

Notice of Proposed Zoning Amendment Bylaw - No Public Hearing

Zoning Amendment Bylaw, 2025, No. 9100 146-160 East 2nd Street

Purpose: The purpose of the proposed Bylaw is to amend the current Comprehensive Development CD-007 zone to permit a six (6) storey, mixed-use building consisting of 76 rental residential units, eight of which would be mid-market rental units, and new commercial retail units at ground level.

Subject Lands: The lands that are the subject of the proposed Bylaw are shown on the inset map, with a civic address of 146-160 East 2nd Street.

Legal Description: Lot F, Block 141, DL 274, Plan 17913
PID: 007-241-330



Bylaw Readings: Consideration of first, second and third readings of the proposed Bylaw will be at the **Regular Council Meeting on Monday, January 27, 2025.**




Access Documents: A copy of the proposed Bylaw is available for inspection online anytime at www.cnv.org/PublicNotices from Wednesday, January 15 to Monday, January 27, 2025.

Provide Input: **Written submissions only, including your name and address,** may be addressed to the Corporate Officer and sent by email to input@cnv.org, or by mail or delivered to City Hall, **no later than noon on Monday, January 27, 2025,** to ensure availability to Council at the meeting. No Public Hearing will be held, as it is prohibited by section 464(3) of the *Local Government Act*. **No Public Input Period submissions on this matter will be heard at the Council meeting.**

Watch the Meeting: Online at cnv.org/LiveStreaming or in person at City Hall, 141 West 14th Street. Enter City Hall from 13th Street after 5:30pm.

Questions? Matthew Menzel, Planner 3, planning@cnv.org / 604-982-9675



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Matthew Menzel, Planner 3

Subject: ZONING BYLAW AMENDMENT FOR 146-160 EAST 2ND STREET
(ANTHEM LMV EAST 2ND DEVELOPMENTS LIMITED PARTNERSHIP)

Date: January 8, 2025 File No: 08-3400-20-0095/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 3, dated January 8, 2025, entitled “Zoning Bylaw Amendment for 146-160 East 2nd Street (Anthem LMV East 2nd Developments Limited Partnership)”;

THAT the application submitted by Anthem LMV East 2nd Developments Limited Partnership for a text amendment to the Comprehensive Development 7 (CD-007) Zone, associated with the property located at 146-160 East 2nd Street, be considered;

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2025, No. 9100” (Anthem LMV East 2nd Developments Limited Partnership, 146-160 East 2nd Street, CD-007 Text Amendment) be considered for first, second and third readings, with no Public Hearing held, in accordance with the *Local Government Act, section 464(3) [public hearing prohibited]*;

THAT “Housing Agreement Bylaw, 2025, No. 9101” (Anthem LMV East 2nd Developments Limited Partnership, 146-160 East 2nd Street, CD-007, Rental Housing Commitments) be considered for first, second and third readings;

THAT the community benefits listed in the report section “Density Bonus and Community Benefits” be secured through agreements at the applicant’s expense and to the satisfaction of staff;

AND THAT the Mayor and Corporate Officer be authorized to sign the required legal agreements, including an encroachment agreement to permit solar shades,

which are permanently affixed to the proposed building and encroach over City property, and any other necessary documentation to give effect to this resolution.

ATTACHMENTS

1. Context Map (CityDocs [2608841](#))
2. Architectural Plans, dated December 23, 2024 (CityDocs [2613031](#))
3. Landscape Plans, dated December 9, 2024 (CityDocs [2608016](#))
4. Overview of Proposed Zoning Variances and Parking Provisioning (CityDocs [2599521](#))
5. Advisory Design Panel Resolution, dated January 18, 2023 (CityDocs [2608852](#))
6. Public Consultation Summary, dated December 1, 2022 (CityDocs [2609723](#))
7. Public Consultation Update, dated June 17, 2024 (CityDocs [2609729](#))
8. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2025, No. 9100" (CityDocs [2601547](#))
9. "Housing Agreement Bylaw, 2025, No. 9101" (CityDocs [2601493](#))

SUMMARY

This report presents a rezoning application for the subject site at 146-160 East 2nd Street to permit a 6-storey, mixed-use building consisting of 76 rental apartment units, eight of which would be mid-market rental units, and 571m² (6,146 sq. ft.) of commercial retail space at the ground floor level.

BACKGROUND

Applicant:	Anthem LMV East 2nd Developments Limited Partnership.
Architect:	DYS Architecture
Official Community Plan Designation:	Mixed-Use Level 4A (MU4A)
Existing Zoning:	Comprehensive Development 007 (CD-007)

In August 2022, the applicant submitted a rezoning application for an 8-storey, mixed use concrete building comprised of 68 strata residential units and approximately 1,000m² (10,764 sq. ft.) of commercial retail space.

Prior to the original application being presented to Council for consideration, and in response to challenging market conditions and escalating construction costs, the applicant applied in January 2024 to modify the application to propose the current 6-storey rental residential development scheme as presented.

The current application results in a shift from strata units to rental units, in a 6-storey wood frame building. Overall, an additional eight residential units are proposed, and there is a reduction in commercial retail space of approximately 429m² (4617.72 sq. ft.). The current proposal results in a density of 3.36 FSR, which is slightly less than the 3.6 FSR allowable on the subject site.

DISCUSSION

Site Context and Surrounding Use

The site is located mid-block along East 2nd Street, between Lonsdale Avenue and St. Georges Avenue, and within close proximity to a full range of services, public transit facilities and recreation opportunities within Lower Lonsdale.

The proposal would replace the existing two-storey commercial building. The neighbouring buildings consist of a mixture of residential and mixed-use buildings with heights ranging from four storeys to 20 storey towers. The subject site is in the higher density zone of Lower Lonsdale, and permits a range of residential and commercial uses.

The buildings and uses immediately surrounding the site are described in Table 1 following.

Table 1: Surrounding Uses

Direction	Address	Description	Zoning
Northwest (across the lane)	149-155 East 3 rd Street	Four storey multi-family building.	CD-192
Northeast (across the lane)	235-241 St. Georges Avenue	Eleven storey residential tower over one level of commercial.	LL-5
South (across East 2 nd Street)	145 East 2 nd Street	20 storey residential tower.	LL-5
East	172-180 East 2 nd Street	16 storey residential tower and three level commercial and parking structure.	LL-5
West	130 East 2 nd Street	15 storey residential tower and three level commercial and parking structure.	CD-202

Project Description

The application proposes a 6-storey, mixed-use building with two levels of underground parking. Vehicle parking access is provided at the south beside the ground floor commercial space fronting East 2nd Street.

The following table provides an overview of the proposed development:

Table 2: Development proposal overview

Element	Proposal
Density	3.34 FSR
Unit Mix	76 residential rental units, including: <ul style="list-style-type: none"> • 41 studio units; • Six (6) one-bed units; • 21 two-bed units; and • Eight (8) three-bed units (11%).

Element	Proposal
Mid Market Rental	Eight (8) units (10.5%), including: <ul style="list-style-type: none"> • Four (4) studio units; • One (1) one-bed units; • Two (2) two-bed units; and • One (1) three-bed units.
Adaptable Units	19, Level 2 adaptable units (25%), including: <ul style="list-style-type: none"> • Five (5) studio units; • Two (2) one-bed units; • Four (4) two-bed units; and • Eight (8) three-bed units.
Residential Amenity	Indoor – 107 square metres (1,151 square feet) Outdoor – approx. 91 square metres (980 square feet)
Commercial/Retail	Five units – 571 square metres (6,146 square feet)

Eight of the units (10.5%) are proposed as mid-market units and 19 of the units (25%) are proposed to meet Level 2 of the Adaptable Design guidelines. The mid-market rental units would be secured through the Housing Agreement for the life of the building.

Five Commercial Retail Units (CRUs) are proposed facing East 2nd Street with double height ceilings. These ground floor retail spaces are strongly encouraged as they would contribute to the vibrancy of the area, and local retail opportunities. To ensure active commercial uses are established, the zoning bylaw has been written such that the retail tenancies fronting East 2nd Street will be restricted to accommodating Retail Services Group 1A uses.

PLANNING ANALYSIS

Policy Alignment

Table 3: Alignment with Council adopted Policy.

Official Community Plan Goals and Objectives	
Designation: Mixed Use Level 4A (High Density) (MU4A) <i>To provide for a mix of commercial and residential uses with a maximum density of 3.6 FSR (including 1.0 bonus FSR) with a maximum built form height of 23 metres (approximately 8 storeys).</i>	The form of development achieves a mix of commercial and residential uses at a density and height consistent with this designation.
Objective 1.1.4 <i>Support the role of the Lonsdale Regional City Centre as the urban core of the City, in part, by locating high trip-generating uses such as high density residential and commercial uses there.</i>	The proposal provides a high density development that adds an additional 68 residential units mixed with commercial units in the Regional City Centre.
Objective 1.3.1 <i>Ensure that new development is compatible with the established urban form of the City,</i>	As a mid-rise development, the proposal offers a transition between the lower density developments to the east and the higher

<i>reflecting the primacy of the Lonsdale Regional City Centre and the transition through mid- and low-rise buildings to lower-density residential neighbourhoods.</i>	density developments centred around Lonsdale Avenue.
Objective 1.3.6 <i>Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner.</i>	The building has been designed with appropriate articulation through the use of steps and recesses along the elevations, and attached balcony structures, which work to break up the form of the building and reduce the perceived bulk and dominance.
Objective 1.5.2 <i>Increase the amount of affordable and adequate accommodation for lower income households (including non-market housing) in an effort to meet the Metro Vancouver Housing Demand Estimates articulated for the City over the next 10 years.</i>	The proposal meets the meets key Actions of the Housing Action Plan for mid-market rental units by providing eight (8), secured mid-market rental units.
Objective 1.5.6 <i>Ensure a sufficient number of new apartment building provide accessible units and that these accessible units are represented across various unit sizes.</i>	The proposal also meets the Zoning Bylaw minimum requirement for 25% of units to meet Level 2 Adaptable Design.
Mobility Strategy	
Strategy 2 <i>Improve our mobility experience through the design of streets and neighbourhoods by reclaiming more street space for people.</i>	The proposal offers a 3.04 metre statutory right of way along the west side of the property from East 2 nd Street to the lane to improve pedestrian mobility through the neighbourhood.
Economic Development Strategy	
Tactic 3.2 <i>Innovate and enhance tools that support business operations bordering on residential neighbourhoods and public spaces to increase positive co-existence and integration.</i>	The proposal provides commercial units on the ground level of the residential building to cater to the local neighbourhood needs, support local business growth, and activate the street.
Housing Action Plan	
'Big Move' Strategy #4: <i>To increase the number of three or more bedroom units appropriate for larger and/or extended families within new multi-unit residential developments.</i>	The proposal meets this strategy by providing eight (8) three-bed units, a total of 11% of all units to be secured through the Housing Agreement.
CNV Community Wellbeing Strategy	
Direction #2 <i>Expand the supply and improve the quality, diversity, and affordability of housing in the City.</i>	The proposed development provides differing forms of unit types.

Built Form and Urban Design

The proposed built form is consistent with the character of the neighbourhood. The proposed height at 22 metres and six storeys complies with the OCP and will ensure the building integrates with future developments on adjoining lots.

The front elevation of the building, facing East 2nd Street, is designed as a commercial podium which facilitates high ceilings to maximise exposure and sunlight to these units.

The building is designed in an 'L' shape, with an open, north-eastern corner of the building, allowing for a reduction in scale as experienced from the lane. The floorplate of the main residential building is stepped back slightly from East 2nd Street at the second level and above. Built form at the top two levels are set back to the eastern side boundary, to establish suitable building separation to the current and future adjoining residential buildings.

A high level of activation and passive surveillance of the road frontages and laneway is achieved through orientation of commercial retail units, private patios, communal outdoor amenity area and upper level private balconies towards the corresponding roads.

The façade of the building has been designed with appropriate articulation through the use of steps and recesses along the elevations, and use of attached balcony structures, which work to break up the form of the building and reduce the perceived bulk and dominance. The proposed development has also provided suitable landscaping treatments within the buildings design that will soften the visual impacts of the built form.

Proposed Mid-block Connection

The proposal establishes a strong, 3.04 m wide, mid-block, pedestrian connection along the western boundary to provide for enhanced connectivity to East 3rd Street and the multiple RapidBus stops that exist along that block. This right of way (ROW) will form part of a broader pedestrian network connecting Lower Lonsdale to the Shipyards and Lonsdale Quay.

The uncovered mid-block connection allows for an appropriate setback at this western elevation and is proposed to be illuminated with down lighting attached to the western elevation of the building to ensure user safety and passive surveillance of the pathway.

Proposed Zoning Changes

The proposed Comprehensive Development Zone will be based off of Lower Lonsdale Mixed Use 4 LL-4 zone, consistent with the proposed use types and recent developments within proximity to the site. To allow the massing, the proposed bylaw would include the following modifications to the LL-4 zone base: lot coverage; siting requirements; building length; and vehicle parking access arrangement.

A table summary and overview of the proposed zoning changes is included in Attachment 4 to this report.

Parking, Loading and Transportation

The subject site is located within one block of Lonsdale Avenue and East 3rd Street, both of which are identified as Rapid Transit Corridors. It is located approximately 240 metres walking distance from the closest RapidBus stop, and 850 metres from the Lonsdale Quay SeaBus Terminal.

The application proposes vehicle access to an underground parkade accessed from the East 2nd Street frontage. The vehicle access has been designed from this frontage given the significant slope defining the site.

The proposed secure bicycle rooms will be accessible directly from the laneway via an elevator, as well as via the residential lobby. Visitor bicycle parking is provided at the entrance to the residential lobby and dispersed along the frontage of the commercial units along East 2nd Street.

The proposal has provided one off-street loading bay at the lane, which meets the Zoning Bylaw requirements. This arrangement will ensure all loading, including garbage and recycling, will be undertaken on-site, and will therefore not impact the functionality of the road network.

Table 4 provides a summary and overview of the proposed car parking provisioning associated with the project:

Table 4: Proposed Vehicle and Bicycle Parking

Car Parking	<p>Provided Total of 62 spaces, comprised of:</p> <ul style="list-style-type: none"> • 48 resident parking spaces, inclusive of 3 accessible spaces; • 6 spaces for use by residential visitors, inclusive of 1 accessible space; • 6 spaces for commercial use, inclusive of 1 accessible space; • 2 shared visitor/commercial spaces. 	<p>Required Total of 54 spaces, comprised of:</p> <ul style="list-style-type: none"> • 46 resident parking spaces, inclusive of 8 residential visitors spaces and 3 accessible spaces; • 8 spaces for commercial use, inclusive of 1 accessible space.
Bicycle Parking	<p>Provided Residential:</p> <ul style="list-style-type: none"> • Secure – 190 spaces; • Short Term – 8 spaces. <p><i>Note: 38 secure spaces have been provided for larger cargo bikes.</i></p> <p>Commercial:</p> <ul style="list-style-type: none"> • Secure – 2 spaces; • Short term – 4 spaces. 	<p>Required Residential:</p> <ul style="list-style-type: none"> • Secure – 114 spaces; • Short Term – 8 spaces. <p>Commercial:</p> <ul style="list-style-type: none"> • Secure – 2 spaces; • Short term – 4 spaces.
Loading	One at-grade loading bay.	One at-grade loading bay.

Overall, the application meets the parking and loading requirements of the Zoning Bylaw. The development proposes a variance to the location of the access driveway, and provision of two shared visitor/commercial spaces. These are discussed in more detail in Attachment 4 to this report.

Off-Site Works and Infrastructure Upgrades

The proposed development will provide appropriate off-site public realm streetscape upgrades and utility infrastructure consistent with the Subdivision and Development Control Bylaw. This includes design and construction of the frontages along East 2nd Street with the installation of new sidewalk, curb and gutter, street trees, street lighting, and road paving to the meet Master Municipal Construction Document Design Criteria, Specifications and Drawing Standards, and City of North Vancouver Standards.

In addition to the Subdivision and Development Control Bylaw, the development is subject to the standard requirements of other City bylaws and policies, including but not limited to, the Street and Traffic Bylaw, Sewerage and Drainage Utility Bylaw, and Tree Policy for the Management of Trees on City Property. The development will also be required to provide onsite Stormwater Management to meet the City's requirements.

In addition to the bylaw required works, the development will secure the following:

- The provision of a sanitary main upgrade along East 2nd Street from building service to Lonsdale.
- A 3.04 metre statutory right of way along the west side of the property from East 2nd Street to the lane to improve pedestrian permeability. Staff will continue to work with the applicant to achieve a functional design for the construction of a new mid-block pedestrian connection.
- A \$100,000 contribution towards intersection upgrade at the corner of East 2nd Street and St. Georges Avenue.

These requirements will be secured through legal agreements with the City.

Density Bonus and Community Benefits

The City's *Density Bonus and Community Benefits Policy*, in conjunction with the OCP, allows for density bonuses beyond 2.6 FSR in the Mixed-Use Level 4A designation, up to a maximum of 3.6 FSR.

The policy provides a number of community benefits options for projects seeking additional density and seeks to ensure the City receives value for additional density granted. The community benefit offered by this proposal is an increase to the City's rental housing stock by 76 units, eight of which will be mid-market rental units, secured for the life of the building through a Housing Agreement with the City.

In addition to secured market and mid-market rental units, staff are seeking Council direction to secure the following items as conditions of this rezoning:

- Public Art to a value of \$120,000.

- A 3.04 metre statutory right of way along the west side of the property from East 2nd Street to the lane for construction of a new mid-block pedestrian connection.
- A \$100,000 contribution towards intersection upgrade at the corner of East 2nd Street and St. Georges Avenue.

Legal Agreements

Should Council support this rezoning, the following legal agreements will be prepared and signed by the applicant prior to final adoption:

- Development Covenant;
- Housing Agreement;
- Servicing Agreement;
- Encroachment agreement for canopies that extend over City property;
- Statutory Right of Way for mid-block connection;
- Community Good Neighbour Agreement;
- Crane Swing and Shoring Agreement;
- Flooding Covenant; and
- Community Energy Agreement.

The plan for the Right of Way will also be required to be prepared by the applicant and delivered to the City with the above-noted agreements prior to final adoption.

ADVISORY BODY INPUT

The application was originally reviewed by the Advisory Design Panel (ADP) on January 18, 2023 (see Attachment 5). The Panel recommended approval of the project, subject to addressing the following issues to the satisfaction of the Development Planner:

- Further design development for vehicular access off East 2nd Street, pertaining to vehicular and pedestrian safety;
- Further design development to ensure Crime Prevention Through Environmental Design (CPTED) concerns around landscaping and building interface across the lane;
- Further design development of the west property line balcony interface with adjacent buildings for proximity and safety concerns;
- Further design development for wayfinding and building residential entrance to differentiate from commercial;
- Further design development for north-south right of way connector, to improve pedestrian interface and urban realm, CPTED and lighting; and
- Further design development of south residential massing, relative to midrise and podium interface.

The applicant responded directly to these issues, to the satisfaction of the Development Planner.

Given there were no substantive changes to the design elements of the previous and current development proposals, further referral to the Advisory Design Panel was not warranted.

COMMUNITY CONSULTATION

Previous Development Scheme:

A Virtual Developer's Information Session (VDIS) was held on November 9, 2022 to present the previous 8-storey proposal, and was attended by 18 participants.

Three comment forms and emails with comments were submitted following the VDIS. Two members of the community provided support for the project and one was opposed.

The main reasons for support were:

- Design of the building;
- Provision of new retail and commercial spaces; and
- Mid-block connection / alley access.

The main concerns were:

- Unit sizes too small;
- Traffic impacts; and
- Construction impacts.

A summary of the public consultation, as prepared by the applicant, is available in Attachment 6.

Current Development Scheme:

Following resubmission of the revised application, the applicant engaged with the immediate neighbours to advise them of the changes to the development scheme. Through this additional engagement, no further feedback was provided to the applicant by the adjoining residents.

A summary of the additional public consultation following resubmission of the revised application, as prepared by the applicant, is available in Attachment 7.

NO PUBLIC HEARING FOR OCP COMPLIANT RESIDENTIAL DEVELOPMENT

Pursuant to recent Provincial amendments to Section 464 of the *Local Government Act*, which came into force on November 30, 2023, the City must not hold a public hearing on a proposed rezoning bylaw if: an OCP is in place for the subject site; the bylaw is consistent with the OCP; the development is residential; and that residential component is at least half of the gross floor area for the development. Since all of these factors apply to this development, no public hearing will be held and notice will be published with reference to the date of First Reading of the Bylaw, as set out in the *Local Government Act*.

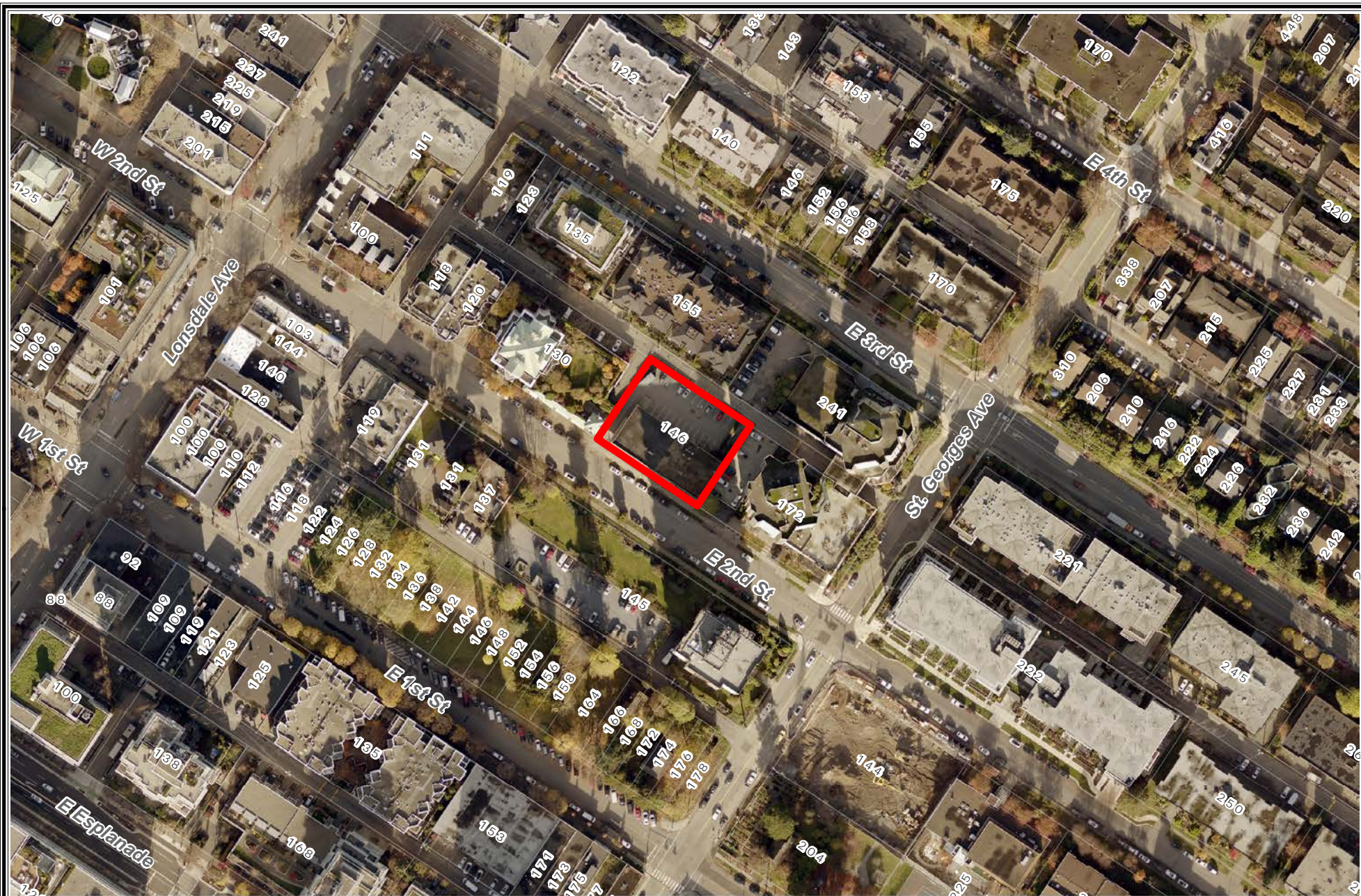
CONCLUSION

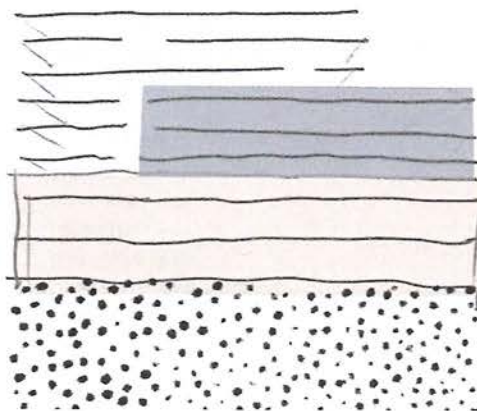
This proposal illustrates good planning and is in alignment with goals and objectives of the Official Community Plan to intensify residential development within the Lonsdale Regional City Centre, to increase rental and mid-market units in the City and to provide for a vibrant commercial street frontage. The project will also provide an appropriate mid-block connection to facilitate public pedestrian passage through the block.

RESPECTFULLY SUBMITTED:



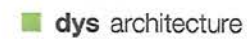
Matthew Menzel
Planner 3





146 E 2nd Street

Revised Development Application | 29 November 2024 | Anthem | dys architecture





146 E 2nd Street

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**SECTION I
PROJECT TEAM**

Development Permit
Application

29 November 2024

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Development Permit
Application

29 November 2024

1.0 Executive Summary

The proposal put forth in this application for Rezoning and Development consists of one site for redevelopment. The development will consist of one multi-storey building comprised of five levels of residential units over one level of commercial, and two levels of underground parking. The building program is primarily residential rental units with commercial uses.

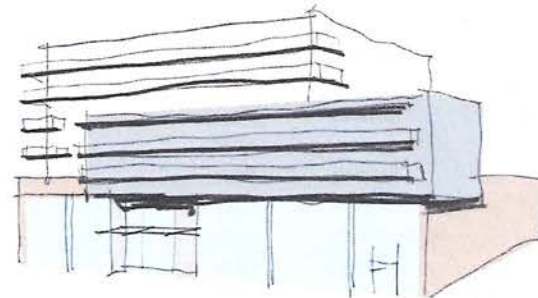
The site is located in the Lower Lonsdale area of North Vancouver and is in close proximity to numerous amenities and commercial services. Outlined in greater detail within the Rezoning and Design Rationale, the development program seeks to improve the commercial frontage, strengthen the street edge and public realm and add new housing units to meet the City's objectives of the Official Community Plan for this neighbourhood.

The proposal is comprised of the following key aspects:

Commercial - The redevelopment will include approximately 6,625 SF of new commercial space fronting East 2nd Street. Commercial uses at grade will be maintained and optimized to respond to Lower Lonsdale's emerging character. Compact retail units with frontages of less than 6m in width will create a pedestrian-scale, active street wall,

Residential - The redevelopment will increase the housing stock with rental, for-sale residential units. The development will add 76 residential units of varying unit types. The project will provide 39% of its units as family oriented; either 2-bedrooms and 3-bedrooms types. In addition, 25% of the total units are designed as adaptable units.

Environmental - The development is targeting to meet BC Energy Step Code level 3. In general, the building is designed to incorporate improved thermal and energy performance, with increased insulation, lower window to wall ratio, and strategically located architectural elements as passive features. Overall, the proposed development will bring a balanced architectural language that combines sensitivity to the natural features of the city with a contemporary vocabulary and modern west coast aesthetics inspired by the context of the surrounding built environment. The design approach was intended to be thoughtful and contextually aware of the rich features of the city to inform the overall design and character of the building.



SECTION I INTRODUCTION




Development Permit
Application

29 November 2024

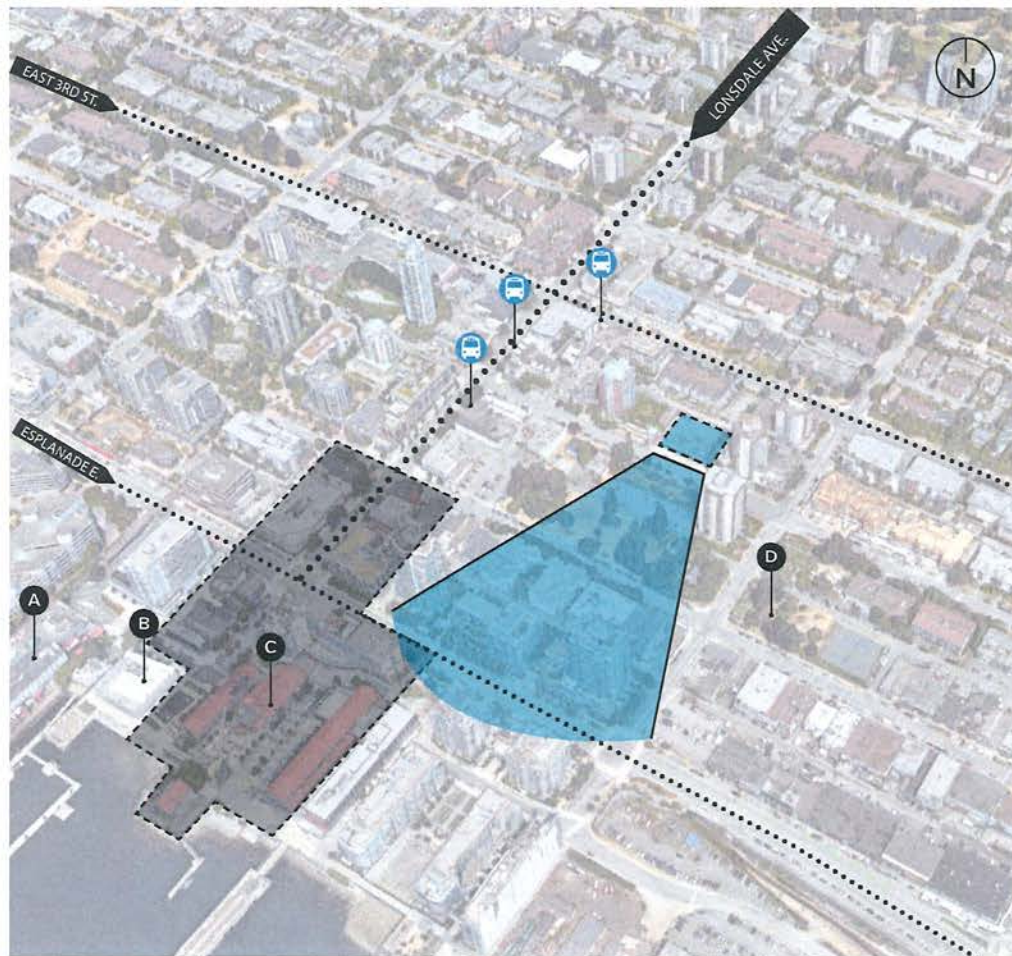
2.0 Site Description

The development site is located in the Lower Lonsdale area of North Vancouver and is designated as Mixed-Use level 4A (High-Density) land-use in the Official Community Plan. The project site is a single parcel which is currently zoned Comprehensive Development CD-007.



- Primary View corridor 
- Major Arterial Road 
- Minor Arterial Road 

- A. Lonsdale Quay
- B. The Polygon Gallery
- C. Heritage Character Area
- D. Allen Residence (Heritage) - 204 East 1st Street



SECTION II DESIGN ANALYSIS

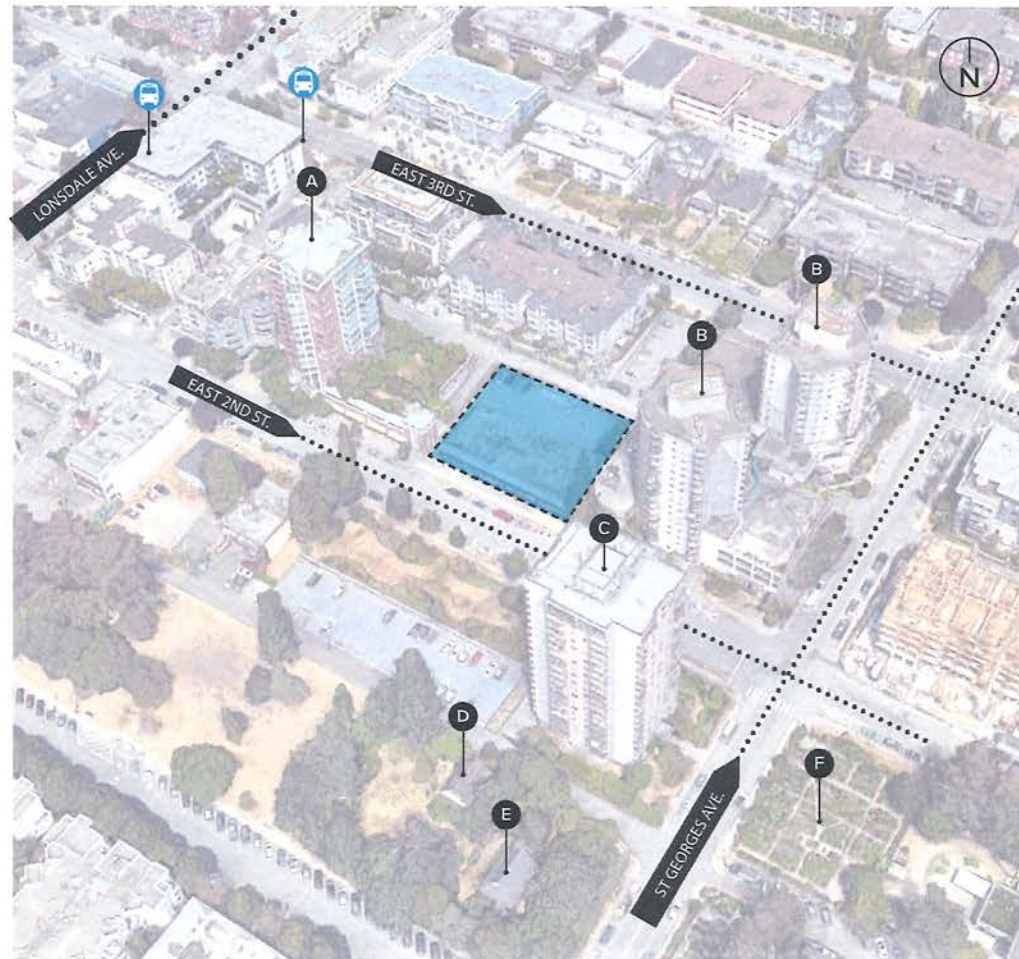
Development Permit
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2.1 Context Plan

The site measures approximately 150 feet in width and 120 feet deep. The site area is approximately 17,968 sf. pre-dedication. With a base OCP density of 2.60 FSR and a potential Bonus Density factor of 1.00 FSR, the site may yield a total density of 3.60 FSR resulting in a development of approximately 64,684 sf. Bonus density relate to the provision of public benefits.

Maximum building height allowed is 23 m (75'-5"). It is our understanding, based on Anthem's discussion with the City Planning Department, the building height may be measured from the high side of the site, along the lane to the north. There is a significant grade change on the project site, with the high point located along the lane to the north sloping down about 5.0m (≈16 feet) to the low side along East 2nd Street.



- A. Olympic - 130 East 2nd Street.
- B. Twin towers - 175 East 3rd Street
- C. Talisman Towers - 145 St Georges Avenue
- D. Falcioni Residence (Heritage) - 168 East 1st Street
- E. Matraia Residence (Heritage) - 174 east 1st Street
- F. Lower Lonsdale Community Garden



SECTION II DESIGN ANALYSIS

Development Permit
Application

29 November 2024

2.2 Current Site Conditions



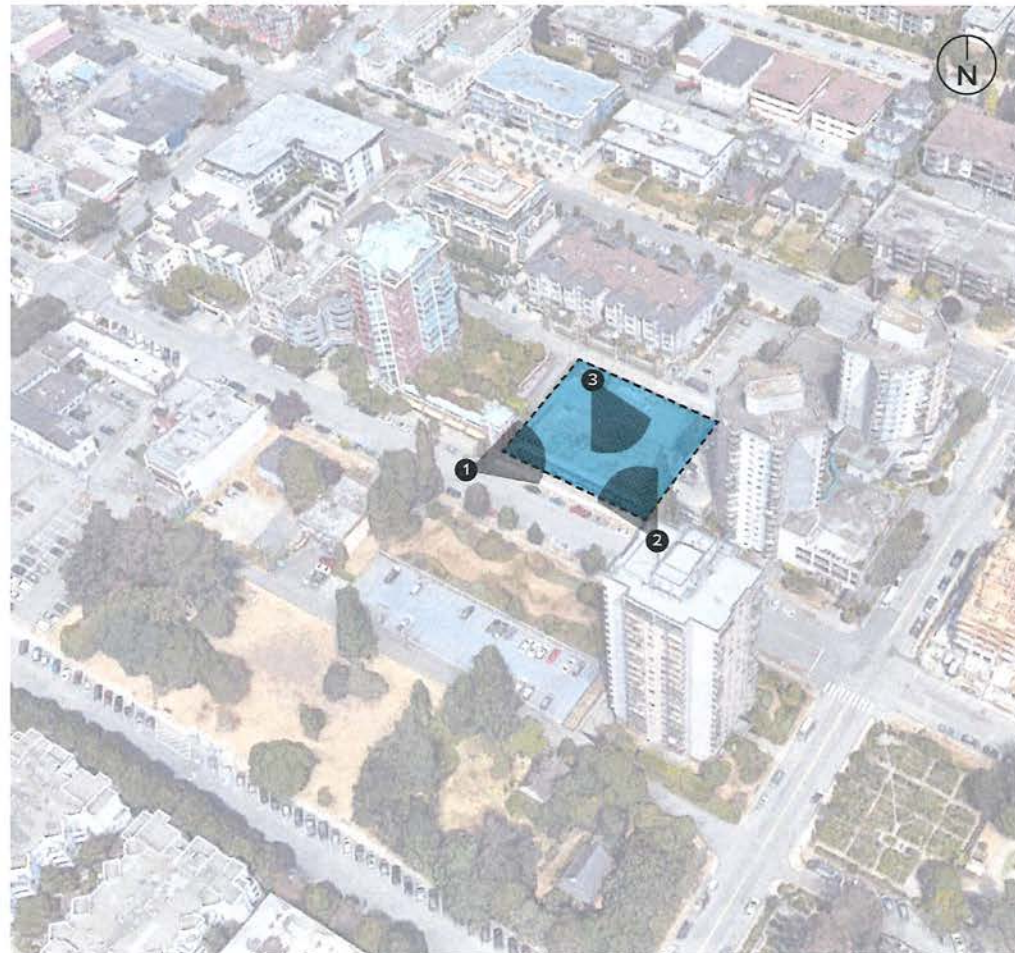
1. the street frontage of the existing building



2. Eastern end of the existing building on the site



3. the back of the existing building on the site



SECTION II DESIGN ANALYSIS

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Application

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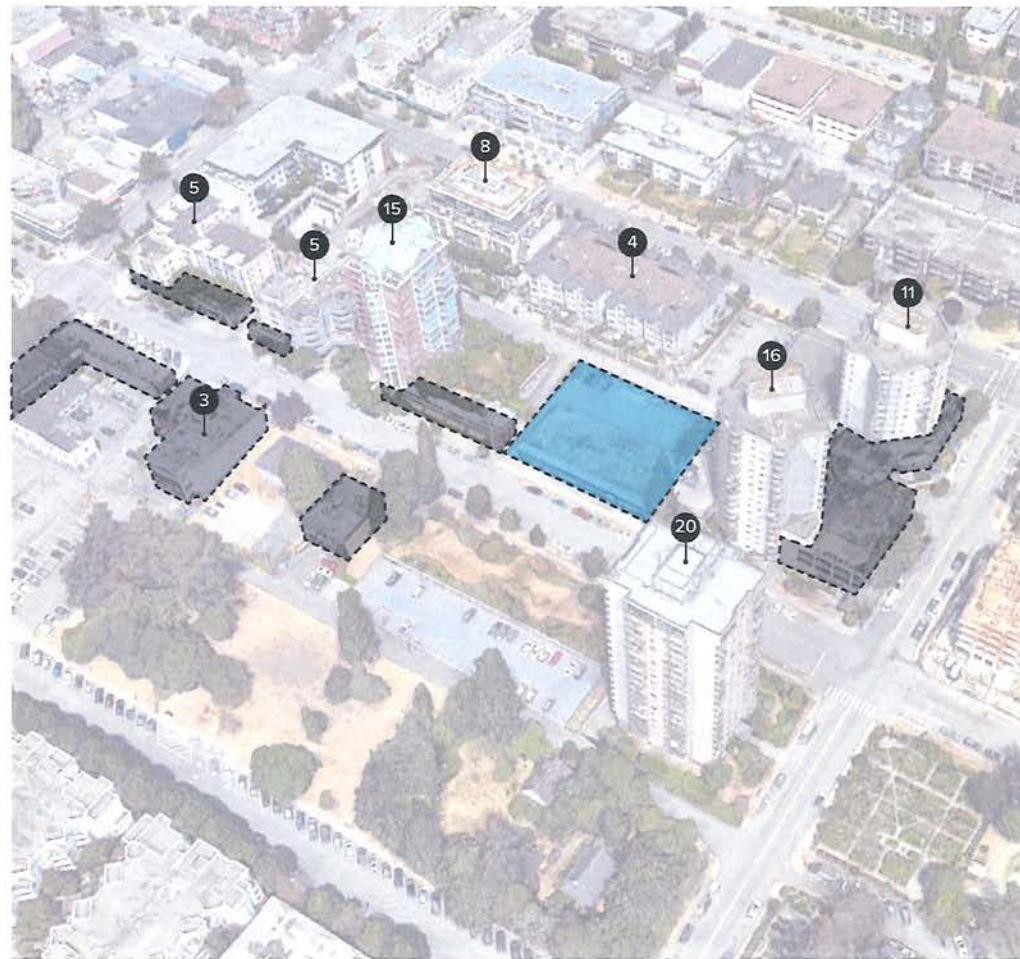
2.2 Context Plan Neighbourhood Overview

Located in the Lower Lonsdale neighbourhood, this significant location in the city is where the urban fabric blends a broad mix of residential buildings with the commercial retail and services, and a number of community and recreational amenities.

The immediate area to the north generally consists of mid-rise residential apartment buildings with commercial uses at-grade. The project site is directly in-between two residential high-rises to the west and east side of the development. A mid-rise residential building is immediately to the north opposite side of the service lane.

A number of community amenities are located in the immediate neighbourhood and these include an art gallery, civic museum, the Quay Market and Food Hall, the Shipyards, and the Seabus Terminal. Additionally, the site is in close proximity to a number of parks and recreational areas including Lower Lonsdale Community Garden, Derek Inman Park and Public Tennis Courts to the east, and Waterfront Park beside the Quay and Seabus Terminal.

- Number of Storeys 
- Commercial Podium 
- Site - 146 East 2nd Street. 



SECTION II DESIGN ANALYSIS

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Application

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2.3 Current Street Elevations

146 E 2nd Street



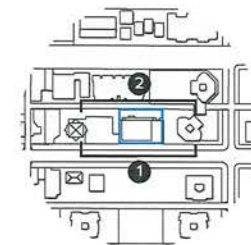
1. East 2nd Street - North of the road

PROJECT SITE



2. Laneway between East 2nd & East 3rd Streets

PROJECT SITE



SECTION II DESIGN ANALYSIS

Development Permit
Application

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3.1 Applicable Zoning, Policies Plans and Guidelines

Existing Zoning: CD-007

Proposed Zoning: CD (Comprehensive Development District)

Land-Use Designation: Mixed-Use Level 4A (High Density)

Other documents include:

- Official Community Plan Bylaw, 2014, No. 8400;
- Zoning Bylaw, 1995, No. 6700;
- Density Bonus and Community Amenity Policy
- Housing Action Plan
- Community Energy and Emissions Plan

Purpose: To allow for a mix of higher-density multi-family and commercial uses in Lower Lonsdale. Buildings in this designation typically include a mix of retail and/or office space on lower floors and residential apartments on upper floors.

Form: Mid-rise or high-rise buildings. Heights are limited as indicated in the Land Use map (Schedule A, Appendix 1.0).

Max. Density: 2.6 FSR

Max Bonus: A maximum increase of 1.0 FSR may be considered when public benefits are provided as per Section 2.2.



**SECTION III
PLANNING & DESIGN
FRAMEWORK**

Development Permit
Application

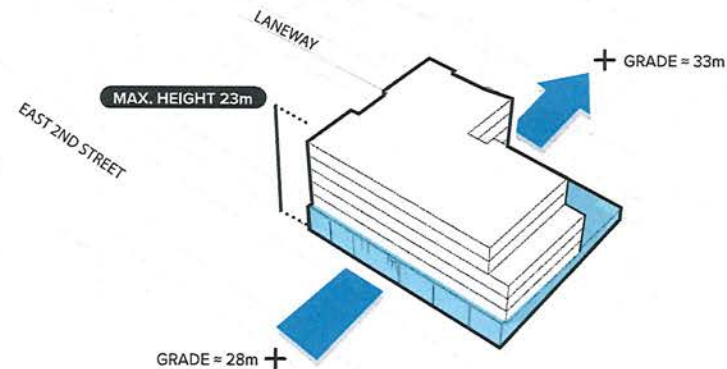
29 November 2024

3.2 Policy & Site Constraints

The purpose of this development proposal is to redevelop an existing CD-zoned, two storey, commercial property to an six storey, mixed-use residential building with retail at grade. The site is guided by the existing Lower Lonsdale area policy as noted in the Official Community Plan that was adopted in 2014.

CNV Official Community Plan - Schedule A (Land Use):
maximum mid-rise and high-rise heights limited to 23m (75.5 feet)

Topography:
a steep sloping site with a height difference of \approx 5m between East 2nd Street and the laneway at the rear of the parcel.



SECTION III
PLANNING & DESIGN
FRAMEWORK

Development Permit
Application

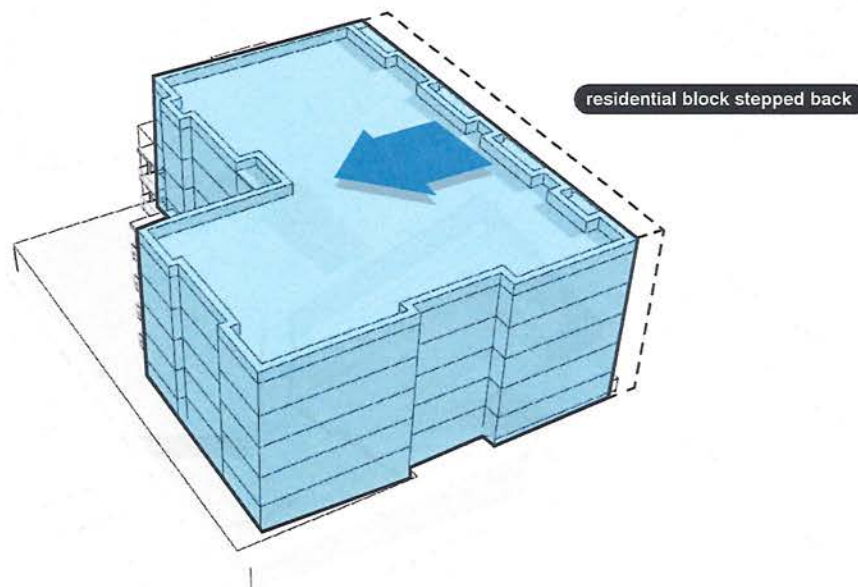
29 November 2024

3.3 Massing Rationale

Residential Floorplate

The residential program will include a diverse mix of various unit types ranging from 460 sq.ft to 1,078 sq.ft. Which will promote greater housing options for people living in the City of North Vancouver and on the North Shore.

Stepping the floorplate off the main residential block back from the street gives the building a less imposing, more pedestrian friendly streetwall along East 2nd. This also allows for the roof of the podium to be programmed as high-quality common amenity and semi-private outdoor space.

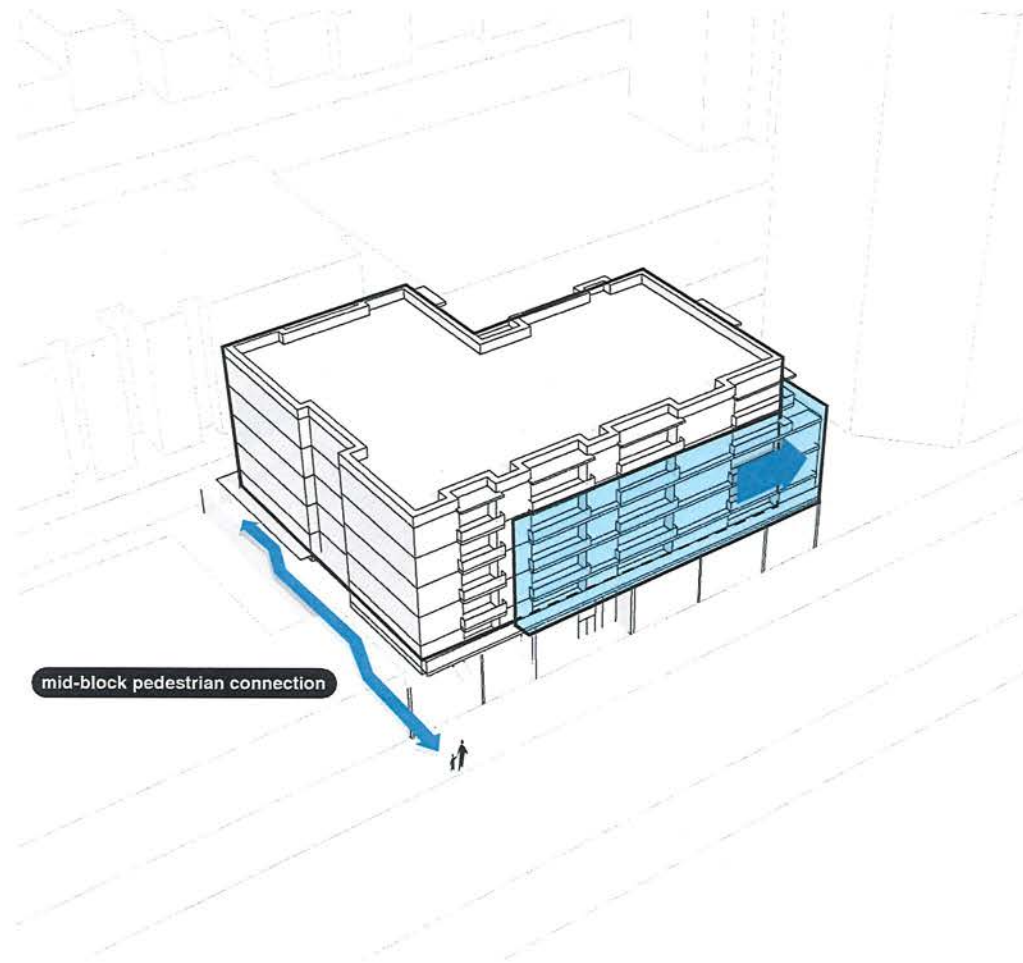


3.4 Massing Rationale

Horizontal transition From

This transitional form provides a crucial link between the horizontal language of the commercial podium below, up to the residential floors above. The building will include two levels of underground parking for residents and for residential visitors and commercial patrons. Attention was placed on the development's two edges to ensure the relationship between building and street and lane are strengthened. The East 2nd Street and lane edges strive to promote a friendly pedestrian streetscape to enhance the public realm.

An open-air pedestrian right-of-way is located along the western property line of the subject site. This right-of-way will connect to a pathway network that provides pedestrian access from 3rd Street South to the Shipyards and Lonsdale Quay, along corridors east and west of Lonsdale Ave.



SECTION III
PLANNING & DESIGN
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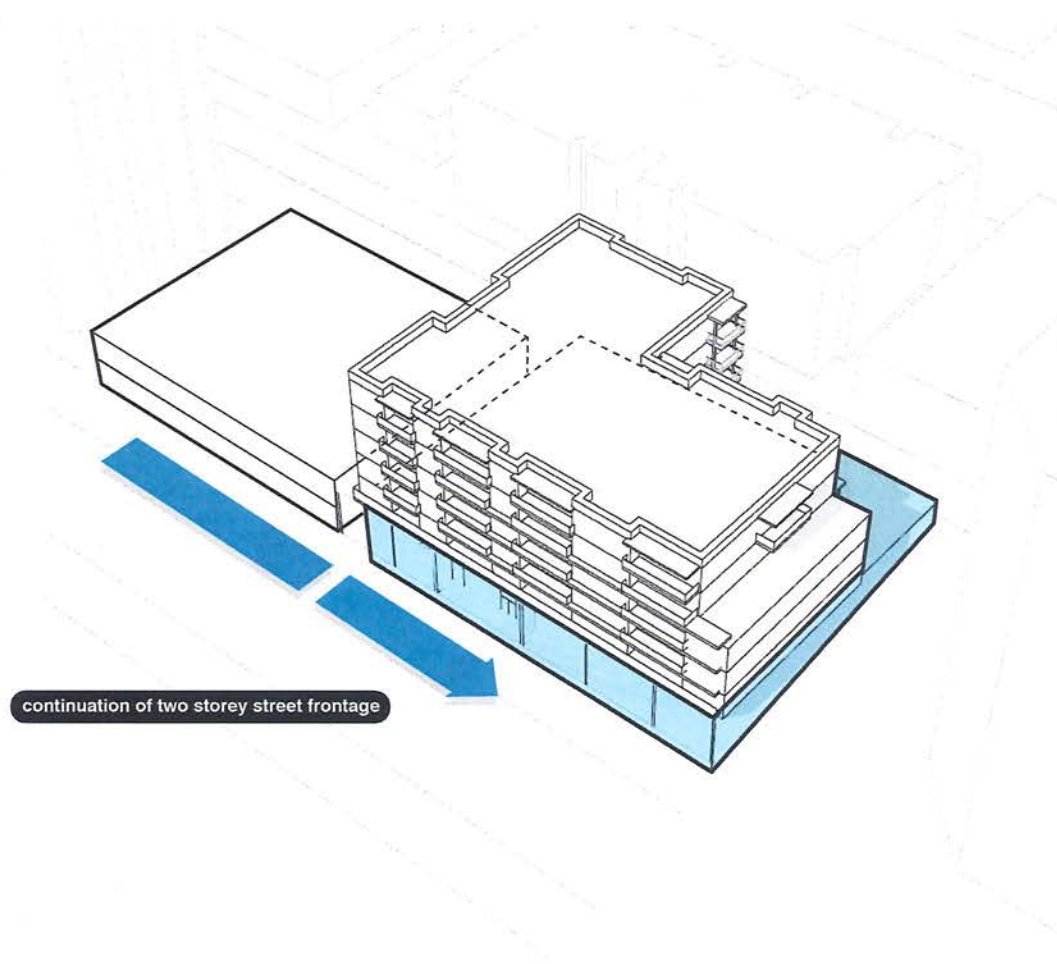
29 November 2024

3.5 Massing Rationale

Commercial Podium

The front building edge facing East 2nd Street is designed to feature an expressive entry element to the residential component, a over height volume that is architecturally articulated with a simple canopy expression.

The generous commercial podium is a continuation of the two storey street frontage currently fronting East 2nd street. Retaining this strong base element, gives the opportunity for the commercial units fronting the street to have unique overheight spaces. Providing a balance of direct natural light and commercial floor space.



continuation of two storey street frontage



3.6 Response to City of North Vancouver OCP

In reference to the Lower Lonsdale area and the Official Community Plan, the proposed development meets or exceeds the planning objectives and land use concept. The design is guided and adheres to the main principles as set out in the community visions.

These include:

Complete and Compact

- Accessible and Active
- Opportunity-Filled
- Resilient and Adaptable
- Durable and Timeless
- Creative and Diverse
- Healthy and Inclusive
- Diverse and Affordable
- Community Supporting Community
- Age-Friendly



1 Land Use: Housing, Population and Employment

The project proposes strata for-sale residential housing to assist in addressing the City's population growth by providing a total of 76 residential units. There are currently no existing residential units in the commercial-oriented structure presently on site. The new housing units will offer a diverse range of unit types and sizes allowing families, individuals, and couples to reside in the building.

2 Transportation, Mobility and Connectivity

The proposed development considers a number of initiatives and features to promote forms of movement other than the use of single-occupancy vehicles. Underground parking spaces for visitors and residents will be equipped with electrical charging stations. Bicycle storage for residents is conveniently located on Level 1. A bike repair and wash area are proposed to promote bicycle usage. Public transportation, bus routes and the Seabus are located nearby with walking distance.

