WITHIN 750 mm OF DOOR LOCKS THAT ACCESS DWELLING UNITS OR ARE WITHIN PUBLIC AREAS AND ARE WITHIN 5m OF FINISHED GRADE OR CLIMBABLE SURFACES SHALL BE SAFETY OR WIRED GLASS AND SHALL CONFORM TO ASTM GRADE 30
- SLIDING SASH WINDOWS WITHIN 5m OF FINISHED GRADE SHALL BE NON-REMOVABLE WHEN IN THE LOCKED POSITION
- PROVIDE KEYPED LOCKS FOR SLIDING GLASS DOORS FOR ALL SLIDING GLASS DOORS LOCATED AT GRADE
- SEE DETAILS FOR SEQUENCE OF INSTALLATION OF WINDOW OPENINGS AIR AND VAPOUR BARRIERS
- INSTALL WATERPROOF DECK MEMBRANE BEFORE THE INSTALLATION OF EXTERIOR DOORS
- INSTALL MIN. 26 GA. PREFINISHED STEEL FLASHING c/w END DAMS OVER THE HEAD OF ALL WINDOW AND DOOR FRAMES, A HEAVIER GAUGE OF WINDOW HEAD FLASHING MAY BE USED TO RETAIN WINDOW HEAD IN LIEU OF RETAINER CLIPS, SUBJECT TO THE APPROVAL OF THE PROFESSIONAL ENGINEER DESIGNING THE WINDOWS
- DOORS AT ROOF DECKS ARE TO HAVE A HIGHER SILL HEIGHT FOR DECK WATERPROOFING PURPOSES
- PROVIDE WINDOW RESTRICTORS AT OPENING WINDOWS WHERE SILL HEIGHT IS LESS THAN 1070mm (42") ABOVE FINISHED INTERIOR FLOOR LEVEL.
- AT THE UPPER FLOOR OF 3 STOREY UNITS WHERE IT IS NECESSARY TO TRAVEL MORE THAN 1 STOREY TO AN EGRESS DOOR, PROVIDE AT LEAST ONE WINDOW WITH A CLEAR UNOBSTRUCTED CLEAR OPENING - MIN. 1m (3'-4") HEIGHT & MIN. 0.55m (1'-10") WIDTH AS PER 9.9.1.2) BCBC
- AT UNSPRINKLERED UNITS PROVIDE AN OPENABLE WINDOW IN EACH BEDROOM WITH A CLEAR UNOBSTRUCTED OPENING NOT LESS THAN 0.35 m2 (3.77 ft2) AND WITH NO DIMENSION LESS THAN 380MM (15") AS PER 9.9.10.1. BCBC
- WINDOW OPENING HARDWARE TO COMPLY WITH THE LOCAL JURISDICTION'S ADAPTABLE DESIGN GUIDELINES

DOOR NUMBER	LOCATION	DOOR TYPE	SIZE		FIRE RATING	MATERIAL	FINISH	GLAZING	INSULATED	FRAME		CARD READER	DOOR BUTTON/HIC DOOR OPENER	HARDWARE	TEMP RISE RATING	DOOR NOTE
			WIDTH	HEIGHT						MATERIAL	FINISH					
			L101	EXIT STAIR NO. 1 TO CORRIDOR						M5	3'-0"					
L102	ELECTRICAL CLOSET	MD2	6'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		180 DEGREE DOOR SWING HINGE
L103	ELECTRICAL CLOSET	MD1	4'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		
L104	EXIT STAIR NO. 2 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	YES, WIRED	N/A	METAL	PAINTED			L-SCD-W5-TS		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L105	FIRE DEPARTMENT ACCESS STAIR TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	YES, WIRED	N/A	METAL	PAINTED			L-SCD-W5-TS		
L106	ENTRANCE DOOR TO LOBBY	ED2	6'-0"	6'-8"	N/A	Aluminum	POWDER COATED	YES	N/A	ALUMINUM	POWDER COATED			A0D4-SCD-W5-T HPH		
L107	ENTRANCE DOOR TO VESTIBULE / OUTSIDE	ED2	6'-0"	6'-8"	N/A	Aluminum	POWDER COATED	YES	N/A	ALUMINUM	POWDER COATED	YES		A4-ADD-CR-ES-E P-SCD-PH-TWWS		
L108	INDOOR AMENITY TO CORRIDOR	ED2	6'-0"	6'-8"	N/A	Aluminum	POWDER COATED	YES	N/A	ALUMINUM	POWDER COATED	YES		L-CR-ES-SCD-TS		
L109	INDOOR AMENITY TO OUTSIDE	ED1	6'-0"	6'-8"	N/A	Aluminum	POWDER COATED	YES	N/A	ALUMINUM	POWDER COATED	YES		A4-L-SCD-W5-T-C R-ES		
L110	EXIT STAIR NO. 1 TO OUTSIDE	E2	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	YES, TEMPERED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L111	EXIT STAIR NO. 2 TO OUTSIDE	E3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	YES, TEMPERED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L201	EXIT STAIR NO. 1 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L202	ELECTRICAL CLOSET	MD2	6'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		180 DEGREE DOOR SWING HINGE
L203	ELECTRICAL CLOSET	MD1	4'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		
L204	EXIT STAIR NO. 2 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L301	EXIT STAIR NO. 1 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L302	ELECTRICAL CLOSET	MD2	6'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		180 DEGREE DOOR SWING HINGE
L303	ELECTRICAL CLOSET	MD1	4'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		
L304	EXIT STAIR NO. 2 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L401	EXIT STAIR NO. 1 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		CROSSOVER FLOOR BCBC 3.4.6.18. DOORS TO BE UNLOCKED IN BOTH DIRECTIONS
L402	ELECTRICAL CLOSET	MD2	6'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		180 DEGREE DOOR SWING HINGE
L403	ELECTRICAL CLOSET	MD1	4'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		
L404	EXIT STAIR NO. 2 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		CROSSOVER FLOOR BCBC 3.4.6.18. DOORS TO BE UNLOCKED IN BOTH DIRECTIONS
L501	EXIT STAIR NO. 1 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L502	ELECTRICAL CLOSET	MD2	6'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		180 DEGREE DOOR SWING HINGE
L503	ELECTRICAL CLOSET	MD1	4'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		
L504	EXIT STAIR NO. 2 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L601	EXIT STAIR NO. 1 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L602	ELECTRICAL CLOSET	MD2	6'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		180 DEGREE DOOR SWING HINGE
L603	ELECTRICAL CLOSET	MD1	4'-0"	6'-8"	3/4 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			A4-L-SCD-TPH		
L604	EXIT STAIR NO. 2 TO CORRIDOR	M3	3'-0"	6'-8"	3/4 HR	METAL	PAINTED	WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L701	EXIT STAIR NO. 1 TO ROOF	M3	3'-0"	6'-8"	N/A	METAL	PAINTED	WIRED	N/A	METAL	PAINTED	YES		L-SCD-W5-THPH-GNS		UNLOCKED IN DIRECTION OF EXIT TRAVEL
L702	ROOF ELEVATOR LOBBY	M2	3'-0"	6'-8"	N/A	Aluminum	POWDER COATED	YES	N/A	ALUMINUM	POWDER COATED	YES		L-SCD-CR-ES-W5-TH-ADD		
L703	ROOF ELEVATOR LOBBY	M2	3'-0"	6'-8"	N/A	Aluminum	POWDER COATED	YES	N/A	ALUMINUM	POWDER COATED	YES		L-SCD-CR-ES-W5-TH-ADD		
L704	EXIT STAIR NO. 2 TO ROOF	M3	3'-0"	6'-8"	N/A	METAL	PAINTED	WIRED	N/A	METAL	PAINTED	YES		L-SCD-W5-THPH-CR-ES		UNLOCKED IN DIRECTION OF EXIT TRAVEL
P101	OVERHEAD PARKING ENTRY DOOR	O20-0	20'-0"	7'-0"	N/A	METAL	PAINTED - COLOUR CHARCOAL	NO	N/A	METAL	PAINTED					20'-0" x 7'-0"
P102	OVERHEAD DOOR TO RESIDENT PARKING	O18-0	18'-0"	7'-6"	N/A	METAL	PAINTED - COLOUR CHARCOAL	NO	N/A	METAL	PAINTED					18'-0" x 7'-6"
P103	PEDESTRIAN ACCESS GATE	G1	3'-0"	6'-8"	N/A	METAL	PAINTED - COLOUR CHARCOAL	NO	N/A	METAL	PAINTED			L-SCD-A-CR-L-P-E S-PPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL DURING EMERGENCY ONLY. PROGRAMMED BY F.A. PANEL
P104	GARAGE / RECYCLING ROOM	MD2	6'-0"	6'-8"	1 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			L-SCD-A-CR-ES-E S-PPH-TWWS-C		
P105	EXIT STAIR NO. P3	M3	3'-0"	6'-8"	1 1/2 HR	METAL	PAINTED	YES, WIRED	N/A	METAL	PAINTED			L-SCD-W5-THPH		UNLOCKED IN DIRECTION OF EXIT TRAVEL
P106	ELECTRICAL ROOM	M4	3'-0"	6'-8"	1 1/2 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED			L-SCD-W5-TS		
P107	BICYCLE ROOM NO. 3	M4	3'-0"	6'-8"	1 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED	YES		A4-CR-ES-TH-T-P H		
P108	P1 ELEVATOR LOBBY	M4	3'-0"	6'-8"	1 1/2 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED	YES		A-ADD-CR-ES-L-W5-TS		
P109	BICYCLE ROOM NO. 2	M4	3'-0"	6'-8"	1 HR	METAL	PAINTED	NO	N/A	METAL	PAINTED	YES		A4-CR-ES-TH-T-P H		
P110	EXIT STAIR NO. P															



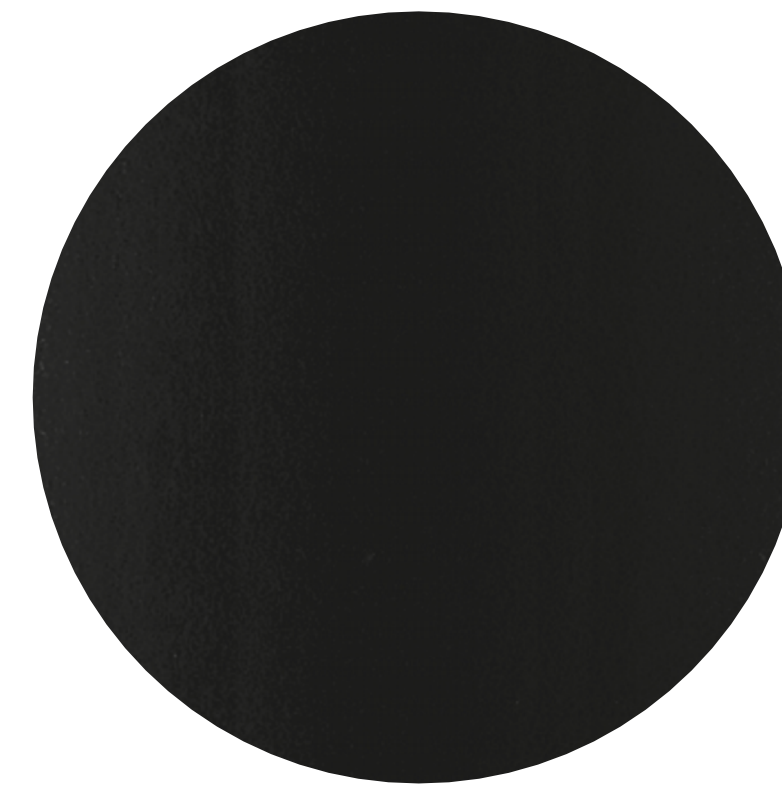
B HARDIEPLANK LAP SIDING - PEARL GRAY



C HARDIEPLANK LAP SIDING - NIGHT GRAY



D HARDIE-REVEAL PANEL - ARCTIC WHITE



E HARDIE-REVEAL PANEL - IRON GRAY



F WOODTONE RUSTIC SERIES - SANDCASTLE



J BRICK - MANGANESE IRONSPOT



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MATERIAL AND COLOUR LEGEND

A	Black	IKO Roofing SBS	Modiflex	2 Ply SBS Roofing membrane at flat roofs
B	Light Gray	James Hardie Statement Collection	Pearl Gray	HardiePlank Lap Siding - cedarmill texture, 7" exposure - exterior walls
C	Dark Gray	James Hardie Statement Collection	Night Gray	HardiePlank Lap Siding - cedarmill texture, 7" exposure - exterior walls
D	White	James Hardie Statement Collection	Arctic White	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102
E	Black	James Hardie Statement Collection	Iron Gray	7/16" Hardie-Reveal Panel and Reveal Trims, smooth texture, c/w 'Hardie-Reveal Surround Trims Clear Anodized 280102
F	Woodgrain	Prefinished Fibre Cement Siding	Woodtone Rustic Series - Sandcastle	Fibre Cement Lap Siding - cedarmill texture, pre-finished 5 1/4" exposure at selected locations
G	Black	James Hardie Trim - Statement Collection	Iron Gray	HardieTrim - 4/4 Rustic
H	Woodgrain	James Hardie Trim - Dream Collection	Golden Luster	HardieTrim - 4/4 Rustic
I	Black	Windows	Black	Typical Vinyl windows and sliding doors w/ matching flashing
J	Charcoal	Brick	Manganese Ironspot	Endicott Clay Smooth Brick at selected locations
K	Woodgrain	Prefinished Fibre Cement	Woodtone Rustic Series - Sand Castle	Pre-finished soffits @ roof soffit and u/s of balconies
L	Black	Tiger Drylac Powder Coatings	Black or to match BM 2118-10	Pre-finished aluminum c/w safety glass railing @ balconies
M	Black	Makin Metals Ltd.	Matte Black	Flashing at roofs, flashing at dark windows, downspouts, gutters
N	White	Makin Metals Ltd.	Regal White	Flashing at all other locations with finish (D)
O	Light Beige	Architectural concrete	Clear, water repellent coating	Architectural concrete finish at exposed concrete walls, landscape walls
P	Black	Tiger Drylac Powder Coatings	Black	Pre-finished aluminum c/w safety glass railing @ balconies

[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

MATERIALS FINISHES

19495

[PROJECT]

[SCALE]

2024-10-04

[DATE]

13 - BP RESUBMISSION

[ISSUE]

[DRAWING]

A-8.000

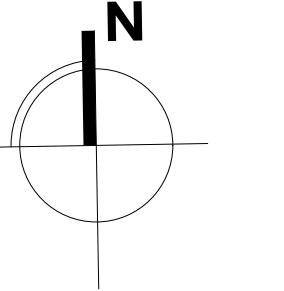


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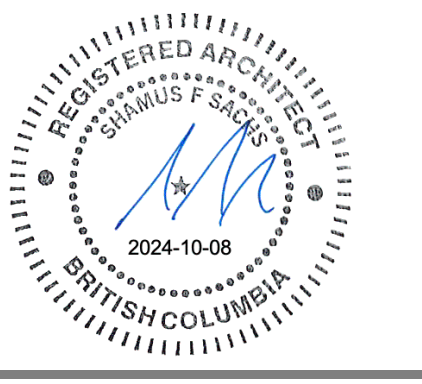
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RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

AREA OVERLAYS
PARKING P1

19495 [PROJECT]

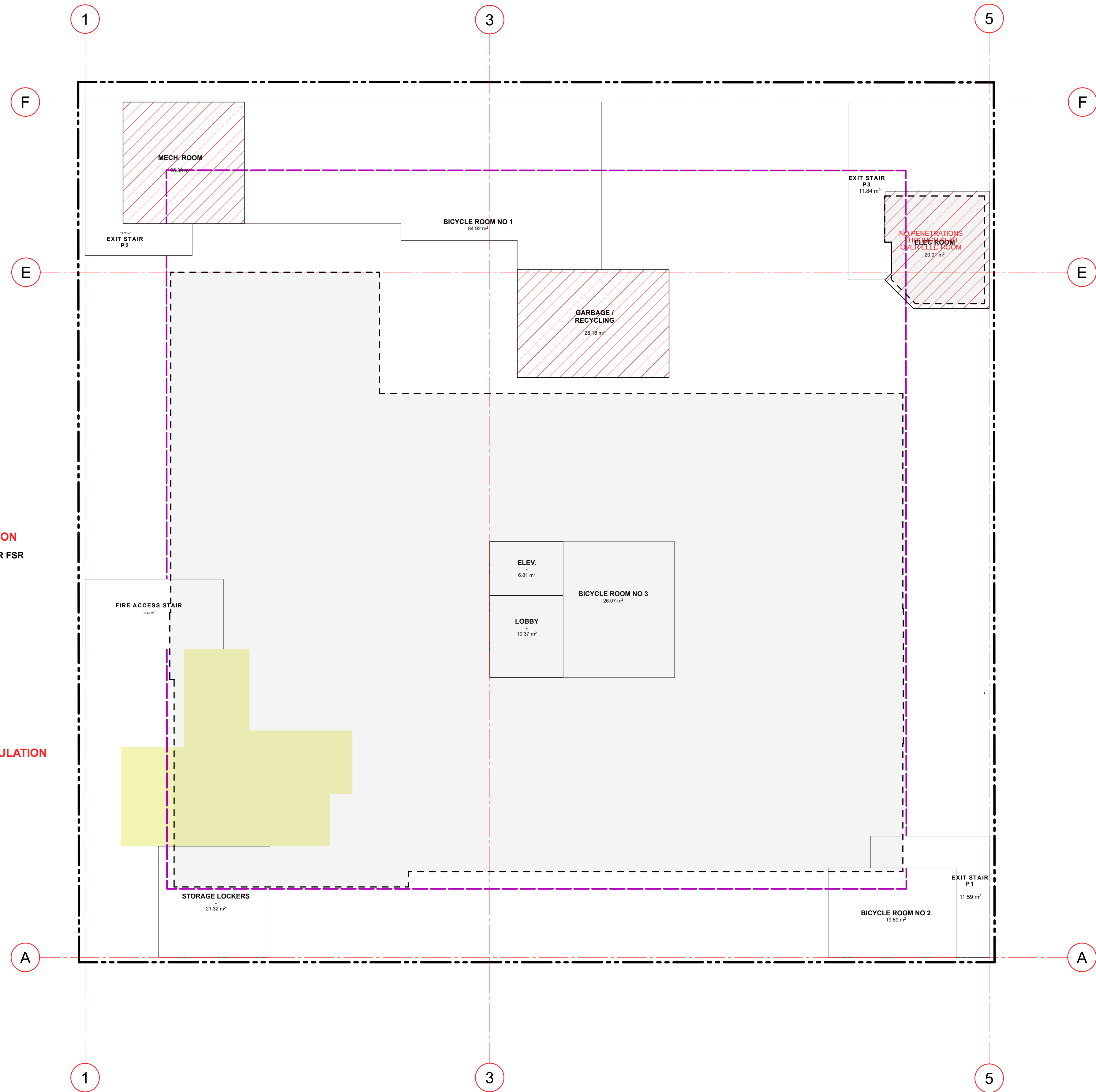
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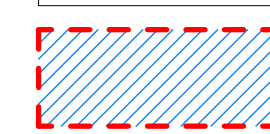
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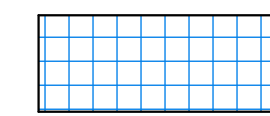

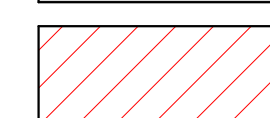
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AREAS INCLUDED IN THE FSR CALCULATION

-  AREA - GROSS FLOOR AREA FOR FSR
-  3.69 m² AREA - UNIT
-  1.84 m² AREA - STAIR 01
-  AREA - ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY (AREA EXCLUSION FROM FSR)

AREAS NOT INCLUDED IN THE FSR CALCULATION

-  AREA - OPEN BALCONY AND UNIT DECK AREA
-  AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
-  AREA - SERVICE ROOMS U/G PARKING, GARBAGE

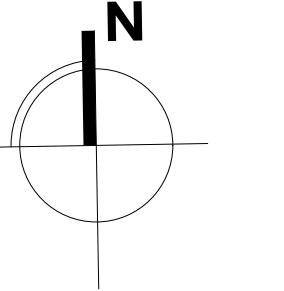


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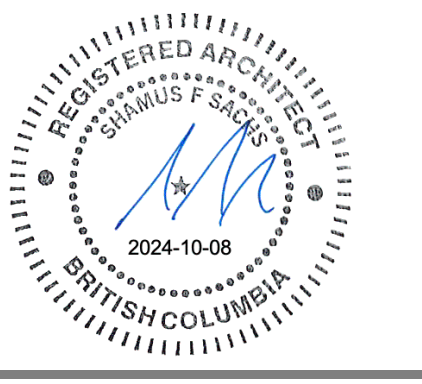
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[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

AREA OVERLAYS 1ST FLOOR

19495 [PROJECT]

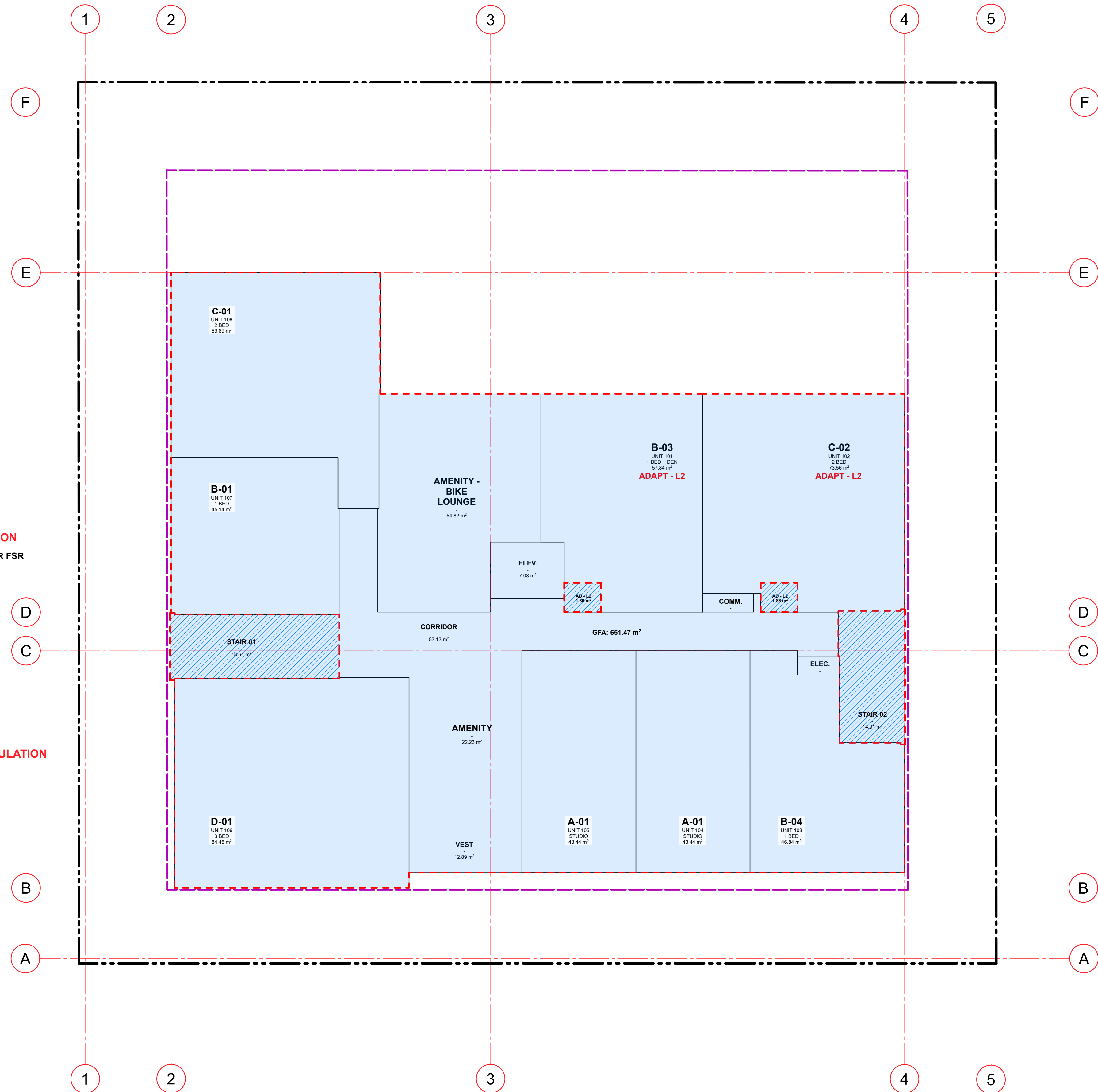
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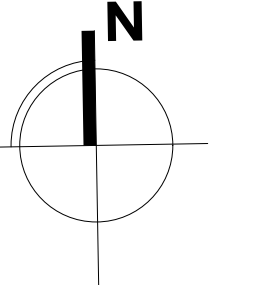


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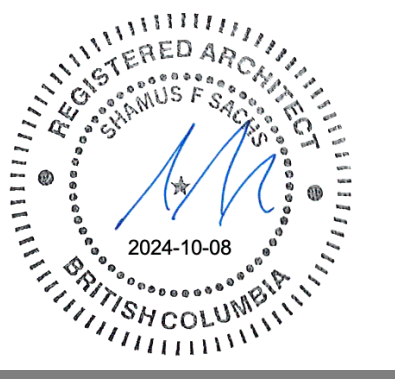
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RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

AREA OVERLAYS 2ND FLOOR

19495 [PROJECT]

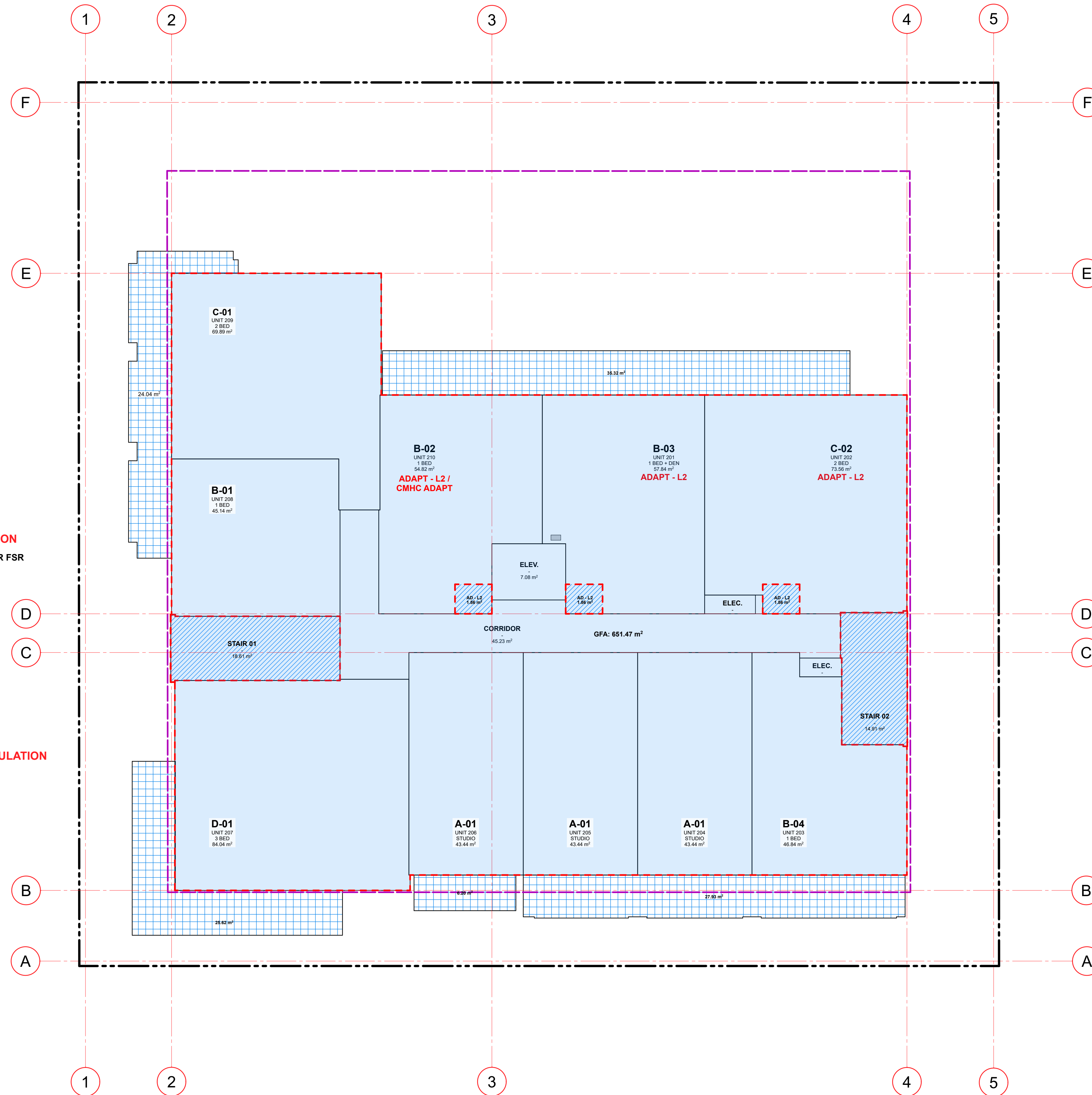
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2024-10-04 [DATE]

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A-8.020



AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- 3.69 m² AREA - UNIT
- STAIR 01 AREA - STAIR 01
- AREA - ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY (AREA EXCLUSION FROM FSR)

AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS (UG PARKING, GARBAGE)

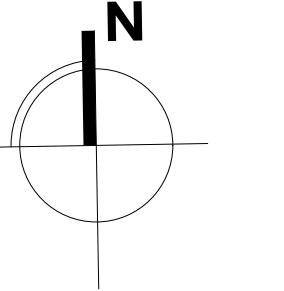


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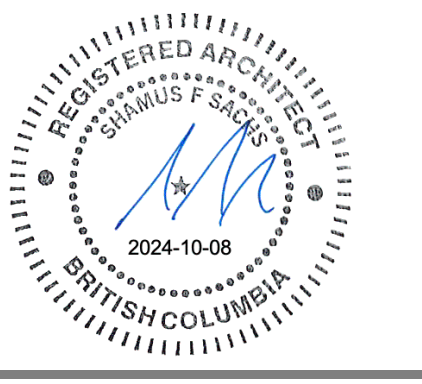
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RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

**AREA OVERLAYS
3RD FLOOR**

19495 [PROJECT]