3 Pedestrian Connectivity

Included as part of the proposal is a 10' (3m) wide mid-block pedestrian ROW connecting the laneway with East 2nd street. The ROW will formalise an existing pathway currently used by the public on what is currently private property. More broadly, this ROW will form part of a broader pedestrian network connecting Lower Lonsdale to the shipyards and Lonsdale Quay to reinforce the areas walkable nature.

4 Community Well-Being

The development proposes a number of features for its residents and the community, which will enhance people's well-being. With a varied mix of unit types and sizes, the building will promote diversity amongst its residents with families, young individuals, seniors, and couples able to coexist. Suites are designed with a focus on the relationship between residents, the community and natural views. Larger family-oriented units were strategically designed to include extensive private outdoor space, promoting outdoor play and convenient access.



**SECTION III
PLANNING & DESIGN
FRAMEWORK**

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Natural Environment, Energy and Climate

The building is designed to support connection to the Lonsdale Energy Corporation (LEC). Overall, the building is designed with the intent to meet BC Energy Step level 3. Access and proximity to bicycles and public transport reduce the reliance on vehicle ownership. Passive shading with extensive balconies on the south side of the building, and a balance of openings to solid wall in the exterior assembly, reducing the window to wall ratio.

The building is designed to address the challenges associated with climate change with care and consideration of the building form, articulation, and purposeful architectural elements. With passive shading created by balconies, low window to wall ratio, and limited massing articulation thus reducing thermal loss at steps and corners.



Larger studio and one-bedroom units are planned with private outdoor space. The building will provide an indoor amenity areas and extensive outdoor common area on the podium. This is to promote individuals to use the building common amenities, to foster community, gathering and neighbourliness.

5 Parks, Recreation and Open Space

As a mid-rise, slab-block structure, the building footprint will allow greater green space at the podium level for residents, providing opportunities for extensive landscape and outdoor spaces. Direct access to the outdoor patio / amenity is provided via the indoor amenity.

6 Art, Culture and Heritage

The architectural character is inspired by the City's local culture and natural setting. The design of the building seeks inspiration from the local context and west coast vocabulary to set an architectural language reflective of these influences.

7 Economic Development

The proposed commercial space will be an upgrade to the existing commercial program on site. While the proposed commercial spaces will strengthen the public realm with improved storefront interface by the sidewalk boulevard, it will provide a unique retail environment with over height commercial spaces with plenty of natural light from the floor to ceiling glazing. In addition, new residents of the neighbourhood, will promote and influence economic growth to local businesses and services.

8 Municipal Services and Infrastructure

The building is designed to connect with the Lonsdale Energy Corporation's system and other existing services.



**SECTION III
PLANNING & DESIGN
FRAMEWORK**

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4.1 Guiding Principles

The design inspiration for this building comes from an abstract study of Lower Lonsdale when viewed from Vancouver Harbour. The overlapping of warm tones, patterns of fenestration and horizontal ridge lines of the mountains behind translate into the building's facade



simple palette
reflection
watercolour
space



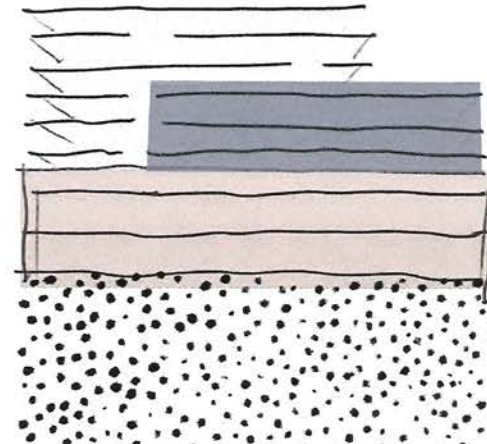
thick line
thin line
marks
scribed



texture
grain
coastline
depth



warm
grounded
saturated
touch



plinth
rationalised
hierarchy
horizontal



SECTION IV DESIGN RATIONALE

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Application

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4.2

Design Language



1. Lot 05 - ZAC Beaujon.



2. Turnmill - Piercy & Company



3. De Havenmeester - RoosRos Architects



4. Queenshurst - Carey Jones



5. Govaert - Vanhoutte Architects



6. 71 Swann Road - Mosaic

Anthem

146 E 2nd Street



**SECTION IV
DESIGN RATIONALE**

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4.3

Retail Space & Residential Lobby



1. madcoffee - madarq studio



2. Gryphon House - Taizo Yamamoto



3. The Service Course - Girona Spain



4. The wheelhouse - Los Angeles



5. North Point Brewing - North Vancouver



6. Nottingdale Cafe - Found Associates

Anthem

146 E 2nd Street



**SECTION IV
DESIGN RATIONALE**

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4.4 Public Art

The public art can be an integral aspect of the project that reinforces a dynamic and more inviting public realm. The open air pedestrian right of way presents a unique opportunity to engage a local artist for a public art proposal. Seen here are a few current proposals put forward by artists for a similar mid-block pedestrian connection for Anthem's project at 149 West Third Street.

Public Art Opportunity



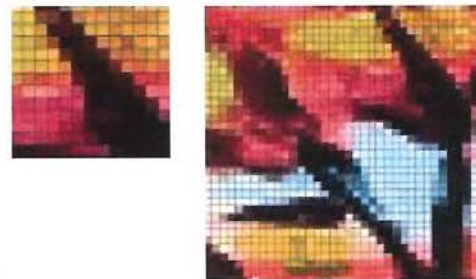
Open air pedestrian right of way along western property line



Luke Ramsey - completed work, Kitsilano, BC



Rebecca Bayer - 149 West 3rd Street public art proposal consists of pixelated 1" glazed ceramic tile mosaic version of a painting Red Branch Glow for the 'breezeway' public art mosaic at 149 W. 3rd.



hand glazed 1" tile mosaic



Luke Ramsey - tile mural proposal

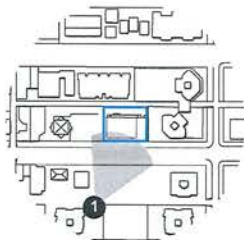


Development Permit
Application

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4.5 Project Description

The building form is a six-storey tower and slab block with podium structure. An over height lobby sited in the middle of the podium fronting East 2nd Street defines the residential entrance. Adjacent to the lobby is the main circulation elevator and stair core in the middle of the site. Compared to the previous application, the proposal is reduced in overall height, the commercial podium is also less prominent.



Previous Application



1. Primary southern elevation on to East 2nd Street.



**SECTION IV
DESIGN RATIONALE**

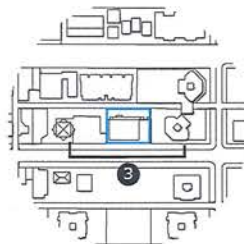
Development Permit
Application

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4.6 Integration in to Streetscape

The urban edges at grade are designed to relate to the existing streetscape and adjacent tower podiums. By implementing a raised pedestrian crossing across E 2nd St and mid-block pedestrian ROW, the proposal will enhance the public realm while continuing the prominent street wall and sawtooth tower-height pattern that is characteristic of this block. The use of warm-toned materials, compact retail frontages, along with an improved sidewalk and boulevard treatment have been contemplated to further elevate the pedestrian experience and promote walkability.

The design response to the site respectfully promotes the importance of animating the commercial frontage, taking clean modern architectural vocabulary to celebrate the community and unique location of the site.



3. PREVIOUS APPLICATION Southern elevation



3. PROPOSED Southern elevation



SECTION IV
DESIGN RATIONALE

Development Permit
Application

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4.7 Use & Density

This rezoning and development application proposes to redevelop the existing property to allow for the following:

USE:

- a) Residential dwelling units for market rental;
- b) 76 residential units;
- c) 25% of residential units to meet Level 2 Adaptable Housing Standards
- d) Six (6) storey mid-rise tower;
- e) Common building amenity space of approximately 1300 sf. indoor space located on Level 2 and 5 in conjunction with 1670 sf. of outdoor roof space

DENSITY:

- a) Proposed density to meet existing OCP policy (2.6 FSR), OCP bonus provisions (1.0 FSR)
- b) Adaptable Housing exclusion allowances (20 SF per each Level 2 unit);
- c) Proposed density anticipated to be approximately 3.45 FSR (61,932 sf.), slightly below the maximum 3.60 FSR allowed on the site;



4. View looking north west across East 2nd Street



**SECTION IV
DESIGN RATIONALE**

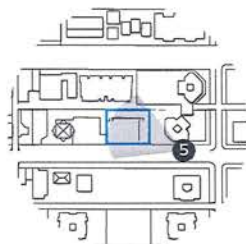
Development Permit
Application

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4.8 Parking Provision

The previous application proposed a parking entry accessed directly from East second street, this entry had rather limited vision for drivers to enter and exit the parkade. The latest proposal has a much wider entry to the parkade with openings and increased glazing to improve the sight lines of drivers using the parking ramp.

- a) Underground parking structure with private residential parking and commercial parking will have access from East 2nd Street at the south property line;
- b) Residential visitors and commercial users will also use the same parking ramp access off of East 2nd Street;
- c) Secured bicycle storage for residents located on Level 1 with access off the service lane for convenient access to the outside;
- d) Secured bicycle storage and end of trip facilities for commercial employees is located on parking Level 1 with access off East 2nd Street.



PROPOSED View of commercial podium from the SE corner of the site and parking entry



PREVIOUS APPLICATION View of commercial podium from the SE corner of the site and parking entry



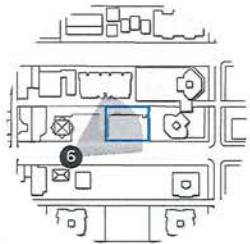
SECTION IV
DESIGN RATIONALE

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PROPOSED View of the pedestrian right of way along the western property line



PREVIOUS APPLICATION View of the pedestrian right of way along the western property line



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PROPOSED View of the pedestrian right of way along the western property line



PREVIOUS APPLICATION View of the pedestrian right of way along the western property line



4.9 Amenity Provision

The building proposes approximately 1300 sf. of indoor amenity space for residents, with approximately 2000 sf. of outdoor deck area. Amenity spaces are located adjacent to the main elevator and stair core for accessibility and convenience. In addition, the design proposes a multi-purpose space for socializing and gathering. Residents will have immediate access to outdoor space taking advantage of views to the mountains, daylight and natural fresh air.



7. View of the amenity and private terraces at level 2, on top of the commercial podium



SECTION IV
DESIGN RATIONALE

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PROPOSED



PREVIOUS APPLICATION



Development Permit
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PROPOSED



PREVIOUS APPLICATION





5.1 Materials Board



1 Hardie Panel with Paintable Reveal Trim
colour: standard white



3 Cementitious Cladding with Profile (8-Reveal)
colour: charcoal

4 Cementitious Fascia Board
colour: white

2 Vinyl Windows
colour: silver



5 Standard Face Brick
colour: tumbleweed

6 Curtain Wall System
colour: Iron Grey



5.2 Solar Orientation

East Second street does not run truly east-west, giving 146 maximum solar gains. Ideally the south-facing facade should be within 30 degrees of due south.

North Facing

Minimised Window to Wall Ratio (WWR) on north facades, to reduce winter heat losses.

East Facing

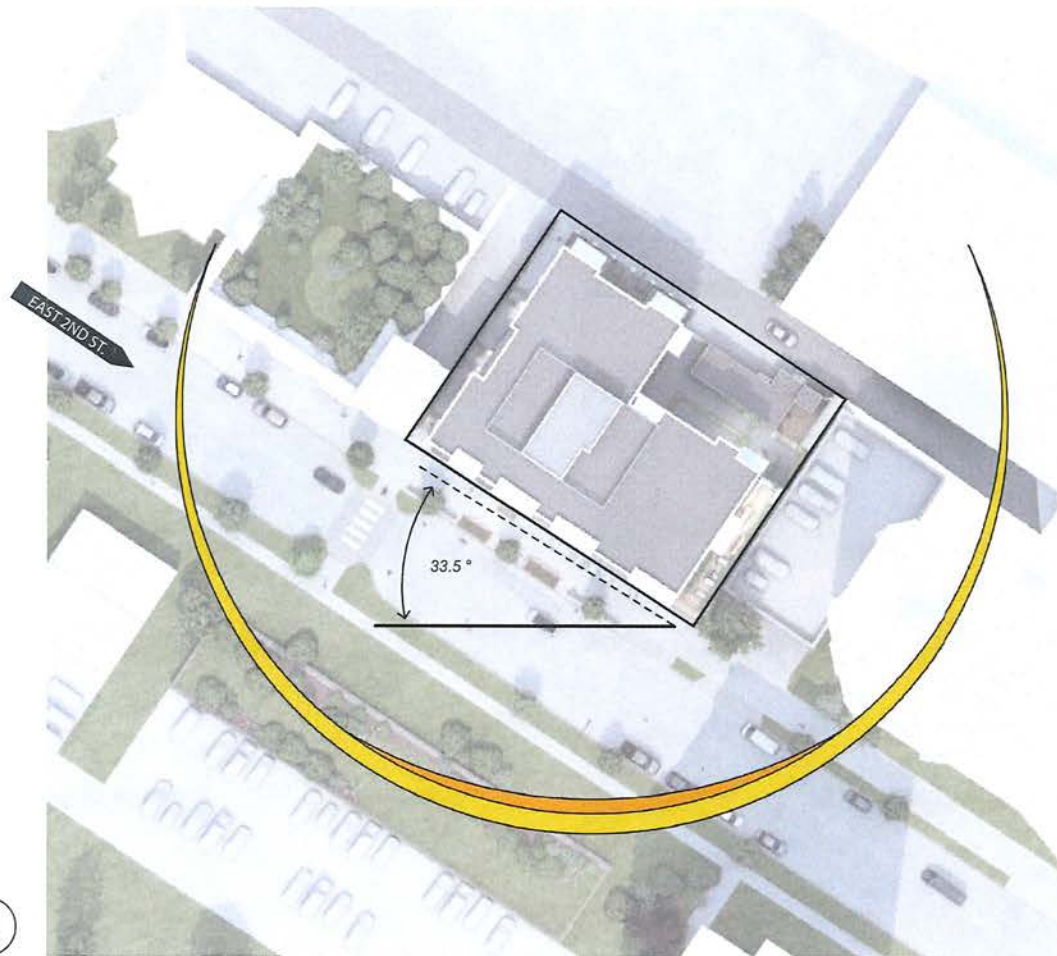
Increased WWR on east facades, to increase daylighting potential and lower lighting loads.

West Facing

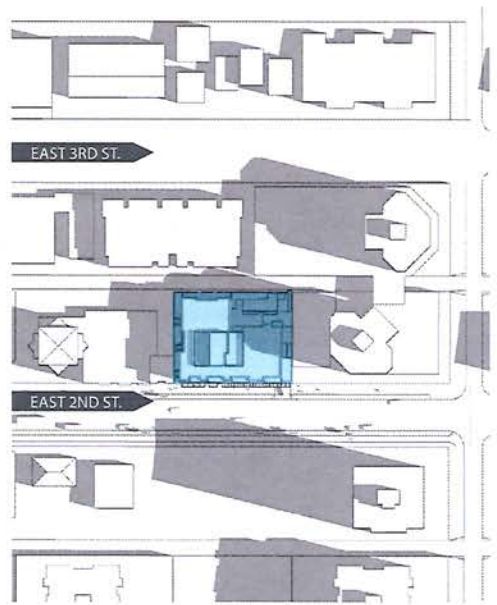
Externally shaded windows on south and west facades to prevent unwanted solar gains in summer.

South Facing

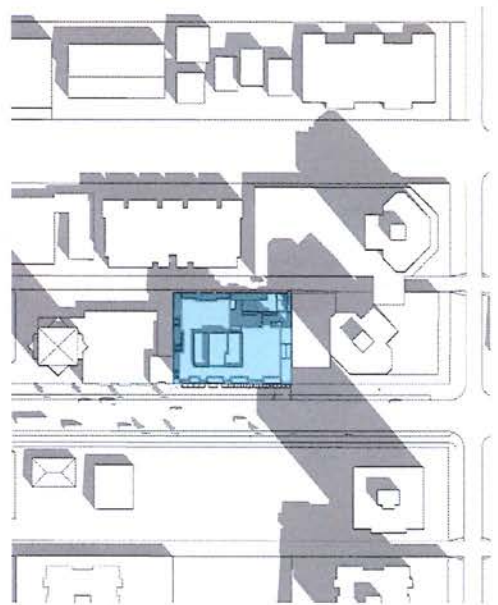
Externally shaded windows on south and west facades to prevent unwanted solar gains in summer.



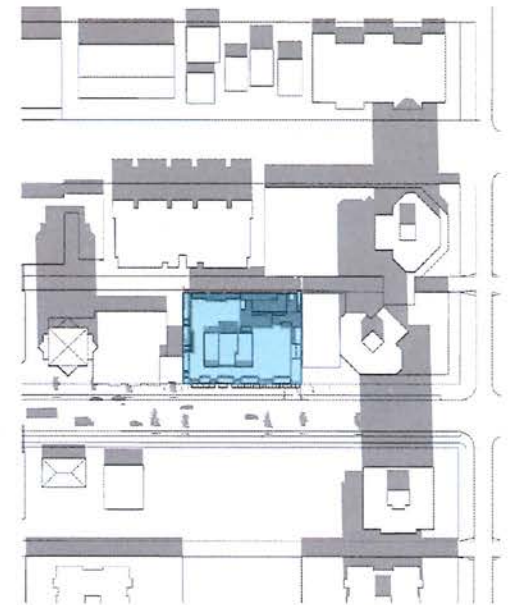
5.2 Spring Solstice



March 21st 10:00



March 21st 12:00



March 21st 14:00

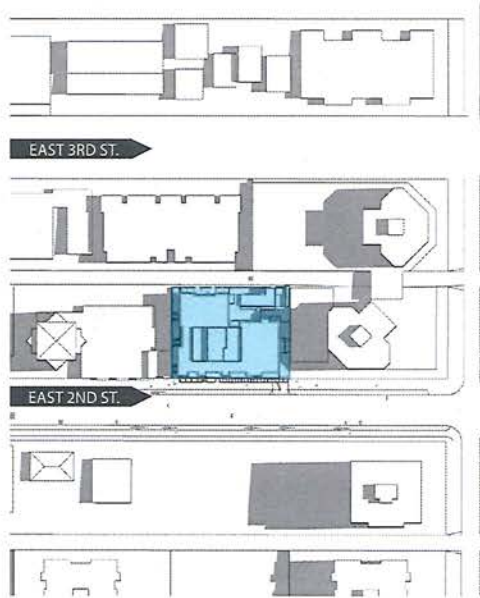


SECTION V
SHADOW STUDIES

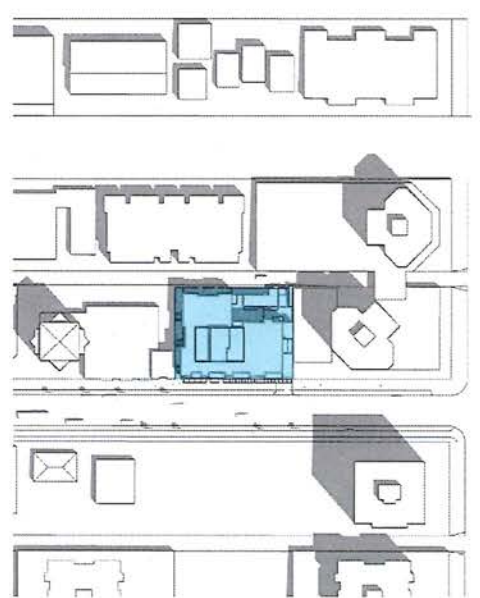
Development Permit
Application

29 November 2024

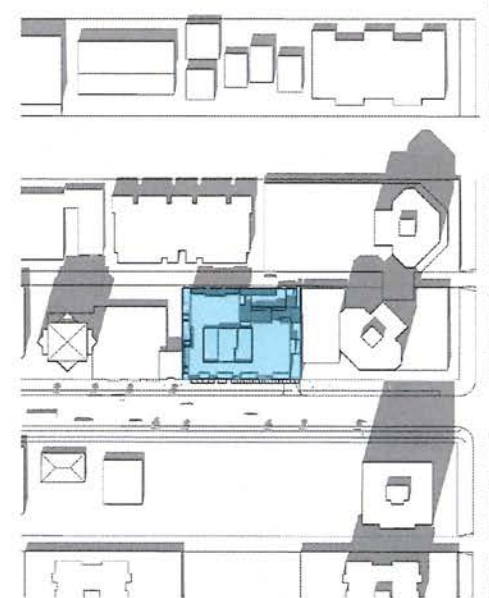
5.3 Summer Solstice



June 21st 10:00



June 21st 12:00



June 21st 14:00



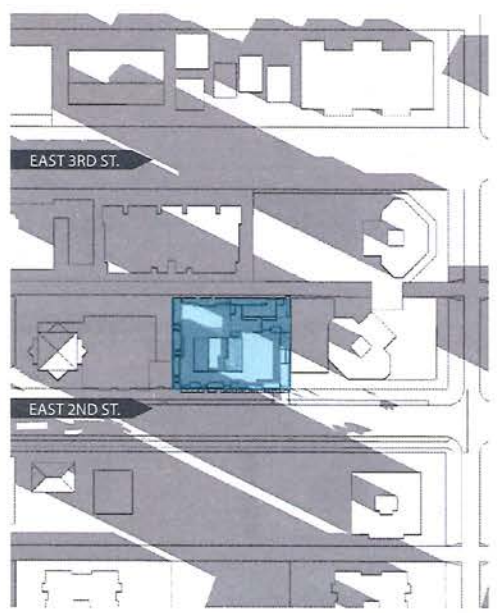
**SECTION V
SHADOW STUDIES**

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Application

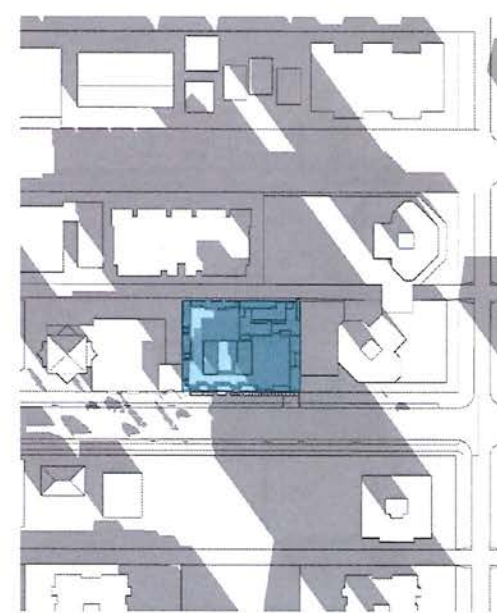
29 November 2024



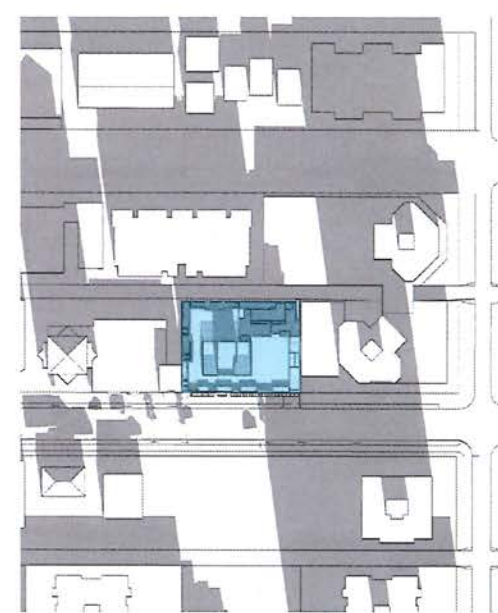
5.3 Winter Equinox



Dec 21st 10:00



Dec 21st 12:00

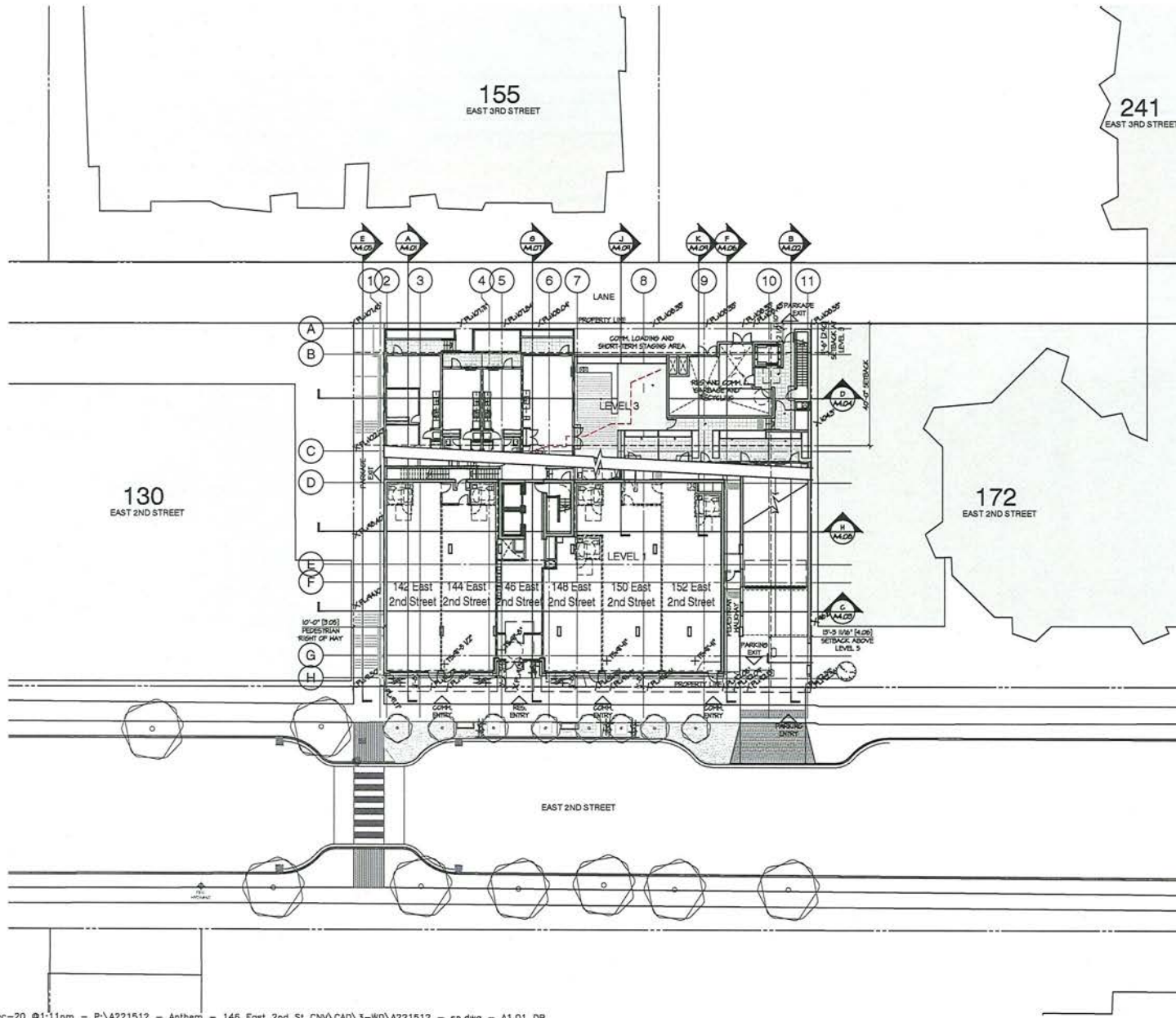


Dec 21st 14:00

SECTION V
SHADOW STUDIES

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Application

29 November 2024



dys architecture
 260 - 1770 Burrard Street Vancouver BC V6J 3G7
 201 - 560 Johnson Street Victoria BC V8W 3C6
 tel 604 699 7710 www.dysarchitecture.com

CLIENT



- NO. | DATE | ISSUE
- 1 | 2022-08-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

SITE PLAN

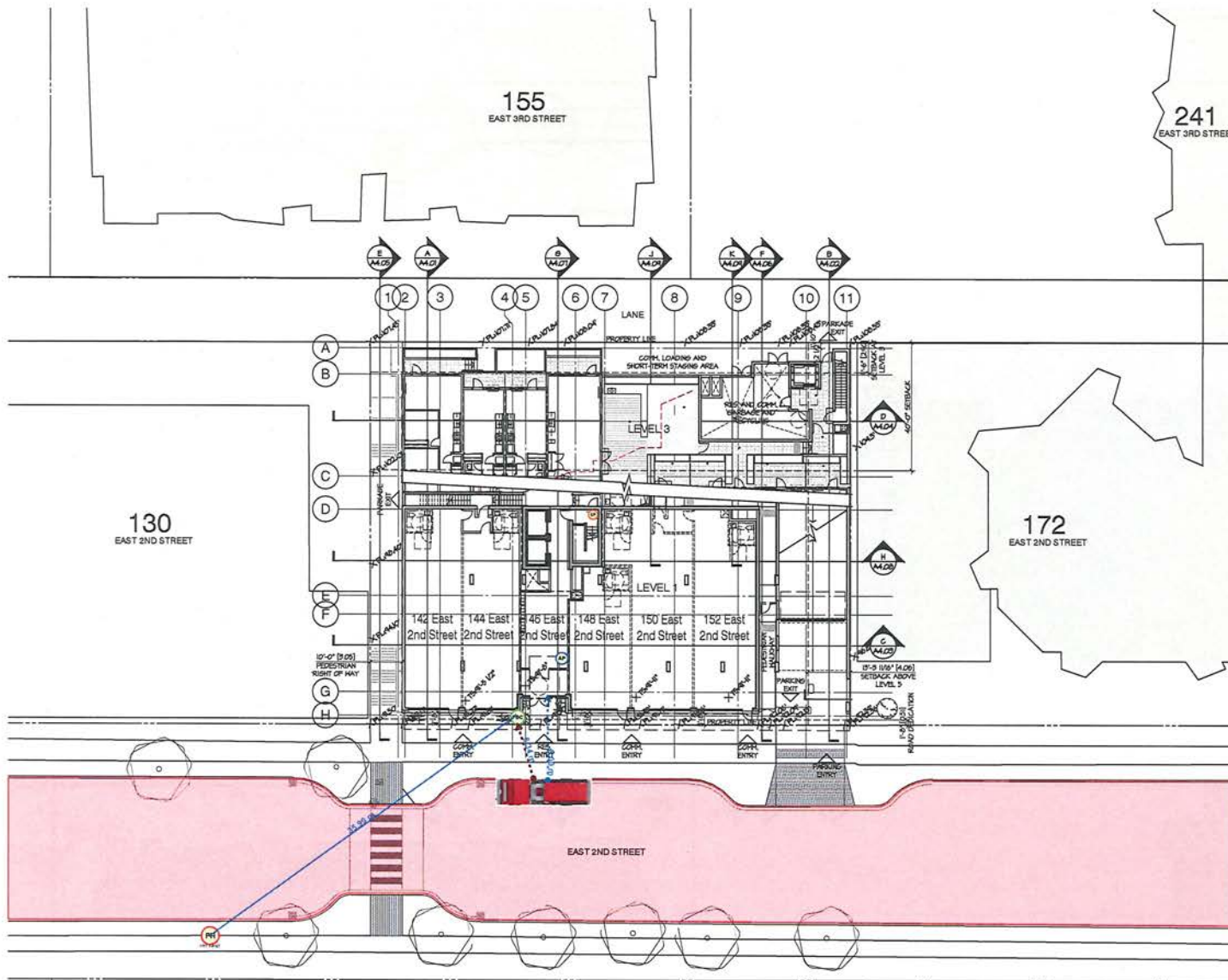
This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without our permission and should always be accompanied by the original drawings. All designs and other information shown on this drawing are for the use of the intended project only and shall not be used otherwise without written permission of dys architecture. Payment of all fees due to dys architecture is on the date of issue of this drawing. It is intended to be used as a reference only.

Unless otherwise noted, all dimensions are in millimeters. Contractors shall verify and be responsible for all dimensions and conditions on the site and the architect shall be relieved of any responsibility for the dimensions and conditions shown on this drawing. All drawings shall be prepared in accordance with the applicable standards and specifications for the jurisdiction in which they are prepared. This drawing shall be prepared in accordance with the applicable standards and specifications for the jurisdiction in which they are prepared.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/16" = 1'-0"
 DATE August 1, 2024



A1.01



dys architecture
 293 - 1770 Burrard Street Vancouver BC V6J 3G7
 231 - 550 Johnson Street Victoria BC V8W 3C6
 tel 604 669 7710 www.dysarchitecture.com



- NO. | DATE | ISSUE
- 1 2022-06-15 ISSUED FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
 - 3 2024-01-12 REISSUE FOR REZONING

NO. | DATE | REVISION

SITE LEGEND

Fire Department Connection	FDC
Graphic Annunciator	AP
Fire Hydrant	FH
Standpipe	SP
Fire Department Access Route	[Pink shaded area]



PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

SITE PLAN

This drawing is an instrument of service. It is the property of the architect and shall not be used without the architect's prior written consent. It is to be used only for the project and site shown on this drawing and shall not be used for any other project without the prior written consent of the architect. Payment of all fees due to the architect shall be the condition of the architect's continuing to be the architect of record.

Other contractors shall have responsibility for their own instruments of service. Contractors shall verify with the architect the location and conditions of all utilities and easements on the drawings. Such drawings shall be submitted to the applicable authority before proceeding with construction.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/16" = 1'-0"
 DATE August 1, 2024



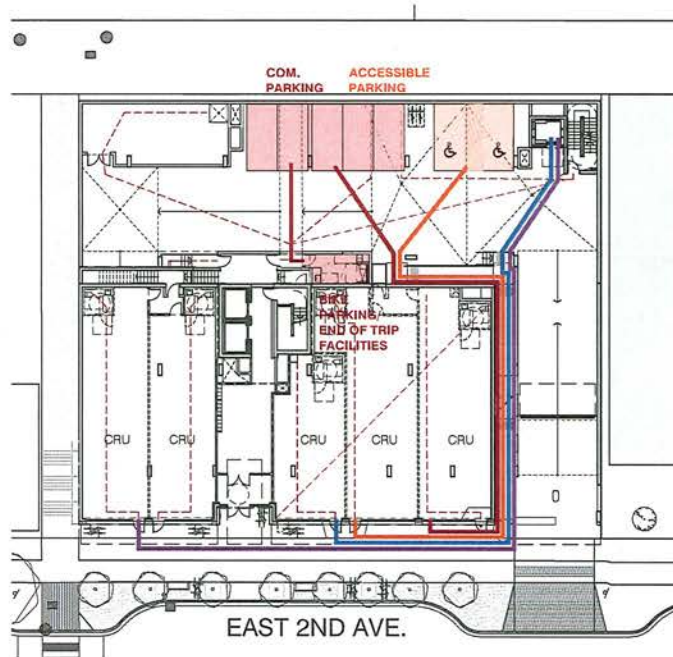
A1.01

CLIENT

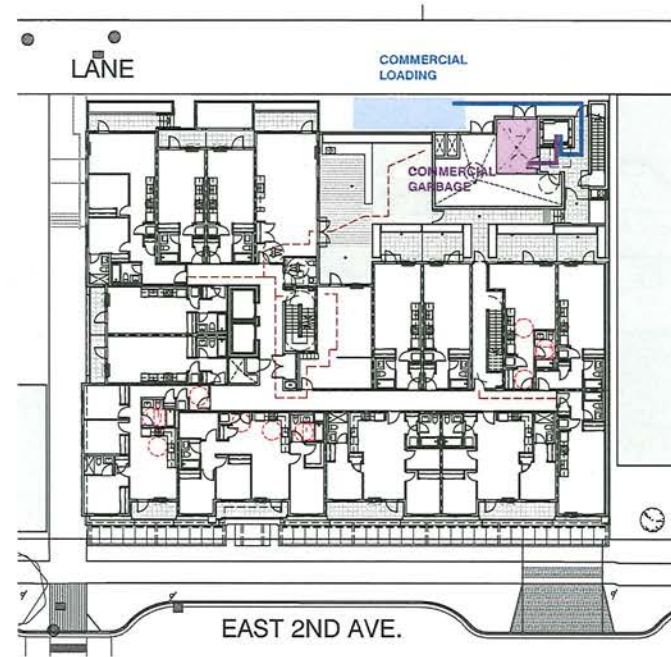


NO.	DATE	ISSUE
1	2022-09-15	ISSUED FOR REZONING
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3	2024-01-12	PREISSUE FOR REZONING
4	2024-12-09	PREISSUE FOR REZONING & DP

NO.	DATE	REVISION
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1 FLOOR PLAN LEVEL 1



2 FLOOR PLAN LEVEL 3

- Commercial Access
- Commercial Accessible
- Commercial Loading
- Commercial Garbage

PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

COMMERCIAL CIRCULATION DIAGRAM

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PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/16" = 1'-0"
 DATE August 1, 2024



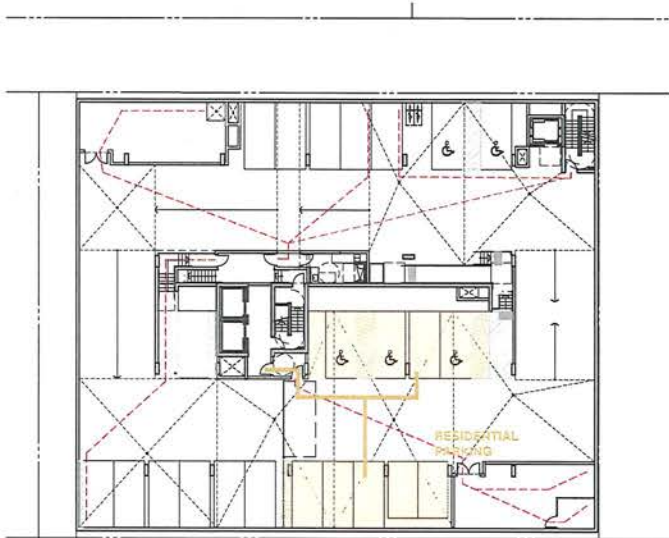
A1.03

CLIENT



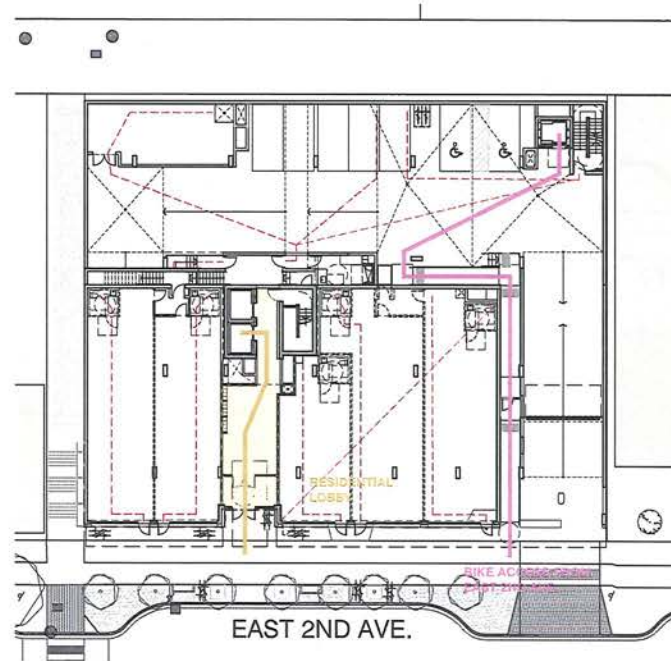
- NO. | DATE | ISSUE
- 1 2025-09-15 ISSUED FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
 - 3 2024-01-12 REISSUE FOR REZONING
 - 4 2024-12-09 REISSUE FOR REZONING & DP

NO. | DATE | REVISION



1 PARKING PLAN LEVEL 1

- Residential Access
- Residential Bike Access
- Residential Garbage Access
- Accessible Garbage Access



2 FLOOR PLAN LEVEL 1



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**RESIDENTIAL
 CIRCULATION
 DIAGRAM**

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 custody of the architect and may not be reproduced
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 If this drawing is to be used for any other purpose,
 the architect shall be notified in writing of the
 intended use and shall not be held responsible
 without the written permission of the architect.
 Project or its use for any other purpose is at the
 user's risk.

Within dimensions shall have precedence over scaled
 dimensions. Contractors shall verify and be
 responsible for all dimensions and conditions of the
 site and any conditions shall be shown on the
 drawings. These drawings shall be submitted to
 the architect for review before proceeding with
 construction.

PROJECT A221512
 DRAWN TB CHECKED NC

SCALE 1/16" = 1'-0"
 DATE August 1, 2024



A1.04

CLIENT

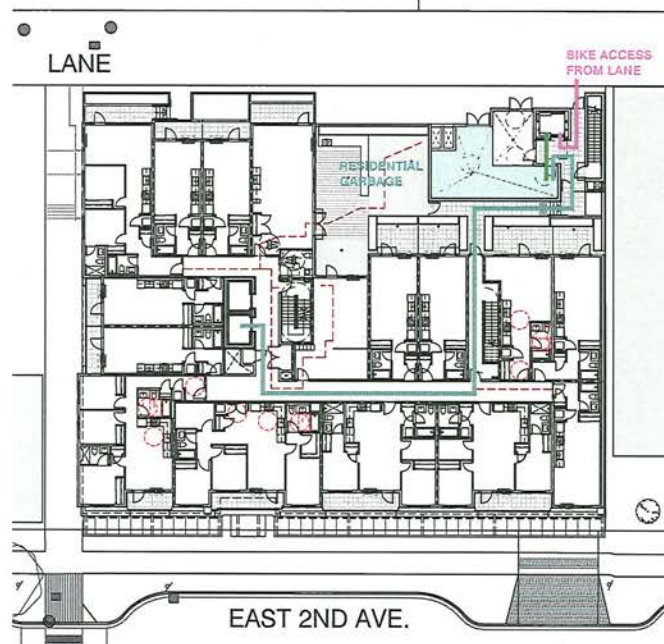


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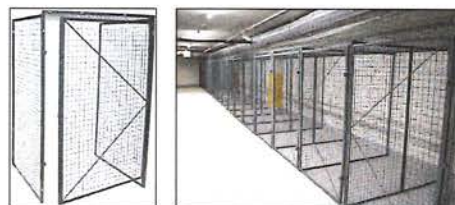


1 FLOOR PLAN LEVEL 2



2 FLOOR PLAN LEVEL 3

- Residential Access
- Residential Bike Access
- Residential Garbage Access
- Accessible Garbage Access



PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

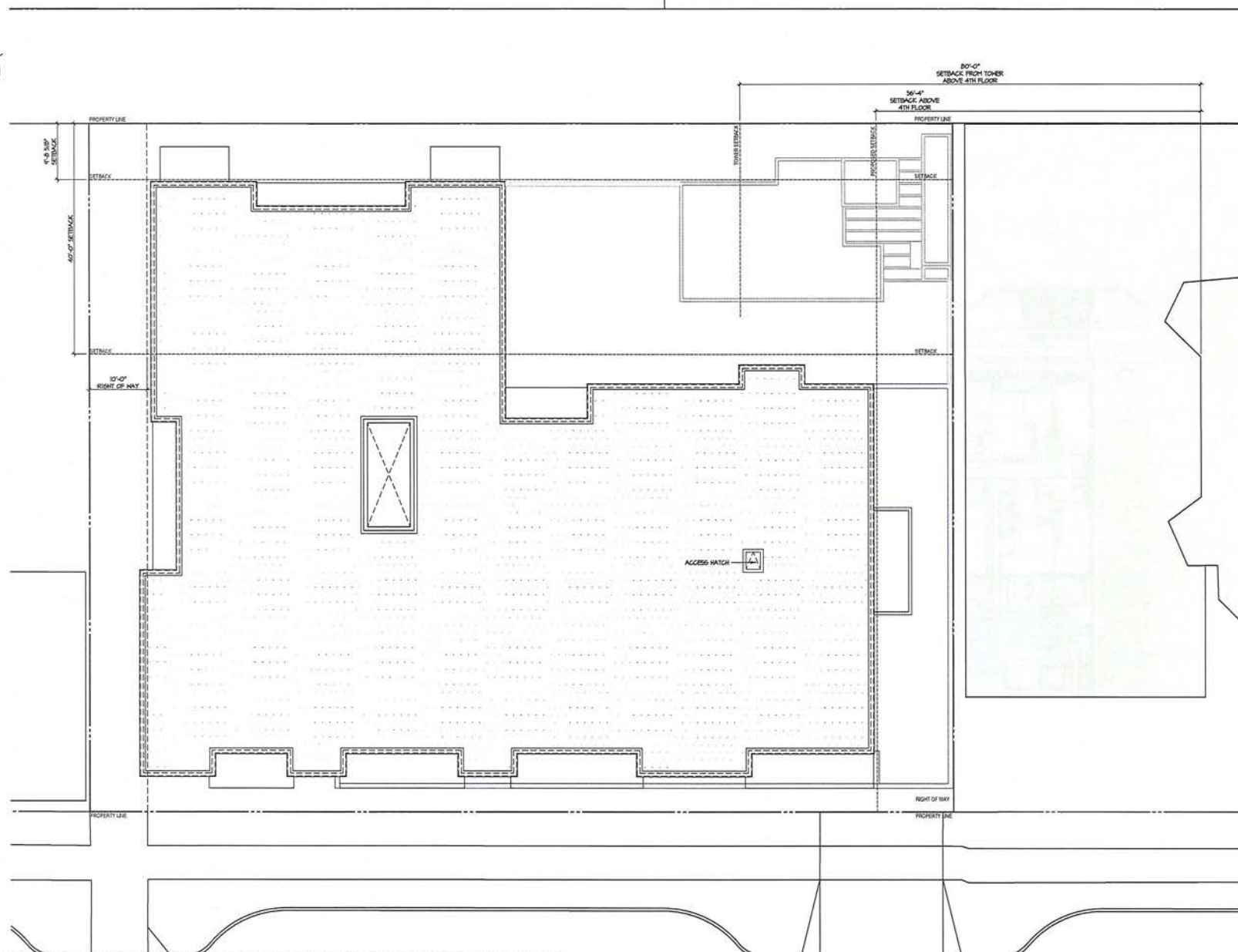
RESIDENTIAL CIRCULATION DIAGRAM

This drawing, as an instrument of service, is the property of dys architecture and may be used only for the project and site for which it was prepared. It is not to be used for any other project or site without the prior written consent of dys architecture. All drawings and specifications are subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The client is also responsible for ensuring that the drawings are used in accordance with the applicable laws and regulations. The client is also responsible for ensuring that the drawings are used in accordance with the applicable laws and regulations. The client is also responsible for ensuring that the drawings are used in accordance with the applicable laws and regulations.

PROJECT A221512
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 DATE August 1, 2024



A1.05



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PROJECT
**MULTI-FAMILY RESIDENTIAL
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SETBACK DIAGRAM

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Other interested parties have approved this revised drawing. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any responsibility for alterations and conditions shown on the drawings. Other drawings shall be reviewed by the architect for review prior to proceeding with construction.

PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

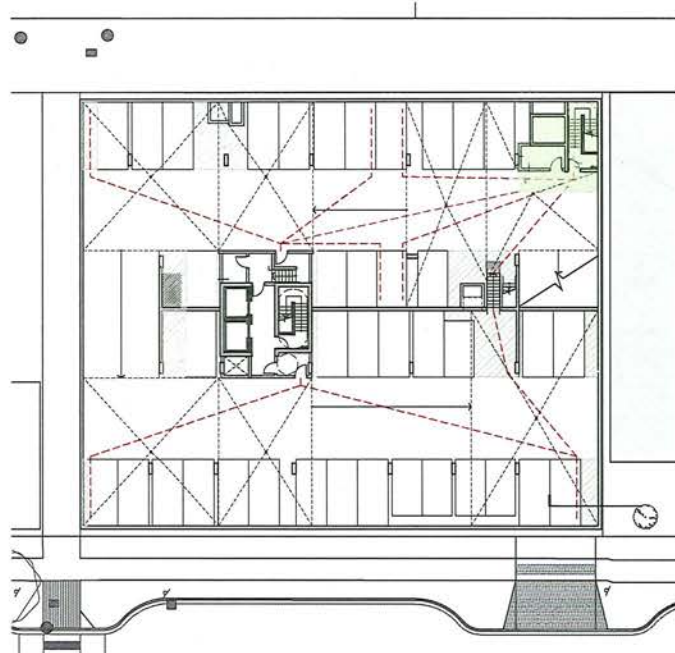
A1.06

CLIENT

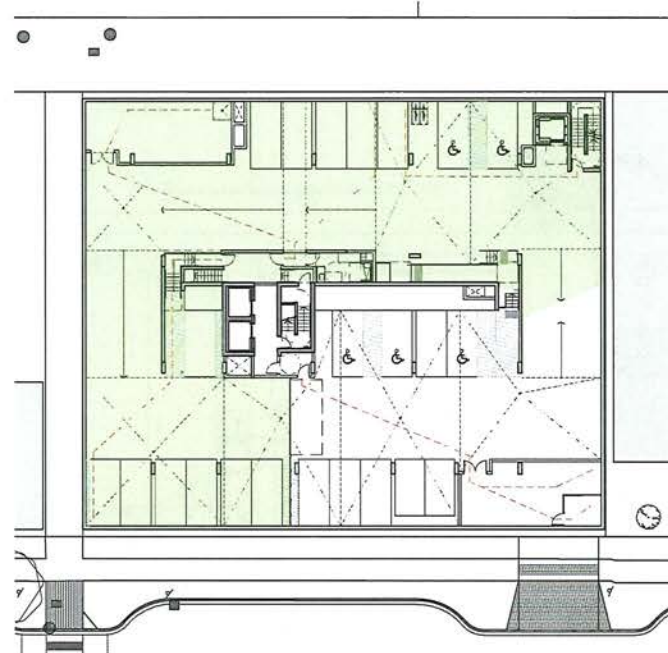


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NO.	DATE	REVISION
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1 PARKING PLAN LEVEL 2



2 PARKING PLAN LEVEL 1

- Easement
- Air Space Parcel

PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**AIR PARCEL PLAN
 PARKING PLAN
 LEVELS 1 & 2**

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Unless otherwise noted, the architect shall be responsible for all dimensions and conditions on the site and the architect shall be relieved of any liability for any errors or omissions. All dimensions shall be taken from the site plan and shall be subject to the architect's site visit and shall be subject to the architect's site visit and shall be subject to the architect's site visit and shall be subject to the architect's site visit.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/16" = 1'-0"
 DATE August 1, 2024



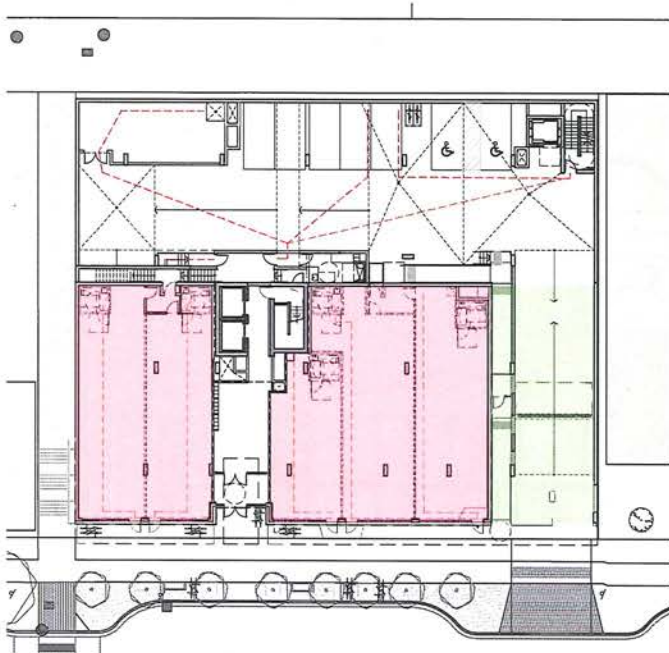
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CLIENT



NO.	DATE	ISSUE
1	2022-08-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	PREISSUE FOR REZONING
4	2024-12-09	PREISSUE FOR REZONING & CP

NO.	DATE	REVISION
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1 FLOOR PLAN LEVEL 1

— Easement
 — Air Space Parcel



2 FLOOR PLAN LEVEL 2



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**AIR PARCEL PLAN
 FLOOR PLAN
 LEVELS 1 & 2**

This drawing is an instrument of service, to the extent of the architect's and/or civil or mechanical engineer's professional liability. It is not to be used for any other purpose without the written approval of the architect, engineer or other professional. The use of this drawing is a condition precedent to the use of the same.



PROJECT A221512
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 SCALE 1/16" = 1'-0"
 DATE August 1, 2024

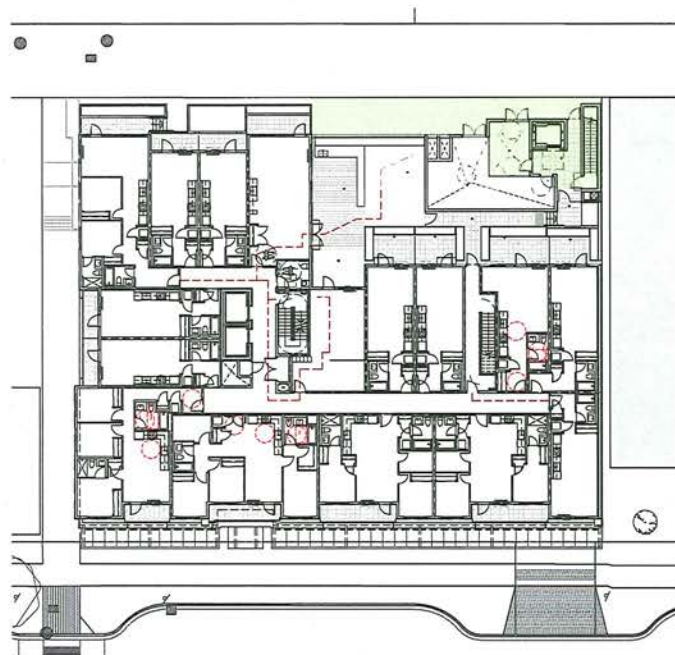
A1.08

CLIENT



NO.	DATE	ISSUE
1	2022-09-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
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3 FLOOR PLAN LEVEL 3

- Easement
- Air Space Parcel



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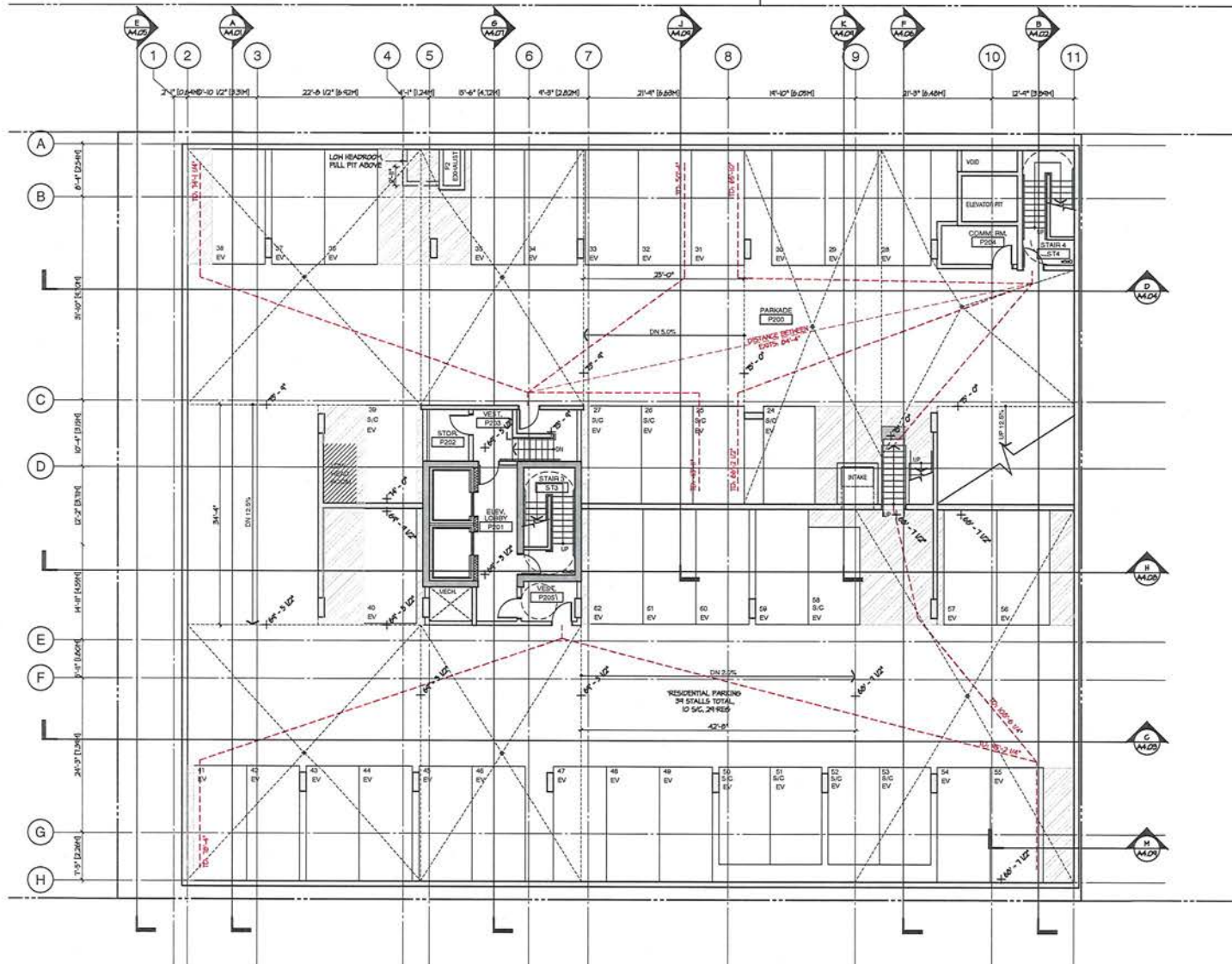
**AIR PARCEL PLAN
 FLOOR PLAN
 LEVEL 3**

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Unless otherwise noted, dimensions are metric dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the site and the architect shall not be responsible for any errors or omissions. It is the responsibility of the contractor to verify all dimensions and conditions on the site before proceeding with construction.