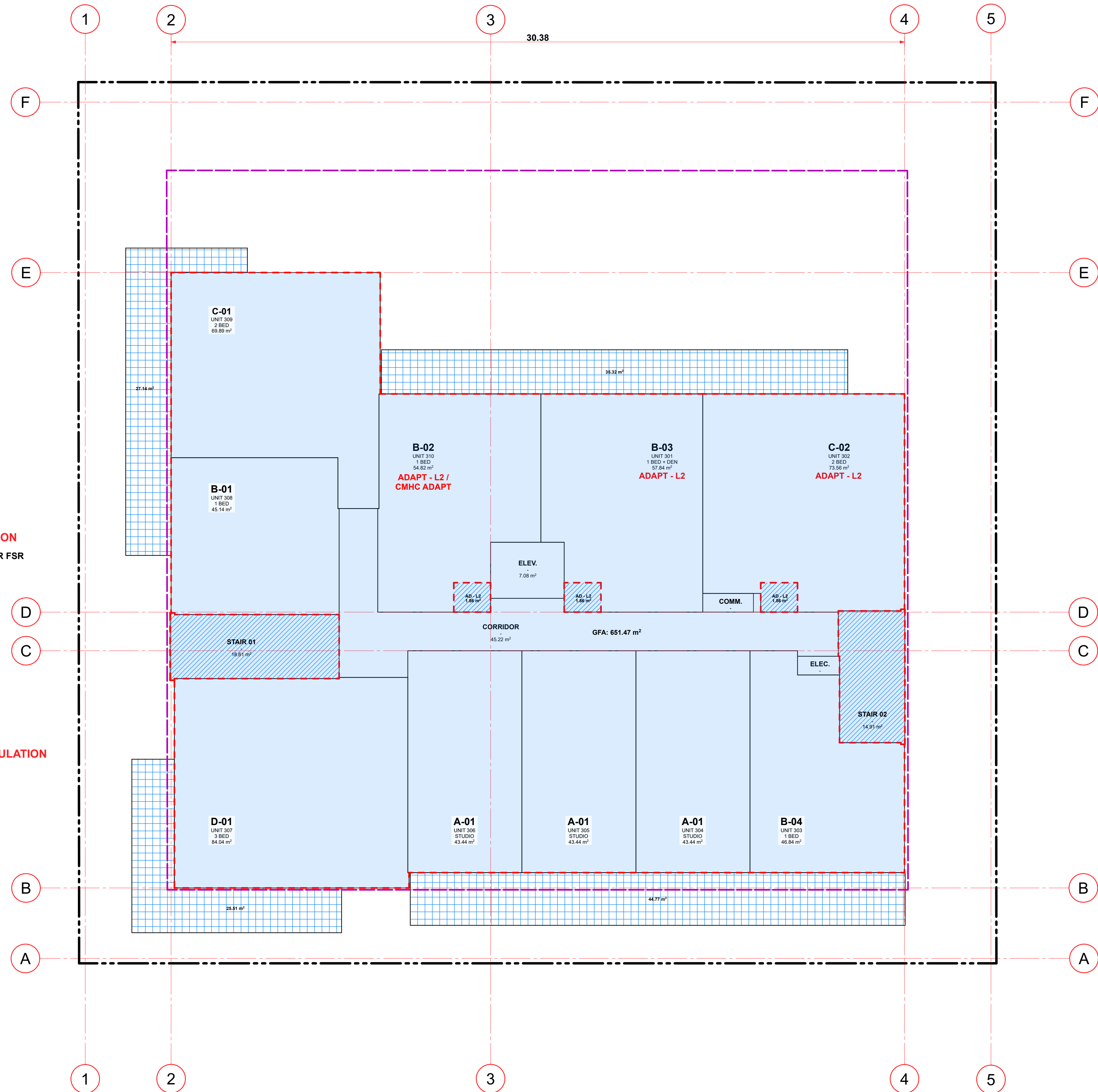
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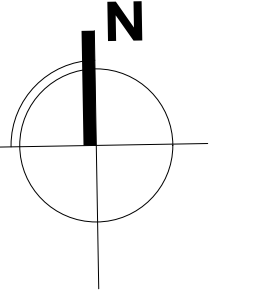


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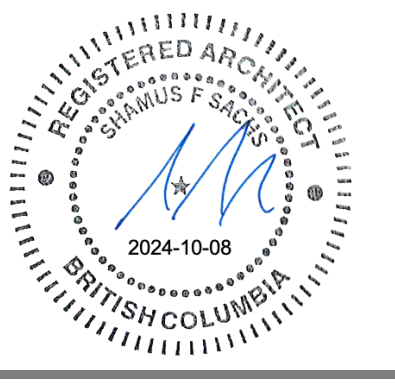
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[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

AREA OVERLAYS 4TH FLOOR

19495 [PROJECT]

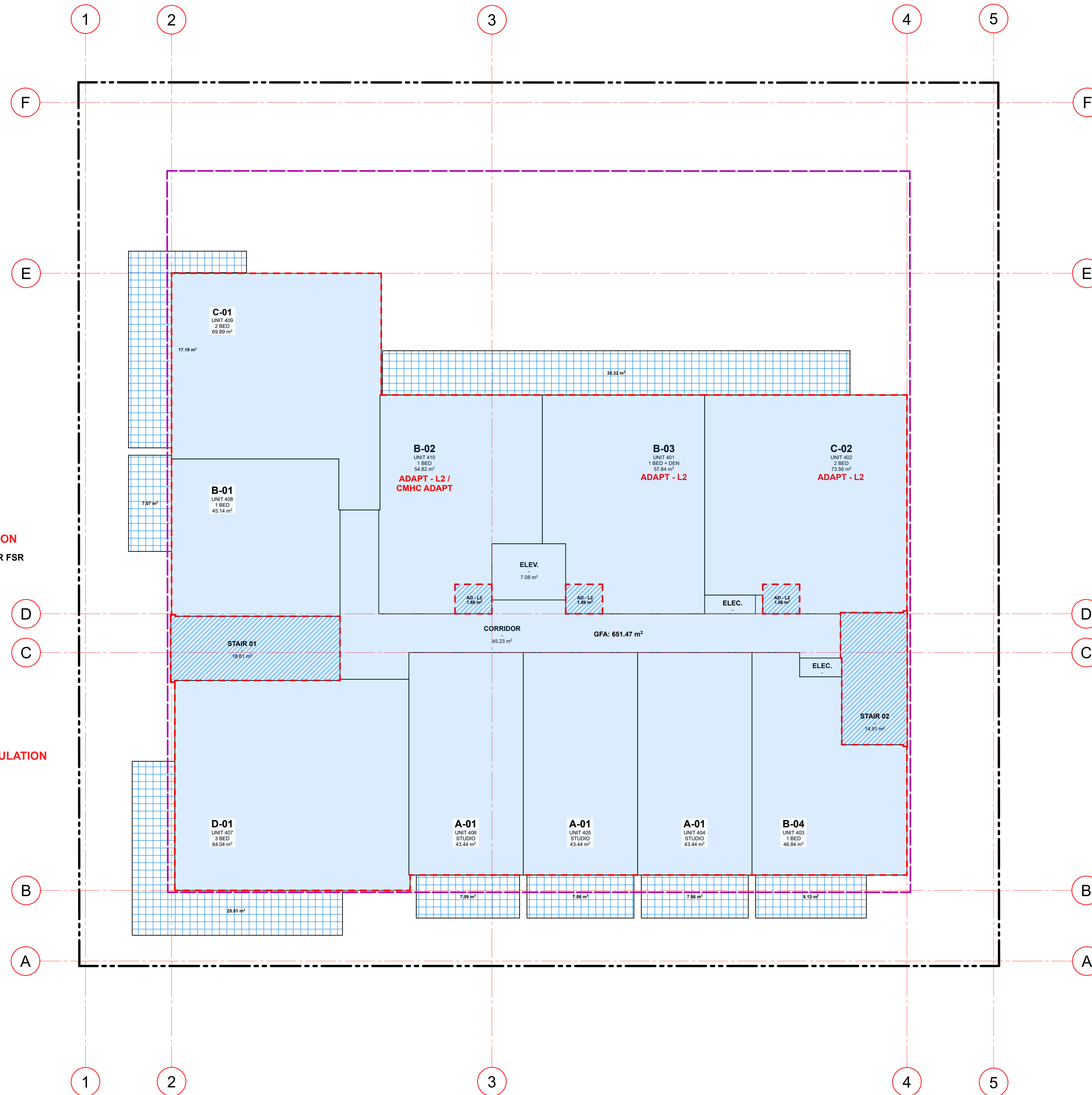
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2024-10-04 [DATE]

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A-8.040



AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- 3.69 m² AREA - UNIT
- STAIR 01 AREA - STAIR 01
- AREA - ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY (AREA EXCLUSION FROM FSR)

AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS (UG PARKING, GARBAGE)

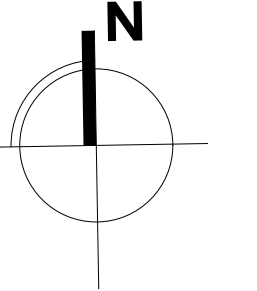


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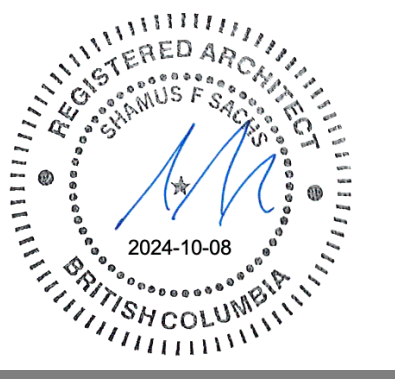
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RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

AREA OVERLAYS 5TH FLOOR

19495 [PROJECT]

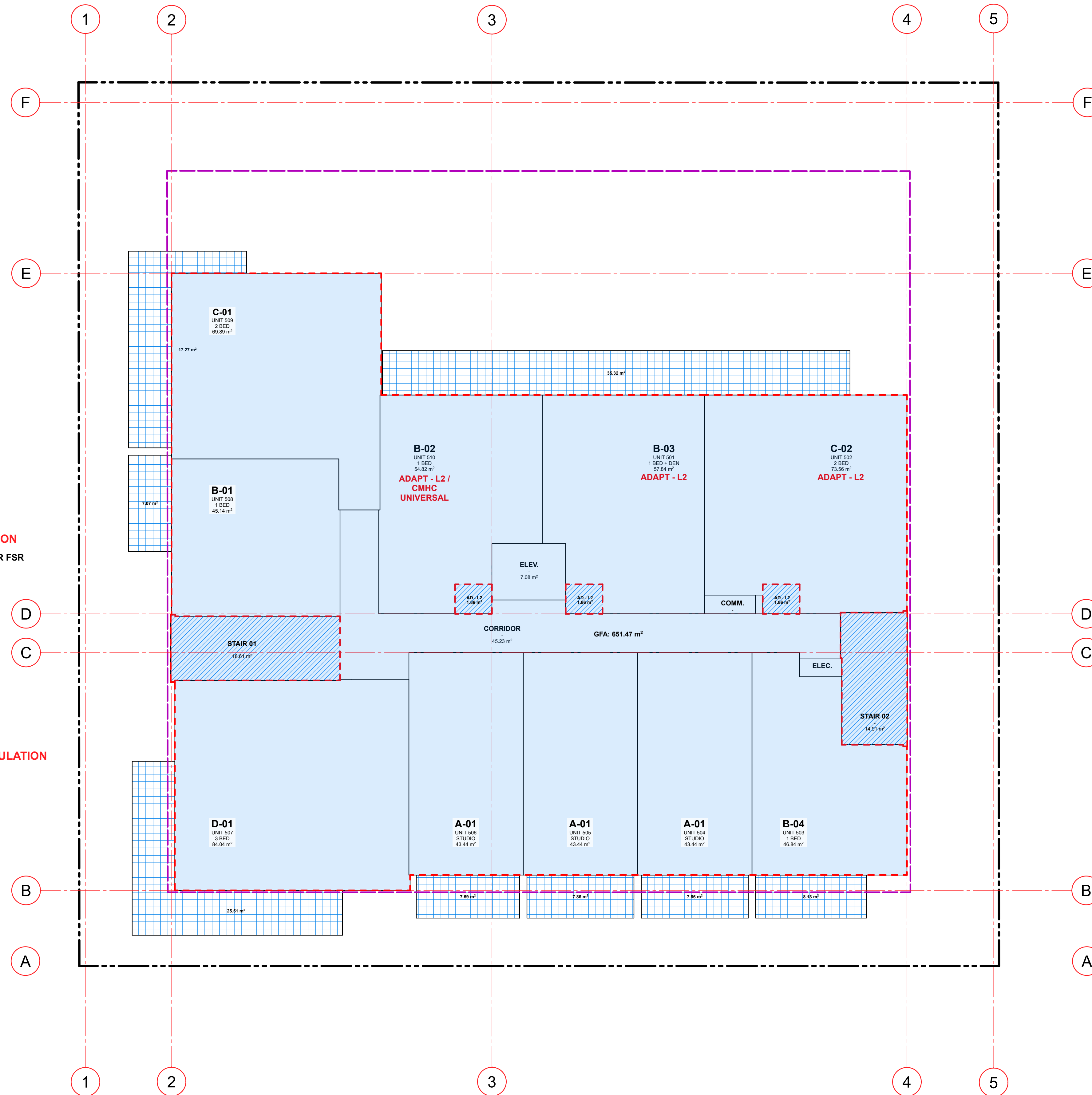
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[DRAWING]

A-8.050



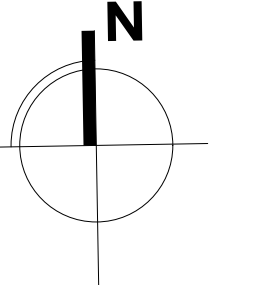


Integra

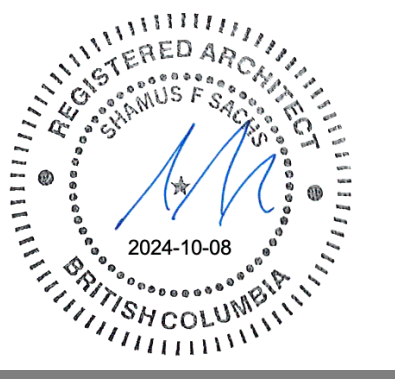
ARCHITECTURE INC.

2330-200 Granville Street
Vancouver, BC, V6C 1S4
www.integra-arch.com
Telephone: 604 688 4220

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[PROJECT TEAM]



[ARCHITECT SEAL]

RF PROPERTIES
REDEKOP | FERRARIO

[CLIENT]

RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

AREA OVERLAYS 6TH FLOOR

19495 [PROJECT]

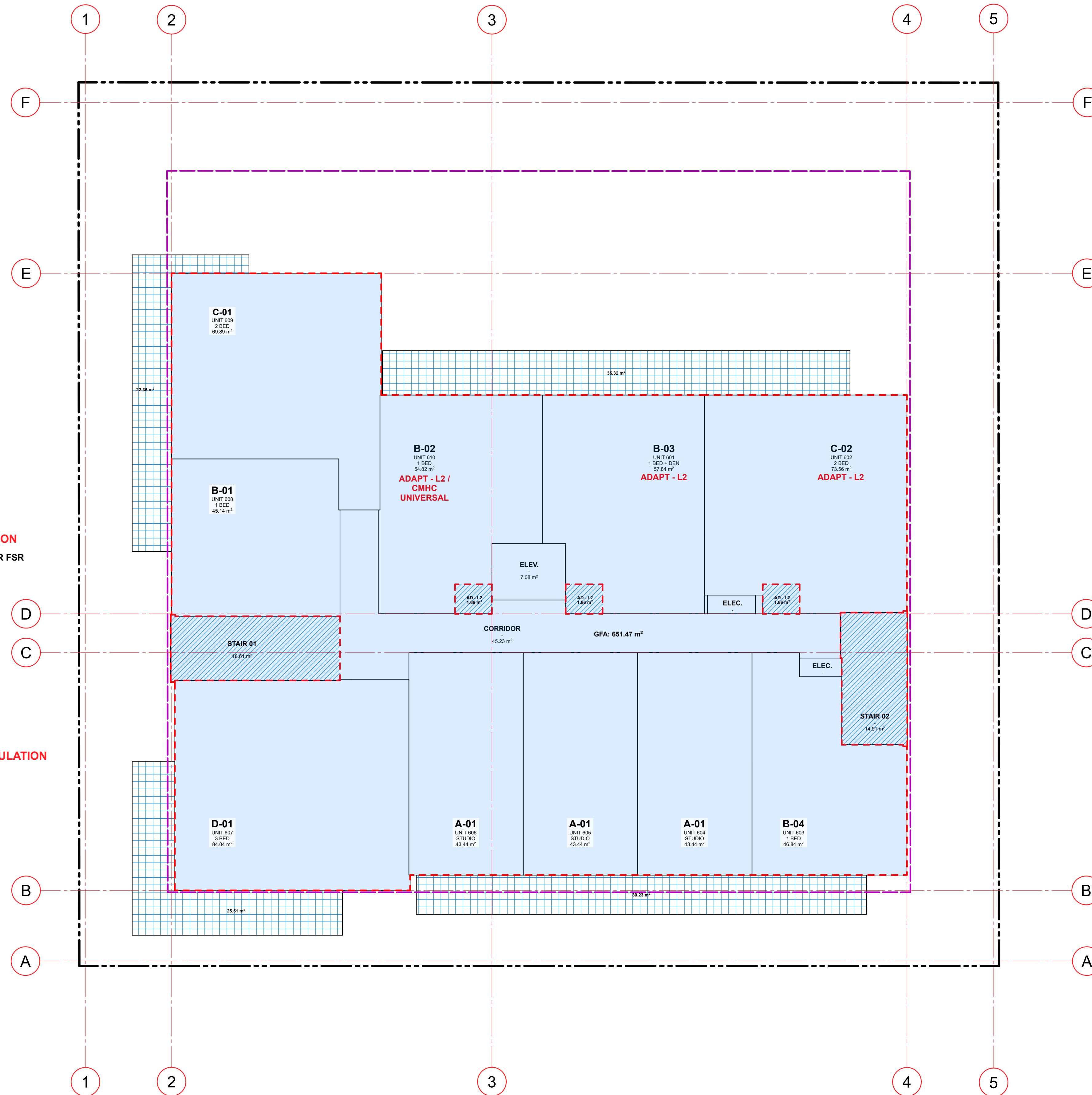
1/8" = 1'-0" [SCALE]

2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-8.060



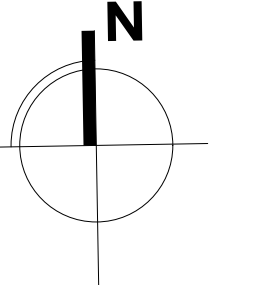


Integra

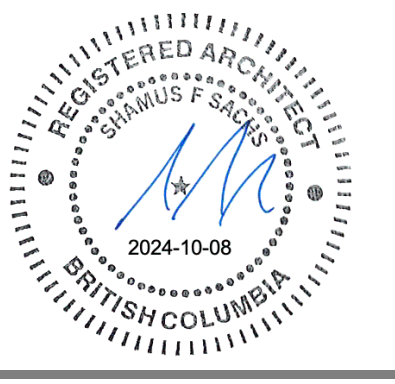
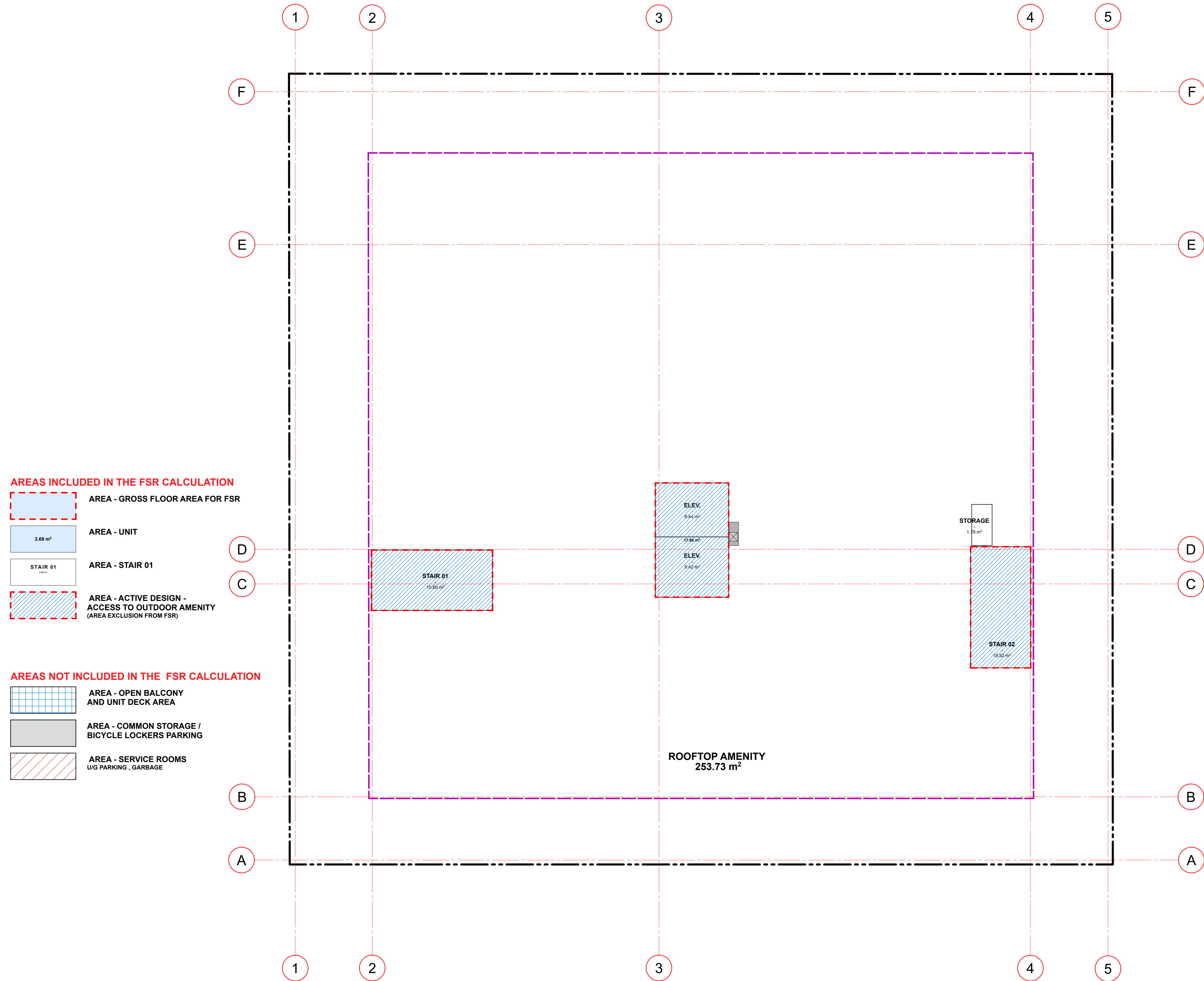
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RF PROPERTIES

[PROJECT]

RENTAL DEVELOPMENT

206 EAST 12TH STREET
NORTH VANCOUVER, BC

[TITLE]

**AREA OVERLAYS
ROOF DECK**

19495 [PROJECT]

1/8" = 1'-0" [SCALE]

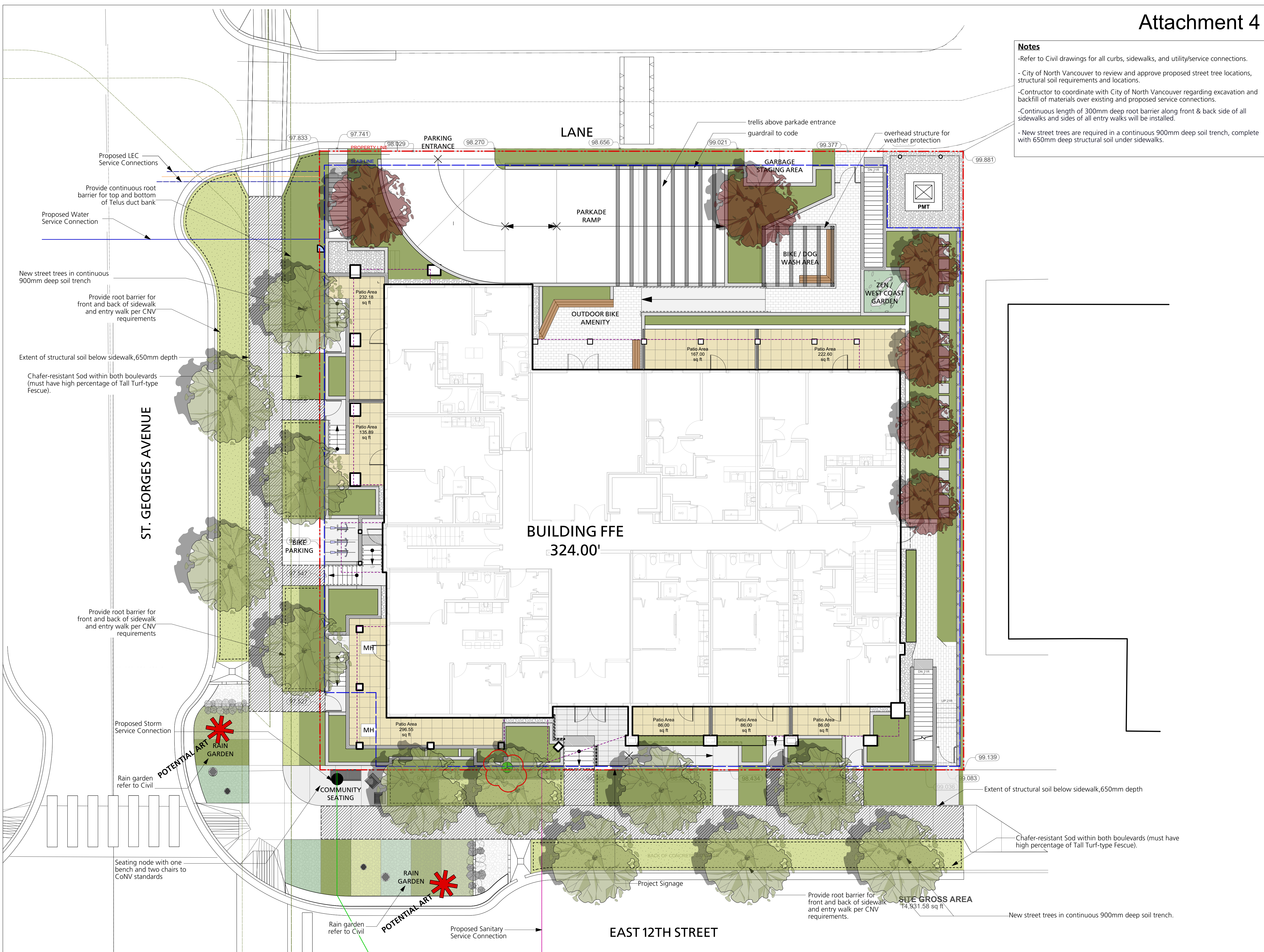
2024-10-04 [DATE]

13 - BP RESUBMISSION [ISSUE]

[DRAWING]

A-8.070

- Notes**
- Refer to Civil drawings for all curbs, sidewalks, and utility/service connections.
 - City of North Vancouver to review and approve proposed street tree locations, structural soil requirements and locations.
 - Contractor to coordinate with City of North Vancouver regarding excavation and backfill of materials over existing and proposed service connections.
 - Continuous length of 300mm deep root barrier along front & back side of all sidewalks and sides of all entry walks will be installed.
 - New street trees are required in a continuous 900mm deep soil trench, complete with 650mm deep structural soil under sidewalks.



Revision No.	Date
12 Re-issued for BP	2024/05/29
11 Re-issued for BP	2024/04/29
10 Issued for Tender	2024/02/19
9 Re-issued for BP	2023/11/08
8 Re-issued for BP	2023/11/08
7 Issued for BP Submission	2021/11/10
6 Issued for 90% BP	
6 Coordination	2021/10/13

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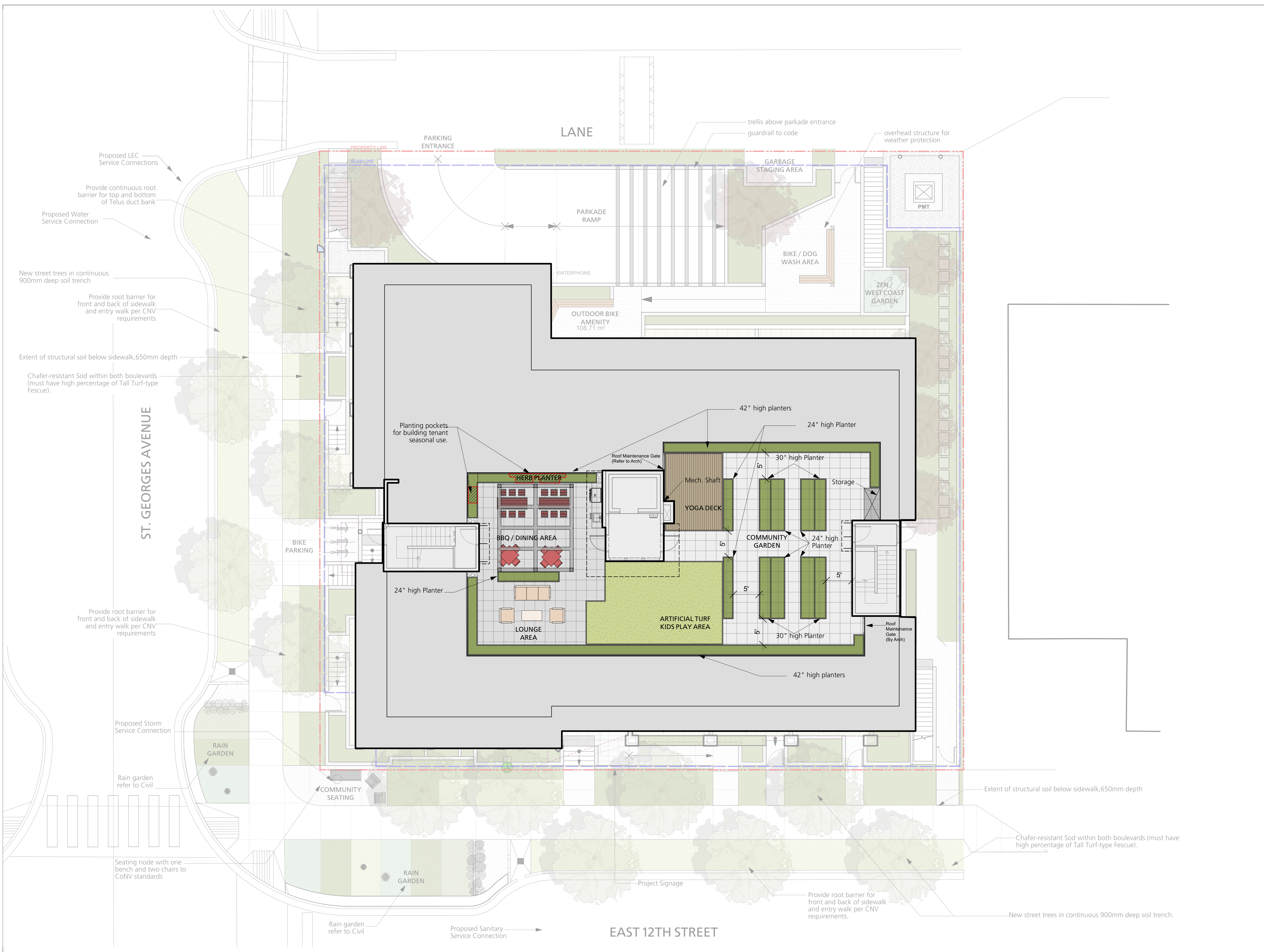
Client:
RF PROPERTIES
 REDEKOP | FERRARIO

Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC

Drawing Title:
Landscape Concept Plan - Ground Level

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
1/8" = 1'-0"	Sheet No.:	

L0.0A



12 Re-issued for BP	2024/05/29
11 Re-issued for BP	2024/04/29
10 Issued for Tender	2024/02/19
9 Re-issued for BP	2023/11/08
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Revision No.	Date

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Client:
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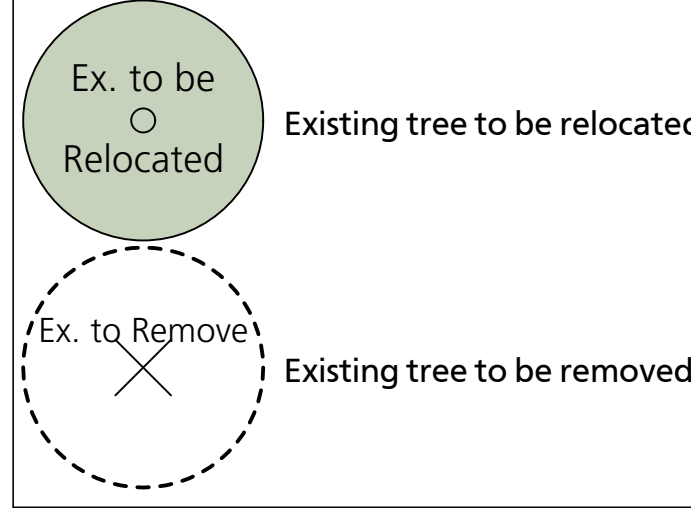
Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC

Drawing Title:
Landscape Concept Plan -Roof Level

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
1/8" = 1'-0"		
Sheet No.:		

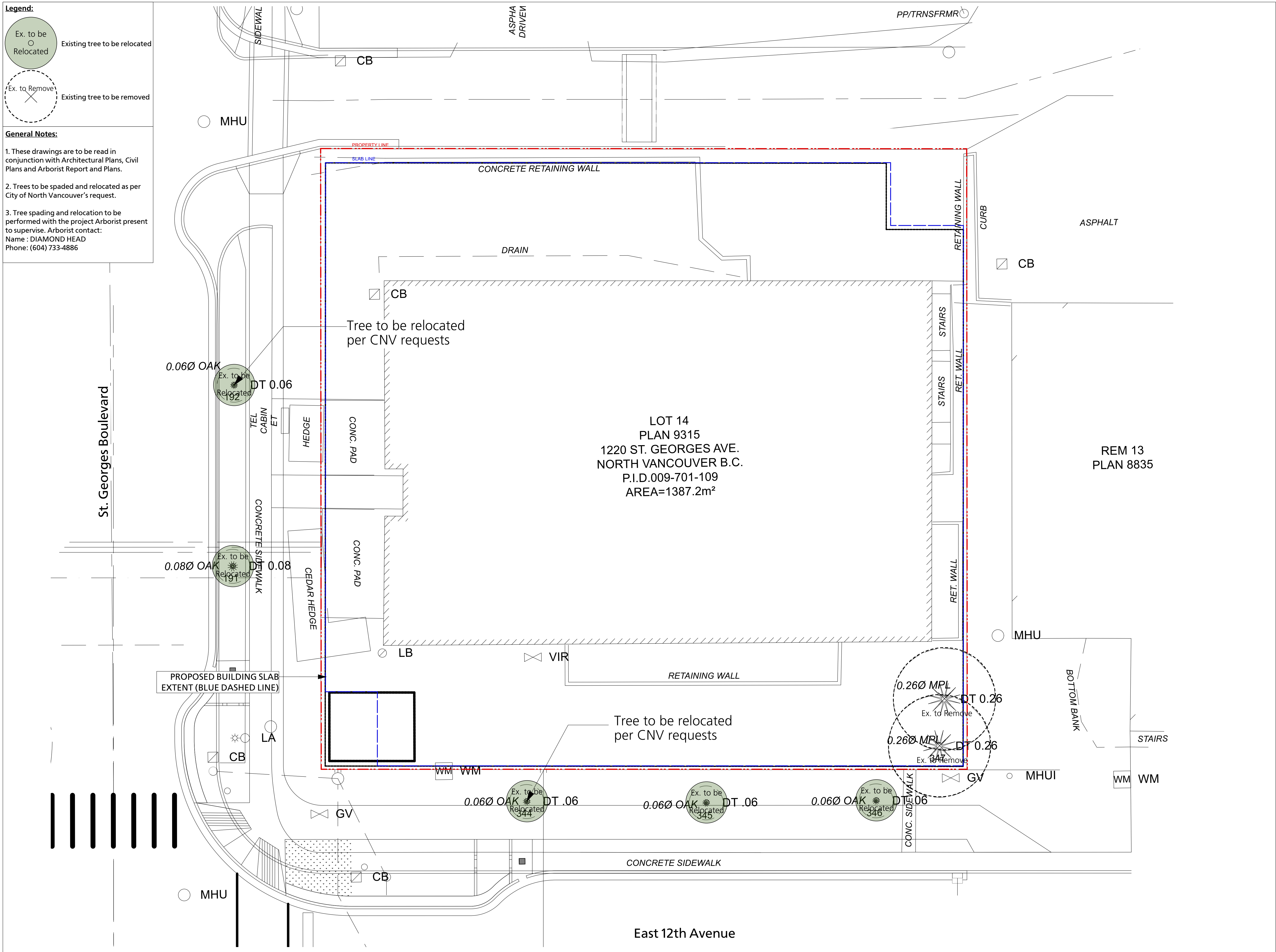
L0.0B

Legend:



General Notes:

1. These drawings are to be read in conjunction with Architectural Plans, Civil Plans and Arborist Report and Plans.
2. Trees to be spaded and relocated as per City of North Vancouver's request.
3. Tree spading and relocation to be performed with the project Arborist present to supervise. Arborist contact: Name : DIAMOND HEAD Phone: (604) 733-4886



12 Reissued for BP	2024/05/29
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Client:
RF PROPERTIES
 REDEKOP | FERRARIO

Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC

Drawing Title:
Tree Management Plan

Project North:

Drawn By: JLW
 Checked By: MP

Scale: 1/8" = 1'-0"
 Job No.: 22-092

Sheet No.:

KEY LEGEND:

1A L5.0 Pedestrian Concrete Paving, On Grade	12 L5.1 Bike Rack
1B L5.0 Pedestrian Concrete Paving, On Slab	13 L5.1 Metal Planter 24" High 30" High 42" High
2A L5.0 Hydrapressed Pavers, On Slab	14 L5.2 Tree Planting Detail Urban Boulevard
2B L5.0 Hydrapressed Pavers Pavers, On Roof	15 L5.2 Shrub and Groundcover Planting
3 L5.0 Concrete Unite Pavers	16 L5.2 Boulevard Lawn
4 L5.0 Yoga Deck	17 L5.2 Rain Garden
5 L5.0 SYNlawn on Roof	18A L5.2 Custom Bench Type A
6 L5.0 Rock Garden	18B L5.2 Custom Bench Type B
7 L5.0 CIP Concrete Planter Wall On Slab	18C L5.2 Custom Bench Type C
8 L5.0 Modular Block Planter Wall On Slab	19 L5.3 CNV Standard Street Furniture
9 L5.1 Picket Fence	20 L5.3 BBQ and Sink
10 L5.1 CIP Concrete Stair with Handrail	
11 L5.1 Custom Aluminum Gate	



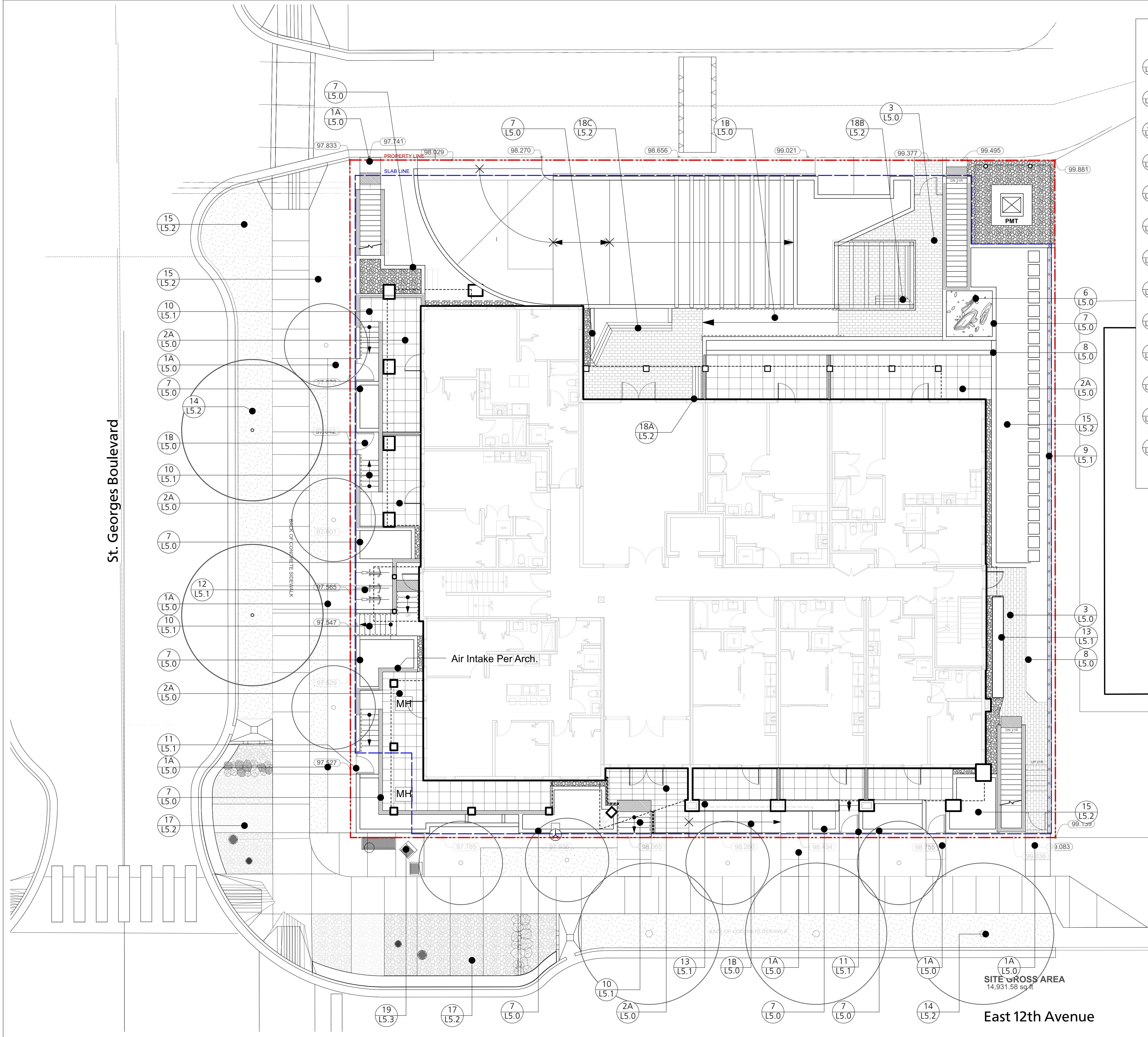
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Client:
RF PROPERTIES
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Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC
 Drawing Title:
Landscape Key Plan

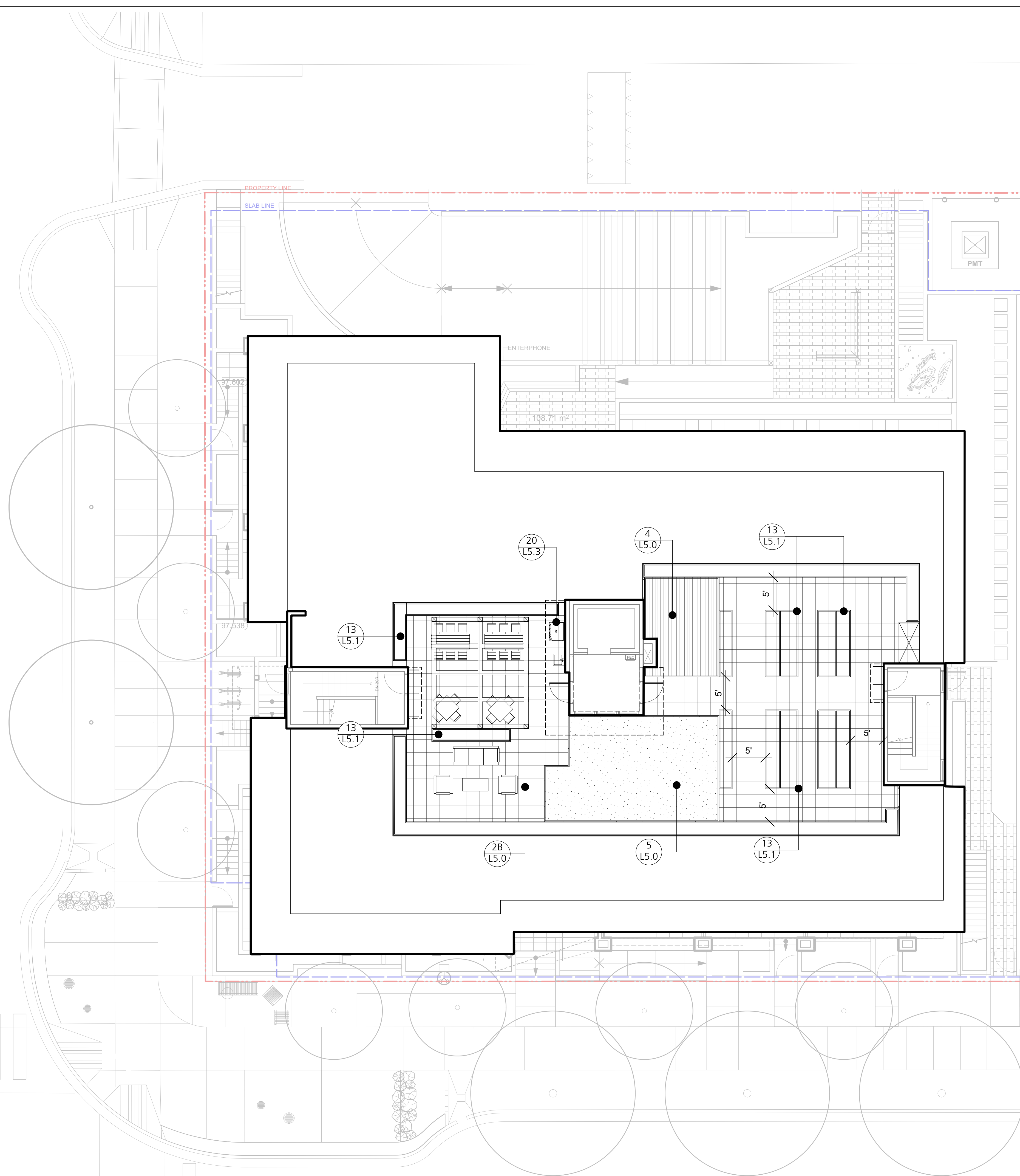
Project North:
 Drawn By: JLW
 Checked By: MP
 Scale: 1/8" = 1'-0"
 Job No.: 22-092
 Sheet No.:



SITE GROSS AREA
 14,931.58 sq.ft

L1.0A

St. Georges Boulevard



East 12th Avenue

KEY LEGEND:

- 1A (L5.0) Pedestrian Concrete Paving, On Grade
- 1B (L5.0) Pedestrian Concrete Paving, On Slab
- 2A (L5.0) Hydrapressed Pavers, On Slab
- 2B (L5.0) Hydrapressed Pavers, On Roof
- 3 (L5.0) Concrete Unite Pavers
- 4 (L5.0) Yoga Deck
- 5 (L5.0) SYNlawn on Roof
- 6 (L5.0) Rock Garden
- 7 (L5.0) CIP Concrete Planter Wall On Slab
- 8 (L5.0) Modular Block Planter Wall On Slab
- 9 (L5.1) Picket Fence
- 10 (L5.1) CIP Concrete Stair with Handrail
- 11 (L5.1) Custom Aluminum Gate
- 12 (L5.1) Bike Rack
- 13 (L5.1) Metal Planter
 - 24" High
 - 30" High
 - 42" High
- 14 (L5.2) Tree Planting Detail Urban Boulevard
- 15 (L5.2) Shrub and Groundcover Planting
- 16 (L5.2) Boulevard Lawn
- 17 (L5.2) Rain Garden
- 18A (L5.2) Custom Bench Type A
- 18B (L5.2) Custom Bench Type B
- 18C (L5.2) Custom Bench Type C
- 19 (L5.3) CNV Standard Street Furniture
- 20 (L5.3) BBQ and Sink



12 Re-issued for BP	2024/05/29
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Client:



Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC

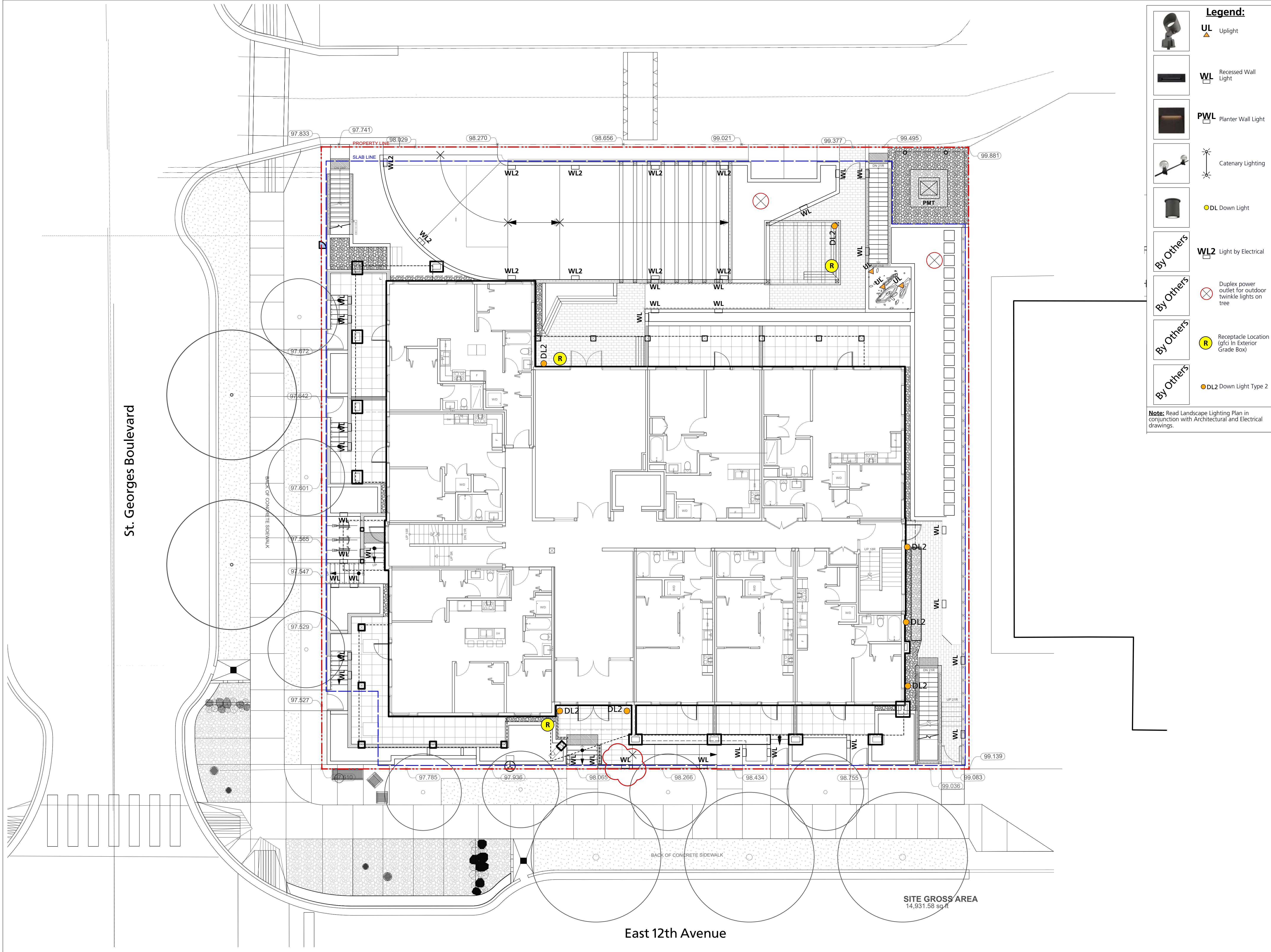
Drawing Title:
Landscape Roof Key Plan

Project North: Drawn By: JLW
 Checked By: MP










Scale: 1/8" = 1'-0" Job No.: 22-092

Sheet No.:

L1.0B



Legend:

-  UL Uplight
-  WL Recessed Wall Light
-  PWL Planter Wall Light
-  Catenary Lighting
-  DL Down Light
-  By Others WL2 Light by Electrical
-  By Others Duplex power outlet for outdoor twinkle lights on tree
-  By Others Receptacle Location (gfci In Exterior Grade Box)
-  By Others DL2 Down Light Type 2

Note: Read Landscape Lighting Plan in conjunction with Architectural and Electrical drawings.



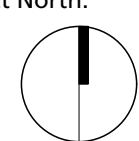
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Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC

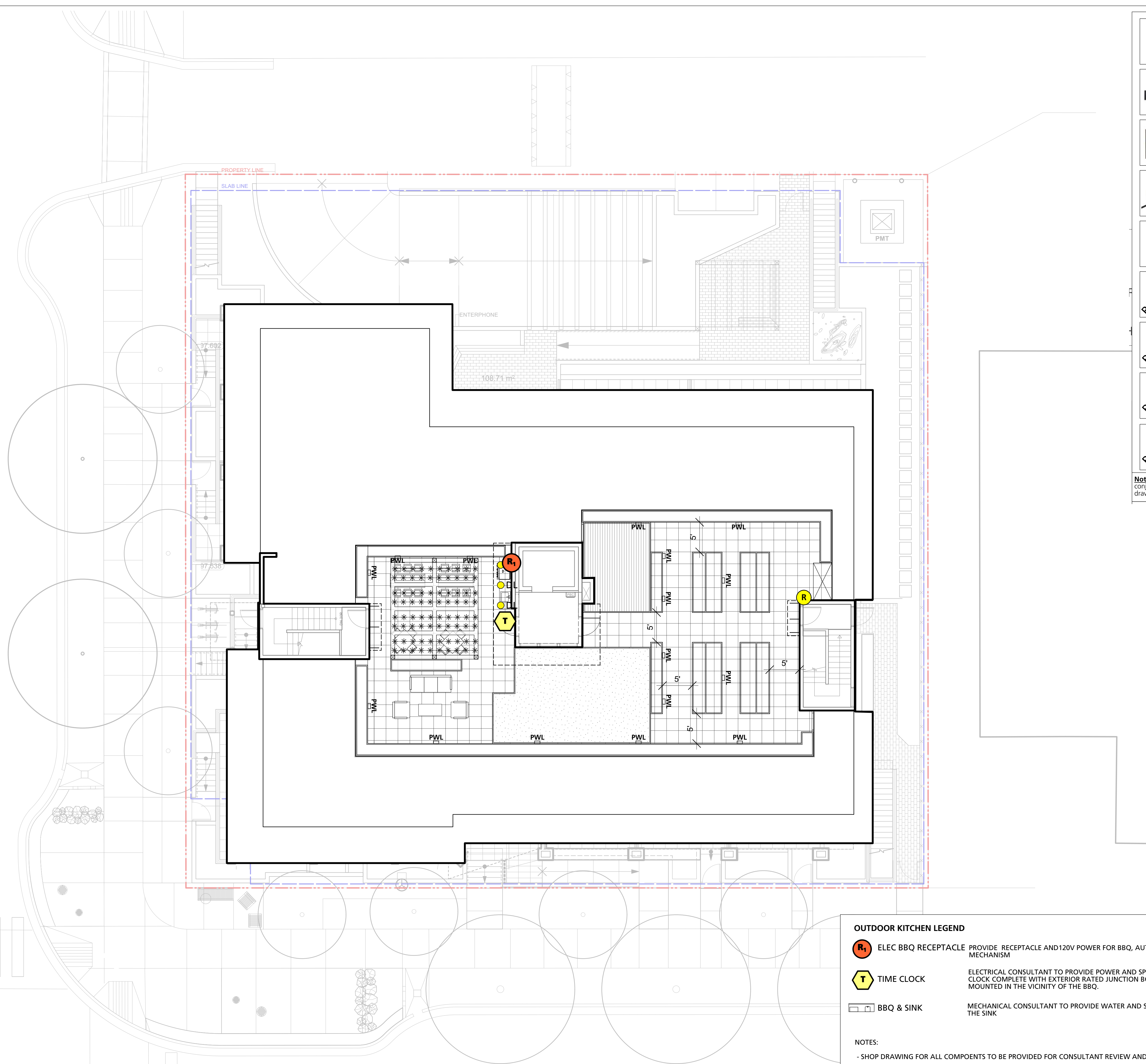
Drawing Title:
Landscape Lighting Plan -Ground Level

Project North:  Drawn By: JLW
 Checked By: MP
 Scale: 1/8" = 1'-0" Job No.: 22-092


Sheet No.: **L1.1A**

SITE GROSS AREA
 14,931.58 sq.ft

St. Georges Boulevard



East 12th Avenue

- Legend:**
-  **UL** Uplight
 -  **WL** Recessed Wall Light
 -  **PWL** Planter Wall Light
 -  Catenary Lighting
 -  **DL** Down Light
 -  **DL2** Down Light Type 2
 - By Others**  **WL2** Light by Electrical
 - By Others**  Duplex power outlet for outdoor twinkle lights on tree
 - By Others**  **R** Receptacle Location (gfci in Exterior Grade Box)
 - By Others**  **DL2** Down Light Type 2

Note: Read Landscape Lighting Plan in conjunction with Architectural and Electrical drawings.



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Revision No.	Date

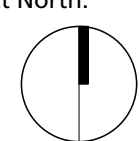
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Client:



Project Title: **Rental Development**
 206 East 12th Street
 North Vancouver, BC

Drawing Title: **Landscape Lighting Plan -Roof Level**



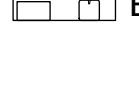
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 Checked By: MP

Scale: 1/8" = 1'-0" Job No.: 22-092

Sheet No.:

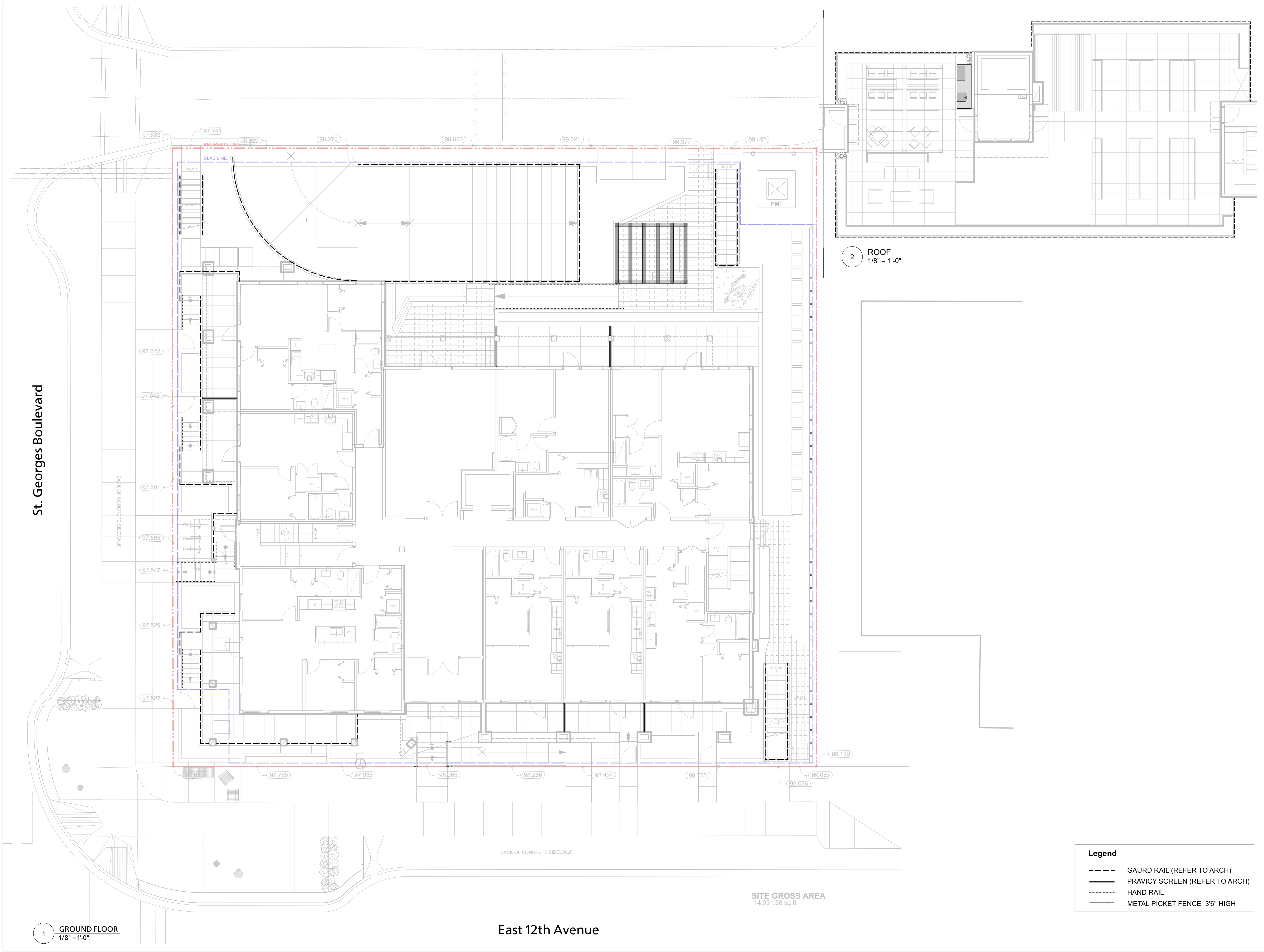
L1.1B

OUTDOOR KITCHEN LEGEND

-  **R1** ELEC BBQ RECEPTACLE PROVIDE RECEPTACLE AND 120V POWER FOR BBQ, AUTO IGNITION AND TIMER MECHANISM
-  **T** TIME CLOCK ELECTRICAL CONSULTANT TO PROVIDE POWER AND SPECIFY TIME CLOCK COMPLETE WITH EXTERIOR RATED JUNCTION BOX MOUNTED IN THE VICINITY OF THE BBQ.
-  **BBQ & SINK** MECHANICAL CONSULTANT TO PROVIDE WATER AND SEWAGE CONNECTIONS FOR THE SINK

NOTES:

- SHOP DRAWING FOR ALL COMPONENTS TO BE PROVIDED FOR CONSULTANT REVIEW AND APPROVAL.
- REFER TO DETAILS AND SPECIFICATIONS FOR PRODUCT INFORMATION.