PROJECT A221512
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 SCALE 1/16" = 1'-0"
 DATE August 1, 2024

A1.09



- NO. | DATE | ISSUE
- 1 [2022-09-15] ISSUED FOR REZONING
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PROJECT
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**PARKING PLAN
 LEVEL 02**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site and shall advise the architect in writing of any discrepancies. Scaled drawings shall be submitted to the architect for review. Issues presented with tolerances.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



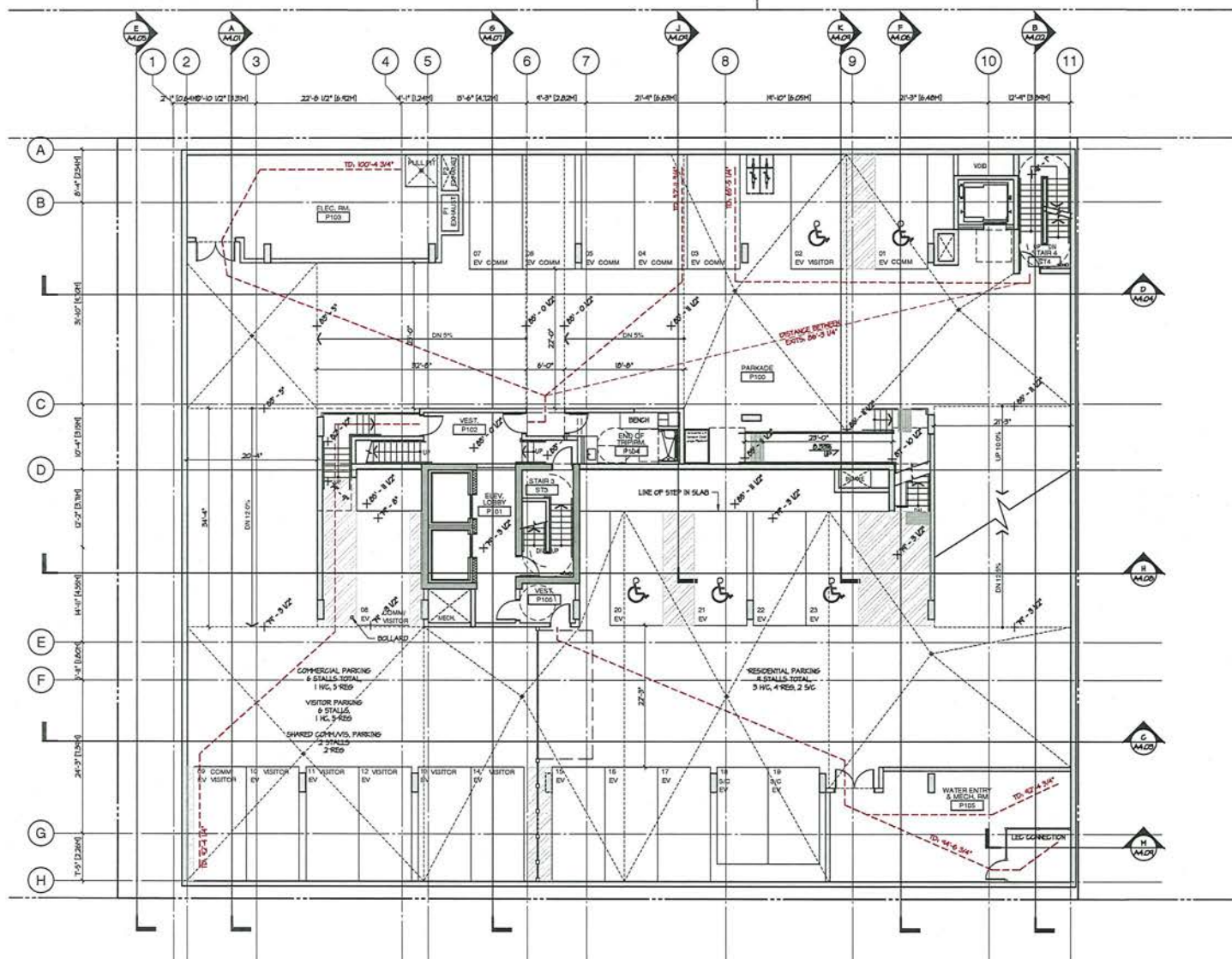
A2.01

CLIENT



NO.	DATE	ISSUE
1	2022-09-15	ISSUED FOR REZONING
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PROJECT
**MULTI-FAMILY RESIDENTIAL
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 146 EAST 2ND STREET
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**PARKING PLAN
 LEVEL 01**

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Without limitation, clients have responsibilities over related drawings. Contractors shall verify and be responsible for all dimensions and conditions of the site and the drawings shall be consistent with the information. dys architecture and its consultants shall not be held responsible for any errors or omissions in the drawings. This drawing shall be submitted to dys architecture for review before proceeding with construction.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



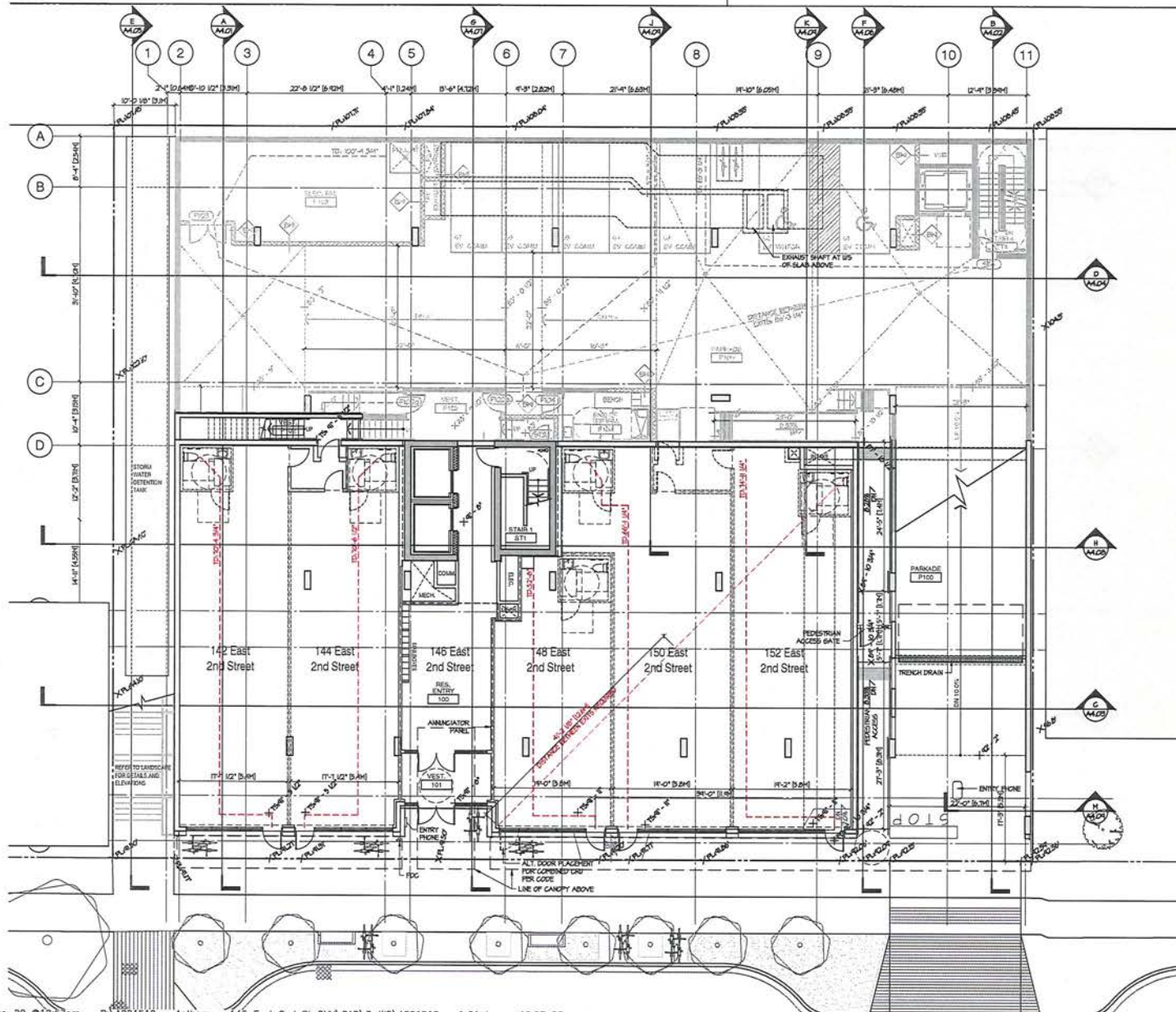
A2.02

CLIENT



- NO. | DATE | ISSUE
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**MULTI-FAMILY RESIDENTIAL
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FLOOR PLAN
 LEVEL 01

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 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



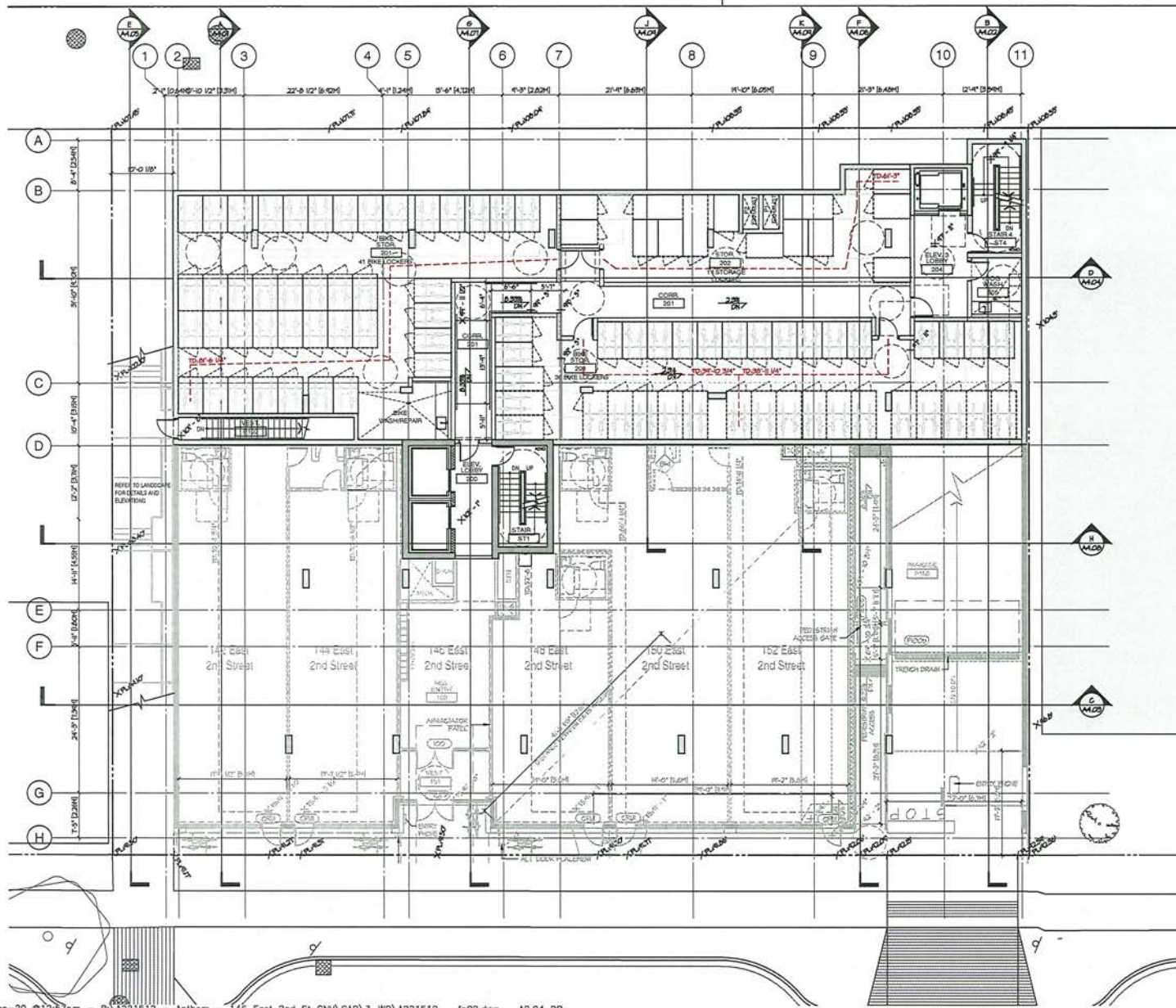
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CLIENT



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PROJECT
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**FLOOR PLAN
 LEVEL 01 UPPER**

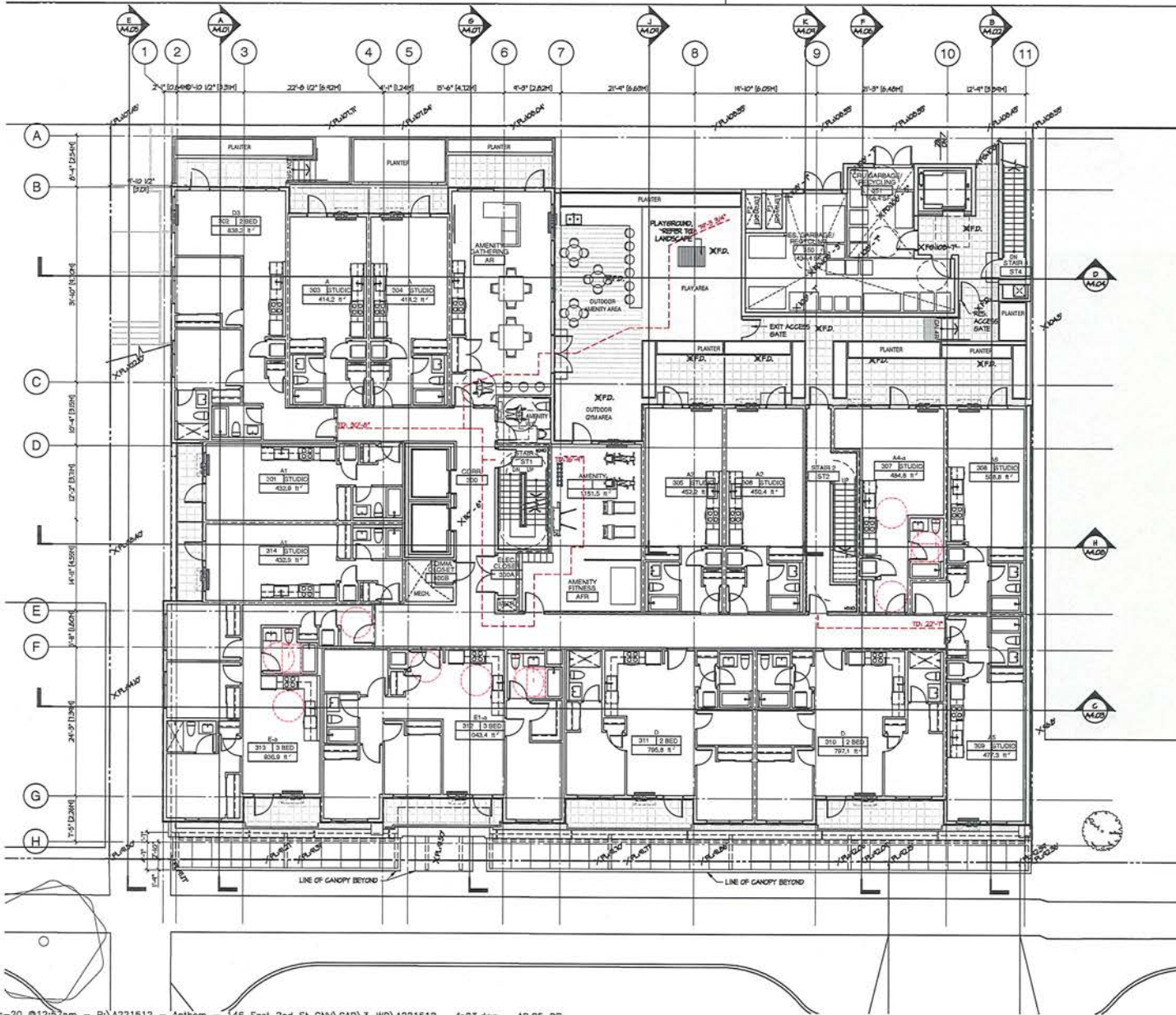
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Unless otherwise noted, all dimensions are in millimeters. Contractors shall verify and be responsible for all dimensions and conditions of the site. The architect shall be notified of any discrepancies in the site information and dimensions shown on the drawings. This drawing shall be submitted to the architect for review before proceeding with construction.

PROJECT A221512
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 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A2.04



CLIENT



- NO. | DATE | ISSUE
- 1 [2022-05-15] ISSUE FOR REZONING
 - 2 [2023-10-03] PRE-CONSULTATION APPLICATION
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PROJECT
**MULTI-FAMILY RESIDENTIAL
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 145 EAST 2ND STREET
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**FLOOR PLAN
 LEVEL 02**

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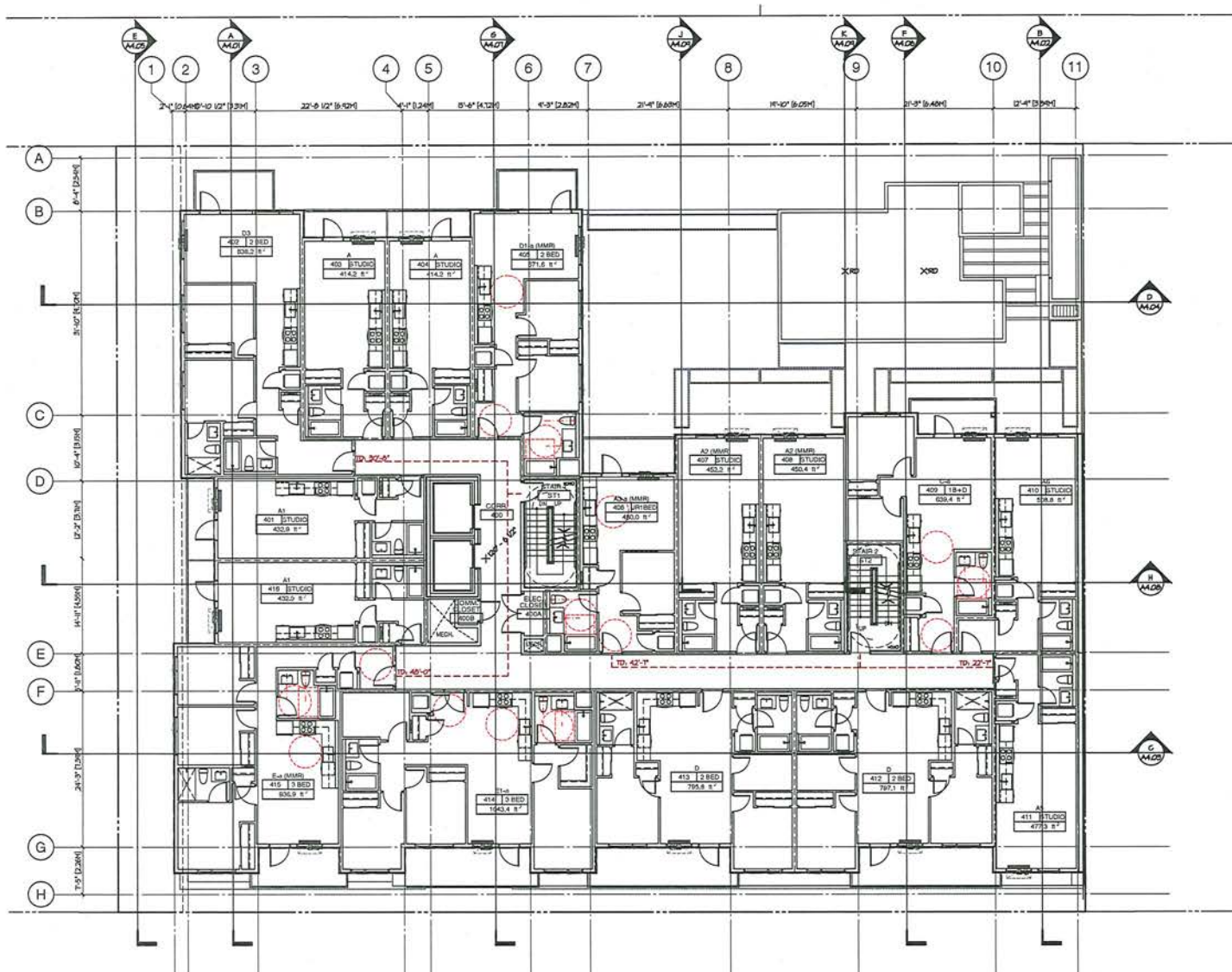
A2.05

CLIENT



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PROJECT
**MULTI-FAMILY RESIDENTIAL
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 146 EAST 2ND STREET
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**FLOOR PLAN
 LEVEL 03**

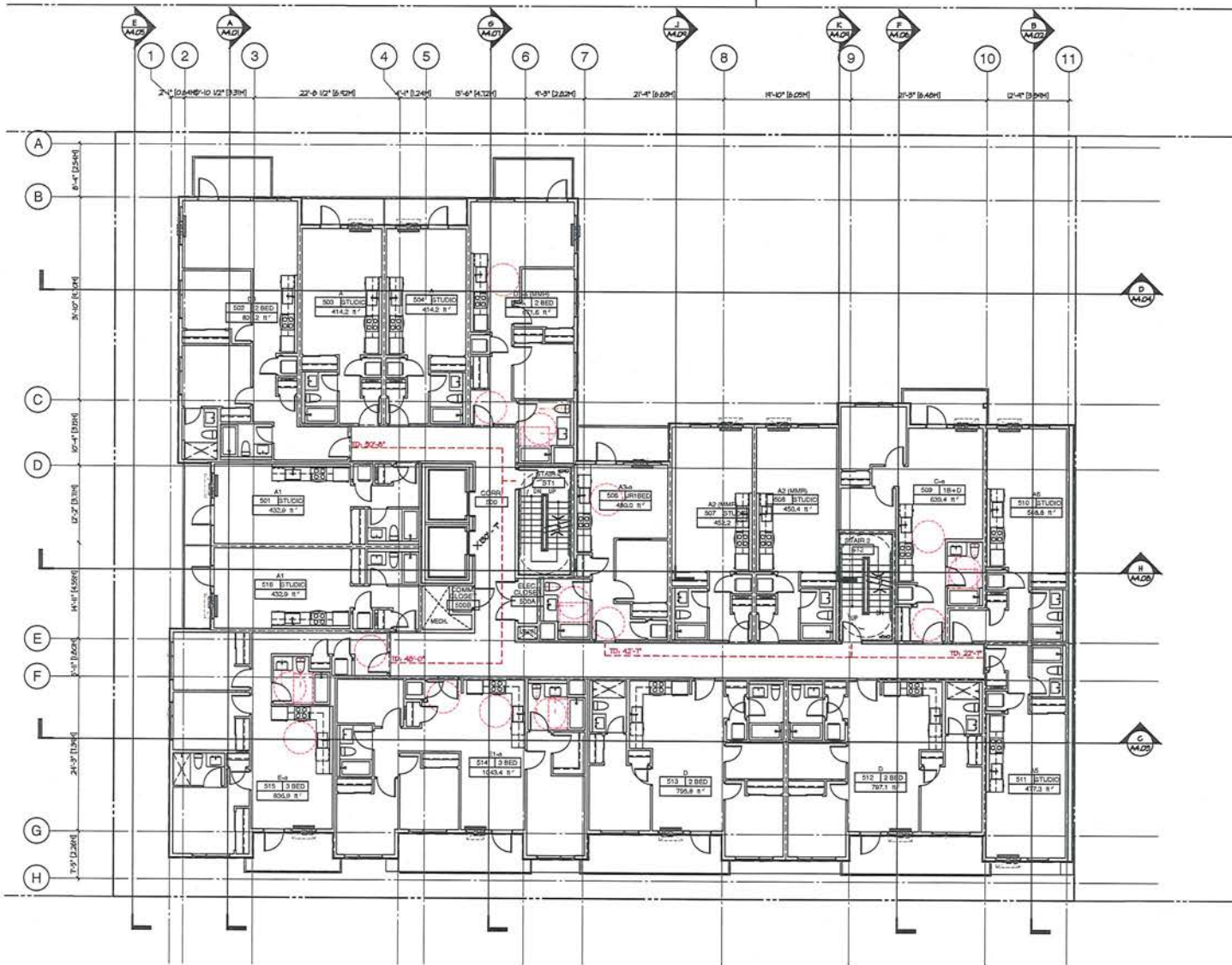
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Notwithstanding to whom these drawings are submitted, the architect shall remain responsible for the accuracy and completeness of the drawings and shall not be held responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The architect shall not be held responsible for any errors or omissions in this drawing or for any consequences arising therefrom.



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A2.06



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MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
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 CITY OF NORTH VANCOUVER, BC

FLOOR PLAN LEVEL 04

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PROJECT A221512
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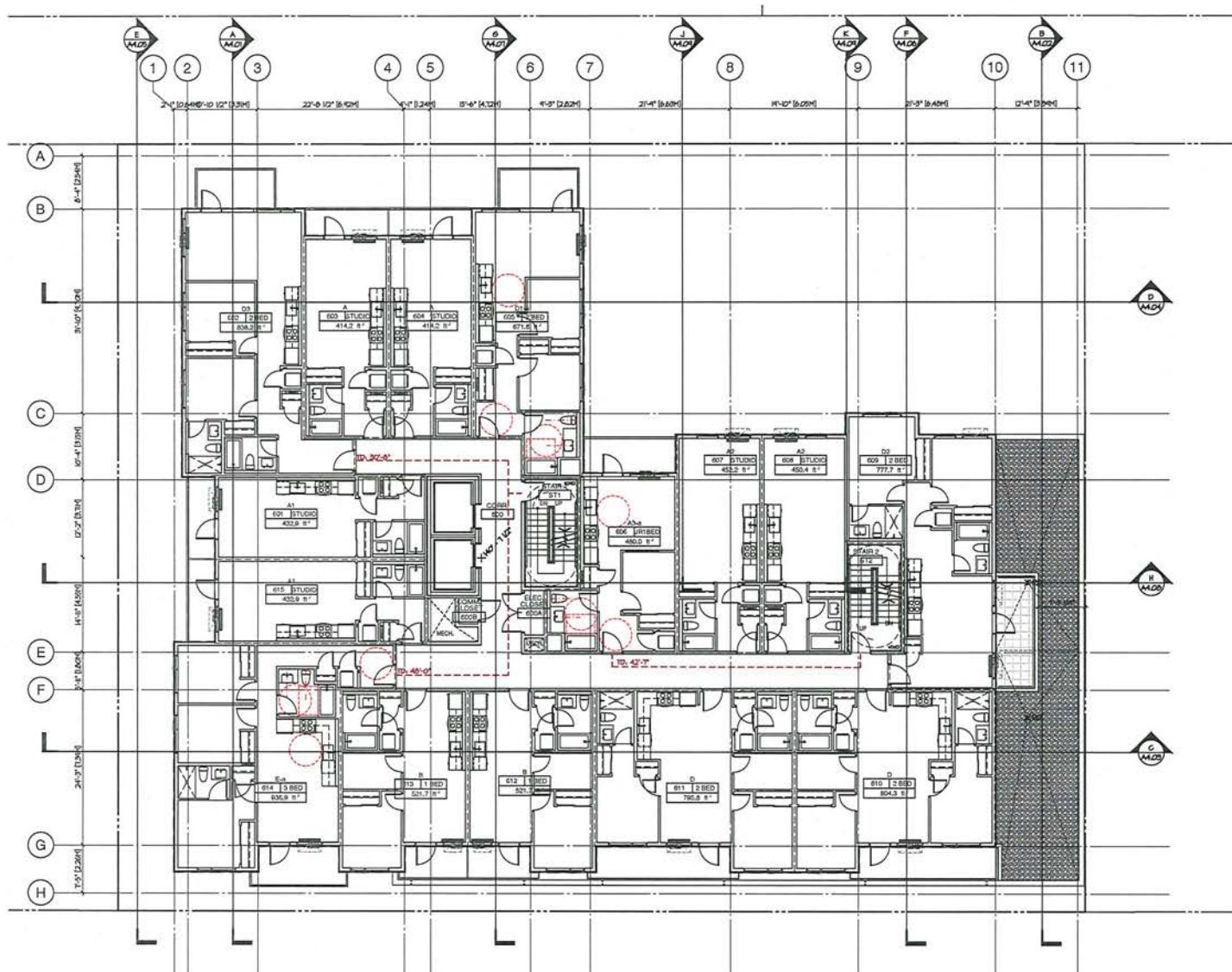
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CLIENT



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PROJECT
**MULTI-FAMILY RESIDENTIAL
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**FLOOR PLAN
 LEVEL 05**

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Unless otherwise noted, all dimensions are in millimeters. Contractors shall verify and be responsible for all dimensions and conditions on the site and the architect shall be notified of any discrepancy from the approved and accurate plans on the site. This drawing shall be completed by dys architecture the review before proceeding with construction.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A2.08



dys architecture
 250 - 1770 Burrard Street Vancouver BC V6J 3G7
 201 - 550 Johnson Street Victoria BC V8W 3C6
 tel 604 669 7710 www.dysarchitecture.com



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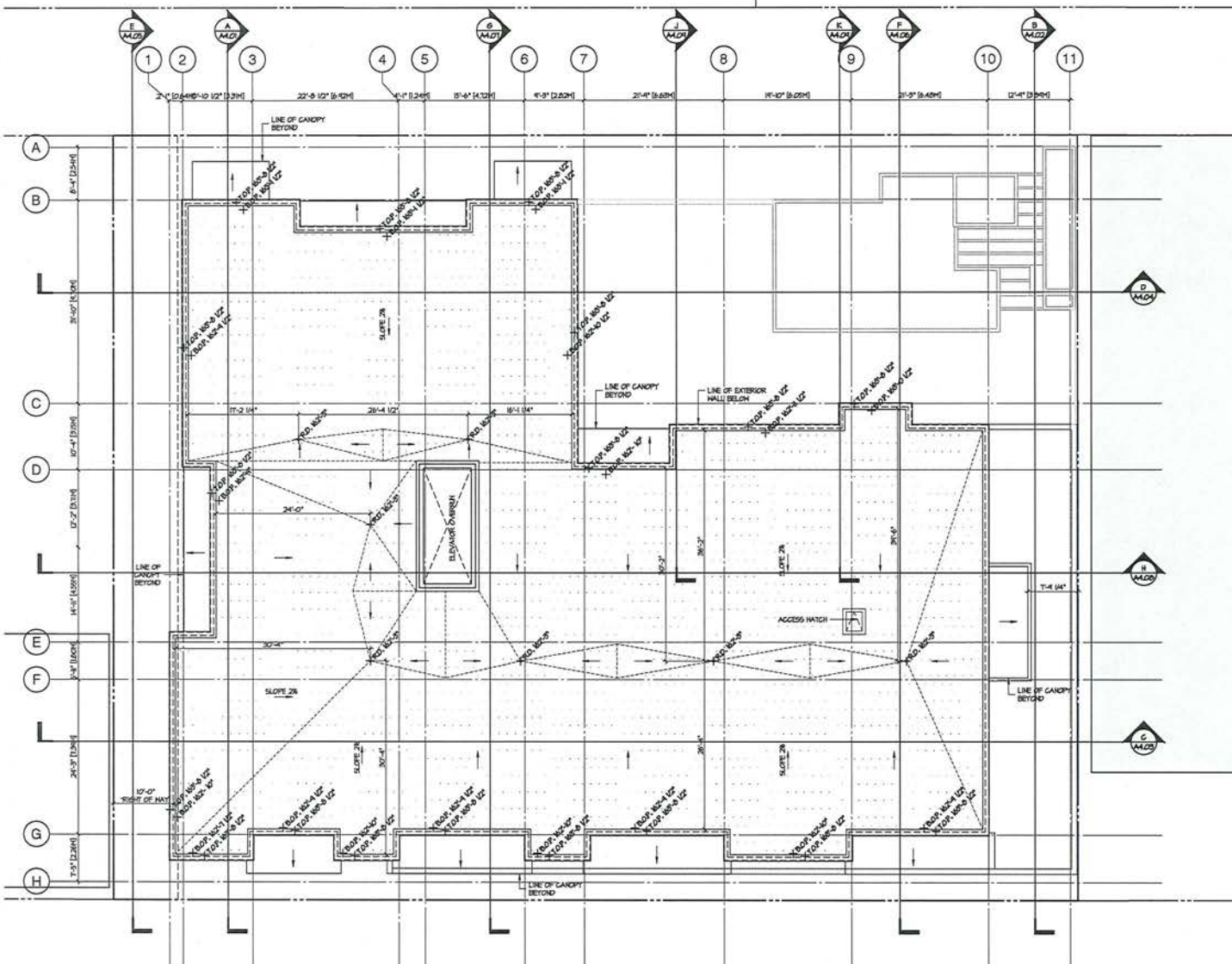
**FLOOR PLAN
 LEVEL 06**

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PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A2.09



CLIENT

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PROJECT
**MULTI-FAMILY RESIDENTIAL
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 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

ROOF PLAN

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Metric dimensions shall have precedence over imperial dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any responsibility for the dimensions of construction unless a written contract. Other drawings of construction shall be checked for consistency with this drawing. The architect shall not be responsible for errors unless proven to be the result of negligence.

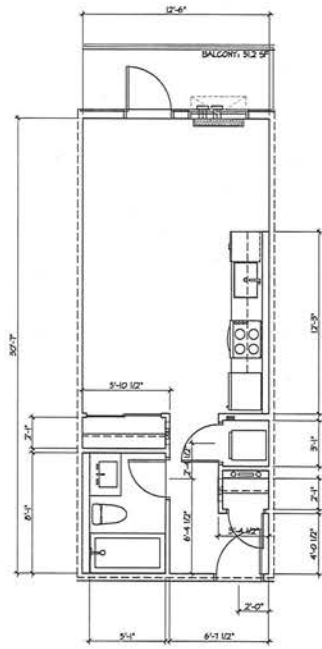
PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/8" = 1'-0"
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A2.10

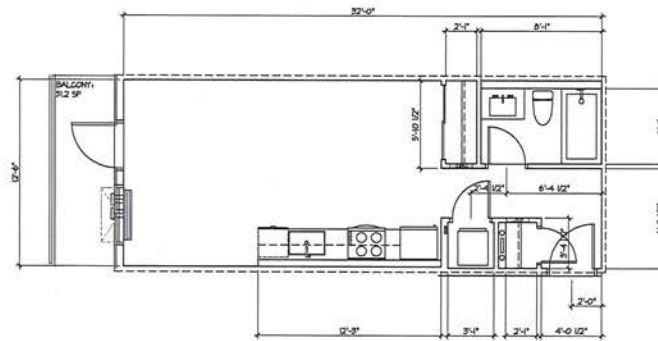


- NO. | DATE | ISSUE
- 1 2022-09-16 ISSUED FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
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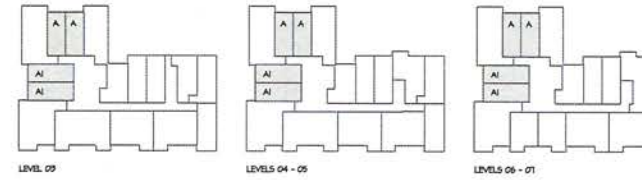
NO. | DATE | REVISION



1 A - STUDIO
 442.4 SF
 UNIT TOTAL 'D'



2 A1 - STUDIO
 432.4 SF
 UNIT TOTAL 'D'



PROJECT
**MULTI-FAMILY RESIDENTIAL
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 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

UNIT PLANS

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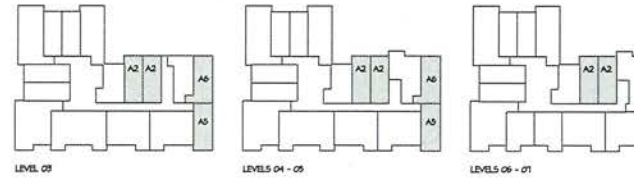
Written dimensions shall have precedence over scaled dimensions. Specifications shall apply and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any liability for the accuracy and completion thereof on the drawings. This drawing shall be submitted to the architect for review before proceeding with fabrication.

PROJECT A221512
 DRAWN TB CHECKED NC

SCALE 1/4" = 1'-0"
 DATE August 1, 2024

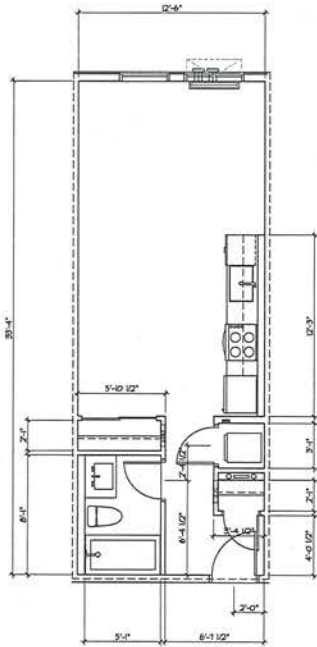
A2.11

CLIENT

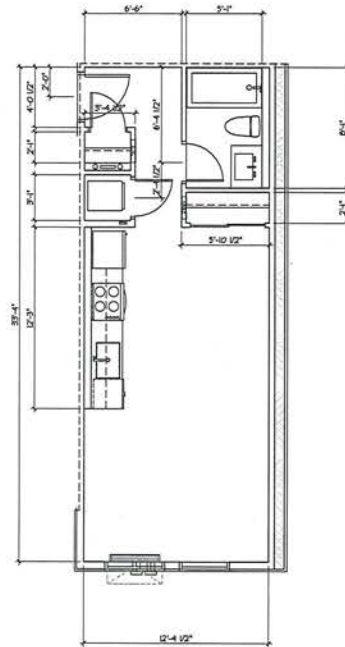


- NO. | DATE | ISSUE
- 1 | 2022-09-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

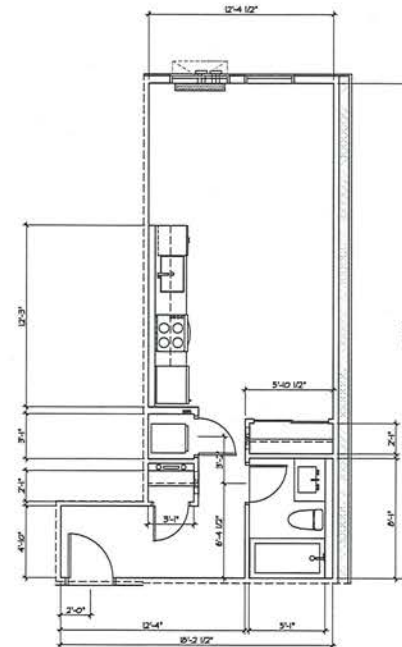
NO. | DATE | REVISION



1 A2 - STUDIO
 452.2 SF
 UNIT TOTAL: 5



2 A5 - STUDIO
 476.4 SF
 UNIT TOTAL: 5



3 A6 - STUDIO
 508.6 SF
 UNIT TOTAL: 5

PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

UNIT PLANS

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PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/4" = 1'-0"
 DATE August 1, 2024



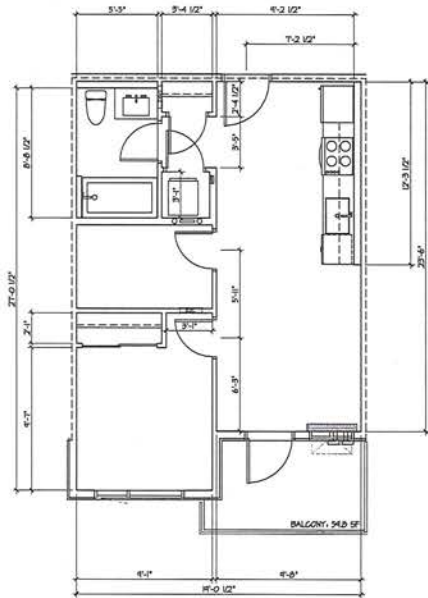
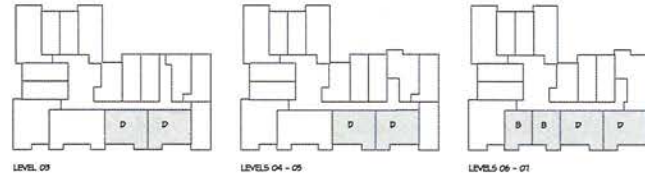
A2.12

CLIENT

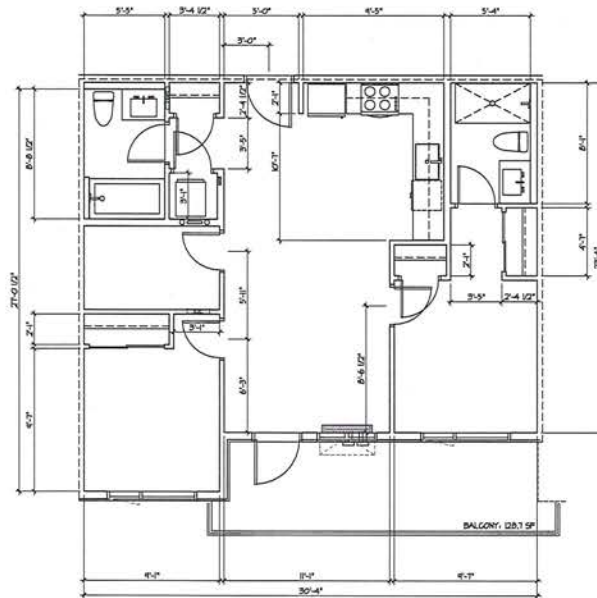


- NO. | DATE | ISSUE
- 1 2022-06-15 ISSUED FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
 - 3 2024-01-12 REISSUE FOR REZONING
 - 4 2024-12-09 REISSUE FOR REZONING & DP

NO. | DATE | REVISION



1 B - 1 BEDROOM
 521.1 SF
 UNIT TOTAL: 4



2 D - 2 BEDROOM
 780.6 - 804.8 SF
 UNIT TOTAL: 10



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

UNIT PLANS

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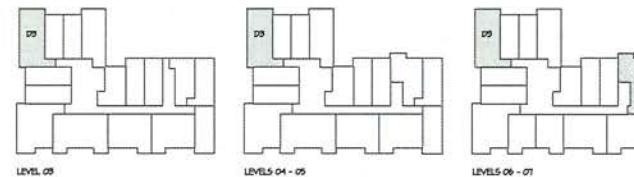
Other commentaries shall have precedence over these drawings. Corrections shall be made and be indicated on all drawings and conditions on the job and the architect shall be informed of any changes from the drawings and specifications as the drawings. These drawings shall be submitted to the applicable authorities for review, approval and generation.

PROJECT A221512
 DRAWN TB CHECKED NC

SCALE 1/4" = 1'-0"
 DATE August 1, 2024

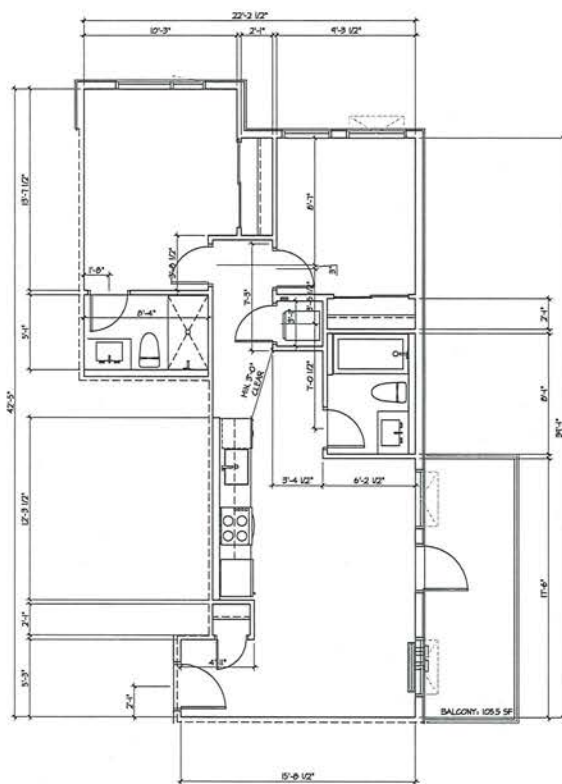
A2.13

CLIENT

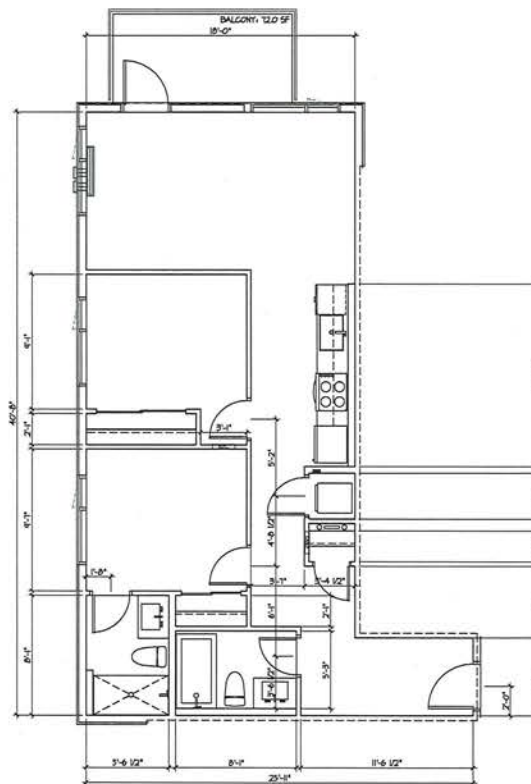


NO.	DATE	ISSUE
1	2022-08-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	REISSUE FOR REZONING
4	2024-12-09	REISSUE FOR REZONING & DP

NO.	DATE	REVISION
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1 D2 - 2 BEDROOM
 UNIT TOTAL 2



2 D3 - 2 BEDROOM
 UNIT TOTAL 3

PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 145 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

UNIT PLANS

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PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/4" = 1'-0"
 DATE August 1, 2024



A2.14

CLIENT



NO.	DATE	ISSUE
1	2022-08-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	REISSUE FOR REZONING
4	2024-12-09	REISSUE FOR REZONING & DP

NO.	DATE	REVISION
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**CITY OF NORTH VANCOUVER -
 DESIGN GUIDELINES (LEVEL TWO)**

SUITE ENTRY / CIRCULATION:

- PROVIDE 100MM (3") TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY DOORFRAM ON EACH DWELLING UNIT
- PROVIDE WIRING FOR AN AUTOMATIC DOOR
- PROVIDE 810 MM (32") CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER
- INSTALL ONE BATHROOM LINEN CLOSET AND STORAGE ROOM DOOR TO BE 660MM (2'-10") CLEAR OPENING

BATHROOM LAYOUT:

- TOILET LOCATED ADJACENT TO THE WALL (MIN 610mm (24") LENGTH)
- PROVIDE TURNING RADIUS WITHIN BATHROOM
- 115 mm CLEARANCE ALONG FULL LENGTH OF TUB
- BACKING FOR TOWEL BAR AND FUTURE GRAB BARS
- SOLID BLOORING PROVIDED IN WALLS OF TUB/SHOWER, TOILET AREA AND BEHIND TOWEL BARS

- TUB CONTROL VALVE TO BE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT AND SHOWER DIVERTED REFINISHING IN CENTRAL POSITION
- ADJUSTABLE HEIGHT SHOWER HEAD OF HANDHELD SHOWER HEAD ON ADJUSTABLE BRACKET

KITCHEN LAYOUT:

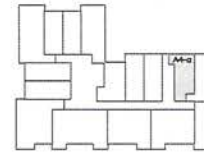
- CONTINUOUS COUNTER BETWEEN STOVE AND SINK
- PULL OUT WORK BOARDS AT 810mm (2'-4") HEIGHT

PATIO/BALCONY REQUIREMENTS:

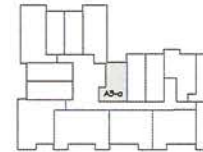
- MIN. ONE DOOR 885 mm (2'-10") CLEAR OPENING
- MIN. ONE BALCONY DOOR/SLIDING WITH MAX 13 mm (1/2") THRESHOLD
- MIN. 1020mm (32") TURNING RADIUS

WINDOWS:

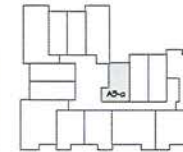
- OPENING MECHANISM MAX 1168mm (40") ABOVE FLOOR
- PROVIDE MIN 1930mm (63") HORIZONTAL WINDOWS IN LIVING ROOM, DINING ROOM AND MIN ONE BEDROOM WHERE WALLS ARE NOT MORE THAN 750mm (2'-4") ABOVE FLOOR



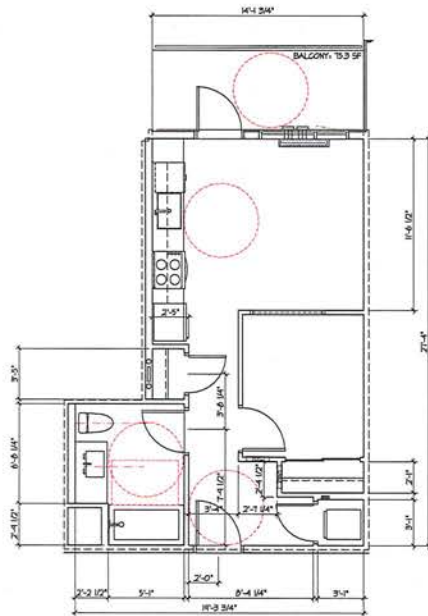
LEVEL 05



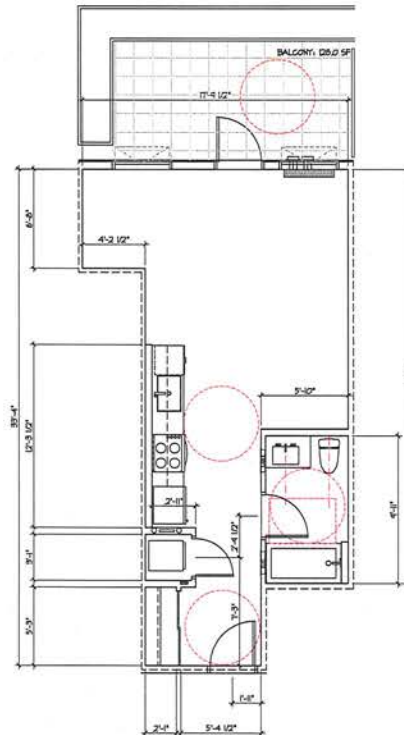
LEVELS 04 - 05



LEVELS 06 - 07



1 A3-a - STUDIO 490.0 SF UNIT TOTAL: 4



2 A4-a - STUDIO 478.4 SF UNIT TOTAL: 1

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Written comments shall have appropriate and dated annotations. Corrections shall only be made by the architect and shall be indicated on the drawing. All corrections and annotations on the drawing shall be dated and initialed by the architect. The architect shall be responsible for the accuracy of the drawing. This drawing shall be submitted to the authority having jurisdiction for review and approval.