St. Georges Boulevard

1 GROUND FLOOR
 1/8" = 1'-0"

East 12th Avenue

SITE GROSS AREA
 14,931.58 sq ft

2 ROOF
 1/8" = 1'-0"

Legend

---	GAURD RAIL (REFER TO ARCH)
---	PRAVICY SCREEN (REFER TO ARCH)
---	HAND RAIL
---	METAL PICKET FENCE 3'6" HIGH



12 Reissued for BP	2024/05/29
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Client:



Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC

Drawing Title:
Fencing Plan

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
1/8" = 1'-0"		
Sheet No.:		

L1.2

GRADING NOTES
 1. SLOPE ALL PAVER AREAS TO AREA DRAINS.
 2. ALL PLANTING BEDS OVER SLAB ARE TO BE LIGHTLY COMPACTED PRIOR TO INSTALLATION OF PLANTING. MOUND PLANTERS SLIGHTLY (50MM) IN CENTER. MAXIMUM SLOPE IS 3:1.
 3. REFER TO STRUCTURAL FOR MAXIMUM ALLOWABLE BUILDING /LOADING OVER SLAB.
 4. CONTRACTOR IS RESPONSIBLE TO REVIEW ALL CONSULTANT DRAWINGS.
 5. CONTRACTOR TO ADVISE CONSULTANT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ON SITE CONDITIONS.
 6. CONTRACTOR TO ENSURE ALL SURFACES SLOPE TO DRAIN AWAY FROM BUILDING.
 7. ALL EXISTING AND PROPOSED UTILITY COVERS ARE TO BE ADJUSTED TO THE FINAL GRADE.

PAVING AT DRAINS:
 - AREA DRAIN SPECIFICATIONS PER MECHANICAL
 - PAVERS CUT FLUSH AGAINST DRAIN.
 - MAX 1/16" (1.59MM) GAP BETWEEN PAVER AND DRAIN FRAME.
 - NO PARTIAL CUT BRICKS ACCEPTED.
 - RIGID INSULATION FOR VOIDING WHERE REQUIRED. SEE STRUCTURAL

GRADING LEGEND

FFE +00.00	FINISH FLOOR ELEVATION
+FG 00.00	FINISH GRADE ELEVATION
+TS 00.00	TOP OF STAIRS ELEVATION
+BS 00.00	BOTTOM OF STAIRS ELEVATION
+TW 00.00	TOP OF WALL ELEVATION
+BW 00.00	BOTTOM OF WALL ELEVATION
+TC 00.00	TOP OF CURB ELEVATION
+CG 00.00	CIVIL GRADE
+RIM 00.00	RIM ELEVATION FOR DRAINS

DRAIN TYPE LEGEND

PD	PLANTER DRAIN c/w CLEAN OUT
AD2	2 LEVEL AREA DRAIN
AD	AREA DRAIN



12	Re-issued for BP	2024/05/29
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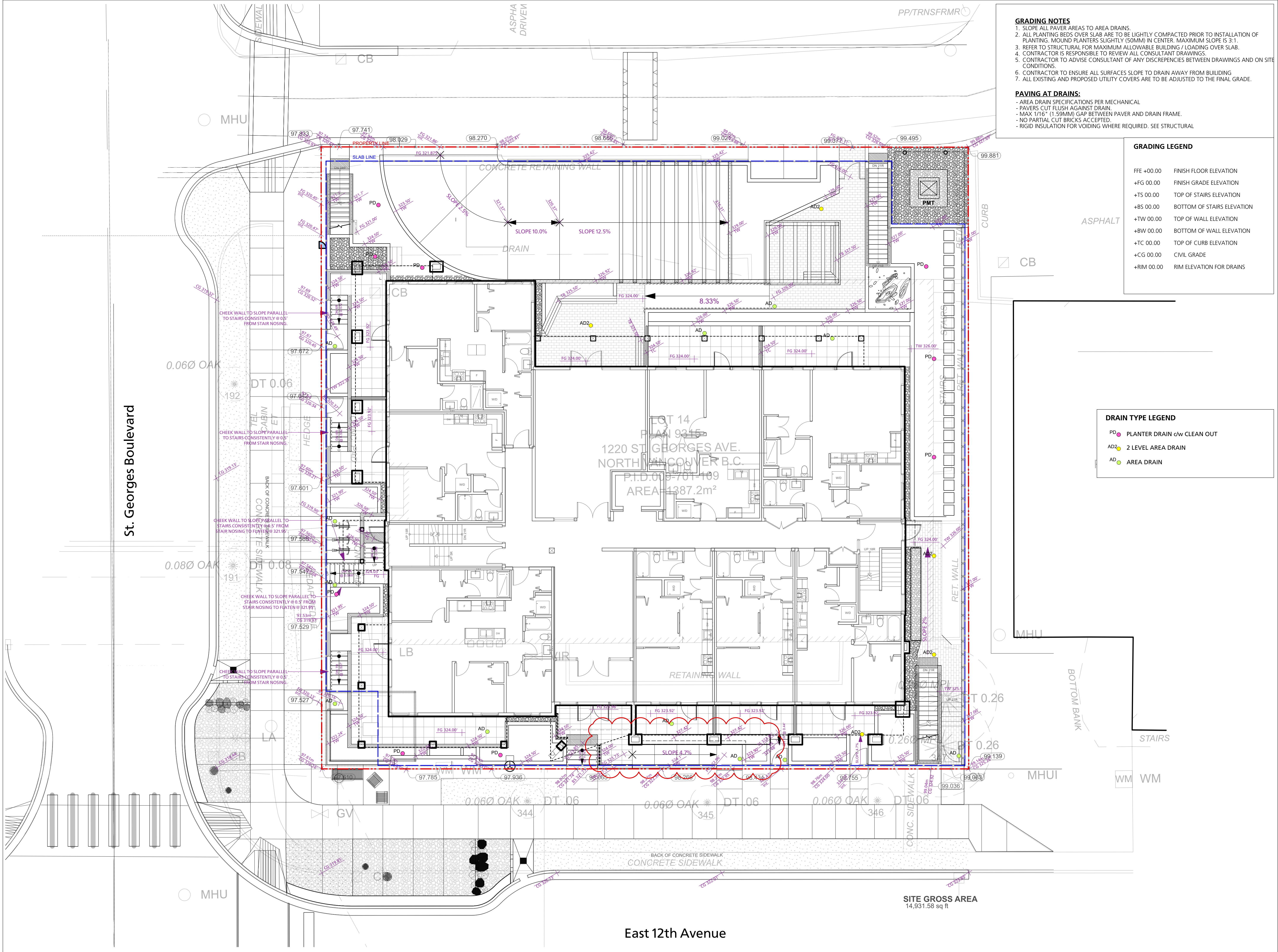
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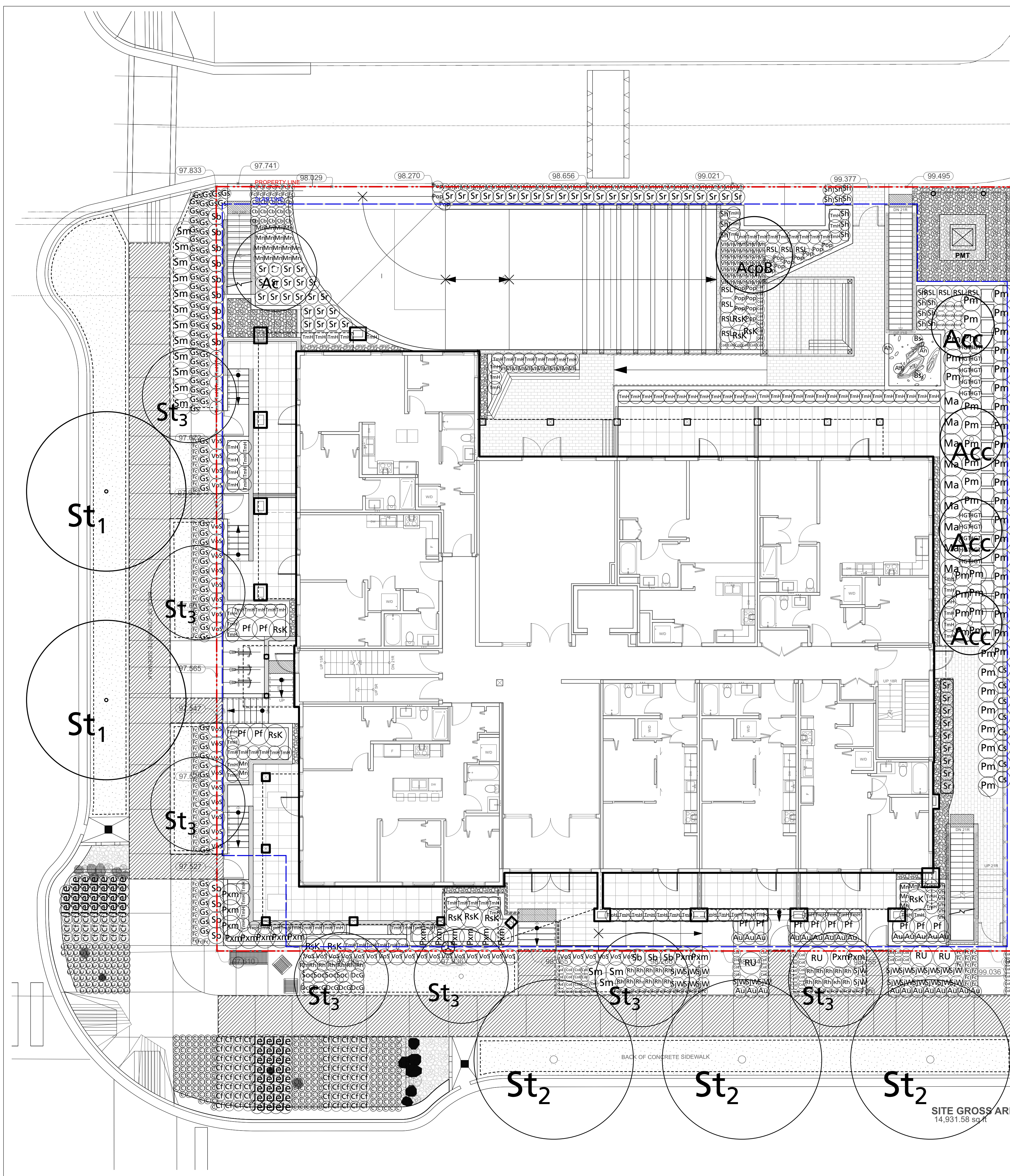
Project Title:
Rental Development
 206 East 12th Street
 North Vancouver, BC

Drawing Title:
Landscape Grading Plan

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
		1/8" = 1'-0"
Sheet No.:		



L2.0



Onsite Plant List					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
Ac	4	Acer circinatum	Vine Maple	2.5m ht., B&B	max. 3 stems, native
AcpB	1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6cm cal., WB	3m ht., specimen grade
Ac	1	Amelanchier canadensis	Shadblow Serviceberry	6cm cal. B&B	native, pollinator
Shrubs					
Cs-1	8	Cornus sericea 'Arctic Fire'	'Arctic Fire' Red Twig Dogwood	#3 pot	native, pollinator, 0.8m spread
Ma	9	Mahonia aquifolium	Oregon Grape	#2 pot	native, pollinator
Mn	25	Mahonia nervosa	Longleaf Mahonia	#2 pot	native, pollinator
Pxm	14	Paxistima myrsinites	Oregon boxleaf	#2 pot	native, syn. Paxistima myrtifolia
Pf	13	Potentilla fruticosa	Cinquefoil	#2 pot	native, pollinator
PL0	27	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	pollinator, 3'-0" H / 4'-0" W
RSL	11	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot	pollinator
Rsk	11	Ribes sanguineum 'King Edward VII'	Flowering Currant	#5 pot	native, pollinator
Sh	19	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	pollinator
Sr	55	Sarcococca ruscifolia	Fragrant Sarcococca	#3 pot	pollinator
SJW	41	Spiraea japonica 'Walburna' Magic Carpet	Magic Carpet Spirea	#3 pot	pollinator, 1'-6" H / 2'-0" W
TmH	154	Taxus x media 'Hicksii' (male form)	Hickii Yew (male form)	3' Height, B&B	native, Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses					
Au	14	Arctostaphylos uva-ursi	Kinnikinnick	#2 pot	native, pollinator
An	3	Athyrium nipponicum var. pictum	Japanese Painted Fern	#1 pot	
Bs	2	Blechnum spicatum	Deer Fern	#1 pot	native
Cb	15	Carex buchananii	Leatherleaf Sedge	#1 pot	
CoE	14	Carex oshimensis 'Evergold'	Sedge	#1 pot	
Fc	14	Fragaria chiloensis	Coastal Strawberry	#1 pot	native, pollinator
HnW	9	Heleborus x nigercors 'Winter's Ghost'	Winter's Ghost Hellebore	#1 pot	
HGT	20	Hosta 'Golden Tiana'	Golden Tiana Variegated Hosta	#1 pot	
LSO	4	Lavandula stoechas 'Otto Quast'	Spanish Lavender	#1 pot	pollinator
Pm	48	Polystichum munium	Western Sword Fern	#1 pot	native
Pop	19	Polystichum polyblepharum	Japanese Tassel Fern	#1 pot	
Ro	2	Rosmarinus officinalis	Rosemary	#2 pot	pollinator
Sol	4	Salvia officinalis 'Icterina'	Golden Common Sage	#1 pot	pollinator
TSo	3	Thymus 'Spicy Orange'	Orange Scented Thyme	#1 pot	pollinator, groundcover
Vh	115	Vancouveria hexandra	White Inside-out Flower	#1 pot	native, pollinator
Total	679				

Offsite Plant List					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
St1	2	Street Tree 1	Street Tree 1	7cm cal. min.	2.0m ht Std, T.B.C. by the CNV
St2	3	Street Tree 2	Street Tree 2	7cm cal. min.	2.0m ht Std, T.B.C. by the CNV
St3	7	Street Tree 3	Street Tree 3	7cm cal min.	2.0m ht, Std T.B.C. by the CNV
Shrubs					
Gs	90	Gaultheria shallon	Salal	#2 pot	*native
Pxm	4	Paxistima myrsinites	Oregon boxleaf	#2 pot	native, syn. Paxistima myrtifolia
RU	4	Rhododendron 'Unique'	Unique Rhododendron	#3 pot	pollinator
Sb	16	Spiraea betulifolia	Birch Leaf Spirea	#3 pot	pollinator
SJW	23	Spiraea japonica 'Walburna' Magic Carpet	Magic Carpet Spirea	#3 pot	pollinator, 1'-6" H / 2'-0" W
Sm	15	Symphoricarpos mollis	Creeping Snowberry	#2 pot	native, pollinator
Vos	44	Vaccinium ovatum 'Scarlet Ovation'	Scarlet Ovation Evergreen Huckleberry	#3 pot	native, pollinator, 3'-0" H / 2'-0" H
Groundcovers, Vines, Ferns, Perennials and Grasses					
Au	11	Arctostaphylos uva-ursi	Kinnikinnick	#2 pot	native, pollinator
C	271	Carex elata 'Aurea'	Bowles' Golden Sedge	#1 pot	
Cf	93	Carex flacca	Blue Creeping Sedge	#1 pot	
CoE	50	Carex oshimensis 'Evergold'	Sedge	#1 pot	
DcG	6	Deschampsia cespitosa 'Goldtau'	Gold Dew Tufted Hair Grass	#1 pot	
Fc	101	Fragaria chiloensis	Coastal Strawberry	#1 pot	native, pollinator
Je	59	Juncus effusus	Common Rush	#1 pot	native
Rh	28	Rudbeckia hirta	Black-eyed Susan	#1 pot	pollinator
Soc	4	Solidago canadensis	Canada Goldenrod	#1 pot	
Total	831				

#1 Grade non-netted chafer-resistant sodded lawn x 1448 ft2

PLANTING NOTES

- Offsite Tree Species selection to be confirmed by CNV Park Board. Final spacing, quantity and tree species to the satisfaction of CNV. New trees must be of good standard, minimum 7cm caliper, and installed with approved root barriers and appropriate soil. Root barriers shall be 12 inches in depth and continuous along front & back side of sidewalks and entry walks. Planting depth of root ball must be at sidewalk grade. Call CWI for inspection after tree planting completion.
- All planting and landscape installation to meet or exceed the BCSLA/BC/LNA - CSLA landscape standards.
- As a minimal acceptable standard:
 - Sizes on the plant list shall be considered minimum sizes
 - Root balls to be free of pernicious weeds
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.
- All plant material shall be approved at the nursery by the project landscape architect.
- The contractor shall supply all plant materials shown on all drawings.
- No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.
- Container grown stock, shall have the container removed and the rootball be cleanly scored in two vertical locations.
- Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Genetic Analysis is not acceptable.
- Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site prior to planting.
- The contractor shall locate and verify the existence of all utilities prior to starting work.
- All planting beds to have min 50 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
- The landscape contractor shall refer to the contract specifications for additional requirements.
- All sod to be unnetted and grown on sand. All sod to be chafer-resistant sod within boulevards with a high percentage of tall turf-type fescue
- Plant Search area to include BC, WA, OR & CA.
- Imported growing medium to be free from all mushroom / fungi growth
- Contractor is responsible to obtain and be familiar with the relevant project specifications



12 Reissued for BP	2024/05/29
11 Re-issued for BP	2024/04/29
10 Issued for Tender	2024/02/19
9 Re-issued for BP	2023/11/08
8 Re-Issued for BP	2023/11/08
7 Issued for BP Submission	2021/11/10
6 Issued for 90% BP	2021/10/13
Revision No.	Date

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Client:

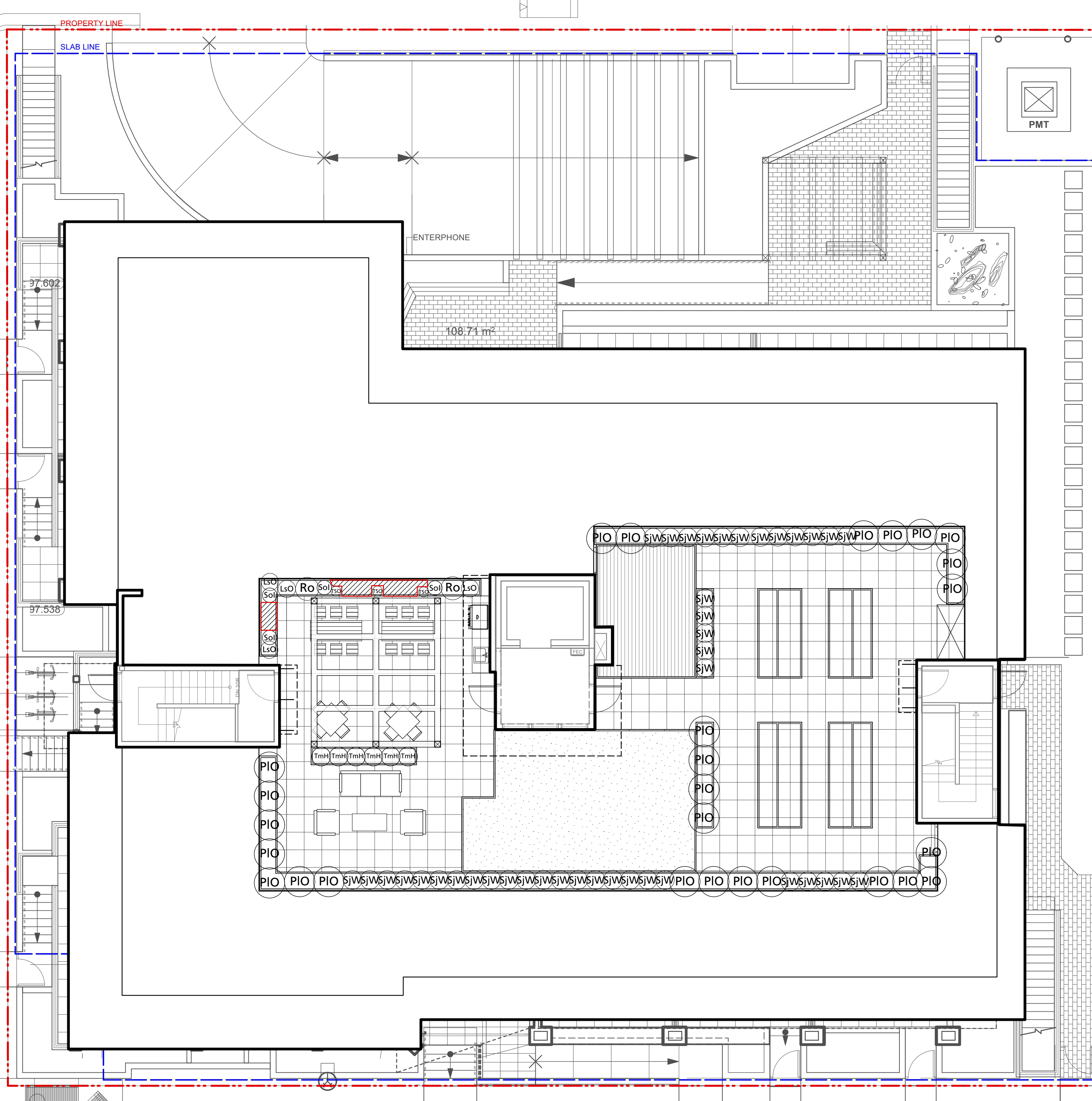


Project Title: **Rental Development**
 206 East 12th Street
 North Vancouver, BC

Drawing Title: **Planting Plan -Ground Level**

Project North:	Drawn By: JLW
	Checked By: MP
Scale: 1/8" = 1'-0"	Job No.: 22-092
Sheet No.:	

St. Georges Boulevard



Onsite Plant List					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
Acp	4	Acer circinatum	Vine Maple	2.5m ht., B&B	max. 3 stems, native
AcpB	1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6cm cal., WB	3m ht., specimen grade
Ac	1	Amelanchier canadensis	Shadblow Serviceberry	6cm cal. B&B	native, pollinator
Shrubs					
Cs-1	8	Cornus sericea 'Arctic Fire'	'Arctic Fire' Red Twig Dogwood	#3 pot	native, pollinator, 0.8m spread
Ma	9	Mahonia aquifolium	Oregon Grape	#2 pot	native, pollinator
Mn	25	Mahonia nervosa	Longleaf Mahonia	#2 pot	native, pollinator
Pxm	14	Paxistima myrsinites	Oregon boxleaf	#2 pot	native, syn. Paxistima myrtifolia
Pf	13	Potentilla fruticosa	Cinquefoil	#2 pot	native, pollinator
PIO	27	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	pollinator, 3'-0" H / 4'-0" W
RSL	11	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot	pollinator
RK	11	Ribes sanguineum 'King Edward VII'	Flowering Currant	#5 pot	native, pollinator
Sh	19	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	pollinator
Sr	55	Sarcococca ruscifolia	Fragrant Sarcococca	#3 pot	pollinator
SjW	41	Spiraea japonica 'Walburna' Magic Carpet	Magic Carpet Spirea	#3 pot	pollinator, 1'-6" H / 2'-0" W
TmH	154	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	3' Height, B&B	native, Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses					
Au	14	Arctostaphylos uva-ursi	Kinnikinnick	#2 pot	native, pollinator
An	3	Athyrium nipponicum var. pictum	Japanese Painted Fern	#1 pot	
Bs	2	Blechnum spicant	Deer Fern	#1 pot	native
Cb	15	Carex buchananii	Leatherleaf Sedge	#1 pot	
CoE	14	Carex oshimensis 'Evergold'	Sedge	#1 pot	
Fc	14	Fragaria chiloensis	Coastal Strawberry	#1 pot	native, pollinator
HnW	9	Helleborus x nigercors 'Winter's Ghost'	Winter's Ghost Hellebore	#1 pot	
HGT	20	Hosta 'Golden Tiara'	Golden Tiara Variegated Hosta	#1 pot	
LSO	4	Lavandula stoechas 'Otto Quast'	Spanish Lavender	#1 pot	pollinator
Pm	48	Polystichum munitum	Western Sword Fern	#1 pot	native
Pop	19	Polystichum polyblepharum	Japanese Tassel Fern	#1 pot	
Ro	2	Rosmarinus officinalis	Rosemary	#2 pot	pollinator
SoI	4	Salvia officinalis 'Icterina'	Golden Common Sage	#1 pot	pollinator
TSO	3	Thymus 'Spicy Orange'	Orange Scented Thyme	#1 pot	pollinator, groundcover
Vh	115	Vancouveria hexandra	White Inside-out Flower	#1 pot	native, pollinator
Total	679				
Offsite Plant List					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
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St3	7	Street Tree 3	Street Tree 3	7cm cal. min.	2.0m ht, Std T.B.C. by the CNV
Shrubs					
Gs	90	Gaultheria shallon	Salal	#2 pot	*native
Pxm	4	Paxistima myrsinites	Oregon boxleaf	#2 pot	native, syn. Paxistima myrtifolia
RU	4	Rhododendron 'Unique'	Unique Rhododendron	#3 pot	pollinator
Sb	16	Spiraea betulifolia	Birch Leaf Spirea	#3 pot	pollinator
SjW	23	Spiraea japonica 'Walburna' Magic Carpet	Magic Carpet Spirea	#3 pot	pollinator, 1'-6" H / 2'-0" W
Sm	15	Symphoricarpos mollis	Creeping Snowberry	#2 pot	native, pollinator
VoS	44	Vaccinium ovatum 'Scarlet Ovation'	Scarlet Ovation Evergreen Huckleberry	#3 pot	native, pollinator, 3'-0" H / 2'-0" W
Groundcovers, Vines, Ferns, Perennials and Grasses					
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C	271	Carex elata 'Aurea'	Bowles' Golden Sedge	#1 pot	
Cf	93	Carex flacca	Blue Creeping Sedge	#1 pot	
CoE	50	Carex oshimensis 'Evergold'	Sedge	#1 pot	
DcG	6	Deschampsia cespitosa 'Goldtau'	Gold Dew Tufted Hair Grass	#1 pot	
Fc	101	Fragaria chiloensis	Coastal Strawberry	#1 pot	native, pollinator
Je	59	Juncus effusus	Common Rush	#1 pot	native
Rh	28	Rudbeckia hirta	Black-eyed Susan	#1 pot	pollinator
Soc	4	Solidago canadensis	Canada Goldenrod	#1 pot	
Total	831				

#1 Grade non-netted chafer-resistant sodded lawn x 1448 ft2

PLANTING NOTES

- Offsite Tree Species selection to be confirmed by CNV Park Board. Final spacing, quantity and tree species to the satisfaction of CNV. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers and appropriate soil. Root barriers shall be continuous along back of sidewalk. Planting depth of root ball must be at sidewalk grade. Call CNV for inspection after tree planting completion.
- All planting and landscape installation to meet or exceed the BC SLA/BCLNA - CSLA landscape standards.
- As a minimal acceptable standard:
 - Sizes on the plant list shall be considered minimum sizes
 - Root balls to be free of pernicious weeds
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.
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- Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.
- Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site prior to planting.
- The contractor shall locate and verify the existence of all utilities prior to starting work.
- All planting beds to have min 50 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
- The landscape contractor shall refer to the contract specifications for additional requirements.
- All sod to be unnetted and grown on sand.
- Plant Search area to include BC, WA, OR & CA.
- Imported growing medium to be free from all mushroom / fungi growth
- Contractor is responsible to obtain and be familiar with the relevant project specifications



12 Reissued for BP	2024/05/29
11 Re-issued for BP	2024/04/29
10 Issued for Tender	2024/02/19
9 Re-issued for BP	2023/11/08
8 Re-issued for BP	2023/11/08
7 Issued for BP Submission	2021/11/10
6 Coordination	2021/10/13
Revision No.	Date

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Client:



Project Title:
Rental Development
206 East 12th Street
North Vancouver, BC

Drawing Title:
Planting Plan - Roof Level

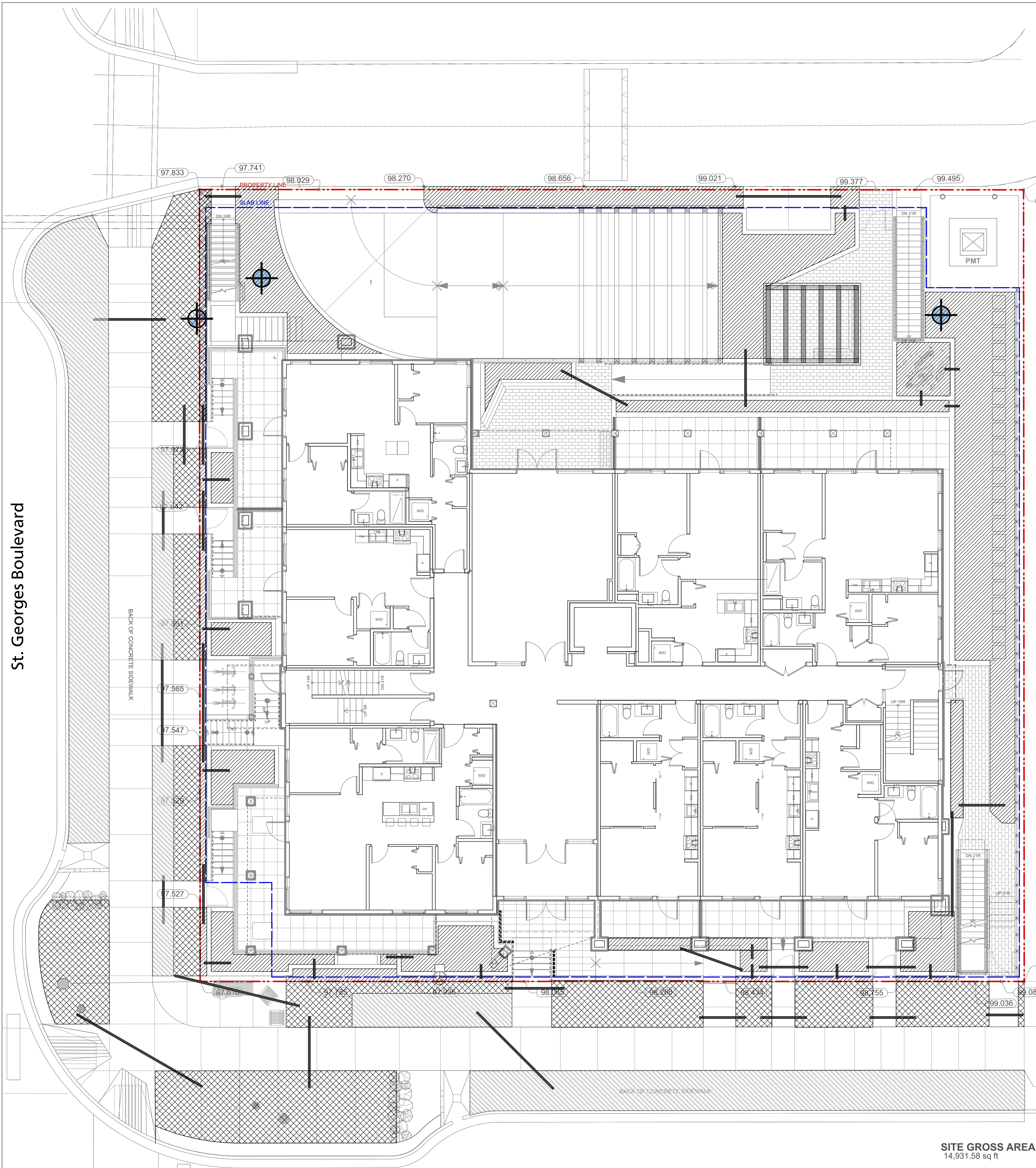
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	Checked By:	MP
Scale:	Job No.:	22-092
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Sheet No.:

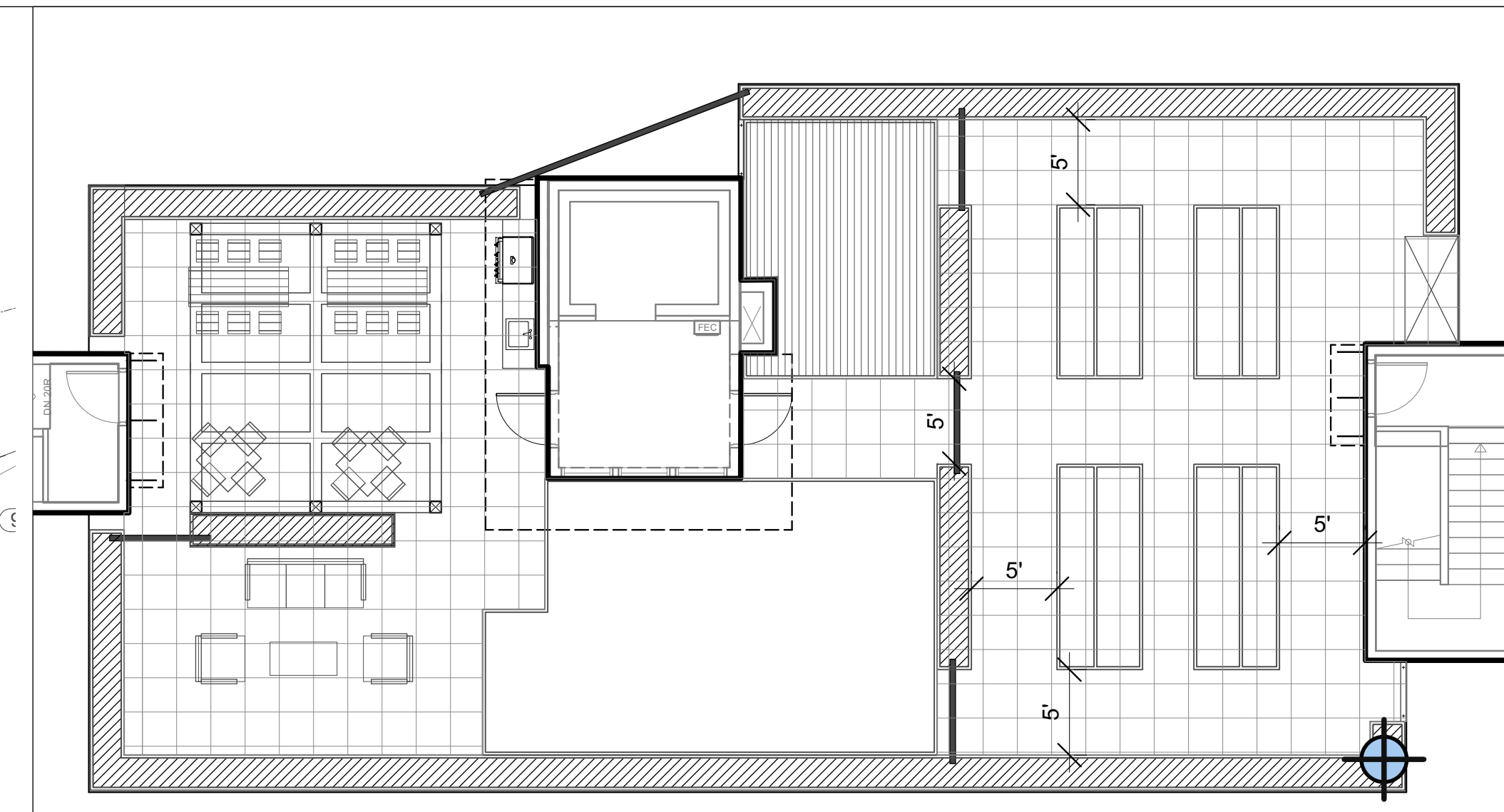
L3.0B

East 12th Avenue

St. Georges Boulevard



1 GROUND FLOOR - SCHEMATIC IRRIGATION PLAN
1/8" = 1'-0"



2 ROOF - SCHEMATIC IRRIGATION PLAN
1/8" = 1'-0"

General Notes:

1. The irrigation contractor to provide a complete and functioning design-build sprinklers irrigation system designed to meet 50% potable water use reduction.
2. The irrigation contractor shall confirm on site the locations of the stub-outs provided by the Mechanical contractor.
3. The Electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
4. The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
5. Provide rain/freeze sensor on system, coordinate location with general contractor and architect.
6. Flow thru all piping not to exceed 5ft/sec.
7. Irrigation contractor to ensure all sleeves, conduits and location of the rain sensor are coordinated with general contractor.
8. The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
9. The irrigation system shall be installed as per the landscape architect's specifications and IIABC standards or better.
10. The mechanical contractor shall install the double check valve and a blow out connection in the water entry room and run supply lines to all stub out locations. See plans.
11. The irrigation contractor shall provide irrigation system for all street trees and boulevard to City of North Vancouver standards.
12. The irrigation contractor to submit shop drawings with all irrigation system information for approval prior to installation.
13. The irrigation contractor to provide as-built drawings that signed and stamped by IIABC irrigation designer following construction.
14. All Irrigation heads to be "Rainbird" brand.

Off-site irrigation:

-All off-site irrigation system to be on a separate controller than the on-site irrigation system. Off-site irrigation system controller to be accessible and not within the building/strata. All-offsite system to include inground shut off valve.

-An off-site irrigation system is to be installed at the developer's cost. City of North Vancouver forces will install an irrigation lead and box from a line brought out to the boulevard from the proposed building. The location of the irrigation box and connection is to be determined at the building permit design stage. All beds and trees (including street trees) are to have in-ground irrigation.

- Provide separate irrigation zones for offsite lawn and shrub areas.

MECHANICAL + ELECTRICAL IRRIGATION COORDINATION (BY OTHERS)

- Mechanical:**
1. Provide backflow preventer and blowout tee located in Mechanical room.
 2. Provide piping from backflow preventer to all stubout locations indicated on this drawing.
 3. Provide copper to PVC fitting at each stubout.
- Electrical:**
1. Provide 120V power source for irrigation controller in Mechanical room.
 2. Provide conduit (for low voltage wiring by Irrigation Contractor) from Mechanical room to all stubout and auto valve locations.

Legend:

- 2565 sqft ON SITE SHRUB AREA TO BE COVERED BY AUTOMATED IRRIGATION.
- 1585 sqft OFF SITE SHRUB AREA TO BE COVERED BY AUTOMATED IRRIGATION.
- 1448 sqft OFF SITE LAWN AREA TO BE COVERED BY AUTOMATED IRRIGATION.
- IRRIGATION SLEEVE (MIN. 2X DIA. OF IRRIGATION LINE)
- ON SITE IRRIGATION STUB OUT: 1.5" THREADED COPPER PIPE. 35 GPM @ 70 PSI.
- OFF SITE IRRIGATION STUB OUT: 1.5" THREADED COPPER PIPE. 35 GPM @ 70 PSI.
- IRRIGATION CONTROLLER TO BE LOCATED IN THE WATER ENTRY ROOM
- HOSE BIB. REFER TO MECHANICAL DRAWINGS FOR DETAILS



12 Reissued for BP	2024/05/29
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10 Issued for Tender	2024/02/19
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8 Re-Issued for BP	2023/11/08
7 Issued for BP Submission	2021/11/10
Issued for 90% BP	
6 Coordination	2021/10/13
Revision No.	Date

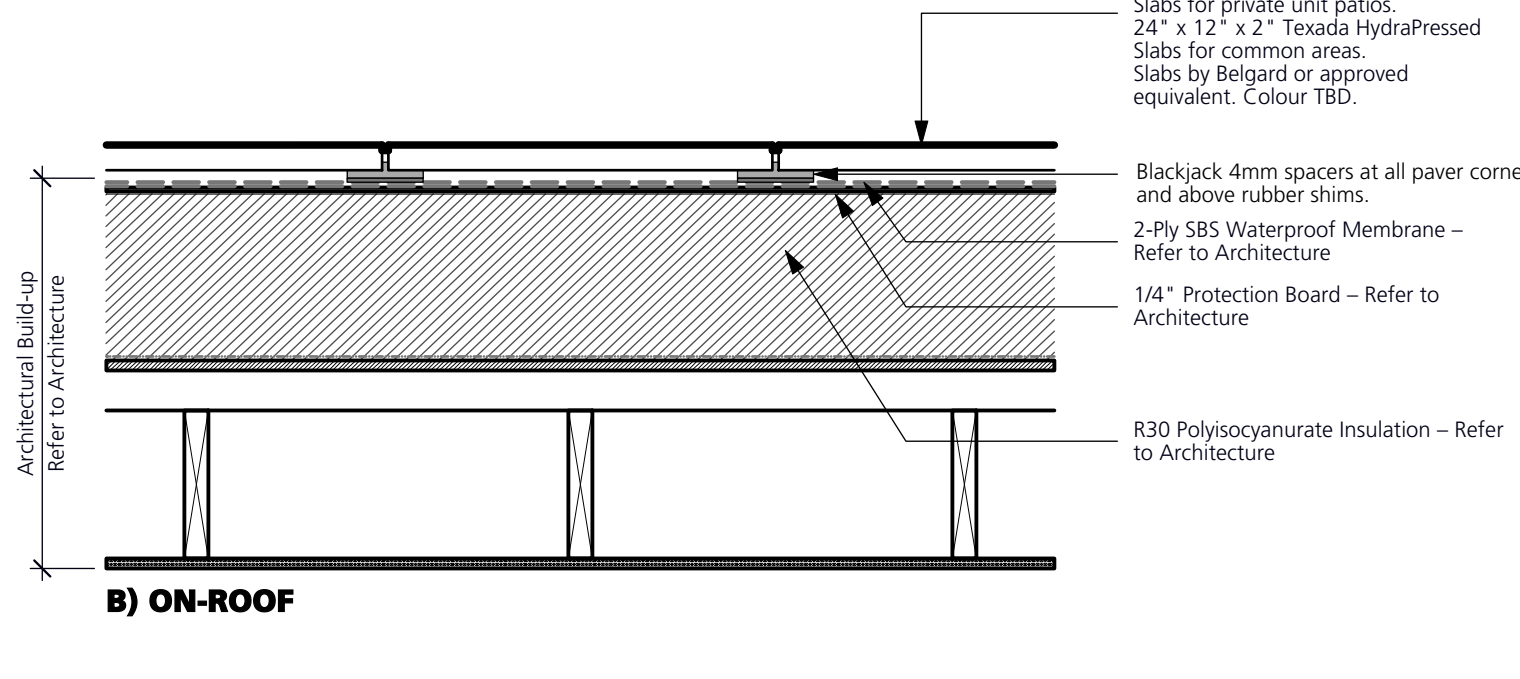
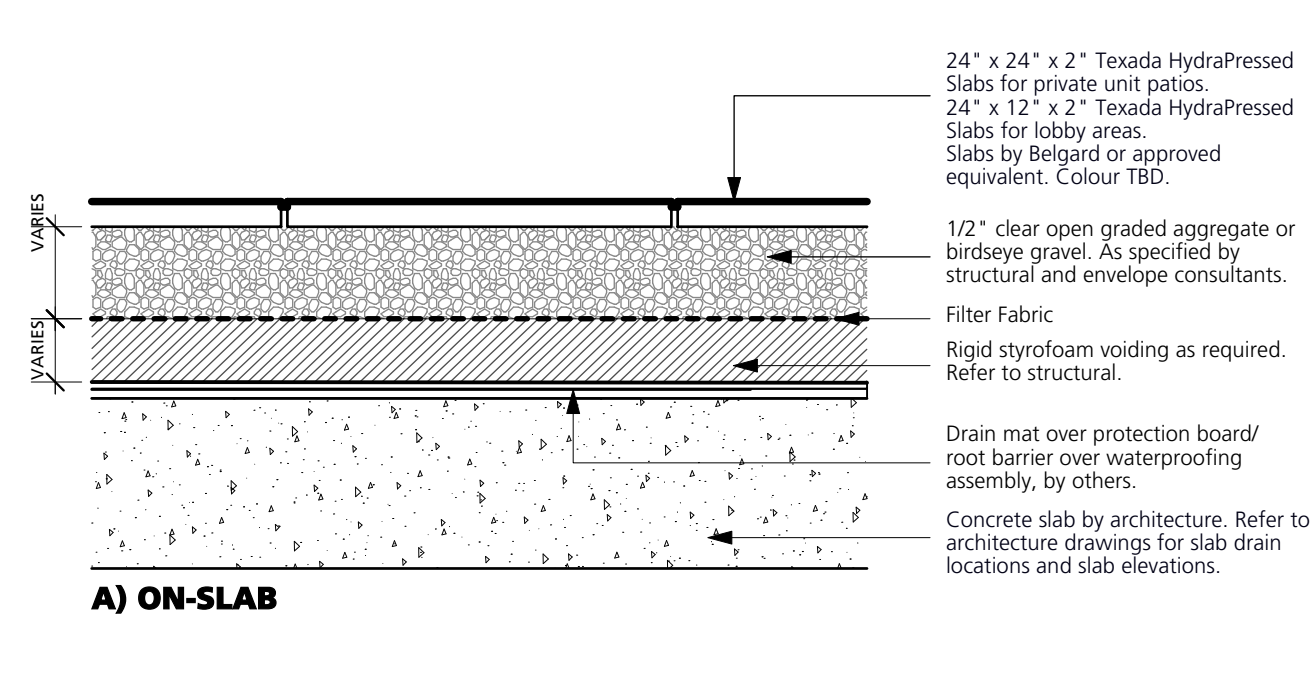
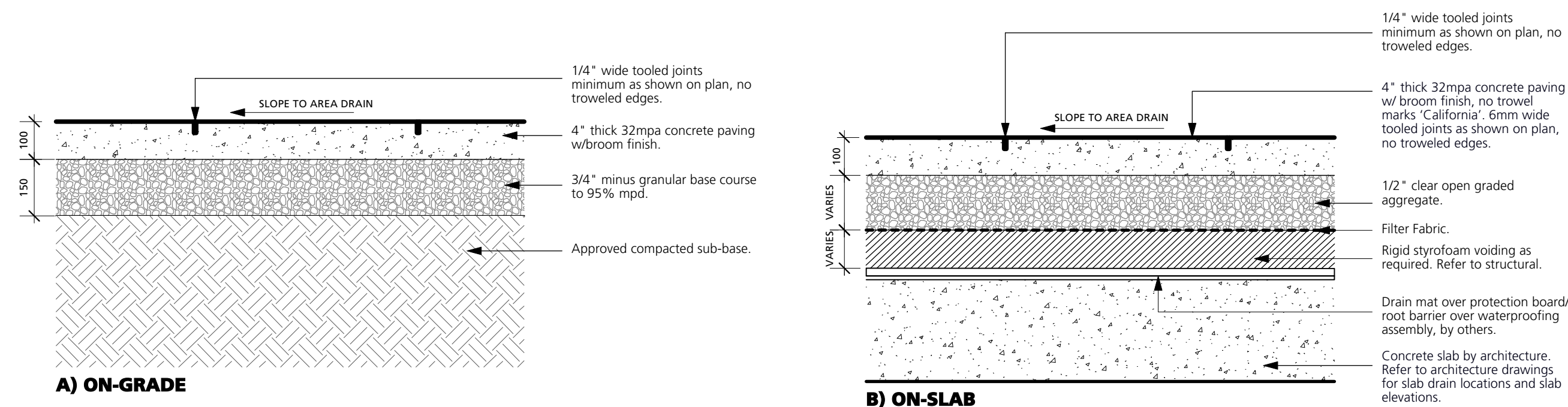
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Client:
RF PROPERTIES
REDEKOP | FERRARIO

Project Title:
Rental Development
206 East 12th Street
North Vancouver, BC

Drawing Title:
Schematic Irrigation Plan

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
		1/8" = 1'-0"
Sheet No.:		

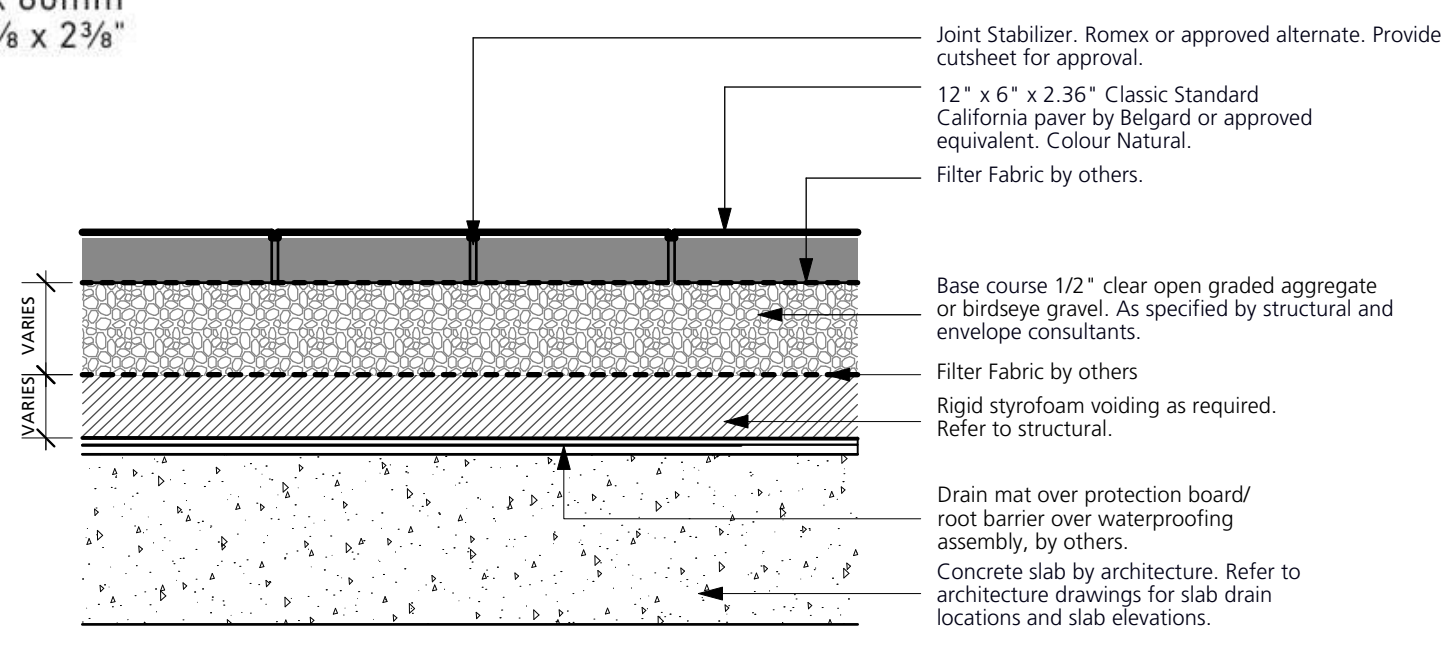


1
 L5.0 CIP CONCRETE PAVING (PEDESTRIAN)
 1" = 1'0"

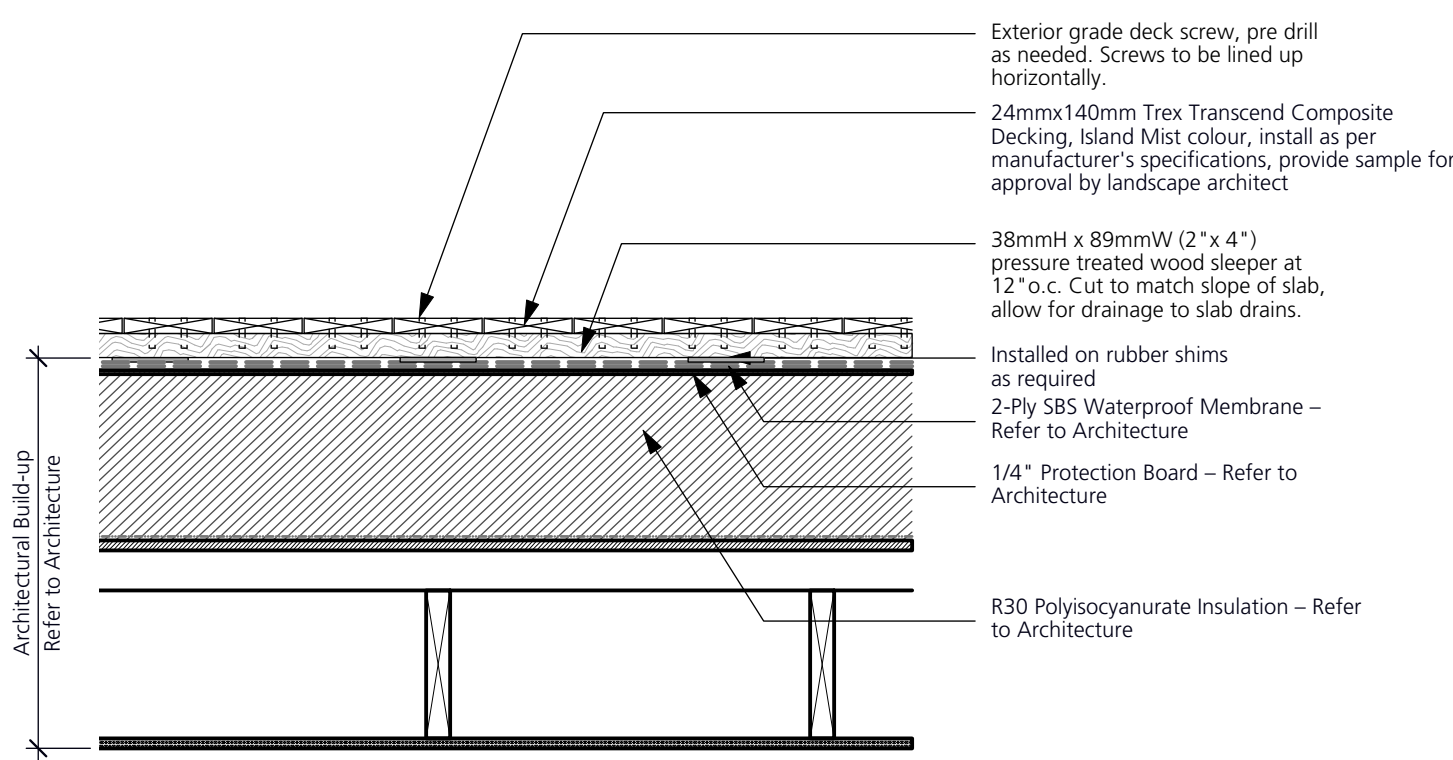
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 L5.0 HYDRAPRESSED PAVERS (PEDESTRIAN)
 1" = 1'0"

CALIFORNIA

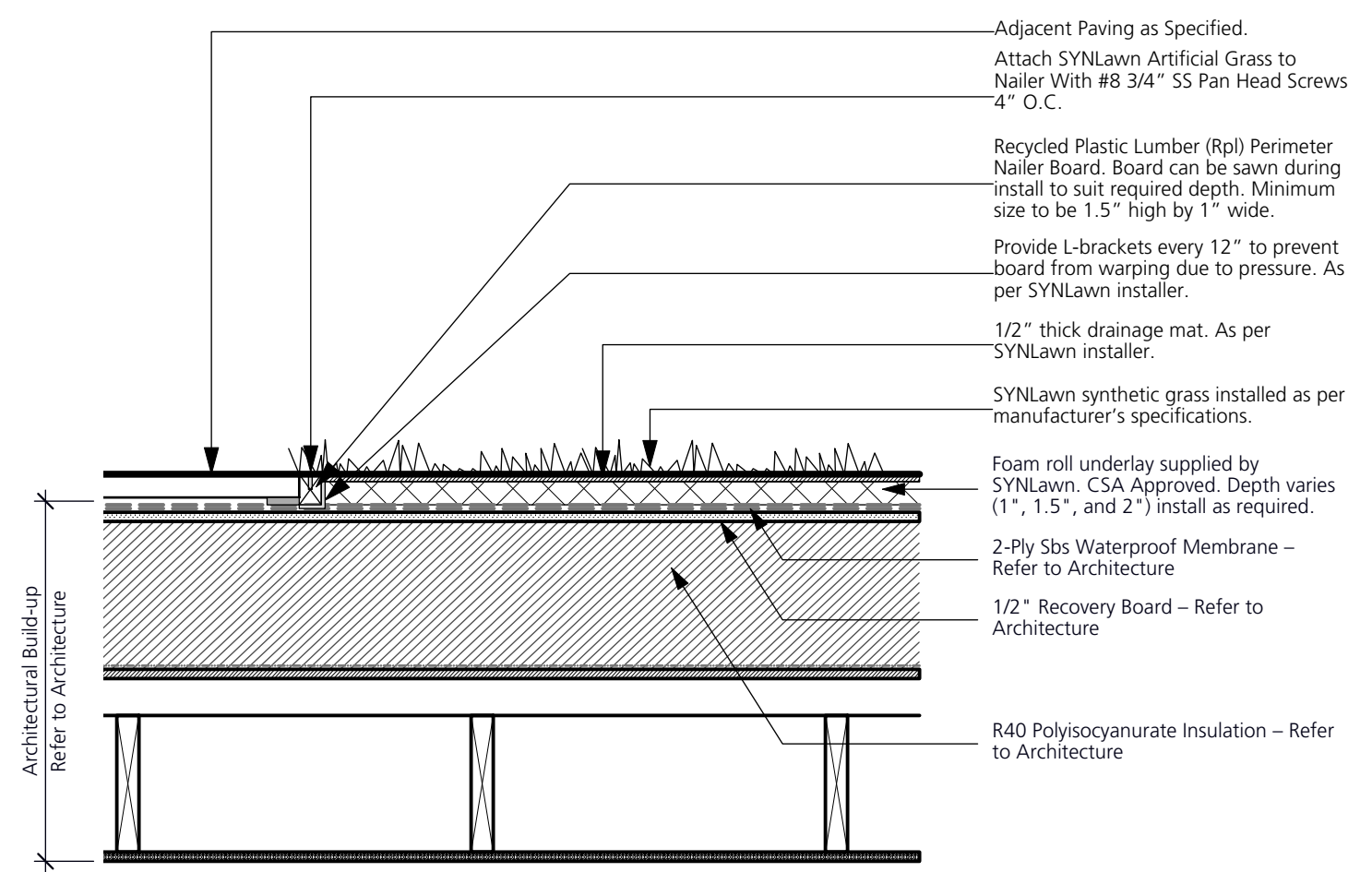
151 x 301 x 60mm
 5 15/16 x 11 7/8 x 2 3/8"



3
 L5.0 CONCRETE UNIT PAVERS
 1" = 1'0"



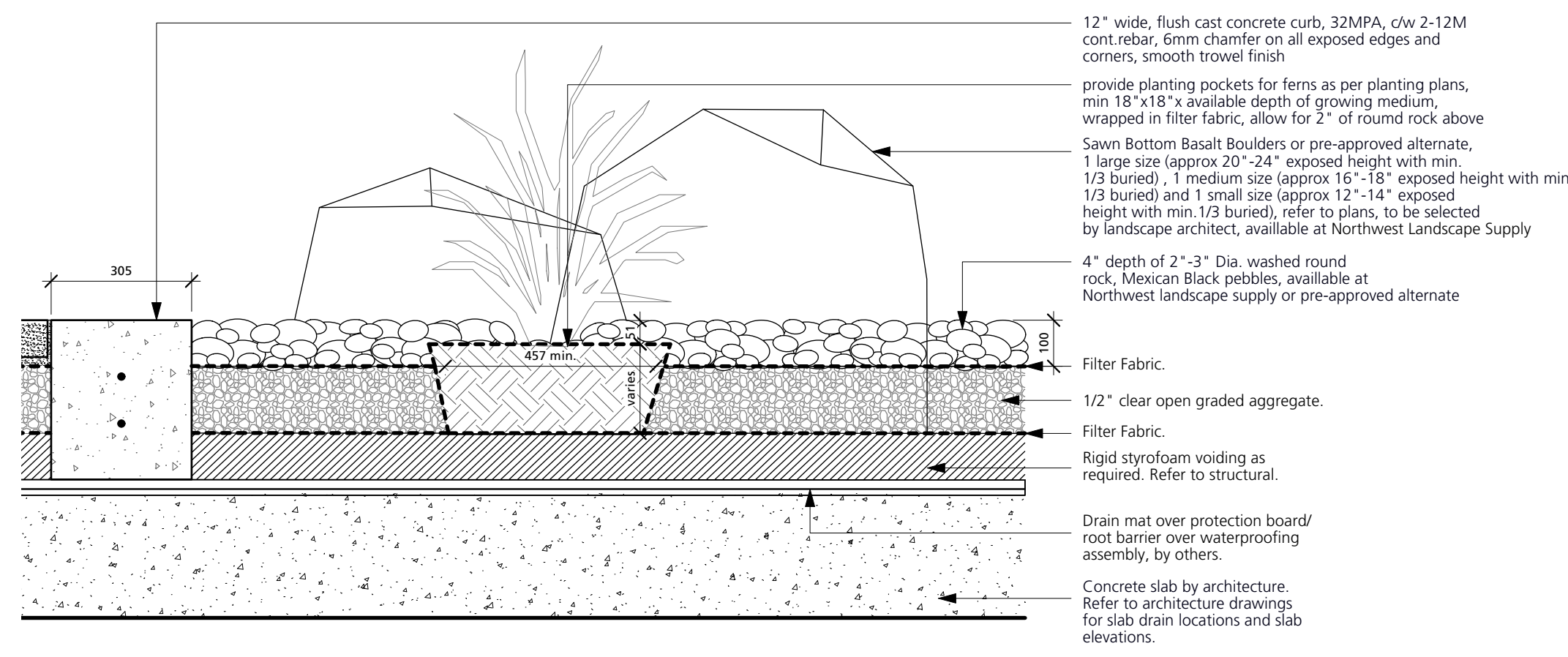
4
 L5.0 YOGA DECK
 1" = 1'0"



5
 L5.0 SYNlawn ON ROOF
 1" = 1'0"

Notes:

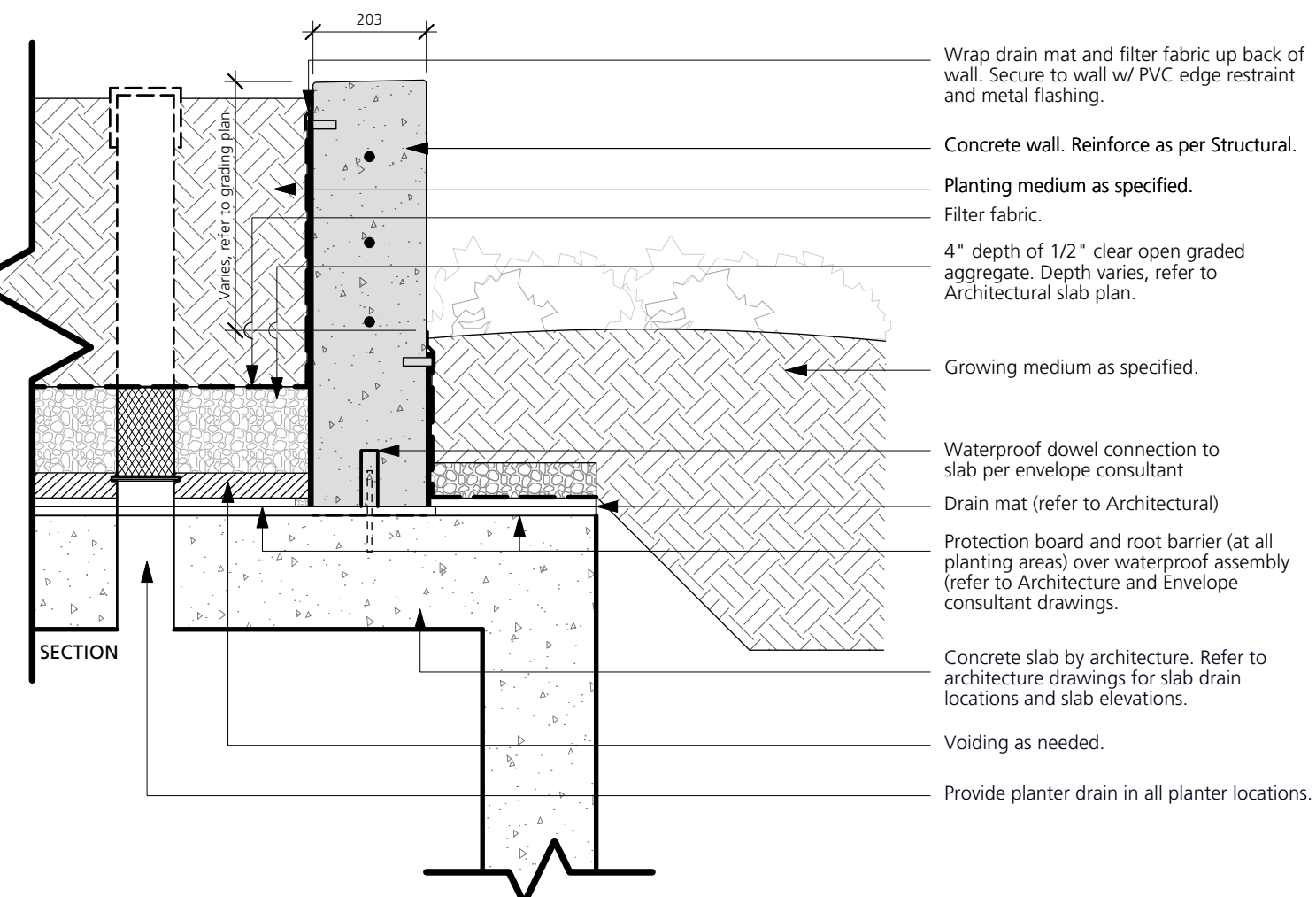
- Grizzly Granite Standing Stone from Northwest Landscape Supply or Approved Alternate.
- Quantity: 3
- Sizes: Varies, Large, Medium and Small sizes for landscape plan.
- Provide shop drawings with boulder photos and sizes and construction details for LA review and approval.



6
 L5.0 ROCK GARDEN
 1" = 1'0"

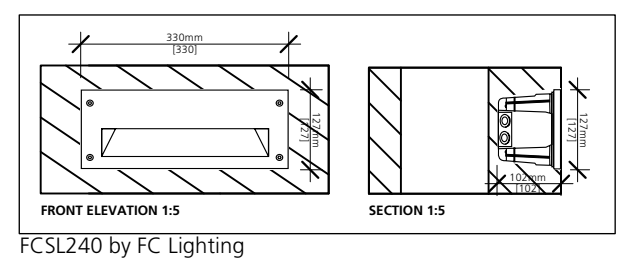
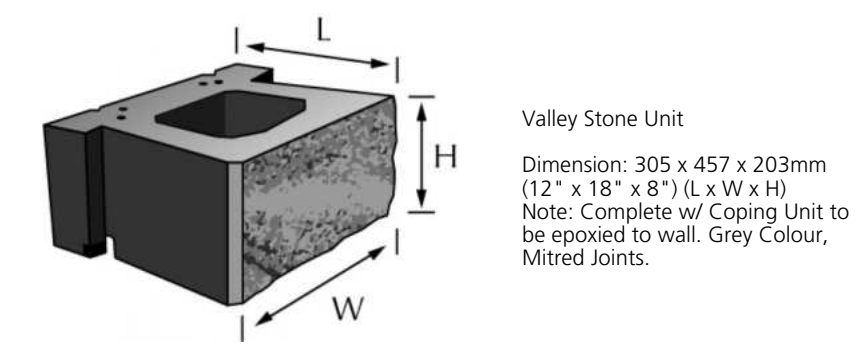
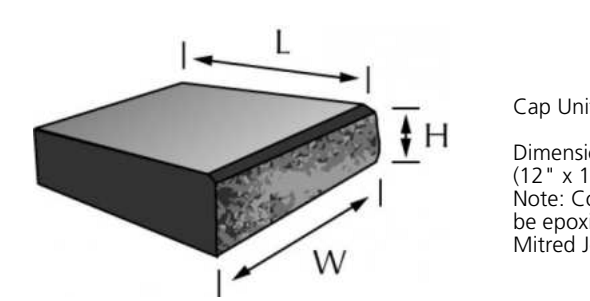
Notes:

- Refer to building envelope, architecture, and mechanical consultants for water proofing, drain locations, and build-up details.



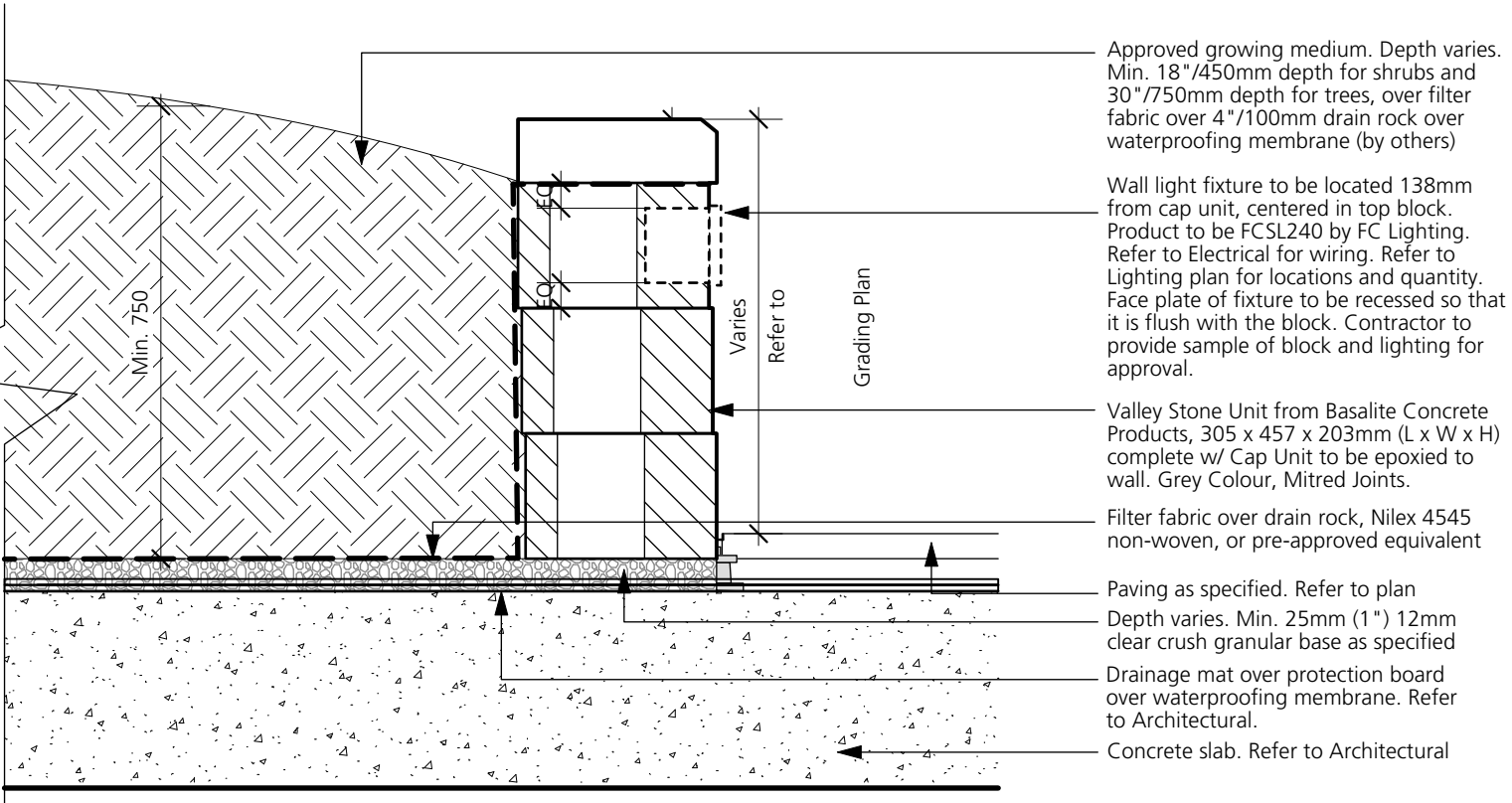
7
 L5.0 CIP CONCRETE PLANTER WALL ON SLAB
 1" = 1'0"

Available at **Basalite Concrete Products**
 Address: 8650 130th Street, Surrey, BC V3W 1G1
 Tel: (604) 596-3844



Note:

- Any modular walls 4'-0" (1.22m) or taller with surcharge behind are to be reviewed by geotechnical prior to construction.



8
 L5.0 MODULAR BLOCK PLANTER WALL ON SLAB
 1" = 1'0"



11 Reissued for BP	2024/05/29
10 Re-issued for BP	2024/04/29
9 Issued for Tender	2024/02/19
8 Reissued for BP	2023-11-08
Revision No.	Date

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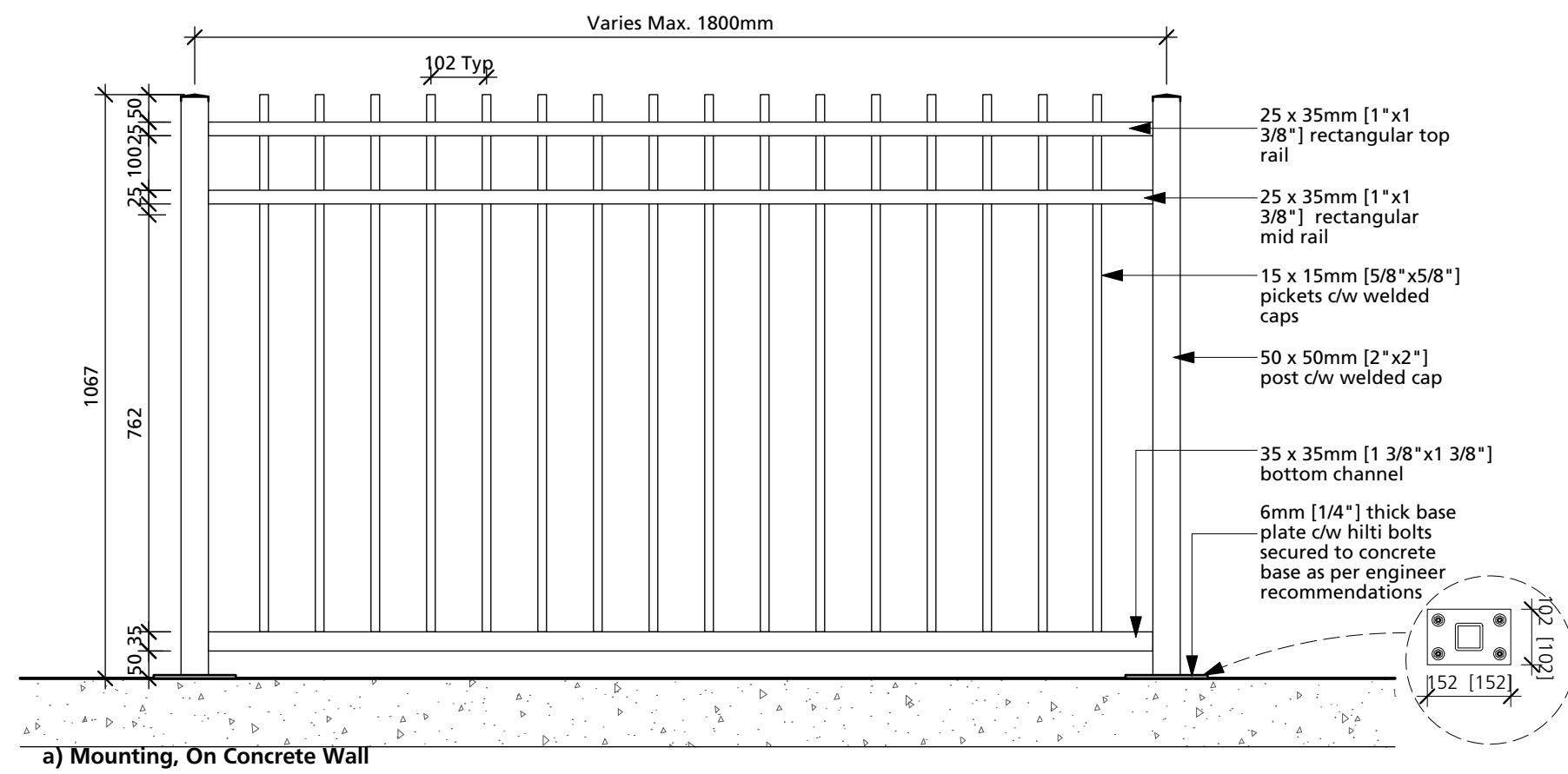


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 206 East 12th Street North Vancouver, BC

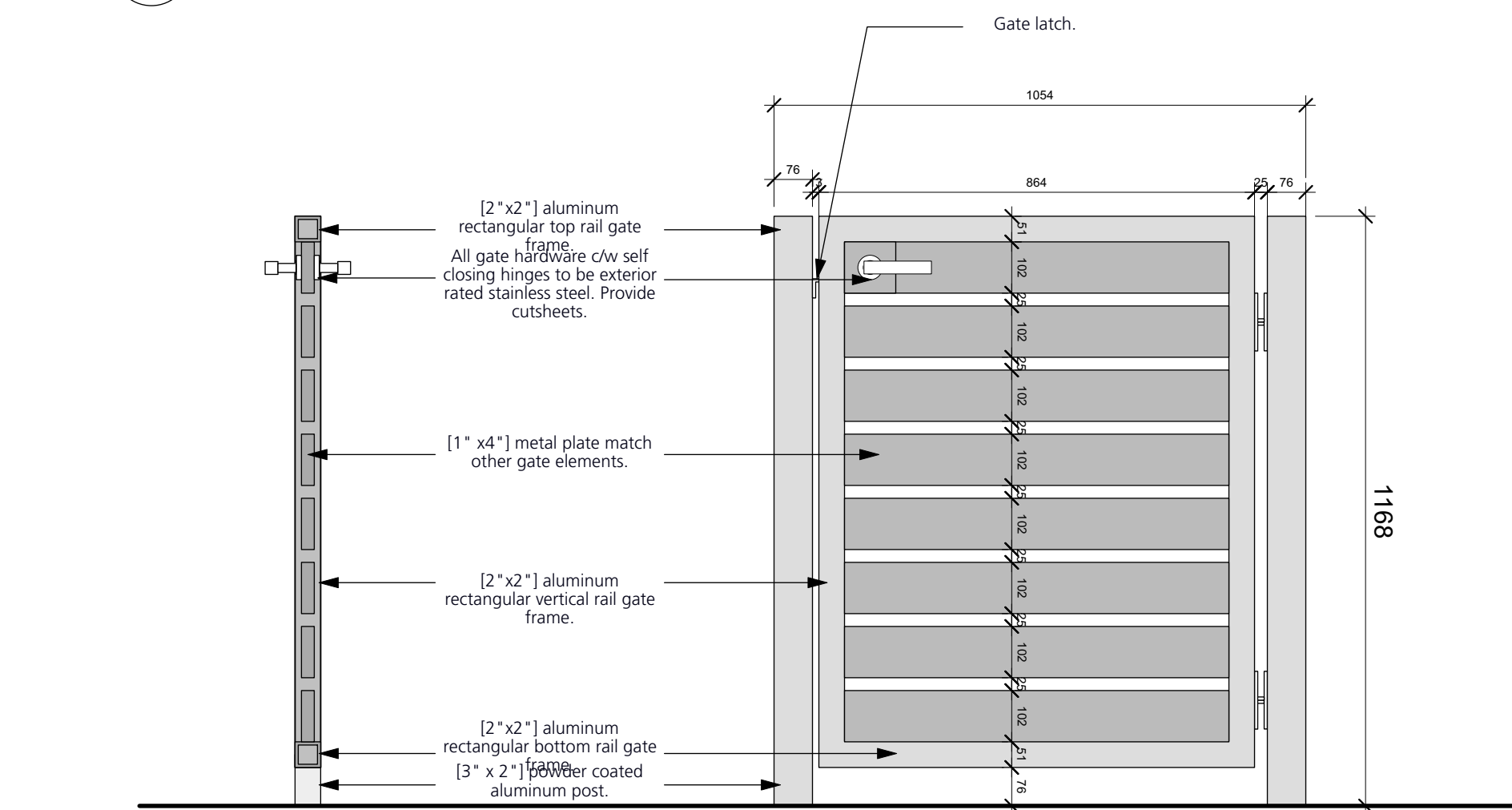
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Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
	As Shown	
Sheet No.:		

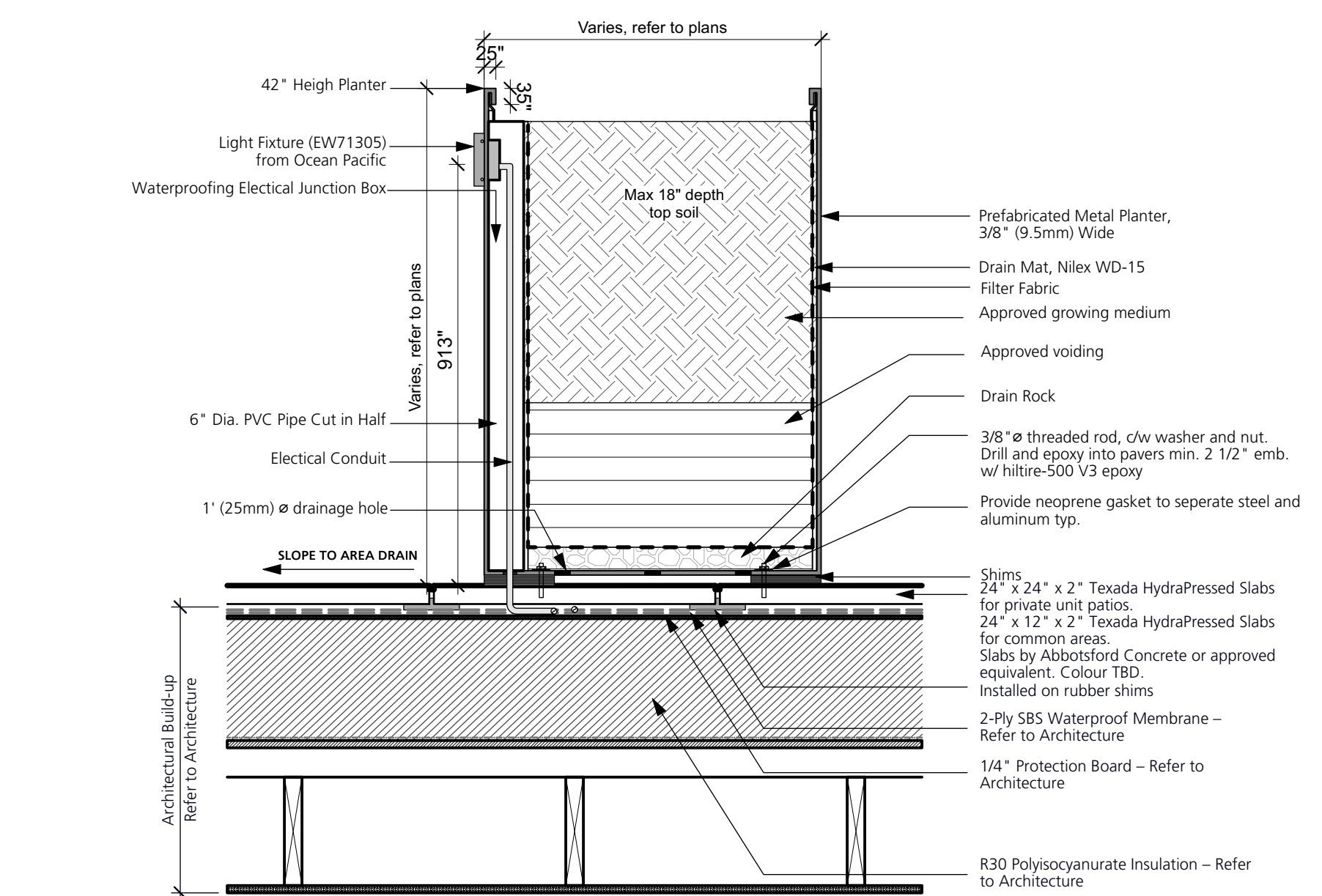
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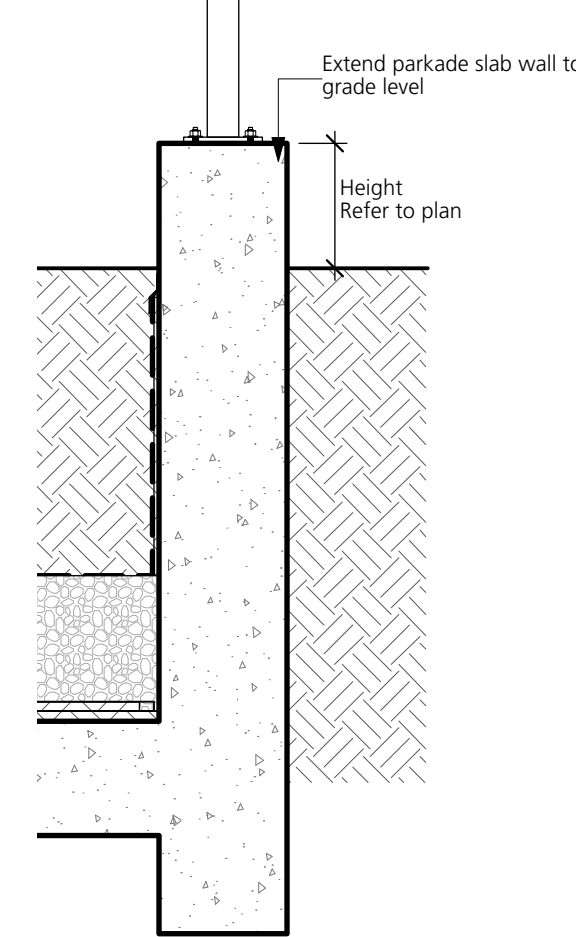
9
L5.1 PICKET FENCE
 1" = 1'0"



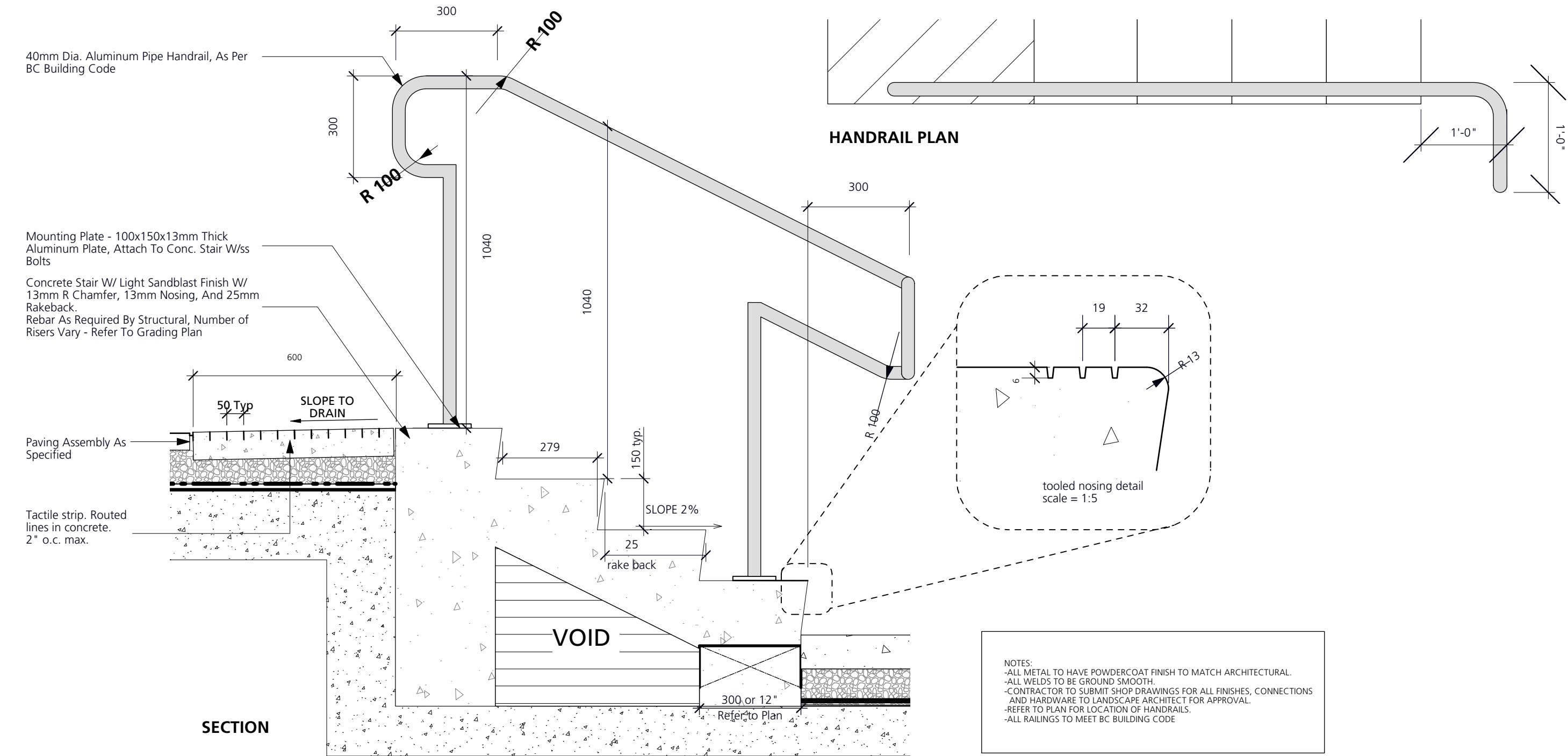
11
L5.1 CUSTOM ALUMINUM GATE
 1" = 1'0"



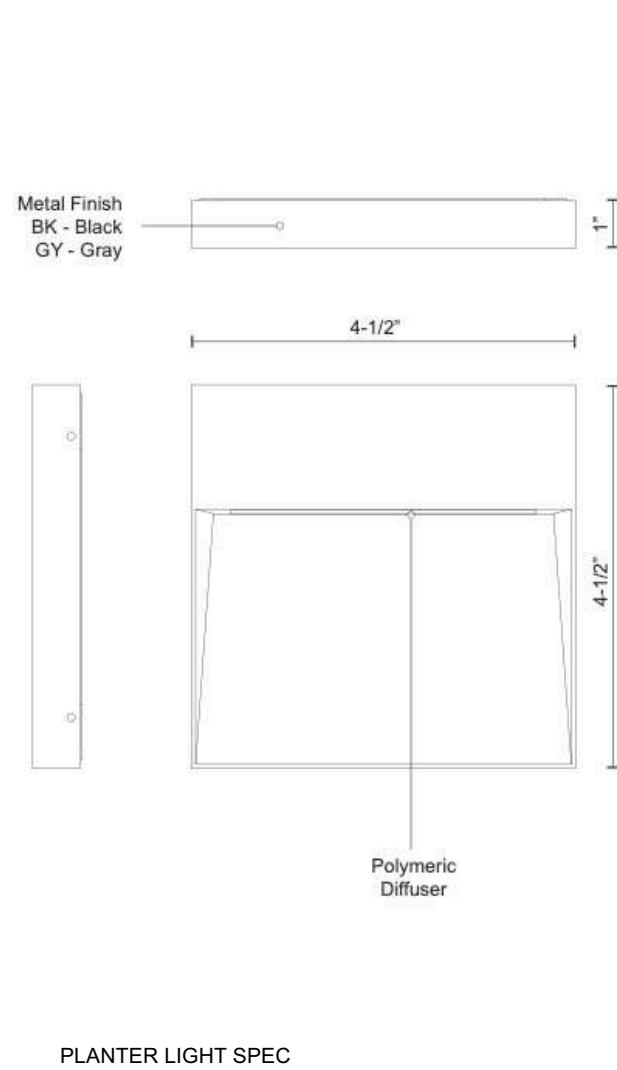
13
L5.1 METAL PLANTERS
 1" = 1'0"



10
L5.1 CIP CONCRETE STAIR WITH HANDRAIL



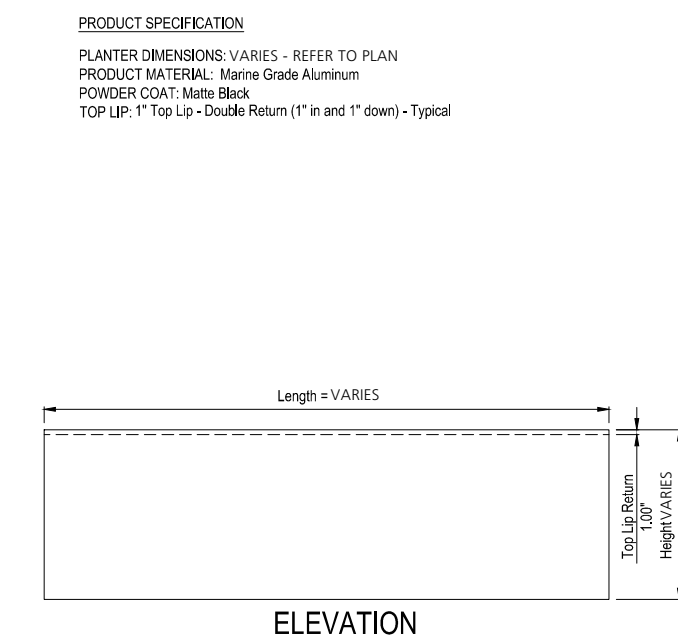
12
L5.1 BIKE RACK
 1" = 1'0"



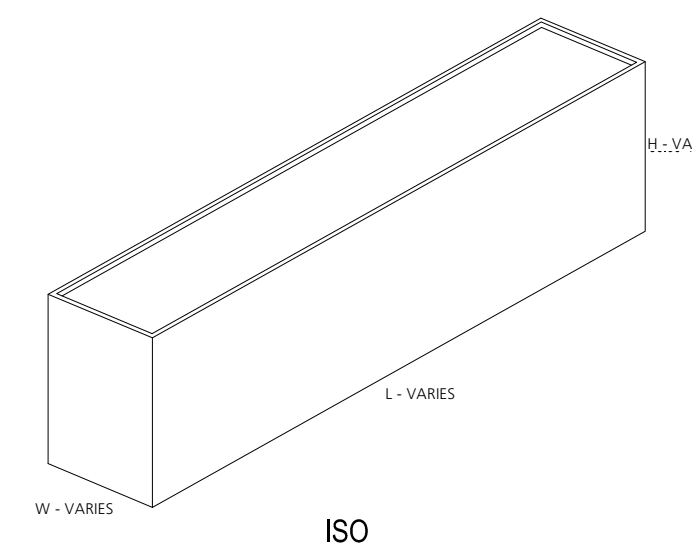
PLANTER LIGHT SPEC



PLANTER SPEC



PLANTER ELEVATION



PLANTER ISO

ALL METALWORK NOTES:

- ALL METAL TO BE POWDER-COATED ALUMINUM UNLESS OTHERWISE SPECIFIED.
- ALL WELDS TO BE GROUND SMOOTH.
- ALL MEASUREMENTS TO BE VERIFIED ON SITE WITH AS BUILT CONDITIONS PRIOR TO FABRICATION.
- METALWORK MANUFACTURER TO COORDINATE WITH GENERAL CONTRACTOR REGARDING BASE ATTACHMENT. SOME FENCES/GATES ARE TO BE SECURED TO TOP OF CONCRETE WALLS AND SOME ARE TO BE SECURED TO INDIVIDUAL CONCRETE FOOTINGS.
- ALL ATTACHMENTS, END CAPS, AND OTHER COMPONENTS ARE TO MATCH COLOUR.
- CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL METAL COMPONENTS WITH FINISHES, CONNECTIONS, HARDWARE, AND FOOTING TYPE, AND SUBMIT FOR APPROVALS PRIOR TO FABRICATION.
- LANDSCAPE ARCHITECT TO BE INFORMED OF METALWORK INSTALLATION ON SITE FOR INSPECTION AND COORDINATION.