PROJECT A221512
 DRAWN TB CHECKED NC

SCALE 1/4" = 1'-0"
 DATE August 1, 2024

A2.15



NO.	DATE	ISSUE
1	2023-08-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	ISSUE FOR REZONING
4	2024-12-09	ISSUE FOR REZONING & DP

NO.	DATE	REVISION
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**CITY OF NORTH VANCOUVER -
 DESIGN GUIDELINES (LEVEL TWO)**

SUITE ENTRY / CIRCULATION:

- PROVIDE 1200MM (Ø) TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY CORRIDOR ØØ EACH DWELLING UNIT
- PROVIDE WIRING FOR AN AUTOMATIC DOOR
- PROVIDE 610 MM (Ø) CLEAR WALL SPACE ADJACENT TO DOOR LATCHES (HERE DOUBLE SWINGS TOWARD USER)
- MINIMUM ONE BATHROOM (MIN ONE BEDROOM) AND STORAGE ROOM DOOR TO BE 800MM (2'-10") CLEAR OPENING

BATHROOM LAYOUT:

- TOILET LOCATED ADJACENT TO THE WALL (MIN 615mm (Ø) LENGTH)
- PROVIDE TURNING RADIUS WITHIN BATHROOM
- 915 mm CLEARANCE ALONG FULL LENGTH OF TUB
- BACKING FOR TOWEL BARS AND FUTURE GRAB BARS
- SOLID BLOCKING PROVIDED IN WALLS OF TUB/SHOWER, TOILET AREAS AND BEHIND TOWEL BARS

- TUB CONTROL VALVE TO BE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT AND SHOWER DIVERTER REMAINING IN CENTRAL POSITION
- ADJUSTABLE HEIGHT SHOWER HEAD OF HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET

KITCHEN LAYOUT:

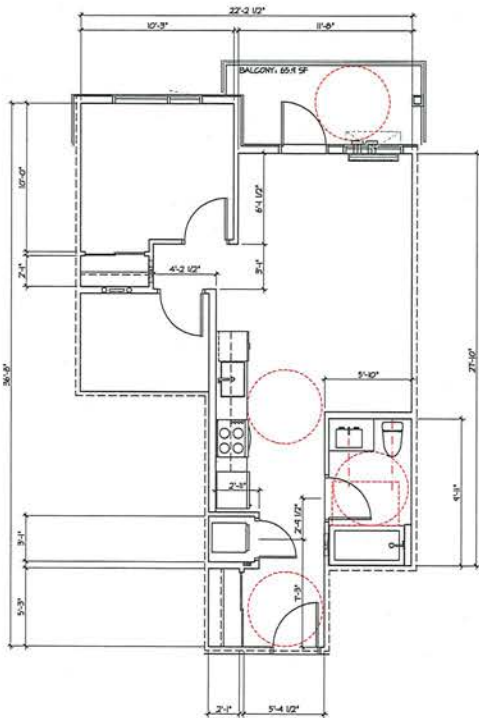
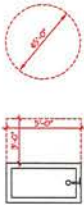
- CONTINUOUS COUNTER BETWEEN STOVE AND SINK
- PULL OUT WORK BOARDS AT 810mm (2'-4") HEIGHT

PATIO/BALCONY REQUIREMENTS:

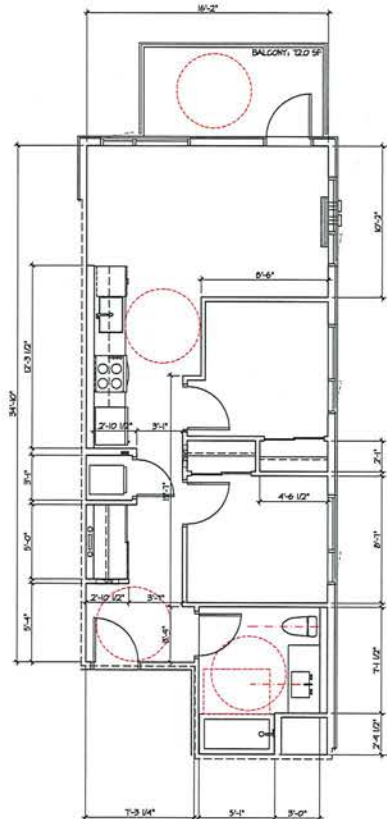
- MIN. ONE DOOR 800 mm (2'-10") CLEAR OPENING.
- MIN. ONE BALCONY DOOR/SLID WITH MAX 13 mm (1/2") THRESHOLD.
- MIN. 1200mm (Ø) TURNING RADIUS

WINDOWS:

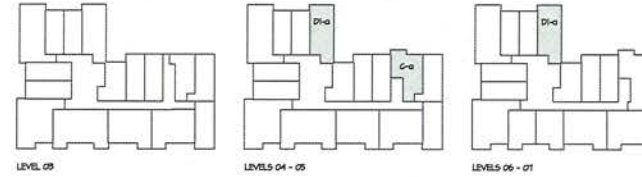
- OPENING MECHANISM MAX 1160mm (4') ABOVE FLOOR
- PROVIDE 915mm (Ø) HORIZONTAL WINDOWS IN DINING ROOM, DINING ROOM AND MIN ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 750mm (2'-6") ABOVE FLOOR



① C-a - 1 BEDROOM + DEN 636.4 SF
 UNIT TOTAL: 2



② D1-a - 2 BEDROOM 611.6 SF
 UNIT TOTAL: 4



PROJECT
 MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

UNIT PLANS

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PROJECT A221512
 DRAWN TB CHECKED NC
 DATE August 1, 2024

A2.16

CLIENT



NO. DATE ISSUE
1 2022-08-15 ISSUED FOR REZONING
2 2023-10-03 PRE-CONSULTATION APPLICATION
3 2024-01-12 REISSUE FOR REZONING
4 2024-12-09 REISSUE FOR REZONING & DP

NO. DATE REVISION

**CITY OF NORTH VANCOUVER -
DESIGN GUIDELINES (LEVEL TWO)**

SUITE ENTRY / CIRCULATION:

- PROVIDE 1825MM (5') TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY CORRIDOR ON EACH DWELLING UNIT
- PROVIDE WIRING FOR AN AUTOMATIC DOOR
- PROVIDE 810 MM (2') CLEAR WALLSPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER
- MINIMUM ONE BATHROOM, MIN ONE BEDROOM AND STORAGE ROOM DOOR TO BE 620MM (2'-0") CLEAR OPENING

BATHROOM LAYOUT:

- TOILET LOCATED ADJACENT TO THE WALL (800x915mm (2') LENGTH)
- PROVIDE TURNING RADIUS WITHIN BATHROOM
- 915 mm CLEARANCE ALONG FULL LENGTH OF TUB
- BACKING FOR TOWEL BAR AND FUTURE GRAB BAR
- SOLID BACKING PROVIDED IN WALLS OF TUB SHOWER, TOILET AREAS AND BEHIND TOWEL BARS

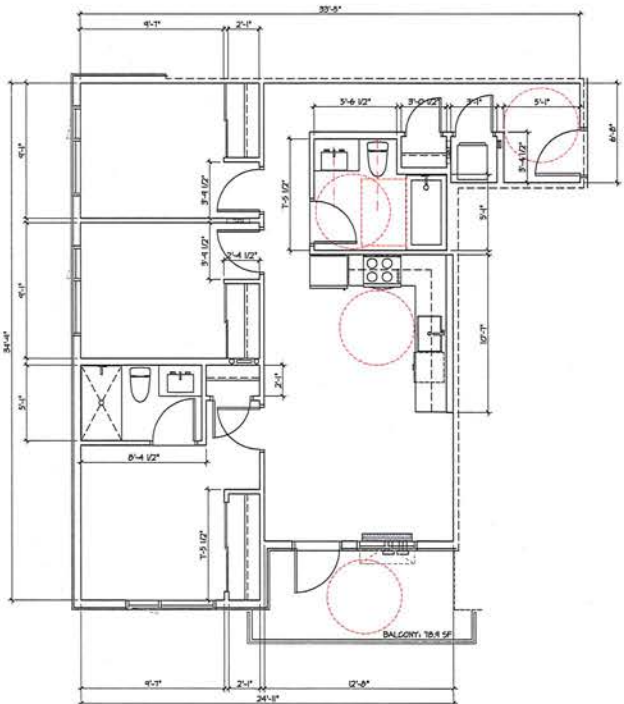
- TUB CONTROL VALVE TO BE PLACED AT OUTER EDGE OF TUB WITH TUB SPILT AND SHOWER DIVERTED REMAINING IN CENTRAL POSITION
- ADJUSTABLE HEIGHT SHOWER HEAD OF HANDHELD SHOWER HEAD ON ADJUSTABLE BRACKET

KITCHEN LAYOUT:

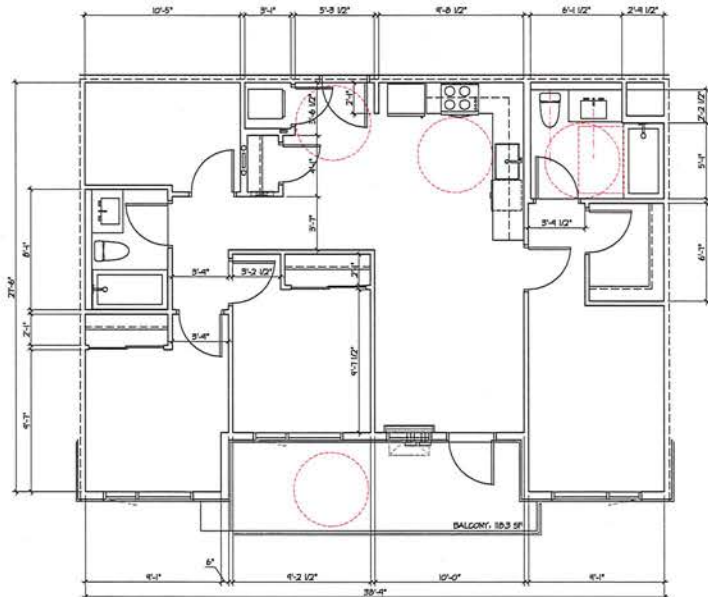
- CONTINUOUS COUNTER BETWEEN STOVE AND SINK
- PULL OUT WORK BOARDS AT 810mm (2'-4") HEIGHT

PATIO/BALCONY REQUIREMENTS:

- MIN. ONE DOOR 840 mm (2'-0") CLEAR OPENING
- MIN. ONE BALCONY DOOR/ROLL WITH MAX 13 mm (1/2") THRESHOLD
- MIN. 1520mm (5') TURNING RADIUS
- OPENING MECHANISM MAX 1120mm (4') ABOVE FLOOR
- PROVIDE MIN 1800mm (6') HORIZONTAL WINDOWS IN LIVING ROOM DINING ROOM AND MIN ONE BEDROOM WHERE WALLS ARE NOT MORE THAN 720mm (2'-4") ABOVE FLOOR



1 E-a - 3-BEDROOM 436.4 SF UNIT TOTAL: 5



2 E1-a - 3-BEDROOM 443.4 SF UNIT TOTAL: 5

PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
145 EAST 2ND STREET
CITY OF NORTH VANCOUVER, BC

UNIT PLANS

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PROJECT A221512
DRAWN TB CHECKED NC
SCALE 1/4" = 1'-0"
DATE August 1, 2024



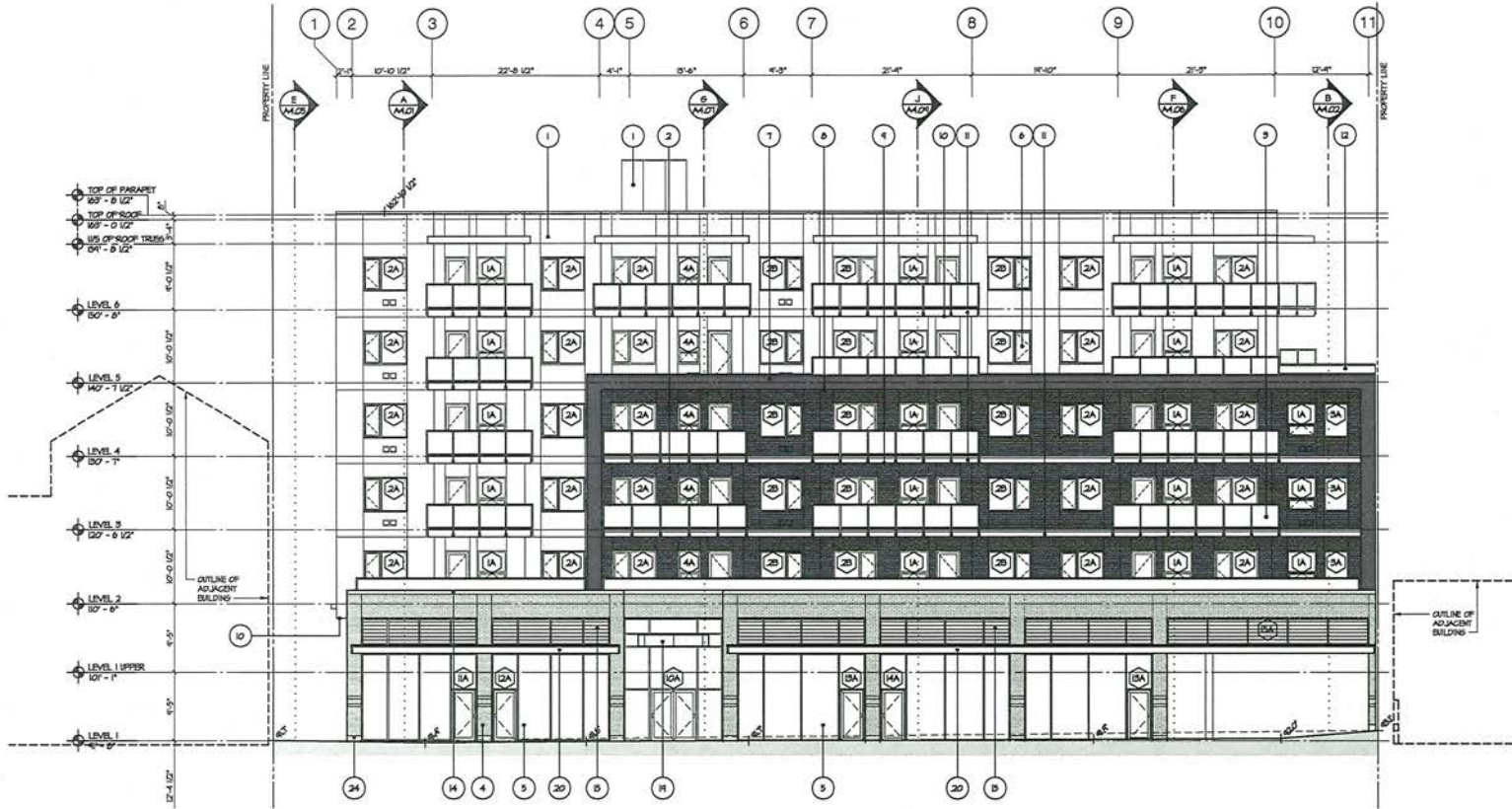
A2.17

CLIENT



- NO. | DATE | ISSUE
- 1 2022-08-15 ISSUE FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
 - 3 2024-01-12 ISSUE FOR REZONING
 - 4 2024-12-09 ISSUE FOR REZONING & DP

NO. | DATE | REVISION



MATERIAL LEGEND			
1 FIBRE CEMENT PANEL - HARDIE PANEL N/ PAINTABLE REVEAL TRIM (SMOOTH, STAINLESS WHITE)	8 PRE-FINISHED PERFORATED METAL SOFFIT (CHARCOAL)	16 PRE-FINISHED ALUMINUM CERTAIN HALL SYSTEM G/N ALUMINUM HIGHWALL LEANER - IRON GREY	22
2 CERAMIC-COATED PANEL (CERACLAD - B REVEAL TEXTURE, CHARCOAL)	9 PRE-FINISHED PERFORATED METAL SOFFIT (DOOD GRAY)	17 FIBRE CEMENT PANEL - HARDIE PANEL N/ PAINTABLE REVEAL TRIM (SMOOTH, GREY)	23
3 PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME G/N WHITE PRINTED TEMPERED GLASS	10 PRE-FINISHED PERFORATED METAL SOFFIT (WHITE)	18 CEMENTITIOUS FASCIA BOARD (WHITE)	24 CONCRETE BASE (CLEAR SEALER)
4 BRICK VENEER (FACE BRICK - MISSION TEXTURE, xx COLOUR) STANDARD SIZE, 1/2 RAINING BOND	11	19 PAINTED CONCRETE (GREY)	25
5 PRE-FINISHED ALUMINUM CERTAIN HALL SYSTEM - IRON GREY (E-GN CLEAR LOW-E DOUBLE GLAZING)	12 FIBRE CEMENT PANEL - HARDIE PANEL N/ PAINTABLE REVEAL TRIM (SMOOTH, CHARCOAL)	20 STEEL # GLASS CANOPY (CHARCOAL)	26
6 PANEL HIDDEN - SILVER (E-GN CLEAR LOW-E DOUBLE GLAZING)	13 PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME G/N CLEAR TEMPERED GLASS ??	21 PRE-FINISHED ALUMINUM MECHANICAL SCREEN (WHITE)	27 6" HIGH PRIVACY SCREEN (LAMINATED, WHITE TRANSLUCENT GLASS PANEL, MTH IRON GREY FRAME GOLDEN)
7 PRE-FINISHED COMPOSITE ALUMINUM PANEL (CHARCOAL)	14 PRE-CAST CONCRETE CAPSTONE (LIGHT GREY)	28	29

- GENERAL NOTES
1. ALL REVEALS TO BE COLOUR MATCHED TO ADJACENT DOMINANT PANEL COLOUR.
 2. PANEL SCREWS TO BE PAINTED TO MATCH PANEL COLOUR.
 3. VENT GRILLES TO BE COLOUR MATCHED WITH PANEL / MATERIAL COLOUR.

PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
145 EAST 2ND STREET
CITY OF NORTH VANCOUVER, BC

BUILDING ELEVATION SOUTH

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Unless otherwise noted, all dimensions are in metric units. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be notified of any corrections. No alterations shall be made to this drawing without the written consent of dys architecture for review before proceeding with construction.

PROJECT A221512
DRAWN TB CHECKED NC
SCALE 1/8" = 1'-0"
DATE August 1, 2024

A3.01

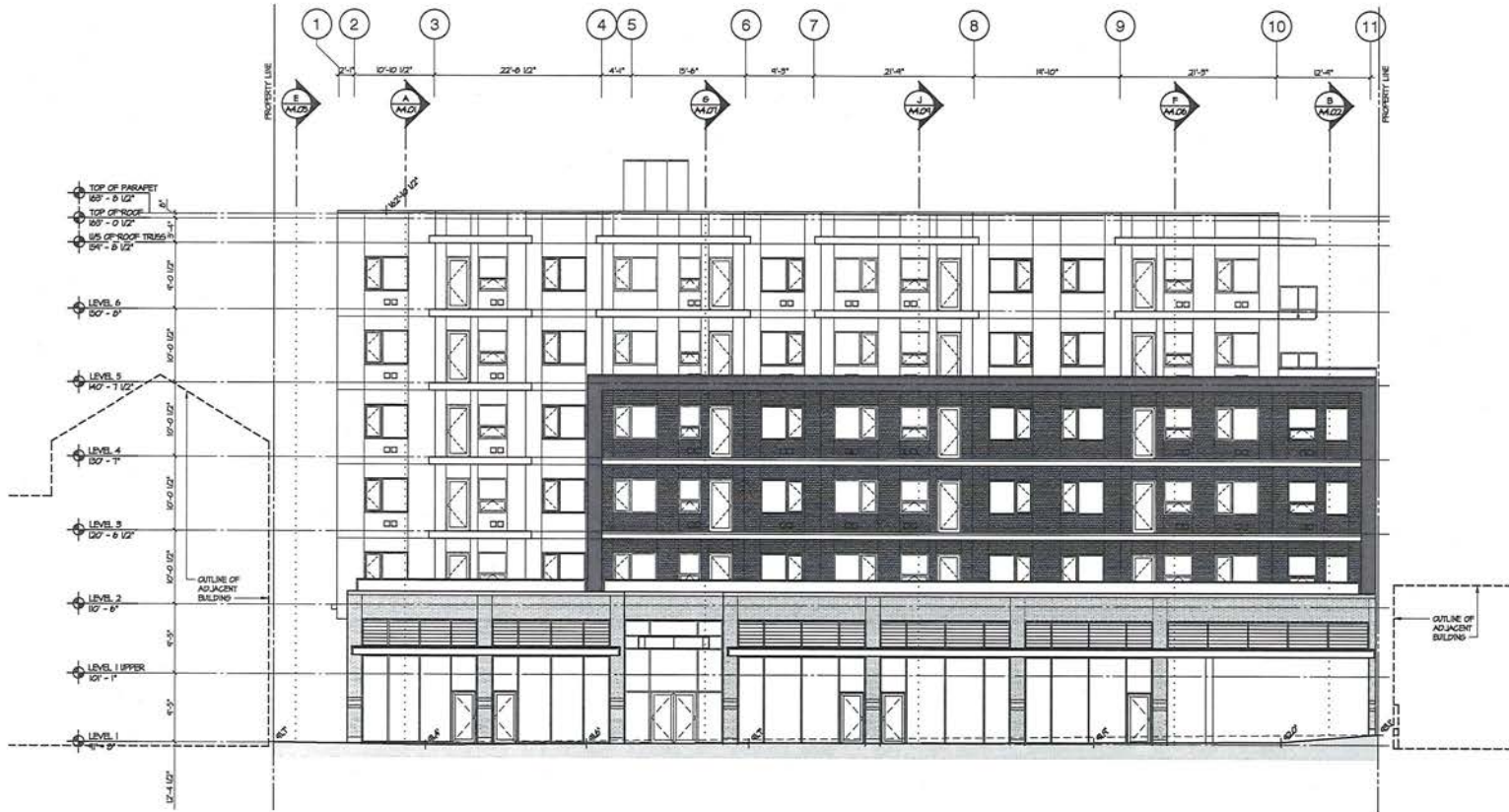
CLIENT



NO. | DATE | ISSUE

- 1 | 2022-05-15 | ISSUE FOR REZONING
- 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
- 3 | 2024-01-12 | ISSUE FOR REZONING
- 4 | 2024-12-09 | ISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT

**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 145 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**BUILDING ELEVATION
 SOUTH
 REFLECTED WINDOWS**

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 practice of the architectural profession and may not be
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 in any form or by any means, electronic, mechanical,
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 and retrieval system, without the prior written
 permission of the architect. The architect shall be
 responsible for all dimensions and quantities on the
 drawings and shall be liable for any errors or
 omissions. This drawing is to be used for the
 purpose of construction and shall not be used for
 any other purpose. This drawing is to be used for
 the purpose of construction and shall not be used
 for any other purpose.

PROJECT A221512

DRAWN TB CHECKED NC

SCALE 1/8" = 1'-0"

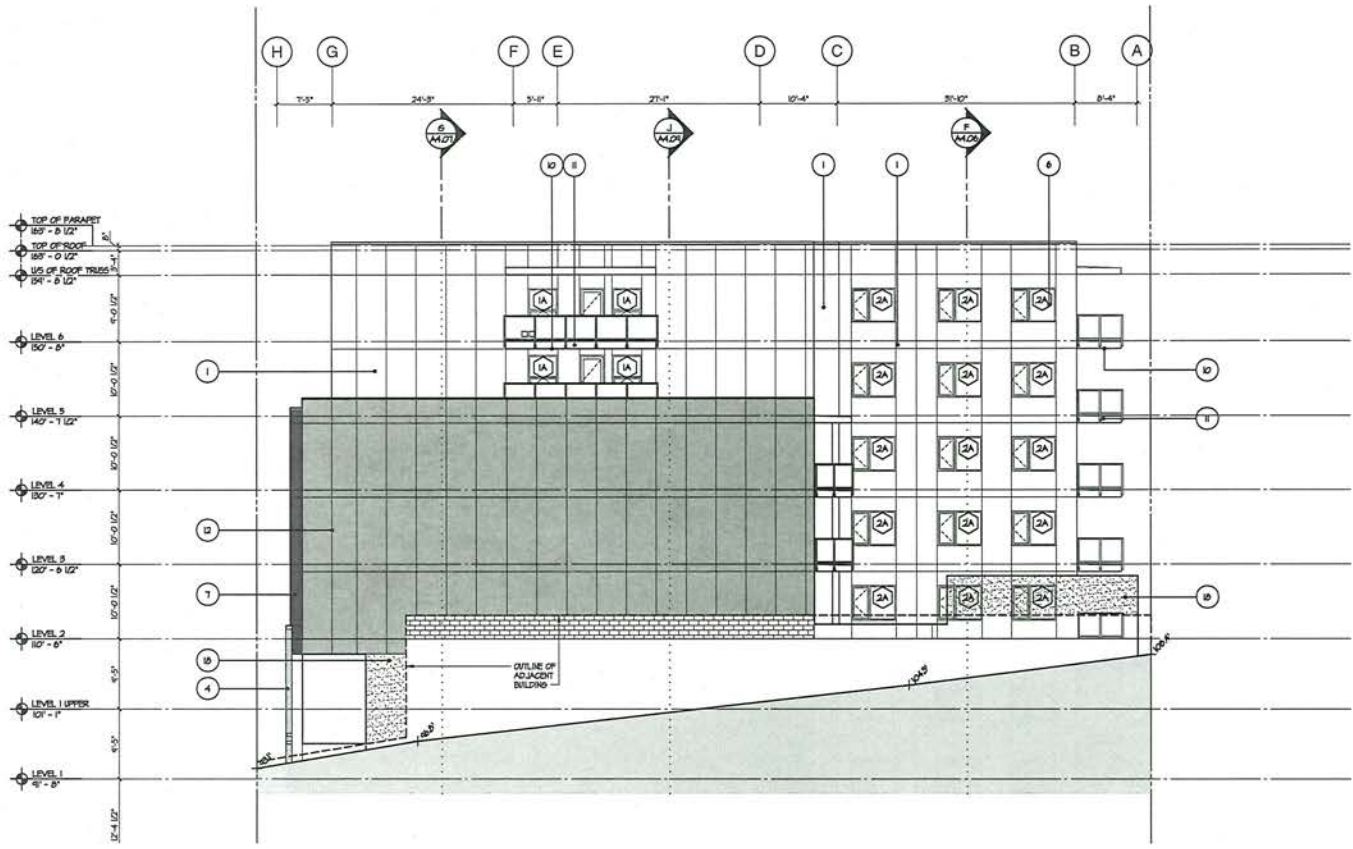
DATE August 1, 2024

A3.01a



- NO. | DATE | ISSUE
- 1 | 2022-08-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



MATERIAL LEGEND			
1 FIBRE CEMENT PANEL - HARDIE PANEL w/ PAINTABLE REVEAL TRIM (SMOOTH STANDARD WHITE)	8 PRE-FINISHED PERFORATED METAL SOFFIT (CHARCOAL)	16 PRE-FINISHED ALUMINUM CERTAIN WALL SYSTEM w/ ALUMINUM MECHANICAL LOUVER - IRON GREY	22 CONCRETE BASE (CLEAR SEALER)
2 CERAMIC-GLOTTED PANEL (SERRAVALLO - B REVEAL TEXTURE (CHARCOAL))	9 PRE-FINISHED PERFORATED METAL SOFFIT (DOOD ORANGE)	17 FIBRE CEMENT PANEL - HARDIE PANEL w/ PAINTABLE REVEAL TRIM (SMOOTH GREY)	23
3 PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME w/ CH WHITE PRISTINE TINTED GLASS	10 PRE-FINISHED PERFORATED METAL SOFFIT (WHITE)	18 CEMENTITIOUS FASCIA BOARD (WHITE)	24
4 BRICK VENEER (FACE BRICK - HOSSON TEXTURE, BK COLOUR) STANDARD SIZE, 1/2 RAINING SOND	11 PRE-FINISHED PERFORATED METAL SOFFIT (WHITE)	19 CEMENTITIOUS FASCIA BOARD (WHITE)	25 PAINTED CONCRETE (GREY)
5 PRE-FINISHED ALUMINUM CERTAIN WALL SYSTEM - IRON GREY w/ CLEAR LOW-E DOUBLE GLAZING	12 FIBRE CEMENT PANEL - HARDIE PANEL w/ PAINTABLE REVEAL TRIM (SMOOTH CHARCOAL)	20 STEEL CANOPY w/ PRE-FINISHED COMPOSITE ALUMINUM PANEL (WHITE)	26
6 VINYL WINDOW - SILVER (w/ CLEAR LOW-E DOUBLE GLAZING)	13 PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME w/ CLEAR TINTED GLASS ??	21 PRE-FINISHED ALUMINUM MECHANICAL SCREEN (WHITE)	27 6' HIGH PRIVACY SCREEN (LAMINATED, WHITE TRANSLUCENT GLASS PANEL WITH IRON GREY FRAME COLOUR)
7 PRE-FINISHED COMPOSITE ALUMINUM PANEL (CHARCOAL)	14 PRE-CAST CONCRETE CAPSTONE (LIGHT GREY)	28	

- GENERAL NOTES**
1. ALL REVEALS TO BE COLOUR MATCHED TO ADJACENT DOMINANT PANEL COLOUR.
 2. PANEL SCREENS TO BE PAINTED TO MATCH PANEL COLOUR.
 3. VENT GRILLES TO BE COLOUR MATCHED WITH PANEL / MATERIAL COLOUR.

PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

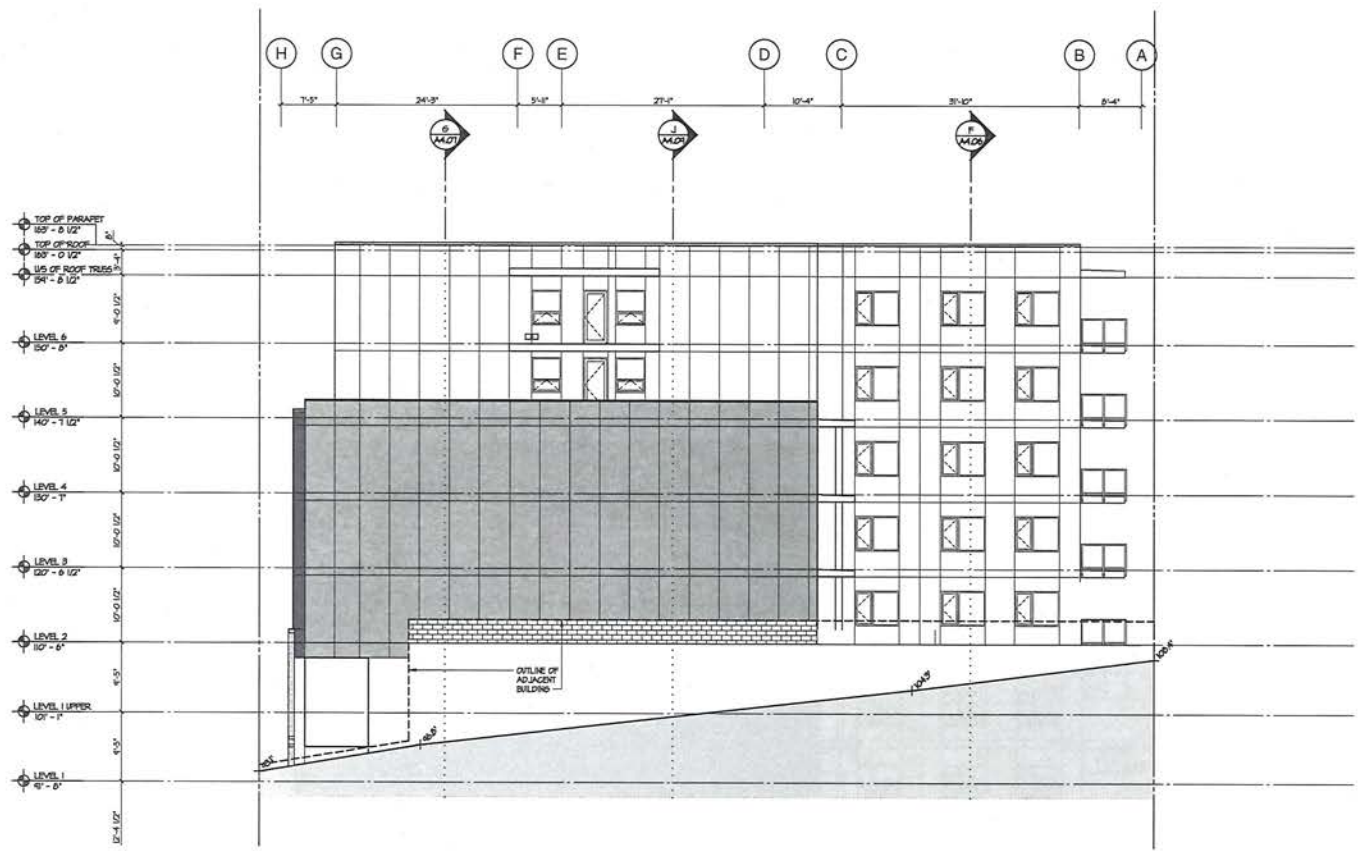
BUILDING ELEVATION EAST

This drawing, as an instrument of service, is the property of dys architecture and shall be kept confidential without the permission and approval of dys architecture unless otherwise stated. All design and construction items on this drawing are to be used as a guide only and shall not be used without the written permission of dys architecture. Portions of all such work to the architect up to the date of issue of this drawing is a contract provided by dys architecture.

Unless otherwise stated, all dimensions are in millimeters. Contractors shall verify and be responsible for all dimensions and conditions of the job and the architect shall be notified of any variations from the information and quantities shown on the drawing. This drawing shall be subject to any modification for review before proceeding with construction.

PROJECT A221512
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 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

A3.02



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- NO. | DATE | ISSUE
- 1 2022-09-15 ISSUED FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
 - 3 2024-01-12 REISSUE FOR REZONING
 - 4 2024-12-09 REISSUE FOR REZONING & DP

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PROJECT

**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**BUILDING ELEVATION
 EAST
 REFLECTED WINDOWS**

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PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

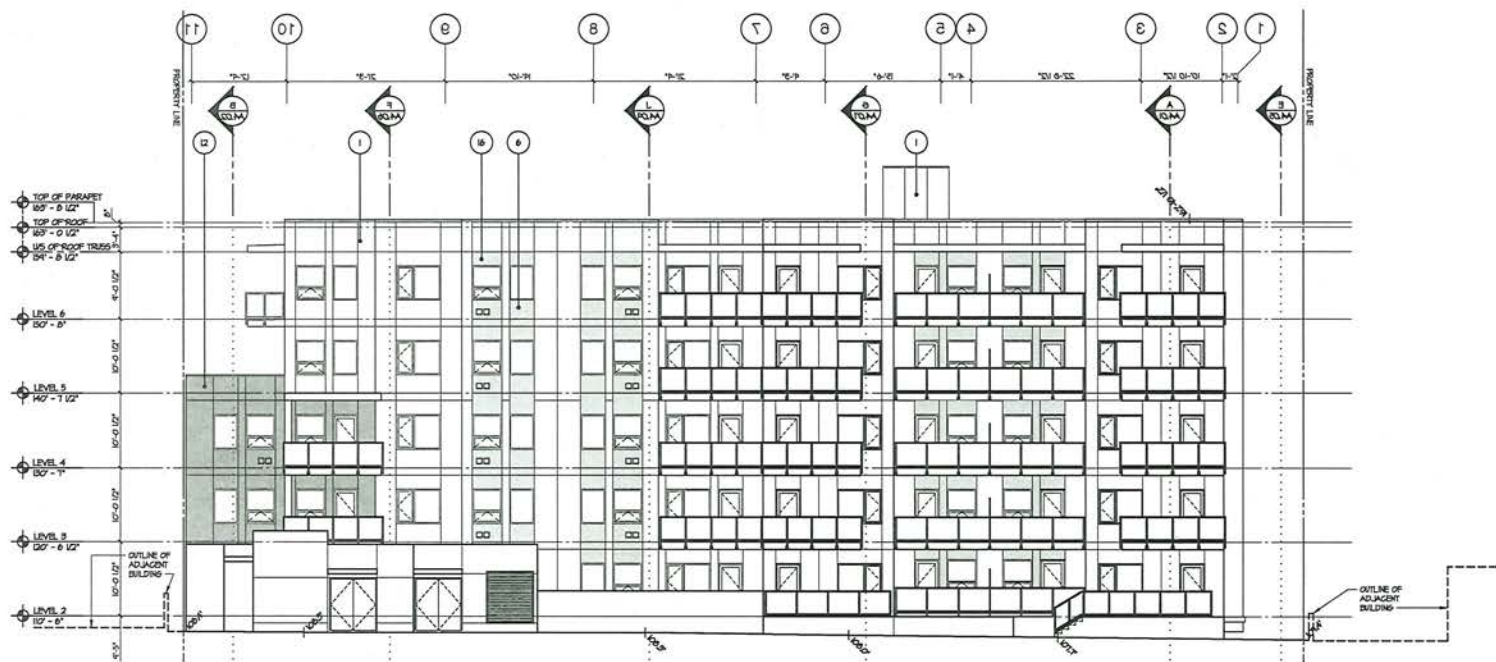
A3.02a

CLIENT



NO.	DATE	ISSUE
1	2022-08-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	REISSUE FOR REZONING
4	2024-12-09	REISSUE FOR REZONING & DP

NO.	DATE	REVISION
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MATERIAL LEGEND			
1	FIBRE CEMENT PANEL - HARDIE PANEL W/ PAINTABLE REVEAL TRIM (SMOOTH STANDARD WHITE)	8	PRE-FINISHED PERFORATED METAL SOFFIT (CHARCOAL)
2	CORNING-COATED PANEL (CORAGLAD - B REVEAL TEXTURE (CHARCOAL))	9	PRE-FINISHED PERFORATED METAL SOFFIT (DARK BROWN)
3	PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME W/ WHITE PRINTED TEMPLATED GLASS	10	PRE-FINISHED PERFORATED METAL SOFFIT (WHITE)
4	BRICK VENEER (FACE BRICK - MISSION TEXTURE (A3 COLOUR)) STANDARD SIZE 1/2 RIBBING BOND	11	CEMENTITIOUS FASCIA BOARD (WHITE)
5	PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM - IRON GREY (SMOOTH, CHARCOAL)	12	FIBRE CEMENT PANEL - HARDIE PANEL W/ PAINTABLE REVEAL TRIM (SMOOTH, CHARCOAL)
6	VENT. GRILLE - SILVER (SM CLEAR LOW-E DOUBLE GLAZING)	13	PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME W/ CLEAR TEMPLATED GLASS (7)
7	PRE-FINISHED COMPOSITE ALUMINUM PANEL (CHARCOAL)	14	PRE-CAST CONCRETE CAPSTONE (LIGHT GREY)
		15	PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM W/ ALUMINUM MESH SYSTEM (IRON GREY)
		16	FIBRE CEMENT PANEL - HARDIE PANEL W/ PAINTABLE REVEAL TRIM (SMOOTH, GREY)
		17	PAINTED CONCRETE (GREY)
		18	STEEL CANOPY W/ PRE-FINISHED COMPOSITE ALUMINUM PANEL (WHITE)
		19	STEEL & GLASS CANOPY (CHARCOAL)
		20	PRE-FINISHED ALUMINUM MESHINGAL SCREEN (WHITE)
		21	PRE-FINISHED ALUMINUM MESHINGAL SCREEN (WHITE)
		22	CONCRETE BASE (CLEAR SEALER)
		23	CONCRETE BASE (CLEAR SEALER)
		24	CONCRETE BASE (CLEAR SEALER)
		25	CONCRETE BASE (CLEAR SEALER)
		26	CONCRETE BASE (CLEAR SEALER)
		27	6" HIGH PRIVACY SCREEN (LAMINATED, WHITE TRANSLUCENT GLASS PANEL WITH IRON GREY FRAME COLOUR)
		28	CONCRETE BASE (CLEAR SEALER)

GENERAL NOTES

- ALL REVEALS TO BE COLOUR MATCHED TO ADJACENT DOMINANT PANEL COLOUR.
- PANEL SOWDS TO BE PAINTED TO MATCH PANEL COLOUR.
- VENT GRILLES TO BE COLOUR MATCHED WITH PANEL / MATERIAL COLOUR.

PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
145 EAST 2ND STREET
CITY OF NORTH VANCOUVER, BC

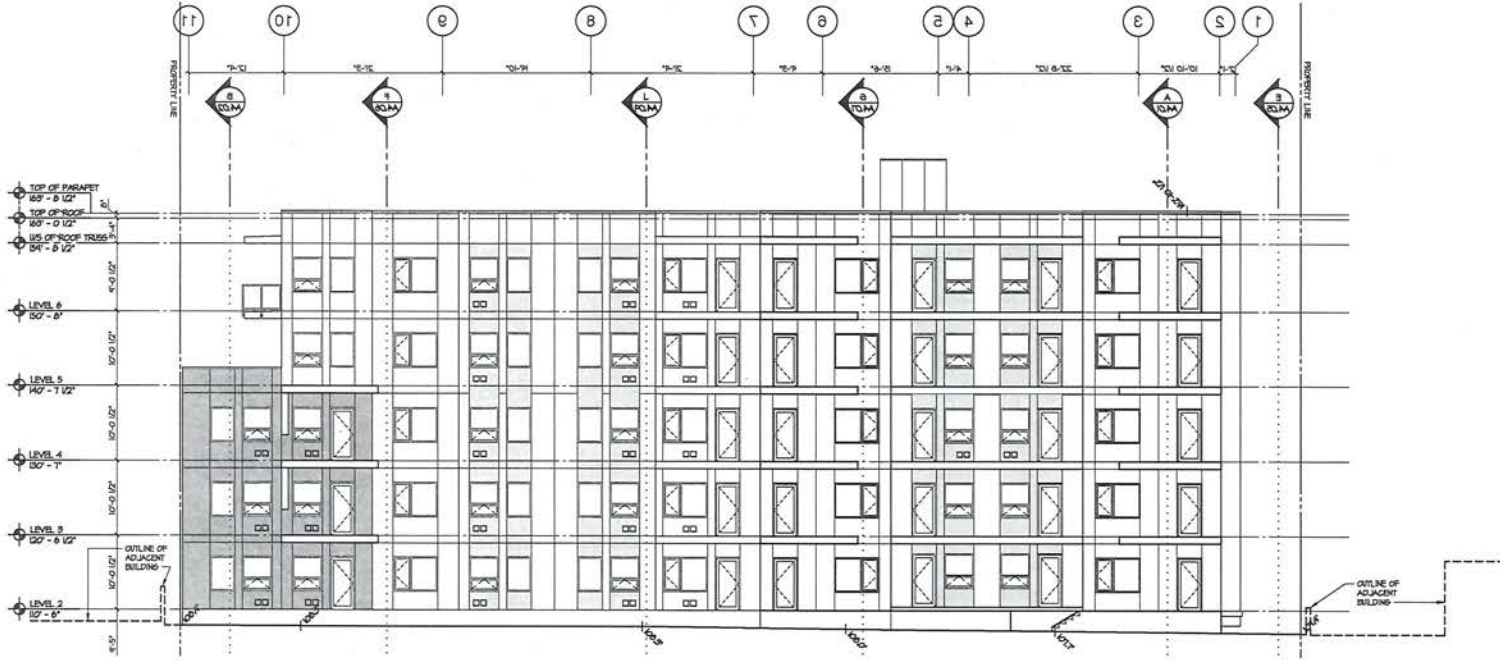
BUILDING ELEVATION NORTH

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PROJECT A221512
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SCALE 1/8" = 1'-0"
DATE August 1, 2024



A3.03



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- 1 [2022-08-15]ISSUED FOR REZONING
 - 2 [2023-10-03]PRE-CONSULTATION APPLICATION
 - 3 [2024-01-12]RESUBMIT FOR REZONING
 - 4 [2024-12-09]RESUBMIT FOR REZONING & DP

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PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**BUILDING ELEVATION
 NORTH
 REFLECTED WINDOWS**

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Written consent shall have precedence over verbal instructions. Contractors shall verify with the architect for all construction and installation of the building and any alterations shall be shown on the drawings. This drawing shall be submitted to the architect for review before proceeding with fabrication.

PROJECT A221512
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 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

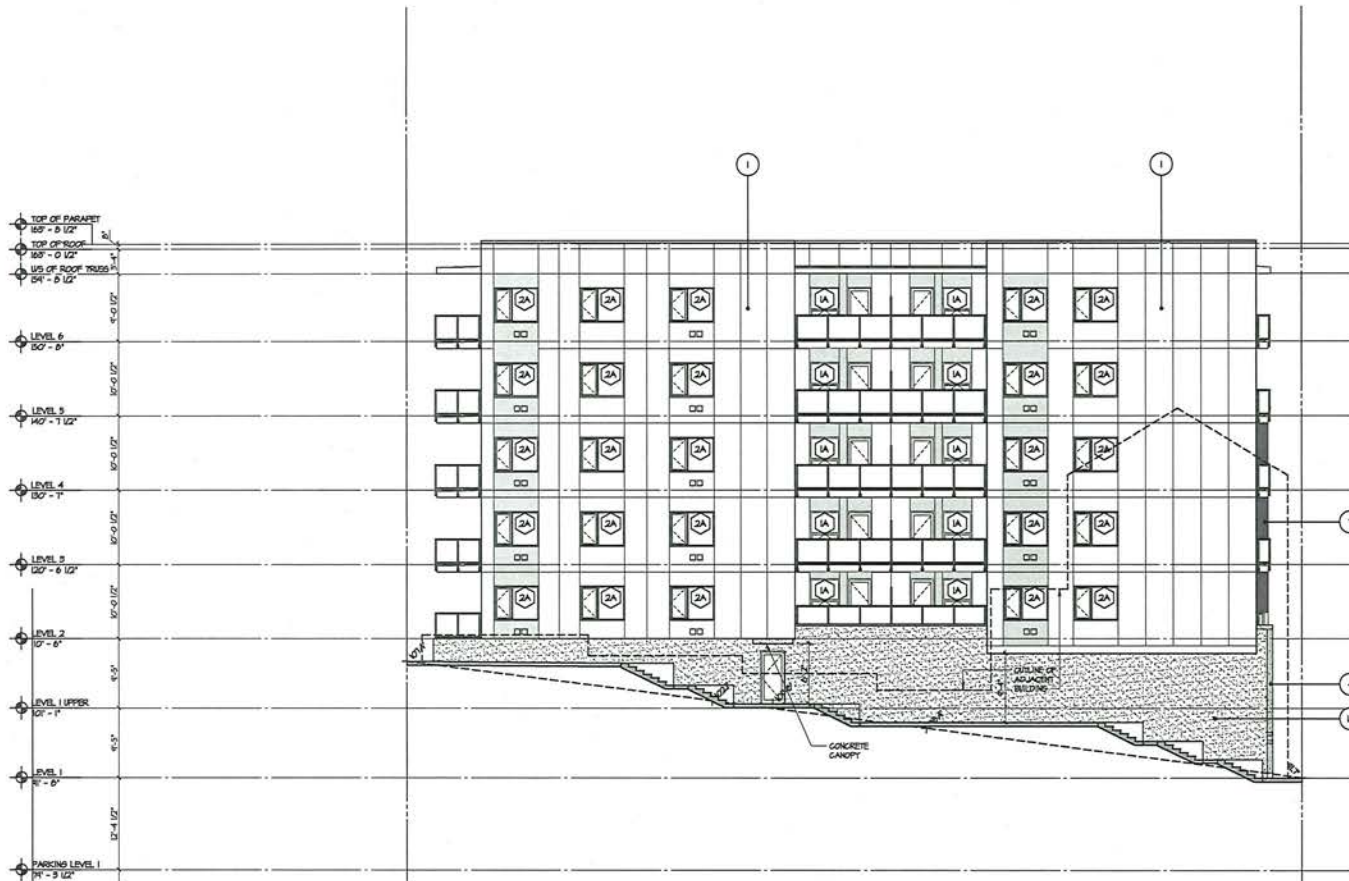
A3.03a

CLIENT



NO.	DATE	ISSUE
1	2022-08-15	ISSUE FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	REISSUE FOR REZONING
4	2024-12-09	REISSUE FOR REZONING & DP

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MATERIAL LEGEND

1 FIBRE CEMENT PANEL - HARDIE PANEL w/ PAINTABLE REVEAL TRIM (SMOOTH STANDARD WHITE)	8 PRE-FINISHED PERFORATED METAL SOFFIT (CHARCOAL)	15 PRE-FINISHED ALUMINUM CERTAIN WALL SYSTEM w/ ALUMINUM MECHANICAL LOCKER - IRON GREY	22
2 CERAMIC-GLAZED PANEL (CERAMIC - 6 REVEAL TEXTURE, CHARCOAL)	9 PRE-FINISHED PERFORATED METAL SOFFIT (DODD BRASS)	16 FIBRE CEMENT PANEL - HARDIE PANEL w/ PAINTABLE REVEAL TRIM (SMOOTH GREY)	23
3 PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME w/ WHITE PRITTED TINTED GLASS	10 PRE-FINISHED PERFORATED METAL SOFFIT (WHITE)	17	24 CONCRETE BASE (CLEAR SEALER)
4 BRICK VENEER (FACE BRICK - MISSION TEXTURE, IN COLOUR) STANDARD SIZE 1/2 REARING BOND	11 CEMENTITIOUS FASCIA BOARD (WHITE)	18 PAINTED CONCRETE (GREY)	25
5 PRE-FINISHED ALUMINUM CERTAIN WALL SYSTEM - IRON GREY w/ CLEAR LOW-E DOUBLE GLAZING	12 FIBRE CEMENT PANEL - HARDIE PANEL w/ PAINTABLE REVEAL TRIM (SMOOTH CHARCOAL)	19 STEEL CANOPY w/ PRE-FINISHED COMPOSITE ALUMINUM PANEL (WHITE)	26
6 VINYL WINDOW - SILVER w/ CLEAR LOW-E DOUBLE GLAZING	13 PRE-FINISHED ALUMINUM AND GLASS GUARDRAIL - IRON GREY FRAME w/ CLEAR TEMPERED GLASS ??	20 STEEL & GLASS CANOPY (CHARCOAL)	27 6" HIGH PRIVACY SCREEN (LAMINATED, WHITE TRANSLUCENT GLASS PANEL WITH IRON GREY FRAME COLOUR)
7 PRE-FINISHED COMPOSITE ALUMINUM PANEL (CHARCOAL)	14 PRE-CAST CONCRETE CAPSTONE (LIGHT GREY)	21 PRE-FINISHED ALUMINUM MECHANICAL SCREEN (WHITE)	28

GENERAL NOTES

- ALL REVEALS TO BE COLOUR MATCHED TO ADJACENT DOMINANT PANEL COLOUR.
- PANEL SCREENS TO BE PAINTED TO MATCH PANEL COLOUR.
- VENT GRILLES TO BE COLOUR MATCHED WITH PANEL / MATERIAL COLOUR.

PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

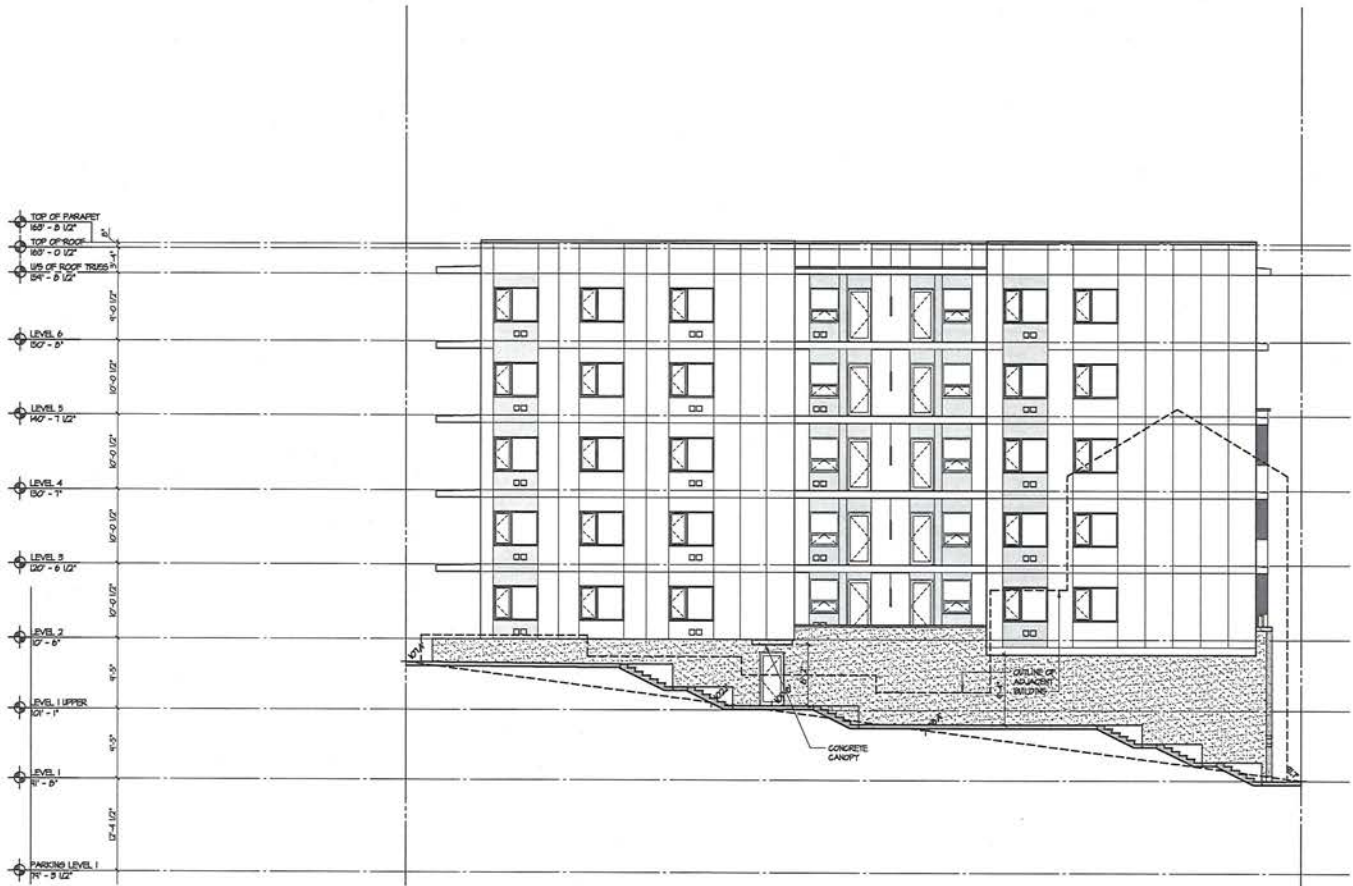
BUILDING ELEVATION WEST

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and approval. Always refer any modifications to this drawing to dys architecture. All drawings and other work product created by and for dys architecture shall be the property of dys architecture. Payment of all fees due to dys architecture up to the date of issue of this drawing is a condition precedent to the use of any of its drawings or a condition precedent to the use of any of its drawings.

Unless otherwise noted, all dimensions are in millimeters. Contractors shall verify and be responsible for all dimensions and conditions of the job. All dimensions shall be consistent with the drawings. The dimensions and conditions shown on the drawings shall always prevail over any verbal instructions or any other drawings or documents. All dimensions shall be consistent with the drawings. Contractors shall be responsible for verifying the accuracy of the drawings and conditions of the job.

PROJECT A221512
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 DATE August 1, 2024

A3.04



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- NO. | DATE | ISSUE
- 1 [2022-09-15] ISSUED FOR REZONING
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 - 3 [2024-01-12] REISSUE FOR REZONING
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NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 145 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**BUILDING ELEVATION
 WEST
 REFLECTED WINDOWS**

This drawing is an instrument of service. In the absence of the architect and may not be reproduced without the architect's and project owner's prior written consent. All design and other information shown on this drawing are for use on the particular project only and shall not be used otherwise without written permission of the architect. Payment of all fees due to the architect as to the date of issue of this drawing is a condition precedent to the use thereof.

Within dimensions shall have precedence over verbal instructions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be relieved of any liability for any omissions and conditions shown on the drawings. This drawing shall be submitted to the architect for review before proceeding with fabrication.

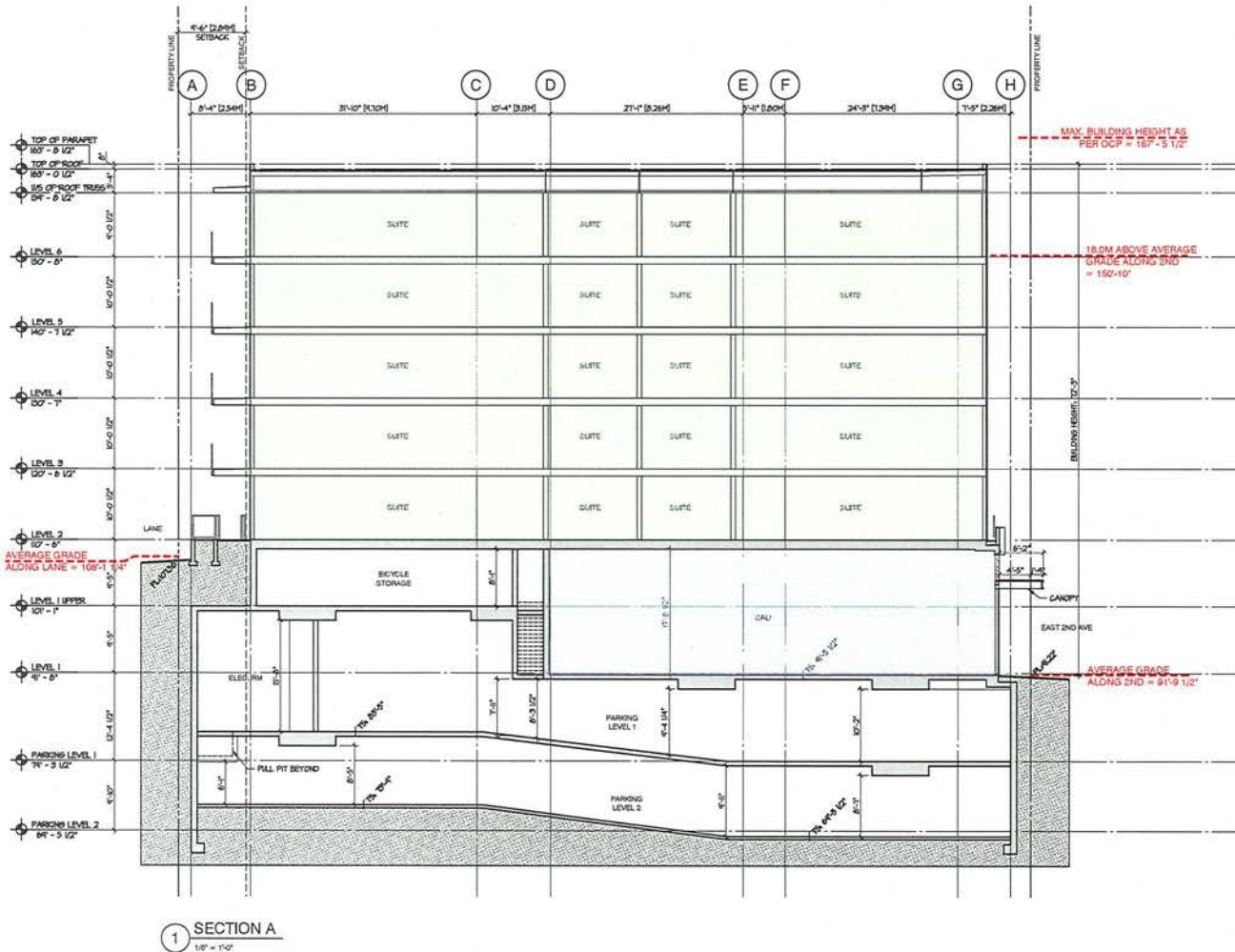
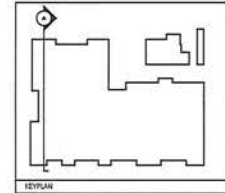
PROJECT A221512
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 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

A3.04a



- NO. | DATE | ISSUE
- 1 | 2022-08-15 | ISSUED FOR REZONING
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 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-11-08 | REISSUE FOR ADDRESSING
 - 5 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



1 SECTION A
 1/8" = 1'-0"

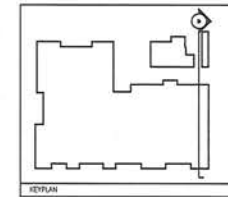
PROJECT
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BUILDING SECTION A

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Building information code has been reviewed and is in compliance with all requirements and standards in the BC and the architect shall be advised of any code changes. The architect is not responsible for any other information shown on this drawing. The architect is not responsible for any information shown on this drawing.

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 SCALE 1/8" = 1'-0"
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A4.01



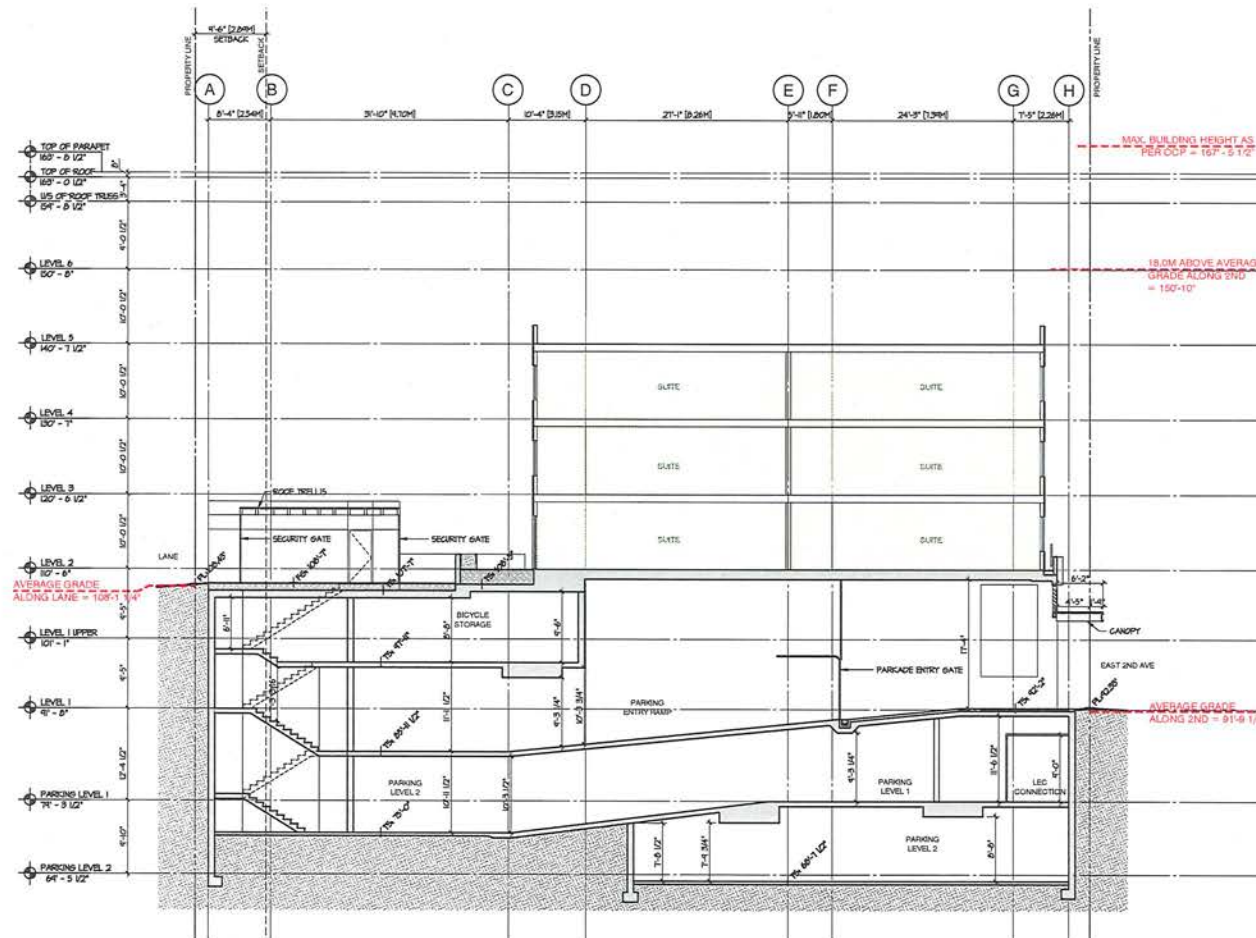
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- NO. | DATE | ISSUE
- 1 [2022-08-15] ISSUED FOR REZONING
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 - 3 [2024-01-12] ISSUE FOR REZONING
 - 4 [2024-11-08] ISSUE FOR ADDRESSING
 - 5 [2024-12-09] ISSUE FOR REZONING & CP

NO. | DATE | REVISION



1 SECTION B
 1/8" = 1'-0"



PROJECT
**MULTI-FAMILY RESIDENTIAL
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 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

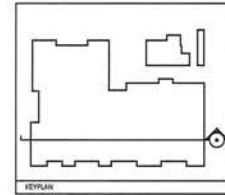
BUILDING SECTION B

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Written consent shall have precedence over verbal communication. Contractors, field workers, and the general public are advised that the drawings and specifications are the property of the architect and shall be returned to the architect upon completion of the project. This drawing shall be submitted to the architect for review prior to printing and distribution.

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A4.02

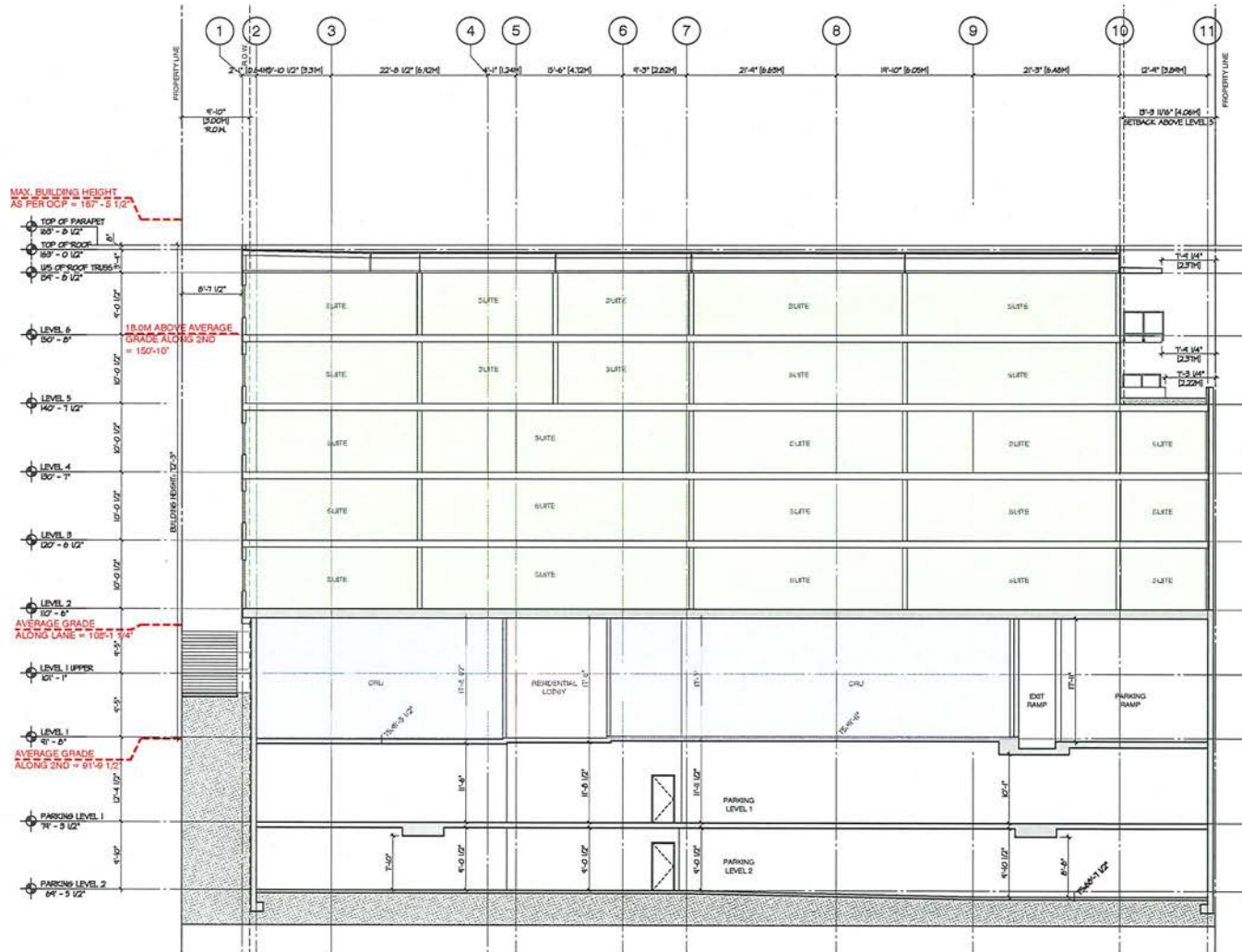


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 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-11-08 | ISSUE FOR ADDRESSING
 - 5 | 2024-12-08 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



1 SECTION C
 1/8" = 1'-0"

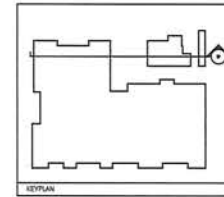
PROJECT
**MULTI-FAMILY RESIDENTIAL
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 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC
BUILDING SECTION C

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PROJECT A221512
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 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

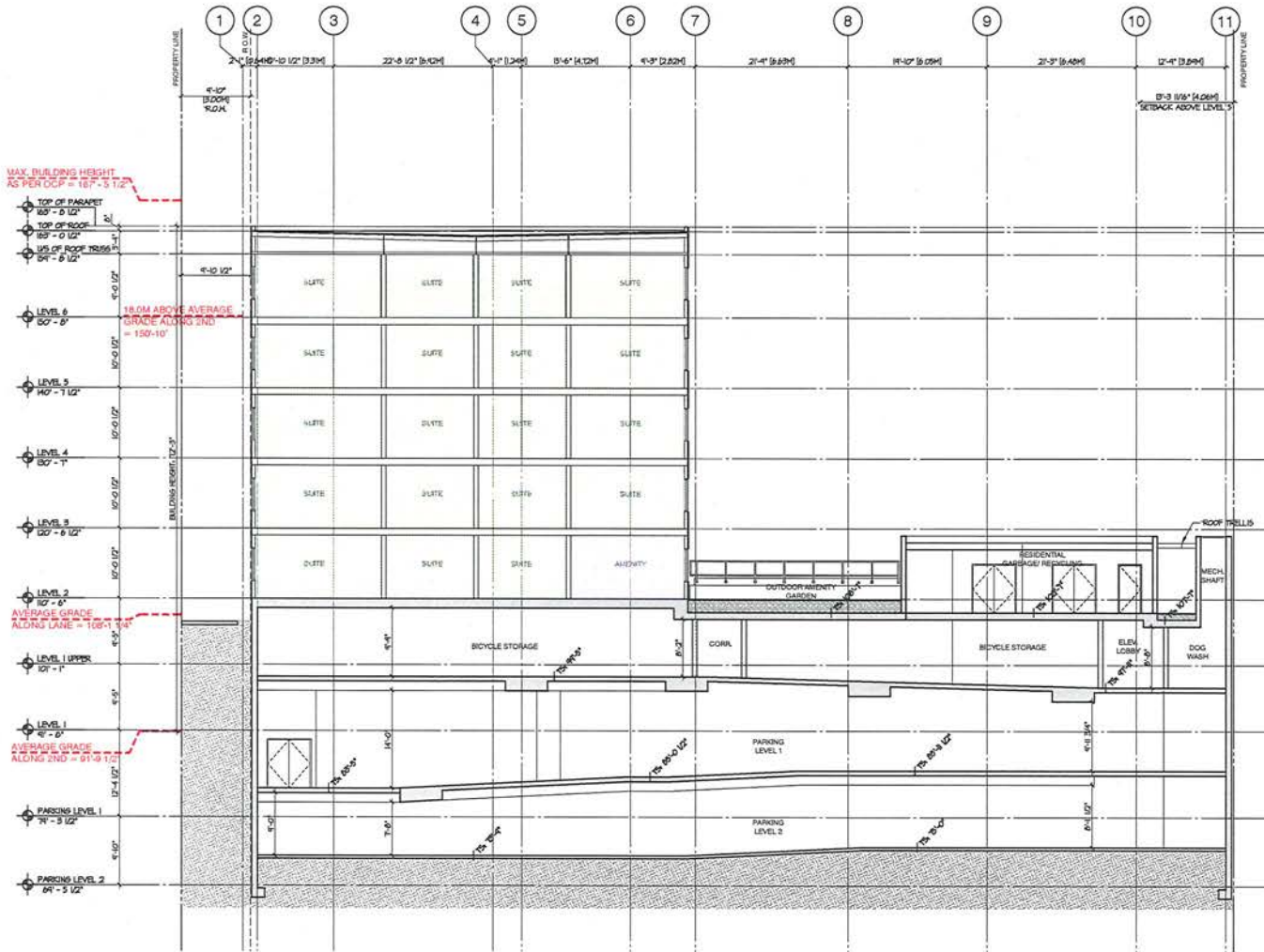
A4.03

CLIENT



- NO. | DATE | ISSUE
- 1 [2022-09-15]ISSUED FOR REZONING
 - 2 [2023-10-03]PRE-CONSULTATION APPLICATION
 - 3 [2024-01-12]ISSUE FOR REZONING
 - 4 [2024-11-08]ISSUE FOR ADDRESSING
 - 5 [2024-12-09]ISSUE FOR REZONING & DP

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SECTION D
 1/8" = 1'-0"

PROJECT
**MULTI-FAMILY RESIDENTIAL
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 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

BUILDING SECTION D

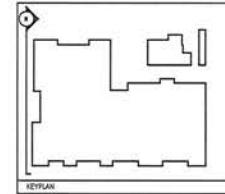
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Written Consents shall have precedence over verbal agreements. Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be advised of any changes. The drawings shall remain the property of the architect. Site drawings shall be submitted to the architect for review before proceeding with construction.

PROJECT A221512
 DRAWN TB CHECKED NC

SCALE 1/8" = 1'-0"
 DATE August 1, 2024

A4.04



NO.	DATE	ISSUE
1	2022-08-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	REISSUE FOR REZONING
4	2024-11-08	ISSUE FOR ADDRESSING
5	2024-12-09	REISSUE FOR REZONING & CP

NO.	DATE	REVISION
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1 SECTION E
 1/8" = 1'-0"

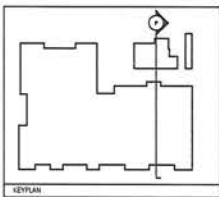
PROJECT
**MULTI-FAMILY RESIDENTIAL
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 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

BUILDING SECTION E

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A4.05



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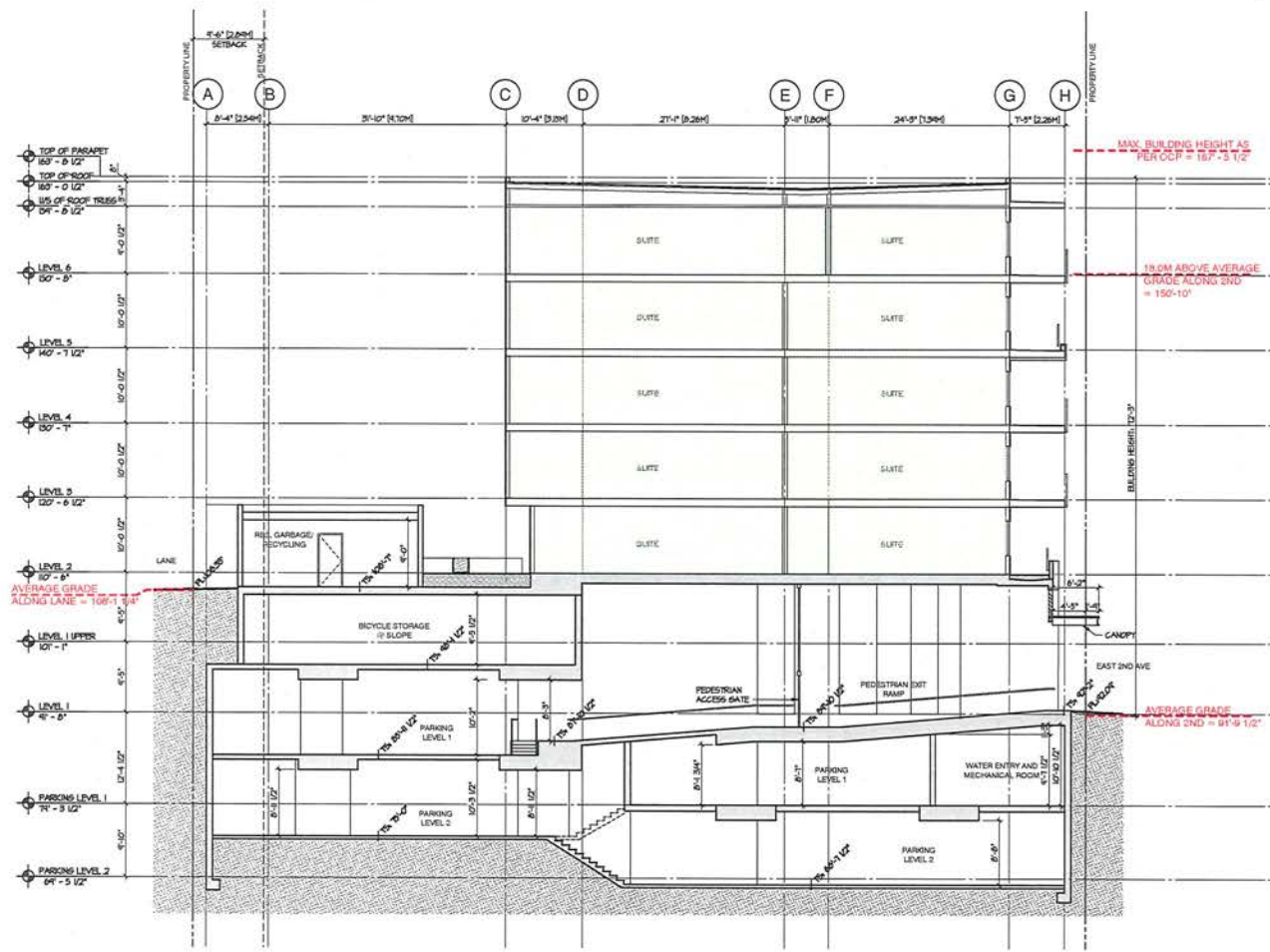
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- NO. | DATE | ISSUE
- 1 2022-08-15 [ISSUE FOR REZONING]
 - 2 2022-10-03 [PRE-CONSULTATION APPLICATION]
 - 3 2024-01-12 [REISSUE FOR REZONING]
 - 4 2024-11-08 [REISSUE FOR ADDRESSING]
 - 5 2024-12-06 [REISSUE FOR REZONING & DP]

NO. | DATE | REVISION



1 SECTION F
 1/8" = 1'-0"



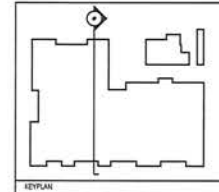
PROJECT
**MULTI-FAMILY RESIDENTIAL
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 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

BUILDING SECTION F

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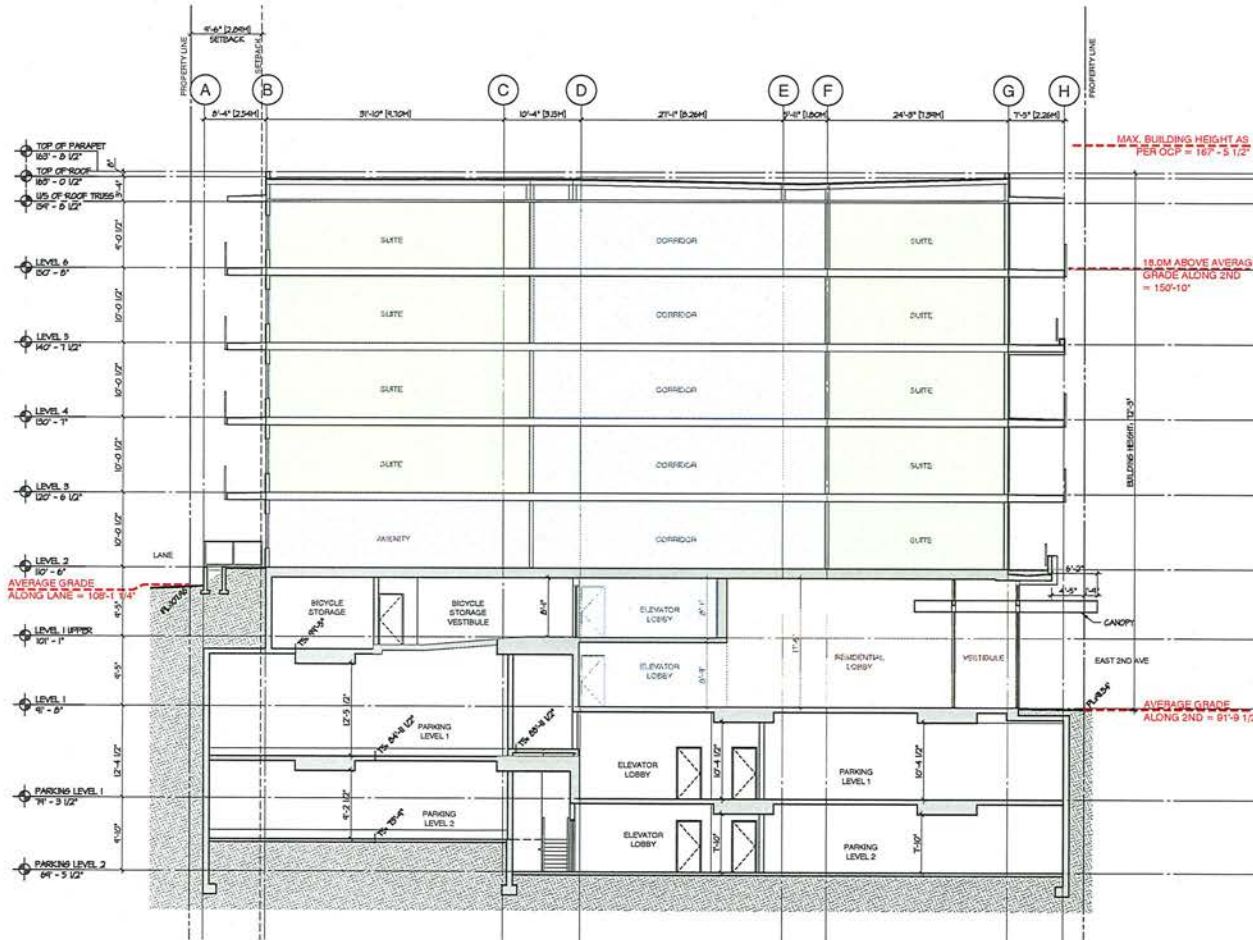
PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

A4.06



- NO. | DATE | ISSUE
- 1 2022-08-16 [ISSUE FOR REZONING]
 - 2 2023-10-03 [PRE-CONSULTATION APPLICATION]
 - 3 2024-01-12 [REISSUE FOR REZONING]
 - 4 2024-11-08 [ISSUE FOR ADDRESSING]
 - 5 2024-12-08 [REISSUE FOR REZONING & DP]

- NO. | DATE | REVISION



1 SECTION G
 1/8" = 1'-0"



PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC
BUILDING SECTION G

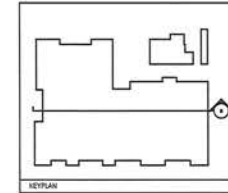
The drawings, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any production copies that occur - all drawings and other information shown on this drawing are the sole and the confidential property and shall not be used elsewhere without written permission of dys architecture. Payment of all bills due to dys architecture is a condition precedent to the use herein.

Written comments shall have appropriate and dated annotations. Contractors shall verify and field the drawings and the architect shall be advised of any changes from the observations and practices shown on the drawings. This drawings shall be submitted to the authorities to receive issues governing with fabrication.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

A4.07

CLIENT



NO.	DATE	ISSUE
1	2022-08-15	ISSUED FOR REZONING
2	2023-10-03	PRE-CONSULTATION APPLICATION
3	2024-01-12	REISSUE FOR REZONING
4	2024-11-08	REISSUE FOR ADDRESSING
5	2024-12-09	REISSUE FOR REZONING & DP

NO. | DATE | REVISION



SECTION H
 1/8" = 1'-0"



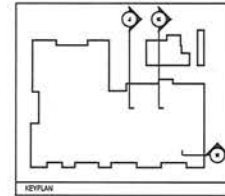
PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 145 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC
BUILDING SECTION H

This drawing is an instrument of service. It is the property of the architect and shall not be reproduced without their permission and shall not be used for any other project without their written consent. All drawings and other information shown on this drawing are for use on the specified project only and shall not be used otherwise without written permission of the architect. Payment of all fees due to the architect is a condition of use of this drawing. It is a condition of use of this drawing that the architect shall have priority in the use of this drawing.

Notwithstanding to whomsoever, the architect shall be responsible for the accuracy of the information provided in this drawing. The architect shall be responsible for the accuracy of the information provided in this drawing. The architect shall be responsible for the accuracy of the information provided in this drawing.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

A4.08

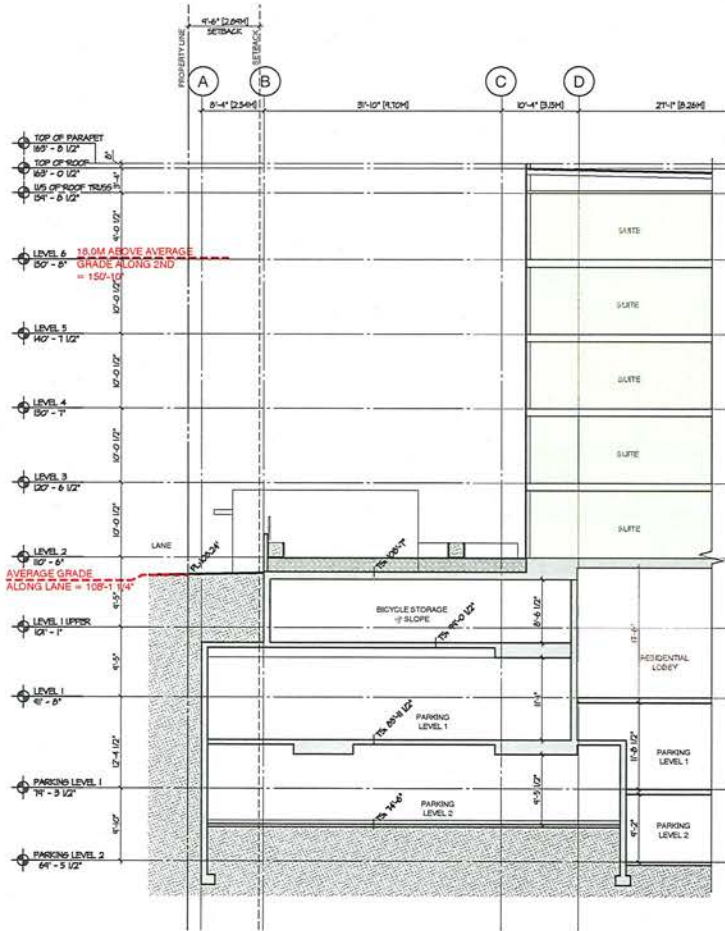


dys architecture
 560 - 1770 Burrard Street Vancouver BC V6J 3G7
 201 - 560 Johnson Street Victoria BC V8W 3G6
 tel 604 669 7710 www.dysarchitecture.com

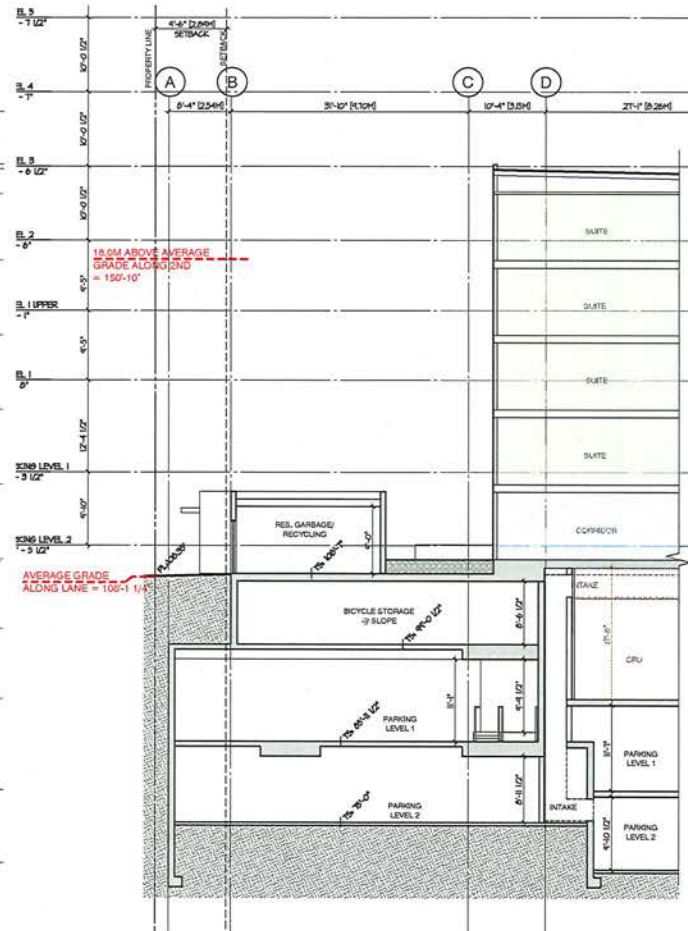


- NO. | DATE | ISSUE
- 1 2022-09-15 ISSUED FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
 - 3 2024-01-12 REISSUE FOR REZONING
 - 4 2024-11-08 REISSUE FOR ADDRESSING
 - 5 2024-12-09 REISSUE FOR REZONING & DP

NO. | DATE | REVISION



1 SECTION J
 1/8" = 1'-0"



2 SECTION K
 1/8" = 1'-0"



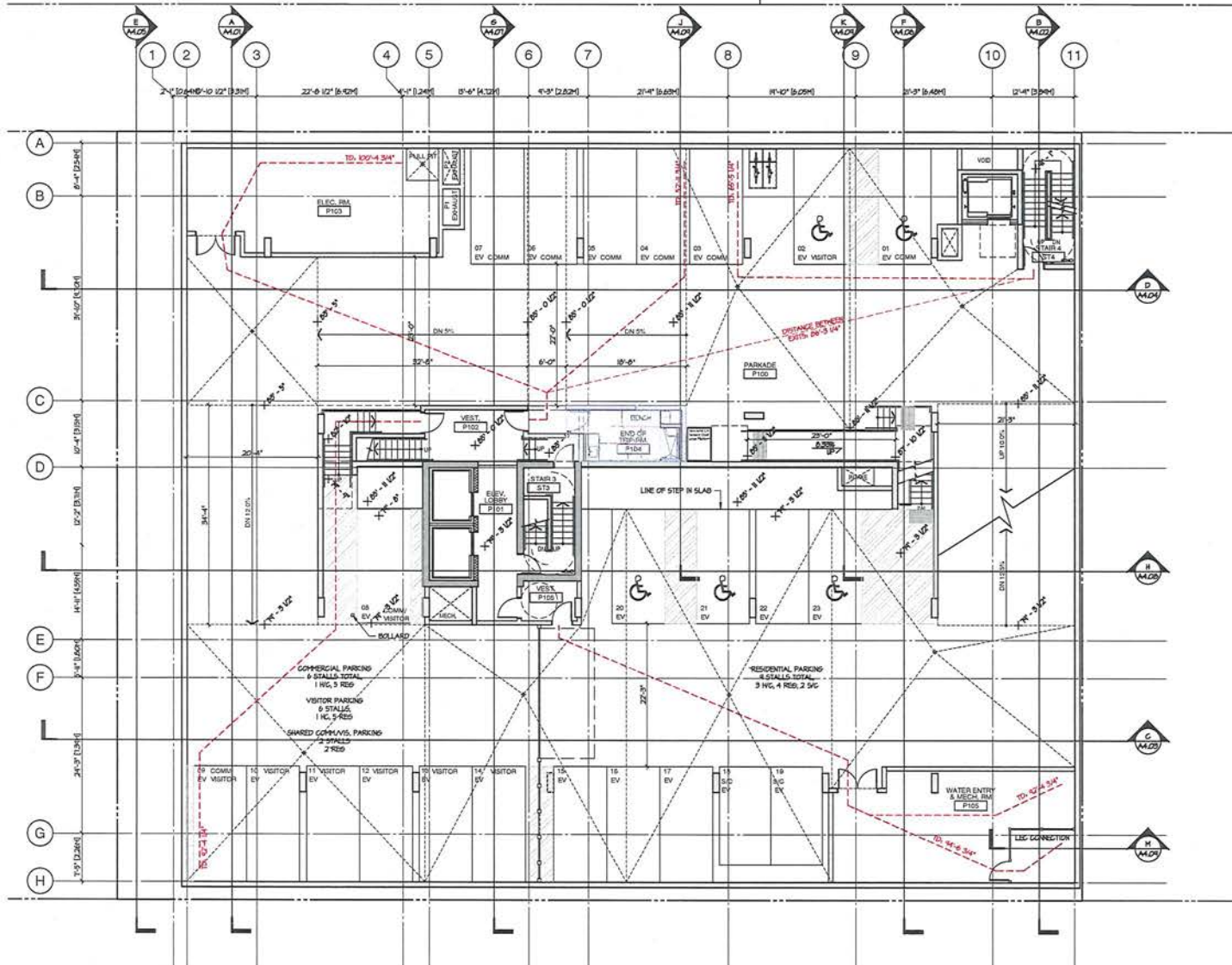
3 SECTION M
 1/8" = 1'-0"

PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 145 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC
BUILDING SECTION J

This drawing, as an instrument of service, is the property of the architect and may be used for the project only. It is not to be used for any other purpose without the written consent of the architect. Payment of all fees due to the architect up to the date of issue of this drawing is a condition precedent to the use thereof.

PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024

A4.09



- NO. | DATE | ISSUE
- 1 | 2022-08-16 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**PARKING PLAN
 LEVEL 01
 AREA OVERLAY**

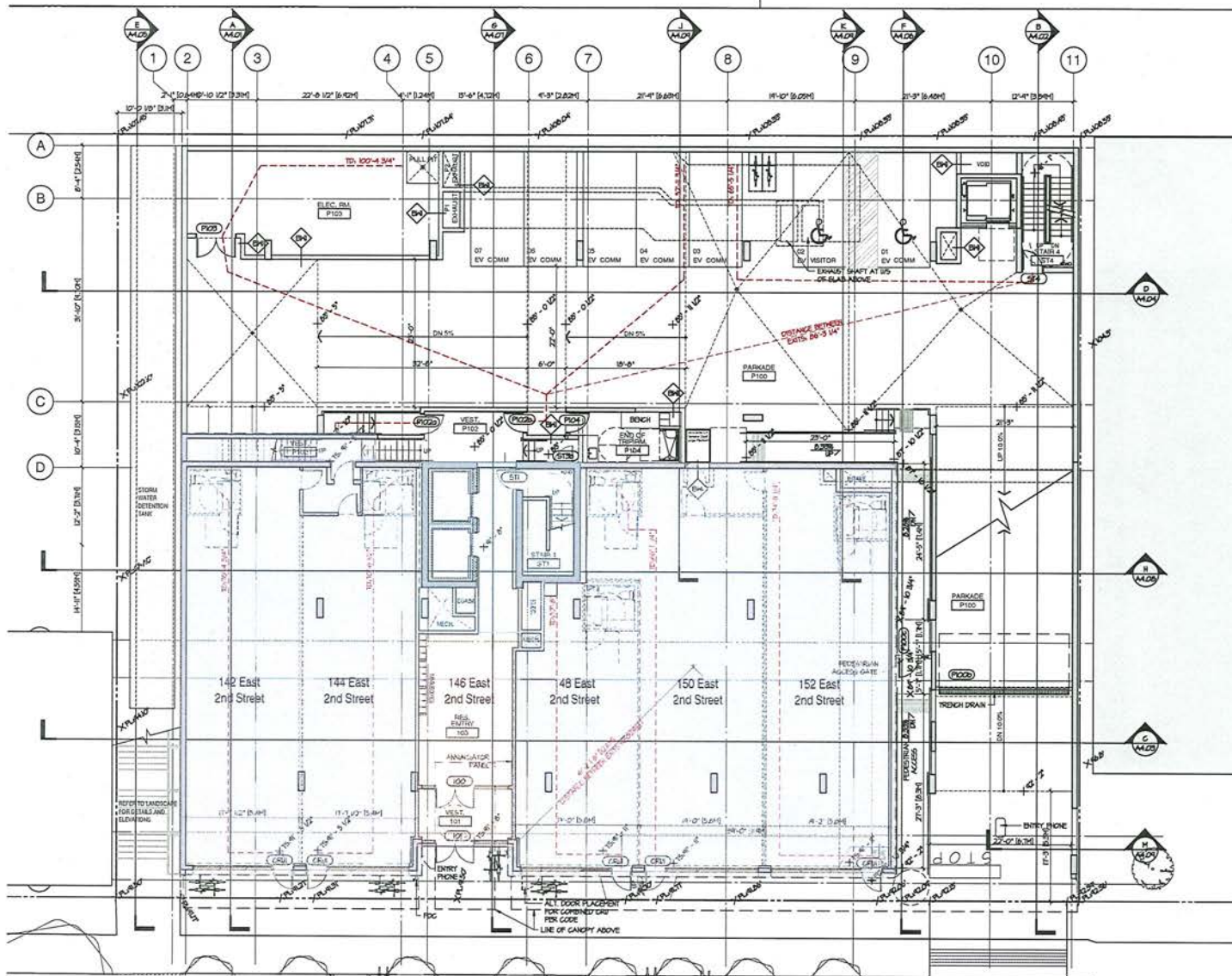
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Written comments shall have dimensions and shall be submitted to dys architecture. Comments shall not be used for any other project without the written consent of dys architecture. Comments shall not be used for any other project without the written consent of dys architecture.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A5.02



- NO. | DATE | ISSUE
- 1 | 2022-08-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

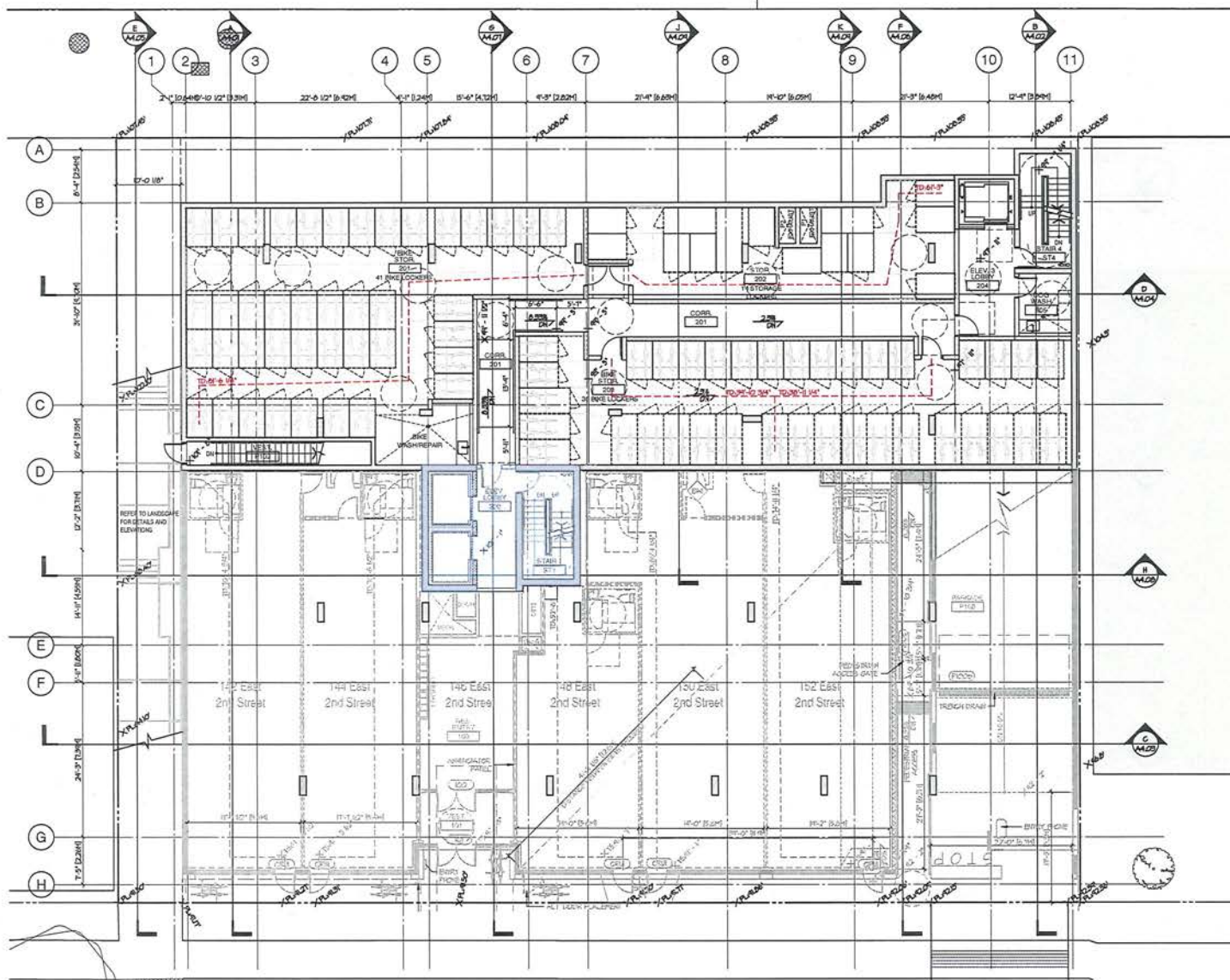
**FLOOR PLAN
 LEVEL 01
 AREA OVERLAY**

This drawing, as an instrument of service, is the property of the architect and shall not be used, copied, or reproduced in any form without the prior written permission and approval of the architect. The architect shall not be responsible for any errors or omissions in this drawing and shall not be held liable for any consequences arising therefrom. The architect shall not be held liable for any consequences arising from the use of this drawing for any purpose other than that for which it was prepared. The architect shall not be held liable for any consequences arising from the use of this drawing for any purpose other than that for which it was prepared.

PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A5.03



CIRCULATION FROM #

CLIENT



- NO. | DATE | ISSUE
- 1 | 2022-08-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**FLOOR PLAN
 LEVEL 01 UPPER
 AREA OVERLAY**

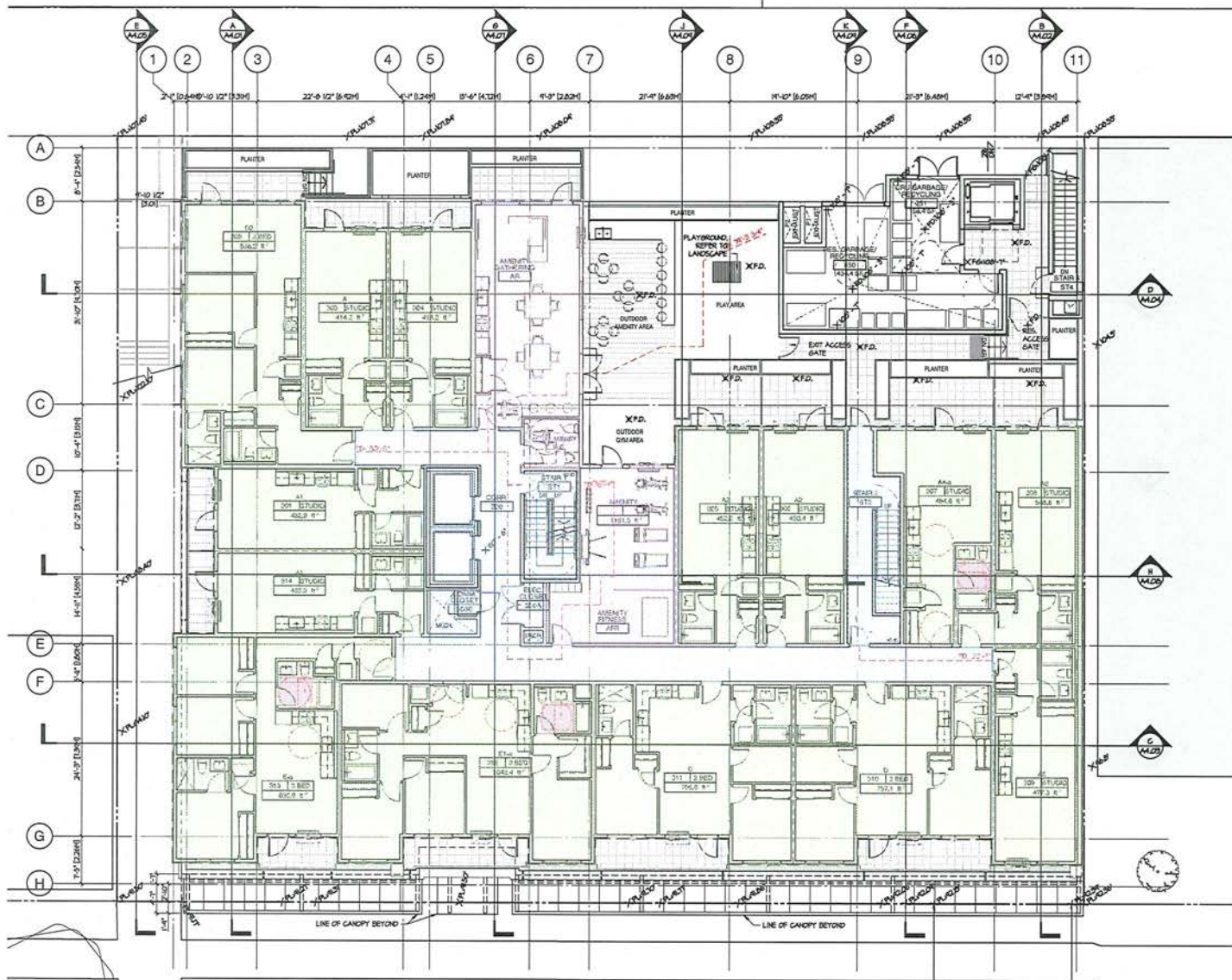
This drawing is an instrument of service. It is the property of dys architecture and shall not be reproduced, copied, or otherwise used for any purpose other than that stated. All design and construction details are the property of dys architecture. Plans of all parts due to the individual as to the date of use of this drawing is a condition precedent to the site permit.

Other dimensions shall have precedence over noted dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be relieved of any responsibility for alterations and conditions that may be encountered. This drawing shall be corrected in the event of any errors in order to prevent any liability.

PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A5.04



CLIENT



- NO. | DATE | ISSUE
- 1 | 2022-08-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**FLOOR PLAN
 LEVEL 02
 AREA OVERLAY**

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PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



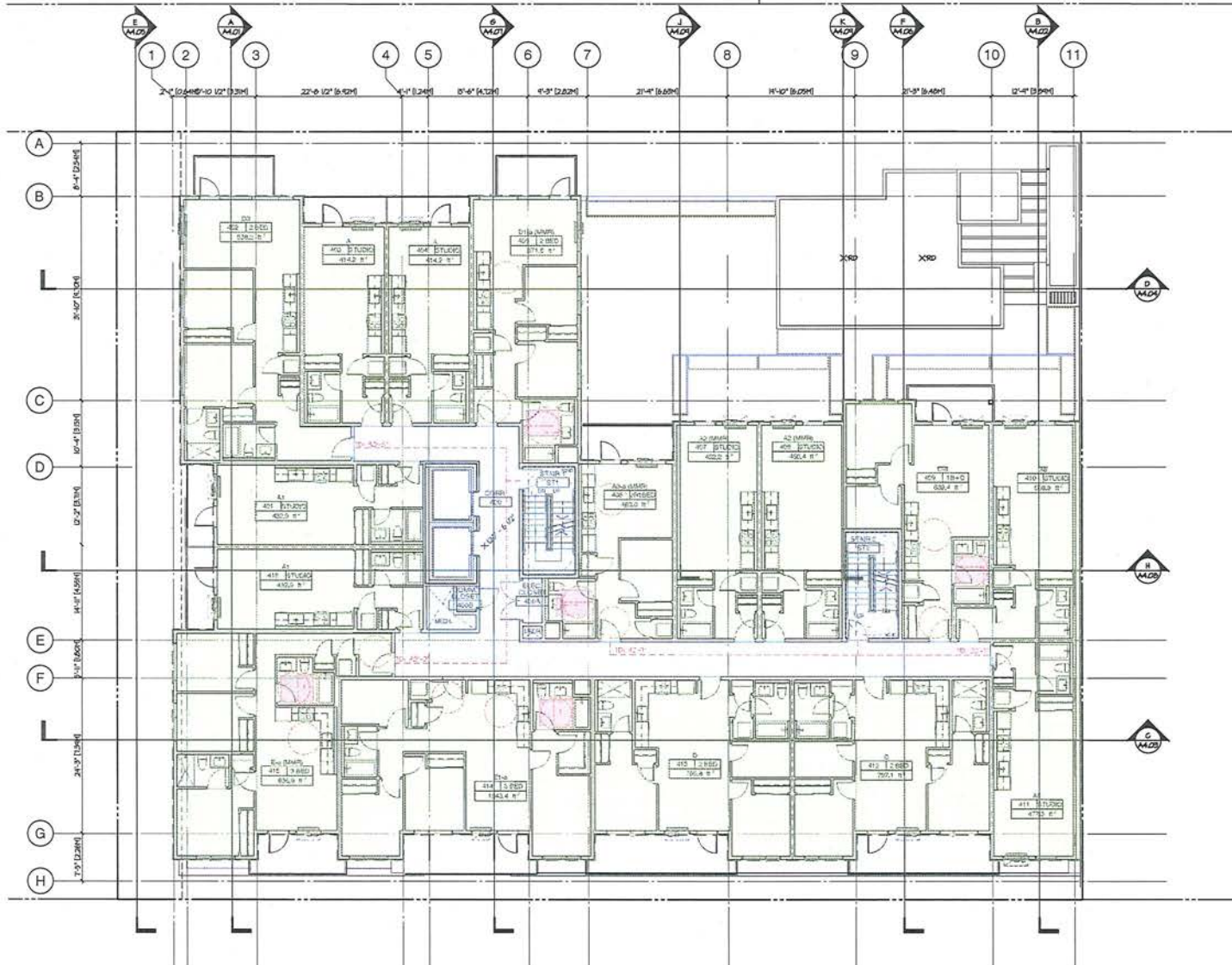
A5.05

CLIENT



- NO. | DATE | ISSUE
- 1 [2022-08-15] ISSUED FOR REZONING
 - 2 [2023-10-03] PRE-CONSULTATION APPLICATION
 - 3 [2024-01-12] REISSUE FOR REZONING
 - 4 [2024-12-09] REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**FLOOR PLAN
 LEVEL 03
 AREA OVERLAY**

This drawing, as an instrument of service, is the property of dys architecture and shall be reproduced without their permission and printed always with any publication unless otherwise stated. All copies and other information shown on this drawing are for use on the conditions stated and shall not be used otherwise without written permission of dys architecture. Payment of all fees due to dys architecture is to be made at or at the time of the drawing is a condition precedent to the use thereof.