Model: Modular Planters
Supplier: Planters Perfect or Approved Alternate
Contact: <https://www.greentheorydist.com/>
Colour: Matte Black
Installation: In-stal as per manufacturer's specifications



11 Reissued for BP	2024/05/29
10 Re-issued for BP	2024/04/29
9 Issued for Tender	2024/02/19
8 Reissued for BP	2023-11-08
Revision No.	Date

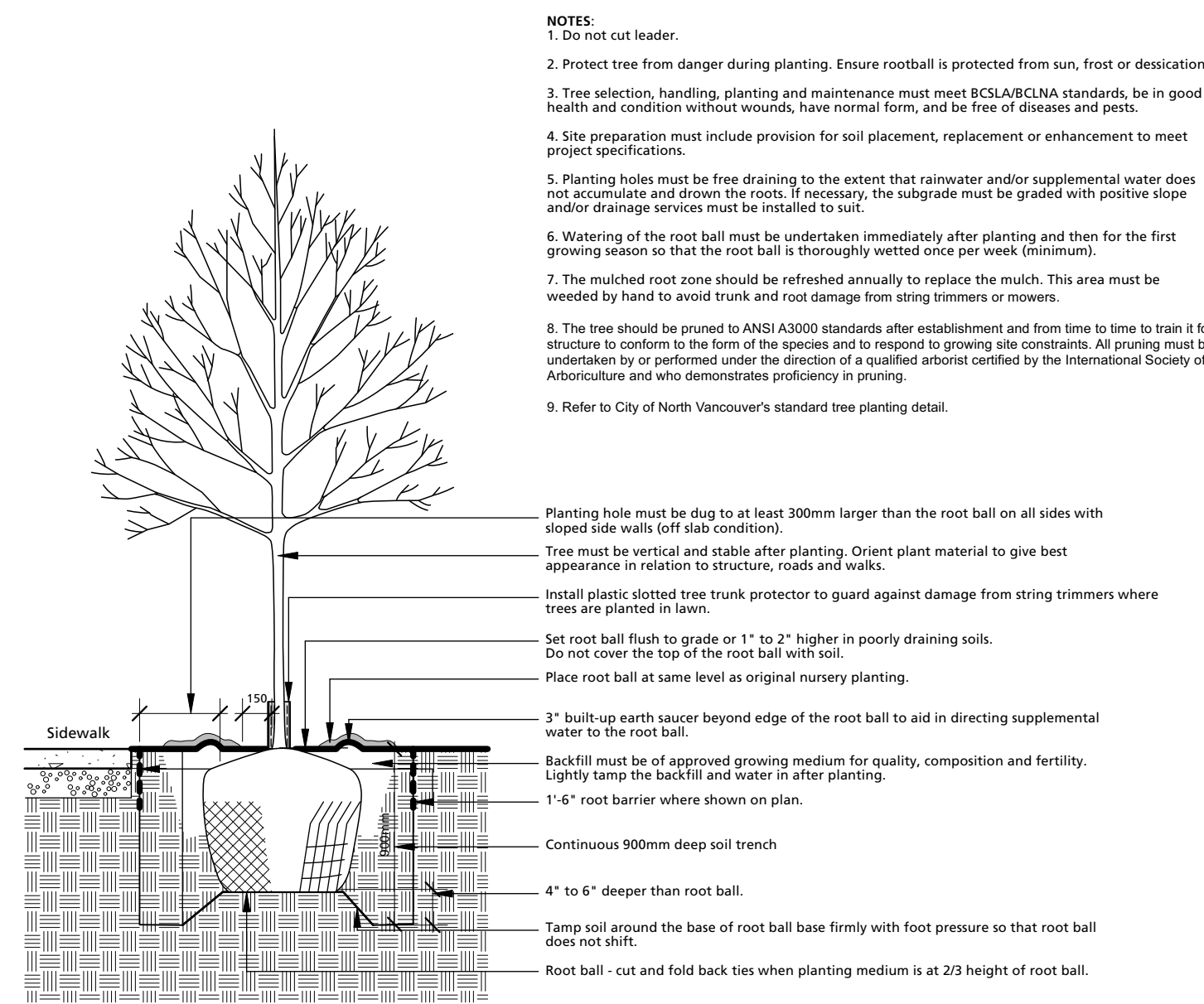
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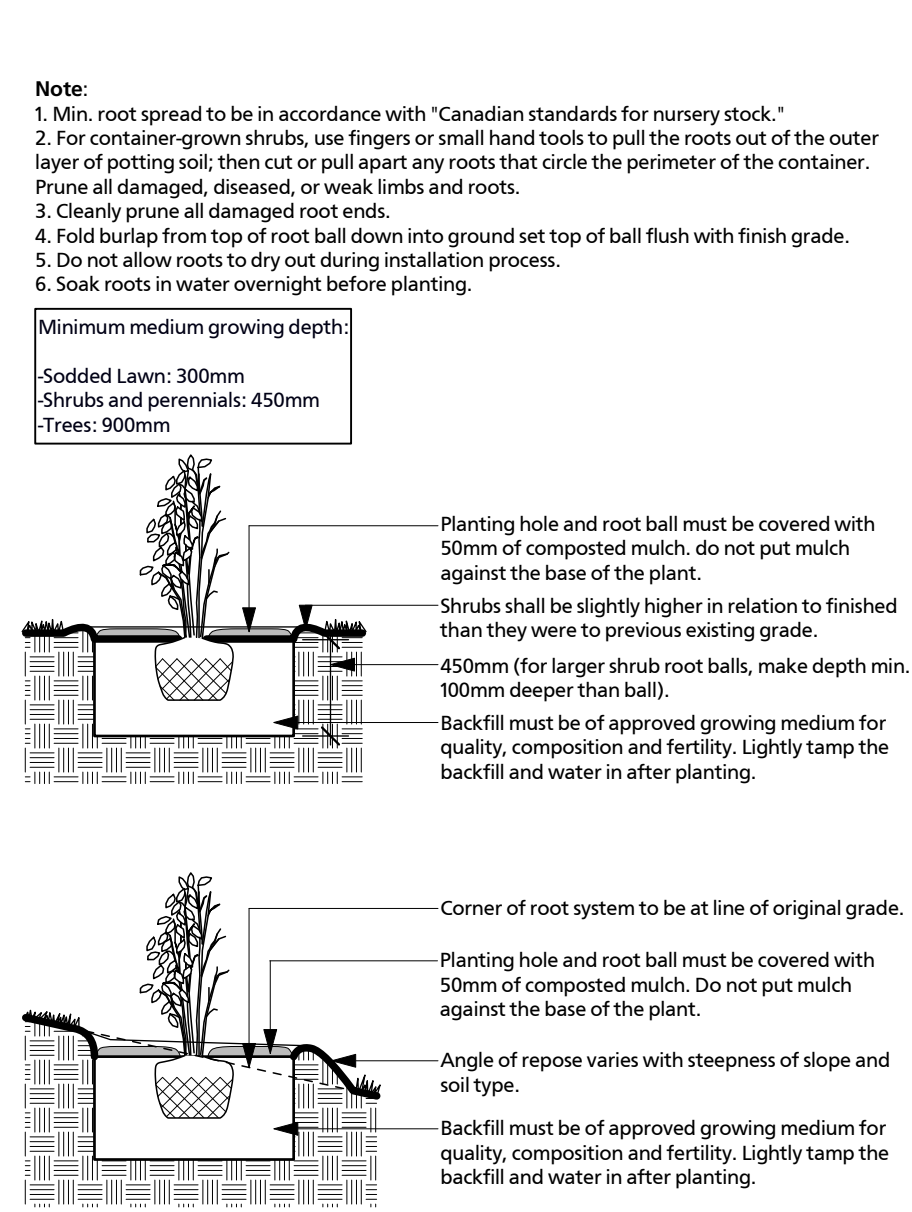
Client:
Rental Development
 206 East 12th Street North Vancouver, BC

Project Title:
Landscape Details

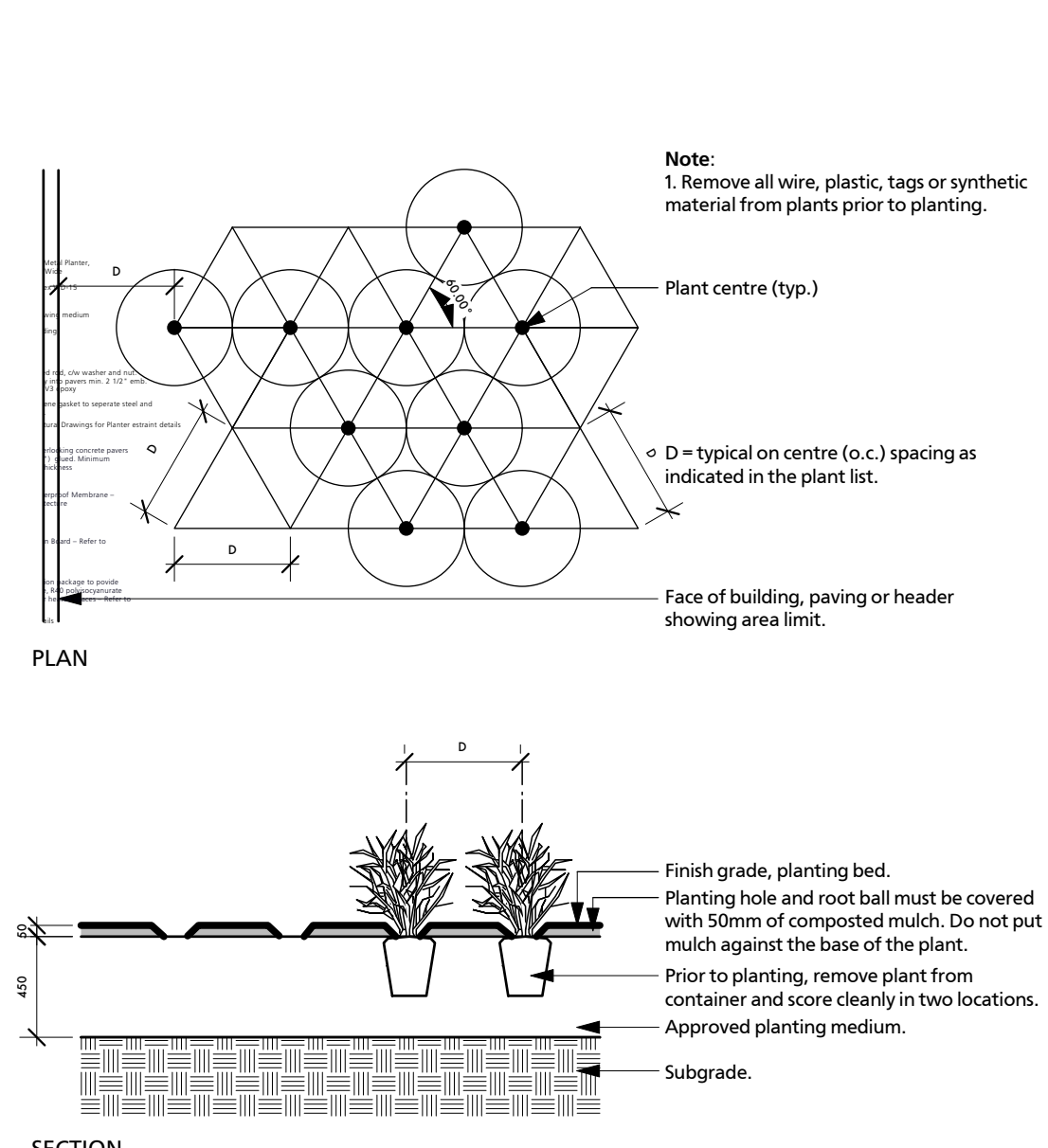
Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
	As Shown	
Sheet No.:		



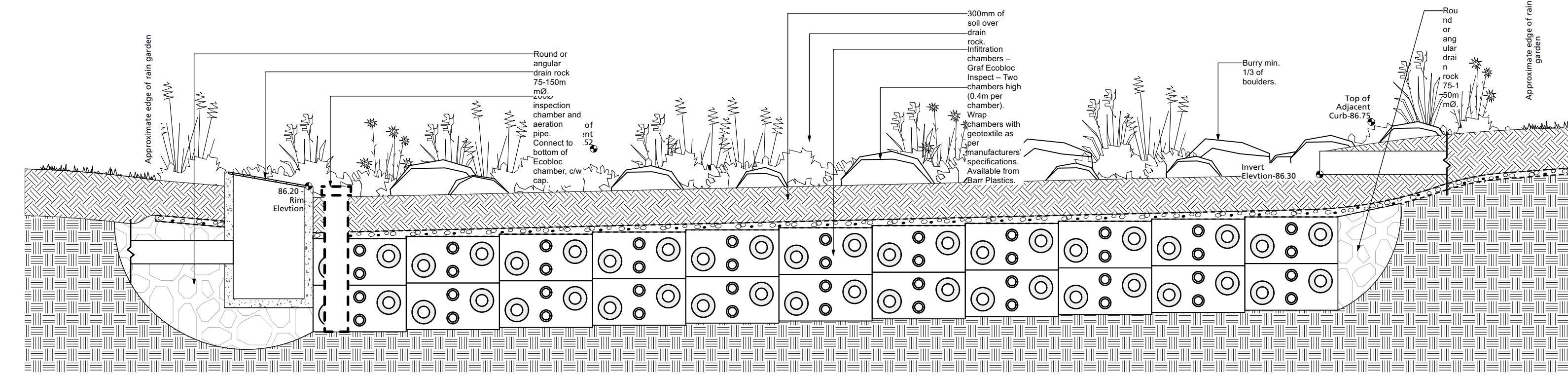
14 TREE PLANTING DETAIL - URBAN BOULEVARD
L5.2 3/8"=1'-0"



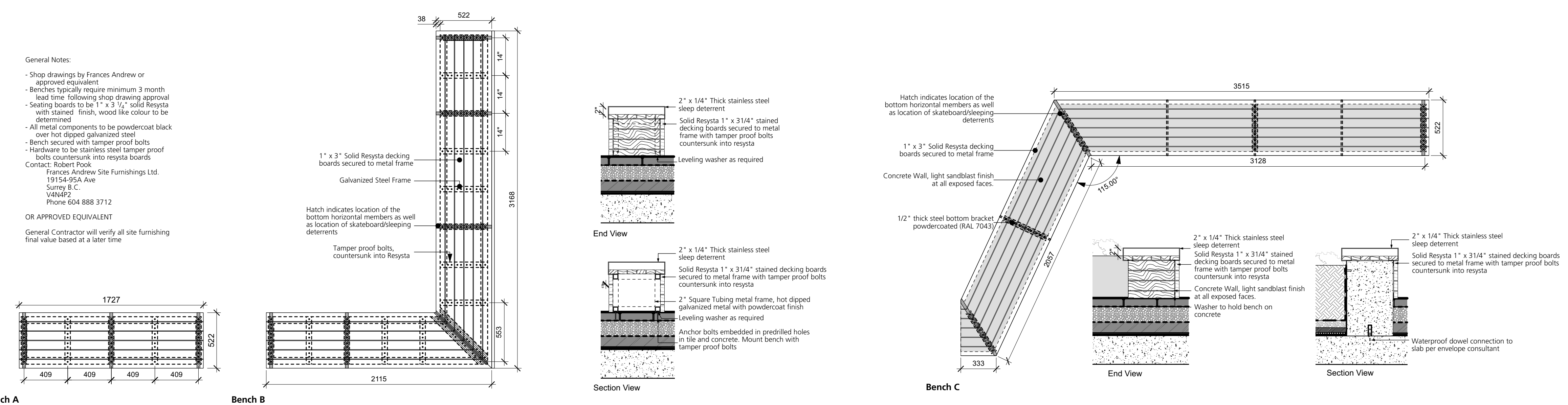
15 SHRUB AND GROUNDCOVER PLANTING
L5.2 3/8"=1'-0"



16 BOULEVARD LAWN
L5.2 1"=1'0"



17 RAIN GARDEN
L5.2 3/8"=1'-0"



18 CUSTOM BENCH FROM LANDSCAPE FORM
L5.2 1/2" = 1'0"



11 Reissued for BP	2024/05/29
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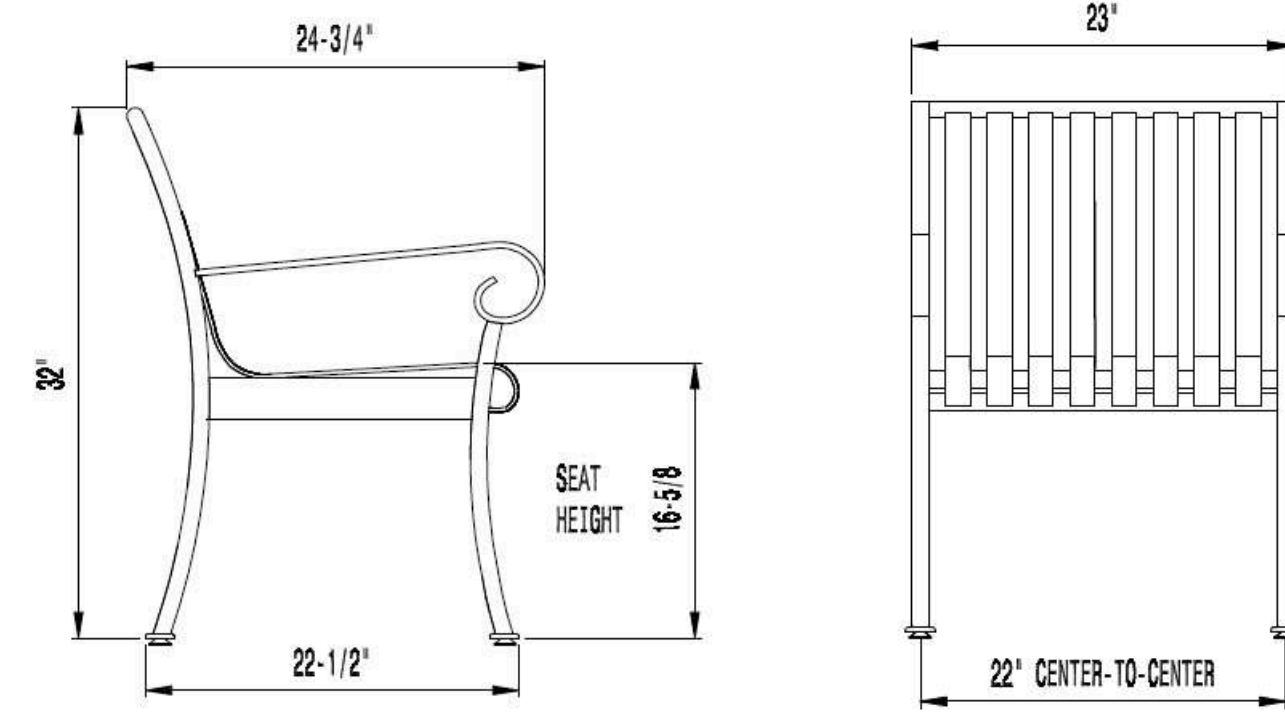
Project Title:
Rental Development
206 East 12th Street North Vancouver, BC

Drawing Title:
Landscape Details

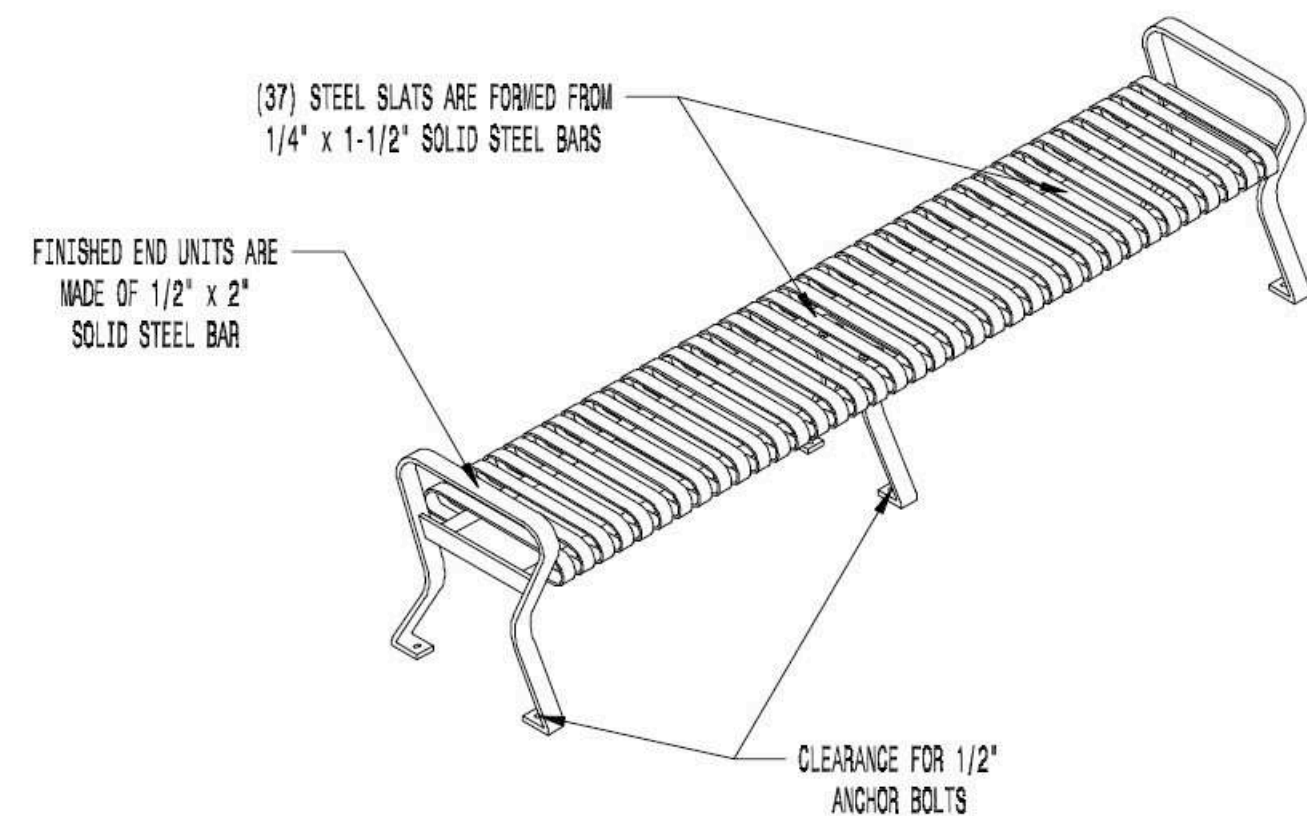
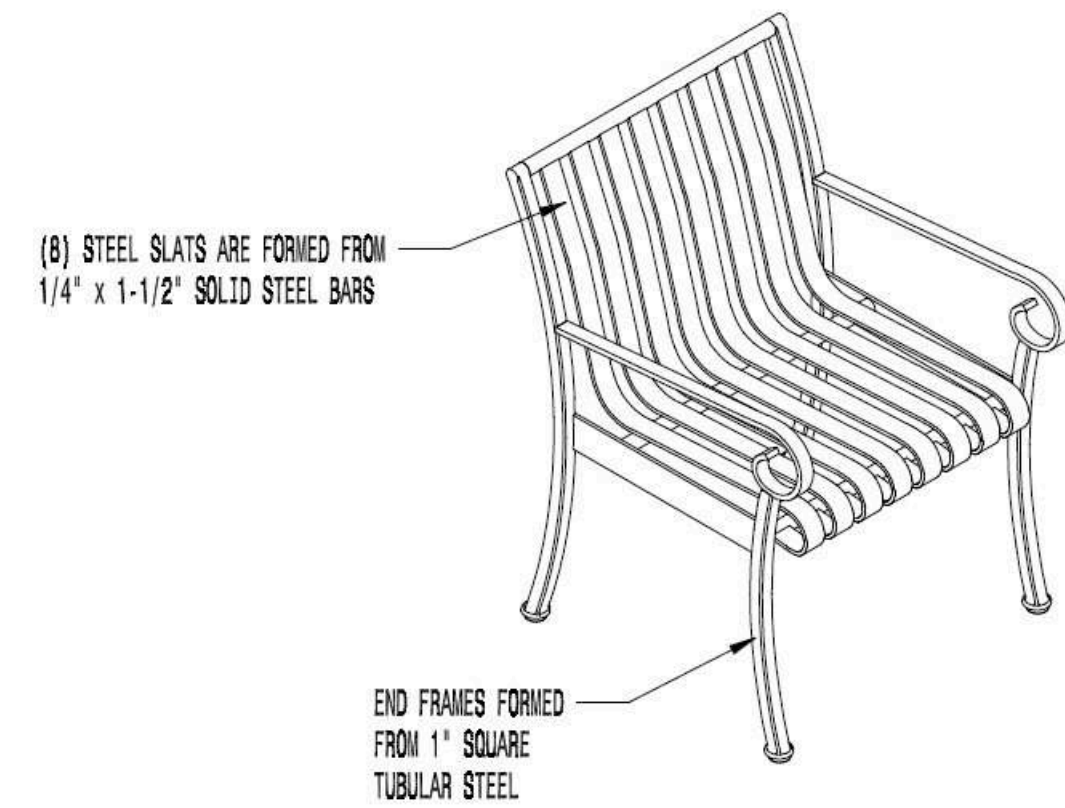
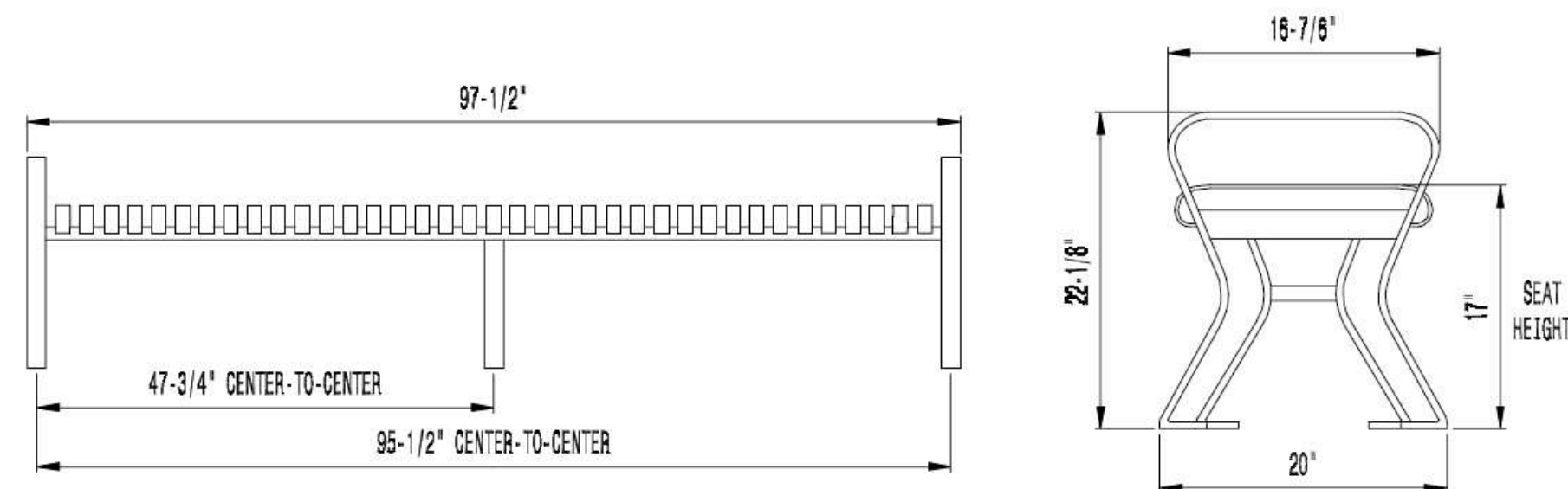
Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
	As Shown	
Sheet No.:		



Model: PRSCC-8 Cafe Chair (with arms)
Manufacturer: Victor Stanley
Colour: Powder Coated VS Black
Contact: www.victorstanley.com
Installation: Surface mount with tamper proof bolts as per manufacturer's specifications

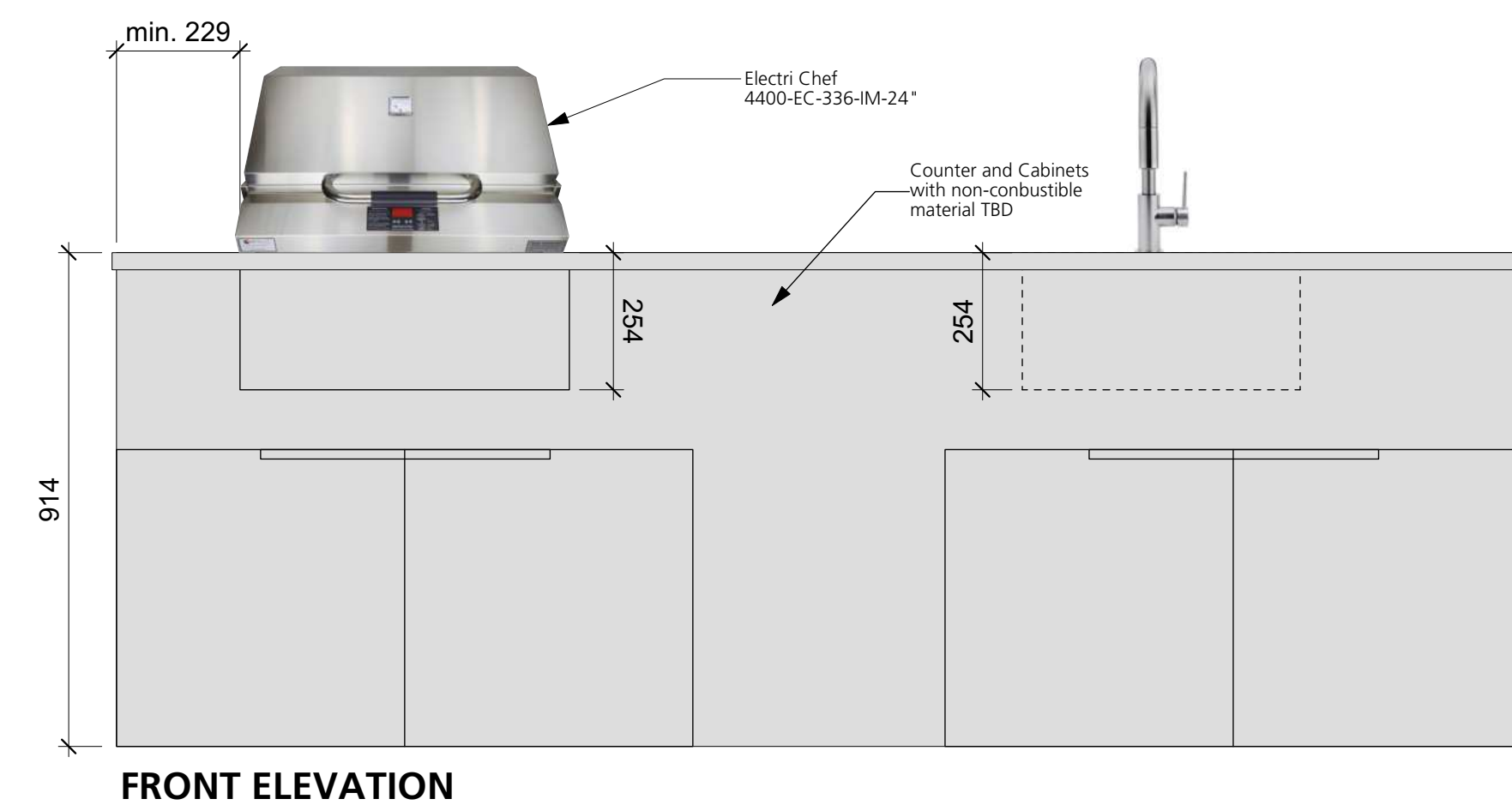
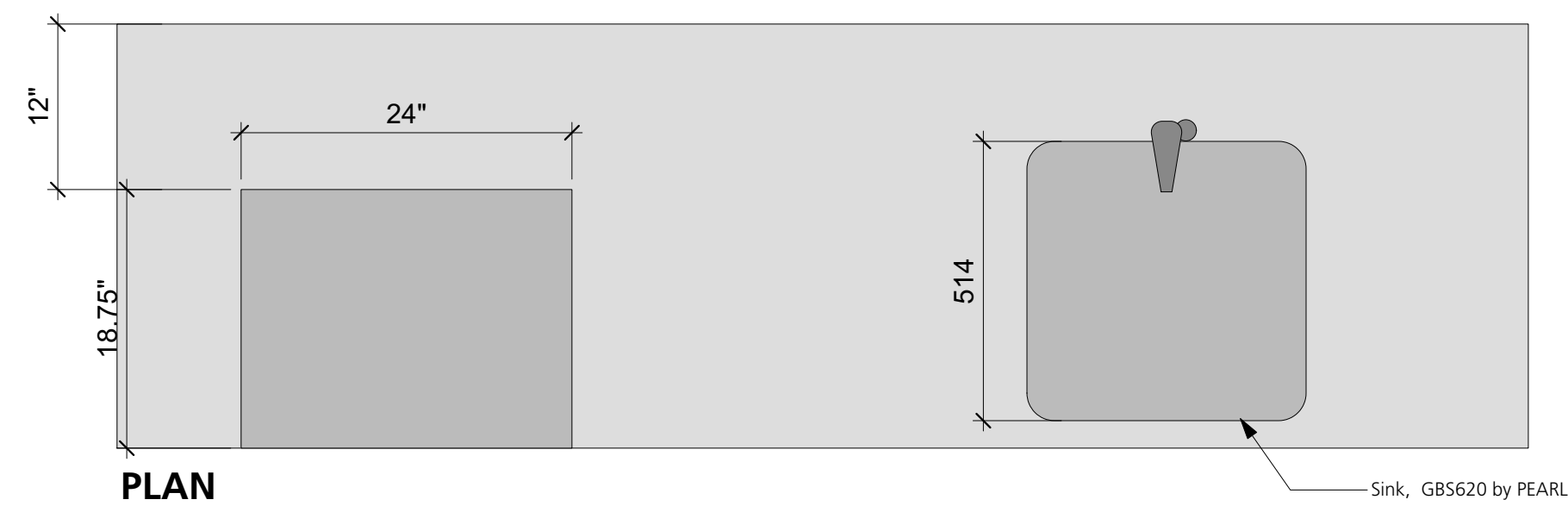


Model: RB-12 Backless Bench
Manufacturer: Victor Stanley, Steelites RB Series
Colour: powder coated steel (VS Black)
Contact: www.victorstanley.com
Installation: Surface mount with tamper proof bolts as per manufacturer's specifications



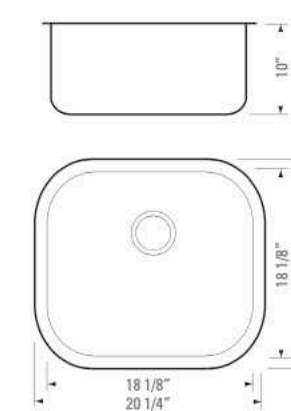
19 CITY OF NORTH VANCOUVER STANDARD STREET FURNITURE
 L5.3 1"=1'0"

Note: Contractor to provide shop drawings of all components for review and approval by consultant team prior to fabrication
Note: BBQ counter and cabinet to be exterior rated non-combustible material. Stainless steel or approved alternate.



MÉLO - LUNA

Model No. GBS620



DESCRIPTION
 Stainless Steel Undermount
 Single Bowl Laundry Sink

DIMENSIONS
 Overall Size: 20 1/4" x 20 1/4" x 10" (Depth)
 Weight: 11lbs
 Minimum Cabinet Width: 22"

FEATURES
 18 Gauge T304 Stainless Steel
 StoneGuard Undercoat
 Sound Dampening Rubber Padding
 3 1/2" Drain Opening

FINISHES
 Satin Finish

INSTALLATION
 Undercounter Installation
 CAD DWG File Available
 Stainless Steel Strainer Included (x1)

ACCESSORIES
 Stainless Steel Strainers
 Stainless Steel Basket Strainers

SINK SPEC

Manufactures & Distributors of Quality Stainless Steel Electric Grills

Electric Chef®
 FLAMELESS ELECTRIC GRILLS
4400-EC-336-IM-24"

Grill Fully Assembled (must install in island before use)

Electric-Chef® Grill shown with optional Rotisserie attachment

S.S. Cooking Grids Cool-Touch Handle 10-60 Minute Timer

Built in Texas by Texans See back for more information

800-442-7207 • 254-778-7730 • www.electri-chef.com • e-mail: info@electri-chef.com No Open Flame

BBQ CUTSHEET

20 ELECTRIC BBQ AND SINK
 L5.3 1"=1'0"



11 Reissued for BP	2024/05/29
10 Re-issued for BP	2024/04/29
9 Issued for Tender	2024/02/19
8 Reissued for BP	2023-11-08
Revision No.	Date

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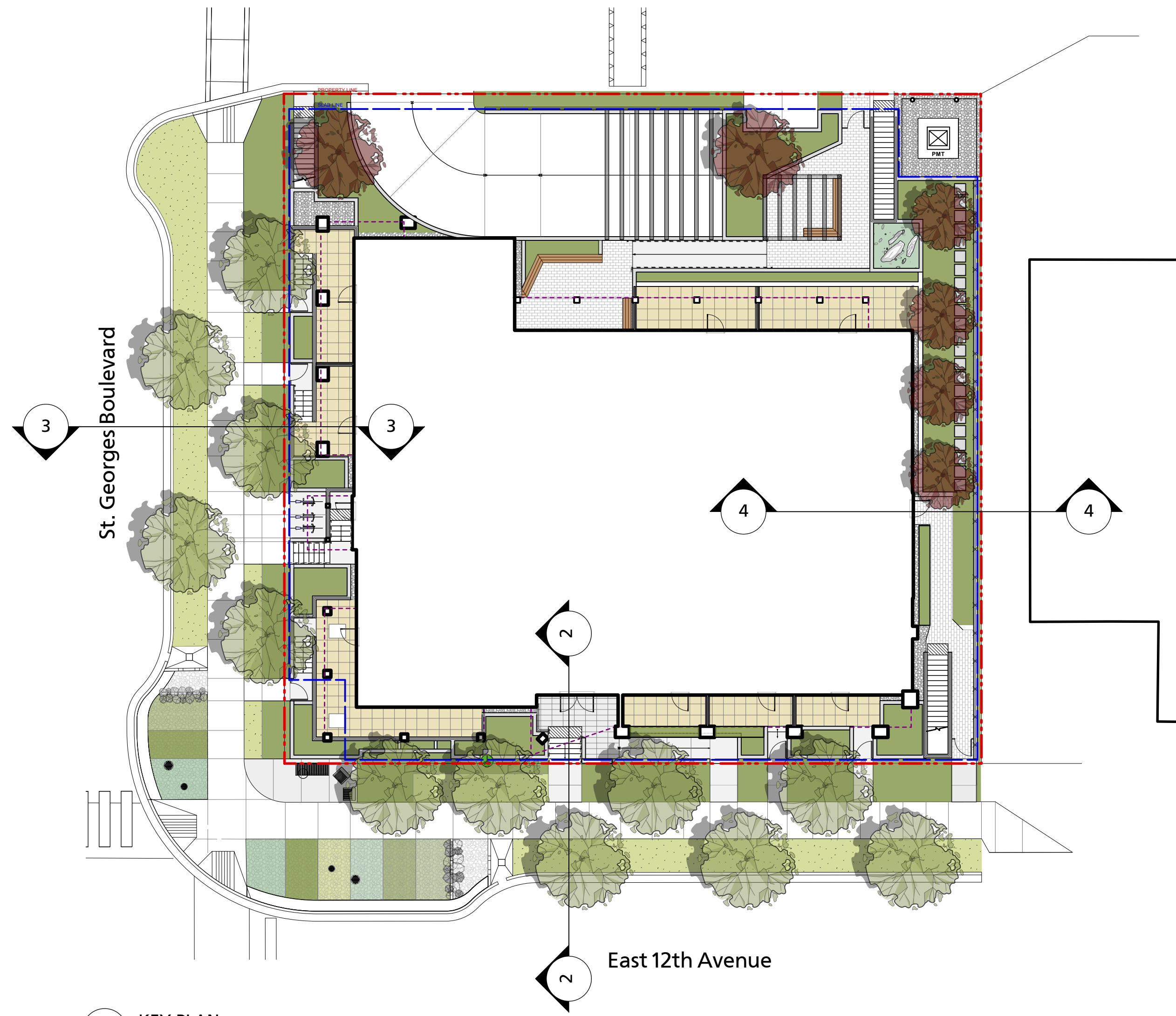
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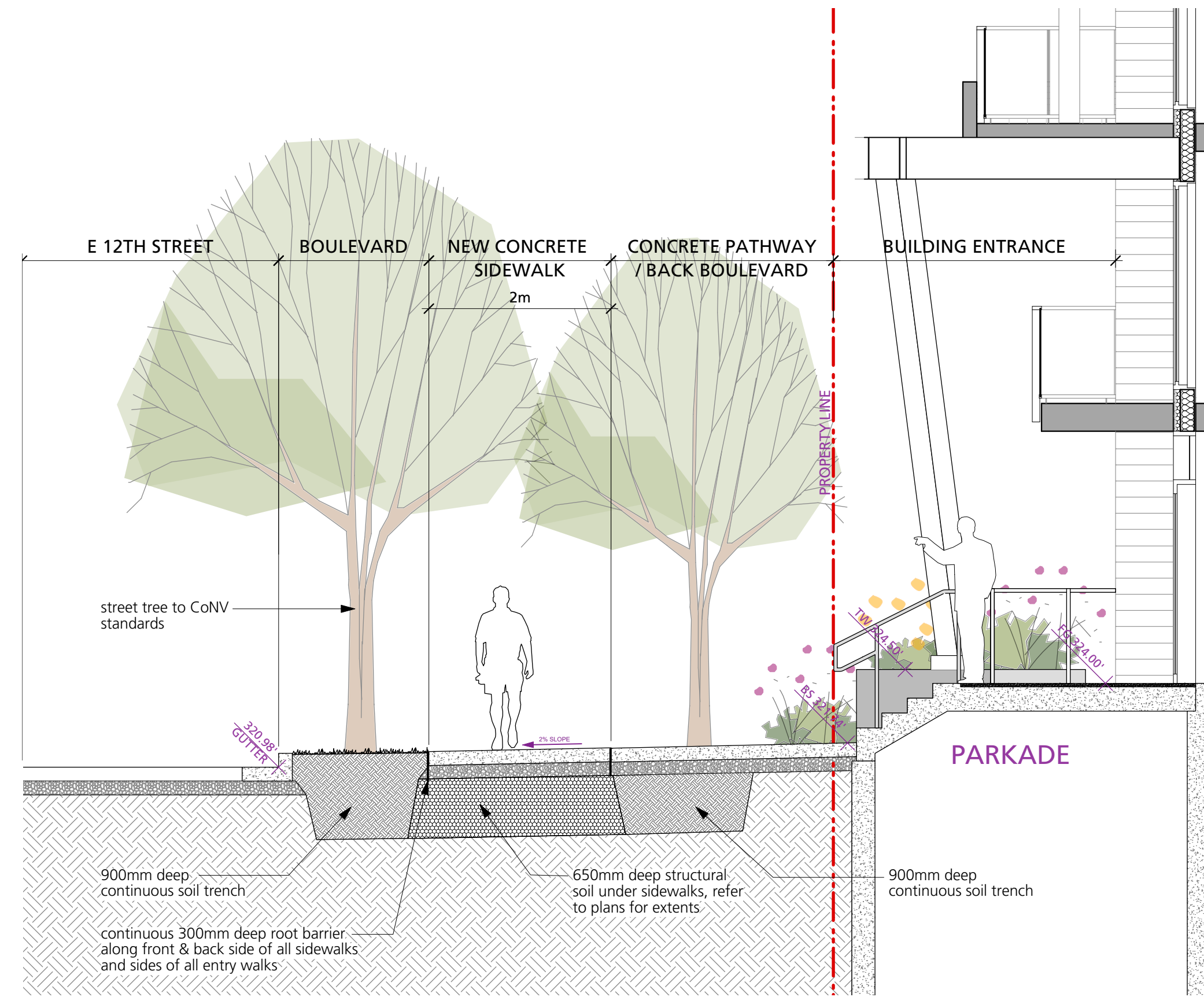
Project Title:
Rental Development
 206 East 12th Street North Vancouver, BC

Drawing Title:
Landscape Details

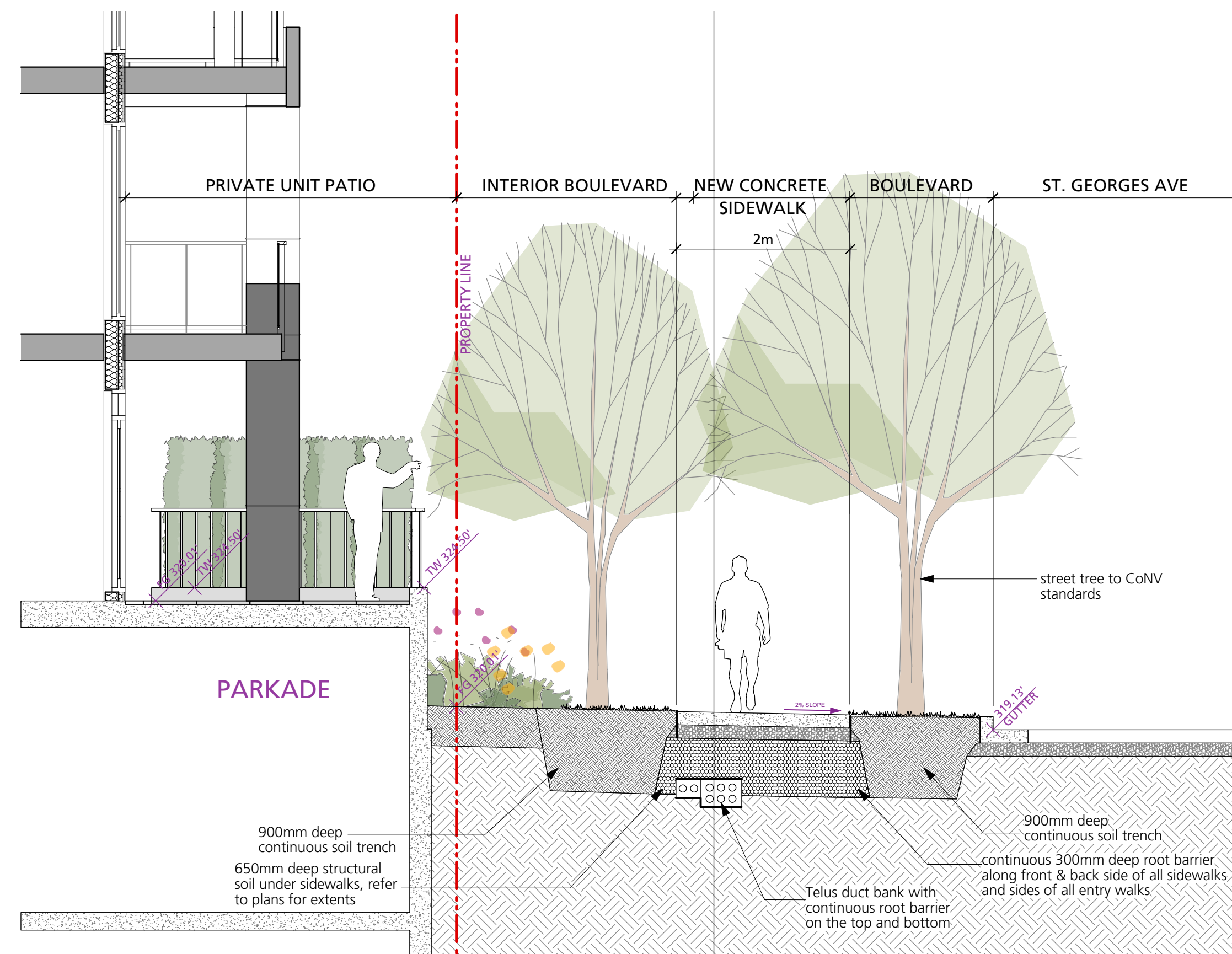
Project North:	Drawn By:	JLW
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	Scale:	Job No.:
As Shown	22-092	
Sheet No.:		



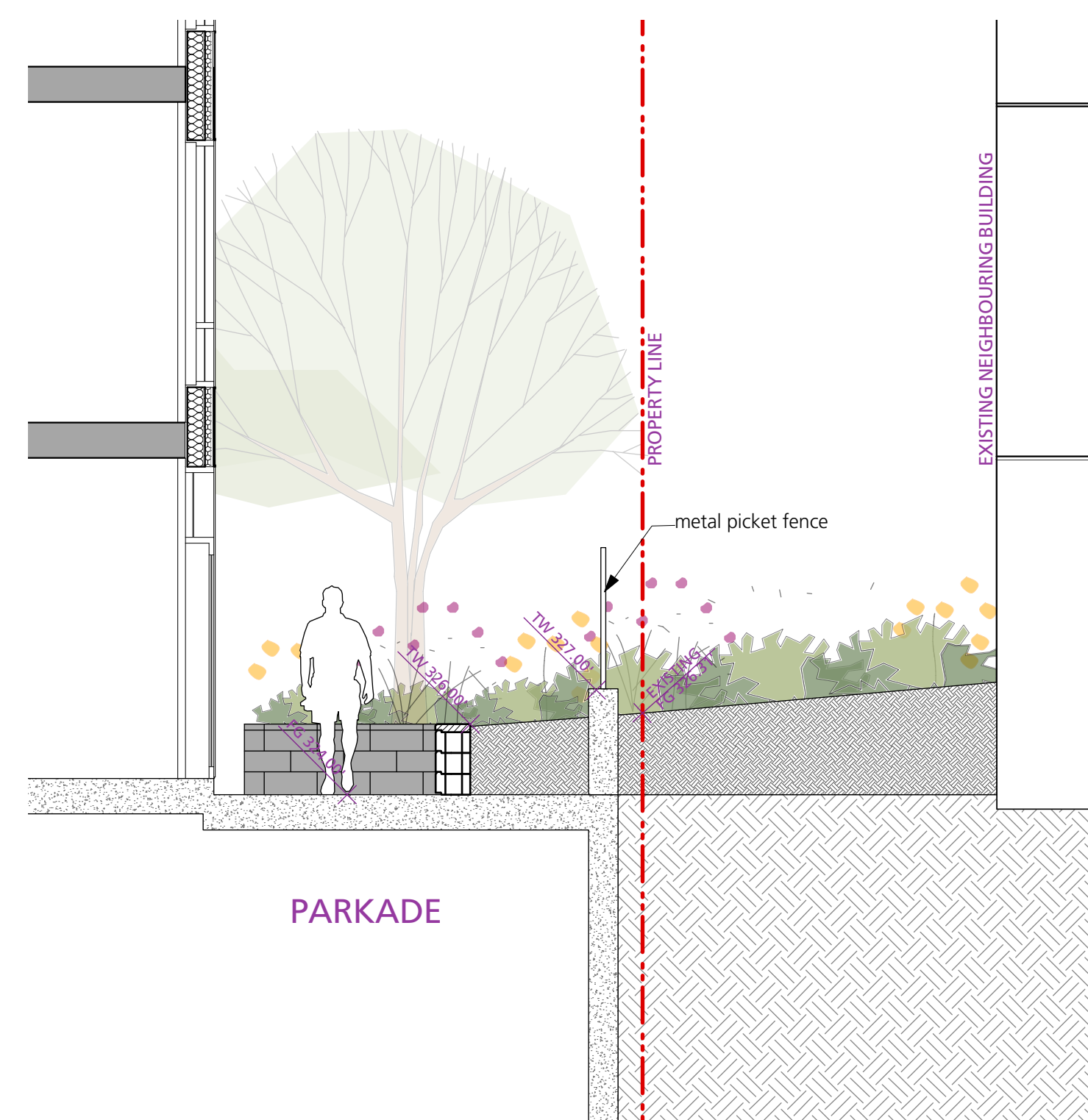
1 KEY PLAN
 L6.0 1/16" = 1'0"



2 SECTION THROUGH BUILDING ENTRANCE
 L6.0 1/4" = 1'0"



3 SECTION THROUGH PRIVATE PATIO ON ST. GEROGES AVE
 L6.0 1/4" = 1'0"



4 SECTION THROUGH BUILDING SECONDARY ENTRANCE / RELATIONSHIP TO ADJACENT LOT
 L6.0 1/4" = 1'0"



10 Reissued for BP	2024/05/29
9 Re-issued for BP	2024/04/29
8 Issued for Tender	2024/02/19
7 Reissued for BP	2023-11-08
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Project Title:
Rental Development
 206 East 12th Street North Vancouver, BC

Drawing Title:
Landscape Sections

Project North:	Drawn By:	JLW
	Checked By:	MP
Scale:	Job No.:	22-092
	As Shown	
Sheet No.:		

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8835

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8835” (St. Georges Projects Ltd., Inc. No. BC1066028 / Integra Architecture Inc., 1220 St. Georges Avenue, CD-733)**.
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-733 (Comprehensive Development 733 Zone):

Lots	Block	D.L.	Plan	
14	75	549	9315	from RM-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Adding the following section to Section 1100, thereof, after the designation “CD-732 Comprehensive Development 732 Zone”:

“CD-733 Comprehensive Development 733 Zone”
 - B. Adding the following to Section 1101, thereof, after the “CD-732 Comprehensive Development 732 Zone”:

“CD-733 Comprehensive Development 733 Zone”

In the CD-733 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RM-1 Zone, except that:

- (1) The permitted Principal Use on the Lot shall be limited to:
 - (a) Rental Apartment Residential Use;
 - i. Accessory Home Office Use;
 - ii. Accessory Off-Street Parking Use;

(2) Gross Floor Area:

- (a) The Principal Building shall not exceed a Gross Floor Area of 1.0 times the Lot Area, provided that this amount may be increased to a maximum of 1.60 times the Lot Area through the provision of Adaptable Design subject to Section 423;
- (b) Notwithstanding 3(a), the maximum Gross Floor Area may be further increased upon entering into a Housing Agreement with the City, from the “Base Density” to the “Total Density” as follows:

BASE DENSITY			
OCP Schedule ‘A’		1.60 FSR	
ADDITIONAL (BONUS) DENSITY			
ADDITIONAL DENSITY CATEGORY	DESCRIPTION	ADDITIONAL DENSITY (BONUS)	POLICY REFERENCE
100% Rental Housing	Secured rental apartment building, of which 6 units are mid-market	1.0 FSR	OCP Section 2.2
TOTAL DENSITY		2.60 FSR	

(3) Height:

- (a) The Principal Building shall not exceed a Height of six storeys to the top of the main roof line and no more than 17.94 meters (58.9 feet) as measured from the average building grade along the East property line;
 - (b) Notwithstanding 4(a), the maximum building height may be further increased to permit a rooftop elevator lobby and stairways up to a maximum of 21.25 meters (69.75 feet) from the average building grade along the East property line;
- (4) The minimum required Principal Building setback, measured to each building face, shall be limited to:
- (a) 3.05 meters (10 feet) from the Front Property Line (East 12th Street);
 - (b) 3.66 meters (12 feet) from the Exterior Side (St. Georges Avenue) and Interior Side Lot Lines;
 - (c) 3.66 meters (12 feet) from the Rear Lot Line;
- (5) Section 417 Garbage and Recycling Facilities be varied to allow the storage room in the parkade to be no less than 24 square meters (256 square feet) in area;
- (6) Section 510(3) Building Width and Length shall not apply;

- (7) Section 908(8) shall be varied to support a minimum of 32 off-street parking stalls.

READ a first time on the 19th day of July, 2021.

READ a second time on the 19th day of July, 2021.

READ a third time on the 27th day of September, 2021.

ADOPTED on the 24th day of July, 2023.

“Linda C. Buchanan”

MAYOR

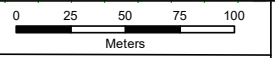
“Karla D. Graham”

CORPORATE OFFICER




Legend		Spirit Trail	
Stream	District lot	Existing, Cycling Alternative	
City border	Zoning	Existing, Primary	
Building outline	LUC zone	Proposed, Cycling Alternative	
Legal parcel	Easement & ROW	Proposed, Primary	
	Park		
	10 Lot #		
	163 Block #		

This map has been produced on the City of North Vancouver's Geographical Information System. Data provided herein is derived from sources with varying levels of accuracy. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.



Published: July 27, 2023
Last Bylaw Amendment: July 24, 2023



6	7	8	9	10
11	12	13	14	15
16	17	18	19	20
21	22	23	24	25
26	27	28	29	30
31	32	33	34	35
36	37	38	39	40
41	42	43	44	45

TILE #
19

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 9093

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 9093” (RFK (St. George) Limited Partnership, 206 East 12th Street, CD-733 Text Amendment)**.
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 206 East 12th Street and legally described below as henceforth being transferred, added to and forming part of CD-733 (Comprehensive Development 733 Zone):

PID: 009-701-109	LOT 14 BLOCK 75 DISTRICT LOT 549 PLAN 9315
------------------	--

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

A. In Section 1101, “Comprehensive Development Zones”, CD-733:

(1) By deleting and replacing Section (3)(b) as follows:

- (b) Notwithstanding 3(a), the maximum building height may be further increased to permit rooftop and elevator lobby, parapet, stairways, mechanical equipment, rooftop shared amenity spaces, pergolas, Trellises, and any other landscaping on the roof, up to a maximum of 21.25 meters (69.75 feet) from the average building grade along the East property line;

READ a first time on the <> day of <>, 2024.

READ a second time on the <> day of <>, 2024.

READ a third time on the <> day of <>, 2024.

ADOPTED on the <> day of <>, 2024.

MAYOR

ACTING CORPORATE OFFICER