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 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



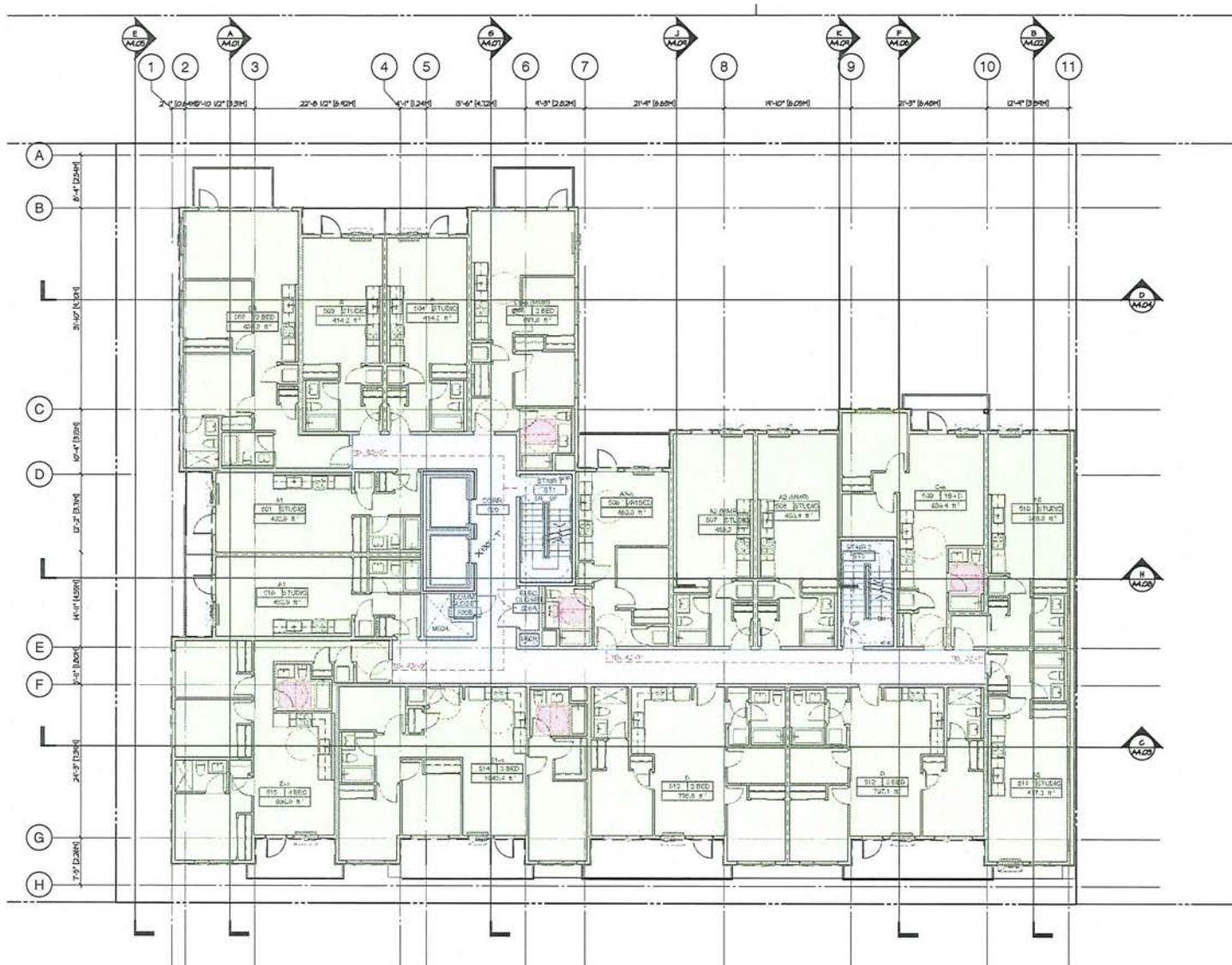
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CLIENT



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- 1 | 2022-08-15 | ISSUE FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | ISSUE FOR REZONING
 - 4 | 2024-12-09 | ISSUE FOR REZONING & DP

NO. | DATE | REVISION



PLOT STAMP: 2024-Dec-20 @1:00pm - P:\A221512 - Anthem - 146 East 2nd St CN\CAD\3-WD\A221512 - fp05.dwg - A5.07 DP



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**FLOOR PLAN
 LEVEL 04
 AREA OVERLAY**

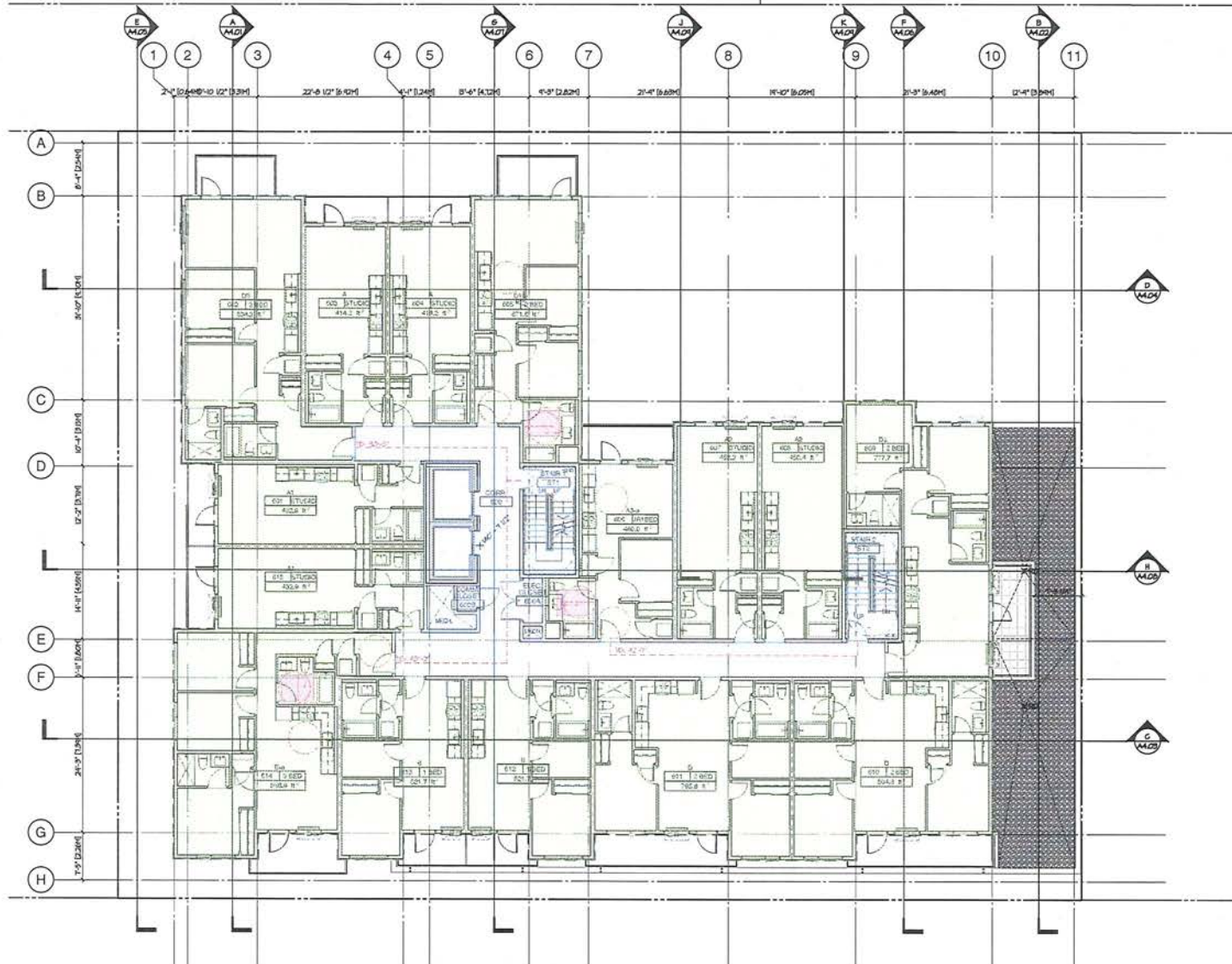
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Within American rules have precedence over local dimensions. Contractors shall verify and be responsible for all dimensions and conditions of the site and all instruments shall be available at the time of the drawing and conditions thereon. The architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A5.07



dys architecture
 250 - 1770 Burrard Street Vancouver BC V6J 9G7
 231 - 550 Johnson Street Victoria BC V8W 3C6
 tel 604 659 7710 www.dysarchitecture.com

CLIENT



- NO. | DATE | ISSUE
- 1 | 2022-08-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-09 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**FLOOR PLAN
 LEVEL 05
 AREA OVERLAY**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the site and the architect shall be relieved of any liability therefor. The dimensions and conditions shown on this drawing shall be subject to any applicable laws, codes, and regulations governing such fabrication.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



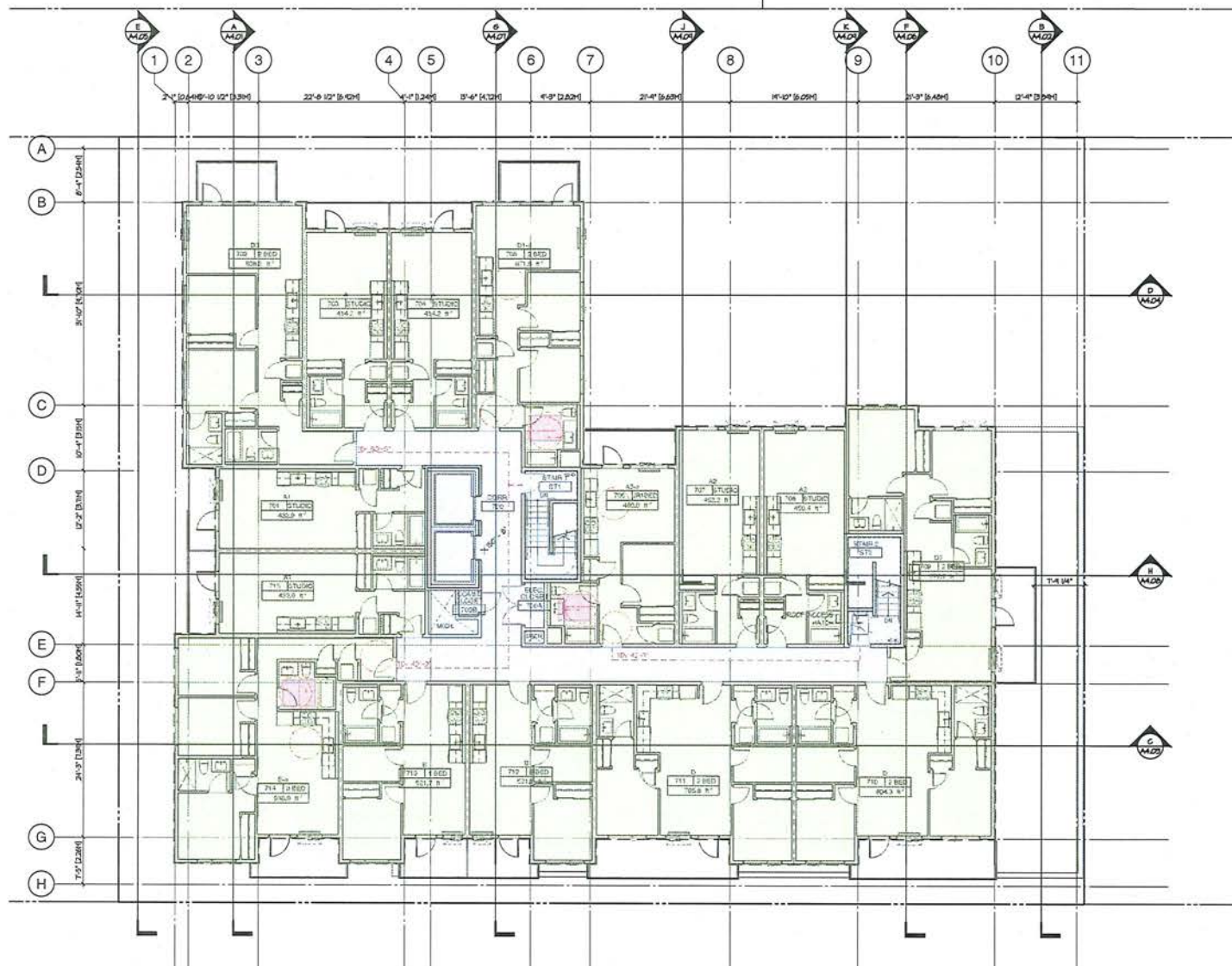
A5.08

CLIENT



- NO. | DATE | ISSUE
- 1 | 2022-09-15 | ISSUED FOR REZONING
 - 2 | 2023-10-03 | PRE-CONSULTATION APPLICATION
 - 3 | 2024-01-12 | REISSUE FOR REZONING
 - 4 | 2024-12-03 | REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

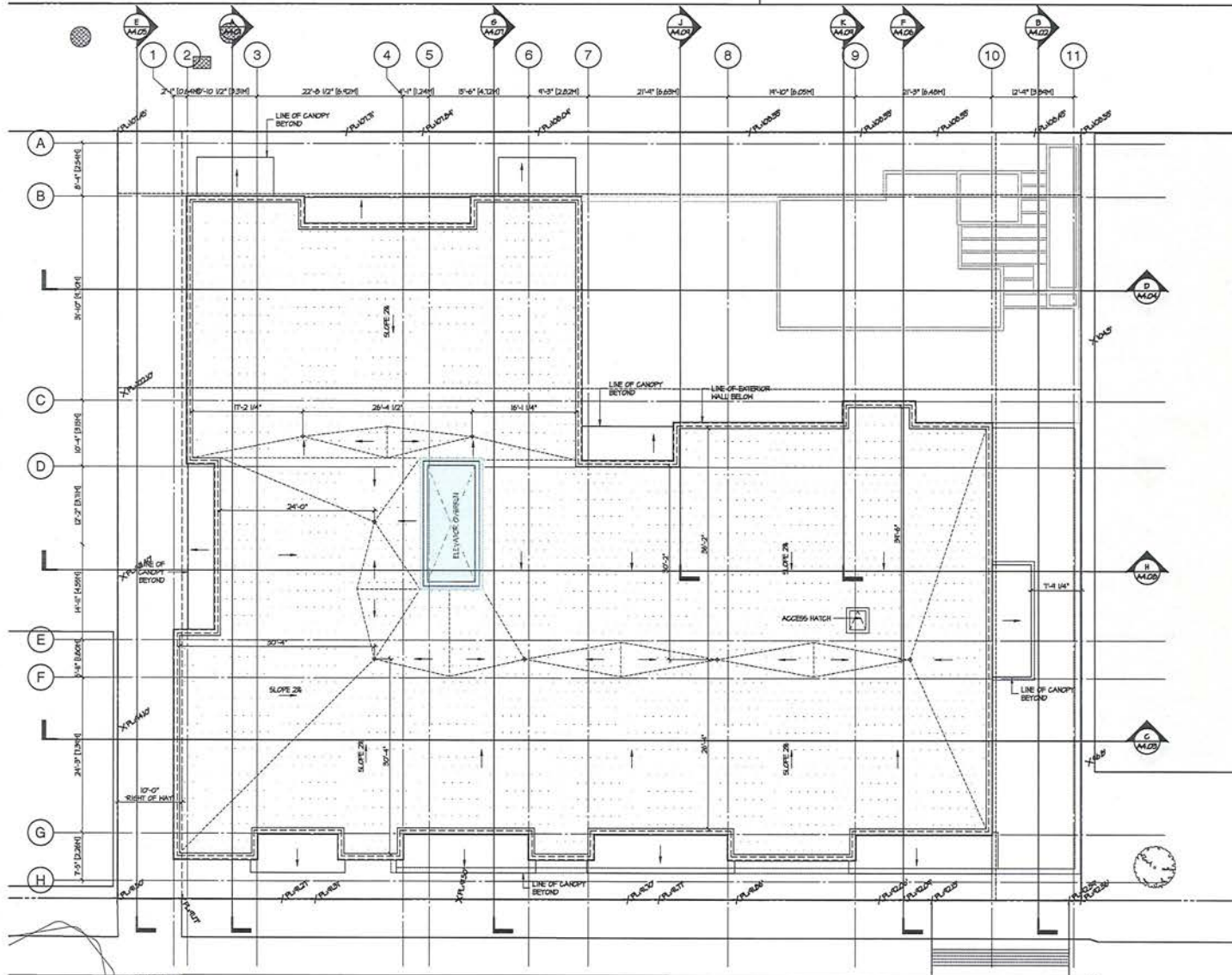
**FLOOR PLAN
 LEVEL 06
 AREA OVERLAY**

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PROJECT A221512
 DRAWN TB CHECKED HC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A5.09



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dys architecture
 260 - 1770 Burrard Street Vancouver BC V6J 3G7
 231 - 550 Johnson Street Victoria BC V8W 3C6
 tel 604 669 7710 www.dysarchitecture.com

CLIENT



- NO. | DATE | ISSUE
- 1 2023-06-15 ISSUED FOR REZONING
 - 2 2023-10-03 PRE-CONSULTATION APPLICATION
 - 3 2024-01-12 REISSUE FOR REZONING
 - 4 2024-12-09 REISSUE FOR REZONING & DP

NO. | DATE | REVISION



PROJECT
**MULTI-FAMILY RESIDENTIAL
 AND COMMERCIAL
 DEVELOPMENT**
 146 EAST 2ND STREET
 CITY OF NORTH VANCOUVER, BC

**ROOF PLAN
 AREA OVERLAY**

This drawing is an instrument of service. In the absence of the architect and may not be modified without their approval and approval of the client. It is the responsibility of the client to ensure that the construction shown on this drawing is for use on the correct project and that all work is done in accordance with the written agreement of the architect. Payment of \$5 hourly fee to the architect is to be made on the day of this drawing is a condition precedent to the use thereof.

Section dimensions shall have precedence over scaled dimensions. Coordinate, field notes, and the drawings for all dimensions and conditions on the job and the architect shall be advised of any changes. This drawing shall be submitted to the architect for review before proceeding with fabrication.

PROJECT A221512
 DRAWN TB CHECKED NC
 SCALE 1/8" = 1'-0"
 DATE August 1, 2024



A5.10

146 EAST 2nd St.

RE-ISSUED FOR DP

CONTACTS

CONNECT LANDSCAPE ARCHITECTURE
2305 HEMLOCK STREET, VANCOUVER, BC V6H 2V1
OREN MIZRAHI, PRINCIPAL
604-681-3303 x 731
OREN@CONNECT.LA
RICCARDO TAVELLA, PROJECT MANAGER
604-681-3303 x 534
RICCARDO@CONNECT.LA

GENERAL NOTES

1. A SURVEY HAS BEEN PROVIDED BY THE CLIENT FOR THIS PROJECT. IT HAS BEEN REFORMATTED FOR USE IN AND FOR PREPARING THESE DOCUMENTS. CONTRACTOR SHALL OBTAIN AN OFFICIALLY SIGNED COPY FROM THE CLIENT AND BECOME FAMILIAR WITH IT. THE EXISTING CONDITIONS AND SITE CONTEXT PRIOR TO CONSTRUCTION, ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ASSOCIATED WITH PREPARATION OR DOCUMENTATION OF SURVEY.
2. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR DETERMINING MEANS AND METHODS FOR CONSTRUCTION. THESE DRAWINGS MAY INDICATE A LIMIT OF PROPOSED IMPROVEMENTS, LIMITS OF SITE DEMOLITION, ETC. FOR DELINEATION OF EXPECTED EXTENTS OF DISTURBANCE. HOWEVER, FINAL IMPACT SHALL BE DETERMINED IN THE FIELD. SHOULD LIMITS OF DISTURBANCE EXCEED BOUNDARIES REFERRED IN DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
5. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ADDITIONAL UTILITIES NOT SHOWN ON THE DRAWINGS MAY EXIST. VERIFY IN THE FIELD THE DATA SHOWN, AND CALL ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE STARTING WORK.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL WORK DISTURBED BY CONSTRUCTION OUTSIDE OF LIMIT LINES DEFINED ON DRAWINGS OR THROUGH HSE/HSR MEANS AND METHODS TO A CONDITION BETTER THAN OR EQUAL TO THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A COMPLETE UP-TO-DATE SET OF DRAWINGS AND SPECIFICATIONS AT THE CONSTRUCTION SITE AND ENSURING THE DOCUMENTS ARE READILY AVAILABLE FOR REVIEW BY THE LANDSCAPE ARCHITECT AND GOVERNING AGENCY.
8. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY TO ONE ANOTHER AND MUST BE CORRELATED WITH ONE ANOTHER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY.
9. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
10. COMPANY X PREPARED THE SURVEY FOR THIS PROJECT. IT HAS BEEN REFORMATTED FOR USE IN AND FOR PREPARATION OF THESE DOCUMENTS. CONTRACTOR SHALL OBTAIN OFFICIAL, SIGNED COPY FROM COMPANY X (ADDRESS, PHONE NUMBER) AND BECOME FAMILIAR WITH IT, EXISTING CONDITIONS, AND SITE CONTEXT PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ASSOCIATED WITH PREPARATION OR DOCUMENTATION OF THE SURVEY.
11. COMPANY Y PREPARED THE GEOTECHNICAL INVESTIGATION AND REPORT FOR THIS PROJECT. IT HAS BEEN REFERENCED DURING PREPARATION OF THESE DOCUMENTS. CONTRACTOR SHALL OBTAIN OFFICIAL, SIGNED COPY FROM COMPANY Y (ADDRESS, PHONE NUMBER) AND BECOME FAMILIAR WITH IT PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ASSOCIATED WITH PREPARATION OR DOCUMENTATION OF THE REPORT.

LANDSCAPE DRAWING INDEX

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L2.00	MATERIALS PRECEDENT IMAGES
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L7.01	LIGHTING PLAN
L7.02	IRRIGATION PLAN
L8.00	SECTIONS + ELEVATIONS



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KEYPLAN

SEAL

3 RE-ISSUED FOR REZONING 2024-12-09

2 RE-ISSUED FOR REZONING 2024-07-18

1 ISSUED FOR REZONING 2024-01-12

ISSUE

146 EAST 2nd Street

146 EAST 2nd Street
North Vancouver, British Columbia

Scale: NTS

Drawn: RT/LN

Reviewed: OM

Project No. 06-783

COVER SHEET

L0.00

VISION

The design vision is focused on place making - creating landscape design that is identifiable as north shore, while celebrating community, creative culture and nature.



COMMUNITY

CELEBRATE THE VIBRANCY OF LOWER LONSDALE

Integrate and connect to the neighbourhood.
Give the existing community something to embrace.



CREATIVE CULTURE

NURTURE THE ARTS AND CREATIVE ECONOMY

Create dynamic spaces for people to live, work, shop,
travel and play.



NATURE

DESIGN WITH NATURE

Bridge the interior and exterior environments and
celebrate local ecology.

3	RE-ISSUED FOR REZONING	2024-12-09
2	RE-ISSUED FOR REZONING	2024-07-18
1	ISSUED FOR REZONING	2024-01-12
ISSUE		

146 EAST 2nd Street

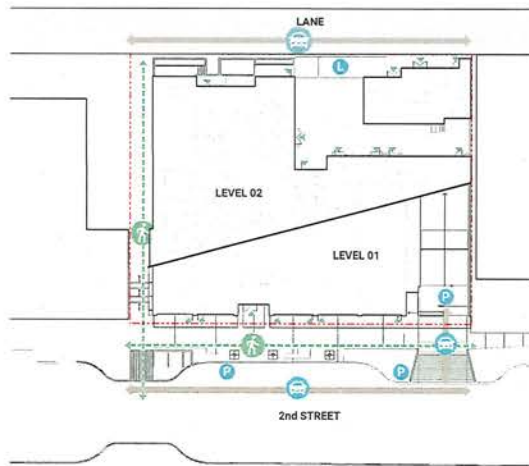
146 EAST 2nd Street
North Vancouver, British Columbia

Scale:	NTS
Drawn:	RT
Reviewed:	OM
Project No.	06-783

INSPIRATION AND PRINCIPLES

L0.01

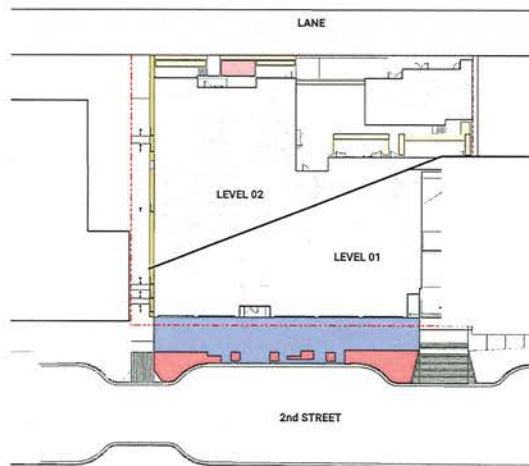
SITE CIRCULATION



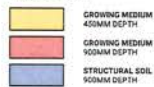
CIRCULATION LEGEND



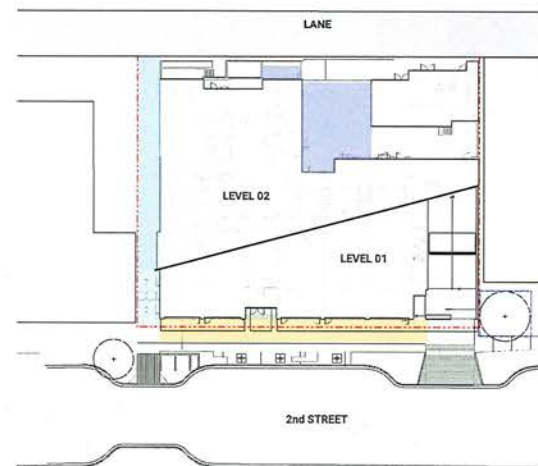
SOIL VOLUME



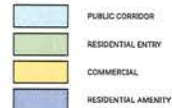
SOILS LEGEND



SITE PROGRAM



PROGRAM LEGEND



KEYPLAN

SEAL

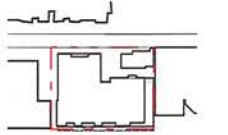
3	RE-ISSUED FOR REZONING	2024-12-09
2	RE-ISSUED FOR REZONING	2024-07-18
1	ISSUED FOR REZONING	2024-01-12
ISSUE		

146 EAST 2nd Street

146 EAST 2nd Street
North Vancouver, British Columbia

Scale:	NTS
Drawn:	RT/LN
Reviewed:	OM
Project No.	06-783

DIAGRAMS



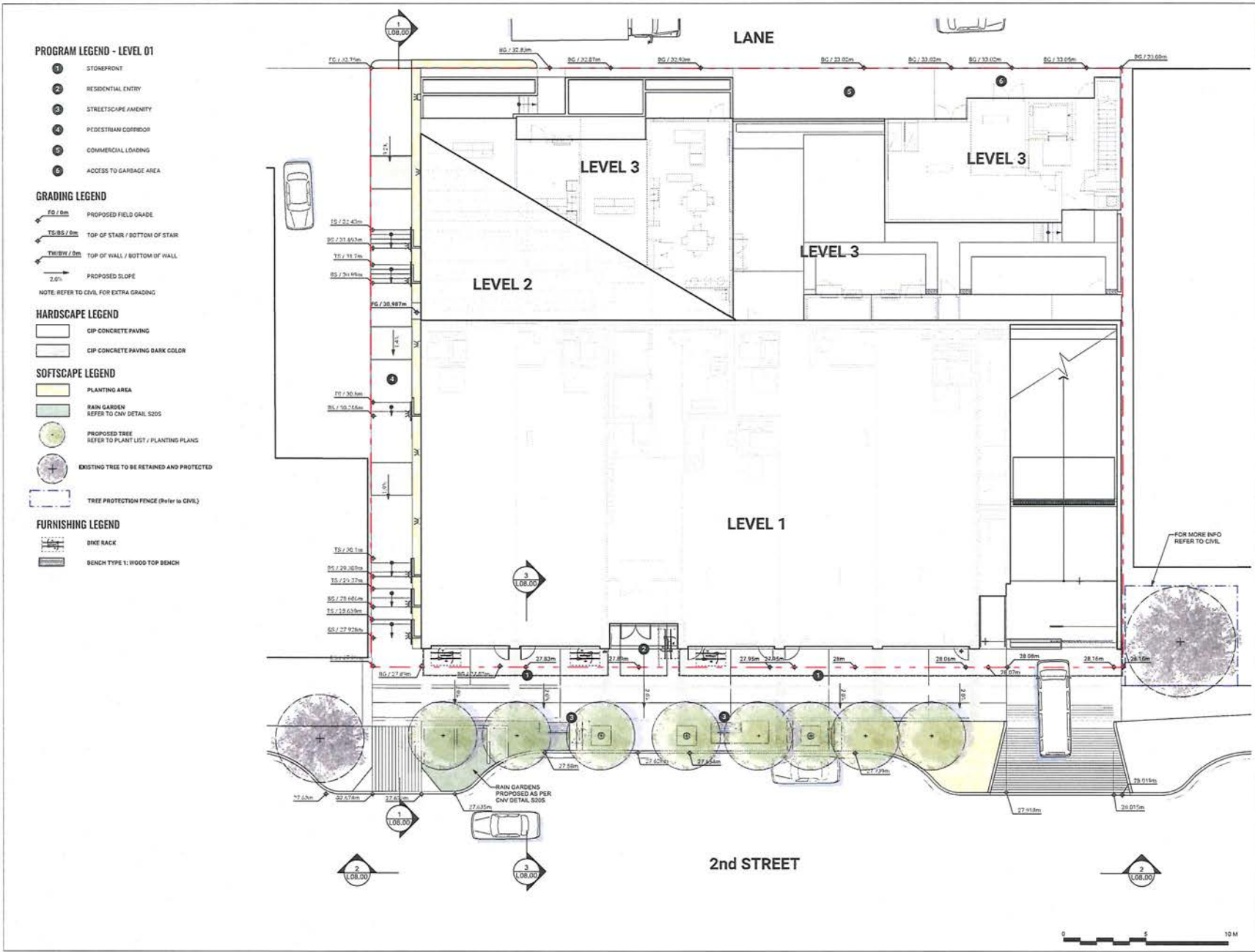
3	RE-ISSUED FOR REZONING	2024-12-09
2	RE-ISSUED FOR REZONING	2024-07-18
1	ISSUED FOR REZONING	2024-01-12

146 EAST 2nd Street

146 EAST 2nd Street
North Vancouver, British Columbia

Scale: 1:100
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Project No. 06-783

CONCEPT PLAN - LEVEL 01



LIGHTING LEGEND

-  LIGHT TYPE 1: WALL LIGHT
-  LIGHT TYPE 2: CATENARY LIGHTING
-  LIGHT TYPE 3: WALL LIGHT BY ARCH

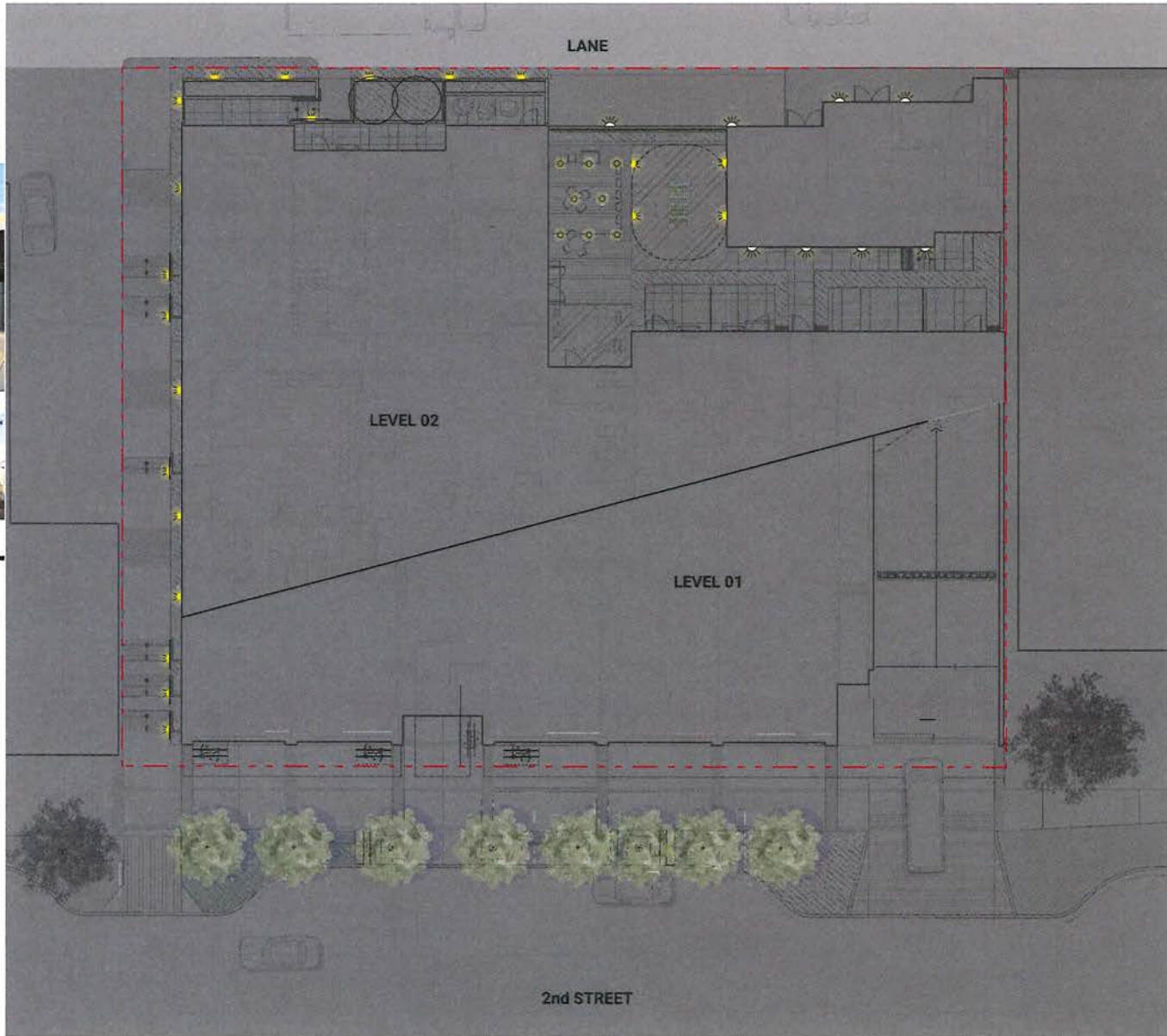
NOTE:
LIGHTS AS PER ELECTRICAL SHOWN FOR REFERENCE ONLY.



LIGHT TYPE 1



LIGHT TYPE 2



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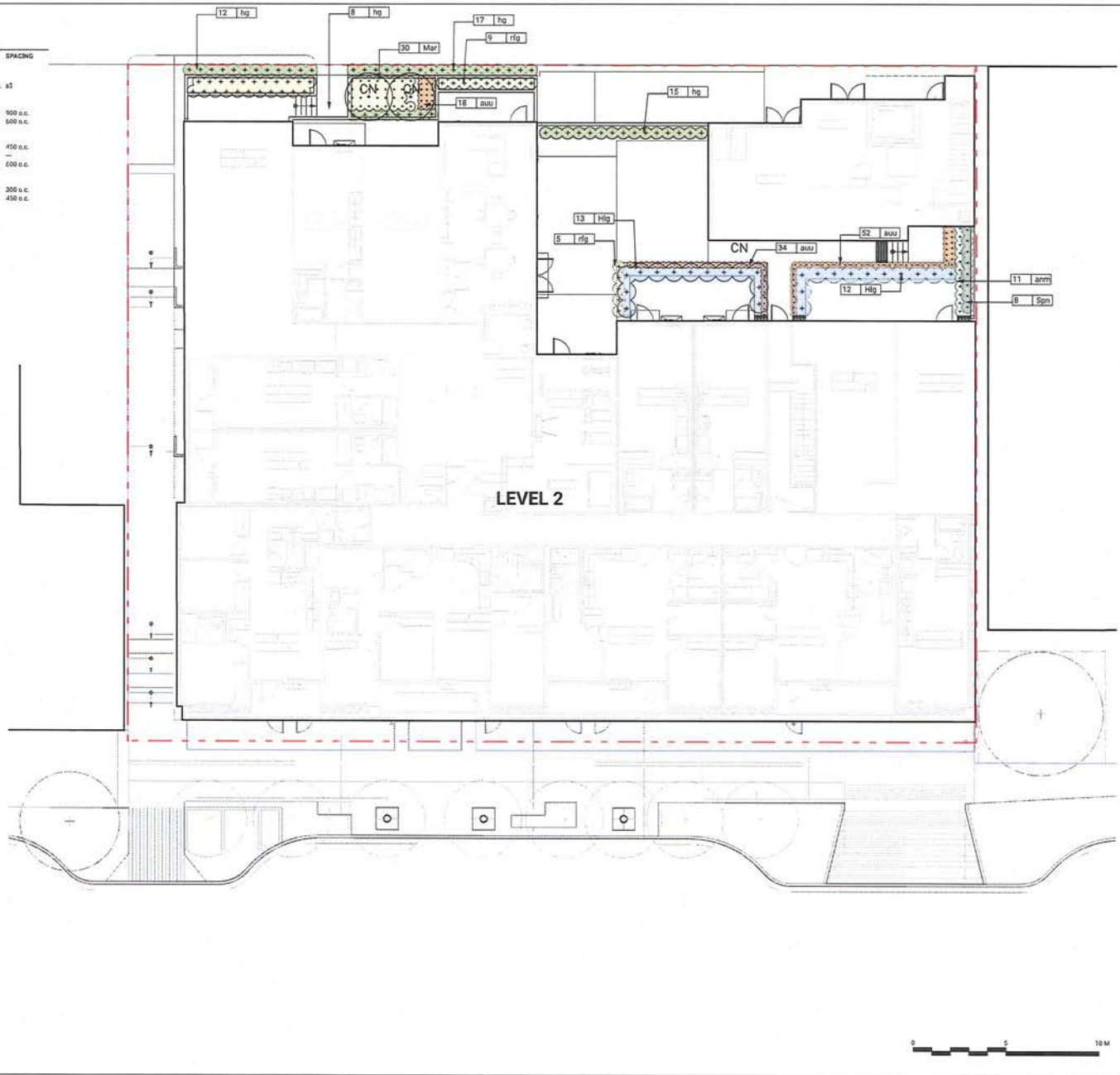
LIGHTING PLAN



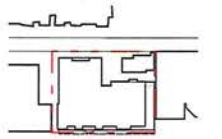
L7.01

PLANT LIS

ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
CH	7	<i>Camus nertalis</i>	Pacific flowering dogwood	3-5m, Ht. a2	
SHRUBS					
Hg	25	<i>Hydrangra Littor Gelsch</i>	Mountain Hydrangea	#3 pot	900 o.c.
Spn	8	<i>Salix purpurva 'Nana'</i>	Dwarf Arctic Willow	#5 pot	600 o.c.
PERENNIALS					
ann	11	<i>Anaphalit margaritace</i>	Fairy Everlasting	#1 pot	450 o.c.
hg	27	<i>Helle Boscamale</i>	Hosta	#2 pot	—
Hg	36	<i>Rutbeckia Fulgida Goldsturm</i>	Black-eyed Susan	#1 pot	600 o.c.
GROUNDCOVERS					
auu	104	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#1 pot	300 o.c.
Mar	30	<i>Muhlenia repens</i>	Creeping Oregon Grape	#1 pot	450 o.c.



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KEYPLAN

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ISSUE		

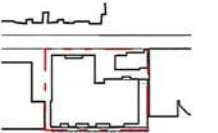
146 EAST 2nd Street

146 EAST 2nd Street
North Vancouver, British Columbia

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Project No.	06-783

PLANTING PLAN - LEVEL 03





3	RE-ISSUED FOR REZONING	2024-12-09
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1	ISSUED FOR REZONING	2024-01-12

ISSUE

146 EAST 2nd Street

146 EAST 2nd Street
North Vancouver, British Columbia

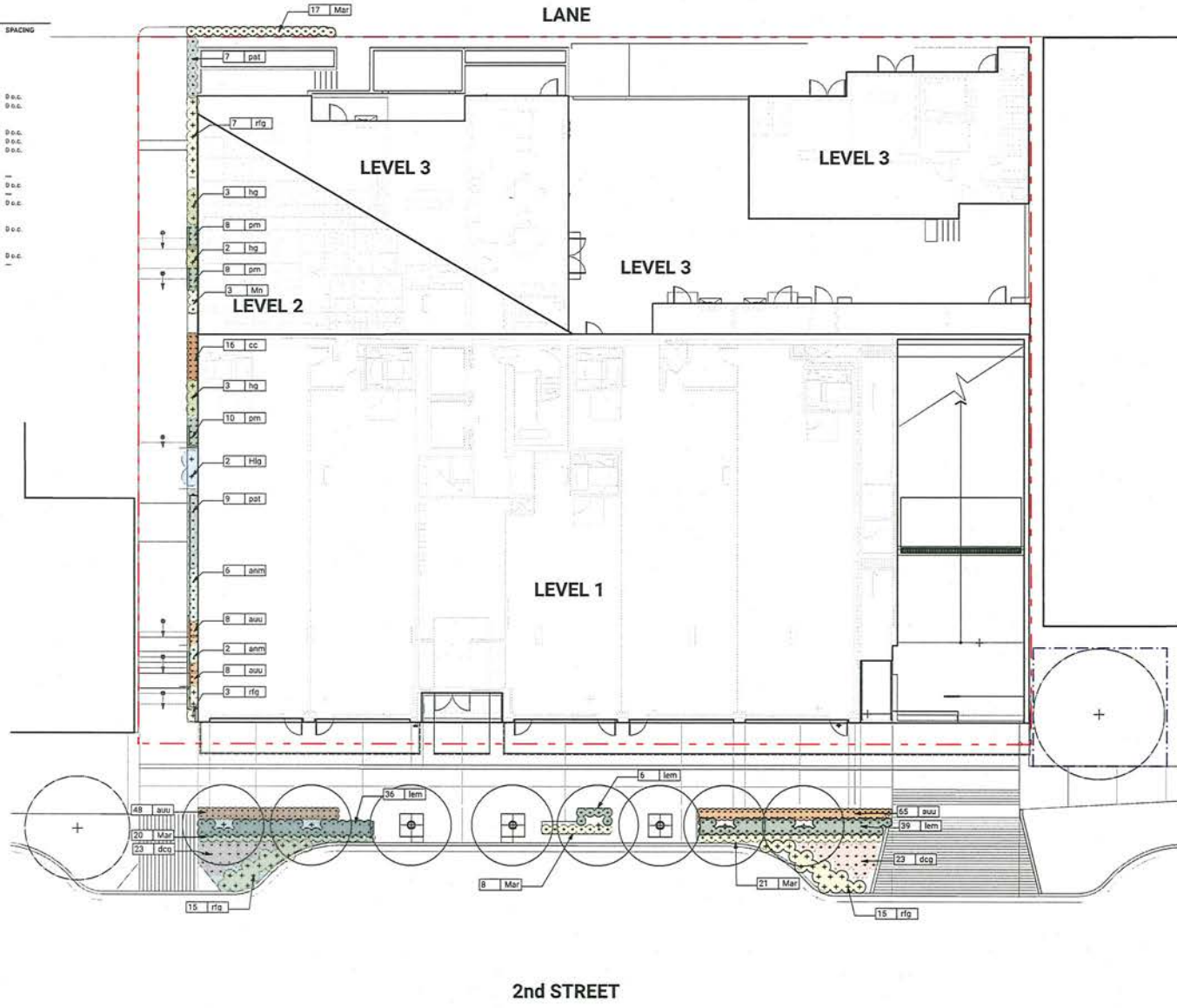
Scale:	1:100
Drawn:	RT
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Project No.	06-783

PLANTING PLAN - LEVEL
01

L6.01

PLANT LIST

ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
8 OFF-SITE STREET TREE					
SHRUBS					
Hg	2	Hydrangea Little Gishu	Mountain Hydrangea	#3 pot	D.O.C.
Mh	3	Mahonia nervosa	Dull Oregon Grape	#1 pot	D.O.C.
PERENNIALS					
pm	8	Ainslia marginata	Pearly Everlasting	#1 pot	D.O.C.
hg	8	Ficoid 'Siacama'	Hosta	#2 pot	D.O.C.
rlg	40	Rubusio fulgida 'Goldsturm'	Black-Eyed Susan	#1 pot	D.O.C.
GROUNDCOVERS					
suu	125	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	-
cc	16	Cornus canadensis	Bunchberry	#1 pot	D.O.C.
Mar	86	Mahonia repens	Creeping Oregon Grape	#1 pot	-
pat	16	Paederota tomentosa	Japanese Spurge	#1 pot	D.O.C.
FERNS					
pm	26	Polystichum munsonii	Western sword fern	#1 pot	D.O.C.
GRASSES					
dog	46	Deschampsia cespitosa 'Goldhair'	Golden Dow Tuffed Hair Grass	#1 pot	D.O.C.
lem	81	Leymus multiflorus	Dunegrass	#2 pot	-



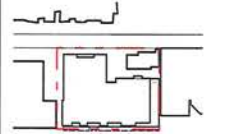
PLANT LIS

ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
CN	2	<i>Cornus nuttallii</i>	Pacific flowering dogwood	3-5m, Ht. 81	
OFF-SITE STREET TREE					
SHRUBS					
Hg	52	<i>Hydrangea Little Gieske</i>	Mountain Hydrangea	#3 pot	—
Mh	3	<i>Mahonia repens</i>	Dwarf Oregon Grape	#1 pot	0 o.c.
Sp	16	<i>Salix purpurea 'Nana'</i>	Dwarf Arctic Willow	#5 pot	600 o.c.
PERENNIALS					
am	30	<i>Anaphalis margaritacea</i>	Pearly Everlasting	#1 pot	—
hg	112	<i>Hosta 'Queen of Hearts'</i>	Hosta	#2 pot	—
rtg	112	<i>Rubus odoratus 'Goldflame'</i>	Black-eyed Susan	#1 pot	—
GROUNDCOVERS					
asu	327	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#1 pot	—
cc	16	<i>Cornus canadensis</i>	Bunchberry	#1 pot	0 o.c.
Mh	126	<i>Mahonia repens</i>	Dwarf Oregon Grape	#1 pot	—
pal	16	<i>Pachysandra terminalis</i>	Japanese Spruce	#1 pot	0 o.c.
FERNS					
pm	76	<i>Polystichum munium</i>	Western sword fern	#1 pot	0 o.c.
GRASSES					
dog	46	<i>Deschampsia cespitosa</i> Goldtau	Golden Dew Tufted Hair Grass	#1 pot	0 o.c.
lem	81	<i>Leymus mollis</i>	Dunegrass	#2 pot	—



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KEYPLAN

SEAL

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ISSUE

146 EAST 2nd Street

146 EAST 2nd Street
North Vancouver, British Columbia

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Project No.	06-783

PLANT LIST AND IMAGES

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ISSUE		

146 EAST 2nd Street

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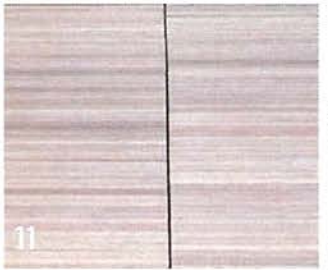
MATERIALS PRECEDENT IMAGES

L2.00

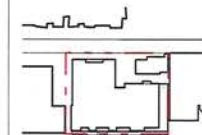
MATERIALS

DESCRIPTION

1. CAST-IN-PLACE CONCRETE PAVING (100MM THICK, LIGHT BROOM FINISH, 'CALIFORNIA' JOINTS)
2. CAST-IN-PLACE EXPOSED AGGREGATE CONCRETE PAVING (100MM THICK, MODIFIED 'CALIFORNIA' JOINTS)
3. STREETSCAPE FREE-STANDING BENCH (VICTOR STANLEY RB-28 PER CNV STANDARDS)
4. TREE GRATE (BY DOBNEY FOUNDRY PER CNV STANDARDS)
5. PLAY STRUCTURE
6. CONCRETE SLAB PAVERS (MANHATTAN PAVER BY NEWSTONE GROUP, 24" x 24" x 2")
7. CUSTOM BBQ
8. FLEXIBLE SEATING
9. COLOURFUL PLAY SURFACING
10. METAL PLANTERS
11. WOOD DECKING
12. METAL PLANTERS WITH METAL SCREEN



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KEYPLAN

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North Vancouver, British Columbia

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CONCEPT PLAN - LEVEL 03

↑ L1.03

PROGRAM LEGEND - LEVEL 02

- 1 DINNING AREA
- 2 PLAYGROUND AREA
- 3 UNIT TERRACE
- 4 OUTDOOR WORKOUT AREA
- 5 LOUNGE AREA

GRADING LEGEND

- FG / 0m PROPOSED FIELD GRADE
- TS/BS / 0m TOP OF STAIR / BOTTOM OF STAIR
- TW/BW / 0m TOP OF WALL / BOTTOM OF WALL
- 2.0% PROPOSED SLOPE

NOTE: REFER TO CIVIL FOR EXTRA GRADING

HARDSCAPE LEGEND

- ☐ PORCELAIN PAVING
- ☐ LOW IMPACT RUBBER SURFACE (COLOR AND DESIGN TBC)
- ☐ WOOD DECK

SOFTSCAPE LEGEND

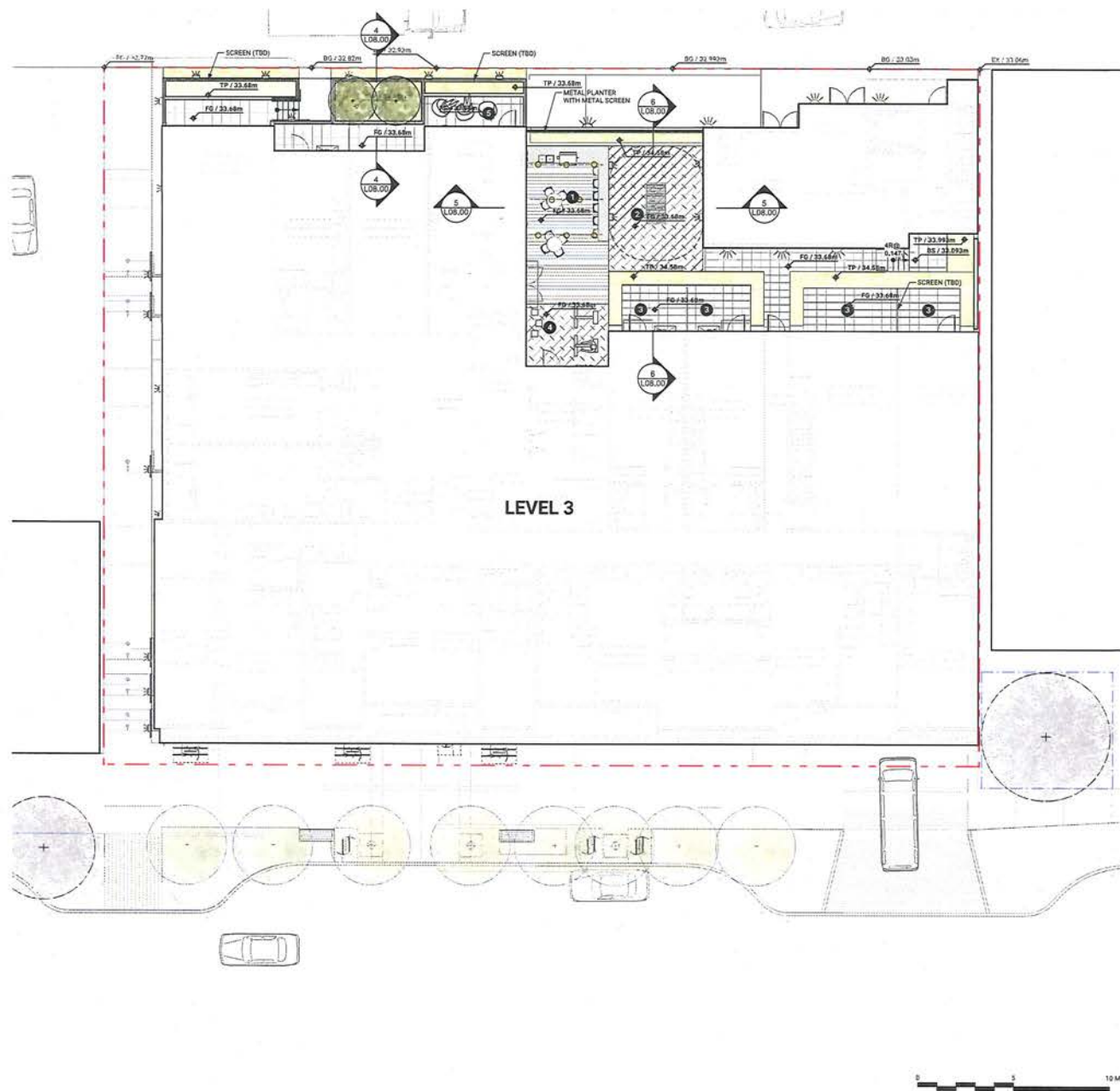
- ☐ PLANTING AREA
- 🌳 PROPOSED TREE
REFER TO PLANT LIST / PLANTING PLANS

FURNISHING LEGEND

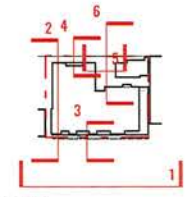
- ☐ METAL PLANTER
- ☐ BAR SEATING
- ☐ LOUNGE CHAIRS
- ☐ BBQ
- ☐ FITNESS EQUIPMENT
- ☐ PLAY STRUCTURE



SUPPLIER: Earthscape
PRODUCT: Iron Galaxy Series (Standing Height)
FINISH: matt-polyester flared frame and cloud in Accuro
SIZE: 3.3m x 4.5m x 1.6m (Refer to Manufacturer's Data)



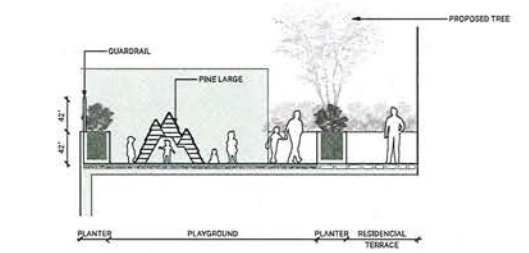
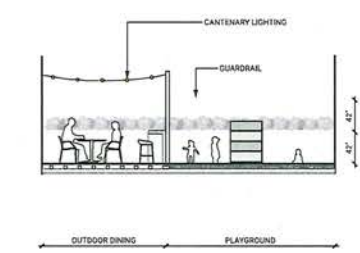
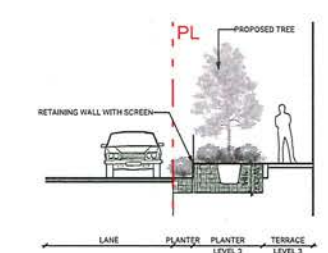
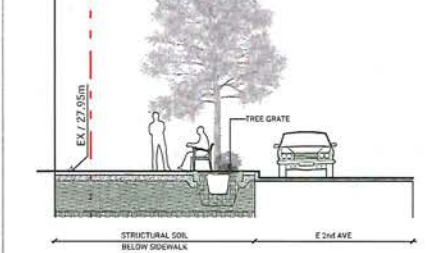
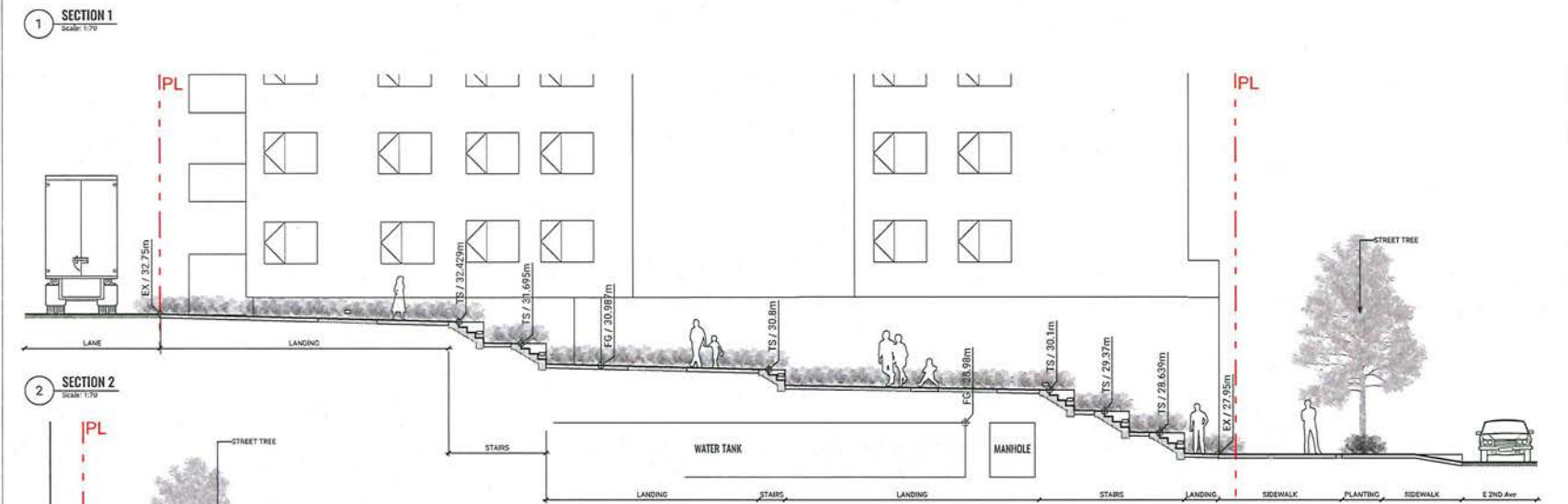
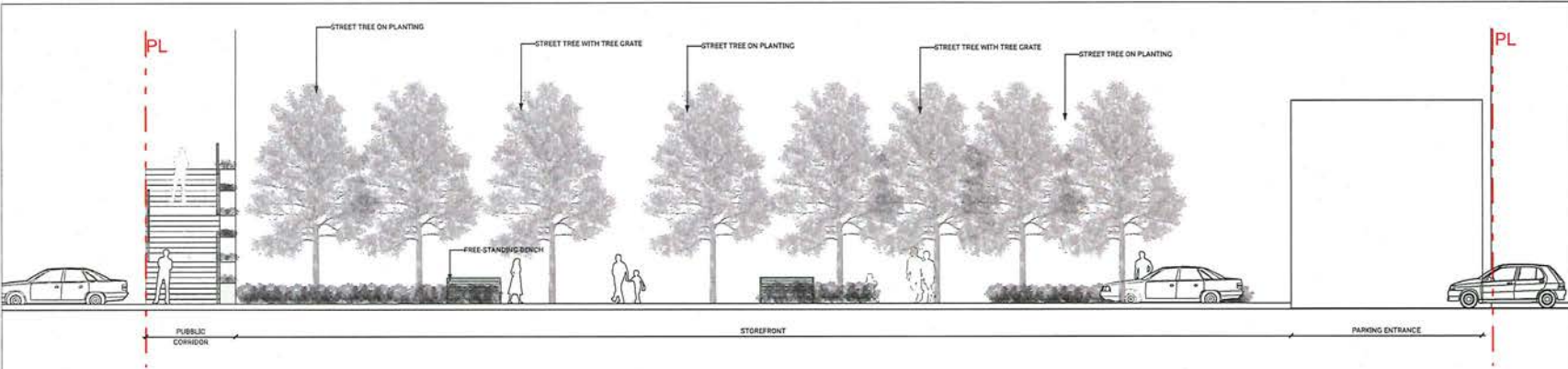
LEVEL 3



SEAL

3	RE-ISSUED FOR REZONING	2024-12-09
2	RE-ISSUED FOR REZONING	2024-01-18
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ISSUE



146 EAST 2nd Street

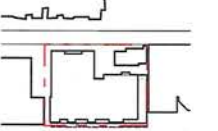
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Drawn: RT
Reviewed: OM
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SECTIONS + ELEVATIONS

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KEYPLAN

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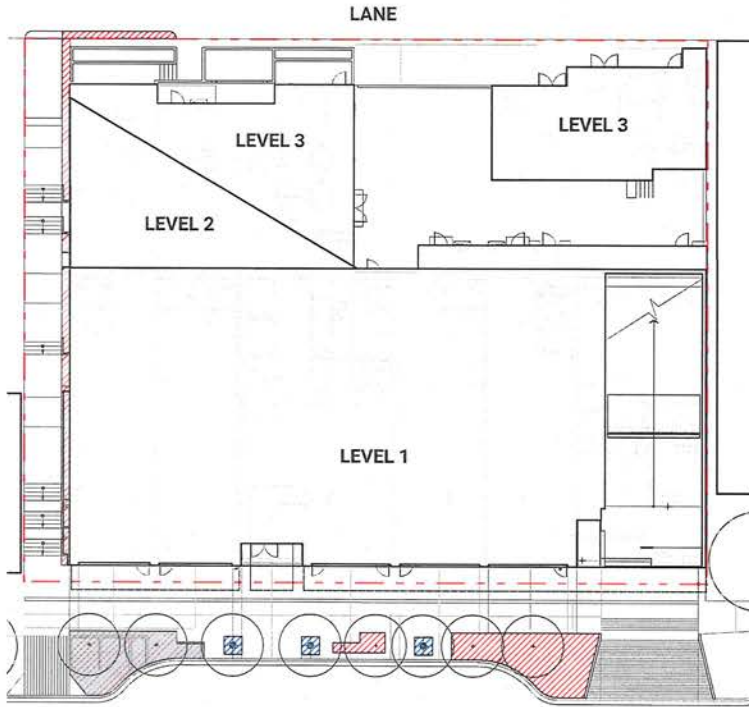
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IRRIGATION PLAN

↑ L7.02

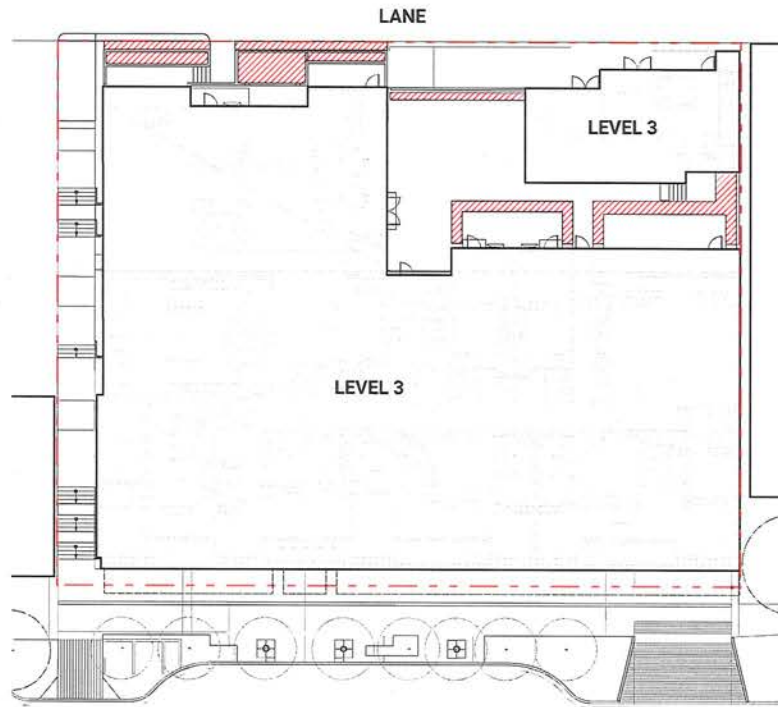
IRRIGATION LEGEND

KEY	DESCRIPTION
	MAIN CONNECTION 35' COUPPL @ 50 PSI AT STUB-OUT
	STUB-OUT REFER TO ELECTRICAL & MECHANICAL
	TIME CLOCK



2nd STREET

1 LEVEL 01 IRRIGATION
Scale: 1:150



2nd STREET

2 LEVEL 02 IRRIGATION
Scale: 1:150



Overview of Zoning Variances

The following provides a summary and overview of the proposed zoning variances associated with the proposed development at 146-160 East 2nd Street:

Table 1. Summary of Proposed Zoning Changes

	BASE LL-4 ZONE	PROPOSED CD-769 ZONE
Permitted Principal Uses	Retail-Service Group 1 Accessory Residential use (permitted on a floor level above the second floor) Accessory Parking Uses Tourist Accommodation Use Civic Use	Retail-Service Group 1A Accessory Rental Residential Apartment Uses (permitted on the second storey and above) Accessory Parking Uses
Principal Buildings	One per lot	No change to the current LL-4 base zone
Density Maximum	2.6 FSR	3.6 FSR (as per the OCP)
Lot Coverage Maximum	90%, reduced to 35% above the second Storey	90% reduced to 68% above the second storey
Height Maximum	23.012 metres (75.5 feet)	No change to the current LL-4 base zone and OCP height limit
Siting	3.0 metres (10 feet) from a rear lot line or a flanking lane	Principal Building shall be sited in accordance with the following: <u>Front Lot Line</u> (southern boundary) 1. No less than 0.5 metres (1.6 feet) to the basement levels; 2. No less than 1 metre (3.3 feet) to ground level walls; 3. No less than 1.8 metre (5.9 feet) to upper level walls; 4. No less than 1.1 metres (3.6 feet) to an unenclosed balcony. <u>Rear Lot Line</u> (northern boundary) 1. No less than 0.5 metres (1.6 feet) to the basement levels; 2. No less than 0.5 metres (1.6 feet) to walls between ground level and level 2 (lane level); 3. No less than 3.0 metres (9.8 feet) to all upper level walls; 4. No less than 1.1 metres (3.6 feet) to an unenclosed balcony. <u>Interior Side Lot Line</u> (western boundary): 1. No less than 3.0 metres (9.8 feet) to the basement levels; 2. No less than 3.0 metres (9.8 feet) to ground level walls;

	BASE LL-4 ZONE	PROPOSED CD-769 ZONE
		3. No less than 2.6 metres (8.5 feet) to upper level walls and unenclosed balconies. <u>Interior Side Lot Line</u> (eastern boundary): 1. No less than 0 metres to the basement levels; 2. No less than 0 metres to walls between ground level and the upper residential levels; 3. No less than 4.1 metres (13.4 feet) to walls at two uppermost levels; 4. No less than 2.0 metres (6.5 feet) to an unenclosed balcony.
	All portions of Principal Buildings exceeding four storeys shall be sited at least 24.4 metres (80 feet) from all portions of other Principal Buildings exceeding four storeys	All portions of Principal Buildings exceeding four Storeys to be sited at least 17 metres (55.7 feet) from all portions of other Principal Buildings exceeding four storeys.
Building Width & Length	Shall not exceed a horizontal width or length of 51.8 metres (170 feet) above the second storey and 30.5 metres (100 feet) above third storey	Maximum building width and length shall not exceed a horizontal width or length of; 1. 51.8 metres (170 feet) above the second storey; 2. 39.6 metres (130 feet) above the fourth story.
Limitation of access	For a Lot abutting on both an opened Street and an opened lane, vehicular access shall be from the lane. No access will be permitted from the Street, except for a service station Use, a Civic Use or a passenger pick up and drop off use.	Access is permitted from the East 2 nd Street.

Justification for Variances

Vehicle Access arrangement

The applicant seeks to vary the limitation of access to allow vehicle access to the site from the East 2nd Street, rather than from the lane as required by Section 906 (4)(c)(i).

Staff support this variance on the following basis:

- The subject site is defined by a steep grade, with an approximate 5.0m height difference from a high point along the northern boundary (lane level), to a low point along the southern boundary (East 2nd Street). Given the steep slope defining the site, coupled with the narrow lot depth, requiring access from the northern lane would result in a vehicle access ramp with a very steep grade, which would eliminate any active commercial retail use spaces being able to establish along the East 2nd Street frontage.

On this basis, the proposed development has been designed with an access point from East 2nd Street to ensure that a suitable commercial retail space is being provided in the urban core, consistent with the goals of City's Economic Strategy.

- The proposed access arrangement is consistent with nearby developments approved recently along 2nd Street, which faced similar site constraints. This includes 222 East 2nd Street, to the east of the subject site.
- Consistent with the recommendations of the applicant's Transportation Planner, the parkade access at East 2nd Street has been designed to have sufficient sightlines for vehicle users and vehicle warning systems and convex mirrors to ensure pedestrian safety.
- The subject site is located in a centralised location with access to a full range of services along the Lonsdale corridor. The proposed development has provided 190 bicycle parking spaces for residents, which exceeds the Zoning Bylaw requirements by 76 spaces. Additionally, 38 of the required resident bicycle parking spaces are provided as larger cargo bicycle parking spaces. On this basis, the proposal will encourage residents to utilise active modes of transportation, rather than rely on private vehicle trips.

Lot Coverage

The application seeks a minor variation to the Lot Coverage requirements set for the Lower-Lonsdale 4 (LL-4) zone:

- Instead of an upper level massing of 35% lot coverage, the application proposes an upper level massing of 68% lot coverage.

Staff support this variance on the following basis:

- The proposed increase in lot coverage for the upper levels of the building have been proposed to support the construction of a 6-storey wood-frame rental building on the subject site, within the density allowance in the OCP.
- It is important to acknowledge that the proposed site coverage of 71% to the lower levels is significantly less than the requirement of the current LL-4 zone, being 90%.
- While the OCP does not protect private views as a consequence of redevelopment, the reduction in building height from 8 storeys to 6 storeys provides a benefit to surrounding buildings by increasing potential views to the south.
- Upper floor level elevations are stepped back from their corresponding boundaries to provide separation to existing buildings on surrounding sites, ensuring access to sunlight and a reasonable level of privacy for adjoining residents. The proposed setbacks will also reduce the perceived scale and bulk of the building when viewed from the streetscape.
- The 35% lot coverage above the second level is based on the LL-4 base zone's density of 2.6 FSR. To ensure the full OCP FSR (i.e. 3.6 FSR) is realized within the 6-storey height envelope, it is not uncommon to vary the lot coverage for the upper levels. Nearby examples of such, approved variations included:
 - CD-753 (119 East 2nd);

- CD-648 (117-135 West 1st Street);
- CD-716 (309-311 West 1st Street);
- CD-729 (200 West Esplanade).

Siting Requirement and Tower Separation

The proposed development will result in minor variation to the rear boundary siting requirements for the LL-4 zone.

Further, the development proposes a minor variation to the tower separation requirement of 24.38 metres (80 feet). Specifically, a very small portion of Levels 5 and 6 will be separated by a minimum of 17.0 metres (55.7 feet) from the nearby tower on the site at 172-180 East 2nd Street.

Staff support the proposed variances on the following basis:

- It is important to consider that the subject site is designated Mix-use Level 4 in the OCP, and the base zone of the project is LL-4, consistent with nearby developments. The LL-4 zone only dictates rear boundary setbacks and tower separation for new developments in this part of the City to enable construction of mixed use built forms.
- The siting at the ground level is required in order to meet commercial operational function of the podium base, and is considered appropriate for this location. The proposed site coverage for the podium levels is also significantly less than the 90% limit set for the LL-4 zone.
- Attention has been paid to the eastern boundary edge, to ensure an appropriate side boundary setback of 4.1 metres has been achieved above the fourth level to create suitable separation to the adjoining building to the east (i.e. 172-180 East 2nd Street). Additionally, the proposed residential units along the eastern elevation have been designed to limit the number of habitable rooms, balconies and windows facing the side boundary, to reduce potential privacy issues.

The proposed variance to tower separation is considered minor, and will not result in any additional overlooking impacts to nearby residents in comparison to a compliant building. It is anticipated that a future redevelopment of the nearby site at 172-180 East 2nd Street can be designed to meet the required tower separation distance.

- The variance to rear boundary setback is limited to attached, unenclosed balcony structures. As such, these elements do not add to the perceived bulk of the building, and facilitate the provision of suitable private recreation areas for residents. It is also important to acknowledge that the bulk of building has been designed with a rear boundary setback of approximately 12.5 metres, balancing the minor variance requested. The proposed built form outcome is determined to be appropriate for this location.

Building Width and Length

The proposed development will result in a variation to the maximum building width and length requirements set for the LL-4 zone, specifically being 30.48 m (100 ft). The proposed development results in a maximum building width of 39.0 m (128 ft) above the fourth storey for the northern elevation only.

Staff support this variance on the following basis:

- The proposed elevations have been designed with appropriate articulation along the length of the building, including steps in the building line, and inclusion of recessed balconies. The building also adopts a contemporary design, which utilizes a variety of façade materials. These built form elements appropriately break up the form of the building and reduce the perceived building bulk.
- The building width and length standards are regularly varied in individual Comprehensive Development Zones to ensure a functional built form outcome is established.

Visitor and Commercial Vehicle Parking

The development involves a minor variation to the proposed visitor and commercial vehicle parking. Specifically, only 6 residential visitor car parking spaces will be provided in lieu of the required 8 spaces. Further only 6 commercial car parking spaces will be provided in lieu of the required 8 spaces.

Staff support this variance on the following basis:

- The development has proposed to allocate 2 vehicle parking spaces as being shared between residential visitor spaces and commercial users.
- Given the commercial parking and residential visitor parking will have different peak use times, the shared arrangement for these 2 spaces will make better use of the overlapping parking demands generated by the commercial uses and residential visitors. Use of the visitor car parking space will be managed through the strata of the building, and the terms can be outlined in the development covenant.
- Given the sites centralized location, there is expected to be a reduced demand for parking on the site, and therefore the proposed variance is supported.



ADVISORY DESIGN PANEL
CITY OF NORTH VANCOUVER
141 WEST 14TH STREET
NORTH VANCOUVER
BC / CANADA / V7M 1H9

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January 26, 2023

VIA EMAIL: rdebeer@anthemproperties.com

Riaan de Beer
Vice President, Development
Anthem Properties Group
Suite 1100 Bentall IV Box 49200
1055 Dunsmuir Street
Vancouver, BC V7X 1K8

Dear Mr. de Beer,

Re: 146-160 East 2nd Street (Rezoning Application)

This will confirm that at their meeting on January 18, 2023, the Advisory Design Panel reviewed the above submission and endorsed the following resolution:

“THAT the Advisory Design Panel has reviewed the Rezoning Application for 146-160 East 2nd Street and recommends approval subject to addressing the following issues to the satisfaction of the Development Planner:

- further design development for vehicular access of East 2nd Street, pertaining to vehicular and pedestrian safety;
- further design development to ensure CPTED concerns around landscaping and building interface across the lane;
- further design development of the west property line balcony interface with adjacent buildings for proximity and safety concerns;
- further design development for wayfinding and building residential entrance, differentiation from commercial;
- further design development for north-south right of way connector, to improve pedestrian interface and urban realm, CPTED and lighting; and
- further design development of south residential massing, relative to midrise and podium interface;

AND THAT the Panel wishes to thank the applicant for their presentation.”

The recommendations of the Advisory Design Panel pertain only to site-specific design and site planning considerations and do not, in any way, represent Council and staff approval or rejection of this project.

Yours truly,

A handwritten signature in blue ink that reads "T. Huckell".

T. Huckell
Committee Clerk-Secretary

Cc: D. Johnson, Development Planner, Planning and Development
M. Menzel, Planner 2, Planning and Development

Document Number: 2323637-v1



December 1, 2022

David Johnson
Planning Department
141 West 14th Street
North Vancouver, BC V7M 1H9
djohnson@cnv.org

Dear Mr. Johnson,

RE: Virtual Developer Information Session: 146 East 2nd Street

Anthem is pleased to provide the following summary of the applicant hosted Virtual Developer Information Session (DIS) for 146 East 2nd Street in the City of North Vancouver.

Introduction

Anthem has submitted a rezoning application to the City of North Vancouver to permit the redevelopment of 146 East 2nd Street. The proposed development has been designed in accordance with the Official Community plan and consists of:

- An eight storey, mixed use building;
- 68 stratified market homes;
- Retail at grade in the form of double height retail units with mezzanine level;
- A public midblock pedestrian connection between East 2nd Street and the lane; and
- Three levels of underground parking with 107 vehicle parking spaces and 148 bicycle parking spaces.

Virtual DIS Details

Date: Wednesday, November 9, 2022

Time: 6:00PM-6:30PM: Presentation
6:30PM-7:30PM: Q & A

Format: Zoom Webinar

Number of Attendees: 18 (excluding City and Applicant team representatives)

Comment Forms Submitted: 3

DIS Public Notification and Website

The public was notified of the Virtual DIS through three different mediums in accordance with the City of North Vancouver's requirements:

- **Mail-out:** Notification postcards (Appendix A) were sent via Canada Post to approximately 700 residents, non-resident homeowners, and businesses located within the notification area map and spreadsheet provided by the City of North Vancouver.
- **Site sign:** A notification sign was erected on the property on Monday, October 24, 2022 to inform the public of the application and Virtual DIS details (Appendix B).
- **North Shore News advertisements:** An advertisement notifying the public of the Virtual DIS ran in two consecutive editions of the North Shore News on October 26, 2022 and November 2, 2022 (Appendix C).

In addition to the required public notification materials, a project website was established: www.146East2nd.com. The website was accessible to the public and could be used to both access the information included in the public notification material, and to register to participate in the Virtual DIS.

DIS Format and Registration Summary

Individuals who wished to participate in the Virtual DIS were instructed to register in advance at www.146East2nd.com. Upon submitting their contact information, registrants received a confirmation email. In advance of the DIS, a reminder email with the Zoom Webinar meeting details and a comment card was sent. Those without access to a computer/internet were provided the option to call the applicant to receive a dial-in number in order to attend via telephone.

The meeting was hosted by the applicant and began with introductory remarks and a full review and explanation of how attendees could participate in the Q & A period. The applicant team then gave a presentation. Following the presentation, the applicant team took questions from participants, and encouraged participants to complete and submit the comment form.

DIS Question and Answer Period Summary

The applicant team took questions from participants for a scheduled period of one hour. After 30 minutes (at approx. 7:00pm), all the participants had finished their questions and had left the meeting. The applicant team remained online in case any latecomers arrived, however none did. Recurring themes during the question and answer period included:

- Construction: duration, impact on neighbouring buildings, etc.
- Mid-block connection: width, accessibility, safety/lighting, etc.
- Housing: housing type, number of units, unit sizes, balconies, etc.

- Tower separation to the east
- Commercial space: amount, format (two floors), commercial facing the mid-block connection, etc.
- Public Art: location, contribution amount/budget, etc.

Comment Form Results

A total of three completed comment forms were submitted (Appendix D).

Summary of the completed comment forms:

1. Do you support the proposed project?
 - Yes: two respondents (66.7%)
 - No: one respondent (33.3%)
 - Undecided: no respondents (0%)
2. Do you have any concerns about the proposed project?
 - Unit sizes (too small)
 - Traffic
 - Amount of construction in the area
3. What do you like about the proposed project?
 - Style of the building
 - New retail space / mix of commercial and residential
 - Mid-block connection / alley access
 - Concrete construction
4. What would you suggest to change or improve the proposed project?
 - Delay the project 10 years
 - Add more storeys
 - Add raised edge on balconies and drainpipe
 - Resident amenities/benefits: Tinted windows, air conditioning, car wash, craft room, meeting room, gym, EV charger for every car stall, two parking stalls per unit, gas fireplace, fibre internet, etc.
5. Additional comments
 - Current site is under utilized and in need of revitalization
 - Support for new developments and rezoning to increase the dwelling capacity in North Vancouver and Greater Vancouver
 - Comments directed toward CNV: avoid high-rises right at the waterfront; stop narrowing streets and eliminating vehicle parking.

Appendices

- **Appendix A:** Public Notification Postcard
- **Appendix B:** Photo of Site Sign
- **Appendix C:** North Shore News Advertisements
- **Appendix D:** Copies of Completed Comment Forms

Should you have any additional questions regarding the Virtual Developer Information Session, please do not hesitate to contact me.

Sincerely,



Emily Howard
Director, Community Relations
Anthem Properties Group Ltd.
Direct 604 235 3182
ehoward@anthemproperties.com

Appendix A

Public Notification Postcard



Virtual Developer Information Session

Early Public Comment Opportunity – Rezoning Application
146 East 2nd Street

Date & Time: Wednesday, November 9, 2022
6:00PM - 6:30PM: Presentation
6:30PM - 7:30PM: Q&A

Format: Online Zoom Meeting

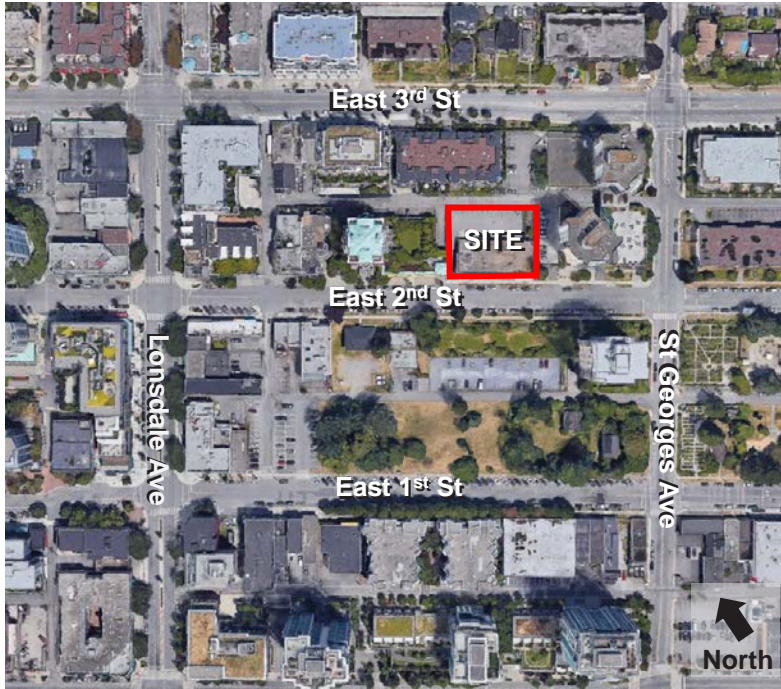
How to Participate:

Please register in advance at: www.146East2nd.com

If you do not have access to the internet and would like to attend via telephone, please contact Emily Howard at **604-235-3182**.



Name
Address



City of North Vancouver Contact

David Johnson
Planning Department
141 West 14th Street, North Vancouver, BC V7M 1H9
djohnson@cnv.org
Telephone: 604-990-4219

Anthem has submitted a rezoning application to the City of North Vancouver to permit the redevelopment of 146 East 2nd Street. The proposed development has been designed in accordance with the Official Community plan and consists of:

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- Three levels of underground parking with 107 vehicle parking spaces and 148 bicycle parking spaces.

Interested members of the public are invited to attend the virtual Developer Information Session (DIS) with the applicant team for an opportunity to review the proposal, ask questions, and submit a comment form.

Applicant Contact

Emily Howard
Anthem Properties Group Ltd.
1100 – 1055 Dunsmuir Street, Vancouver, BC V7X 1K8
ehoward@anthemproperties.com
Telephone: 604-235-3182



Appendix B

Site Sign

Sign Location: 146 East 2nd Street



Appendix C

North Shore News Advertisements

Virtual Developer Information Session

Anthem has submitted a rezoning application to the City of North Vancouver for 146 East 2nd Street to support the development of an eight-storey strata residential development with double height ground-floor retail.

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Emily Howard
Anthem Properties Group Ltd.
ehoward@anthemproperties.com
Telephone: 604-235-3182

City of North Vancouver Contact

David Johnson
Planning Department
djohnson@cnv.org
Telephone: 604-990-4219



This meeting is required by the City of North Vancouver as part of the development process.



Mah encourages civic engagement

Continued from page 28

although that's now likely to change.

"Especially for the younger generation, for sure.... It has taken a very long time but I think we are finally here," he said. "You can make a difference and participate in elections. And once you participate, then obviously, politicians will take note and your needs and wants will be heard more."

Although he had some dedicated Iranian Canadian volunteers on his team, most of his votes were from the broader community, Shahriari acknowledged.

"I just look forward to putting my skills to work for the entire North Vancouver city population," he said.

Shahriari's joining council isn't the only first from this election. Herman Mah now likely has the distinction of being the first person of colour elected to District of North Vancouver council.

"I looked at some of the [council] photos in the lobby the other day, and yeah, it could be," he said. "If I'm the first person of colour to be elected to the district council, that's pretty cool."

Mah was born in East Vancouver to immigrant parents. The values he holds today are derived from the values he learned from his family, he said.

"I think this brings some more variety and depth of personal experience," he said. "It brings a different perspective and, hopefully, we get a fuller understanding of issues."



Herman Mah now likely has the distinction of being the first person of colour elected to DNV Council. HERMAN MAH

While North Vancouver doesn't have quite so large a Chinese community, Mah said he hopes his being elected will encourage others to become more engaged. And he added, he hopes people voted for him based on his message, not the origin of his name.

"I respect my cultural background but I feel like I'm Canadian first," he said.

The North Shore's school boards both became a bit more diverse in this election, with Felicia Zhu, originally from China, elected to the West Vancouver school district and Lailani Tumaneng, who is from the Philippines, elected in North Vancouver.

In the 2018 election, Marcus Wong became the first person of colour elected to West Vancouver council and Tina Hu the first Chinese-born immigrant elected to City of North Vancouver council.



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Virtual Developer Information Session

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ehoward@anthemproperties.com
Telephone: 604-235-3182

City of North Vancouver Contact

David Johnson
Planning Department
djohnson@cnv.org
Telephone: 604-990-4219



This meeting is required by the City of North Vancouver as part of the development process.



Protester released on bail after five days in jail

CORNELIA NAYLOR / BURNABY NOW
cnaylor@burnabynow.com

A North Vancouver computer programmer charged with mischief in relation to old-growth logging protests in Burnaby, Vancouver and the North Shore has been released on bail after spending nearly five days in jail.

Benjamin Donald Holt, 52, was taken into custody on Lions Gate Bridge at about 1:30 a.m. on Oct. 20 after police responded to a protest action by Save Old Growth, a group calling for the end of old growth logging in B.C. The protesters were in the process of painting a 50-metre "Save Old Growth" stencil onto the middle lane of the bridge but only got as far as "Save" before police arrived, according to information presented at a bail hearing Monday.

Crown prosecutor Ellen Leno argued Holt should remain in custody.

She noted he was already facing two previous mischief charges for earlier protests when he was arrested again.

On April 18, he had perched atop an eight-foot ladder and held out two coloured smoke sticks billowing the green and yellow colours of Save Old Growth during a demonstration that saw protesters block the westbound lanes of Grandview Highway in Burnaby at the height of the morning commute.

On June 14, he was one of three protesters who glued themselves to the road when Save Old Growth blocked the westbound lane of the Upper Levels Highway near the Horseshoe Bay ferry terminal.

Holt had been released under conditions banning him from blocking traffic, but Leno presented photos and videos suggesting he might have been at a Lions Gate Bridge protest on Aug. 2 doing just that.

Leno said charges may be laid against Holt in that protest as well.

"He seems rather entrenched in his views and his ongoing offences despite the bail conditions that he's on," Leno said.

Defence lawyer Benjamin Isitt argued Holt should be released on \$1,500 bail and said Holt's wife was in court ready with the cash.

Isitt noted Holt, a father of two teenagers, didn't have a criminal record and his alleged offences didn't involve violence or the threat of violence, so denying him bail would be



Anti-logging protester Ben Holt holds up traffic on a ladder in the middle of Grandview Highway in Burnaby on April 18. SAVE OLD GROWTH

unreasonable.

Isitt also argued Holt wasn't breaching his bail conditions last Thursday because there was little traffic on the bridge at that time of the morning and the middle lane was closed.

"He is a person of good character who is motivated by genuinely held concerns rooted in a consensus of scientific research that the climate crisis poses an existential threat to humanity and to other species and that urgent action is necessary to change course," Isitt said.

But B.C. provincial court judge Nancy Adams said, "No matter how commendable the cause, breaking the law in this sense is clearly undermining the rule of law."

She said her decision needed to take public safety into account.

"In my view, all of the things I've heard about on the three days he's charged involve public safety, whether anyone was harmed or not," she said.

Given Holt's actions this year and his commitment to the cause, Adams said there was a "substantial likelihood" he would commit another offence if he was released, but she concluded keeping him in jail wasn't the only way to mitigate that risk.

She released him on a \$1,500 cash deposit bail with a number of conditions, including a ban on blocking or impeding traffic or pedestrians on any road or highway and a ban on any protest activities on any road or highway.

"I'm trying to prevent any further criminal charges here or criminal activity," Adams said. Holt's next court dates are scheduled for Nov. 15 and Dec. 2.

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volunteerBCY@redcross.ca
604-709-6687

The Canadian Red Cross is currently seeking Client Services, Delivery and Technician volunteers for the **Health Equipment Loan Program (HELP)**. No prior experience required. Schedules are flexible.



Virtual Developer Information Session

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This meeting is required by the City of North Vancouver as part of the development process.



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June 17, 2024

Matthew Menzel
 City of North Vancouver
 141 West 14th St.
 North Vancouver, BC V7M 1H9

Re: 146 East 2nd Street – Summary of Community Engagement

To Mr. Menzel:

Anthem is providing an updated summary of community engagement with respect to our proposed redevelopment of 146 East 2nd Street. Supporting material is enclosed for your reference.

Initial Application

- Early in the process, the residents at 155 East 2nd St. (the Solano strata) were identified as important stakeholders with an interest in Anthem's future development plans due to their building's location immediately to the north of the subject site, across the lane.
- Anthem took a proactive approach and reached out to the Solano strata council to inform them of our application submission, provide advance notice of an upcoming Developer Information Session, and to offer a presentation to their Strata Council to address their specific questions and concerns. The presentation took place on November 8, 2022 and a copy of the presentation was provided to the Solano to share with their entire strata.
- A Developer Information Session (DIS), following all CNV requirements, was held the following evening on November 9, 2022. In total, 13 people attended and 3 comment forms were submitted. A copy of the DIS report is enclosed, along with a copy of the DIS presentation (the same presentation material was shared with the Solano on November 8, 2022).
- Anthem solicited questions and feedback from the public, and contact information (my direct phone number and email address) was widely distributed throughout the community via an invitation mail-out to approx. 700 neighbours, two North Shore News ads, and a site sign. Furthermore, contact information for City staff was also provided.
- Following the DIS, no further project inquiries were received from the public other than from residents of the Solano who were curious about the project timeline.

Application Resubmission

- Following resubmission of the application in early 2024, Anthem engaged directly with its immediate neighbours to advise them of the proposed changes. This includes:
 - The Solano (strata condo, 155 East 3rd St. – see map "A")
 - The Olympic (strata condo, 130 East 2nd St. – see map "B")
 - Twin Towers (two rental towers, 172 East 2nd St. and 241 St. George's Ave. see – map "C")
- The Solano:
 - Since the fall of 2022, Anthem has maintained contact with the Solano and provided them with advance notice that changes were being made to the application.
 - Anthem hosted a second presentation for the Solano strata council on March 7, 2024, to review the changes and answer their questions. The presentation was well-received, and Solano residents have provided no further feedback.
- The Olympic:
 - An information package on the revised application was shared with the Olympic in spring 2024. Anthem offered to discuss the resubmission and answer residents' questions, however no feedback was received.

- Twin Towers:
 - Since late 2023, Anthem has maintained cordial contact with the building manager at the Twin Towers.
 - In spring of 2024, the building manager was advised of the resubmission and the changes that were made. A copy of the same information package that was shared with the Solano was also shared with the Twin Towers management. No further feedback has been received.
 - Based on the minimal feedback received from the community, and the additional neighbour outreach performed by Anthem following the resubmission, discussions with City Staff indicated that an additional DIS was not necessary.



Anthem will continue to foster open communication with our neighbours throughout the municipal approval process and during future construction, at which time we will diligently follow the City's Good Neighbour Program.

Should you have any further questions, please don't hesitate to let us know. We look forward to your feedback.

Sincerely,



Emily Howard
Director, Community Relations
Anthem Properties Group Ltd.
Direct 604 235 3182
ehoward@anthemproperties.com

Copy of Virtual DIS Presentation



146 E 2nd Street

North Vancouver

Virtual Developer Information Session

November 9, 2022



Welcome

to the

**Virtual
Developer
Information
Session**

146 E 2nd Street

North Vancouver

About Anthem

Founded in 1991 and operating across British Columbia, Alberta, and California, Anthem is a team of 500 people driven by creativity, passion and direct communication.

Anthem is a real estate development, investment and management company that strives, solves and evolves to create better spaces and stronger communities.

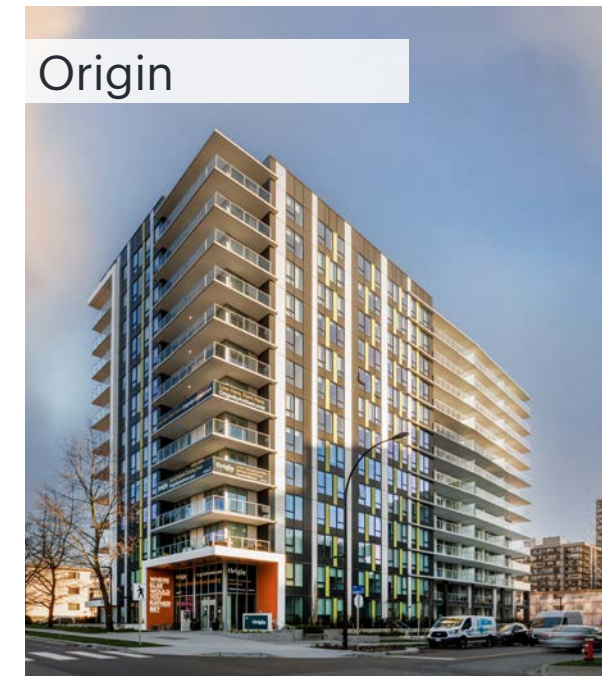
Anthem is committed to North Vancouver's future with several communities planned or built throughout the region.

We are Growing Places

Baden Park



Origin



Sunshine Market



West Third



Key Consultants



Connect LA is a full-service landscape architecture firm based in Vancouver, British Columbia. Over 35 years of award-winning success make Connect a recognized leader in the design and transformation of healthy, vibrant communities. Connect's specialty is in the planning, design, and delivery of public and civic gathering spaces, places to work and socialize, to live, to rejuvenate and connect with. Connect's diverse portfolio in planning, design, and creation of liveable places for people is exemplified by their passion for landscapes, love for their craft, and their vision – to connect people to their environment through meaningful design.

■ dys architecture



dys is a professional consulting firm established in 1982 for the practice of Architecture, Planning, Urban Design, and associated Research, providing a diverse portfolio of projects completed throughout BC and beyond. The firm's history began with residential projects focusing on social housing throughout downtown Vancouver and the practice was quickly recognized for its good design and high-quality work. Today, their project types include market and non-market housing, health care, senior's housing, institutional projects, and master planning, contributing well over 25,000 housing units and significant urban and master plan projects. **dys** is focused on uniting people, ideas, and design to create architecture for life.

Site Context

Site Information:



Address:

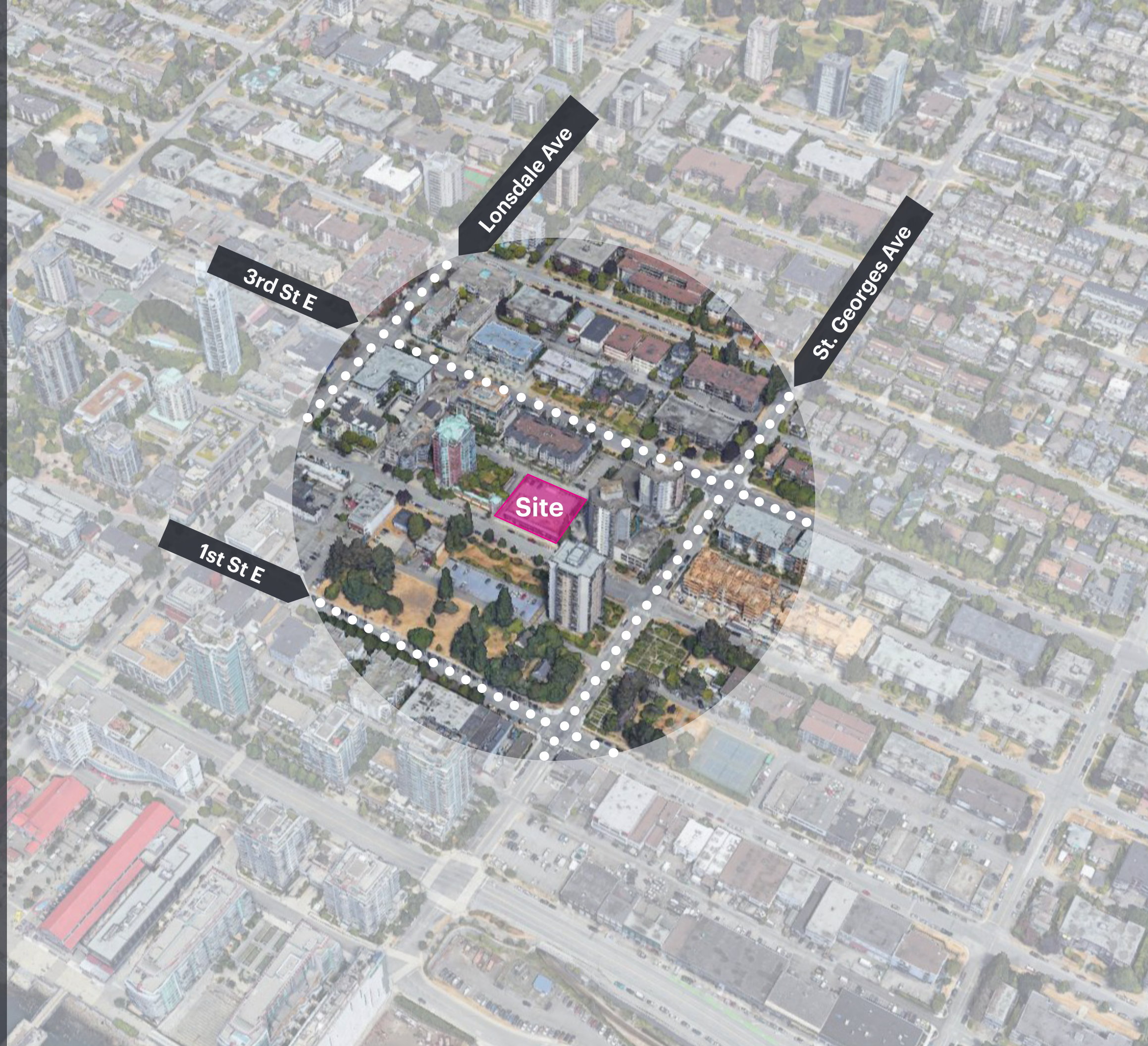
**146 E 2nd Street
North Vancouver**

Current Use:

2-storey commercial

Lot Size:

17,968 ft² (1670m²)



Official Community Plan (OCP)

Land-Use Designation:

Mixed-Use Level 4A (High Density)

Purpose:

To allow for a mix of higher-density multi-family and commercial uses in Lower Lonsdale

Maximum Allowable Density:

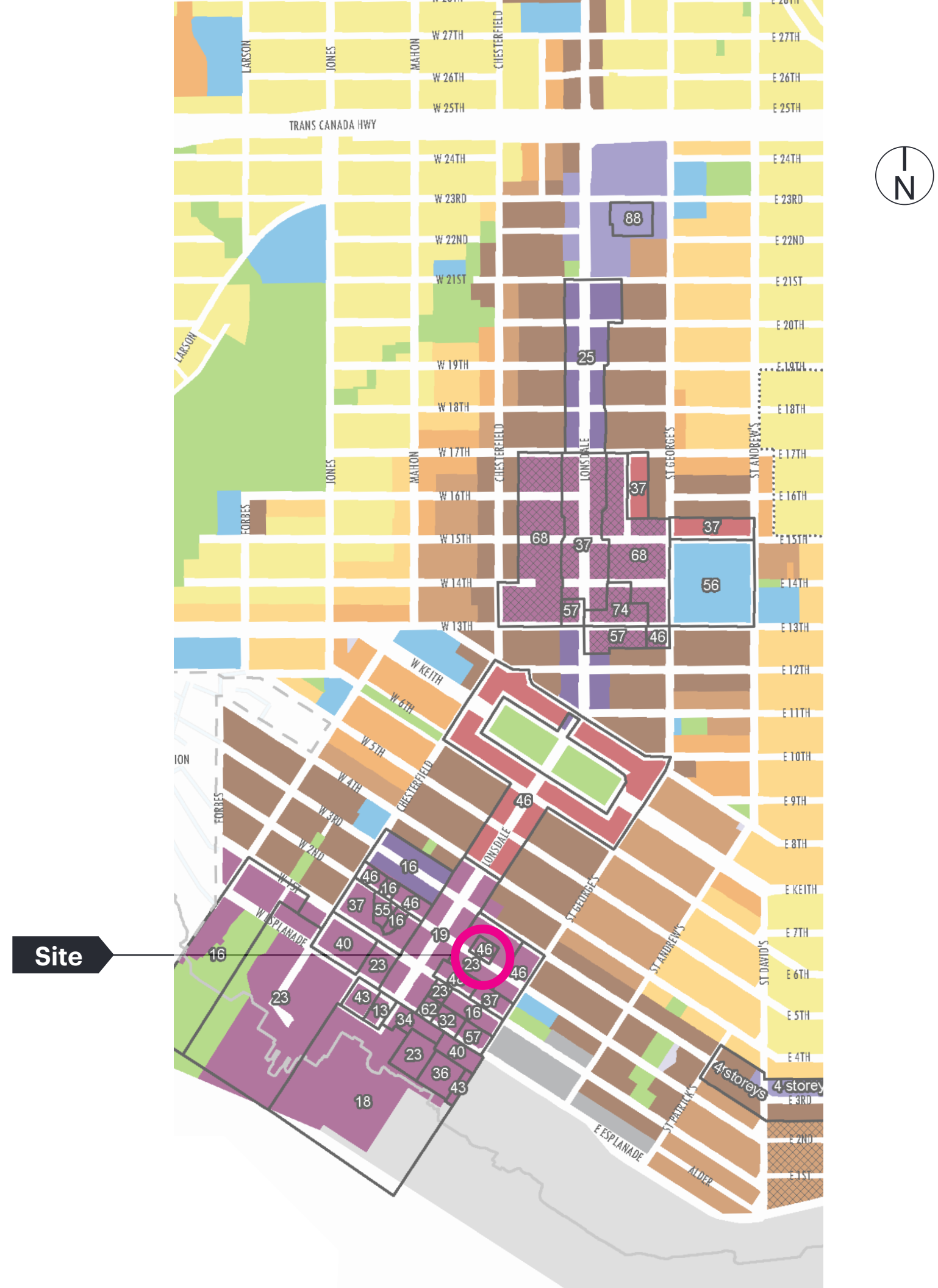
3.6 (2.6 FSR base density + 1.0 FSR bonus density)

Max Building Height:

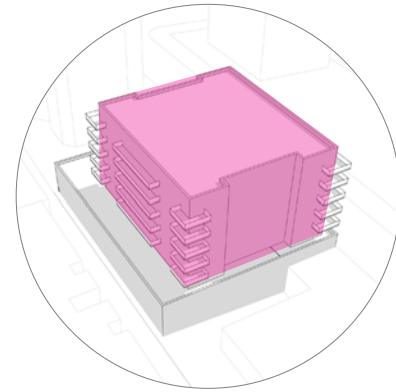
75'-6" (23m)

Tower Separation Setback:

40' setback from eastern property line

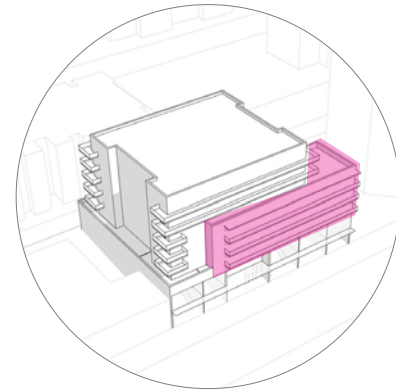


OCP Guiding Principles and Response



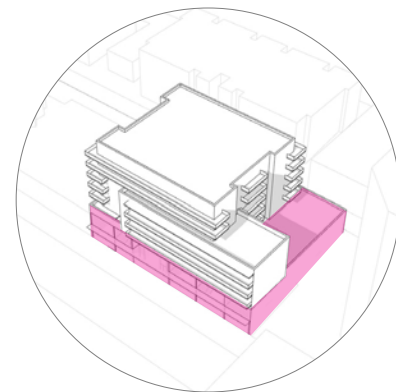
Residential Primary Floorplate

The project proposes strata for-sale residential housing to assist in addressing the City's population growth by providing a total of 68 residential units.



Horizontal Transition Form

Larger family-oriented units were strategically designed to include extensive private outdoor space, promoting outdoor play and convenient access.



Commercial Podium

The building will provide various indoor amenity areas and extensive outdoor common area on the podium. The proposed commercial spaces will strengthen the public realm with improved storefront interface with the sidewalk boulevard. A unique retail environment is envisioned with double-height commercial spaces and mezzanine areas.



Key Features

- 1 Upper floors with a full range of 1-bed, 2-bed and 3-bed suites.
- 2 Mid-form with 1-bed and 2-bed suites, each with spacious private balconies.
- 3 Unique double-height commercial podium animates the street edge, with extensive open glazing and mezzanine area.
- 4 Residential indoor and outdoor amenity space with a variety of programmed uses including: multi-purpose dining, play and lounge areas.
- 5 Mid-block connect to link E 2nd Street to the lane to the north.



Community Benefits

- 1 Public mid-block connection
- 2 Public realm upgrades
- 3 Family-oriented homes
- 4 Retail revitalization
- 5 Community Amenity Contribution (CAC)

Key Statistics

Building Height

Proposed	74.01 ft	22.58 m
Maximum	75.45 ft	23 m

Residential Units

Residential Units	Count	Percentage
Studio	3	5%
One Bedroom	24	35%
One Bed + Den	12	18%
Two Bedroom	20	29%
Three Bedroom	9	13%
Total	68	100%

Floor Area

	FSR
Residential ● 46,135 ft ²	3.02
Commercial ● 8,805 ft ²	0.58
Total 54,940 ft ²	3.60



Existing Zoning:
CD-007

Proposed Zoning:
CD (Comprehensive Development District)

Parking Provision

Parking Stalls	Req.	Prov.
----------------	------	-------

Residents	71	87
-----------	----	----

Visitor	7	7
---------	---	---

Commercial	11	13
------------	----	----

Total	89	107
--------------	-----------	------------

Bike Stalls	Req.	Prov.
-------------	------	-------

Secure	105	151
--------	-----	-----

Short-Term	18	20
------------	----	----

Total	123	171
--------------	------------	------------



Site Plan (Level 1 / Level 2)

Landscape Architecture



① seating



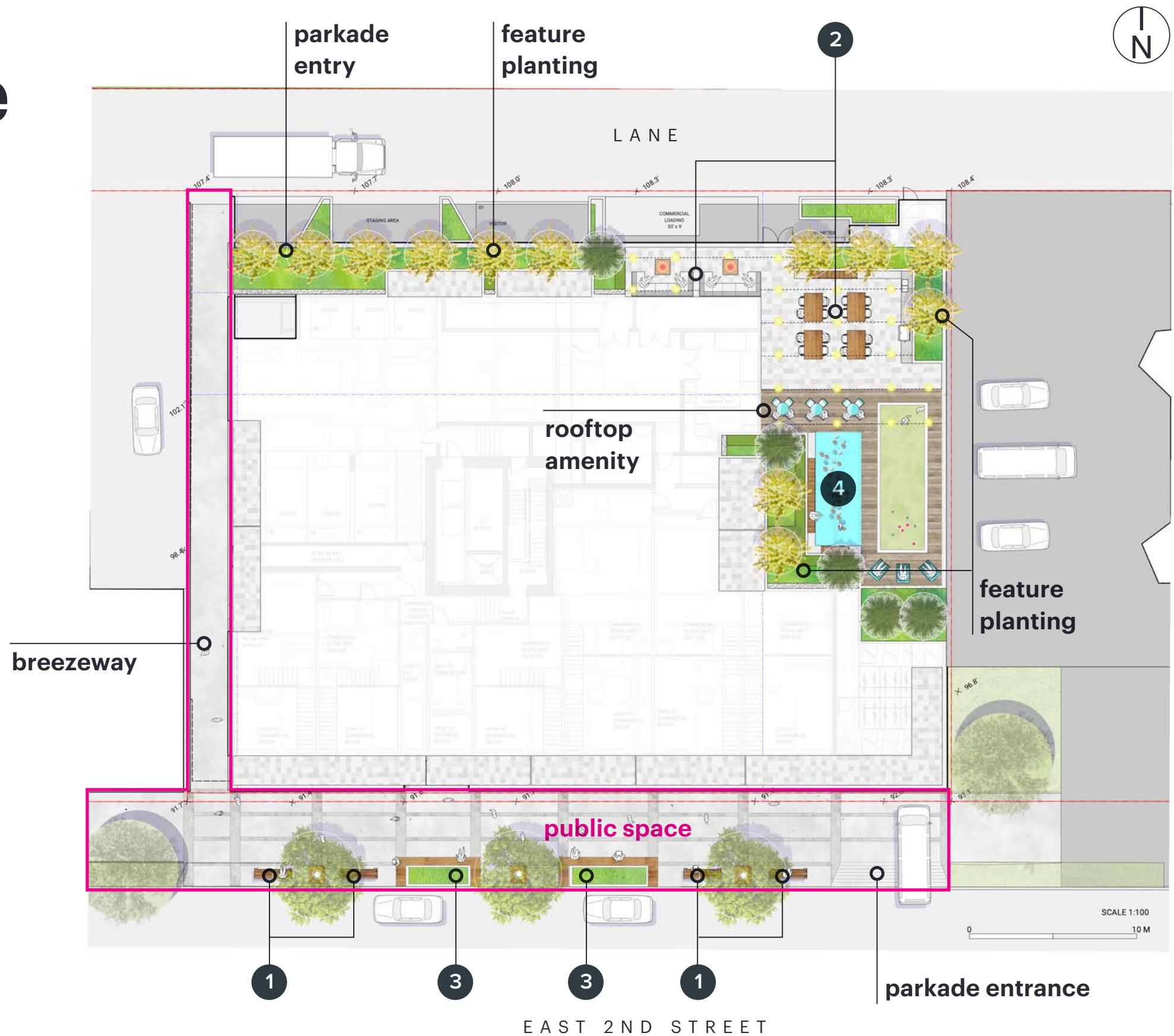
② feature seating



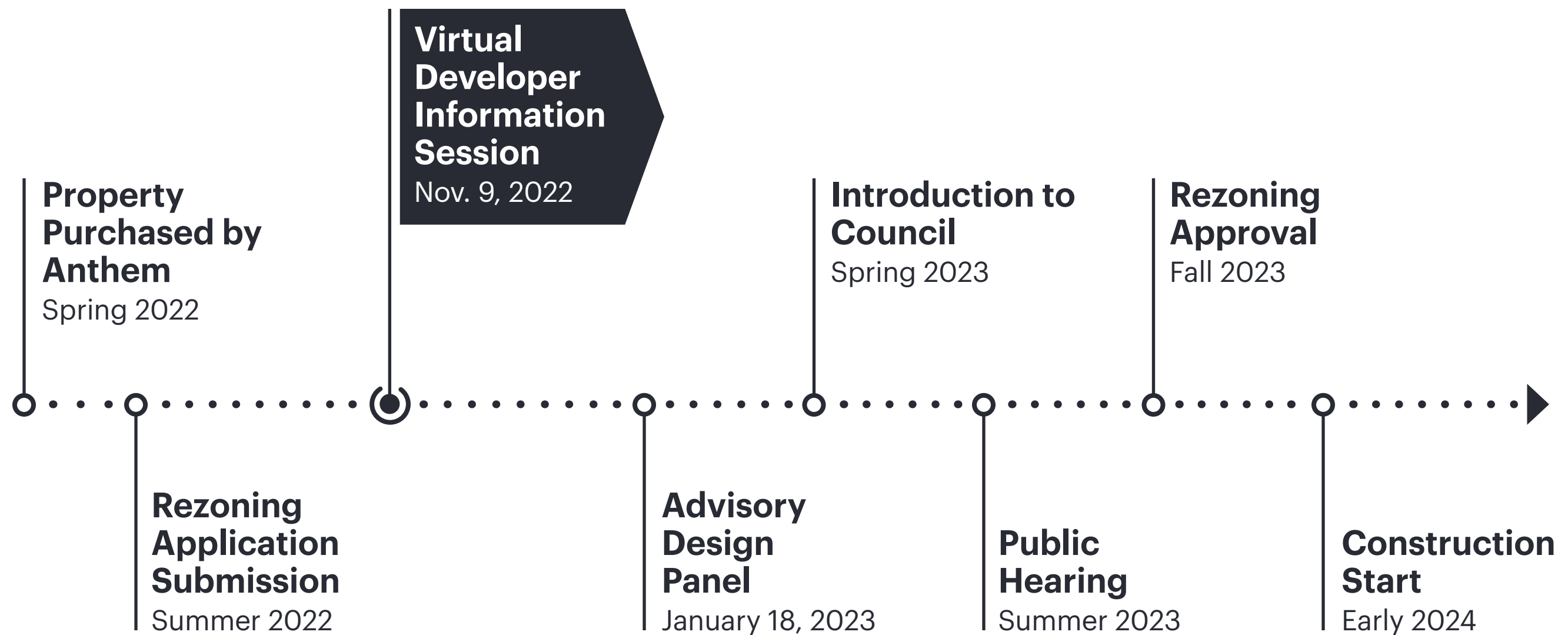
③ planter boxes



④ play surface



The Path Forward...



Note:

Dates are estimated and subject to Municipal approval.

Questions?

Option 1: To ask a question, please type it into the “Q&A” feature at the bottom of your screen. Your questions will be read out loud and answered by the Applicant Team.

Option 2: Alternatively, you may request to be unmuted to ask your question out loud by clicking the “raise hand” feature in the Webinar Controls. The host will be notified that you’ve raised your hand, and you may be prompted to unmute yourself. Please click “lower hand” when you are finished. We will get to as many questions as we can in the allotted time. If you have additional questions, please reach out to the Applicant at the contact information below.



Thank You

Please submit your completed comment form by Friday, November 18, 2022 to Emily Howard:

ehoward@anthemproperties.com

Copy of Virtual DIS Report

December 1, 2022

David Johnson
Planning Department
141 West 14th Street
North Vancouver, BC V7M 1H9
djohnson@cnv.org

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The public was notified of the Virtual DIS through three different mediums in accordance with the City of North Vancouver's requirements:

- **Mail-out:** Notification postcards (Appendix A) were sent via Canada Post to approximately 700 residents, non-resident homeowners, and businesses located within the notification area map and spreadsheet provided by the City of North Vancouver.
- **Site sign:** A notification sign was erected on the property on Monday, October 24, 2022 to inform the public of the application and Virtual DIS details (Appendix B).
- **North Shore News advertisements:** An advertisement notifying the public of the Virtual DIS ran in two consecutive editions of the North Shore News on October 26, 2022 and November 2, 2022 (Appendix C).

In addition to the required public notification materials, a project website was established: www.146East2nd.com. The website was accessible to the public and could be used to both access the information included in the public notification material, and to register to participate in the Virtual DIS.

DIS Format and Registration Summary

Individuals who wished to participate in the Virtual DIS were instructed to register in advance at www.146East2nd.com. Upon submitting their contact information, registrants received a confirmation email. In advance of the DIS, a reminder email with the Zoom Webinar meeting details and a comment card was sent. Those without access to a computer/internet were provided the option to call the applicant to receive a dial-in number in order to attend via telephone.

The meeting was hosted by the applicant and began with introductory remarks and a full review and explanation of how attendees could participate in the Q & A period. The applicant team then gave a presentation. Following the presentation, the applicant team took questions from participants, and encouraged participants to complete and submit the comment form.

DIS Question and Answer Period Summary

The applicant team took questions from participants for a scheduled period of one hour. After 30 minutes (at approx. 7:00pm), all the participants had finished their questions and had left the meeting. The applicant team remained online in case any latecomers arrived, however none did. Recurring themes during the question and answer period included:

- Construction: duration, impact on neighbouring buildings, etc.
- Mid-block connection: width, accessibility, safety/lighting, etc.
- Housing: housing type, number of units, unit sizes, balconies, etc.

- Tower separation to the east
- Commercial space: amount, format (two floors), commercial facing the mid-block connection, etc.
- Public Art: location, contribution amount/budget, etc.

Comment Form Results

A total of three completed comment forms were submitted (Appendix D).

Summary of the completed comment forms:

1. Do you support the proposed project?
 - Yes: two respondents (66.7%)
 - No: one respondent (33.3%)
 - Undecided: no respondents (0%)
2. Do you have any concerns about the proposed project?
 - Unit sizes (too small)
 - Traffic
 - Amount of construction in the area
3. What do you like about the proposed project?
 - Style of the building
 - New retail space / mix of commercial and residential
 - Mid-block connection / alley access
 - Concrete construction
4. What would you suggest to change or improve the proposed project?
 - Delay the project 10 years
 - Add more storeys
 - Add raised edge on balconies and drainpipe
 - Resident amenities/benefits: Tinted windows, air conditioning, car wash, craft room, meeting room, gym, EV charger for every car stall, two parking stalls per unit, gas fireplace, fibre internet, etc.
5. Additional comments
 - Current site is under utilized and in need of revitalization
 - Support for new developments and rezoning to increase the dwelling capacity in North Vancouver and Greater Vancouver
 - Comments directed toward CNV: avoid high-rises right at the waterfront; stop narrowing streets and eliminating vehicle parking.

Appendices

- **Appendix A:** Public Notification Postcard
- **Appendix B:** Photo of Site Sign
- **Appendix C:** North Shore News Advertisements
- **Appendix D:** Copies of Completed Comment Forms

Should you have any additional questions regarding the Virtual Developer Information Session, please do not hesitate to contact me.

Sincerely,



Emily Howard
Director, Community Relations
Anthem Properties Group Ltd.
Direct 604 235 3182
ehoward@anthemproperties.com

Appendix A

Public Notification Postcard



Virtual Developer Information Session

Early Public Comment Opportunity – Rezoning Application
146 East 2nd Street

Date & Time: Wednesday, November 9, 2022
6:00PM - 6:30PM: Presentation
6:30PM - 7:30PM: Q&A

Format: Online Zoom Meeting

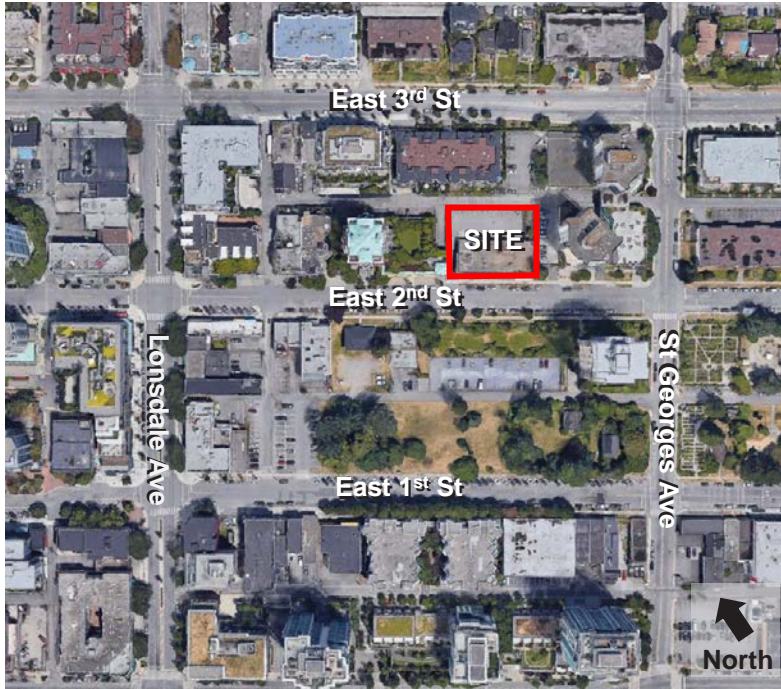
How to Participate:

Please register in advance at: www.146East2nd.com

If you do not have access to the internet and would like to attend via telephone, please contact Emily Howard at **604-235-3182**.



Name
Address



City of North Vancouver Contact

David Johnson
Planning Department
141 West 14th Street, North Vancouver, BC V7M 1H9
djohnson@cnv.org
Telephone: 604-990-4219

Anthem has submitted a rezoning application to the City of North Vancouver to permit the redevelopment of 146 East 2nd Street. The proposed development has been designed in accordance with the Official Community plan and consists of:

- An eight storey, mixed use building;
- 68 stratified market homes;
- Retail at grade in the form of double height retail units with mezzanine level;
- A public midblock pedestrian connection between East 2nd Street and the lane; and
- Three levels of underground parking with 107 vehicle parking spaces and 148 bicycle parking spaces.

Interested members of the public are invited to attend the virtual Developer Information Session (DIS) with the applicant team for an opportunity to review the proposal, ask questions, and submit a comment form.

Applicant Contact

Emily Howard
Anthem Properties Group Ltd.
1100 – 1055 Dunsmuir Street, Vancouver, BC V7X 1K8
ehoward@anthemproperties.com
Telephone: 604-235-3182



Appendix B

Site Sign

Sign Location: 146 East 2nd Street



Appendix C

North Shore News Advertisements

Virtual Developer Information Session

Anthem has submitted a rezoning application to the City of North Vancouver for 146 East 2nd Street to support the development of an eight-storey strata residential development with double height ground-floor retail.

Interested members of the public are invited to attend the virtual Developer Information Session (DIS) with the applicant team for an opportunity to review the proposal, ask questions, and submit a comment form.

How to Participate

Please register in advance at: www.146East2nd.com

If you do not have access to the internet and would like to attend via telephone, please contact the applicant.

Date & Time: **Wednesday, November 9, 2022**
6:00PM - 6:30PM: Presentation
6:30PM - 7:30PM: Q&A

Applicant Contact

Emily Howard
Anthem Properties Group Ltd.
ehoward@anthemproperties.com
Telephone: 604-235-3182

City of North Vancouver Contact

David Johnson
Planning Department
djohnson@cnv.org
Telephone: 604-990-4219



This meeting is required by the City of North Vancouver as part of the development process.



Mah encourages civic engagement

Continued from page 28

although that's now likely to change.

"Especially for the younger generation, for sure.... It has taken a very long time but I think we are finally here," he said. "You can make a difference and participate in elections. And once you participate, then obviously, politicians will take note and your needs and wants will be heard more."

Although he had some dedicated Iranian Canadian volunteers on his team, most of his votes were from the broader community, Shahriari acknowledged.

"I just look forward to putting my skills to work for the entire North Vancouver city population," he said.

Shahriari's joining council isn't the only first from this election. Herman Mah now likely has the distinction of being the first person of colour elected to District of North Vancouver council.

"I looked at some of the [council] photos in the lobby the other day, and yeah, it could be," he said. "If I'm the first person of colour to be elected to the district council, that's pretty cool."

Mah was born in East Vancouver to immigrant parents. The values he holds today are derived from the values he learned from his family, he said.

"I think this brings some more variety and depth of personal experience," he said. "It brings a different perspective and, hopefully, we get a fuller understanding of issues."



Herman Mah now likely has the distinction of being the first person of colour elected to DNV Council. HERMAN MAH

While North Vancouver doesn't have quite so large a Chinese community, Mah said he hopes his being elected will encourage others to become more engaged. And he added, he hopes people voted for him based on his message, not the origin of his name.

"I respect my cultural background but I feel like I'm Canadian first," he said.

The North Shore's school boards both became a bit more diverse in this election, with Felicia Zhu, originally from China, elected to the West Vancouver school district and Lailani Tumaneng, who is from the Philippines, elected in North Vancouver.

In the 2018 election, Marcus Wong became the first person of colour elected to West Vancouver council and Tina Hu the first Chinese-born immigrant elected to City of North Vancouver council.



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Virtual Developer Information Session

Anthem has submitted a rezoning application to the City of North Vancouver for 146 East 2nd Street to support the development of an eight-storey strata residential development with double height ground-floor retail.

Interested members of the public are invited to attend the virtual Developer Information Session (DIS) with the applicant team for an opportunity to review the proposal, ask questions, and submit a comment form.

How to Participate

Please register in advance at: www.146East2nd.com
If you do not have access to the internet and would like to attend via telephone, please contact the applicant.

Date & Time: **Wednesday, November 9, 2022**
6:00PM - 6:30PM: Presentation
6:30PM - 7:30PM: Q&A

Applicant Contact

Emily Howard
Anthem Properties Group Ltd.
ehoward@anthemproperties.com
Telephone: 604-235-3182

City of North Vancouver Contact

David Johnson
Planning Department
djohnson@cnv.org
Telephone: 604-990-4219



This meeting is required by the City of North Vancouver as part of the development process.



Protester released on bail after five days in jail

CORNELIA NAYLOR / BURNABY NOW
cnaylor@burnabynow.com

A North Vancouver computer programmer charged with mischief in relation to old-growth logging protests in Burnaby, Vancouver and the North Shore has been released on bail after spending nearly five days in jail.

Benjamin Donald Holt, 52, was taken into custody on Lions Gate Bridge at about 1:30 a.m. on Oct. 20 after police responded to a protest action by Save Old Growth, a group calling for the end of old growth logging in B.C. The protesters were in the process of painting a 50-metre "Save Old Growth" stencil onto the middle lane of the bridge but only got as far as "Save" before police arrived, according to information presented at a bail hearing Monday.

Crown prosecutor Ellen Leno argued Holt should remain in custody.

She noted he was already facing two previous mischief charges for earlier protests when he was arrested again.

On April 18, he had perched atop an eight-foot ladder and held out two coloured smoke sticks billowing the green and yellow colours of Save Old Growth during a demonstration that saw protesters block the westbound lanes of Grandview Highway in Burnaby at the height of the morning commute.

On June 14, he was one of three protesters who glued themselves to the road when Save Old Growth blocked the westbound lane of the Upper Levels Highway near the Horseshoe Bay ferry terminal.

Holt had been released under conditions banning him from blocking traffic, but Leno presented photos and videos suggesting he might have been at a Lions Gate Bridge protest on Aug. 2 doing just that.

Leno said charges may be laid against Holt in that protest as well.

"He seems rather entrenched in his views and his ongoing offences despite the bail conditions that he's on," Leno said.

Defence lawyer Benjamin Isitt argued Holt should be released on \$1,500 bail and said Holt's wife was in court ready with the cash.

Isitt noted Holt, a father of two teenagers, didn't have a criminal record and his alleged offences didn't involve violence or the threat of violence, so denying him bail would be



Anti-logging protester Ben Holt holds up traffic on a ladder in the middle of Grandview Highway in Burnaby on April 18. SAVE OLD GROWTH

unreasonable.

Isitt also argued Holt wasn't breaching his bail conditions last Thursday because there was little traffic on the bridge at that time of the morning and the middle lane was closed.

"He is a person of good character who is motivated by genuinely held concerns rooted in a consensus of scientific research that the climate crisis poses an existential threat to humanity and to other species and that urgent action is necessary to change course," Isitt said.

But B.C. provincial court judge Nancy Adams said, "No matter how commendable the cause, breaking the law in this sense is clearly undermining the rule of law."

She said her decision needed to take public safety into account.

"In my view, all of the things I've heard about on the three days he's charged involve public safety, whether anyone was harmed or not," she said.

Given Holt's actions this year and his commitment to the cause, Adams said there was a "substantial likelihood" he would commit another offence if he was released, but she concluded keeping him in jail wasn't the only way to mitigate that risk.

She released him on a \$1,500 cash deposit bail with a number of conditions, including a ban on blocking or impeding traffic or pedestrians on any road or highway and a ban on any protest activities on any road or highway.

"I'm trying to prevent any further criminal charges here or criminal activity," Adams said. Holt's next court dates are scheduled for Nov. 15 and Dec. 2.

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volunteerBCY@redcross.ca
604-709-6687




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Virtual Developer Information Session

Anthem has submitted a rezoning application to the City of North Vancouver for 146 East 2nd Street to support the development of an eight-storey strata residential development with double height ground-floor retail.

Interested members of the public are invited to attend the virtual Developer Information Session (DIS) with the applicant team for an opportunity to review the proposal, ask questions, and submit a comment form.

How to Participate

Please register in advance at: www.146East2nd.com

If you do not have access to the internet and would like to attend via telephone, please contact the applicant.

Date & Time: Wednesday, November 9, 2022
6:00PM - 6:30PM: Presentation
6:30PM - 7:30PM: Q&A

Applicant Contact

Emily Howard
Anthem Properties Group Ltd.
ehoward@anthemproperties.com
Telephone: 604-235-3182

City of North Vancouver Contact

David Johnson
Planning Department
djohnson@cnv.org
Telephone: 604-990-4219



This meeting is required by the City of North Vancouver as part of the development process.



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Copy of Resubmission Information Package



146 E 2nd Street

North Vancouver

Information Package – Spring 2024



Site Context

Site Information:



Address:

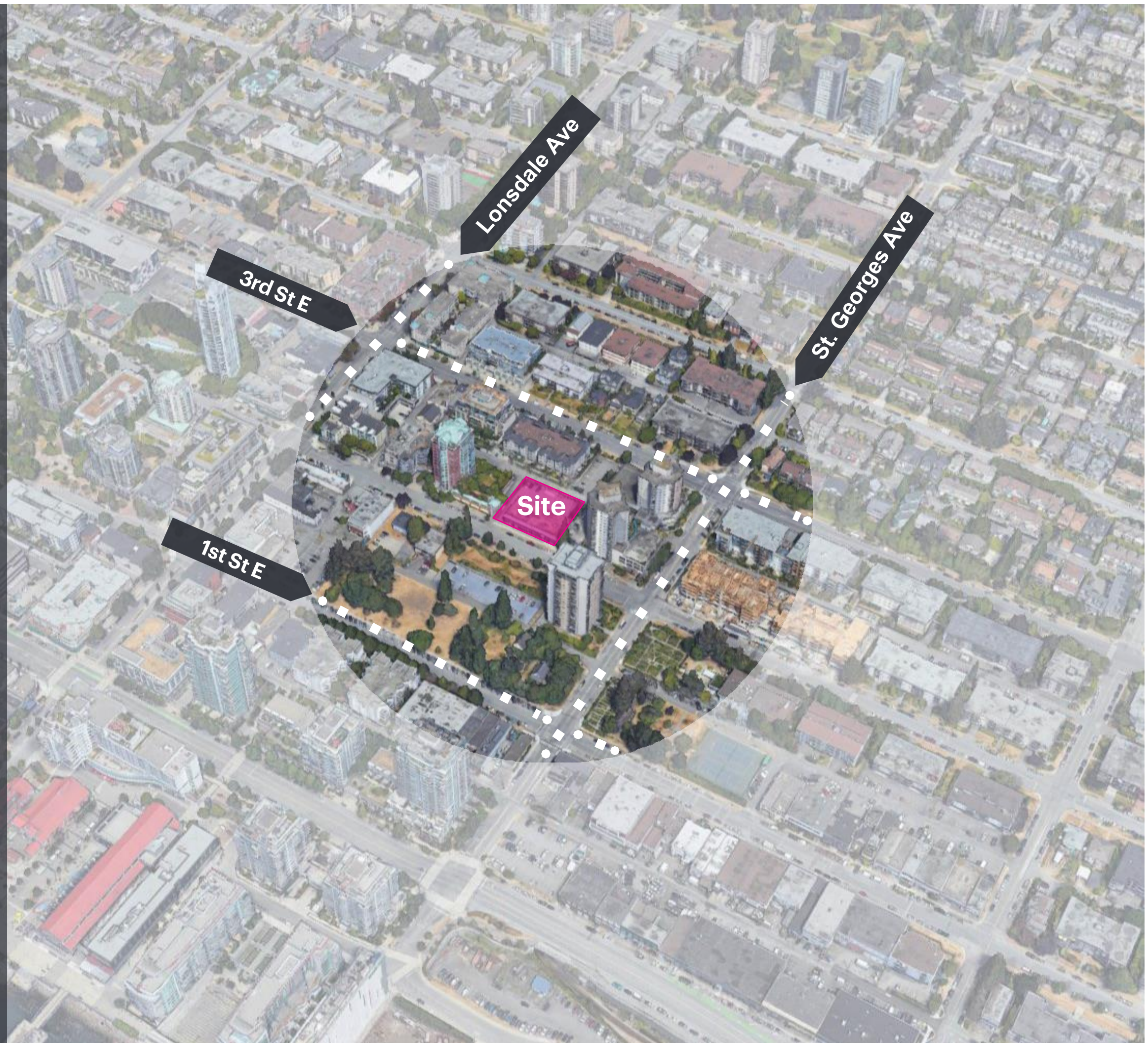
**146 E 2nd Street
North Vancouver**

Current Use:

2-storey commercial

Lot Size:

17,968 ft² (1670m²)



Previous Design Overview

Key Items:

- 1 8-storey concrete building with commercial and residential uses
- 2 The project was mixed use, incorporating retail store fronts along East 2nd
- 3 100% market condominium housing
- 4 Public mid-block connection between East 2nd and the laneway



Current Design Overview

Key Items:

- 1 6-storey wood frame building with commercial and residential uses
- 2 The project remains mixed use with commercial along East 2nd
- 3 100% rental housing including mid-market rental housing units as required by the City of North Vancouver
- 4 Improved public mid-block connection between the laneway and East 2nd



Key Statistics

Building Height Previous Current

Proposed	74.01 ft	54.58 ft
OCP Maximum	75.45 ft	75.45 ft
# of Storeys	6 residential; 2 commercial	5 residential; 1 commercial
	8 storeys	6 storeys

Residential Units Previous Current

Studio	3	41
One Bedroom	24	4
One Bed + Den	12	2
Two Bedroom	20	21
Three Bedroom	9	8
Total	68	76

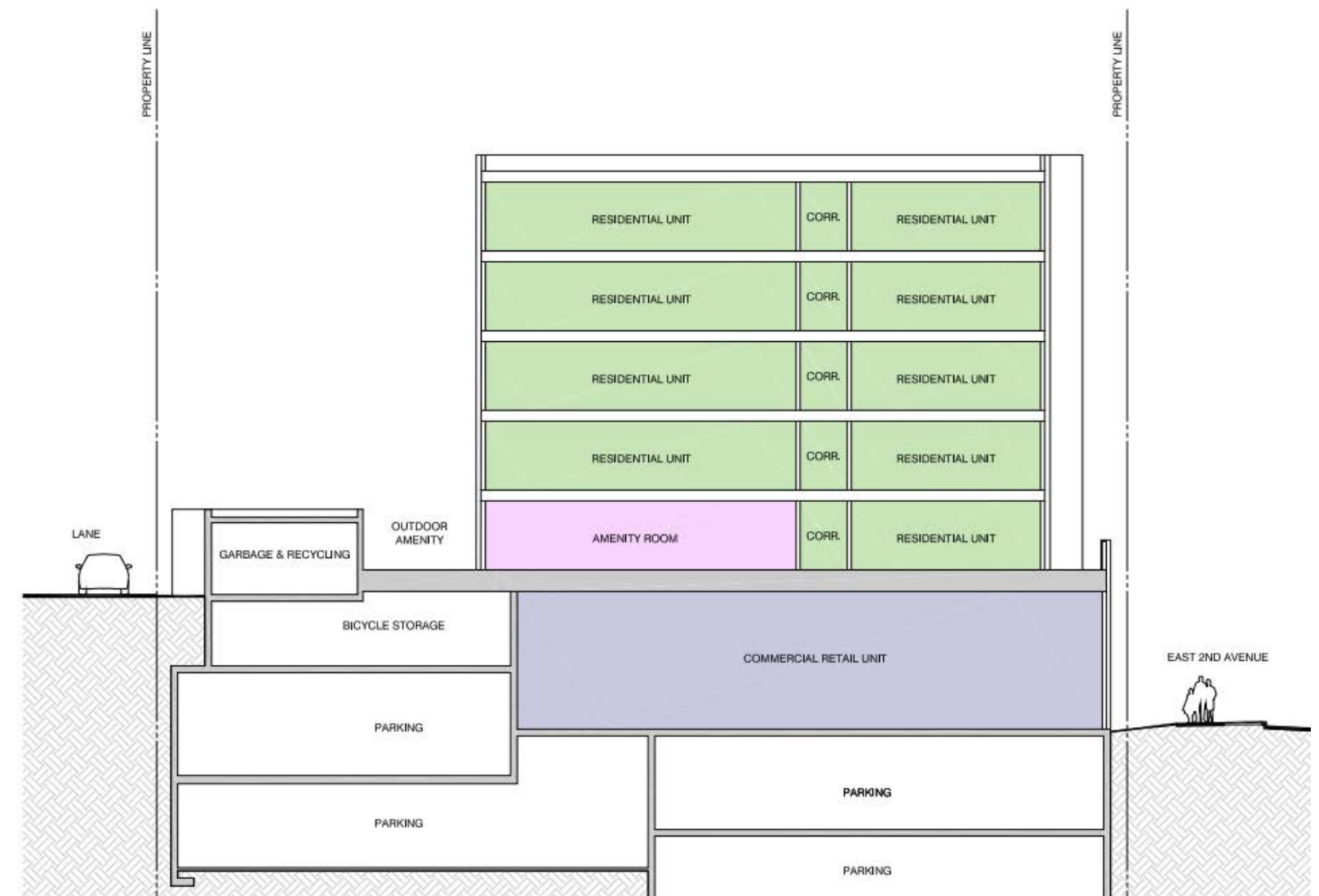
Parking Previous Current*

Car Total	107	61
Bike Total	134	178

*Meets City of North Vancouver parking requirements

(Gross) Floor Area Previous FSR Current FSR

Residential	●	55,012 ft ²	3.06	55,711 ft ²	3.10
Commercial	●	9,932 ft ²	0.55	6,624 ft ²	0.36
Total		64,944 ft ²	3.66	62,336 ft ²	3.47



Current design cross-section

Existing Zoning:
CD-007

Proposed Zoning:
CD (Comprehensive Development District)

What's Changed?

Building Height

Previous

- Previous design was 8 storeys
- Building height of 74 ft tall

Current

- Revised concept is 6 storeys
- Reduction in building height by approximately 20 feet (2 storeys)
- The building massing has been extended to the east

Benefits:

- Reduced shadowing on neighbouring buildings
- Improved street interface



What's Changed? Laneway Frontage

Previous Design

- Laneway included rear commercial parking and loading
- Large wall segregating residents from the lane



Previous Design

Current Design

- Removed the second parking entrance on the lane
- Integrated residential units with terraces in the laneway
- Pedestrian connection increased from 8ft to 10ft wide

Benefits:

- Lowering the podium structures improves safety
- Pedestrian connection now includes landscaping



Current Design

What's Changed?

The Outdoor Amenity

Previous Design

- The previous design had an elevated outdoor amenity space on level 3 of the building



Current Design

- Revised concept relocates a portion of the outdoor amenity space to the lane/ground level
- Outdoor amenity space is primarily relocated behind the garbage room
- The second outdoor amenity space is pushed south to the eastern side of the building.

Benefits

- Improved privacy for amenity space users and neighbouring buildings



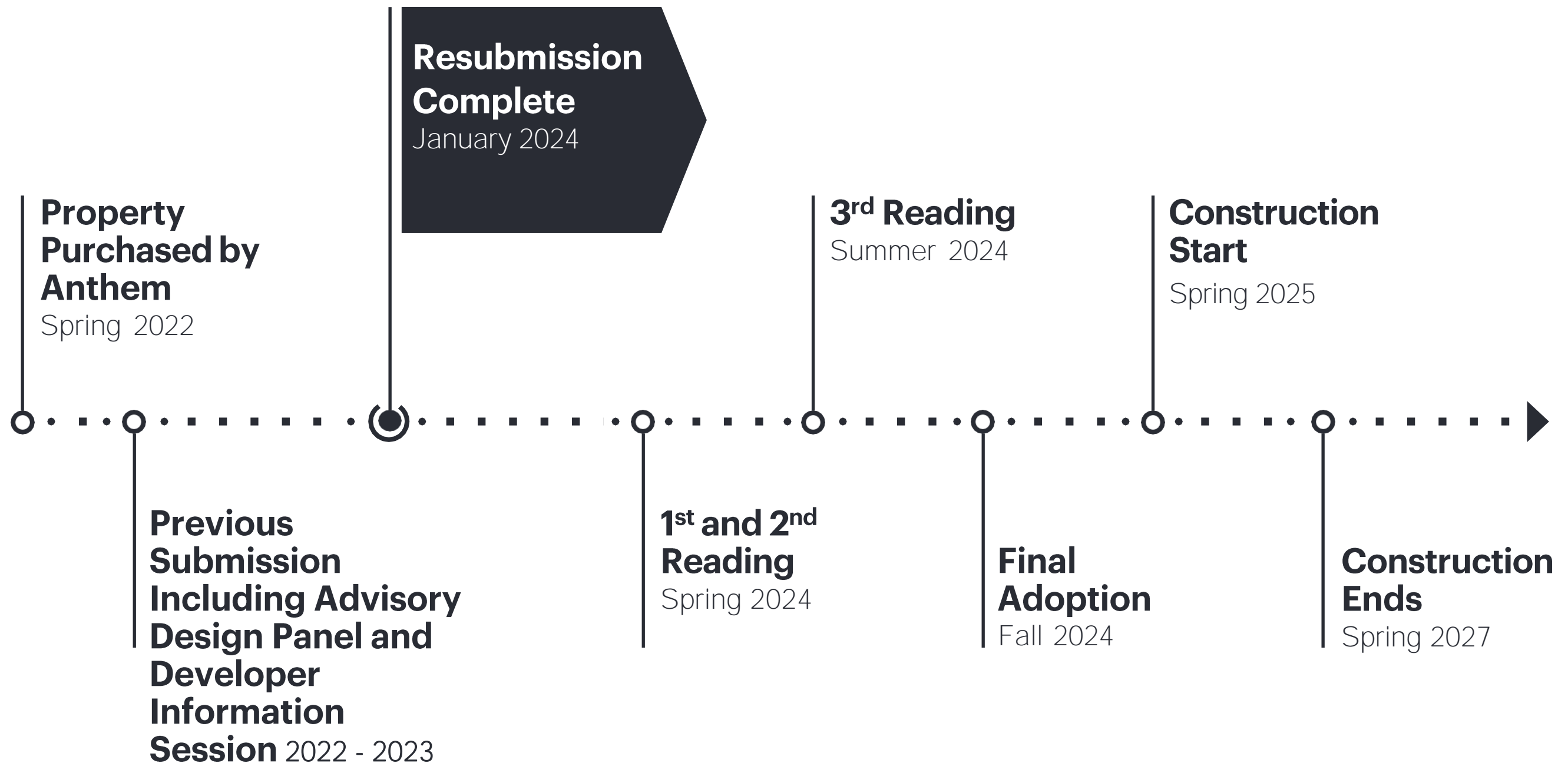


New & Retained Community Benefits

- 1 Improved public mid-block connection
- 2 Public realm upgrades with new seating and landscaping
- 3 38% family-oriented homes
- 4 Retail revitalization
- 5 Increased housing supply

The Path Forward...

New Provincial legislation no longer permits public hearings for Official Community Plan (OCP) compliant applications that has more than 50% residential uses. As a result, no public hearing will be held for this proposed project. Questions and comments may be sent directly to Anthem or the City of North Vancouver planning staff.



Note:

Dates are estimated and subject to Municipal approval.

Questions and Comments?

Option 1:

Please contact Hussein Elhagehassan, Community Relations Coordinator at:
helhagehassan@anthemproperties.com

Option 2:

Alternatively, you may engage the City of North Vancouver directly via:
planning@cnv.org and reference the address of the project (146 East 2nd).



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 9100

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2025, No. 9100” (Anthem LMV East 2nd Developments Limited Partnership, 146-160 East 2nd Street, CD-007 Text Amendment)**.
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 146-160 East 2nd Street and legally described below as henceforth being amended to and forming part of CD-007 (Comprehensive Development 007 Zone):

PID: 007-241-330	LOT F BLOCK 141 DISTRICT LOT 274 PLAN 17913
------------------	---

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Amending the following section 1101, removing ‘CD-7 Comprehensive Development 7 Zone’ in its entirety and replacing it as follows:

CD-007 Comprehensive Development 007 Zone (146-160 East 2nd Street)

In the CD-007 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the LL-4 Zone, except that:

- (1) The permitted Principal Use on the Lot shall be limited to:

- (a) Retail Service Group 1A Use;
- (b) Rental Residential Apartment Use subject to Section 6A02(1) of this Bylaw, except that an Rental Residential Apartment Use shall be permitted on the second storey and above;
- (c) Accessory Home Occupation Use, subject to Section 507(6);
- (d) Accessory Home Office Use, subject to Section 507(6);
- (e) Child Care Use, subject to Section 607(9);
- (f) Accessory Off-Street Loading Use;
- (g) Accessory Off-Street Parking Use;
- (h) Off-Site Parking Use.

- (2) Gross Floor Area:

- (a) The maximum Gross Floor Area is 2.6 FSR;
- (b) Notwithstanding (2)(a) the Maximum Gross Floor Area may be increased as follows:

BASE DENSITY			
OCP Schedule 'A'		2.6 FSR	
ADDITIONAL (BONUS) DENSITY			
ADDITIONAL DENSITY CATEGORY	DESCRIPTION	ADDITIONAL DENSITY (BONUS)	POLICY REFERENCE
Secured Rental Housing	100% rental housing; 10% mid-market rental units	1.0 FSR	OCP section 2.2
TOTAL DENSITY		3.6 FSR	

- (3) Lot Coverage shall not exceed 90%, reduced to 68% above the second storey;
- (4) Building Height:
- (a) The principal building shall not exceed a building height of 23 metres (75.5 feet) as measured from the average grade at the southern property line;
- (5) Height Exceptions:
- (a) The Heights of Buildings and Structures permitted elsewhere in the Bylaw may be exceeded for:
- i. parapet walls, guard rails, Garden Structures, common staircase and elevator structures by not more than 6.1 metres (20 feet);
 - ii. Fully screened mechanical equipment, sited at least 2.5 metres (8.2 feet) from the outer edge of the roof, by not more than 6.1 metres (20 feet);
- (6) Siting:
- (a) Principal Building shall be sited in accordance with the following:
- i. from the Front Lot Line (southern boundary):
 1. No less than 0.5 metres (1.6 feet) to the basement levels;
 2. No less than 1 metre (3.3 feet) to ground level walls;
 3. No less than 1.8 metre (5.9 feet) to upper level walls;
 4. No less than 1.1 metres (3.6 feet) to an unenclosed balcony;
 - ii. from the Rear Lot Line (northern boundary):
 1. No less than 0.5 metres (1.6 feet) to the basement levels;
 2. No less than 0.5 metres (1.6 feet) to walls between ground level and level 2 (lane level);
 3. No less than 3.0 metres (9.8 feet) to all upper level walls;
 4. No less than 1.1 metres (3.6 feet) to an unenclosed balcony;
 - iii. from the Exterior Side Lot Line (western boundary):
 1. No less than 3.0 metres (9.8 feet) to the basement levels;
 2. No less than 3.0 metres (9.8 feet) to ground level walls;
 3. No less than 2.6 metres (8.5 feet) to upper level walls and unenclosed balconies;

- iv. from the Interior Side Lot Line (eastern boundary):
 - 1. No less than 0 metres to the basement levels;
 - 2. No less than 0 metres to walls between ground level and the upper residential levels;
 - 3. Notwithstanding (6)(iv)(2), the walls are to be no less than 4.1 metres (13.4 feet) to the two uppermost levels of the building;
 - 4. No less than 2.0 metres (6.5 feet) to an unenclosed balcony;
- (7) Section 6A04 (5) (b) shall be varied to permit all portions of Principal Buildings exceeding four Storeys to be sited at least 17.0 metres (55.7 feet) from all portions of other Principal Buildings exceeding four storeys.
- (8) Section 6A04 (6) shall be varied to allow the principal building not exceed a horizontal width or length of:
 - (a) 51.8 metres (170 feet) above the second storey; and
 - (b) 39.6 metres (130 feet) to the two uppermost levels of the building.
- (9) Section 906(4)(c)(i) shall be varied to permit vehicle access from a Street where the lot abuts both an open Street and an opened lane.
- (10) Off-Street Parking, Short-Term and Secure Bicycle Parking, and Accessory Off-Street Loading Spaces shall be provided in conformity with the requirements of Division IV, Parts 9, 10, and 10A, except that:
 - (b) A minimum of 6 residential visitor Parking Spaces shall be provided;
 - (c) A minimum of 6 commercial Parking Spaces shall be provided;
 - (d) 2 vehicle Parking Spaces shall be identified as shared residential visitor and commercial parking spaces.

READ a first time on the <> day of <>, 2025.

READ a second time on the <> day of <>, 2025.

READ a third time on the <> day of <>, 2025.

ADOPTED on the <> day of <>, 2025.

MAYOR

CORPORATE OFFICER

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW, 2025, No. 9101

A Bylaw to enter into a Housing Agreement (146-160 East 2nd Street)

WHEREAS Section 483 of the *Local Government Act* R.S.B.C. 2015 c.1 permits a local government to enter into a housing agreement for rental housing.

NOW THEREFORE the Council of The Corporation of the City of North Vancouver, in open meeting assembled enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Housing Agreement Bylaw, 2025, No. 9101**” (**Anthem LMV East 2nd Developments Limited Partnership, 146-160 East 2nd Street, CD-007 Text Amendment, Rental Housing Commitments**).
2. The Council hereby authorizes The Corporation of the City of North Vancouver to enter into a Housing Agreement to secure rental housing commitments with the owner of lands having a civic address of 146-160 East 2nd Street, North Vancouver, legally described as: PID: 007-241-330; LOT F BLOCK 141 DISTRICT LOT 274 PLAN 17913 substantially in the form attached to this bylaw.
3. The Mayor and Corporate Officer are authorized to execute the Housing Agreement and any documents required to give effect to the Housing Agreement.

READ a first time on the <> day of <>, 2025.

READ a second time on the <> day of <>, 2025.

READ a third time on the <> day of <>, 2025.

ADOPTED on the <> day of <>, 2025.

MAYOR

CORPORATE OFFICER

PART 2 – TERMS OF INSTRUMENT

RENTAL HOUSING AGREEMENT AND SECTION 219 COVENANT

THIS AGREEMENT,

BETWEEN:

1152455 B.C. LTD., INC.NO. BC1152455 a corporation having offices at Suite 1100-1055, Dunsmuir Street, Vancouver, British Columbia, V7X 1K8

(the “Owner”)

AND:

THE CORPORATION OF THE CITY OF NORTH VANCOUVER, a municipal corporation pursuant to the *Local Government Act* and having its offices at 141 West 14th Street, North Vancouver, British Columbia, V7M 1H9

(the “City”)

WHEREAS:

- A. The Owner is the registered owner of the Lands.
- B. The City is a municipal corporation incorporated pursuant to the *Local Government Act*, RSBC 2015, c. 1 and the *Community Charter*, SBC 2003, c. 26.
- C. Section 219 of the *Land Title Act*, RSBC 1996, c. 250 (the “**Land Title Act**”) permits registration of a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on land, that land is or is not to be built on except in accordance with the covenant and that land is not to be subdivided except in accordance with the covenant.
- D. Section 483 of the Act permits a local government to, by bylaw, enter into a housing agreement that may include terms and conditions regarding the occupancy of the housing units identified in the agreement, including respecting the form of tenure of the housing units, the availability of the housing units to classes of persons, the administration and management of the housing units and the rents and lease, sale or share prices that may be charged.
- E. The City has adopted a bylaw authorizing this Agreement.
- F. The Owner and the City wish to enter into this Agreement pursuant to Section 219 of the *Land Title Act* and section 483 of the Act.

NOW THEREFORE in consideration of the sum of Ten Dollars (\$10.00) now paid by the City to the Owner and for other good and valuable consideration (the receipt and sufficiency of which the Owner hereby acknowledges), the Owner and the City covenant each with the other as follows:

1. DEFINITIONS

- (a) “**Act**” means the *Local Government Act*, RSBC 2015, c.1 as amended from time to time;
- (b) “**Affordable Rent**” means with respect to each Mid-Market Rental Unit a rent payment amount equal to 10% below the “Private Apartment Average Rents” for the corresponding bedroom type in the City of North Vancouver as established by CMHC’s Housing Market Information Portal for the year the tenancy is entered into;
- (c) “**Agreement**” means this agreement as amended from time to time;
- (d) “**Commencement Date**” has the meaning set out in section 2.1 herein;
- (e) “**Council**” means the municipal council for the City of North Vancouver;
- (f) “**CMHC**” means Canada Mortgage and Housing Corporation;
- (g) “**Director, Planning and Development**” means the chief administrator of the Department of Planning of the City and their successors in function and their respective nominees;
- (h) “**Dwelling Unit**” means a dwelling unit as defined in the City of North Vancouver’s “Zoning Bylaw 1995, No. 6700” as amended from time to time;
- (i) “**Lands**” means those lands and premises legally described as:

Parcel Identifier: 007-241-330
Lot: F
Block: 141
District Lot: 274
Plan 17913;
- (j) “**Mid-Market Rental Units**” means the Dwelling Units in the Residential Building to be constructed on the Lands that are rented to tenants for Affordable Rent;
- (k) “**Market Rental Units**” means all Dwelling Units in the Residential Building other than the Mid-Market Rental Units;
- (l) “**Maximum Household Income**” means an annual gross household income determined by multiplying Affordable Rent by 12 to yield the households’ annual housing costs, and divide by 30% (0.30) to meet the standard definition of affordability;
- (m) “**Rental Purposes**” means an occupancy or intended occupancy which is or would be governed by a tenancy agreement as defined in Section 1 of the *Residential Tenancy Act*, SBC 2002 c. 78 as amended from time to time between the Owner and the tenant;
- (n) “**Rental Units**” means the Market Rental Units and the Mid-Market Rental Units;

- (o) **“Residential Building”** means the six storey building to be constructed on the Lands to be used for Rental Purposes with 76 Dwelling Units, of which 68 Dwelling Units will be Market Rental Units and 8 Dwelling Units will be Mid-Market Rental Units;
- (p) **“RT Act”** means the *Residential Tenancy Act*, SBC 2002 c. 78;
- (q) **“Rezoning Bylaw”** means the rezoning bylaw applicable to the Lands described as “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2025, No. 9100”;
- (r) **“Section 219 Covenant”** means a covenant pursuant to Section 219 of the *Land Title Act*;
- (s) **“Tenancy Agreement”** means an agreement, whether written or oral, express or implied, between the Owner and a tenant respecting possession or occupancy of a Rental Unit;
- (t) **“Term”** has the meaning set out in section 2.1 herein.

2. TERM

- 2.1 This Agreement will commence upon adoption by the City’s Council of “Housing Agreement Bylaw, 2025, No. 9101” (Anthem LMV East 2nd Developments Limited Partnership, 146-160 East 2nd Street, CD-007, Rental Housing Commitments) (the **“Commencement Date”**) and will continue until the date this Agreement is terminated in accordance with sections 2.2 or 8.3(c) (the **“Term”**).
- 2.2 This Agreement will terminate immediately upon the removal or destruction of the Residential Building provided the Residential Building is not repaired or rebuilt following the destruction thereof.
- 2.3 Subject to section 7.3, upon termination of this Agreement, this Agreement will be at an end and of no further force and effect.

3. SECTION 219 COVENANT

- 3.1 The Owner covenants and agrees with the City as a covenant in favour of the City pursuant to Section 219 of the *Land Title Act*, that during the Term of this Agreement, it being the intention and agreement of the Owner that the provisions in this Agreement be annexed to, and run with and be a charge upon the Lands, that notwithstanding the Rezoning Bylaw, the Lands will be used and built on only in strict compliance with the terms and conditions of this Agreement and that:
 - (a) the Lands must not be subdivided or stratified;
 - (b) the Rental Units in the Residential Building must be used for Rental Purposes only and all Rental Units must be owned and operated by the Owner, provided that the Mid-Market Rental Units may be operated by a non-profit entity engaged by the Owner and having expertise in non-market housing, with the approval of the Director, Planning and Development; and

- (c) no Rental Unit in the Residential Building must be occupied for any purpose except for Rental Purposes pursuant to a Tenancy Agreement.
- 3.2 The Owner further covenants and agrees with the City that the Lands and any buildings or structures constructed thereon including the Residential Building must be developed, built, and maintained in accordance with all City bylaws, regulations and guidelines as amended from time to time.
- 3.3 Section 7.1 and 7.2 of this Agreement are integral to and form part of this Section 219 Covenant.

4. TENANCY RESTRICTIONS

- 4.1 The unit mix for Rental Units in the Residential Building will be no fewer than eight (8) three-bedroom units, twenty-one (21) two-bedroom units, six (6) one-bedroom units and forty-one (41) studio units or as otherwise approved in writing by the Director, Planning and Development in their discretion.
- 4.2 The Mid-Market Rental Units will be provided in the following unit mix: four (4) studio units, one (1) one-bedroom unit, two (2) two-bedroom units, and one (1) three-bedroom unit. The Owner may only change this mix with the approval in writing by the Director, Planning and Development with such approval to be granted in their discretion. The Owner will be entitled to determine the locations of the eight (8) Mid-Market Rental Units within the Residential Building.
- 4.3 Notwithstanding the number of Dwelling Units that are required to be Mid-Market Rental Units as specified in the definitions for Mid-Market Rental Units and Residential Building in this Agreement, the Director of Planning and Development may, at their discretion, approve a change to the number of Dwelling Units in the Residential Building and, consequently, the number of Dwelling Units that are required to be Mid-Market Rental Units, provided that such number remains equal to or greater than 10% of the total number of Dwelling Units in the Residential Building.
- 4.4 The Owner will enter into a minimum 1 year Tenancy Agreement for each of the Mid-Market Rental Units which will convert to a month to month tenancy at the end of the 1 year term. If such a tenancy is ended prior to the end of the Term, the Owner must rent the Mid-Market Rental Unit at Affordable Rent. For greater certainty, at the end of each tenancy, the Mid-Market Rental Unit will continue to be rented as a Mid-Market Rental Unit at Affordable Rent, which obligation will be ongoing at all times during the Term.

5. OWNER'S OBLIGATIONS

- 5.1 Without limiting section 3.1 of this Agreement:
 - (a) Management and administration: the management, administration, and associated costs with the management and administration of the Rental Units, including the Mid-Market Rental Units, will be borne by the Owner or its designated rental agent, unless otherwise approved by the City in writing and all Mid-Market Rental Units must be managed by one rental agent;
 - (b) Compliance with Tenant Relocation Plan: INTENTIONALLY DELETED

- (c) Advertisement: when the Mid-Market Rental Units first become available, the Owner will advertise such units for a minimum of one month on at least two common rental property search platforms that allow potential tenants to view available properties for rent in North Vancouver without payment of a fee or requirement for registration, and the Owner will feature the tenure restrictions set out in this Agreement prominently in all advertising of Mid-Market Rental Units. When a Mid-Market Rental Unit becomes available for a subsequent, new tenancy, the Owner will advertise the unit in accordance with the foregoing requirements for a period of at least one week;
- (d) Tenant Selection: the Owner will make the Mid-Market Rental Units available, both at the first tenancy and each subsequent tenancy, in the following order of priority:
- (i) If the Residential Building replaces an existing rental building, then tenants from the existing rental building on the Lands being replaced who have household incomes at or below the Maximum Household Income will be provided first right of refusal in the Mid-Market Rental Units, and have first priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
 - (ii) Households who have been displaced from redevelopment elsewhere in the City who have household incomes at or below the Maximum Household Income will have second priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis
 - (iii) The Owner will then make any remaining Mid-Market Rental Units not rented by tenants from the existing building on the Lands available to tenants with an annual household income at or below that the Maximum Household Income who are either current residents of the City of North Vancouver or who work in the City of North Vancouver and have done so for at least six months, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
 - (iv) If there are any remaining Mid-Market Rental Units not rented by tenants who meet the criteria in sections 5.1(d)(i) to (iii) after the expiry of the one-month advertising period, then the Owner will make such units available to tenants who meet the Maximum Household Income requirement; and
 - (v) Tenants in Mid-Market Rental Units must not have an ownership interest in a residential property in the City or in a neighbouring municipality which the tenant could otherwise occupy and the Owner will require confirmation from the prospective tenant that they meet this requirement at the time of tenancy;

- (vi) In determining whether a tenant meets the Maximum Household Income requirements or the requirement in section 5.1(d)(v), the Owner or its rental agent, so long as it acts honestly and in good faith, is entitled to rely on all information provided by the prospective tenant and the Owner will have no liability if the prospective tenant intentionally or unintentionally provides any incorrect information. The Owner is under no obligation to monitor or update the financial circumstances of the tenant once the lease is signed.
- (e) Rent Amount and Permitted Increases: Affordable Rent for Mid-Market Rental Units is to be determined at the time of tenancy. Rent amounts may be subsequently increased below or at the permitted annual rent increase then set under the RT Act;
- (f) Compliance with applicable laws: without restricting the foregoing, the Owner will comply with all applicable provisions of the RT Act and any other provincial or municipal enactments imposing obligations on landlords in relation to residential tenancies;
- (g) Performance: the Owner will perform its obligations under this Agreement diligently and in good faith;
- (h) Information Regarding Unit Availability: If the City establishes a register for availability of Mid-Market Rental Units within the City, the Owner will provide to the City information regarding any Mid-Market Rental Units that become available for rent, in a form acceptable to the Director, Planning and Development;
- (i) Evidence of compliance: provided that the same can be done without breaching the *Personal Information Protection Act*, SBC 2003, c. 63 (as amended from time to time) the Owner will, on an annual basis at the time of Business License renewal and upon any other request by the City, supply to the City copies of any documentation in possession of the Owner necessary to establish compliance with the Owner's obligations under this Agreement.

6. DEFAULT AND REMEDIES

- 6.1 The City may, acting reasonably, give to the Owner a written notice (in this section 6.1, the "**Notice**") requiring the Owner to cure a default under this Agreement within 30 days of receipt of the Notice. The Notice must specify the nature of the default. The Owner must act with diligence to correct the default within the time specified.
- 6.2 If the default is not corrected within the time specified, the Owner will pay to the City on demand by the City 200 percent of the difference between current market rent, as determined by a third-party appraiser, and Affordable Rent for each Mid-Market Rental Unit in default for the default year to the end of the Term of the Agreement. The monies collected from default will be deposited to the City's Affordable Housing Reserve Fund.
- 6.3 The Owner will pay to the City on demand by the City all the City's costs of exercising its rights or remedies under this Agreement, on a full indemnity basis.
- 6.4 The Owner acknowledges and agrees that in case of a breach of this Agreement which is not fully remediable by the mere payment of money and promptly so remedied, the harm

sustained by the City and to the public interest will be irreparable and not susceptible of adequate monetary compensation.

- 6.5 Each party to this Agreement, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies including specific performance, injunction and declaratory relief, or any of them, to enforce its rights under this Agreement.
- 6.6 The Owner acknowledges and agrees that it is entering into this Agreement to benefit the public interest in providing housing for Rental Purposes, and that the City's rights and remedies under this Agreement are necessary to ensure that this purpose is carried out and that the City's rights and remedies under this Agreement are fair and reasonable and ought not to be construed as a penalty or forfeiture.
- 6.7 No reference to nor exercise of any specific right or remedy under this Agreement or at law or at equity by any party will prejudice, limit or preclude that party from exercising any other right or remedy. No right or remedy will be exclusive or dependent upon any other right or remedy, but any party, from time to time, may exercise any one or more of such rights or remedies independently, successively, or in combination. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy of a default by the Owner under this Agreement.

7. LIABILITY

- 7.1 Pursuant to Section 219(6) of the *Land Title Act*, except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
- (a) any act or omission, negligent or otherwise, by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible;
 - (b) the Owner's default under this Agreement; and
 - (c) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.
- 7.2 Except to the extent such advice or direction is given negligently, the Owner hereby releases and forever discharges the City, its elected officials, board members, officers, directors, employees and agents, and its and their heirs, executors, administrators, personal representatives, successors and assigns from and against all claims, demands, damages, actions or causes of action by reason of or arising out of advice or direction respecting the ownership, operation or management of the Lands for the provision of housing for Rental Purposes which has been or hereafter may be given to the Owner by all or any of them.
- 7.3 The covenants of the Owner set out in sections 7.1 and 7.2 of this Agreement will survive the expiration or the earlier termination of this Agreement and will continue to apply to any breach of the Agreement and to any claims arising under this Agreement during the ownership by the Owner of the Lands.

8. GENERAL PROVISIONS

- 8.1 The Owner agrees to reimburse the City for all legal costs reasonably incurred by the City for the preparation, execution and registration of this Agreement and notice of this Agreement which is required to be filed pursuant to the *Act*. The Owner will bear their own costs, legal or otherwise, connected with the preparation, execution or registration of this Agreement.
- 8.2 Nothing in this Agreement:
- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the use or subdivision of land;
 - (b) affects or limits any enactment relating to the use of the Lands or any condition contained in any approval including any development permit concerning the development of the Lands; or
 - (c) relieves the Owner from complying with any enactment, including the City's bylaws in relation to the use of the Lands.
- 8.3 The Owner and the City agree that:
- (a) this Agreement is entered into only for the benefit of the City;
 - (b) this Agreement is not intended to protect the interests of the Owner, occupier or user of the Lands or any portion of it including the Rental Units and the Limited Common Property; and
 - (c) without limiting part 2 of this Agreement, the City may at any time execute a release and discharge of this Agreement in respect of the Lands, without liability to anyone for doing so.
- 8.4 This Agreement burdens and runs with the Lands and any part into which any of them may be subdivided or consolidated, by strata plan or otherwise. All of the covenants and agreements contained in this Agreement are made by the Owner for itself, its successors and assigns, and all persons who acquire an interest in the Lands after the date of this Agreement. Without limiting the generality of the foregoing, the Owner will not be liable for any breach of any covenant, promise or agreement herein in respect of any portion of the Lands sold, assigned, considered or otherwise disposed of, occurring after the Owner has ceased to be the owner of the Lands.
- 8.5 The covenants and agreements on the part of the Owner in this Agreement have been made by the Owner as contractual obligations as well as being made pursuant to section 483 of the Act and as such will be binding on the Owner.
- 8.6 The Owner will, at its expense, do or cause to be done all acts reasonably necessary to ensure this Agreement and notice of this Agreement is registered against the title to the Lands, including any amendments to this Agreement as may be required by the Land Title Office or the City to effect such registration.

- 8.7 The City and the Owner each intend by execution and delivery of this Agreement to create both a contract and a deed under seal.
- 8.8 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.
- 8.9 If a Court of competent jurisdiction finds that any part of this Agreement is invalid, illegal, or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 8.10 Every obligation of a party which is set out in this Agreement will extend throughout the Term and, to the extent that any obligation ought to have been observed or performed prior to or upon the expiry or earlier termination of the Term, such obligation will survive the expiry or earlier termination of the Term until it has been observed or performed.
- 8.11 All notices, demands, or requests of any kind, which a party may be required or permitted to serve on another in connection with this Agreement, must be in writing and may be served on the other parties by registered mail, by facsimile or e-mail transmission, or by personal service, to the following address for each party:

City: The Corporation of the City of North Vancouver
141 West 14th Street
North Vancouver, British Columbia
V7M 1H9
Attention: Director, Planning & Development
Facsimile: 604.985.0576
Email: planning@cnv.org

The Owner: 1152455 B.C. LTD., INC.NO. BC1152455
SUITE 1100-1055 Dunsmuir Street,
Vancouver, British Columbia
V7X 1K8
Attention: Riaan de Beer
Email: RDeBeer@anthemproperties.com
Phone: 604.488.3040

Service of any such notice, demand, or request will be deemed complete, if made by registered mail, 72 hours after the date and hour of mailing, except where there is a postal service disruption during such period, in which case service will be deemed to be complete only upon actual delivery of the notice, demand or request; if made by facsimile or e-mail transmission, on the first business day after the date when the facsimile or e-mail transmission was transmitted; and if made by personal service, upon personal service being effected. Any party, from time to time, by notice in writing served upon the other parties, may designate a different address or different or additional persons to which all notices, demands, or requests are to be addressed.

- 8.12 Upon request by the City, the Owner will promptly do such acts and execute such documents as may be reasonably necessary, in the opinion of the City, to give effect to this Agreement.

8.13 This Agreement will enure to the benefit of and be binding upon each of the parties and their successors and permitted assigns.

9. INTERPRETATION

9.1 Gender specific terms include both genders and include corporations. Words in the singular include the plural, and words in the plural include the singular.

9.2 The division of this Agreement into sections and the use of headings are for convenience of reference only and are not intended to govern, limit or aid in the construction of any provision. In all cases, the language in this Agreement is to be construed simply according to its fair meaning, and not strictly for or against either party.

9.3 The word "including" when following any general statement or term is not to be construed to limit the general statement or term to the specific items which immediately follow the general statement or term to similar items whether or not words such as "without limitation" or "but not limited to" are used, but rather the general statement or term is to be construed to refer to all other items that could reasonably fall within the broadest possible scope of the general statement or term.

9.4 The words "must" and "will" are to be construed as imperative.

9.5 Any reference in this Agreement to any statute or bylaw includes any subsequent amendment, re-enactment, or replacement of that statute or bylaw.

9.6 This is the entire agreement between the City and the Owner concerning its subject, and there are no warranties, representations, conditions or collateral agreements relating to the subject matter of this Agreement, except as included in this Agreement. This Agreement may be amended only by a document executed by the parties to this Agreement and by bylaw, such amendment to be effective only upon adoption by City Council of an amending bylaw to "Housing Agreement Bylaw, 2025, No. 9101".

9.7 This Agreement is to be governed by and construed and enforced in accordance with the laws of British Columbia and the laws of Canada applicable therein.

9.8 This Agreement can be signed in counterpart.

IN WITNESS OF THIS AGREEMENT the City and the Owner have executed this Agreement by signing the "Form C – General Instrument – Part 1" or "Form D – Executions Continued" attached hereto.

From: Rob Carraretto
Sent: January-16-25 12:47 PM
To: Submissions
Cc: Mel Pratt
Subject: Zoning Amendment Bylaw, 2025, No. 9100 (146-160 East 2nd Street)

Dear Corporate Officer,

Can you please address the following questions:

1. Rental Housing Details

- How were the eight mid-market rental units defined and selected?
- Are there any affordability guarantees for the mid-market units, and for how long?
- What is the expected range of rental prices for the other units?

2. Commercial Spaces

- What types of commercial businesses are being targeted for the retail spaces?
- Are there any measures to ensure that the commercial spaces will support local businesses rather than large chains?

3. Building Design and Usage

- Will the building include sustainable or green building features, such as energy-efficient systems or environmentally friendly materials?
- How will the design fit with the neighborhood character, including height, aesthetics, and density?

4. Traffic and Parking

- What provisions are being made for parking for residents, visitors, and commercial tenants?
- Has a traffic impact assessment been conducted to evaluate how this development might affect congestion or local infrastructure?

5. Local Amenities

- Will this project contribute to or impact nearby parks, schools, or other public amenities?
- Are there plans for additional infrastructure improvements to support the increased population density?

6. Community Engagement

- How has local input been incorporated into the planning process so far?
- Are there plans for ongoing communication with residents about construction timelines and disruptions?

7. Compliance

- Does the proposed development align with the city's overall development plan and housing goals?
- What are the penalties or conditions if the developer fails to meet requirements like mid-market rental unit guarantees?

8. Precedent

- Are there similar developments in the area, and what has been their impact?
- Could this rezoning set a precedent for future developments of this size or type in the neighborhood?

9. Environmental Impact

- What steps are being taken to minimize the environmental impact of this development?
- Will there be green spaces or landscaping as part of the project?

10. Construction

- What is the expected timeline for construction, and how will construction disruptions be managed?
- How will the safety of nearby residents and businesses be ensured during construction?

11. Accountability

- Who will be responsible for monitoring compliance with zoning and development agreements post-approval?
- How will residents be updated about progress and changes?

Thank you,

Rob Carraretto
East 2nd Street
North Vancouver, BC

From: Alicia Kingdon
Sent: January-20-25 4:41 PM
To: Submissions
Subject: Support for Rental Housing Development at 146 East 2nd Street

Dear Council Members,

I am writing in support of the proposed rental housing development at 146 East 2nd Street, which is coming before Council on January 27th. As a resident of the City of North Vancouver, I believe it is essential to continue expanding much-needed rental housing, especially in Lower Lonsdale.

I frequently walk through this area from my home and appreciate its vibrant, walkable community. This location is well-served by transit, shops, and services, making it an ideal place for new rental housing. I'm also looking forward to seeing new at-grade retail activated along the street, enhancing the pedestrian experience and bringing fresh energy to the neighborhood. Replacing an aging commercial building with homes and retail is a positive step for the community.

Thank you for your time and consideration.

Sincerely,

Alicia Kingdon

East 5th Street
North Vancouver, BC

From: Viki Engdahl
Sent: January-20-25 5:44 PM
To: Submissions
Subject: Zoning Amendment Bylaw, 2025, No. 9100 / 146-160 East 2nd Street

Hello

As a resident of East 2nd Street, North Vancouver, I have concerns about the development of property at 146 - 160 East 2nd Street. Currently there is insufficient parking for the residents living in this area - 1 or 2 hour spaces for residents who have no onsite parking in their buildings is not adequate and businesses use most of those up during the days. None of the buildings in existence have parking for all their residents now, and the city does not allow "resident parking" permits in these locations. I am not opposed to the development, providing there is a shift in the city's permits or sufficient parking within the property to provide for every resident to have a dedicated parking space. Furthermore, there needs to be parking for the customers of the businesses housed therein as well.

Thank you,

Viki Engdahl
East 2nd Street
North Vancouver, BC

From: Shirley Kingdon
Sent: January-21-25 11:37 AM
To: Submissions
Subject: 146-160 East 2nd Street

Dear Mayor and Council,

I am writing to you in support of the proposed rental housing development at 146 East 2nd Street being considered at the January 27th Council Meeting.

As a Moodyville/City of North Vancouver resident, I am keenly aware of the lack of rental housing in North Vancouver and believe it's important to continue to build much needed rental housing particularly in this area. This location has great access to transit and many shops and services which are easily accessible by foot. My friends and family often comment on what a great area this is and how they would like to live in North Vancouver particularly the Lower Lonsdale area. I am pleased to see potential new rental housing here to replace the old commercial building and provide much needed housing in this area.

Kind regards,

Shirley Kingdon
East 5th Street
North Vancouver, BC

From: Ross Walden
Sent: January-23-25 11:27 AM
To: Submissions
Subject: 146 E 2nd St - redevelopment feedback

Hi there,

I'm reaching out to express my strong support for the redevelopment project at 146 East 2nd Street.

Vancouver is facing a significant housing crisis, and projects like this are essential to increasing much-needed rental supply—particularly in North Vancouver. The inclusion of ground-floor commercial space with rental units above is a great fit for the neighborhood, contributing to both vibrancy and accessibility. Additionally, this proposal aligns well with the area's density transition, maintaining a thoughtful balance as you move east and west from Lonsdale.

I appreciate the work being done to bring more housing options to the community and encourage the approval of this application.

Thanks for your time, and please feel free to reach out if you'd like to discuss further.

Best,
Ross Walden
North Vancouver, BC

From: Liz Shirreff
Sent: January-23-25 2:45 PM
To: Submissions
Subject: Anthem Project - 146 East 2nd St

To Mayor and Council,

We are longtime City of North Vancouver residents wishing to share our support for the proposed project at 146 E 2nd in Lower Lonsdale.

Creating new rental housing in our community is very important. With home ownership prices being so high, access to good quality rental housing will be a necessity for more and more people. Our grandchildren live on the North Shore, and we want to make sure the younger generations have the option to stay in North Vancouver as they become adults.

We're also pleased to hear that eight of the units will be reserved for more affordable mid-markets rental rates. Overall, this is a nicely designed building that will fit in well with the existing neighbourhood.

Sincerely,
Liz and Mark Shirreff
North Vancouver, BC